

**TOWN OF MEDWAY
WARRANT FOR 2014
FALL TOWN MEETING**

NORFOLK ss:

To either of the Constables of the Town of Medway

GREETING:

In the name of the Commonwealth of Massachusetts, you are hereby required to notify and warn the inhabitants of said Town who are qualified to vote in Town affairs to meet at the Medway High School Auditorium, 88 Summer Street, on Monday, November 10, 2014 at 7:00 PM, then and there to act on the following articles:

ARTICLE 1: (Operational Stabilization Reserve Transfer)

To see if the Town will vote to transfer the sum of \$113,500 from the Operational Stabilization Reserve Account to the following Fiscal Year 2015 departmental accounts in the amounts shown:

Dept. No.	Dept. Name	Amount
01210	Police	\$ 48,000
01220	Fire	\$ 10,000
01241	Inspectional Services	\$ 12,500
01422	Public Services	\$ 33,790
01610	Library	\$ 9,210

Or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 2: (Free Cash Appropriation: OPEB Trust Account)

To see if the Town will transfer the sum of \$150,000 from Certified Free Cash to the Other Post-Employment Benefits (OPEB) Trust Account, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 3: (Rescind Borrowing: Deficit Financing)

To see if the Town will vote to rescind \$1,000,000 unissued balance of the \$3,000,000 authorized by vote of the Town under Article 2 of the March 20, 2006 Special Town Meeting and further authorized by the Commonwealth of Massachusetts by Special Legislation Chapter 70 of the Acts of 2006 for deficit financing, or to take any other action relative thereto.

FINANCE DIRECTOR/TREASURER

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 4: (Rescind Borrowing: Middle School Project)

To see if the Town will vote to rescind the \$9,600,000 unissued balance of the \$22,100,000 authorized by vote of the Town under Article 8 of the November 15, 2010 Fall Town Meeting, or to take any other action relative thereto.

FINANCE DIRECTOR/TREASURER

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 5: (Free Cash Appropriation: Medway Design Guidelines)

To see if the Town will vote to transfer the sum of \$15,000 from Certified Free Cash for a review and revision of the Medway Design Guidelines, or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 6: (Free Cash Appropriation: Choate Park Building Maintenance Repairs)

To see if the Town will vote to transfer the sum of \$35,000 from Certified Free Cash to supplement the \$50,000 appropriation authorized under Article 7 of the May 14, 2014 Annual

Town Meeting to complete the repair of the Choate Park Building, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 7: (Free Cash Appropriation: Urban Renewal Plan for Oak Grove)
To see if the Town will vote to transfer the sum of \$80,000 from Certified Free Cash for the purpose of funding the preparation of an Urban Renewal Plan consistent with the requirements of Massachusetts General Law Chapter 121B for the Oak Grove Park area depicted on Assessor's Map 99, Oak Grove Insert Map, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 8: (Water Retained Earnings Appropriation: Purchase Chlorinators)
To see if the Town will vote to transfer the sum of \$165,000 from Water Retained Earnings for the purpose of purchasing and installing chlorinators in the Town's water tanks, or to act in any manner relating thereto.

DEPT. OF PUBLIC SERVICES

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 9: (Free Cash Appropriation: Fund Streetlight Conversion to LED)
To see if the Town will vote to transfer the sum of \$20,000 from Certified Free Cash for the purpose of funding the Town's matching funds for a Mass Dept. of Energy Resources grant for streetlight conversion to LED, or to act in any manner relating thereto.

DEPT. OF PUBLIC SERVICES

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 10: (Prior Year Bills)

To see if the Town will vote to authorize payment of a Fiscal Year 2014 unemployment insurance invoice in the amount of \$2,204 to be paid for from the Fiscal Year 2015 unemployment insurance account of the Town, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 11: (CPA Fund Transfer: Amphitheater)

To see if the Town will vote to transfer the sum of \$20,000 from Community Preservation Act Fund Open Space Reserves to the Open Space Committee for the purpose of establishing handicap accessibility to the Amphitheater, or to act in any manner relating thereto.

