

LOCUS MAP  
SCALE: 1"=2000'

PLAN BY SCHIFFEL BROTHERS  
DATED JUNE 8, 2006

# "TIMBER CREST ESTATES"

A PROPOSED RESIDENTIAL DEVELOPMENT  
IN  
MEDWAY, MASSACHUSETTS

ZONING				
AGRICULTURAL & RESIDENTIAL DISTRICTS				
	AR-I	AR-II	WEST SIDE	EAST SIDE
	REQUIRED	REQUIRED	PROVIDED	PROVIDED
LOT AREA	44,000 S.F.	22,500 S.F.	7,500 S.F.	5,000 S.F.
UPLAND AREA	22,000 S.F.	11,250 S.F.	7,000 S.F.	4,000 S.F.
LOT FRONTAGE	180 FEET	150 FEET	50 FEET*	50 FEET*
MIN. FRONTYARD SETBACK	35 FEET	35 FEET	20 FEET	20 FEET
MIN. SIDEYARD SETBACK	15 FEET	15 FEET	7 FEET	7 FEET
MIN. REARYARD SETBACK	15 FEET	15 FEET	10 FEET	10 FEET
SHAPE FACTOR (P <sup>2</sup> /A)	22.0	22.0	22.0	22.0

\* EXCEPT LOTS 20, 84, 120-123, 130-131, AND 143  
(SEE LOTTING SHEETS FOR EXACT FRONTAGES)

## GENERAL NOTES

- PROPERTY LINES, WETLANDS, AND TOPOGRAPHY SHOWN HEREON IS COMPILED FROM AVAILABLE PLAN INFORMATION AS FOLLOWS:
  - PROPERTY LINE & WETLAND INFORMATION FOR PROJECT SITE TAKEN FROM SURVEY INFORMATION PROVIDED BY COLONIAL ENGINEERING, INC. OF MEDWAY, MA. WETLANDS SHOWN HEREON AS APPROVED PER ORAD #216-821 ISSUED 9/10/14, #216-841 ISSUED 10/20/15, AND #216-859 ISSUED 12/15/15. WETLANDS ON ASSESSORS MAP 9 LOT 51 IS BASED ON FLAGGING BY GODDARD CONSULTING IN JUNE AND JULY 2016, AS LOCATED BY COLONIAL ENGINEERING.
  - TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED FROM DATA PROVIDED BY COLONIAL ENGINEERING AND LIDAR DATA FROM MASS GIS. OFFSITE PROPERTY LINES, ROADS & HOUSES COMPILED FROM MASS GIS, AND GOOGLE EARTH.
  - CERTIFIED VERNAL POOL INFORMATION TAKEN FROM ONLINE MASS GIS DATALAYER.
- THE MAJORITY OF THE SITE IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) WITH A SMALL EASTERLY PORTION OF THE SITE IN OTHER FLOOD ZONE "X" (AREAS WITHIN THE 0.2% CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM THE 1% ANNUAL CHANCE FLOOD) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MEDWAY, MA. (MAP NUMBER 25021C0141E, EFFECTIVE DATE OF JULY 17, 2012).
- SITE IS NOT LOCATED WITHIN A ZONE II OR I/WPA GROUNDWATER RESOURCE PROTECTION AREA, OR A SURFACE WATER PROTECTION AREA OR AN OUTSTANDING RESOURCE WATER (O.R.W.) PER MASS GIS.
- THE SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM (NHESP) PRIORITY HABITAT OF RARE SPECIES NOR WITHIN AN NHESP ESTIMATED HABITAT OF RARE WILDLIFE PER THE 2012 ONLINE MAPPING INFORMATION.
- THE SITE IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (A.C.E.C.).
- ALL EXISTING UTILITY INFORMATION IS APPROXIMATE ONLY AND MAY NOT BE COMPLETE. COMPILED FROM DATA PROVIDED BY COLONIAL ENGINEERING AND AS-BUILTS OF VARIOUS ROADWAY PLANS PROVIDED BY MEDWAY DEPARTMENT OF PUBLIC SERVICES. CONTRACTORS SHALL NOTIFY DISSAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO THE ONSET OF ANY CONSTRUCTION TO HAVE ALL EXISTING UTILITIES LOCATED AND CLEARLY MARKED.



NOTE: THESE ARE PRELIMINARY SUBDIVISION PLANS SUBJECT TO PERMITTING UNDER MGL CH. 40B, SECTIONS 20 TO 23.

INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	WEST SIDE SUBDIVISION LOT LAYOUT
4	EAST SIDE SUBDIVISION LOT LAYOUT
5	WEST SIDE GRADING & UTILITY PLANS
6	EAST SIDE GRADING & UTILITY PLANS
7	WEST & EAST SIDE ROAD PROFILES
8-9	DETAILS SHEETS

REVISIONS	
NO.	DATE

**OWNERS**  
WICKETT DEVELOPMENT INC.  
38746 CLINTON AVENUE  
DADE CITY, FL 33525  
ASSESSORS MAP 8, LOT 16 & MAP 9, LOT 58  
  
HENRY L. WICKETT  
38746 CLINTON AVENUE  
DADE CITY, FL 33525  
ASSESSORS MAP 8, LOTS 19 & 20, ASSESSORS MAP 9, LOT 6  
  
HENRY L. WICKETT & HENRY L. WICKETT JR.  
38746 CLINTON AVENUE  
DADE CITY, FL 33525  
ASSESSORS MAP 14, LOT 5

NOVUS HOMES LLC  
400 FOXBORO BLVD. UNIT 8306  
FOXBOROUGH, MA 02035  
ASSESSORS MAP 14, LOT 20  
TIMBER CREST ESTATES LLC  
C/O MOUNIR TAYARA  
135 MAIN STREET, SUITE 5  
MEDWAY MA, 02053  
ASSESSORS MAP 15, LOT 1  
ASSESSORS MAP 9, LOT 51

DOROTHY PAVUK, ET AL  
134 HOLLISTON STREET  
MEDWAY, MA 02053  
ASSESSORS MAP 15, LOT 19  
**APPLICANT**  
TIMBER CREST ESTATES LLC  
c/o MOUNIR TAYARA  
135 MAIN STREET, SUITE 5  
MEDWAY MA, 02053

**COMPREHENSIVE PERMIT PLANS**  
**"TIMBER CREST ESTATES"**  
OFF  
WINTHROP STREET,  
OHLSON CIRCLE,  
HOLLISTON STREET,  
FAIRWAY LANE & FERN PATH  
IN  
MEDWAY  
MASSACHUSETTS

**Outback Engineering**  
Incorporated  
165 EAST GROVE STREET  
MIDDLEBOROUGH, MA 02346  
TEL: (508)-946-9231  
FAX: (508)-947-8873  
www.outback-eng.com

