



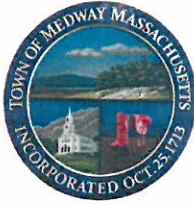
September 5, 2017

**Medway Planning & Economic Development Board
Meeting**

Oakland Park Site Plan Public Hearing

- Public Hearing Notice
- Project Description
- Site Plan Application
- Site Plan
- Requests for Waivers
- Development Impact Report
- Cost Estimates
- Public Survey Results
- PGC Review Comments dated 8-29-17
- Tetra Tech Review Comments dated 8-31-17

Note – The Board of Selectmen will be attending the hearing.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053



Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

August 17, 2017

Town of Medway – Oakland Park Improvements Site Plan
NOTICE OF PUBLIC HEARING
Tuesday, September 5, 2017

In accordance with the Medway Zoning Bylaw, Section 3.5 Site Plan Review, and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will conduct a Public Hearing on Tuesday, September 5, 2017 at 7:45 p.m. in the Presentation Room at the Medway Middle School, 45 Holliston Street, Medway, MA to consider the application of the Town of Medway for approval of a major site plan for various improvements at Oakland Park.***

The subject site's property addresses are 76 and 82 Oakland Street. Combined, the area is 15 acres in size. The site is bounded by Oakland Street on the west, by 70 Oakland Street and OR Oakland Street to the south, OR Oakland Street and OR Oakview Circle to the east (owned by the U.S. Army Corps of Engineers), and on the north by 2, 4, 6, 8, 10, 12 & 14 Oakview Circle. The properties, shown on the Medway Assessors Map as Parcels #42-057 and #42-058, are owned by the Town of Medway and include the Senior Center and existing Oakland Park playground, parking lot and sports fields.

The proposed project includes the renovation and reorganizing of the parking, traffic circulation, playground area and other non-athletic portions of Oakland Park. The plan shows a new area with varied and age appropriate playground spaces, a wood pavilion, a prefabricated building to house bathrooms and office/storage facilities, ornamental fencing, seating/benches and gathering areas, an entry plaza, a drop off-pick up area, landscaping, reconfiguration and expansion of parking, stormwater drainage facilities, bicycle parking, site lighting, lighted pathway between the Senior Center and Oakland Park parking lot, and a separate entrance from Oakland Street to the Senior Center. The plan is titled *Site Plan Submission: Improvements to Oakland Park*, is dated August 17, 2017, and was prepared by CBA Landscape Architects, LLC of Cambridge, MA and Samiotes Consultants, Inc. of Framingham, MA.

The application, proposed site plan, stormwater report and other supporting documents were filed with the Town on August 17, 2017 and are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed Monday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans and application documents will be available for viewing at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the plans, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. All comments will be entered into the record during the public hearing. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

To be published in the *Milford Daily News*:

Tuesday, August 22, 2017

Monday, August 28, 2017

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Board of Parks Commissioners, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.

Project Description – Improvements to Oakland Park

Project Background

Building on the Town of Medway's *Parks, Recreation, and Athletic Fields Master Plan* prepared by Gale Associates for the Town in 2013 and its addendum in 2016 (henceforth the Gale Assoc. Study), the Town's Evaluation of Parks, Fields, and Recreational Areas Committee (henceforth EPFRAC) requested design and project management qualifications from landscape architectural firms for work at Choate Park, Cassidy Fields, Oakland Park, and the Medway Middle School. CBA Landscape Architects LLC and our subconsultant team were selected from the competitive firms.

The scope of work in the Request for Proposals was to provide a public input and feedback process, develop and evaluate Master Plan Alternatives with EPFRAC and the public, settle on a consensus Schematic Master Plan for each of the sites, and pursue Community Preservation Committee (CPC) and Board of Selectmen (BoS) approval for the desired alternatives. Subsequent to that approval, CBA's contract was then extended to cover Construction Documents and Permitting. Assuming a successful bid process and Town Meeting approval of the project, the Town anticipates extending CBA's contract again to include Construction Administration services for those parks which are to be constructed.

CBA led an extensive public and Committee meeting process that began with an initial public forum (held at Sanford Hall on 12/7/16) followed by an online survey to confirm, update, and refine the community consensus on Goals and Objectives laid out in the Gale Assoc. Study and the approval by CPC and BoS of design funding. PDFs of the survey questions and the response tallies are included in the Site Plan Application as supplemental information.

The survey received 427 responses from the public and, together with the initial public meeting, provided a general consensus that EPFRAC and CBA used to refine initial Schematic Design Alternatives that were presented to the public at a subsequent public meeting held at Thayer House on January 5th, 2017. Based on feedback at that meeting and further discussion with EPFRAC, Preliminary Preferred Master Plans for each of the three target sites were presented to the public at a final public meeting, again held at Thayer House on January 26th. At that third meeting, there was a public discussion of priorities for Phase One construction at each site. Based on the input and feedback, and with the collaboration of EPFRAC, CBA prepared a final Recommended Master Plan, Recommended Phase One Plan, and accompanying cost estimates for each site. These recommendations were presented at a joint hearing of the BoS and the CPC. All public meetings (including the joint hearing) were quite well attended and sparked lively discussions of the alternatives being considered.

The consensus plan developed by CBA through the public process for Oakland Park, endorsed by EPFRAC, and approved by the BoS and CPC at the joint hearing to proceed with detailed design, is represented in this application for Site Plan Review.

Overview of Work and Project Timetable

The proposed project renovates and reorganizes the parking, circulation, playground area, and other non-athletic portions of Oakland Park to create a more efficient and cohesive core. Other than an expansion to the field closest to Oakland Street due to the relocation of the playground, the athletic fields and the basketball court remain unchanged. The existing small storage building (formerly a concession stand) will be removed, to be replaced with a prefabricated wood bathroom and office/storage structure (with the potential to be used as a concessions stand in the future). A new octagonal wood pavilion will be constructed for public use. The playground will be thoroughly redesigned and reconfigured in a new location, with new equipment in separate zones for ages 5-12 and 2-5; an ornamental fence; seating and gathering areas; rubber safety surfacing under the equipment; an entry plaza; and tree plantings for shade. The existing parking area will be reconfigured for safety and clarity of circulation, and expanded to increase the total parking available to both Oakland Park and the Senior Center. The drainage for the parking lot will be directed through a surface rain garden. A separate one-way entrance drive serving the Senior Center is also proposed (but may be constructed separately) to help clarify circulation and provide a separate sense of arrival for both the Senior Center and the park. All existing park signage and memorial features will be either protected in place or relocated to appropriate locations as shown on the plans. New lighting is provided throughout the core area of Oakland Park and the reconfigured parking lots as shown on the Drawings.

The relationship between the Park and the Senior Center was a primary concern in the development of the site plan. Care has been taken to ensure that there is a net increase in parking within a short walkable distance of the Senior Center main entrance. Informal gravel parking areas have been replaced with formal paved parking allowing more consistent grading, and a new paved and lighted pedestrian connection has been created along the former central driveway connection. The project will also provide adequate facilities to the park to enable Camp Sunshine's program to function more independently of the Senior Center facilities; currently the Camp uses the Senior Center's bathrooms and part of the parking lot.

The Town has requested to receive bids from contractors and select an apparent qualified low bidder by the end of October 2017, to facilitate funding approval at November Town Meeting. To that end, CBA will prepare a complete bid package by Monday, October 2, 2017. Should any further alteration of the plans result due to discussions with the PEDB, DRC, or ConComm after the bid set is issued, they will be handled by Addendum during the bid period or, if necessary, by change order after a contract is executed. The Applicant's goal is to have the Site Plan Review process substantially completed before bidding so that any late-process required changes are minimal. The expected bid period is three (3) calendar weeks, finishing the week of October 23rd. Assuming that funding is approved at Town Meeting, a contract will be executed with the selected contractor.

The expectation is that site work will start in earnest as early as weather permits in the Spring of 2018. Sitework is expected to continue through Summer 2018 and be complete in the fall except for planting warranty and replacements which may extend into spring 2019.

Site Use Narrative

(Uses, intended users, expected occupants, methods and hours)

The site is designed for recreational use by Town residents and out-of-town visitors of all ages, with particular attention paid to its current heavy use for youth soccer programs. The pavilion may also be permitted individually for special events as appropriate to a municipally-owned facility. There is currently one summer day camp program, Camp Sunshine, which uses the park during the summer months; the park renovations proposed will enable the Camp to operate more independently of the Senior Center.

The Town's standard hours of park operation are 7 AM to 10PM for lighted parks, or 7AM to dusk for unlighted parks, except in the case of special events. The Senior Center, with which the Park shares parking, often holds events into the evening at all seasons. For the purposes of Site Plan Review the Town would request the Planning Board to consider the full potential hours of operation as 7AM to dusk for the park, and the parking lot lighting to extend after dusk on evenings when there is an event at the Senior Center. Public Safety has also expressed an interest in keeping the parking lot at a low lighting level to discourage illicit use even after hours.

The new bathroom / office building will be connected to the existing Town sewer system in Oakland Street. The bathroom structures may be opened and closed in a similar fashion to those at Choate Park, where remote or automatic unlocking for the bathroom is possible; alternately, they may be opened for specific pre-permitted uses of the park but not generally open. The Town has not yet made a formal determination of how to operate the bathrooms.

Operations and maintenance of the park will be conducted primarily by the Town's Department of Public Services.

Snow removal is expected to be limited to the parking areas and the sidewalk connecting the parking areas to the Senior Center where winter use is anticipated, achieved through the use of snowplows on the parking areas to the indicated snow removal areas, and sidewalk plows on the walkway needed for connections. Snow removal from the boardwalk over the rain garden in the median will be by hand shoveling if performed.

Trash and recycling will be consolidated from the receptacles by DPS staff as needed and stored in the existing dumpster at the Senior Center, from which the trash is collected by WasteManagement under contract with the Town.

The Department of Public Services has reviewed the plans to confirm that the proposed pathways are suitable for their needs, and allow them to access the required areas of the site.

Operations and maintenance issues specific to the stormwater management system are included separately as part of the Stormwater Narrative.

Parking Bylaw Conformance

The proposed project replaces a main asphalt parking area of approximately 40 spaces; a gravel drive and secondary parking area of approximately 20 spaces; and the far asphalt driveway and parking area of approximately 13 spaces with a more formalized parking layout providing a total of 104 spaces. The existing parking primarily dedicated to the Senior Center is unchanged other than the loss of 1 space (to a new total of 31) to provide clearer circulation where indicated; the rest of the Senior Center parking is outside the scope of the proposed work except in terms of addressing its stormwater impacts. The intent is to be in compliance with the Zoning Bylaw 7.1.1, and to fulfill the goals of 7.1.1.A, Purposes, to the extent applicable to the site.

The Zoning Bylaw Section 7.1.1.D Table 3 does not include a comparable function to a municipal park. Based on the Town's observations to date, the existing parking quantities at the park are adequate for most use of the park, though at peak soccer events the lots do fill up; increased parking will help alleviate this. For the Senior Center itself, the most applicable standard in Table 3 seems to be 1 space per 300 square feet; the building area is approximately 7500 square feet, which would require 25 spaces; the existing lot contains 32. However, during occasional meetings or events visitors often park in the shared gravel lot, and extend to the park's existing lot as well. To that end, the project's goal is to increase the parking available, including increasing the parking proximate to the Senior Center, to the greatest extent feasible under the constraints set by the site's physical characteristics and regulatory limits, rather than to achieve a specific parking number.

All parking spaces are designed in compliance with the Dimensional Standards in 7.1.1.E.3 as documented on the Site Plans included in the application. Of the 104 parking spaces proposed in the new lot, 3 are ADAAG-compliant "Van" spaces (8'x18' with an 8' minimum aisle) and 2 "Standard" ADAAG spaces (8'x18' with 5' aisle) with the required signage and striping, and 2 (2%) are Small Vehicle Spaces. (Taking into account the Senior Center parking lot remaining unchanged, the total is 135 spaces with 10 ADA spaces.)

All parking areas are paved with bituminous concrete. Stormwater management is documented in the Stormwater Narrative included in the Application. Vehicles are not required to back into a public way. The connection between the two main bays of parking provides a drop-off and pick-up area also designed with the turning radius of a standard school bus and fire protection equipment in mind, with a 25' inside radius. The parking lot is curbed with vertical granite curbing (6" except at accessible curbcuts) at all edges which abut a pedestrian sidewalk, but is proposed as un-curbed along the other edges to promote free drainage into the rain garden area and other drainage patterns. (None of the existing parking is curbed.)

There are currently no public sidewalks along this portion of Oakland Street, so pedestrian traffic into the site from public ways is not expected. (At such time as the Town extends the sidewalk on Oakland to the street, the park's Master Plan provides for a pedestrian connection to that sidewalk.) Pedestrian traffic within the site from the parking areas is connected by walkways along the non-wooded sides of the lot to the core of the park, and a striped

pedestrian crossing with a boardwalk bridge over the rain garden is provided to connect the secondary bay of parking to the far sidewalk. The same striped crossing connects to a pedestrian-only pathway (along the current “middle” driveway's route) to the Senior Center. Bicycle Parking is provided near the core area of the site, with eight (8) two-point “U” racks for sixteen (16) bicycles (1:8 rather than the required 1:20).

Parking spaces are not within 15' of the front, side, or rear property lines, and no vehicle backing out of a space will impede traffic within 50' of either the existing or the new proposed connection point to Oakland Street.

Lighting Bylaw Conformance

The proposed project adds new LED post lighting to the parking areas and the core built area of the park, using the post type, mounting height, and light fixture previously used at the Town's Thayer House project (with the exception that the Oakland lights will have a black powdercoat finish rather than silvery-gray, and that 3000K color temperature LEDs will be used). The lighting on the existing Senior Center parking lot is unchanged.

The Zoning Bylaw for Lighting, 7.1.2.D, requests a lighting plan with the listed information as part of the application. Those lighting plans and associated cut sheets and other information are included in the Site Plan drawing set as Sheets L8.0.

7.1.2.E presents the Standards for Control of Glare and Light Trespass. The proposed plan meets all these Standards. The lighted area is located in the center of the site, therefore there are no light levels of greater than 0.01 foot candles at the property lines abutting residential properties, as shown on the Photometric plan. The individual site lighting luminaires are rated at 1805 Lumens; 7.1.2.E.2 is therefore not applicable to these fixtures, though a top side shade has been included to greatly reduce upward glare as well. The lighting under the pavilion canopy is rated at 3600 lumens, but is not visible above a horizontal plane located at the bottom of the roof edge and thus in compliance with E.2. Wall-mounted lighting at the doors on the restroom structure is still being selected; a fixture over 1800 lumens is likely necessary but any proposed fixture will be designed so that no lighting is directed above a horizontal plane from the lowest light-emitting part of the fixture. The average illuminance on the ground is 0.11 fc, satisfying 3.b and 4. The Town proposes to limit the hours of lighting for those areas not needed for safety and security to the park's hours of operation, which are from 7AM to 10PM except during special events that require extended hours.

No Special Permit is requested under 7.1.2.F.

The Site Lighting is also in compliance with the Design Review Guidelines – lighting is generally downward-directed; minimizes glare and spillage; is integrated with the palette of the other major parks in Town and in keeping with the site's character; takes into account multiple users and approaches; and highlights the featured pavilion with a different character of lighting than the remainder of the site lighting.

Design Review Guidelines Conformance

The proposed project has been designed with the intent of compliance with the applicable portions of the Design Review Guidelines, specifically those elements in the Residential Zone section applicable to projects that are not multi-family residential developments. Specifically, the project aims to complement the Town's New England village character as outlined.

The Site Composition clusters the active uses and major structures in an organized park center, leaving a compact footprint for the main development that is centrally located and relates to the active recreation fields surrounding it. The main octagonal feature pavilion has been sited so as to place it as the focal element upon the arrival at the main entry, and located in an area that is primarily clear of mature trees at present. The more functional bathroom / office structure has been designed to be secondary in massing and placement, and is located back behind the playground and pavilion, visually buffered by mature trees.

The Guidelines' standards for Building Orientation primarily apply to large-scale residential development and are difficult to apply to a municipal park design. However, attention has been given to the relationship between the new pavilion, the bathroom building, the playground, and the fields.

Site access and vehicular circulation have been clarified and streamlined by providing consistent-width vehicular aisles and a clear layout. The proposed one-way entrance drive dedicated to the Senior Center will further clarify and organize circulation. Pedestrian connections from the new parking areas, and between the Senior Center and the park, have also been clarified and organized to safely convey visitors to the core uses of the park site or the main doors of the Senior Center as appropriate.

The park provides a complete path network for foot traffic promoting pedestrian circulation within the site and between the park and Senior Center. Bicycle parking is provided in the core area to encourage bike use in accessing the Park, and the layout of the vehicular parking areas has been designed for efficiency.

Parking is convenient to the site entry, compact, and located so that it does not impact the park visitor's experience once they have arrived at the park, with a framed view upon entry of the new pavilion. The parking is screened from Oakland Street and abutting properties by the existing vegetated edges, and partially screened from the Senior Center by the existing wooded area between the two parcels. The parking area contains a landscaped island featuring a rain garden and tree plantings to reduce the visual impact of the parking area.

The entirety of the park project is a creation of Town-wide shared open space. Connections to other Town open spaces are limited by the lack of a sidewalk along Oakland Street, but the existing nature trail leading off from the end of the Senior Center parking lot is preserved.

The site landscaping has been designed to be drought-tolerant, non-invasive, and primarily New England native; some appropriate and traditionally-used non-native plants have been included in areas such as planting beds particularly where site conditions warrant. Significant

mature trees have been protected wherever feasible, and new similar trees have been planted throughout the site. Landscaping is appropriate to the general character of a New England Town Center park, in type, scale, character, and massing.

The site amenities have been selected to complement the traditional “town park” character with an emphasis on durable materials, coordinated design, appropriate location, and integration into the overall site design, featuring recycled plastic timbers to accentuate the “woody” character. The park's play equipment has been selected with an eye towards creating a “treehouse” feel, appropriate to the park's setting under the trees.

Site lighting is described above in conjunction with the section on the Lighting Zoning Bylaw.

The proposed new architectural pavilion and bathroom structure have been selected by EPFRAC with input from some members of the Design Review Committee to highlight natural wood materials, have an appropriate scale to the intended function, and include architectural detailing appropriate for a New England village character. The buildings have been designed to reinforce the pedestrian scale.

No new signage is proposed at this time.

Mitigation Measures

To mitigate the visual impacts of expanding the parking area into portions of the wooded drainage basin, the project proposes to plant replacement trees and seed the slope with a conservation mix including native shrubs that will mature to visually filter the parking lot.

Despite all effort having been made to minimize removal and to plant additional trees where appropriate, the total caliper inches of trees greater than 18” in diameter at breast height (DBH) being removed is greater than that being proposed for addition. 35 new trees of 3” caliper are proposed for the site. See the attached Waiver Request Form Q regarding 205-9 F.

There are no areas of the site affected by the work which are under the jurisdiction of the Conservation Commission, therefore no conservation-specific mitigation is proposed. Stormwater improvements are proposed to improve water quality in the Groundwater Protection Overlay District, as described in the Stormwater Narrative.

No significant change in use is proposed, so no noise, odor, or traffic mitigation is proposed.