OPEN SPACE COMMITTEE

BOARD OF SELECTMEN RECOMMENDATION: TBD

FINANCE COMMITTEE RECOMMENDATION: TBD

ARTICLE 12: (CPA Fund Transfer: Housing Production Plan)

To see if the Town will vote to transfer the sum of \$6,800 from Community Preservation Act Fund Community Housing Reserves to the Affordable Housing Trust for the purpose of funding an update to the 2010 Medway Housing Production Plan in order to comply with May, 2013 Guidelines, or act in any manner relating thereto.

AFFORDABLE HOUSING TRUST

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 13: (Adjustment: Community Preservation Fund Statutory Set-Aside)

To see if the Town will vote to authorize the Town Accountant, with the approval of the Community Preservation Committee, to adjust the set-aside balances from prior fiscal years within the Community Preservation Fund account to comply with the statutory requirement to set aside for later spending not less than ten percent of the Community Preservation Fund annual revenues for each fiscal year in open space, for historic resources, and for community housing respectively, as required by Chapter 44B, section 6 of the Massachusetts General Laws, or to act in any manner relating thereto.

ARTICLE 15: (Street, Drainage Parcel and Infrastructure Acceptance:
Morningside Drive)

To see if the Town will vote to accept as a public way, the following street as laid out by the Board of Selectmen and as shown on a plan on file in the Office of the Town Clerk:

Morningside Drive in its entirety from Station 0+00 beginning at its intersection with Holliston Street to its end at Station 5+27.55 as shown on the *Street Acceptance Plan for Morningside Drive in Medway, MA* dated 10/7/2014, prepared by Outback Engineering of Middleborough, MA.

And further to see if the Town will vote to authorize the Board of Selectmen to accept as a gift from Fox Run Development Group LLC of Lincoln, RI, one parcel of land totaling 9,236 square feet, more or less, shown as Parcel A on “*Modification to Comprehensive Permit, Subdivision Lotting Plan, Fox Run Farm*” by Outback Engineering, dated May 24, 2011, recorded at the Norfolk County Registry of Deeds in Plan Book 610, Page 62, also known as 0 Morningside Drive/Medway Assessors’ Parcel 22-053-008, said land to be used by the Town for stormwater drainage purposes.

And further to authorize the Board of Selectmen to acquire by gift, purchase, eminent domain or otherwise, and to accept the deed or deeds to the Town of a fee simple interest or easements in said streets and any associated drainage, utility or other easements for said streets, and for any trail or public access easements and to appropriate a sum of money for this purpose and any related expenses;

And further to authorize the Board of Selectmen and town officers to take any and all related actions necessary or appropriate to carry out the purposes of this article;

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 16: (Easement Acceptance: Applegate Subdivision)

To see if the Town will vote to authorize the Board of Selectmen to accept as a gift the permanent utility and access easements shown on a plan entitled “Amended Definitive Subdivision Plan ‘Applegate Farm’ Twelve Lot Single Family Residential Subdivision, Medway, Massachusetts,” prepared by GLM Engineering, Inc., dated February 20, 2013, last revised April 28, 2014, and further to authorize the Board of Selectmen and town officers to take any and all related actions necessary or appropriate to carry out the purposes of this article; or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 17: (Utility Easement Grants: Rt 109 Project)

To see if the Town will vote to authorize the Board of Selectmen to grant utility easements to facilitate the Route 109 project authorized by vote of the May 12, 2014 Annual Town Meeting, Article 29, for the minimum price of one dollar and on such terms and conditions as the Board of Selectmen deem to be in the best interests of the Town, and authorize the Board of Selectmen and other town officials to take all actions necessary to carry out the purposes of this article, or to act in any manner relating thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 18: (Utility Easement Grant: Adams St Athletic Field)

To see if the town will vote to transfer to the Board of Selectmen to the extent necessary, and authorize the Board of Selectmen to convey a utility access easement over a portion of the Town's property at 0 Adams Street, Medway Assessors' Parcel 29-020, for the limited purpose of maintaining an existing transformer currently operated by NSTAR, provided that said easement shall not interfere with the Town's use of the property at 0 Adams Street, on such terms as the Board of Selectmen shall deem to be in the best interests of the Town, and to authorize the Board of Selectmen and other town officials to do all acts necessary to carry out the purposes of this article, or take any other action related thereto.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 19: (Zoning Map Revision: Portions of ARII to Commercial V)

To see if the Town of Medway will vote to rezone the following parcels from Agricultural Residential II district zoning to Commercial V district zoning as shown on a map on file with the Town Clerk and to amend the Medway Zoning Map accordingly.