DATE: AUGUST 26, 2016  
DRAWN BY: CJV CHECKED BY: JAP  
SCALE: 1"=200' SHEET 1 OF 9  
0' 200' 400' 600'  
OE-2765

### PROJECT LOT COVERAGE

	WEST SIDE SUBDIVISION	EAST SIDE SUBDIVISION	TOTAL
# OF HOMES	72	85	157
ROOF AREA	147166 ft <sup>2</sup>	138019 ft <sup>2</sup>	285185 ft <sup>2</sup> = 6.55 ac
ROAD LENGTH	4299.3 ft	4814 ft	9113.3 ft
PAVED ROAD AND SIDEWALK AREA	146255 ft <sup>2</sup>	168161 ft <sup>2</sup>	314416 ft <sup>2</sup> = 7.22 ac
DRIVEWAY AREA	52400 ft <sup>2</sup>	54200 ft <sup>2</sup>	106600 ft <sup>2</sup> 2.45 ac
TOTAL LOT AREA	1,028,332 ft <sup>2</sup> = 23.61 ac	744,936 ft <sup>2</sup> = 17.26 ac	1,773,268 ft <sup>2</sup> 40.87 ac
EXISTING GAS & ELECTRIC EASEMENT AREA	-	-	12.29 ac
UPLAND AREA	-	-	84.27 ac
WETLAND AREA	-	-	86.09 ac

**PROJECT SUMMARY**  
PROPOSED USE: MGL CHAPTER 40B RESIDENTIAL DEVELOPMENT  
157 SINGLE FAMILY LOTS  
WATER & SEWER DEMAND: 157 HOMES X 3 BEDROOMS EACH X 110 GPD PER BEDROOM  
=51,810 GALLONS PER DAY TOTAL

PARKING DIMENSIONS PER ZONING BY-LAW SECTION H.2  
STANDARD 9' X 18', PARALLEL 8' X 22', COMPACT 8' X 15'  
NOTE: PER H.3, PARKING REQUIREMENTS NOT APPLICABLE TO SINGLE AND TWO FAMILY RESIDENCES.  
PARKING PROVIDED: MIN 1-2 SPACES/ HOME + GARAGES

TOTAL PROJECT AREA = 170.36 ac  
TOTAL IMPERVIOUS COVERAGE = 6.55 ac + 7.22 ac + 2.45 ac X 100% = 9.52%  
170.36 ac



ELEVATION DATUM: N.G.V.D. 1929  
 PROPERTY LINES, WETLANDS, AND TOPOGRAPHY SHOWN HEREON IS COMPILED FROM AVAILABLE PLAN INFORMATION AS FOLLOWS:

- A. PROPERTY LINE & WETLAND INFORMATION FOR PROJECT SITE TAKEN FROM SURVEY INFORMATION PROVIDED BY COLONIAL ENGINEERING, INC. OF MEDWAY, MA.
- B. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED FROM DATA PROVIDED BY COLONIAL ENGINEERING AND LIDAR DATA FROM MASS GIS.
- C. OFFSITE PROPERTY LINES, ROADS & HOUSES COMPILED FROM MASS GIS, AND GOOGLE EARTH.
- D. VERNAL POOL LOCATION BASED ON FIELD DELINEATION BY GODDARD CONSULTING AND LOCATED BY COLONIAL ENGINEERING.

REVISIONS		
NO.	DATE	DESCRIPTION

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 ASSESSORS MAP 9, LOT 51

DOROTHY PAVLIK, ET AL  
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 ASSESSORS MAP 15, LOT 19

**APPLICANT**

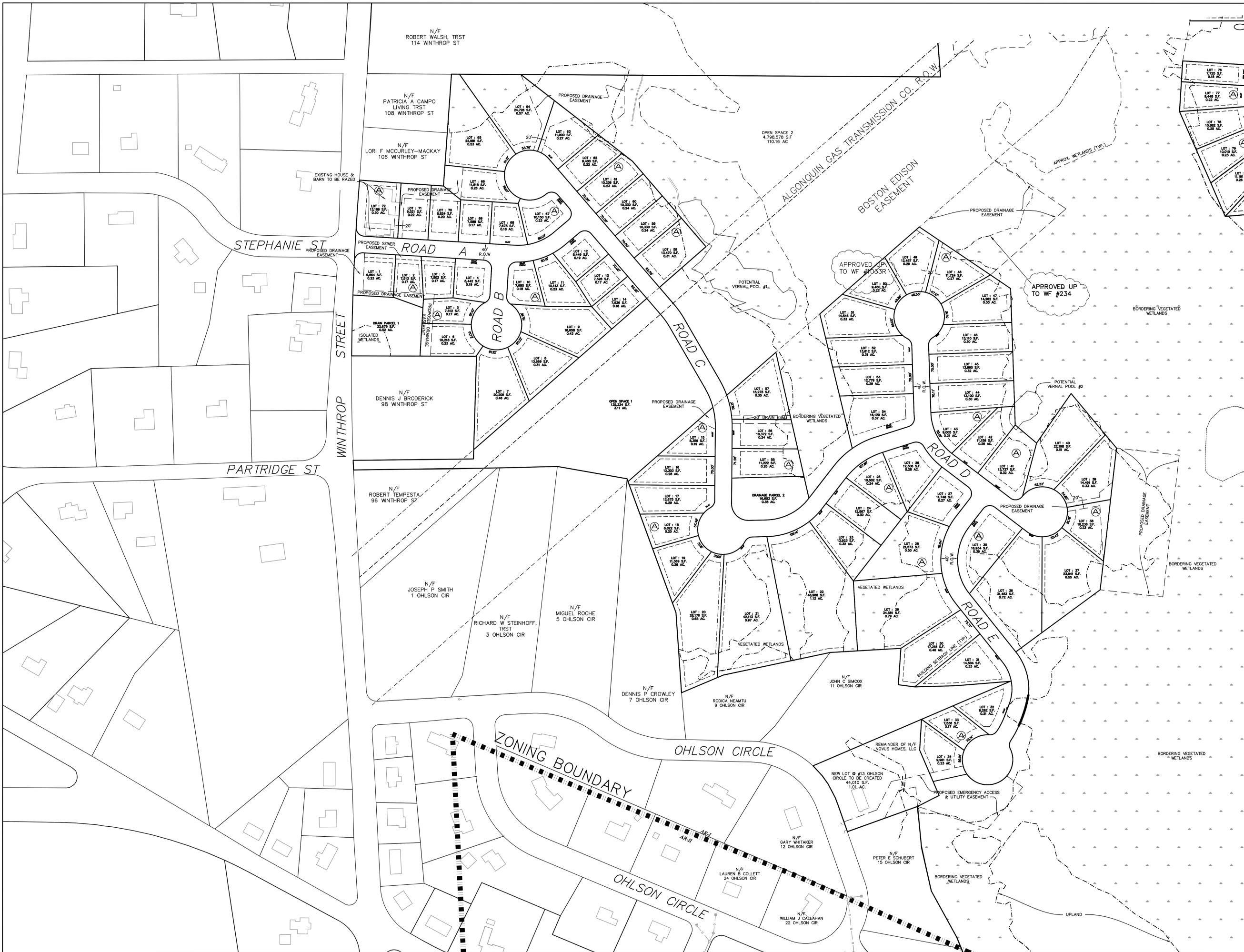
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**EXISTING CONDITIONS**  
 "TIMBER CREST ESTATES"  
 OFF  
 WINTHROP STREET,  
 OHLSON CIRCLE,  
 HOLLISTON STREET,  
 FAIRWAY LANE & FERN PATH  
 IN  
 MEDWAY  
 MASSACHUSETTS