Project Cost Estimate

The attached cost estimate, prepared by CBA Landscape Architects LLC with the advice and input of our subconsultants, reflects our expectation of the likely costs of the project as currently designed and submitted to the Planning and Economic Development Board. The prior drafts of this estimate provided the basis for the funding request by EPFRAC to the Board of Selectmen and Community Preservation Committee, which has set the total budget for all three park renovations collectively, subject to a successful bidder and approval at Town Meeting in November 2017.



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

The Application is made pursuant to the Medway Zoning Bylaw and
The Board's Rules and Regulations for the Submission and Review of Site Plans.
The Town's Planning and Engineering Commission will review the Application and the proposed
Site Plan and provide review letters to the Planning and Economic Development Board.
A copy of these review letters will be provided to you in advance of the meeting.
You and/or your duly authorized Agent/Officer Representative are expected to attend the
Board meetings at which your Application will be considered to answer any questions and/or
submit such additional information as the Board may request.
Your attendance at these meetings may result in a change in the Board's review of the site plan.

August 17, 2017

APPLICANT INFORMATION

Applicant's Name: Town of Medway, Town Administrator's Office
Mailing Address: 155 Village Street
Medway, MA 02053
Name of Primary Contact: Michael Boynton, Town Administrator
Telephone: Office: 508-533-3264
Cell:
Email address: mboynton@townofmedway.org

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: Improvements to Oakland Park
Plan Title: Oakland Park, Site Improvements Plan
Plan Date: August 17, 2017
Prepared by: Denis J. Chagnon, ASLA CPSI
Name: CBA Landscape Architects LLC
Firm: 617-945-9760 x 2
Phone #: dj@cbaland.com
Email:

PROPERTY INFORMATION

Location Address: 76 Oakland Street

The land shown on the plan is shown on Medway Assessor's Map # 42 as Parcel # 057 & 058

Total Acreage of Land Area: 14.68 Ac

General Description of Property: The parcels consist of previously altered land to create flat areas for recreational use and parking, with woodland around the edges and on the sloped portion of the parcels toward the eastern end of the site. There is also an area of loosely wooded hillside separating the Senior Center (on 42-57) from the park site (on 42-58).

Medway Zoning District Classification: Agricultural / Residential I

Current Use of Property: The land is currently used as a Town Park, including playground, parking areas, basketball court, and soccer fields. A portion of 42-57 is home to the Senior Center and its parking areas. Some parking on 42-57 is shared between the two uses.

Length of Existing Frontage: 698.52' total On what street? Oakland Street

Setbacks for Existing Structure (if applicable)

	Storage Building:	Senior Center:
Front:	<u>262'</u>	<u>91'</u>
Back:	<u>712'</u>	<u>278'</u>
Side:	<u>117'</u>	<u>62'</u>
Side:	<u>213'</u>	<u>200'</u>

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

X Yes No If yes, please name street: Oakland Street

Historic District

Is any portion of this property located within a Medway National Register Historic District?

 Yes - Rabbit Hill
 Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? X Yes No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? X Yes No

Flood Plain

Is any portion of the property within a Designated Flood Plain? Yes X No

Zoning Board of Appeals

Will this project require a variance or special permit?

 Yes X No

Explanation: Recreational uses are permitted uses within A/R I zoning; all proposed structures comply with the Zoning regulations. Taken in aggregate, the impermeable area of the proposed project is below the 15% GPD threshold.

PROPOSED DEVELOPMENT PROJECT INFORMATIONDevelopment Name: Improvements to Oakland Park

A Major Site Plan is any commercial, industrial, institutional, multi-family, or municipal project which involves:

- a. New construction; or
- b. Alteration, reconstruction, or renovation work that will result in a change in the outside appearance of an existing building or premises, visible from a public or private street or way; or
- c. A change of use of a building or buildings or premises:

AND which includes one or more the following: (Please check all that apply.)

- ☐ New Construction - 2,500 or more sq. ft. of "gross floor area"
- ☐ New Construction - Construction of a new building or addition requiring 15 or more parking spaces
- ☐ Change in Use requiring the construction of 15 or more parking spaces
- ☒ Change in Parking Area - The construction, expansion, redesign or alteration of an existing parking area involving the addition of 15 or more new parking spaces
- ☐ Other - Any use or structure, or expansion thereof, exempt under MGL, c. 40A, s.3, but only if one or more of the above criteria is met.

PROPERTY OWNER INFORMATION (if not applicant)Property Owner's Name: applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: _____ to _____
dated _____ and recorded in Norfolk County Registry of Deeds,
Book _____ Page _____ or Land Court Certificate of Title Number _____,
Land Court Case Number _____, registered in the Norfolk County Land Registry District
Volume _____, Page _____.

CONSULTANT INFORMATION**ENGINEER:** Samiotes Consultants, Inc.Mailing Address: 20 A Street
Framingham, MA 01701Primary Contact: Andrew Truman, PETelephone: _____
Office: 508-877-6688 x 11 Cell: _____Email address: atruman@samiotes.comRegistered P.E. License #: #45505

SURVEYOR: CivilView, Inc. (Property boundary by Otte & Dwyer, Inc.)
Mailing Address: 30 River Street
Methuen, MA 01844
Primary Contact: Andrew Street, PE (Property Survey by David Dwyer, Otte & Dwyer)
Telephone:
Office: 978-416-0203 **Cell:** 857-205-8975
Email Address: astreet@civilviewinc.com
Registered P.L.S. License #: A. Street: PE # 48510 / D. Dwyer: PLS #46707

ARCHITECT: None (Pavilion and Bathroom are preengineered structures by manufacturer)
Mailing Address: _____

Primary Contact: _____
Telephone:
Office: _____
Cell: _____
Email address: _____
Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: CBA Landscape Architects LLC
Mailing Address: 24 Thorndike Street, 4th Floor
Cambridge, MA 02141
Primary Contact: Denis J. Chagnon, ASLA CPSI
Telephone:
Office: 617-945-9760 x 2
Cell: 617-935-3296
Email address: dj@cbaland.com
Registered Landscape Architect License #: MA # 1512

ATTORNEY: K-P Law, P.C.
Mailing Address: 101 Arch Street
Boston, MA 02110
Primary Contact: Barbara J. Saint-Andre
Telephone:
Office: 617-556-0007 **Cell:** not available
Email address: bsaintandre@k-plaw.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: Denis J. Chagnon, ASLA CPSI, CBA Landscape Architects LLC
Address: 24 Thorndike Street, 4th Floor
Cambridge, MA 02141
Telephone: Office: 617-945-9760 x 2 Cell: 617-935-3296
Email address: dj@cband.com

SIGNATURES

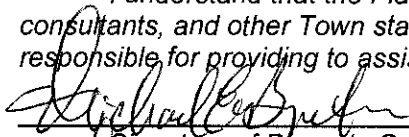
The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.


(If applicable, I hereby authorize Denis J. Chagnon to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)


In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.



Signature of Property Owner


Signature of Applicant (if other than Property Owner)


Signature of Agent/Official Representative

August 17, 2017

Date

8/17/17

Date

August 17, 2017

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. gross floor area = \$ 750 plus \$.25/sq. ft.
For projects of 5,000 - 9,999 sq. ft. gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 - 14,999 sq. ft. gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. gross floor area = \$1,000 deposit
For projects of 5,000 - 9,999 sq. ft. gross floor area = \$1,500 deposit
For projects of 10,000 - 14,999 sq. ft. gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN APPLICATION CHECKLIST

- X Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- 2 Ten (10) full size copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations*
- X One (1) ledger size (11" x 17") copy of the Site Plan
- X Electronic Version of the Site Plan and all associated application documents. Provide disk or flash drive or email.
- X Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- X One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include narrative on how the proposed project meets the requirements of the Medway Zoning Bylaw for parking (V. H) and exterior lighting (V. B. 6)
- X One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- X Request for Waivers from the *Medway Site Plan Rules and Regulations* - Form Q.
- X Two (2) copies of the *Stormwater Drainage Calculations/Report* prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations*
- n/a Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- n/a One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- X Proof of present or pending ownership of all land within the proposed development.
- n/a Major Site Plan Filing Fee – Payable to Town of Medway
- n/a Advance of Plan Review Fee – Payable to Town of Medway

IMPROVEMENTS TO: OAKLAND PARK

76 Oakland Street
Medway, Massachusetts

Assesor's Map/Lot: 42-058, 42-057,
Zoning District: Agricultural/Residential I

LIST OF REQUESTED WAIVERS

(See Form Q Sheets in Site Plan Review Application Packet)

204-3 A.7.a - Request for limited Traffic Impact Assessment
204-3 A.7.b - Request for limited Environmental Impact Assessment
204-5 C.1 and .2 - Request for waiver of survey 100' past property line
204-5 C.3, 204-5 D.7, and 205-9 F - Request for inventory of trees 18" + DBH in lieu of 10" + / 12" +
205-9 F part 2 - Request for acceptance of a lower ratio of tree replacement than 1" per 1" of DBH
205-3 C.1 and 205-6 H - Request to waive requirement for granite curbing where appropriate to the site development
205-3 D.4 - Request to defer sidewalk extension to the site, as the Town is considering extending the sidewalk separately.

DRAWING LIST

- L1.0 Site Context Plan
- L2.0 Illustrative Plan
- L3.0 Existing Conditions Plan
- L3.1 Existing Landscape Inventory & Removals
- L4.0 Site Improvements Plan
- L4.1 Site Improvements Plan Enlargement
- L5.0 Grading & Erosion Control Plan
- L6.0 Landscape Plan
- L6.1 Landscape Plan Enlargement
- L7.0 Architectural Plans - Building
- L7.1 Architectural Plans - Pavilion
- L8.0 Lighting / Photometric Plan
- L9.0 Details
- L9.1 Details
- L9.2 Details
- L9.3 Details
- L9.4 Details
- L9.5 Details
- L10.0 Play Equipment
- C1.1 Drainage & Utilities Plan
- C2.1 Stormwater & Utilities Details
- C2.2 Stormwater & Utilities Details

APPROVED BY MEDWAY BOARD OF SELECTMEN

APPROVED BY:

DATE: _____

Owner / Applicant:

Town Administrator's Office
155 Village Street
Medway, MA 02053

Project Team:

CBA | Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture | urban design | master planning



Samiotes Consultants Inc.
Civil Engineers + Land Surveyors

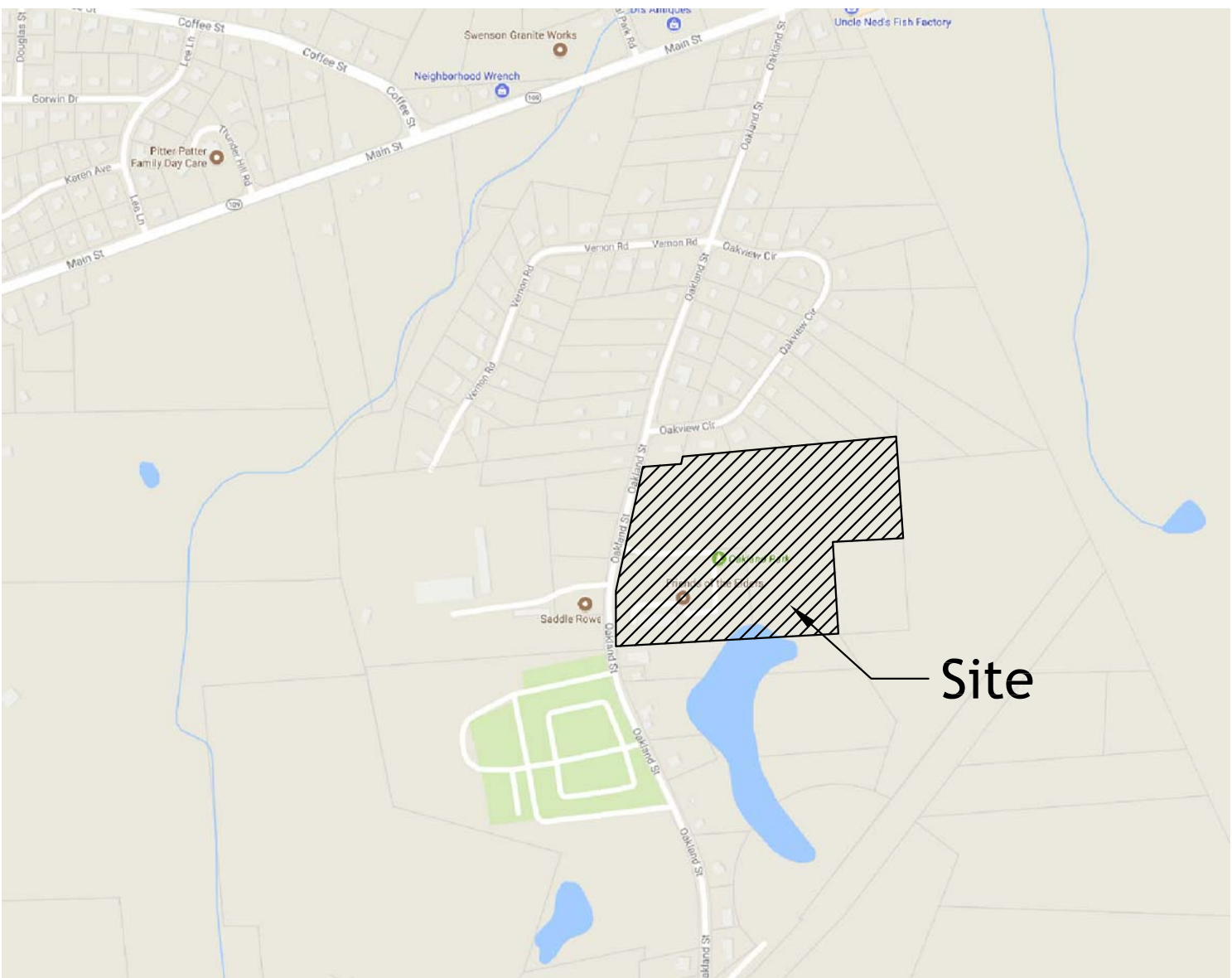
20 A Street
Framingham, MA 01701

T 508.877.6688
F 508.877.8349
www.samiotes.com



T
W
30 River Street
Methuen, MA 01844

978.416.0203
www.CivilVIEWInc.com

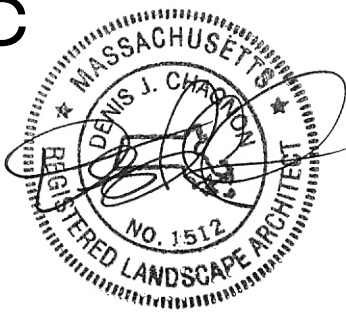


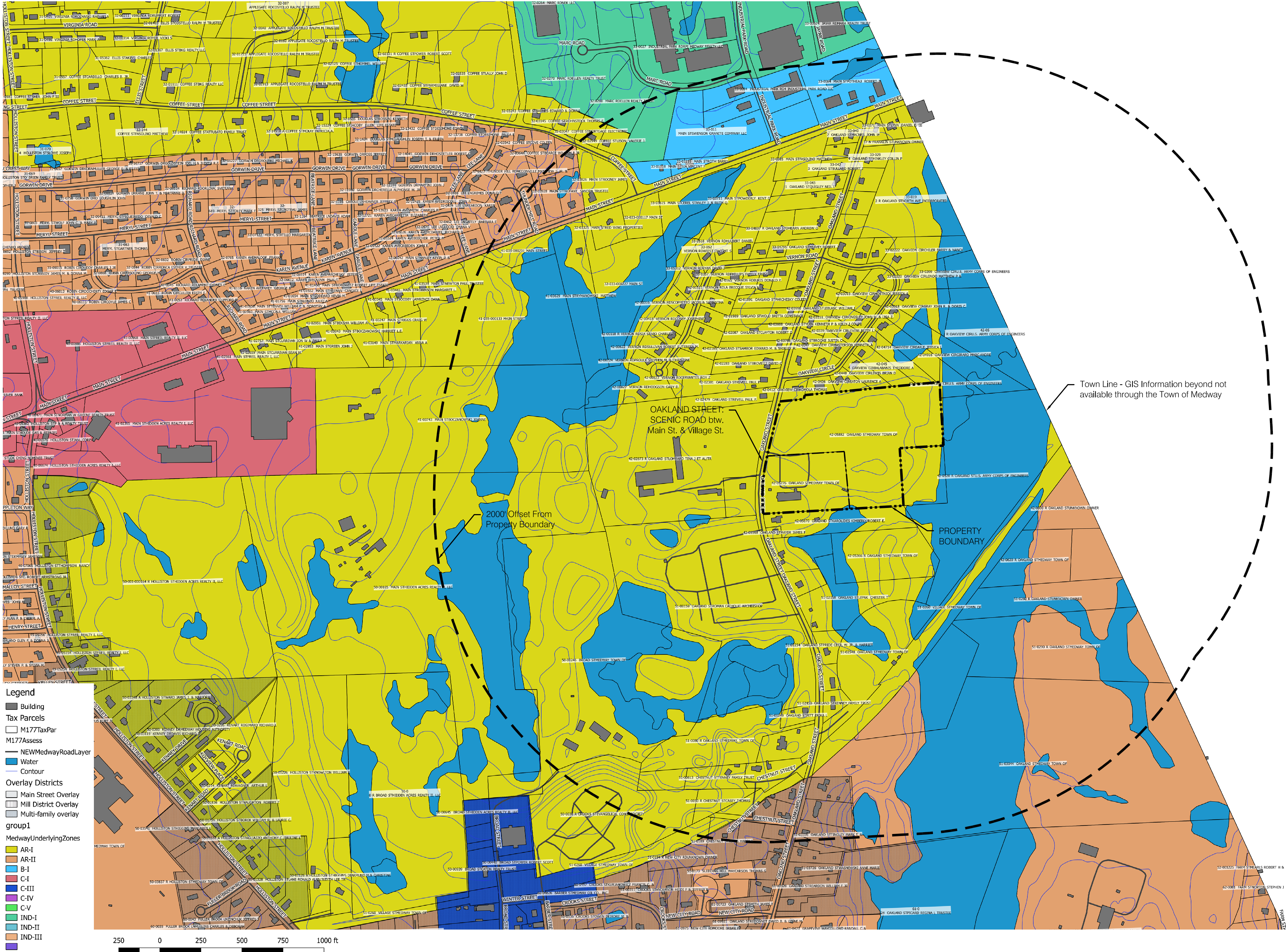
Locus Map
Not to Scale

Site Plan Submission - Aug. 17, 2017

Prepared by CBA Landscape Architects LLC

Revisions: None To Date

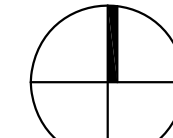




- Legend**
- Building
 - Tax Parcels
 - M177TaxPar
 - M177Assess
 - NEWMedwayRoadLayer
 - Water
 - Contour
 - Overlay Districts
 - Main Street Overlay
 - Mill District Overlay
 - Multi-family overlay
 - group1
 - MedwayUnderlyingZones
 - AR-I
 - AR-II
 - B-I
 - C-I
 - C-II
 - C-III
 - C-IV
 - C-V
 - IND-I
 - IND-II
 - IND-III



FOR PERMIT ONLY



IMPROVEMENTS TO: OAKLAND PARK

Site Plan Submission
SITE CONTEXT SHEET

DATE: 08-17-2017
SCALE: 1" = 300'-0"
FILE: OAK_PERMITTING_L1.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