1.38 acre parcel at 32 Summer Street (Berry's Greenhouse) - Medway Assessor's parcel 56-041

0.09 acre parcel at 37 Summer Street (Alexander) - Medway Assessor's parcel 56-017

0.67 acre parcel at 35 Summer Street (Alexander) - Medway Assessor's parcel 56-018

0.42 acre parcel at 33 Summer Street (Notturmo) - Medway Assessor's parcel 56-019

0.34 acre parcel at 31 Summer Street (PMAM Group LLC) - Medway Assessor's parcel 56-020
0.52 acre parcel at 37 Milford Street (Bain) - Medway Assessor's parcel 56-036

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 20:

(Zoning Map Revision: Adaptive Use Overlay District)

To see if the Town of Medway will vote to amend the Medway Zoning Map to depict the location and boundaries of the Medway Mill Conversion Subdistrict, all of which is located at 165 Main Street, Medway Assessor's Parcel 48-092, and is within the Adaptive Use Overlay District, as shown on a map on file with the Medway Town Clerk.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 21:

(Amend Zoning Bylaw: Commercial District I)

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw by deleting Sub-Section G. Commercial District I in SECTION V. USE REGULATIONS and replacing it as follows: NOTE – Added text is noted in **Bold**; text to be deleted is shown as ~~stricken through~~.

G. COMMERCIAL DISTRICT I

1. Purpose: To encourage the development and redevelopment of the district in a manner that represents the qualities, functions, and architectural features of a traditional New England town center. Such features and functions include and encourage mixed business, service, civic, institutional and/or residential uses which are arranged in a compact pattern that is conducive to pedestrian access and use.

2. Buildings, structures and premises may be used for any of the following purposes and uses customarily accessory thereto but no others, subject to the regulations and conditions enumerated herein:

a) Municipal use

b) Retail Sales

- c) Offices for business or professional use
- d) Salesroom for motor vehicles, trailers, boats, farm implements or machinery with repair services and storage permitted but not including auto body, welding or soldering shops
- e) Undertaking establishment or funeral home
- f) Restaurant or other establishment providing food and beverage within a building. **Outdoor dining may be permitted by the Building Inspector upon a determination that the location of the seating does not create a hazard to pedestrians.**
- g) Bank or other financial institution
- h) Personal care services such as but not limited to barber shops, beauty parlors, and nail salons
- i) **Consumer services such as but not limited to health care, fitness facility, optician, dry cleaner, laundry, florist, shoe repair, photocopy/printing, bakery, photography studio, tailor, and other similar businesses and services.**
- j) Repair shops for small electronic equipment, appliances and tools
- k) **Schools**
- l) Any of the following uses if authorized by special permit:
 - 1) Live entertainment within a building.
 - 2) Motel or hotel
 - 3) Commercial indoor amusement or recreation place or place of assembly
 - 4) Vehicle Fuel Station
 - 5) Automotive car wash
 - 6) Shopping
 - 7) Drive-thru facility
 - 8) Kennel
 - 9) Vehicle Repair
 - 10) Assisted living residence facility as defined by M.G.L, chapter 19D.
 - 11) **Mixed Use Development – A combination of multi-family dwelling units with any of the by right and/or special permit uses specified herein.**

3. **Coordination of Special Permit and Site Plan Review - In order to facilitate a streamlined permitting process, when the scope of the development project necessitates major or minor site plan review pursuant to SECTION V. USE**

REGULATIONS, Sub-Section C. Site Plan Review and Approval of the Medway Zoning Bylaw, the special permit granting authority shall be the Planning and Economic Development Board so that the special permit and site plan reviews can be consolidated and conducted concurrently. Otherwise, the special permit granting authority shall be the Zoning Board of Appeals.