**Outback Engineering**  
 Incorporated

165 EAST GROVE STREET  
 MIDDLEBOROUGH, MA 02346  
 TEL: (508)-946-2311  
 FAX: (508)-947-8873  
 www.outback-eng.com

DATE: AUGUST 26, 2016  
 DRAWN BY: CJV CHECKED BY: JAP  
 SCALE: 1"=140' SHEET 2 OF 9  
 0' 140' 280' 420'



(A) INDICATES AFFORDABLE UNIT

PLAN BY SCHOFIELD BROTHERS  
DATED JUNE 8, 2006

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**LOT LAYOUT SHEET  
WEST SIDE  
SUBDIVISION  
"TIMBER CREST  
ESTATES"  
OFF  
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DATE: AUGUST 26, 2016  
DRAWN BY: CVJ CHECKED BY: JAP  
SCALE: 1"=80' SHEET 3 OF 9

0' 80' 160' 240'

OE-2765



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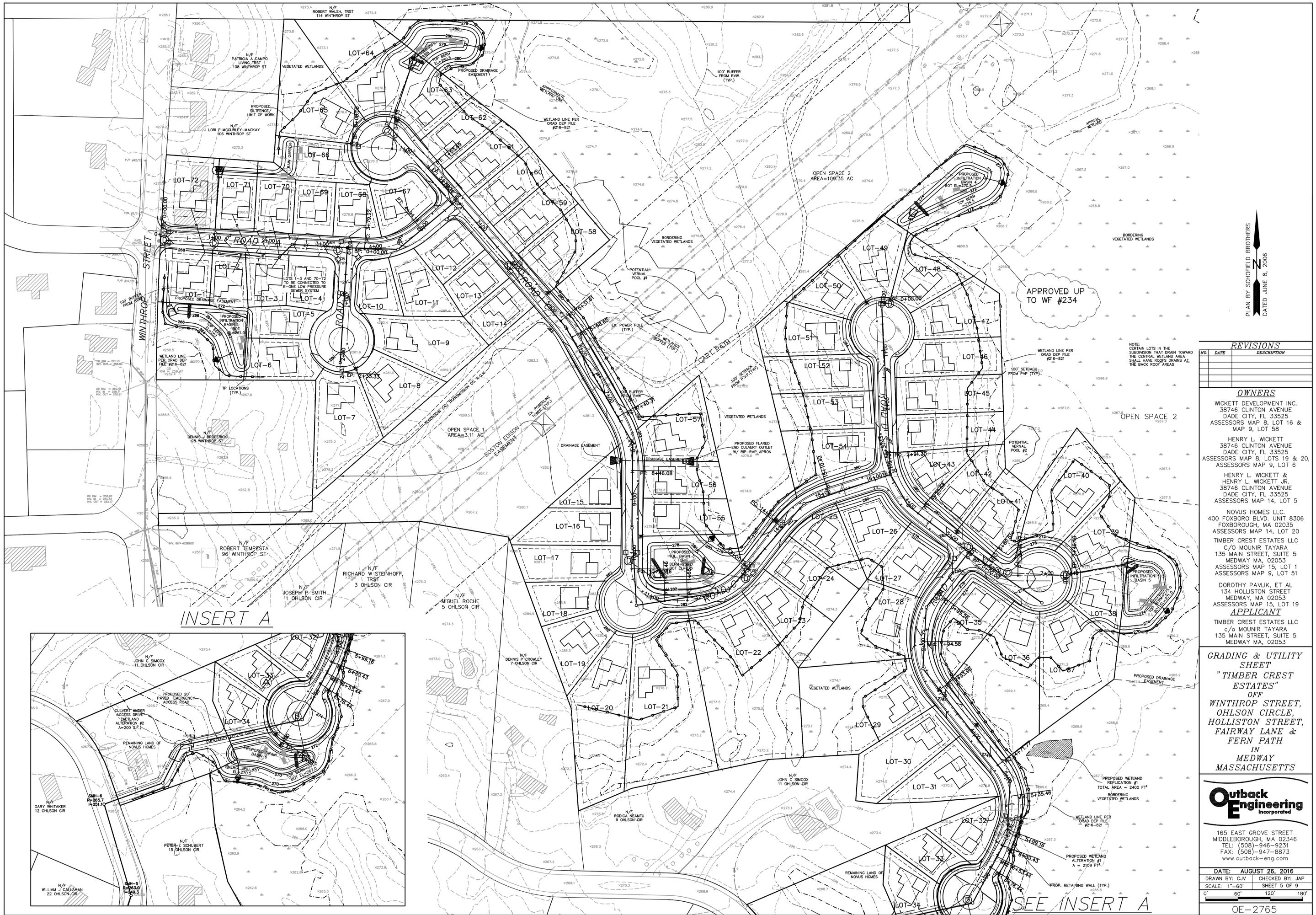
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80' 160' 240'



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APPROVED UP TO WF #234

NOTE: CERTAIN LOTS IN THE SUBDIVISION THAT DRAIN TOWARD THE CENTRAL WETLAND AREA SHALL HAVE ROOF DRAINS AT THE BACK ROOF AREAS