L1.0



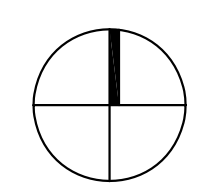
IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
ILLUSTRATIVE PLAN

DATE:	08-17-2017
SCALE:	N.T.S.
FILE:	OAK PERMITTING L2.dwg
DWN BY:	PAH
CKD BY:	DJC
PROJ. #:	1612B



L2.0

FOR PERMIT ONLY



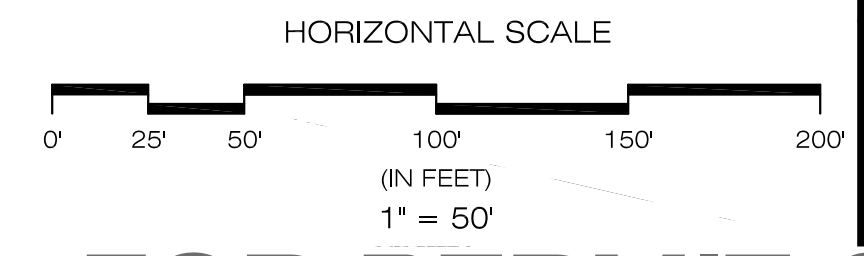


LOCUS MAP
(SCALE: 1:1,000)

LEGEND

NOTE
For Existing Landscape Inventory, See L3.1

N/E
U.S. ARMY CORPS
OF ENGINEERS
658 VIRGINIA RD
CONCORD, MA 01742
(42-53)



DATE	DESCRIPTION
REVISIONS	
CLIENT:	
CBA LANDSCAPE ARCHITECTS, LLC 24 THORNDIKE STREET CAMBRIDGE, MA 02141	
PROJECT:	
OAKLAND STREET PARK MEDWAY, MA 02053	
DATE ISSUED:	JULY 12, 2017
PROJECT #:	16-09001
PREPARED BY:	AKG
PROFESSIONAL ENGINEER FOR CIVILVIEW, INC.	
30 River Street Medford, MA 01944 Tel: (978) 414-0209 www.Civilviewinc.com	
DRAWING TITLE:	
EXISTING CONDITIONS PLAN	
DRAWING #:	

EC

FOR PERMIT ONLY

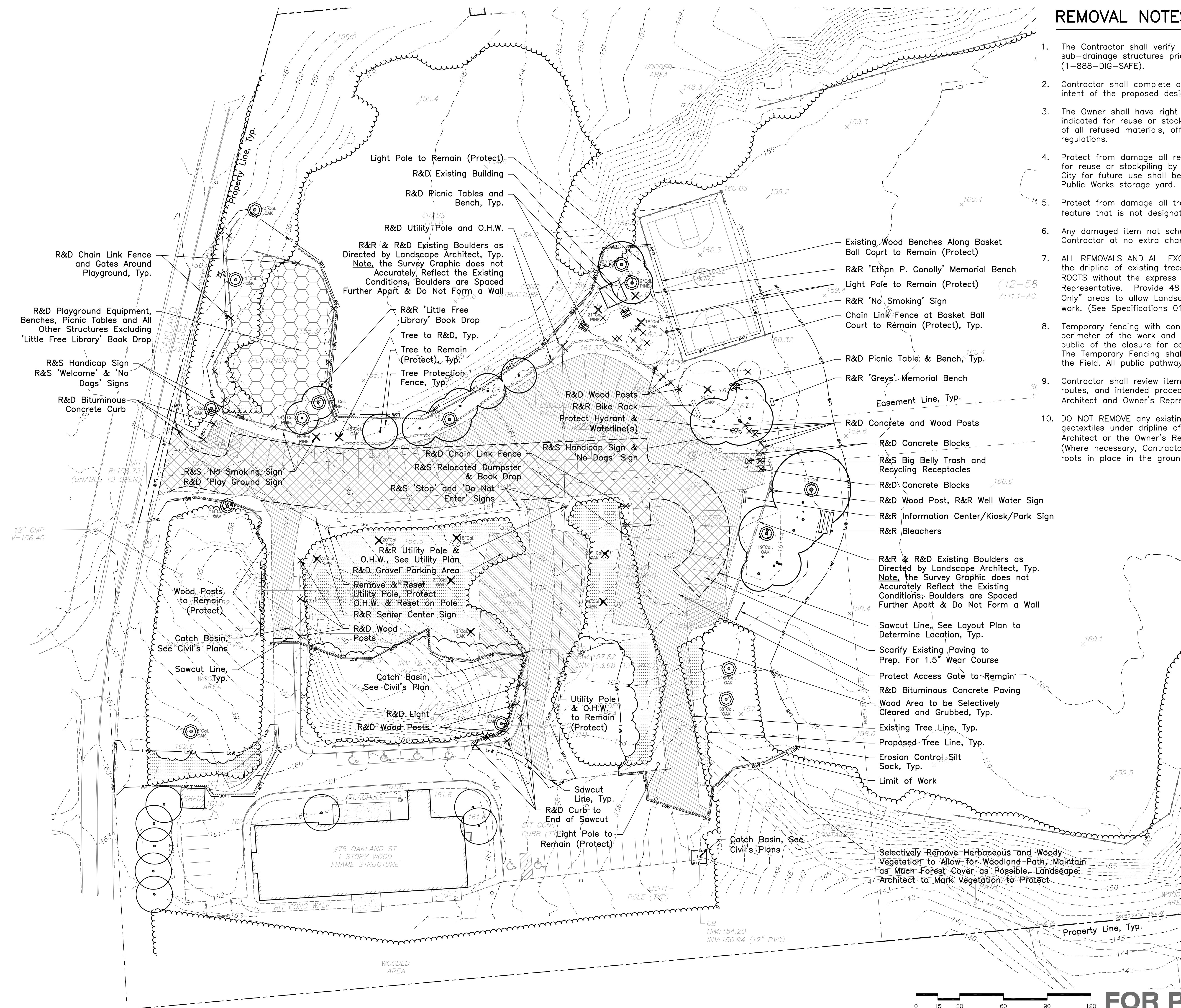
IMPROVEMENTS TO: OAKLAND PARK

Site Plan Submission

EXISTING CONDITIONS

DATE: 08-17-2017
SCALE: 1" = 50' - 0"
FILE: OAK_Permittig_L-3.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. # : 1612B

L3.0



REMOVAL NOTES

1. The Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to starting construction. Call DIG-SAFE (1-888-DIG-SAFE).
2. Contractor shall complete all demolition and removals required to complete the intent of the proposed design.
3. The Owner shall have right of first refusal on all removed materials not indicated for reuse or stockpiling. Contractor is responsible for proper disposal of all refused materials, off-site and in accordance with all local and state regulations.
4. Protect from damage all removed items designated for reuse in the project, or for reuse or stockpiling by the City of Somerville. All materials claimed by the City for future use shall be delivered by the Contractor to the Department of Public Works storage yard.
5. Protect from damage all trees, shrubs, curbs, paving, and any other site feature that is not designated for removal. (See also Notes 7 and 11 below.)
6. Any damaged item not scheduled for removal shall be restored by the Contractor at no extra charge to Owner.
7. ALL REMOVALS AND ALL EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work. (See Specifications 01 57 00.)
8. Temporary fencing with construction signage shall be installed around the perimeter of the work and staging areas to secure project site and notify the public of the closure for construction; see Specifications section 01 56 00. The Temporary Fencing shall be the Limit of Work unless otherwise directed in the Field. All public pathways outside the indicated fencing shall remain open.
9. Contractor shall review items to be removed, proposed staging areas, access routes, and intended procedure for accomplishing the Work with the Landscape Architect and Owner's Representative prior to commencement of work.
10. DO NOT REMOVE any existing drainage fabric, soil separator fabric, or other geotextiles under dripline of trees without the approval of the Landscape Architect or the Owner's Representative to avoid damage to feeder roots. (Where necessary, Contractor shall cut fabric and leave areas entangled by roots in place in the ground.)

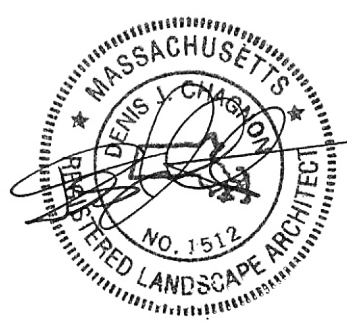
LEGEND

- Property Line
- Easement Line
- LoW Limit of Work
- Erosion Control Sock
- Typ. Typical
- R&D Remove & Dispose
- R&R Remove & Relocate (See Materials Plan)
- R&S Remove & Salvage (For Reuse By Town)
- O.H.W. Over Head Wires
- Scarfify Existing Bituminous Concrete
- R&D Bituminous Concrete Paving & Subgrade
- R&D Gravel Parking Area & Subgrade
- R&D Playground & Associated Elements Including Wood Chip Surface & Subgrade
- Wooded Area to be Selectively Cleared and Grubbed
- Sawcut Line
- Existing Tree Line
- Proposed Tree Line
- Item to R&D
- 18"+Cal. Tree To Remove
- 18"+Cal. Tree To Remain

CBA Landscape Architects LLC
24 THORNDIKE STREET
CAMBRIDGE, MA 02141
phone 617.945.9760
cbs@cballand.com
www.cballand.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
EXISTING LANDSCAPE INVENTORY & REMOVALS

DATE: 08-17-2017
SCALE: 1" = 30' - 0"
FILE: OAK Permitting L-3.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



L3.1

FOR PERMIT ONLY

Zoning Classification: AR-1 Agricultural-Residential 1

Proposed Structures: (Senior Center Not Listed)

Building Height:
Lot 42-58 = (Restroom Building) 12'-6"
Lot 42-58 = (Pavilion) 18'-0"
Lot 42-57 = NA

Lot Coverage:
Lot 42-58 = (Restroom Building) 616 S.F.
Lot 42-58 = (Pavilion) 623 S.F.
Lot 42-57 = NA

Gross Floor Area:
Lot 42-58 = (Restroom Building) 616 S.F.
Lot 42-58 = (Pavilion) 623 S.F.
Lot 42-57 = NA

Maximum Seating Capacity:
Lot 42-58 = (Restroom Building) 6
Lot 42-58 = (Pavilion) 48
Lot 42-57 = NA

Number of Employees:
Lot 42-58 = 0
Lot 42-57 = NA

Lot Area (Project is Comprised of 2 Lots):
Lot 42-58 = 469,718± s.f. 10.78 Acres
Lot 42-57 = 3.9± Acres

Continuous Frontage:
Lot 42-58 = 361.12'
Lot 42-57 = 337.40'

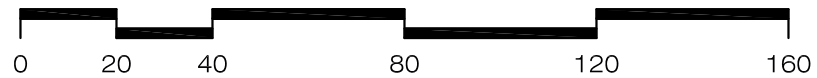
Lot Depth:
Lot 42-58 = 837'
Lot 42-57 = 520'

Lot Width:
Lot 42-58 = 694'
Lot 42-57 = 332'

Front Building Setback:
Restroom Building = 349'
Pavilion = 392'

Side Building Setback:
Restroom Building = 281' & 389'
Pavilion = 310' & 354'

Rear Building Setback:
Restroom Building = 411'
Pavilion = 390'

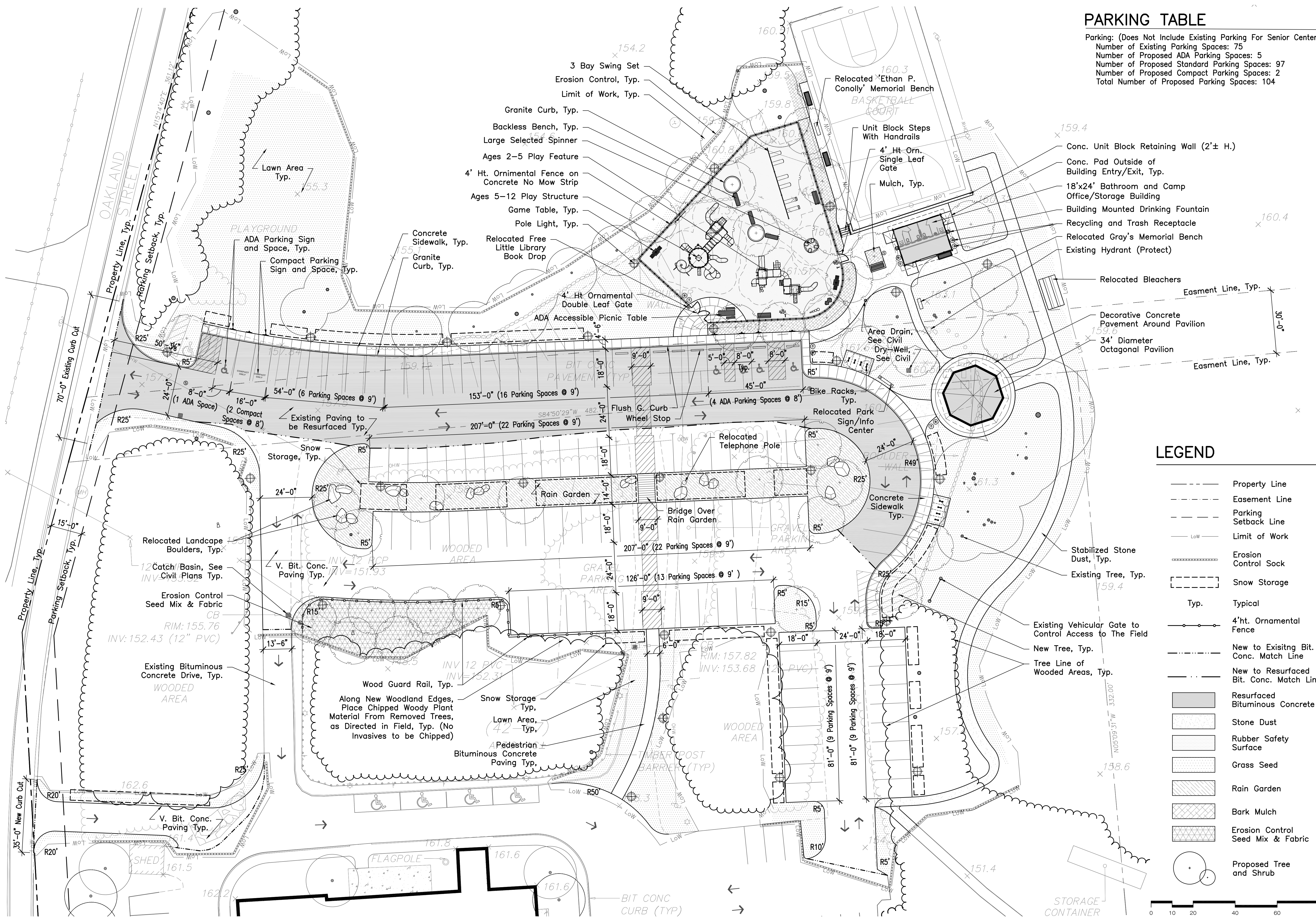


SITE IMPROVEMENTS PLAN

Site Plan Submission

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cband.com
landscape architecture
urban design
master planning

4.0



PARKING TABLE	
Parking: (Does Not Include Existing Parking For Senior Center)	
Number of Existing Parking Spaces:	75
Number of Proposed ADA Parking Spaces:	5
Number of Proposed Standard Parking Spaces:	97
Number of Proposed Compact Parking Spaces:	2
Total Number of Proposed Parking Spaces:	104

LEGEND	
---	Property Line
- - -	Easement Line
---	Parking Setback Line
---	Limit of Work
---	Erosion Control Sock
[]	Snow Storage
Typ.	Typical
---	4'ht. Ornamental Fence
---	New to Existing Bit. Conc. Match Line
---	New to Resurfaced Bit. Conc. Match Line
[]	Resurfaced Bituminous Concrete
[]	Stone Dust
[]	Rubber Safety Surface
[]	Grass Seed
[]	Rain Garden
[]	Bark Mulch
[]	Erosion Control Seed Mix & Fabric
[]	Proposed Tree and Shrub

Plan Enlargement – See Sheet L3.0 For Overall Plan
Scale: 1"=20'-0"

FOR PERMIT ONLY

CBA Landscape Architects LLC
24 THORNDIKE STREET
CAMBRIDGE, MA 02141
phone 617.945.9760
www.cbaland.com
cbs@cballand.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission

SITE IMPROVEMENTS PLAN ENLARGEMENT

DATE: 08-17-2017
SCALE: 1" = 20' - 0"
FILE: OAK_Park_L4.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B

L4.1



PRODUCTS

Erosion Control Fabric to be ECS-1B Single Net Straw Biodegradable Rolled Erosion Control Mat by East Coast Erosion Control or Approved Equal

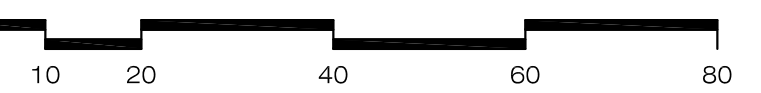
East Coast Erosion Control:
Address: 443 Bricker Road, Bernville, PA 19506
Phone: (800) 586-8496 Web: www.eastcoasterosion.com

GRADING NOTES

1. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to commencing work.
2. Landscape Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
3. Grade stakes to be set for approval by The Landscape Architect prior to installation of gravel bases and prior to all paving, edges, and walls.
4. All transitions to existing grades to be smooth and gradual.
5. Cross slopes and slopes in rubber play areas are not to exceed 1.9% in any direction.
6. Grade surfaces to assure positive drainage away from all structures and to prevent ponding of surface drainage.
7. Pitch evenly between spot grading. Any discrepancies not allowing an even pitch to occur shall be reported to the Landscape Architect prior to continuing work.
8. Handicap Accessible Areas shall be in conformance with the rules and regulations of the Architectural Access Board and the American With Disabilities Act.
9. All utility & drain lines to be coordinated with footings for site features.
10. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.
11. ALL REMOVALS & EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work.