4. By-right uses shall comply with the following dimensional regulations:
 - a) Minimum lot size: 20,000 sq. ft.
 - b) Maximum lot coverage, including accessory buildings: 30%
 - c) Minimum continuous frontage: 100 ft.
 - d) Minimum front-yard setback: 50 ft. of which the first 10 ft. nearest the street line shall not be used for the parking or storage of vehicles and shall be suitably landscaped
 - e) Minimum side-yard and rear-yard setback: 25 ft. of which the first 10 ft. nearest each lot line, if the adjacent use is residential in whole or in part, shall not be used for the parking or storage of vehicles and shall be suitably landscaped
 - f) Maximum building height: 40 ft. ~~A height greater than 40 ft. up to a maximum of 60' may be allowed by special permit from the Planning and Economic Development Board.~~

5. **Special Permit Regulations – The following provisions shall apply to Special Permit Uses and are also available to applicants for “By Right” uses who wish to seek a Special Permit to achieve flexible site design.**
 - a) **Dimensional Requirements**
 - 1) **Minimum lot size: 10,000 sq. ft.**
 - 2) **Minimum continuous frontage: 50 ft.**
 - 3) **Minimum front-yard setback: Principle buildings shall be set back a minimum of 10 feet from the front lot line. Architectural features such as bay windows, porches, balconies, porticos, canopies, etc. shall not be subject to the 10-foot minimum setback.**
 - 4) **Minimum side-yard and rear-yard setback: For lot lines abutting a residential zoning district, 25 ft. of which the first 10 ft. nearest each lot line shall not be used for the parking or storage of vehicles and shall be suitably landscaped. There is no side-yard or rear-yard setback for properties abutting other properties within the C1 district.**

- 5) **Maximum building height: 60 ft.**
- b) **Residential Uses in a Mixed Use Development**
 - 1) **Except for assisted living residence facilities, a building comprised of 100% multi-family dwelling units shall not be permitted.**
 - 2) **In a 3 story building, no more than 67% of the gross floor area shall be comprised of multi-family dwelling units. In a 2 story building, no more than 50% of the gross floor area shall be comprised of multi-family dwelling units.**
 - 3) **Multi-family dwelling units may not be located on the ground floor of a mixed-use building or development unless:**
 - a. **the building with the multi-family dwelling units is set behind another building which has business uses on the ground floor and a front façade that faces a public way or primary access drive; or**
 - b. **the residential portion of the ground floor is set behind the business uses within the same building which has a front façade that faces a public way or primary access drive.**
 - 4) **No more than 10% of the total number of a mixed-use development's residential dwelling units shall have more than 2 bedrooms.**
- c) **A minimum of 15% of the site shall function as landscaped and/or public space. The landscaped and/or public space shall be architecturally integral to the site and/or, as appropriate and practical, to abutting sites. No space that is used for vehicular parking or circulation, or loading shall be included as landscaped and/or public space.**
- d) **Special Permit Review Criteria**
 - 1) **Special permits granted under this sub-section are not subject to the special permit criteria specified in SECTION III. Sub-Section J of this Bylaw.**
 - 2) **Before granting a special permit for the specified special permit uses or for flexible site design of by-right uses in the Commercial I zoning district, the special permit granting authority shall find that in its judgment, all of the following criteria for granting the special permit are met:**
 - a. **The proposed use represents the qualities of a traditional**

New England town center.