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**GRADING & UTILITY SHEET**  
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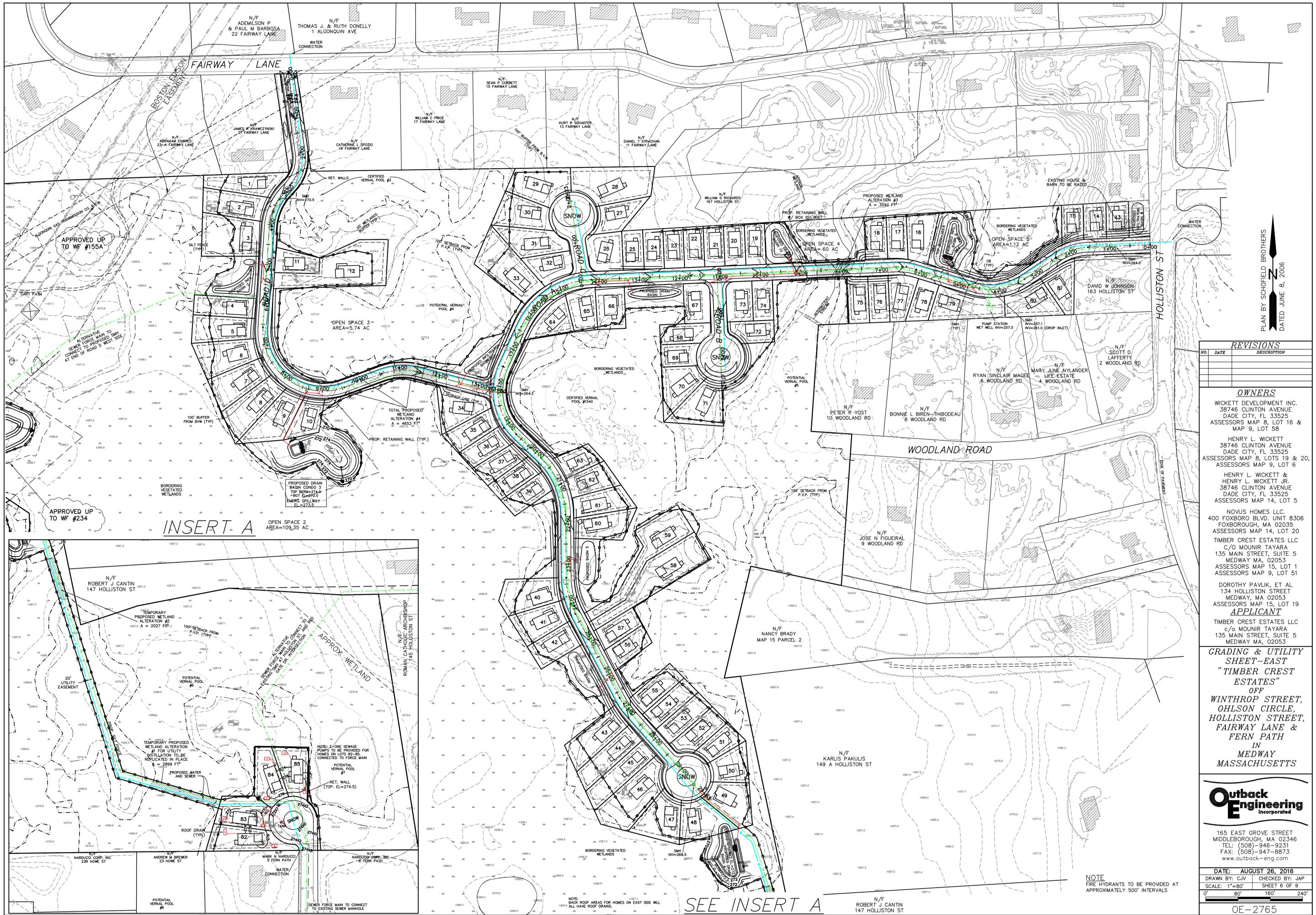
DATE: AUGUST 26, 2016  
 DRAWN BY: CJV CHECKED BY: JAP  
 SCALE: 1"=60' SHEET 5 OF 9

0' 60' 120' 180'

OE-2765

INSERT A

SEE INSERT A



PLAN BY SCHOFIELD BROTHERS  
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**GRADING & UTILITY SHEET-EAST "TIMBER CREST ESTATES" OFF WINTHROP STREET, OHLSON CIRCLE, HOLLISTON STREET, FAIRWAY LANE & FERN PATH IN MEDWAY MASSACHUSETTS**

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 0' 80' 160' 240'  
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NOTE  
 FIRE HYDRANTS TO BE PROVIDED AT APPROXIMATELY 500' INTERVALS

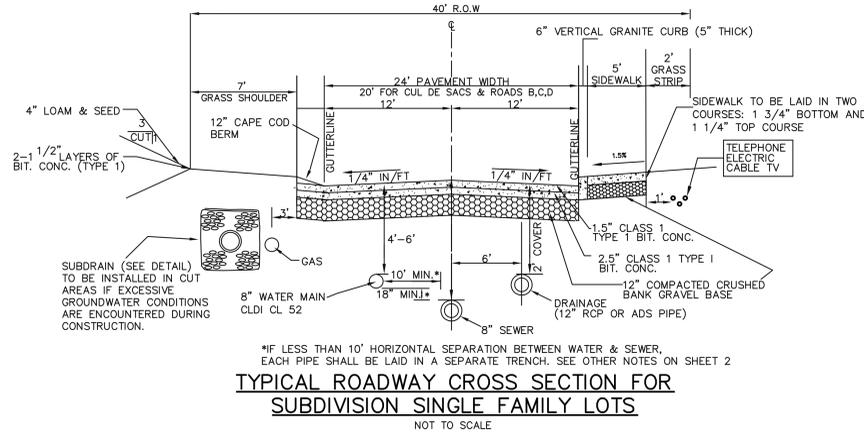
SEE INSERT A

N/F ROBERT J CANTIN  
 147 HOLLISTON ST

NOTE:  
 BACK ROOF AREAS FOR HOMES ON EAST SIDE WILL ALL HAVE ROOF DRAINS.