LEGEND

- Property Line
- Easement Line
- Limit of Work
- Erosion Control Sock
- Existing Contour
- Proposed Contour
- New to Existing Bit. Conc. Match Line
- New to Resurfaced Bit. Conc. Match Line



FOR PERMIT ONLY

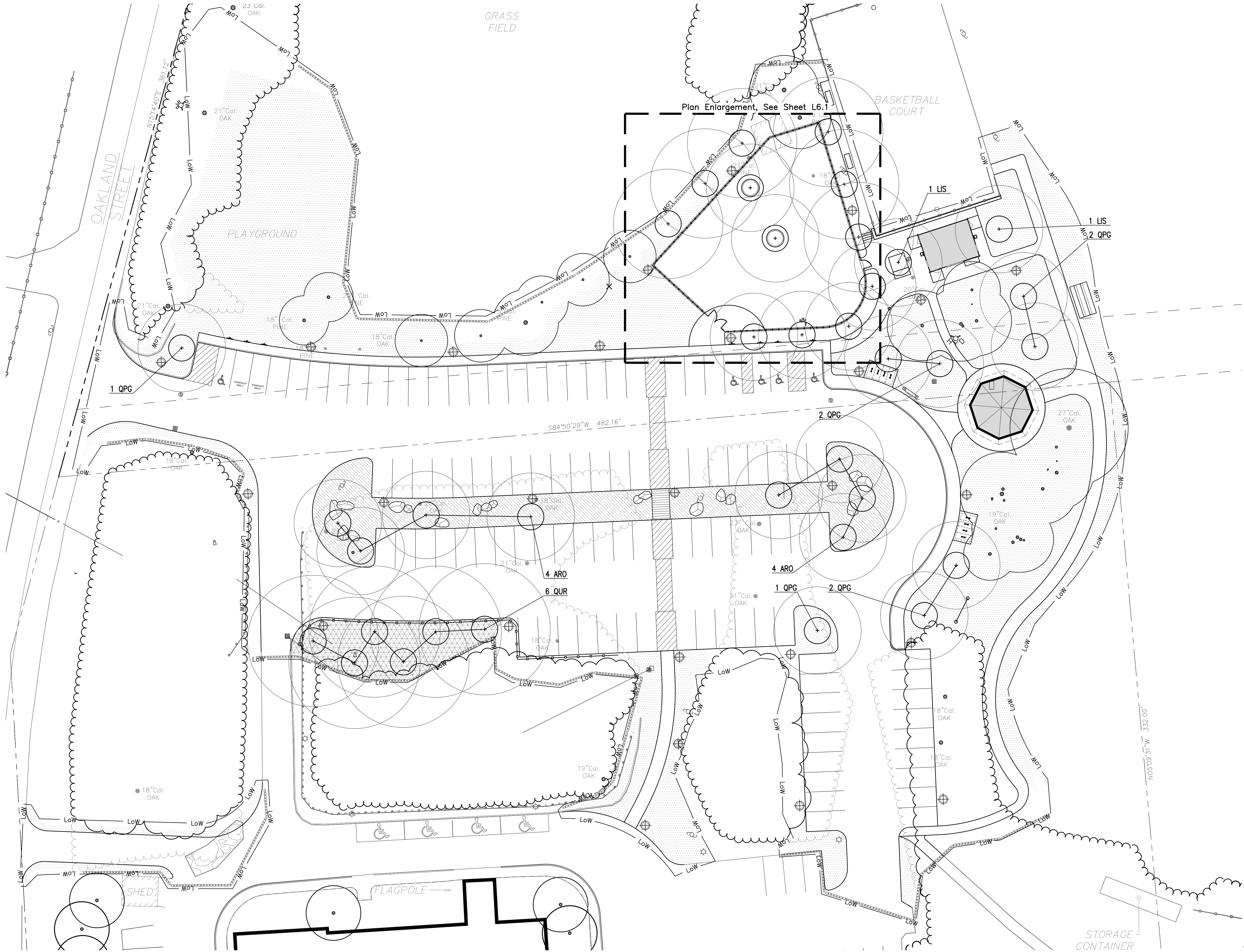
CBA Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE MA 02141
phone 617.945.9760 www.cbaland.com cba@cbaland.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
GRADING & EROSION CONTROL PLAN

DATE:	08-17-2017
SCALE:	1" = 20' - 0"
FILE:	OAK_PERMITTING_L5.dwg
DWN BY:	PAH
CKD BY:	DJC
PROJ. #:	1612B



L5.0



NOTES
See Plan L6.1 for Plant List, Notes and Plant Details

- LEGEND**
- Property Line
 - Easement Line
 - Limit of Work
 - Erosion Control Sock
 - Grass Seed
 - Rain Garden
 - Erosion Control Seed Mix & Fabric
 - Shrubs & Perennials
 - Proposed Tree
Dark: Size Planted
Light: Full Grown



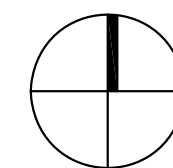
FOR PERMIT ONLY

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
LANDSCAPE PLAN

DATE: 08-17-2017
SCALE: 1" = 20' - 0"
FILE: OAK_PERMITTING_L6.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



L6.0



© Copyright 2007 these drawings are the intellectual property of CFP, LLC and shall not be copied or disclosed to any unauthorized parties in part or its entirety without our written permission, and they shall not be used for construction unless approved by a CFP Representative.

Structure Erection Installation of this structure is to be done with a competent supervisor in the construction trades. This supervisor must be capable of reading the drawings & following Cedar Forest Products' installation instructions using good construction practices and procedures. The contractor will be required to skin, cut and make adjustments of fitting for proper building erection.

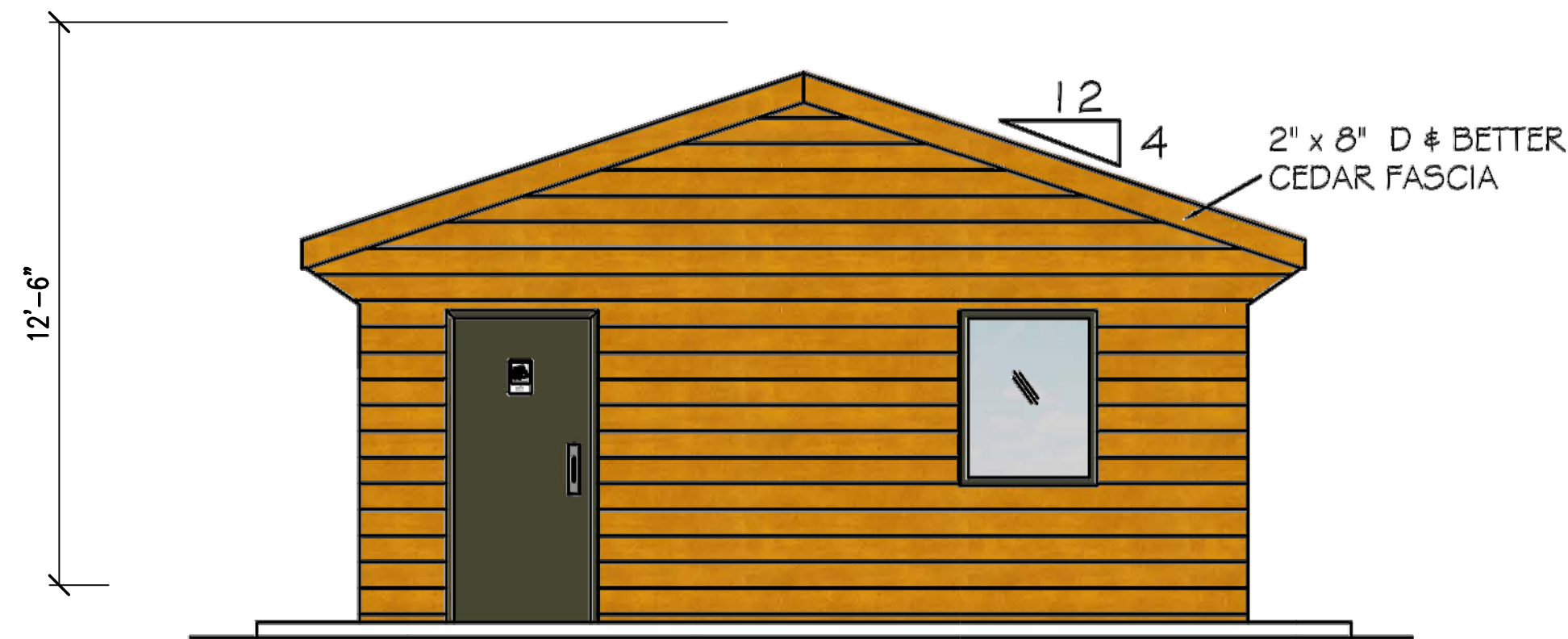
Returns: After receipt of materials, the general contractor is responsible for the condition. No merchandise can be returned without written authorization. Merchandise with return authorization must be in salable condition. A \$50 restocking fee will be charged. Merchandise to be returned must be shipped insured and freight prepaid.

Cedar Forest Products will not be liable for any unauthorized field work purchases to repair/replace/furnish materials. Any purchases must have prior written approval from Cedar Forest Products.

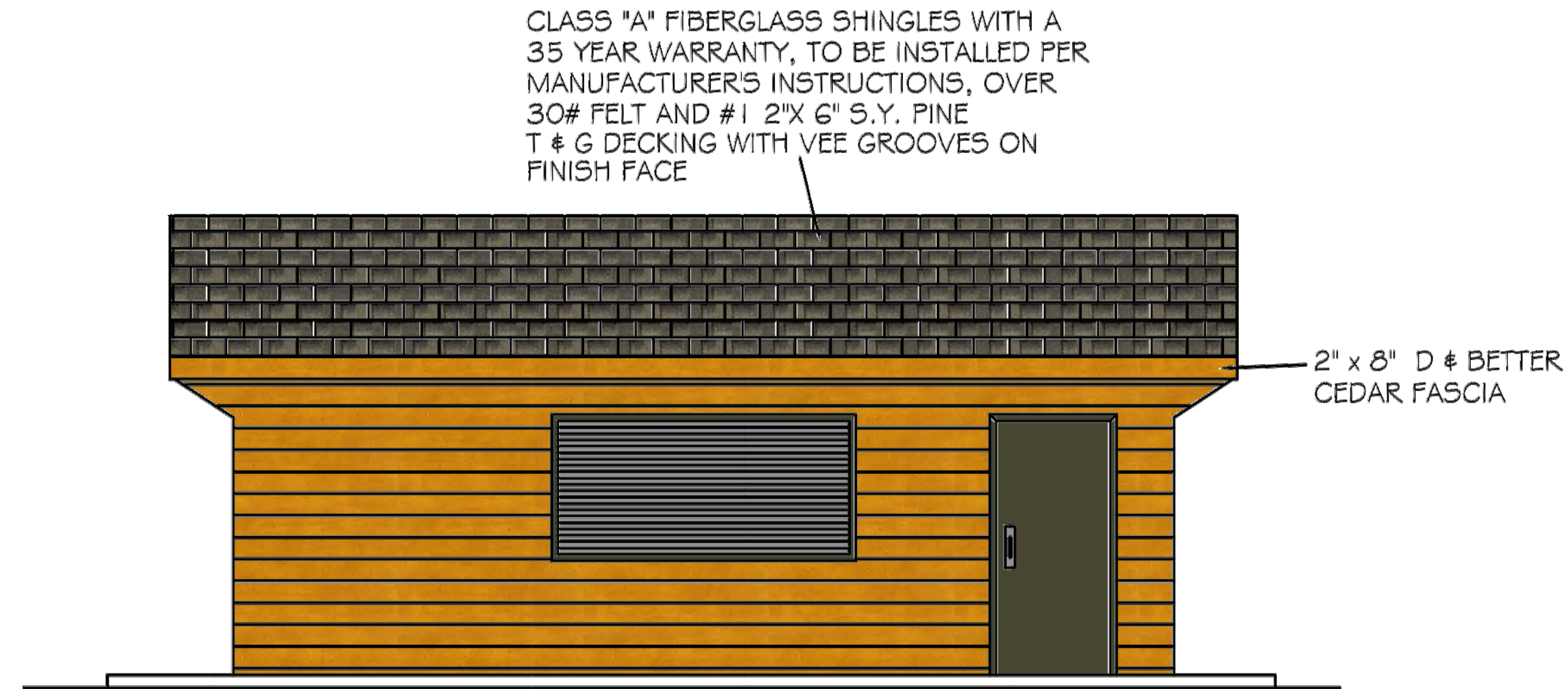
THE FOLLOWING WILL BE THE RESPONSIBILITY OF OTHERS

1. ALL CONSTRUCTION SHOULD MEET STATE & LOCAL BLDG. CODE REQTS.
2. ASSUMED SOIL BEARING CAPACITY = 3,000 P.S.F. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
3. CONSULT WITH A LOCAL REGISTERED STRUCTURAL ENGINEER IF SOIL BEARING CONDITIONS ARE OTHER THAN ABOVE.
4. DESIGN, EXCAVATION AND CONSTRUCTION OF THE STRUCTURE(S) FOUNDATION MUST BE VERIFIED BY A REGISTERED STRUCTURAL ENGINEER.
5. DETERMINE ALL DESIGN LOADS PER LOCAL CODES.
6. CONCRETE TO BE 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
7. REINFORCING STEEL TO BE A.S.T.M. A-305 DEFORMED.
8. ALL CONSTRUCTION SURVEYING AND FIELD VERIFICATION OF ALL DIMENSIONS.
9. PROVIDE AND INSTALL ALL CONCRETE, REINFORCING STEEL, & ANCHOR BOLTS.
10. UNLOAD ALL TRUCK(S) DELIVERING CFP MATERIALS.
11. ERECTION OF THE STRUCTURE(S).

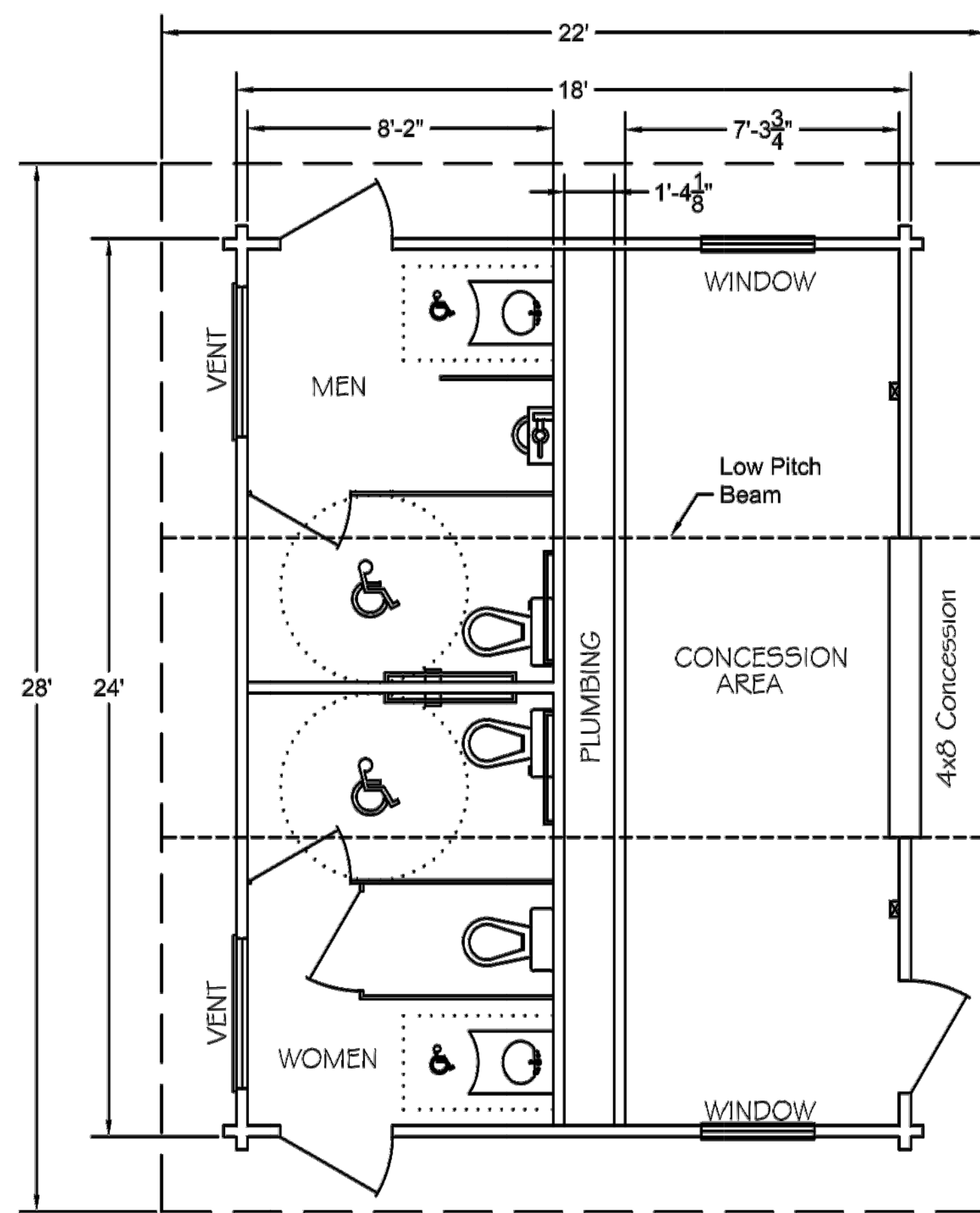
NOT FOR CONSTRUCTION



END ELEVATION



SIDE ELEVATION



FLOOR PLAN



P.O. BOX 145
WEST OLIVE, MI 49460
800-552-9495
WWW.CEDARFORESTPRODUCTS.COM

REVIEWED BY:		NF-DENOTES NOT FURNISHED BY CEDAR FOREST PRODUCTS			MODEL:	GAR2228	REVISION DATES	DRAWN BY:	DATE:
		DEALER NAME:	M.E. O' Brien and Sons	OWNER NAME:	Oakland State Park	REV: 5-25-17	JES	5-24-17	
		CITY/STATE:		CITY/STATE/ZIP:	-	REV:			SHEET:
		SALESPERSON:	-			REV:			1 OF 1

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
ARCHITECTURAL PLAN - BUILDING

DATE: 08-17-2017
SCALE: N.T.S.
FILE: OAK_PERMITTING_L7.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



18'x24' Bathroom and Camp Office / Storage Building

FOR PERMIT ONLY

L7.0

© Copyright 2007 these drawings are the intellectual property of CFP, LLC and shall not be copied or disclosed to any unauthorized parties in part or its entirety without our written permission, and they shall not be used for construction unless approved by a CFP Representative.

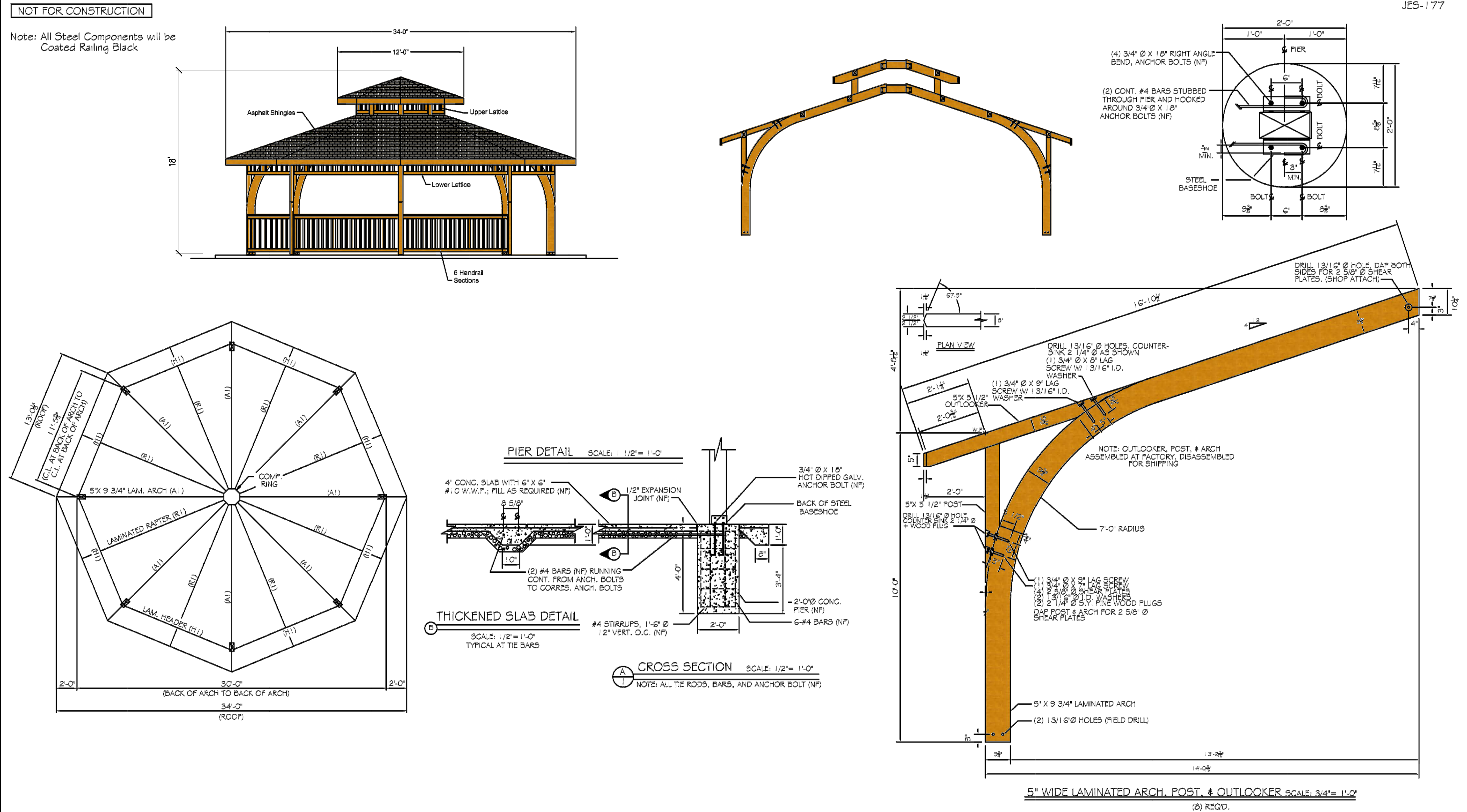
Structure Erection Installation of this structure is to be done with a competent supervisor in the construction trades. This supervisor must be capable of reading the drawings & following Cedar Forest Products' installation instructions using good construction practices and procedures. The contractor will be required to ship, cut and make adjustments of fitting for proper building erection.