- b. The proposed site design is environmentally sound and is readily accessible to and useable by pedestrians.**
- c. The proposed use reflects and advances the goals and objectives of the Medway Master Plan as updated.**
- d. Adequate pedestrian and (where applicable) vehicular linkages within the site and connecting to abutting properties are provided.**
- e. Streets, driveways, sidewalks, landscaped areas and public services are laid out in a safe manner.**
- f. Any detrimental impacts of the use on abutting properties and/or residential neighborhoods have been adequately mitigated.**
- g. The site design incorporates the site's existing topography and protects natural features to the maximum extent possible.**

6. Design Requirements

- a) All facades of a building that are visible from a public way or an internal pedestrian or vehicular way shall be designed in accordance with the current *Medway Design Review Guidelines* and the Design Principles and Standards included in the *Site Plan Rules and Regulations*.**
- b) All sites shall include pedestrian connections to abutting commercial properties and, where appropriate, to abutting residential neighborhoods. The pedestrian connections shall be well-defined and of a design and quality that will encourage significant use.**
- c) Vehicular connections to abutting sites shall be provided where practical as determined by the Planning and Economic Development Board as part of the review process. In cases where physical connections are not currently possible, easements and a design to provide for potential future connections may be required.**
- d) Buildings and developments shall be made pedestrian friendly by use of amenities such as wide sidewalks/pathways, outdoor seating, and patios or courtyards. All structures, parking, pathways and other pedestrian amenities shall be designed to maximize ease of pedestrian access.**

- 7. Sustainability – New buildings constructed in the Commercial I district after the passage of this bylaw are encouraged to promote sustainability by being environmentally responsible and resource-efficient throughout a building's life-cycle from siting to design, construction, operation, maintenance, renovation and deconstruction. This may be accomplished by incorporating sustainable materials in the construction (e.g., reused, recycled-content, or made from renewable resources); create healthy indoor environments with minimum pollutants (e.g., reduced product emissions); and/or feature landscaping that reduces water usage (e.g., by using native**

plants that survive without extra watering). The criteria in the current Leadership in Energy and Environmental Design (LEED), Institute for Sustainable Infrastructure (ISI), and EPA’s Green Building program offer examples of measures that will help accomplish this goal.

AND to amend the Sub-Section H. Parking Regulations of SECTION V. USE REGULATIONS by adding the following to the Parking Requirements Schedule in Paragraph 4.

Multi-Family Dwelling in Commercial I – 1.5 spaces per dwelling unit.

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 22: (Amend Zoning Bylaw: Adult Retirement Community Planned Unit Development)

To see if the Town of Medway will vote to amend the Medway Zoning Bylaw, SECTION V. USE REGULATIONS, Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD), 4. c) ARCPUD General Standards, item 4) to read as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

4. c) 4) Upon approval by the Planning and Economic Development Board, an ARCPUD also may include any combination of the following accessory uses:

- a. Local Convenience Retail;
- b. Medical Offices or Clinics; and
- c. Adult Day Care;

~~use of no more than 7,500 square feet of gross building area. If located within an ARCPUD development, by definition, provided that the total amount of building area occupied by Local Convenience Retail uses shall not exceed 4,500 square feet and the total of all such accessory uses shall not exceed five percent (5%) of the ARCPUD’s total gross building area. or 7,500 square feet, whichever is greater.~~

AND to amend Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD), Paragraph 4. c) ARCPUD General Standards, item 6) as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

4. c) 6) The maximum number of permitted housing units in an ARCPUD shall be determined by multiplying the gross acreage of the ARCPUD site by a factor of three (3.0). A housing unit shall be defined as equal to:
- a. A home site in an ARCPUD Residential Subdivision, a dwelling unit in an ARCPUD Independent Living Residence Facility, a townhouse, or a dwelling unit as defined in the Bylaw;
 - b. Two (2) dwellings or rooms in an ARCPUD Assisted Living Residence Facility or an ARCPUD Congregate Living Residence Facility, ~~provided such dwellings do not meet the definition of a dwelling unit;~~
 - c. Three (3) dwellings or rooms in an ARCPUD Long-Term Care Facility.