NOTES:  
 1. E-ONE SEWAGE PUMPS TO BE PROVIDED FOR HOMES ON LOTS 82-85 CONNECTED TO FORCE MAIN  
 2. RET. WALL (TOP. EL.=274.5)  
 3. POTENTIAL VERNAL POOL #7  
 4. PROPOSED WATER AND SEWER  
 5. APPROX. WETLAND  
 6. ROMAN CATHOLIC ARCHDIOCESE, 145 HOLLISTON ST  
 7. N/F NANCY BRADY, MAP 15 PARCEL 2  
 8. N/F KARLIS PAKULIS, 149 A HOLLISTON ST  
 9. N/F JOSE N FIGUEIRAL, 9 WOODLAND RD  
 10. N/F PETER R YOST, 10 WOODLAND RD  
 11. N/F BONNIE L BIREN-THIBODEAU, 8 WOODLAND RD  
 12. N/F MARY JUNE NYLANDER, 4 WOODLAND RD  
 13. N/F RYAN SINCLAIR MAGEE, 6 WOODLAND RD  
 14. N/F SCOTT D LAFFERTY, 2 WOODLAND RD  
 15. N/F DAVID W JOHNSON, 163 HOLLISTON ST  
 16. N/F DANIEL T STRACHAN, 11 FAIRWAY LANE  
 17. N/F KURT R SCHAEFER, 13 FAIRWAY LANE  
 18. N/F WILLIAM G PRINCE, 17 FAIRWAY LANE  
 19. N/F SEAN P CORBETT, 15 FAIRWAY LANE  
 20. N/F THOMAS J & RUTH DONELLY, 1 ALGONQUIN AVE  
 21. N/F ADEMILSON P & PAUL M BARBOSA, 22 FAIRWAY LANE  
 22. N/F ABRAHAM CHAVES, 23-24 FAIRWAY LANE  
 23. N/F JAMES R KRAWCZYNSKI, 27 FAIRWAY LANE  
 24. N/F CATHERINE SPOLIO, 19 FAIRWAY LANE  
 25. N/F WILSON GAS TRANSDUCER CO. BLDG.  
 26. APPROVED UP TO WF #155A  
 27. ALTERNATIVE TO SEWER FORCE MAIN TO PROPOSED SMI AT END OF ROAD D WEST SIDE  
 28. APPROVED UP TO WF #234  
 29. PROPOSED DRAIN BASIN COND. 3  
 30. TOP BERM=273.6  
 31. 80' E-WARD  
 32. EMERG. SPILLWAY EL.=273.5  
 33. TOTAL PROPOSED WETLAND ALTERATION #4  
 34. A = 4953 FT<sup>2</sup>  
 35. PROP. RETAINING WALL (TYP.)  
 36. POTENTIAL VERNAL POOL #540  
 37. SMI INV=264.5  
 38. SMI INV=257.0  
 39. SMI INV=261.0 (DROP INLET)  
 40. PUMP STATION WET WELL INV=257.0  
 41. BORDERING VEGETATED WETLANDS  
 42. OPEN SPACE 5 AREA=112 AC  
 43. OPEN SPACE 4 AREA=60 AC  
 44. PROPOSED WETLAND ALTERATION #3  
 45. A = 3092 FT<sup>2</sup>  
 46. PREP. RETAINING WALL W/ BOX GULLY  
 47. BORDERING VEGETATED WETLANDS  
 48. RET. WALLS  
 49. CERTIFIED VERNAL POOL #3  
 50. 25' WETLANDS BUFFER (TYP.)  
 51. 100' BUFFER FROM BVM (TYP.)  
 52. 100' SETBACK FROM P.V.P. (TYP.)  
 53. 100' SETBACK FROM P.V.P. (TYP.)  
 54. 100' SETBACK FROM P.V.P. (TYP.)  
 55. 100' SETBACK FROM P.V.P. (TYP.)  
 56. 100' SETBACK FROM P.V.P. (TYP.)  
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 68. 100' SETBACK FROM P.V.P. (TYP.)  
 69. 100' SETBACK FROM P.V.P. (TYP.)  
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 73. 100' SETBACK FROM P.V.P. (TYP.)  
 74. 100' SETBACK FROM P.V.P. (TYP.)  
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 80. 100' SETBACK FROM P.V.P. (TYP.)  
 81. 100' SETBACK FROM P.V.P. (TYP.)  
 82. 100' SETBACK FROM P.V.P. (TYP.)  
 83. 100' SETBACK FROM P.V.P. (TYP.)  
 84. 100' SETBACK FROM P.V.P. (TYP.)  
 85. 100' SETBACK FROM P.V.P. (TYP.)  
 86. 100' SETBACK FROM P.V.P. (TYP.)  
 87. 100' SETBACK FROM P.V.P. (TYP.)  
 88. 100' SETBACK FROM P.V.P. (TYP.)  
 89. 100' SETBACK FROM P.V.P. (TYP.)  
 90. 100' SETBACK FROM P.V.P. (TYP.)  
 91. 100' SETBACK FROM P.V.P. (TYP.)  
 92. 100' SETBACK FROM P.V.P. (TYP.)  
 93. 100' SETBACK FROM P.V.P. (TYP.)  
 94. 100' SETBACK FROM P.V.P. (TYP.)  
 95. 100' SETBACK FROM P.V.P. (TYP.)  
 96. 100' SETBACK FROM P.V.P. (TYP.)  
 97. 100' SETBACK FROM P.V.P. (TYP.)  
 98. 100' SETBACK FROM P.V.P. (TYP.)  
 99. 100' SETBACK FROM P.V.P. (TYP.)  
 100. 100' SETBACK FROM P.V.P. (TYP.)





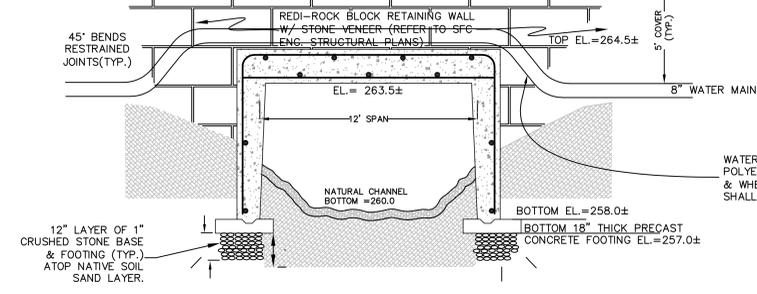
TYPICAL ROADWAY CROSS SECTION FOR SUBDIVISION SINGLE FAMILY LOTS  
NOT TO SCALE

**BOX CULVERT DESIGN NOTES**

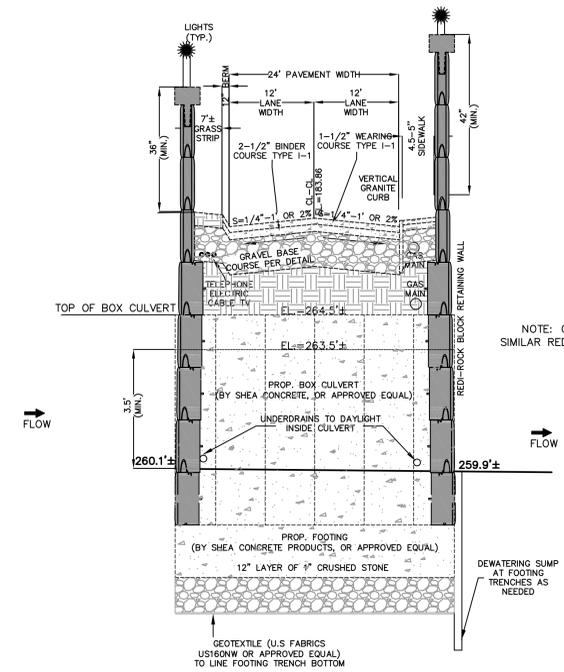
1. STRUCTURAL ENGINEERED PLANS & DETAILS TO BE PROVIDED PRIOR TO CONSTRUCTION
2. ALL UNSUITABLE MATERIAL SUCH AS ORGANIC LAYERS SHALL BE REMOVED BENEATH FOOTING.
3. BOX CULVERT CALCULATIONS PER MASSACHUSETTS STREAM CROSSING GUIDELINES;