Returns: After receipt of materials, the general contractor is responsible for the condition. No merchandise can be returned without written authorization. Merchandise with return authorization must be in saleable condition. A 35% restocking fee will be charged. Merchandise to be returned must be shipped insured and freight prepaid.

Cedar Forest Products will not be liable for any unauthorized field work purchases to repair/replace/furnish materials. Any purchases must have prior written approval from Cedar Forest Products.

THE FOLLOWING WILL BE THE RESPONSIBILITY OF OTHERS

1. ALL CONSTRUCTION SHOULD MEET STATE & LOCAL BLDG. CODE RIGHTS.
2. ASSUMED SOIL BEARING CAPACITY = 3,000 P.S.F. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
3. CONSULT WITH A LOCAL REGISTERED STRUCTURAL ENGINEER IF SOIL BEARING CONDITIONS ARE OTHER THAN ABOVE.
4. DESIGN, EXCAVATION AND CONSTRUCTION OF THE STRUCTURE'S FOUNDATION MUST BE VERIFIED BY A REGISTERED STRUCTURAL ENGINEER.
5. DETERMINE ALL DESIGN LOADS PER LOCAL CODES.
6. CONCRETE TO BE 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
7. REINFORCING STEEL TO BE A.S.T.M. A-305 DEFORMED.
8. ALL CONSTRUCTION SURVEYING AND FIELD VERIFICATION OF ALL DIMENSIONS.
9. PROVIDE AND INSTALL ALL CONCRETE, REINFORCING STEEL, & ANCHOR BOLTS.
10. UNLOAD ALL TRUCKS DELIVERING CFP MATERIALS.
11. ERECTION OF THE STRUCTURES.



	P.O. BOX 145 WEST OLIVE, MI 49460 800-552-9495 WWW.CEDARFORESTPRODUCTS.COM	REVIEWED BY:			NF-DENOTES NOT FURNISHED BY CEDAR FOREST PRODUCTS			MODEL:		34' OAP 2Tier		REVISION DATES		DRAWN BY:	DATE:
		DEALER NAME:			OWNER NAME:			-		-		REV:		JES	5-14-17
		CITY/STATE:			CITY/STATE/ZIP:			-		-		REV:		SHEET:	
		SALESPERSON:										REV:		1 OF 1	

CBA Landscape Architects LLC
24 THORNDIKE STREET
CAMBRIDGE, MA 02141
phone 617.945.9760
www.cbaland.com
cbsa@cbaland.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK

Site Plan Submission

ARCHITECTURAL PLAN - PAVILION

DATE: 08-17-2017
SCALE: N.T.S.
FILE: OAK_PERMITTING_L7.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



34' Diameter Octagonal Pavilion

FOR PERMIT ONLY

L7.1



Photometric Plan

Scale: 1"=40'-0"

Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Lumens	LLF	Filename
⊕	26	L1	90510_US_LITMS_PAT_LED_30K_V0	1805	0.900	90510_US_LITMS_PAT_LED_30K_V00 A032

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	L1	685704.375	2880322.87	16	0	0
2	L1	685762.625	2880303.75	16	0	0
3	L1	685667.5	2880275.62	16	0	0
4	L1	685836	2880275	16	0	0
5	L1	685792.125	2880263.37	16	0	0
6	L1	685705.75	2880245.5	16	0	0
7	L1	685645.875	2880242.25	16	0	0
8	L1	685513.125	2880242	16	0	0
9	L1	685579.125	2880239.75	16	0	0
10	L1	685445.25	2880235.12	16	0	0
11	L1	685764.25	2880229.87	16	0	0
12	L1	685751.5	2880177.12	16	0	0
13	L1	685483.625	2880174.37	16	0	0
14	L1	685813.125	2880173.87	16	0	0
15	L1	685679.125	2880173.62	16	0	0
16	L1	685615.75	2880171.37	16	0	0
17	L1	685546.5	2880170.75	16	0	0
18	L1	685518.875	2880113.75	16	0	0
19	L1	685602.875	2880113.25	16	0	0
20	L1	685788	2880106.12	16	0	0
21	L1	685732.5	2880101.12	16	0	0
22	L1	685681.875	2880099.62	16	0	0
23	L1	685681.125	2880060.12	16	0	0
24	L1	685801.625	2880035.12	16	0	0
25	L1	685735.25	2880032.87	16	0	0
26	L1	685667.5	2880022.87	16	0	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.11	0.6	0.0	N.A.	N.A.

Pavilion Light(s)

(1) 12"x12" VR4 Compact Fluorescent by Lithonia Lighting or Approved Equal

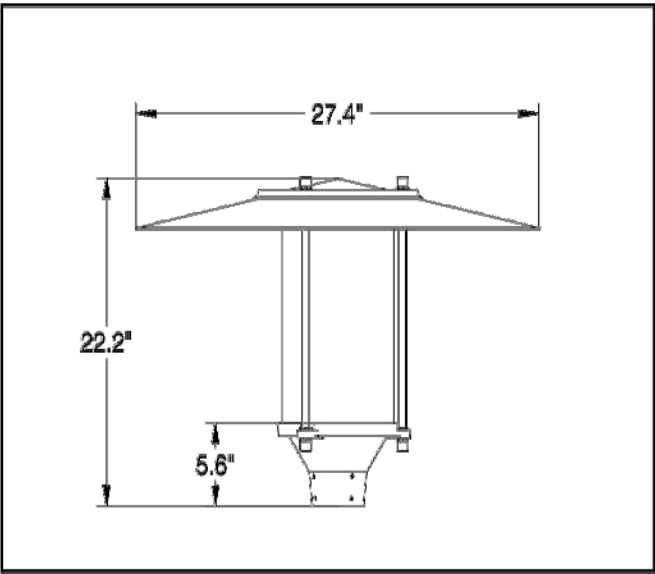
Restroom Building Light(s)

Standard wall packs do not meet town guidelines. Alternative fixtures will be submitted for review

HW Patina LED

louis poulsen

Design: Louis Poulsen



Light source	Voltage	Weight	Electric shock protection	Ingress protection
26W LED/3000K 26W LED/4000K	120-277V	19 lbs	CL	IP 44, Wet location

Recommended cleaning substances:
Wipe off dust with a dry, soft cloth. Remove greasy spots etc. with a soft cloth dampened in lukewarm water (<122° F/ 50° C) with a mild detergent.

Warning: Scouring powder and similar substances will scratch surfaces.

All installation is subject to local code and jurisdiction.

Consult a qualified electrician to ensure correct branch circuit conductor.

The installer must ensure that the foundation is stable and can support the luminaire's weight.

Light Fixture

louis poulsen

POLE ROUND STRAIGHT



Design:
Louis Poulsen A/S

Weight:
Min: 25 lbs. Max: 35 lbs.

Finish:
Brushed aluminum, Black, graphite grey, grey, natural painted aluminum or white, powder coated.

Material:
Aluminum.

Mounting:
Base cover dimension: 14" diameter. Base plate: Mounted to a concrete base with 4 anchor bolts on a bolt circle of 8.0" diameter. Installation: Refer to mounting instruction download for installation details.



Light Pole

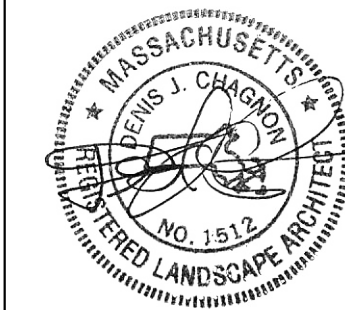
Light Pole with Fixture

FOR PERMIT ONLY

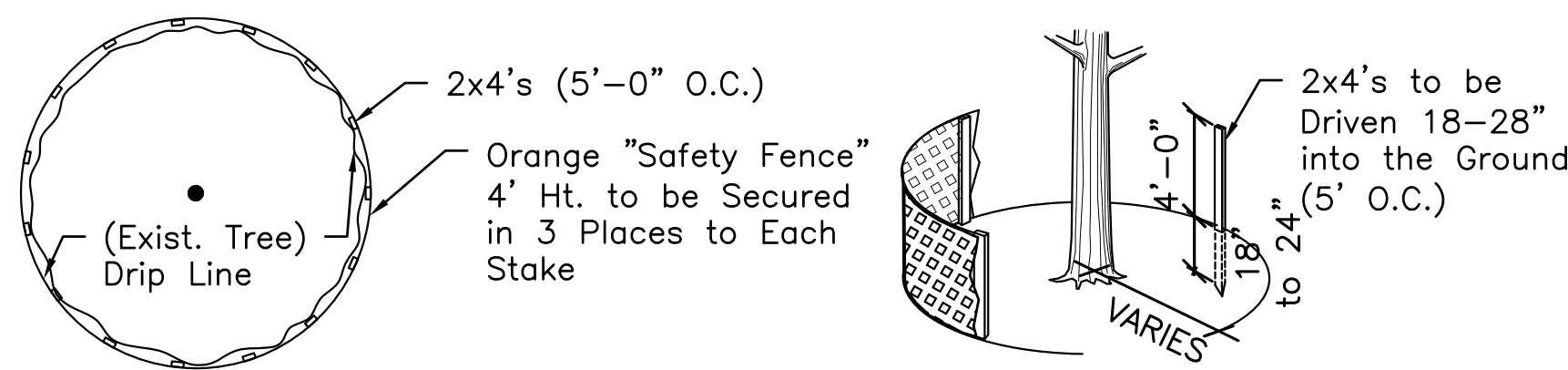
CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
LIGHTING / PHOTOMETRIC PLAN

DATE: 08-17-2017
SCALE: Varies
FILE: OAK_PERMITTING_L8.dwg
DWN BY: PAH
CKD BY: DJC
PROJ. #: 1612B



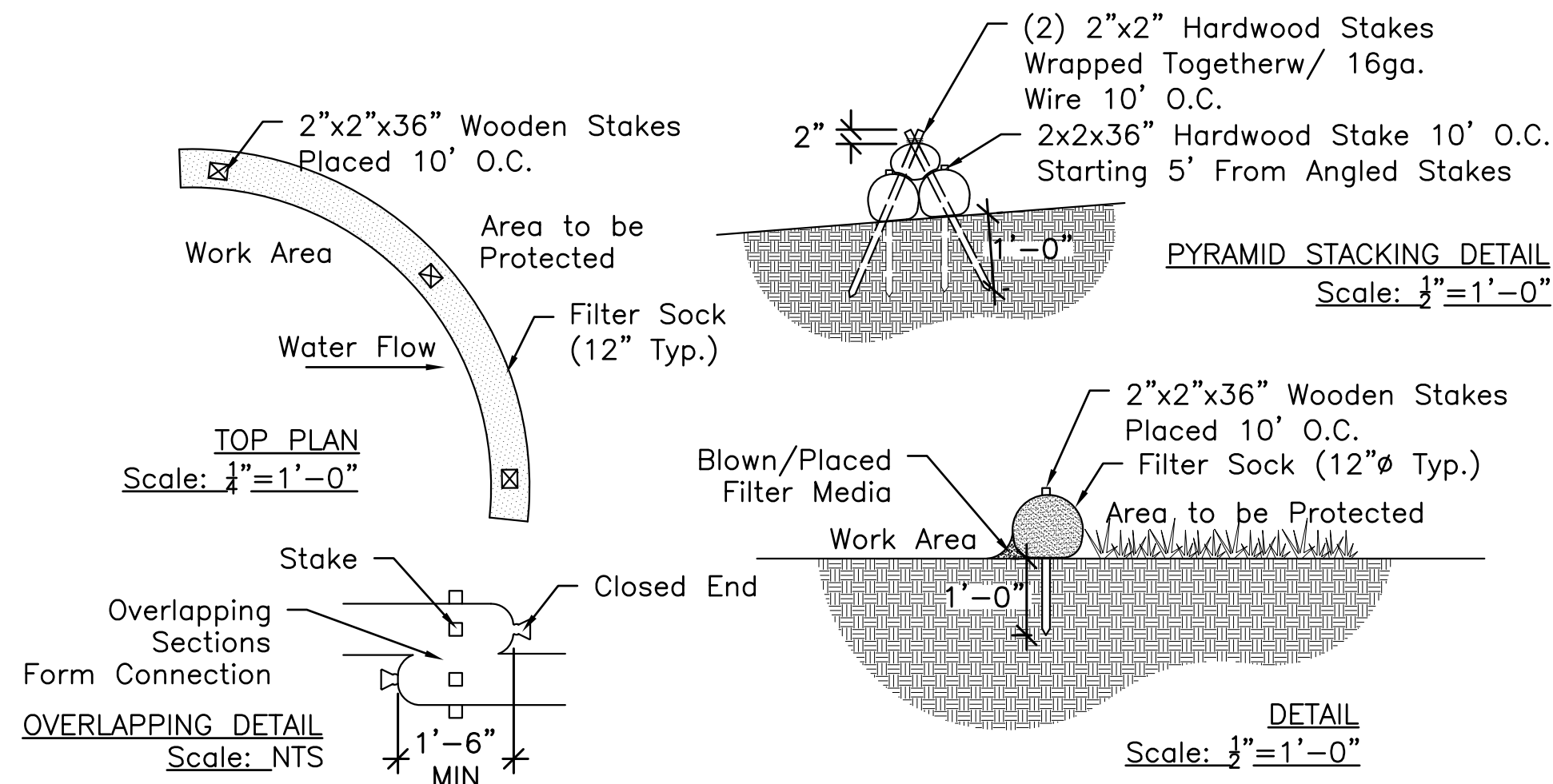
L8.0



- NOTES:**
1. Maintain fence protection in sound condition until project completion.
 2. Protective fence to run outside dripline unless otherwise required to install improvements. Spray or stake layout of all proposed paving edges and site features within the dripline of existing trees before beginning any demolition work or remove existing material in order to determine the maximum extents of site fencing.
 3. Layout shown above is diagrammatic only.
 4. Landscape Architect and Owner's Representative to approve fence placement in field before construction begins.

1 Tree Protection

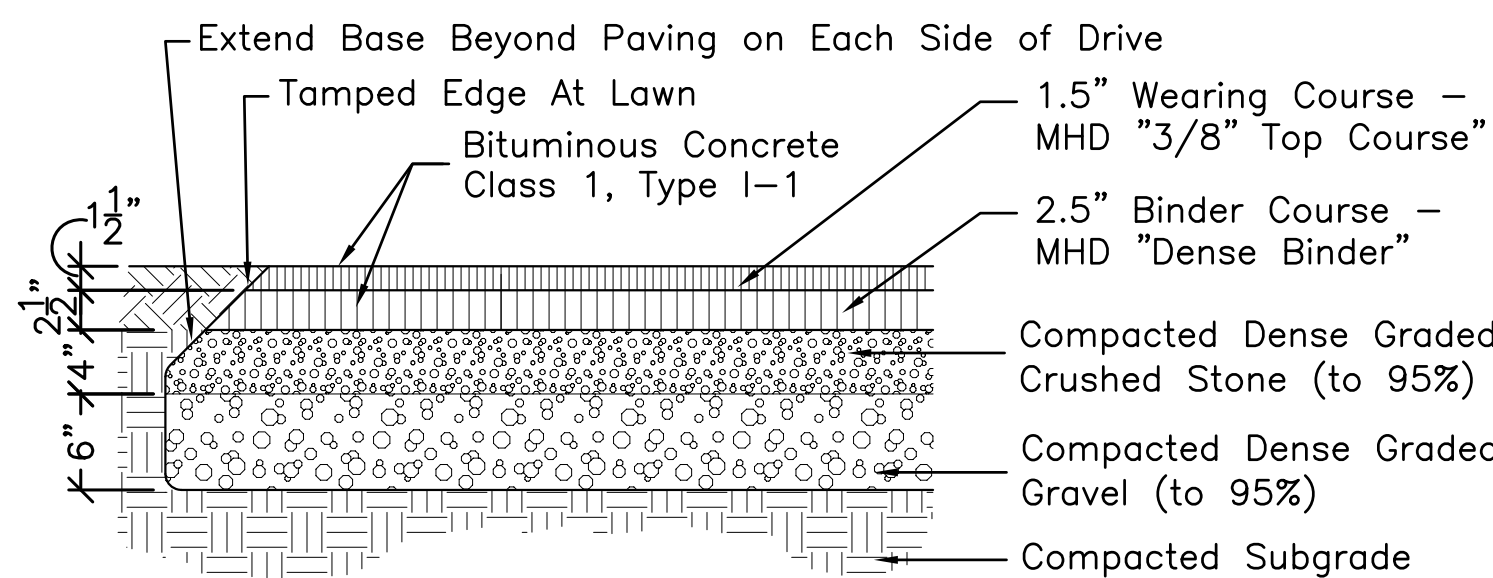
Scale: 1/2" = 1'-0"



- Notes:**
1. Erosion Control Socks to be Filtrexx Silt Soxx, or approved equal.
 2. Contractor to submit erosion control sock product information for approval by Landscape Architect.
 3. Follow all manufacturer's specifications and instructions.