AND to amend Sub-Section U. 4. c) ARCPUD General Standards, by deleting item 9) in its entirety as follows (wording that is being deleted is ~~stricken through~~):

4. c) 9) ~~Affordability—At least 10% of the total number of ARCPUD residential dwelling units, rounded up to the next higher integer, shall be designated and made available as Affordable Dwelling Units as defined in this Zoning Bylaw.~~

AND to amend Sub-Section U. 4. e) 8) *ARCPUD Site Development Standards*, (new wording is underlined and wording that is being deleted is ~~stricken through~~):

8) Within the ARCPUD a minimum of two (2) off-street parking spaces shall be required for each ~~dwelling~~ housing unit as calculated in Sub-Section U. 4. c) 6). The required parking space(s) shall be provided on the same lot as the dwelling(s) or on a contiguous lot (within the ARCPUD) provided that there are easements ensuring rights of access, use and maintenance. The Planning and Economic Development Board may, as a condition of granting a special permit for the ARCPUD, require additional off-street parking areas to be provided for use in common by dwelling unit owners or residents and their guests, or reduce the required number of parking spaces based on documentation, including but not limited to standards from the Institute of Transportation Engineers Parking Generation Manual or data from similar facilities.

AND to amend SECTION II. DEFINITIONS by inserting the following definitions in alphabetical order (new wording is underlined):

Medical Office or Clinic – An establishment primarily engaged in furnishing medical, surgical, psychiatric or other health-related services to individuals, including the offices of physicians, dentists and other health practitioners, and out-patient care facilities.

Adult Day Care -- Also commonly known as adult day services, is a non-residential facility that supports the health, nutritional, social support, and daily living needs of adults in professionally staffed, group settings. Services may include transitional care and short-term rehabilitation following hospital discharge.

AND to amend SECTION V. USE REGULATIONS, Sub-Section X Affordable Housing. Paragraph 3. Applicability, a) by renumbering the current item 5) to become item 6) and by inserting a new item 5) as follows (new wording is underlined):

3. a) 5) Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD) of SECTION V. USE REGULATIONS of the Medway Zoning Bylaw

AND in Paragraph 3. Applicability, c) by revising item 2) to read as follows (new wording is underlined and wording that is being deleted is ~~stricken~~ through):

3. c) 2) ~~Adult Retirement Community~~ ARCPUD Assisted Living Residence Facility, ARCPUD Congregate Living Facility, and an ARCPUD Long Term Care Facility approved pursuant to an ARCPUD Special Permit under SECTION V. USE REGULATIONS, Sub-Section U. Adult Retirement Community Planned Unit Development (ARCPUD)

Or to act in any manner relating thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

ARTICLE 23: (Zoning Bylaw Amendment: Temporary Special Event Signs)

To see if the Town will vote to amend the Medway Zoning Bylaw, SECTION V. USE REGULATIONS, Sub-Section R. Sign Regulations, Paragraph 7 Sign Standards – All Zoning Districts, item s) as follows (new text is underlined and deleted text is ~~stricken~~ through);

7. s) Temporary special event signs advertising civic/community functions extended over a public right-of-way may be permitted upon prior approval of the Board of Selectmen. Such signs shall not require a building sign permit. ~~but shall be reviewed by the Design Review Committee and a recommendation provided to the Board of Selectmen prior to approval.~~ The Board of Selectmen may adopt a Banner Display Policy governing such signs. The Board of Selectmen may designate the Town Administrator to approve signs under this subsection and may specify the terms and circumstances under which the Town Administrator or his designee may approve such signs, and may revoke such designation at any time.

BOARD OF SELECTMEN

BOARD OF SELECTMEN RECOMMENDATION: Approve

FINANCE COMMITTEE RECOMMENDATION: Approve

And you are hereby directed to serve this warrant by posting printed attested copies thereof at two (2) locations in each precinct at least FOURTEEN (14) days before the day of said meeting. Hereof fail not and make due return of this warrant with your doings thereon to the Clerk of said Town at or before the time of said meeting.

Given under our hands in Medway, this 21st day of October 2014.

A TRUE COPY:

SELECTMEN OF THE TOWN OF MEDWAY



Dennis Crowley, Chairman



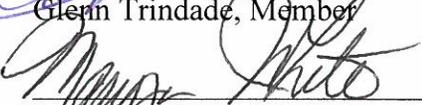
John Foresto, Vice-Chairman



Richard D'Innocenzo, Clerk



Glenn Trindade, Member



Maryjane White, Member

ATTEST:



Paul Trufant, Constable