OPENNESS RATIO = (CROSS SECTIONAL AREA) / LENGTH = > 0.82  
 = (3.5' x 12') / 45' = 0.93

MIN. SPAN = 1.2 X BANKFULL WIDTH = 1.2 X 10' = 12'  
 \*BANKFULL WIDTH TO BE CONFIRMED

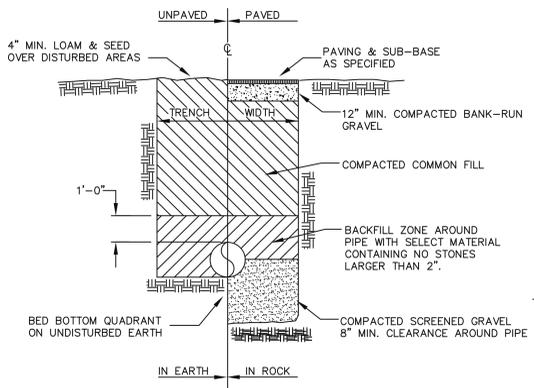


12'W X 45'L 3-SIDED BOX CULVERT AT EAST ROAD A STATION 8+00± DETAIL  
NOT TO SCALE

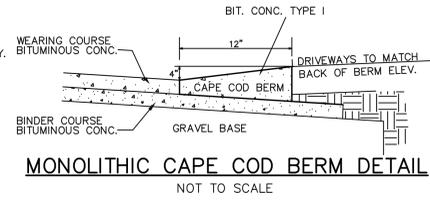


BOX CULVERT & RETAINING WALL DETAIL EAST SIDE ROAD A STA 8+00  
NOT TO SCALE

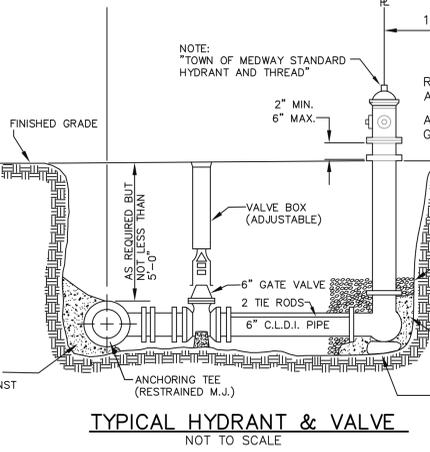
- NOTE:
1. TRENCH SHALL BE A MIN. OF 3' IN WIDTH PER TOWN OF MEDWAY STANDARDS.
  2. TRENCH SHALL BE 5' MAX. DEPTH FOR STEEP SIDED SECTION
  3. TRENCH SHALL BE PROVIDED WITH 6" MIN. CRUSHED STONE BEDDING PER TOWN OF MEDWAY.



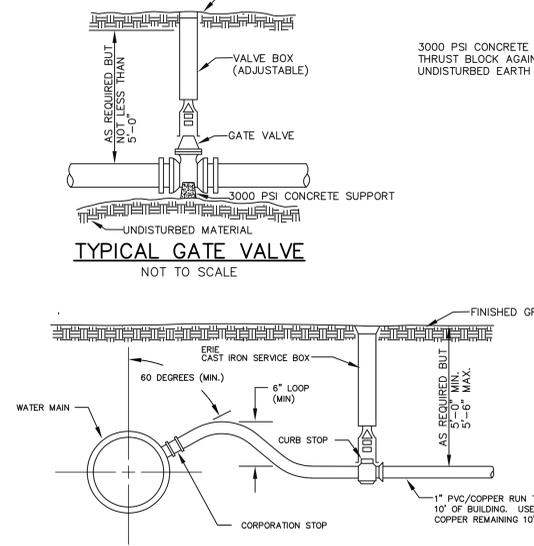
WATER TRENCH  
NOT TO SCALE



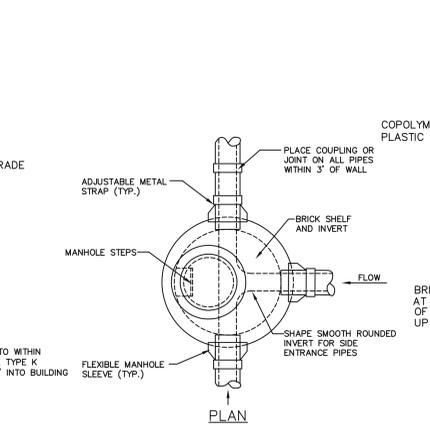
MONOLITHIC CAPE COD BERM DETAIL  
NOT TO SCALE



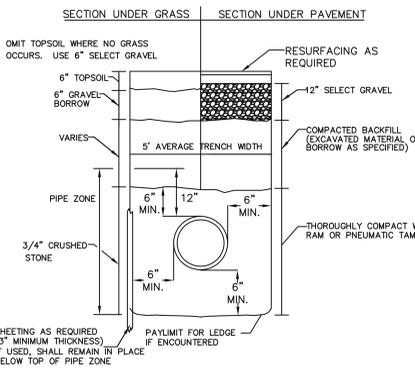
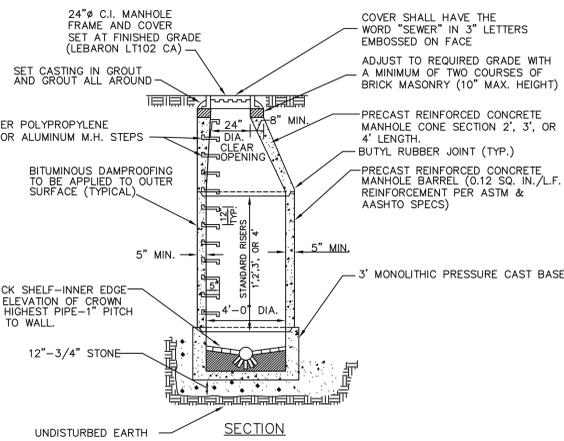
TYPICAL HYDRANT & VALVE  
NOT TO SCALE



TYPICAL PERMANENT WATER SERVICE CONNECTION  
NOT TO SCALE



STANDARD SEWER MANHOLE SECTION  
NOT TO SCALE



TYPICAL SEWER TRENCH DETAIL  
NOT TO SCALE

**WATER AND SEWER NOTES:**

1. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF MEDWAY WATER/SEWER DEPARTMENT RULES & REGULATIONS.
2. SEWER MAINS SHALL BE CLEANED AND TESTED BEFORE ACCEPTANCE. SOIL, CONSTRUCTION DEBRIS, AND OTHER MATERIALS SHALL BE PREVENTED FROM ENTERING THE SYSTEM.
3. WATER MAINS SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS, AND SHALL BE INSTALLED WITH A VERTICAL SEPARATION OF 18" ABOVE THE SEWER.
4. IF THE 10' HORIZONTAL SEPARATION CANNOT BE MET, THEN THE WATER AND SEWER MUST BE LAID IN SEPARATE TRENCHES.
5. IF A SEWER MUST CROSS ABOVE A WATER MAIN, THEN BOTH LINES SHALL BE DUCTILE IRON WITH MECHANICAL JOINTS AND SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10' MINIMUM BEYOND THE CROSSING. BOTH LINES SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS.
6. IF A SEWER MUST CROSS ABOVE A WATER SERVICE, THEN THE SEWER MAIN SHALL BE DUCTILE IRON WITH MECHANICAL JOINTS, AND BOTH LINES SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10' MINIMUM BEYOND THE CROSSING.