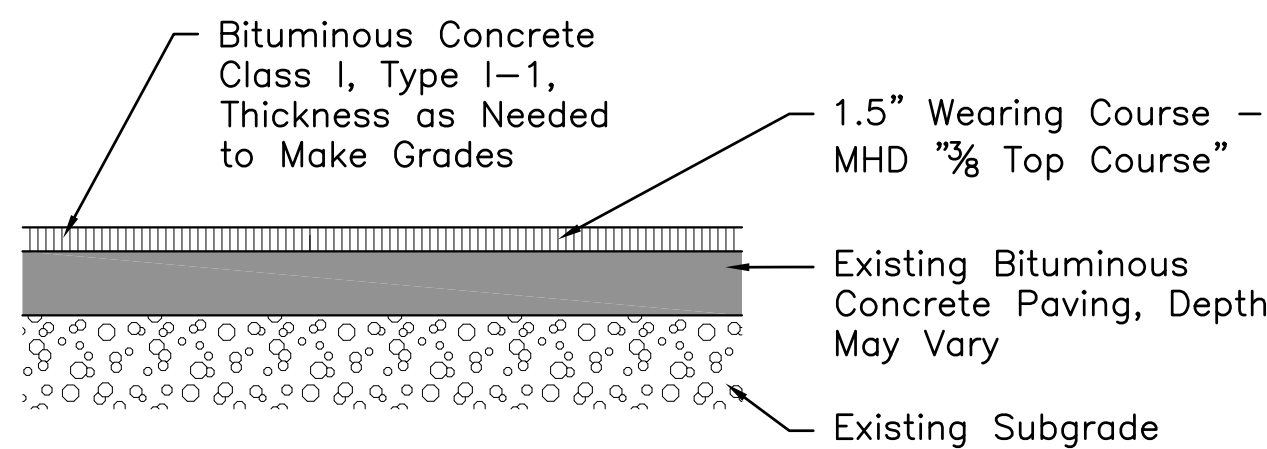
2 Erosion Control Sock

Scale: 1" = 1'-0"



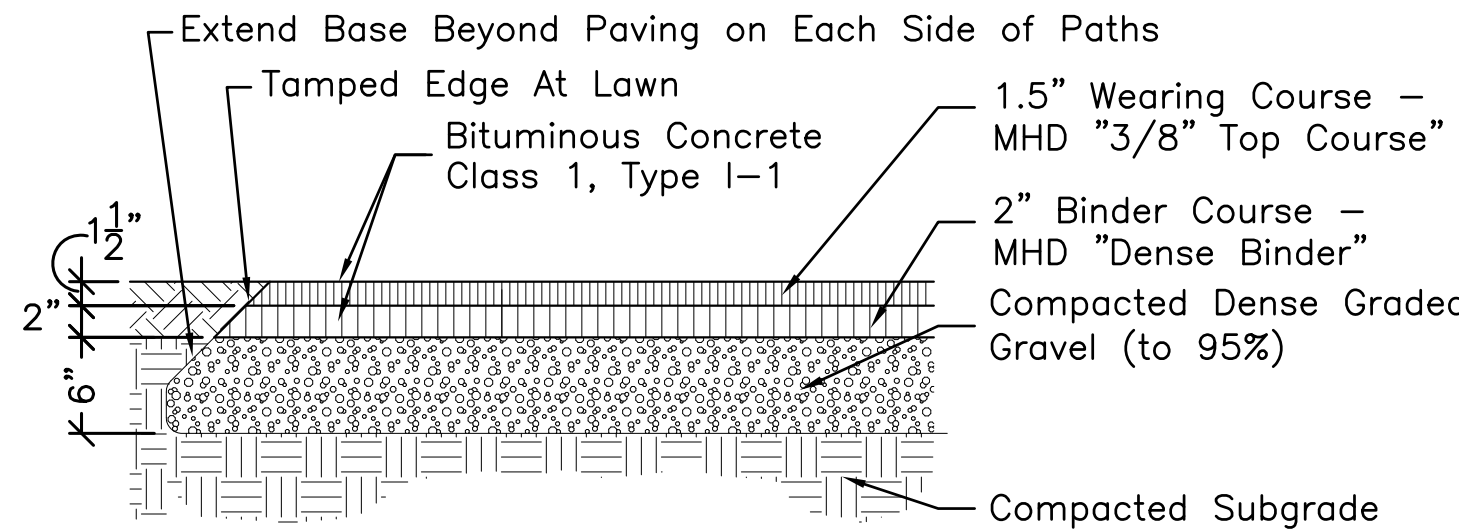
3 Vehicular Bituminous Concrete Paving

Scale: 1" = 1'-0"



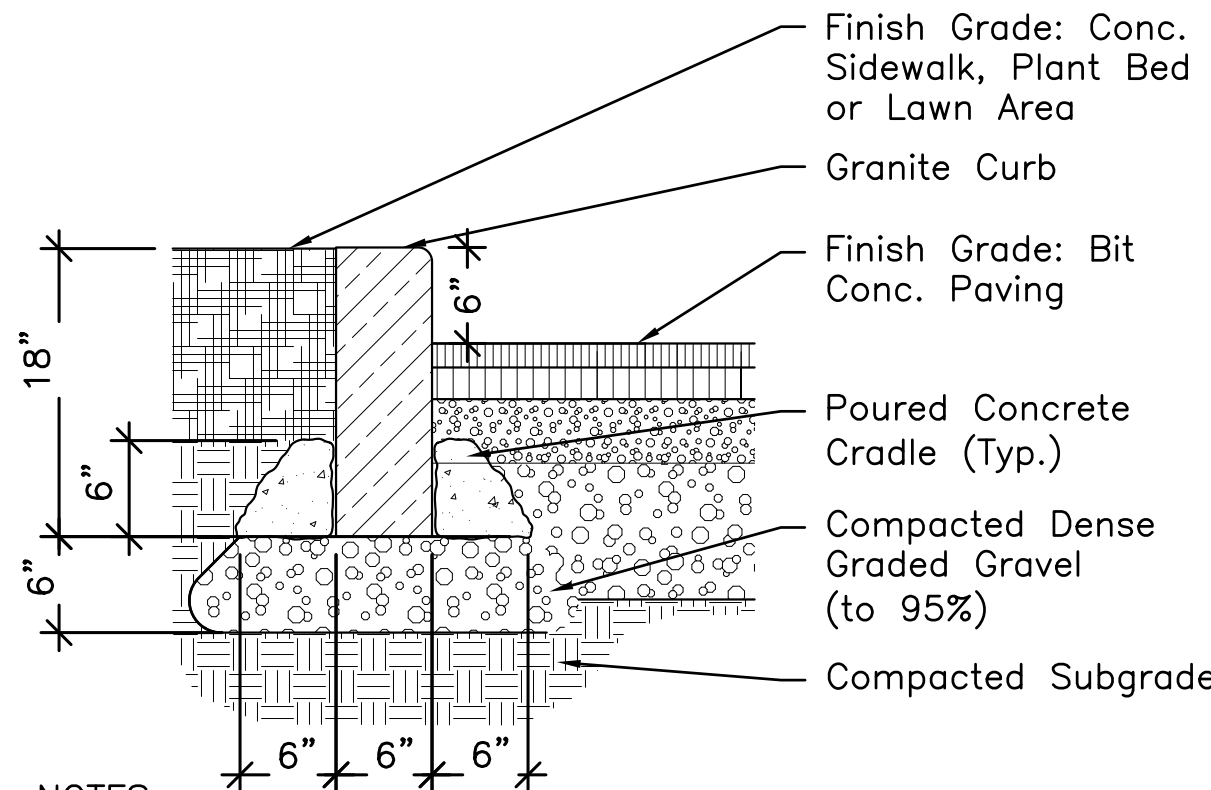
4 Bituminous Concrete Resurfacing

Scale: 1" = 1'-0"



5 Pedestrian Bituminous Concrete Paving

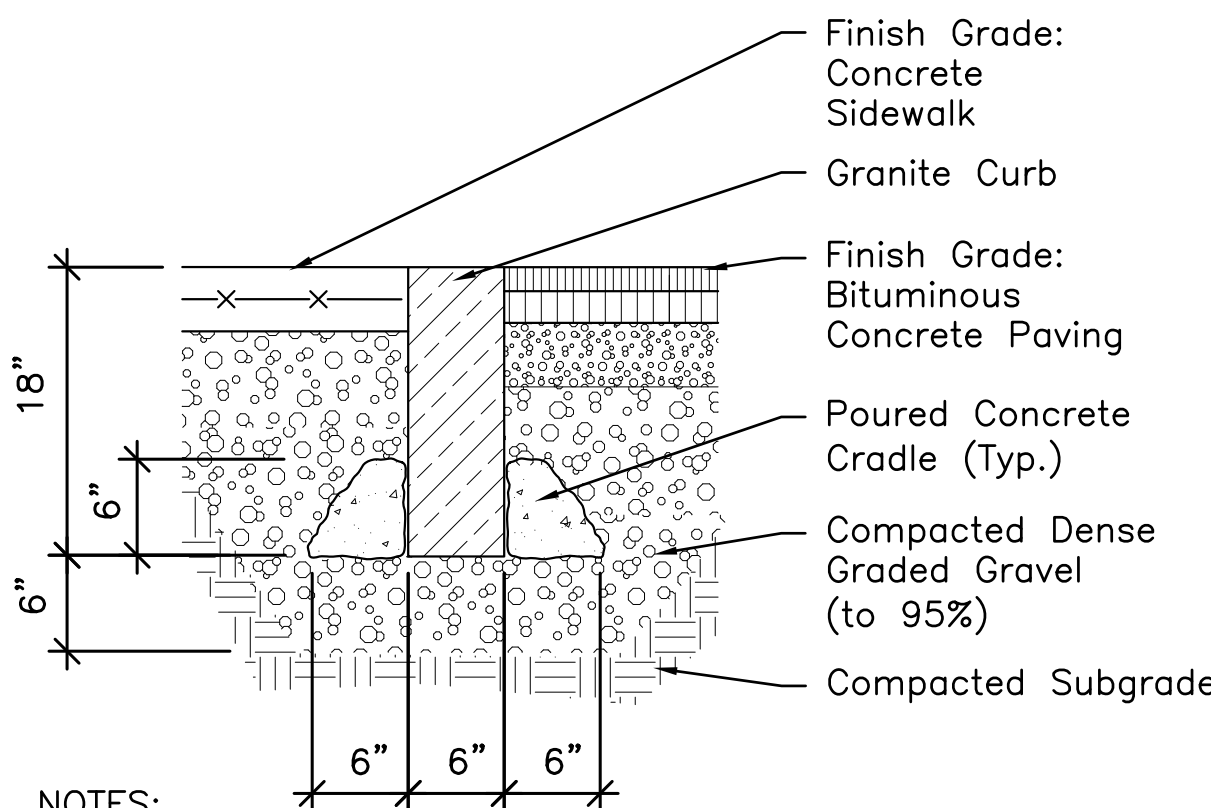
Scale: 1" = 1'-0"



- NOTES:**
1. Provide sample for approval by Landscape Architect.

6 Granite Curb

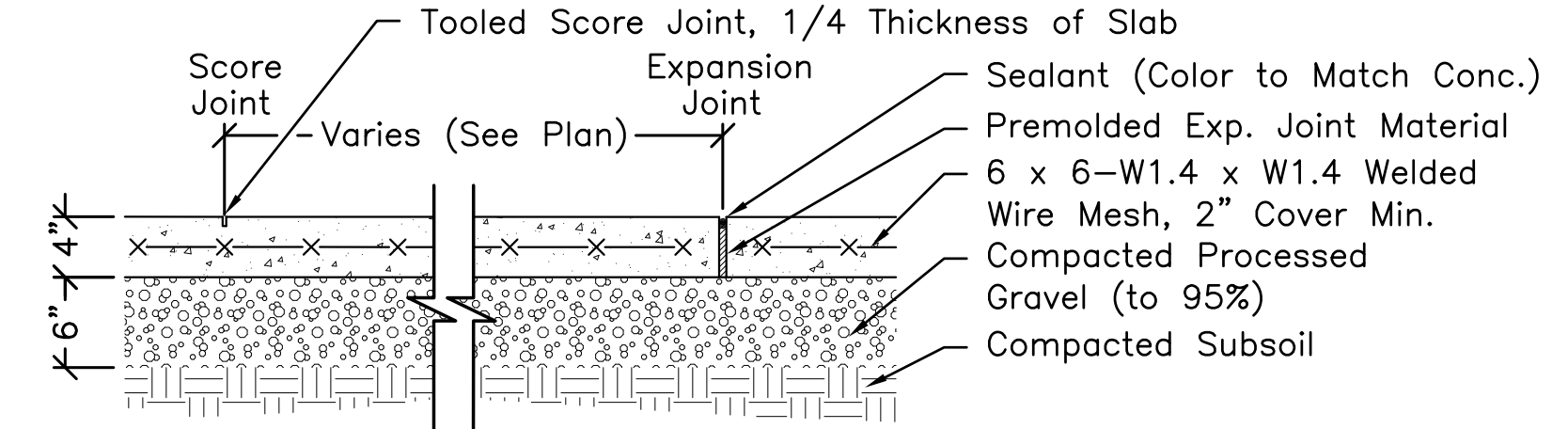
Scale: 1" = 1'-0"



- NOTES:**
1. Provide sample for approval by Landscape Architect.

7 Flush Granite Curb

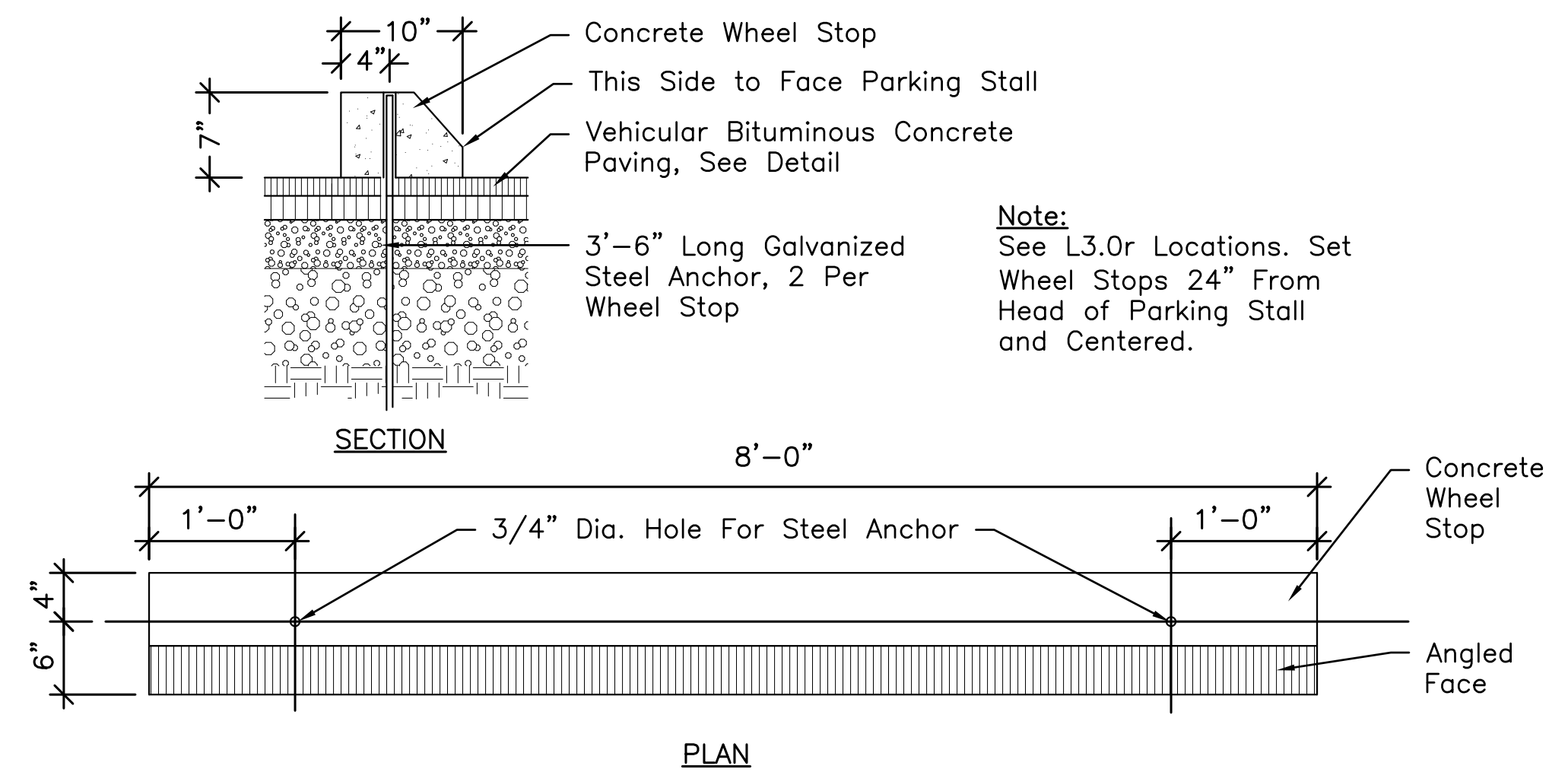
Scale: 1" = 1'-0"



- NOTES:**
1. Score joints every 6' (maximum), both directions (see Plan). Expansion joints every 25' (maximum). Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
 2. Concrete to be 4000 PSI (28 days), light broom finish. 4" steel trowel all edges.
 3. All walks and plaza's shall slope to drain (1.5% maximum cross slope). Coordinate with existing grades.
 4. Integral colored concrete color to be approved by Landscape Architect prior to pouring.

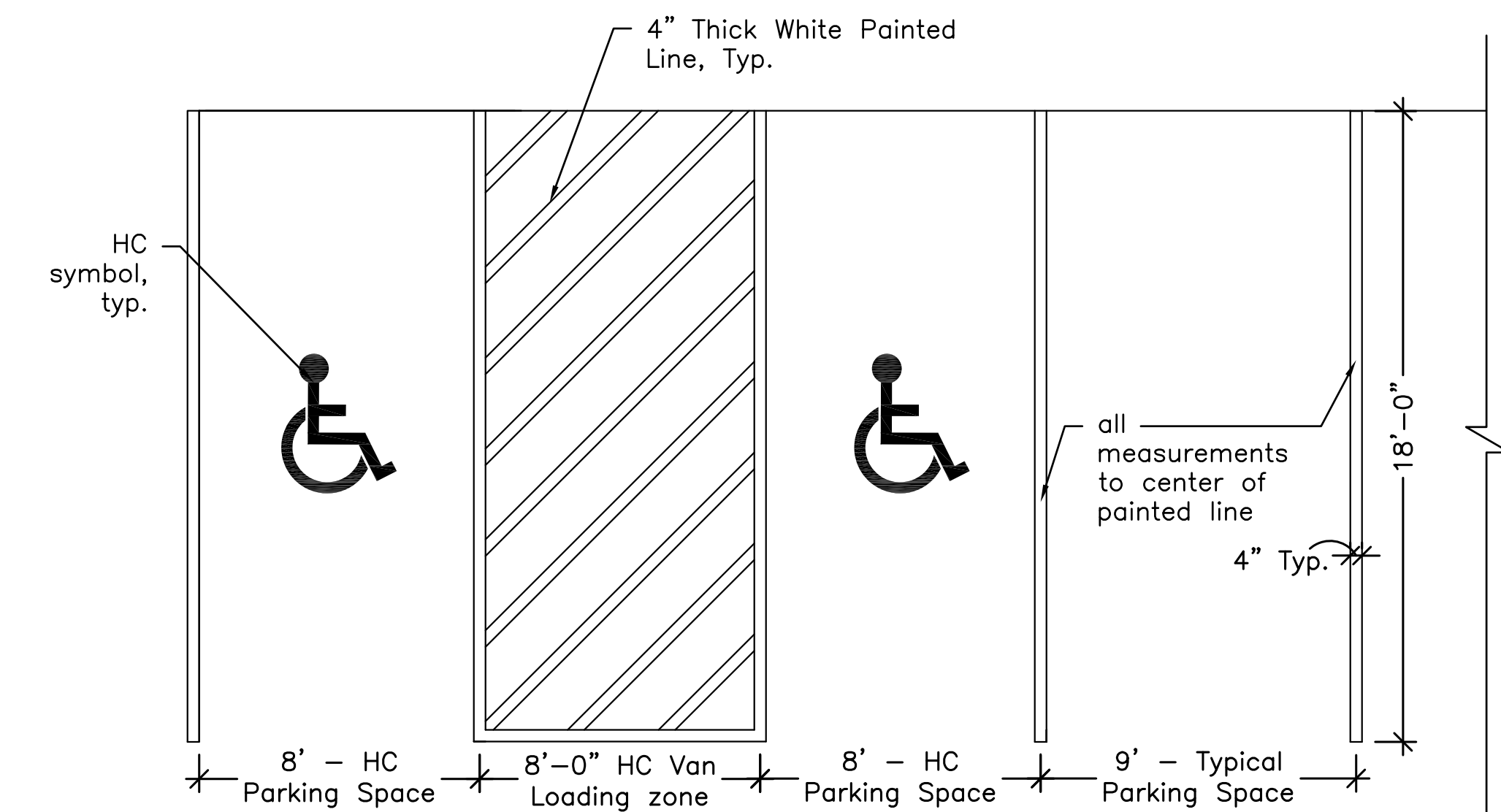
8 Concrete Paving

Scale: 1" = 1'-0"

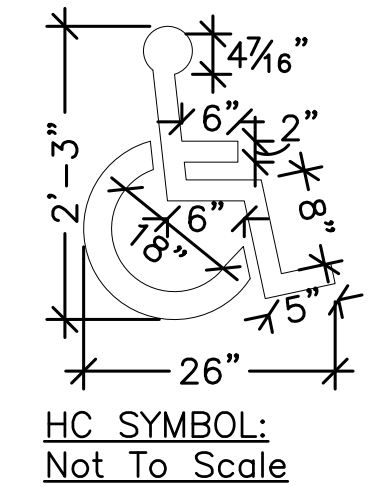


9 Concrete Wheel Stop

Scale: 1" = 1'-0"



- Notes:**
1. All handicap parking shall be in conformance with the rules and regulations of the American's with Disabilities Act (ADA) and the Mass. Architectural Access Board (AAB).
 2. All Striping to be 4" wide painted white. refer to layout and materials plan for location of all pavement markings.