REVISIONS		
NO.	DATE	DESCRIPTION

**OWNERS**  
 WICKETT DEVELOPMENT INC.  
 38746 CLINTON AVENUE  
 DADE CITY, FL 33525  
 ASSESSORS MAP 8, LOT 16 & MAP 9, LOT 58

HENRY L. WICKETT  
 38746 CLINTON AVENUE  
 DADE CITY, FL 33525  
 ASSESSORS MAP 8, LOTS 19 & 20, ASSESSORS MAP 9, LOT 6

HENRY L. WICKETT & HENRY L. WICKETT JR.  
 38746 CLINTON AVENUE  
 DADE CITY, FL 33525  
 ASSESSORS MAP 14, LOT 5

NOVUS HOMES LLC.  
 400 FOXBORO BLVD. UNIT 8306  
 FOXBOROUGH, MA 02035  
 ASSESSORS MAP 14, LOT 20

TIMBER CREST ESTATES LLC  
 C/O MOUNIR TAYARA  
 135 MAIN STREET, SUITE 5  
 MEDWAY MA, 02053  
 ASSESSORS MAP 15, LOT 1

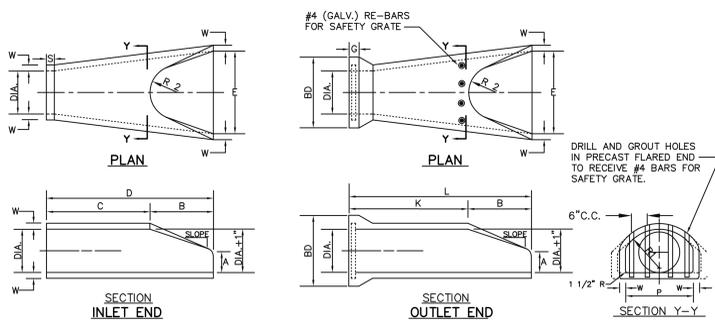
DOROTHY PAVLIK, ET AL  
 134 HOLLISTON STREET  
 MEDWAY, MA 02053  
 ASSESSORS MAP 15, LOT 19

**APPLICANT**  
 TIMBER CREST ESTATES LLC  
 c/o MOUNIR TAYARA  
 135 MAIN STREET, SUITE 5  
 MEDWAY MA, 02053

**DETAIL SHEET**  
**"TIMBER CREST ESTATES"**  
 OFF  
 WINTHROP STREET,  
 HOLLISTON STREET,  
 FAIRWAY LANE & FERN PATH  
 IN  
 MEDWAY MASSACHUSETTS

**Outback Engineering**  
 Incorporated  
 165 EAST GROVE STREET  
 MIDDLEBOROUGH, MA 02346  
 TEL: (508)-946-9231  
 FAX: (508)-947-8873  
 www.outback-eng.com

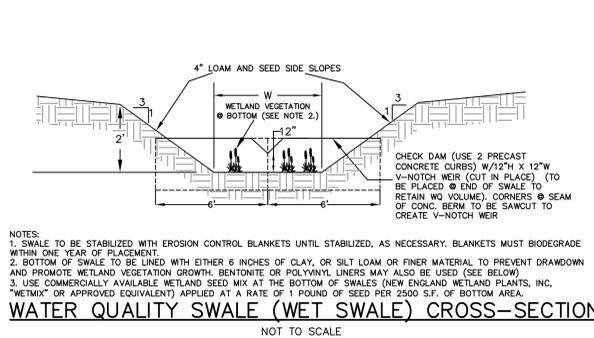
DATE: AUGUST 26, 2016  
 DRAWN BY: CJV CHECKED BY: JAP  
 SCALE: SHEET 8 OF 9



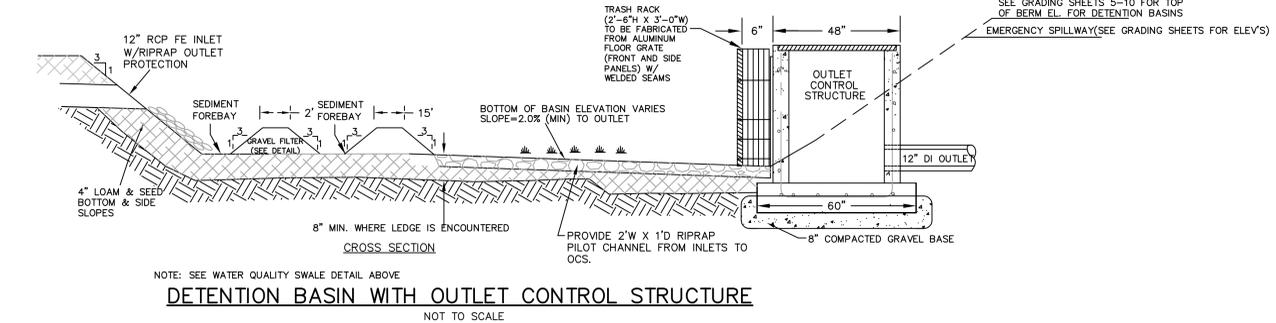
DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. + 1"	R1	R2	S	G	SLOPE
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-6 1/8"	6'-6 1/8"	19 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-6 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	3'-0 1/2"	6'-8"	33 3/16"	25"	16 13/16"	14"	4"	3"	3:1

NOTE: ALL FLARED ENDS MUST BE RCP (ADS FLARED END ARE NOT ALLOWED)

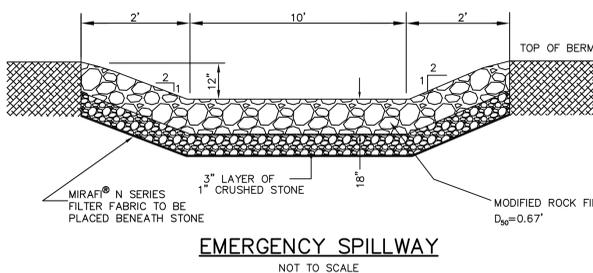
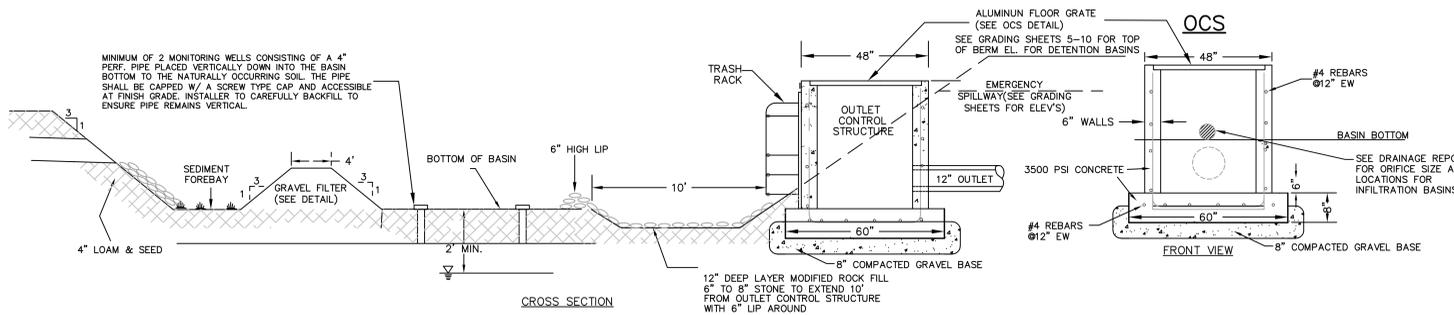
**REINFORCED CONCRETE PIPE FLARED ENDS FOR BELL AND SPIGOT PIPE**