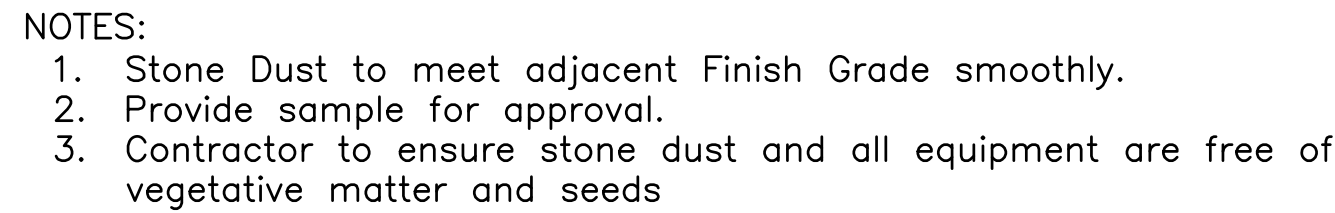


HC SYMBOL:
Not To Scale

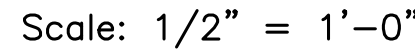
10 Parking Striping Layout

Scale: 1/4" = 1'-0"

FOR PERMIT ONLY

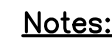


Scale: 1" = 1'-0"

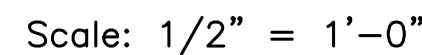


1. All Railing Members To Be Sch. 40 Galvanized Steel Tubing
2. Handrail Pipe Sizes Shown Are Actual Outside (Not Nominal Inside) Diameters
3. Handrail to be Color Galvanized Black.
4. Unit Blocks to Match Unit Block Retaining Wall
5. Shop Drawings Required For Handrail And For Stairs.

Scale: $1/2'' = 1'-0''$

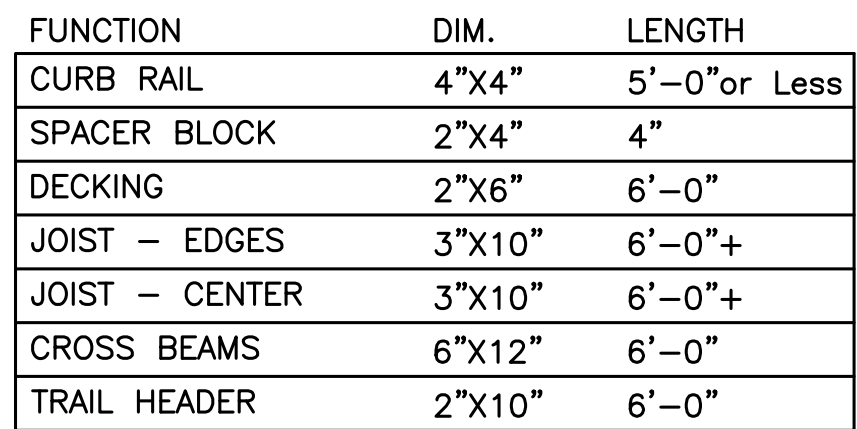


1. **SHOP DRAWINGS REQUIRED.**
2. Wall System to be "Weathered Mosaic" by Versa-Lok or Approved Equal. Color to be from full color range and selected by Landscape Architect.
3. Architect Wall stones to be tumbled.
4. Wall system to consist of four-block modules composed of: (2) 12"x4" units, (1) 8"x6" unit, and (1) 16"x6" unit or similar. Alternate pattern of modules to provide a random appearance.
5. Construct a 10' sample section of wall for approval by Landscape Architect before continuing installation.
6. Install all required reinforcement per manufacturer's directions.
7. Wall System shall be installed in "vertical" orientation (no batter).
8. For ease of installation, use only 16"x6" (standard) units for base course.
9. Filter Fabric to be Mirafi 140N or approved equal.



NOTES:

1. "Select (or A.E.)" members shall be HDPE Recycled Plastic Lumber with at least 85% recycled content, "Select" by Bedford Technology, 2424 Armour Road, PO Box 609, Worthington, MN 56187-0609, Phone (507) 372-5558, or Approved Equal. Boardwalk designed to accommodate 75 PSF Live Load. Decking to have Simulated Wood Grain Top Surface.
2. "Fiberforce (or A.E.)" members shall be HDPE Structural-Grade Recycled Plastic Lumber with at least 85% structural content and added fiberglass strands for increased stiffness, "Fiberforce" by Bedford Technology or Approved Equal.
3. Color for all members to be "Mink" by Bedford Technology or Approved Equal.



Scale: $1/2'' = 1'-0''$

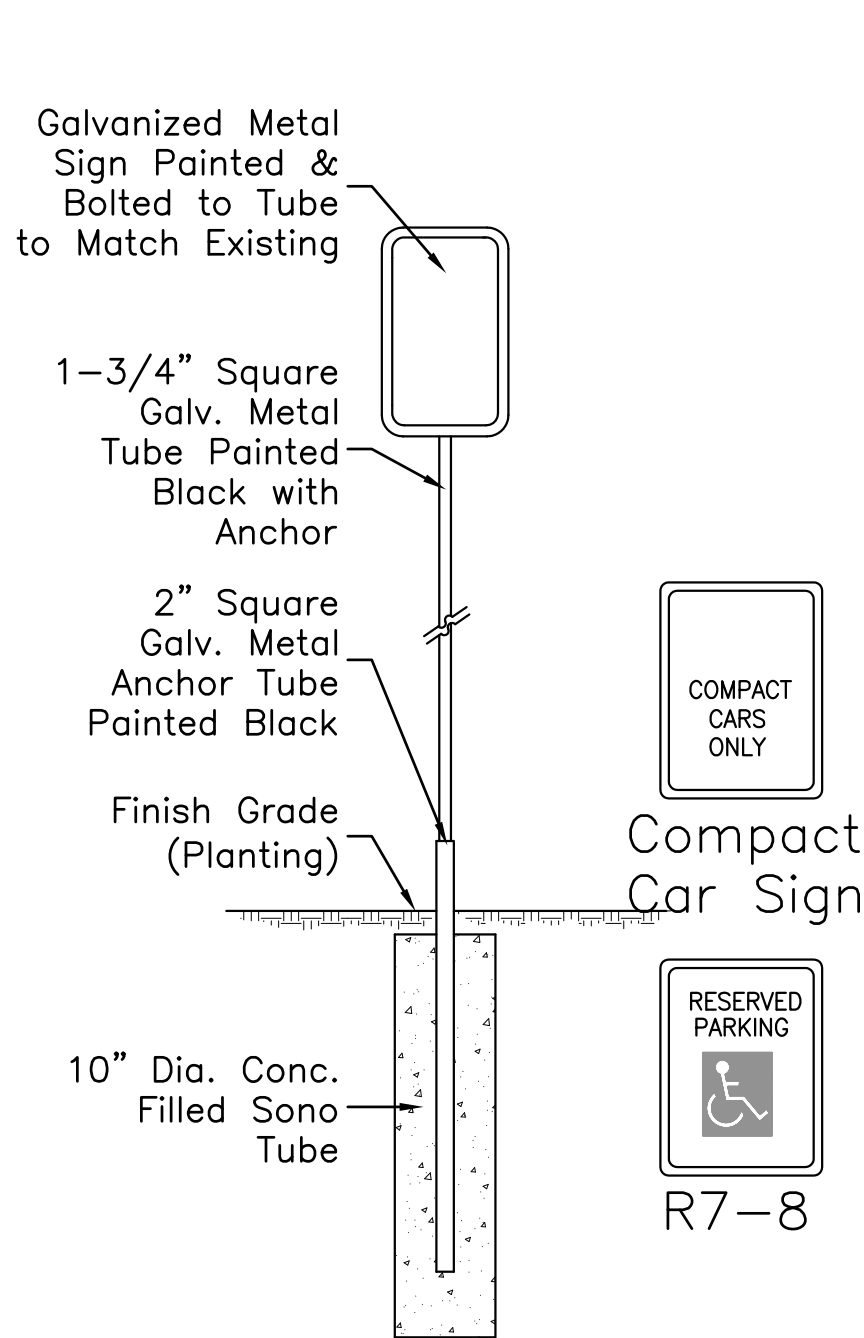


Little Free Library

- Note:
- Existing Little Free Library at existing playground to be removed and reinstalled; see plan L3.0 for location.
 - Little Free Library to be reinstalled in the same manner as it is currently installed.

1 Little Free Library

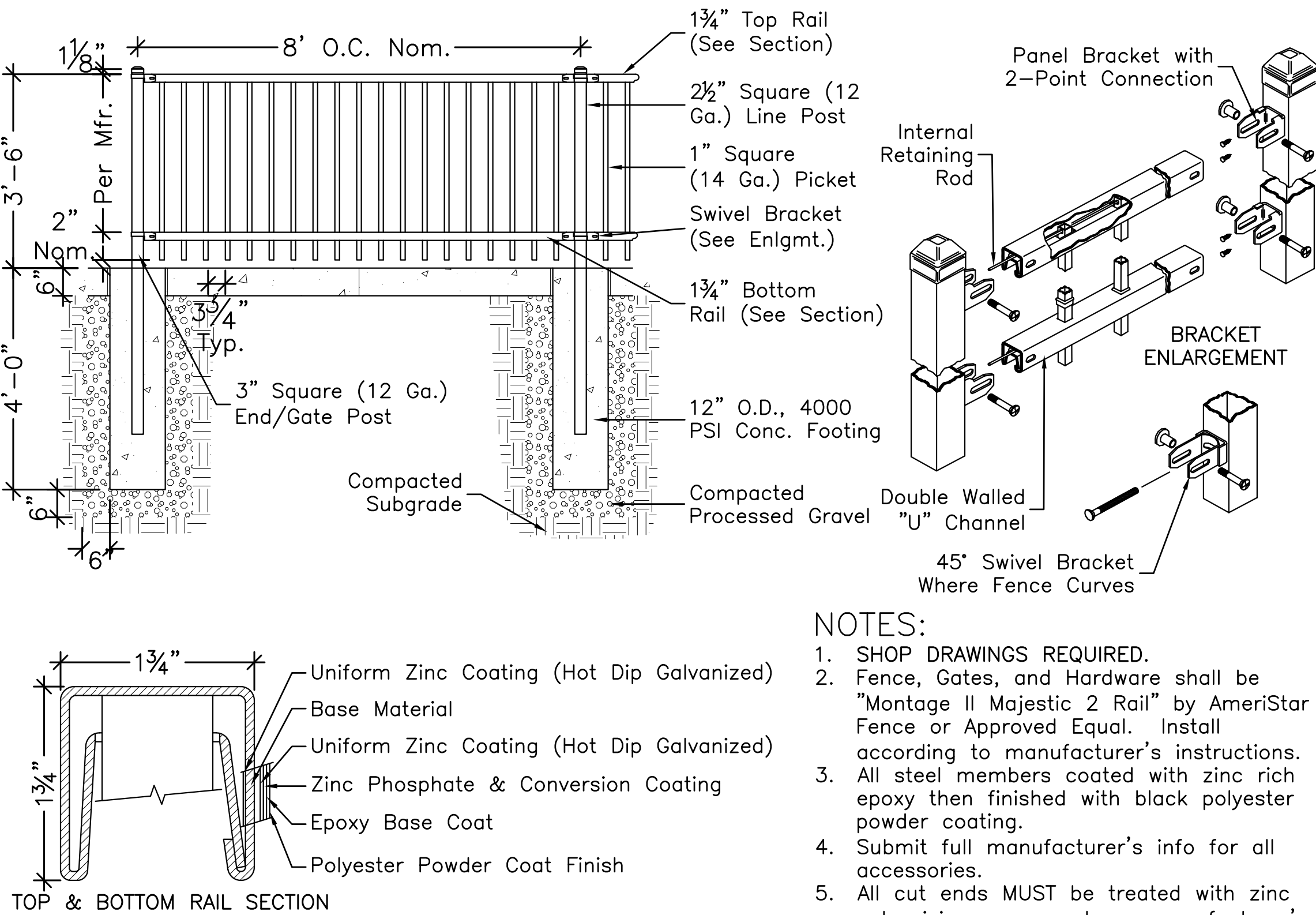
Scale: N.T.S.



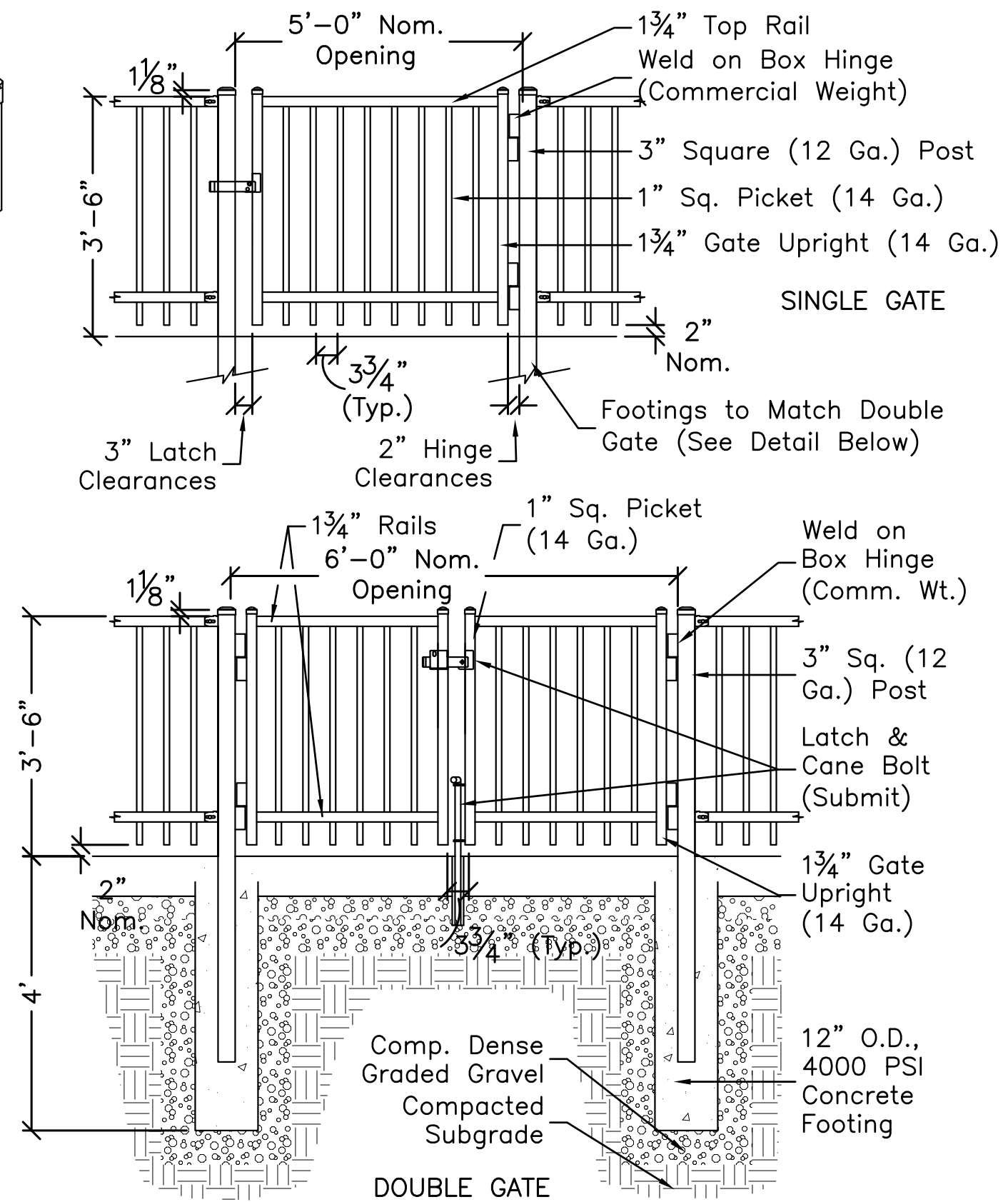
- NOTES:
- Sign to be type R7-8 sign (18" x 12") , or compact car parking sign (18" x 12") and to conform with the Manual on Uniform Traffic Control Devices (latest edition), or as noted.

Handicap/Compact Parking Signs

Scale: 1/2" = 1'-0"



- NOTES:
- SHOP DRAWINGS REQUIRED.
 - Fence, Gates, and Hardware shall be "Montage II Majestic 2 Rail" by AmeriStar Fence or Approved Equal. Install according to manufacturer's instructions.
 - All steel members coated with zinc rich epoxy then finished with black polyester powder coating.
 - Submit full manufacturer's info for all accessories.
 - All cut ends MUST be treated with zinc galvanizing compound per manufacturer's instructions.