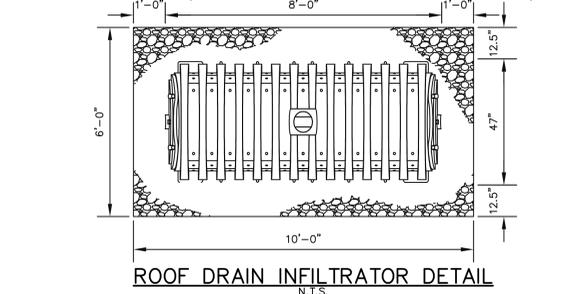
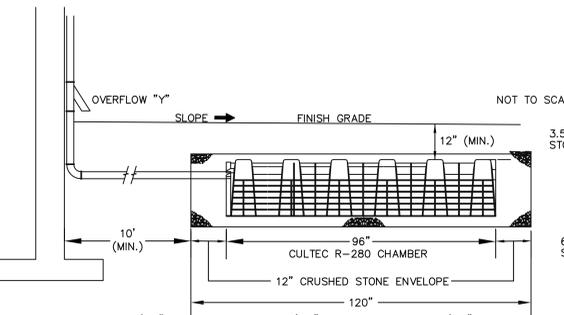
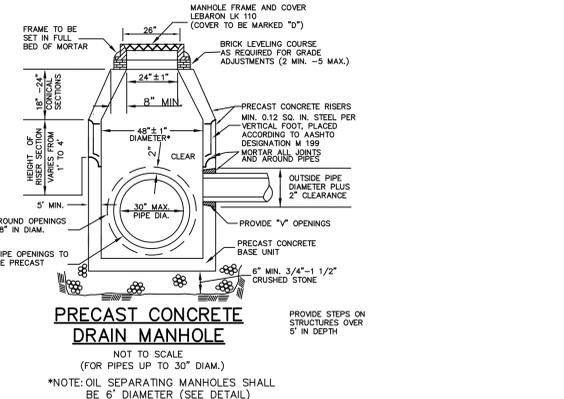
NOTES:  
 1. SWALE TO BE STABILIZED WITH EROSION CONTROL BLANKETS UNTIL STABILIZED, AS NECESSARY. BLANKETS MUST BIODEGRADE WITHIN ONE YEAR OF PLACEMENT.  
 2. BOTTOM OF SWALE TO BE LINED WITH EITHER 6 INCHES OF CLAY, OR SILT LOAM OR FINER MATERIAL TO PREVENT DRAINAGE AND PROMOTE WETLAND VEGETATION GROWTH. BENTONITE OR POLYVINYL LINERS MAY ALSO BE USED (SEE BELOW).  
 3. USE COMMERCIALY AVAILABLE WETLAND SEED MIX AT THE BOTTOM OF SWALES (NEW ENGLAND WETLAND PLANTS, INC. "WETMIX" OR APPROVED EQUIVALENT) APPLIED AT A RATE OF 1 POUND OF SEED PER 2500 S.F. OF BOTTOM AREA.



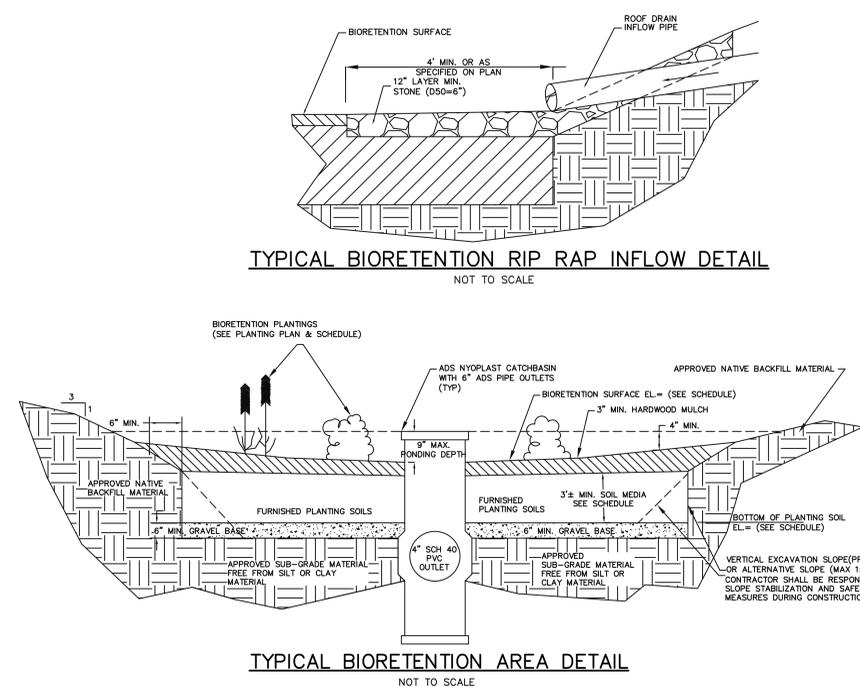
NOTE: SEE WATER QUALITY SWALE DETAIL ABOVE



**SPILLWAY NOTES:**  
 1. A WELL GRADED MIXTURE OF ROCK SIZES SHALL BE USED FOR THE STONE. FIFTY PERCENT BY WEIGHT OF THE STONE MIXTURE SHALL BE SMALLER THAN THE MEDIAN SIZE STONE (d50). THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE d50 SIZE (12").  
 2. STONES FOR RIP RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHALL BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL NOT BE LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP.  
 3. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES.  
 4. VOIDS IN THE ROCK RIP RAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.



NOTES:  
 1. CULTEC R-280 CHAMBERS TO BE INSTALLED PER THIS DETAIL AND MANUFACTURER'S SPECIFICATIONS.  
 2. ROOF DRAIN SYSTEMS TO BE INSTALLED TO CAPTURE REAR ROOF AREAS AT LOTS 19-28 AND LOTS 35-48 AND ALL CONDOMINIUM UNITS.



**REVISIONS**

NO.	DATE	DESCRIPTION

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 38746 CLINTON AVENUE  
 DADE CITY, FL 33525  
 ASSESSORS MAP 8, LOT 16 & MAP 9, LOT 58

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 400 FOXBORO BLVD. UNIT 8306  
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 ASSESSORS MAP 14, LOT 20

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 C/O MOUNIR TAYARA  
 135 MAIN STREET, SUITE 5  
 MEDWAY MA, 02053  
 ASSESSORS MAP 15, LOT 1  
 ASSESSORS MAP 9, LOT 51

DOROTHY PAVLIK, ET AL  
 134 HOLLISTON STREET  
 MEDWAY, MA 02053  
 ASSESSORS MAP 15, LOT 19

**APPLICANT**  
 TIMBER CREST ESTATES LLC  
 c/o MOUNIR TAYARA  
 135 MAIN STREET, SUITE 5  
 MEDWAY MA, 02053

**DETAIL SHEET "TIMBER CREST ESTATES" OFF WINTHROP STREET, OHLSON CIRCLE, HOLLISTON STREET, FAIRWAY LANE & FERN PATH IN MEDWAY MASSACHUSETTS**

**Outback Engineering Incorporated**

165 EAST GROVE STREET  
 MIDDLEBOROUGH, MA 02346  
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 SCALE: SHEET 9 OF 9

OE-2765