4 4' Ht. Ornamental Fence — 4' Ht. Ornamental Single & Double Leaf Gates

Scale: 1/4" = 1'-0"



Gray's Memorial Bench

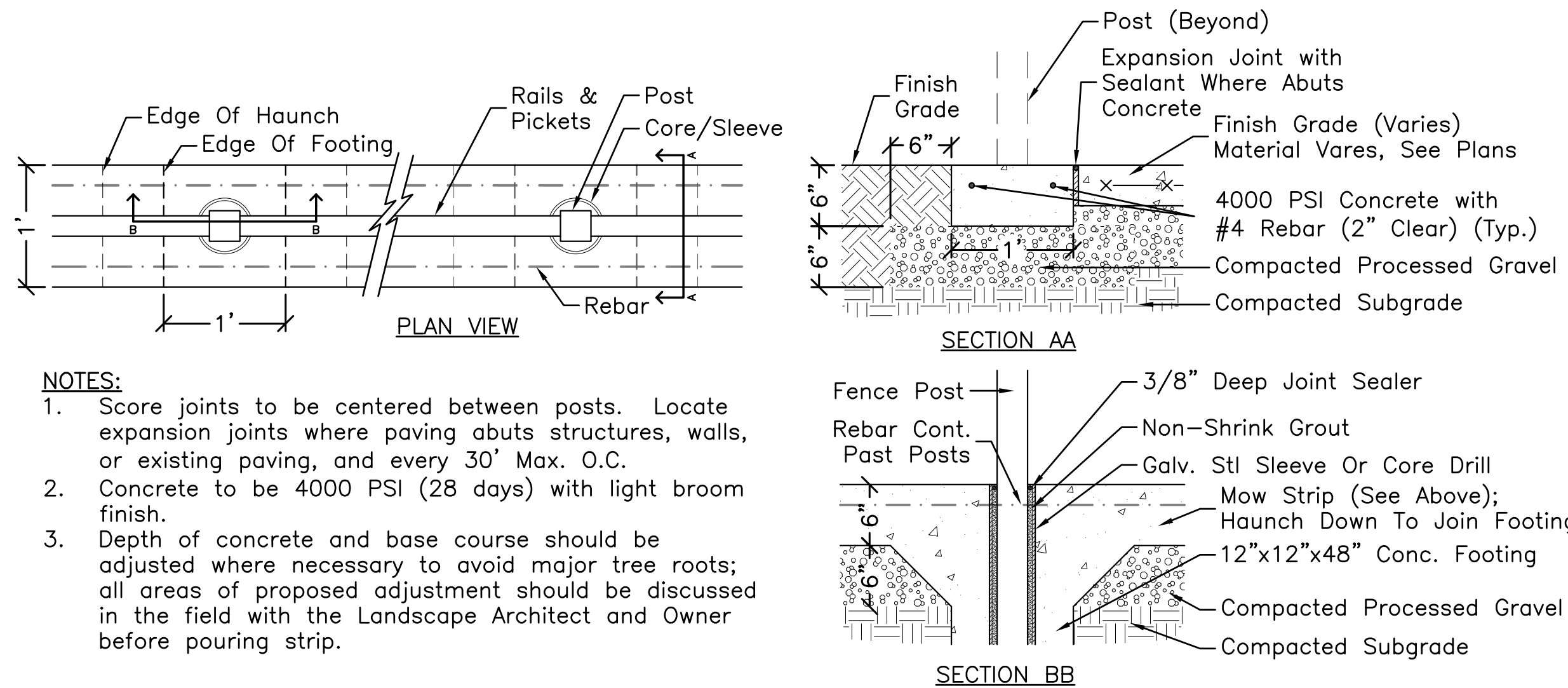


Ethan P. Conolly Memorial Bench

- Note:
- Existing Memorial Benches to be removed and reinstalled, see plan L3.0 for locations. Protect benches from damage while stored.
 - Benches to be reinstalled in the same manner as they are currently installed.

3 Memorial Benches to be Relocated

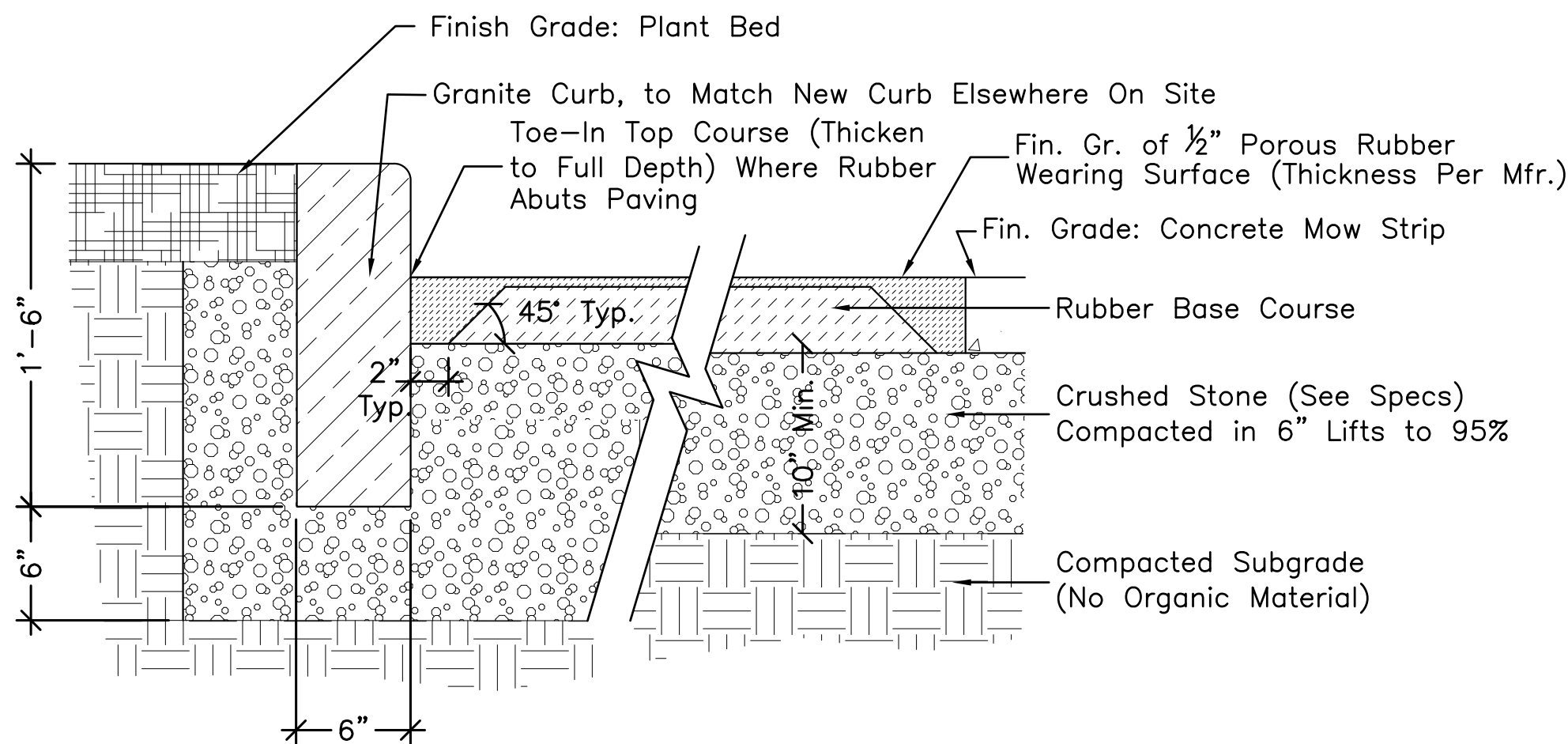
Scale: N.T.S.



- NOTES:
- Score joints to be centered between posts. Locate expansion joints where paving abuts structures, walls, or existing paving, and every 30' Max. O.C.
 - Concrete to be 4000 PSI (28 days) with light broom finish.
 - Depth of concrete and base course should be adjusted where necessary to avoid major tree roots; all areas of proposed adjustment should be discussed in the field with the Landscape Architect and Owner before pouring strip.

5 Concrete Mow Strip Under Ornamental Fence

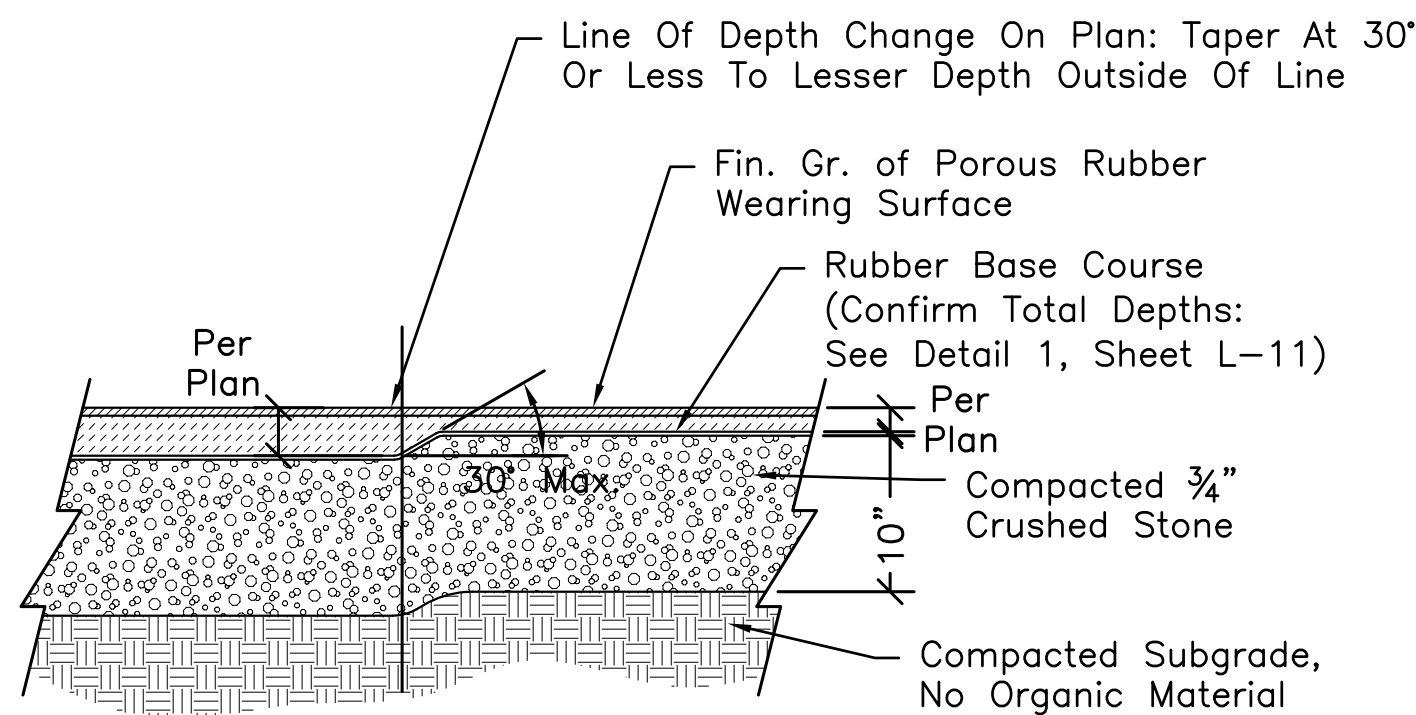
Scale: 1' = 1'-0"



- NOTES:**
1. Rubber Safety Surface to be Playbound Poured-In-Place by Surface America or approved equal conforming with ASTM 1292 per note 2, and ASTM 1951.
 2. Total Surface Depths to be based on proposed surfacing supplier and play equipment. Verify that critical height of surface at depth to be installed meets ASTM 1292 and all other applicable standards for all fall heights of play equipment as installed. The Compacted Crushed Stone base is to be considered a "Hard Base" when determining the required thicknesses.
 3. System to use only aliphatic (non-aromatic) solvents in upper wearing surface.
 4. Landscape Architect to select color blend from manufacturers full range of color options.
 5. System to be tested within 30 days after installation to confirm performance, see specifications.

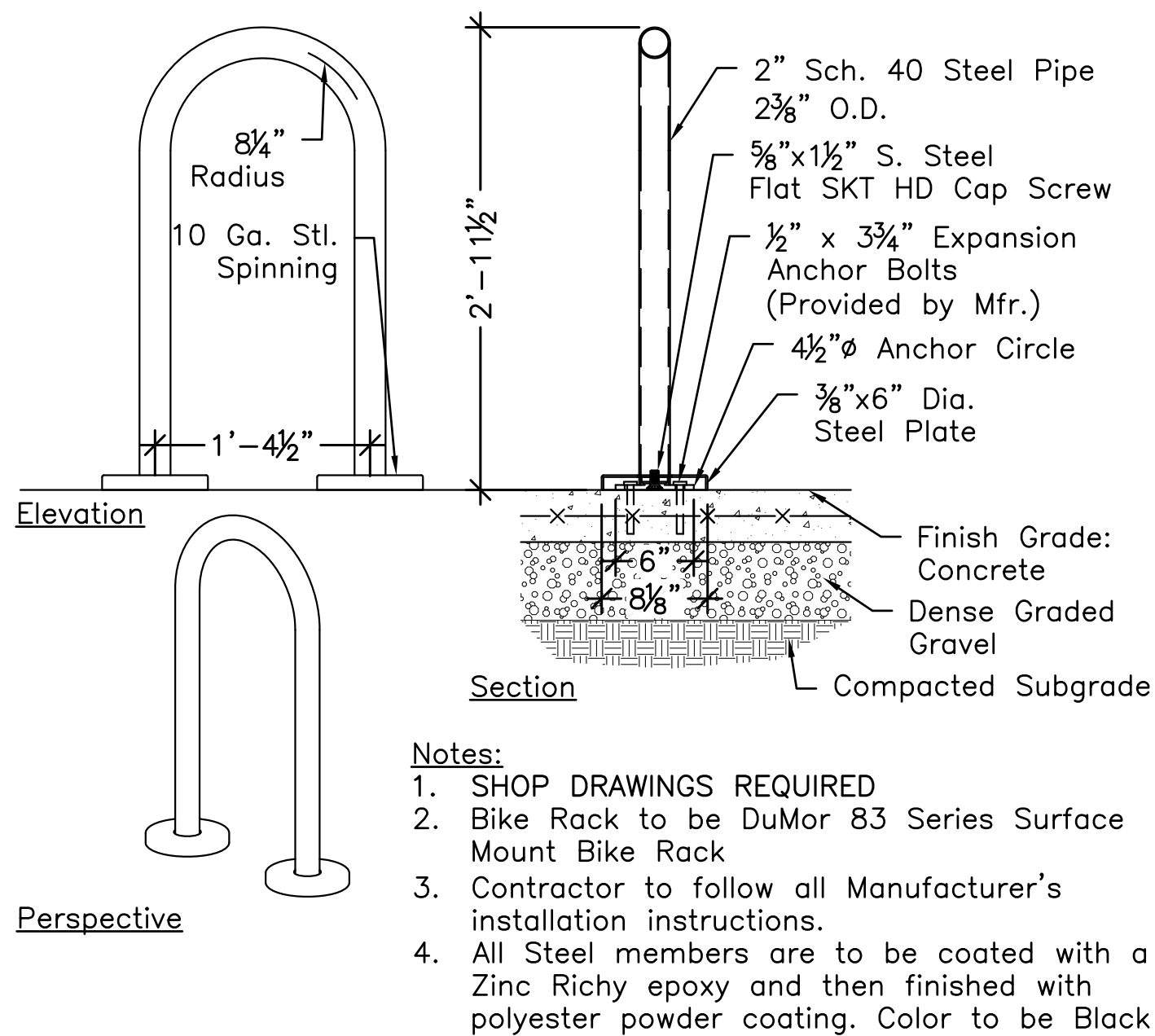
1 Rubber Safety Surface

Scale: 1-1/2" = 1'-0"



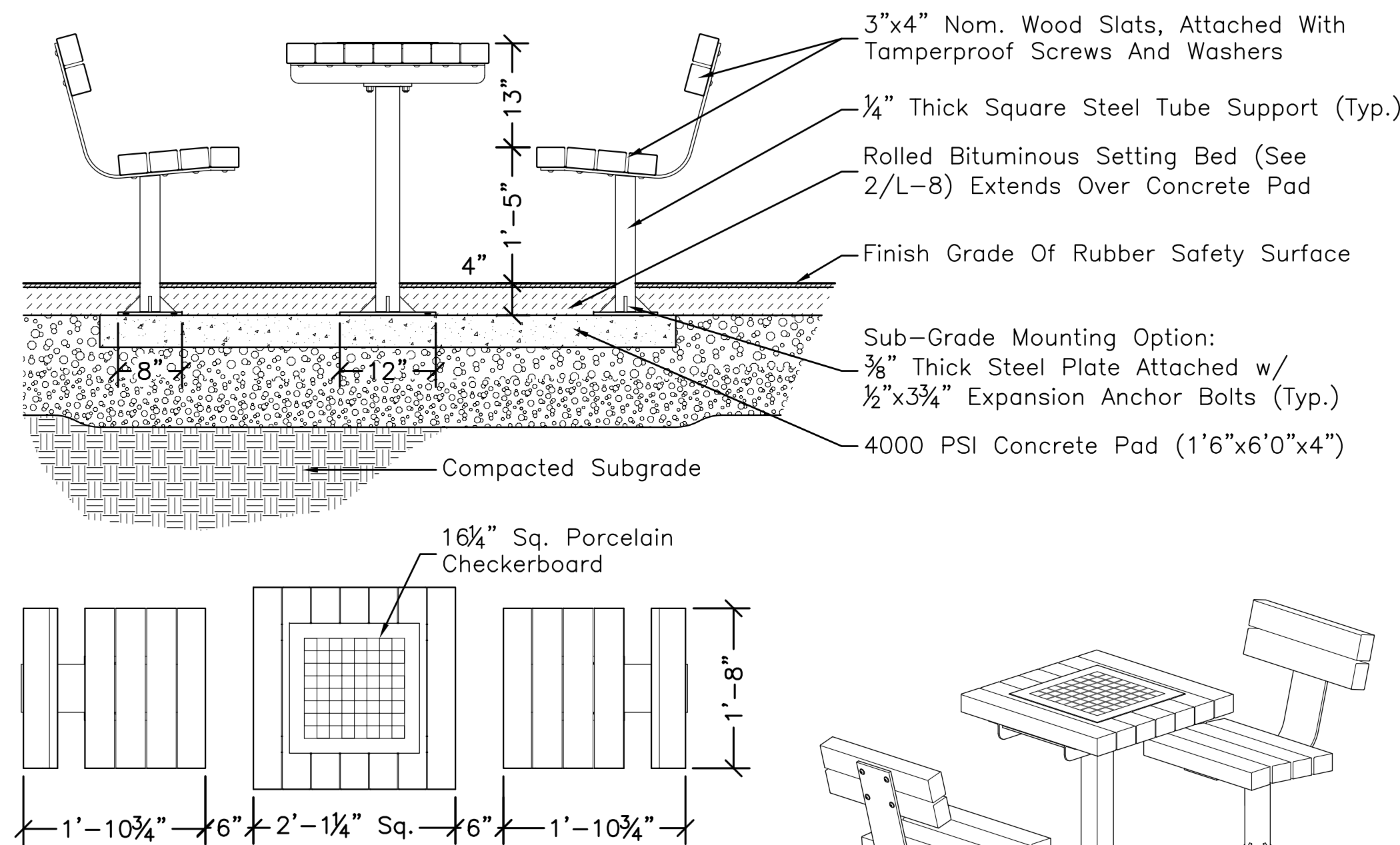
2 Rubber Surface Depth Change

Scale: 1" = 1'-0"



4 Surface Mount Bike Rack

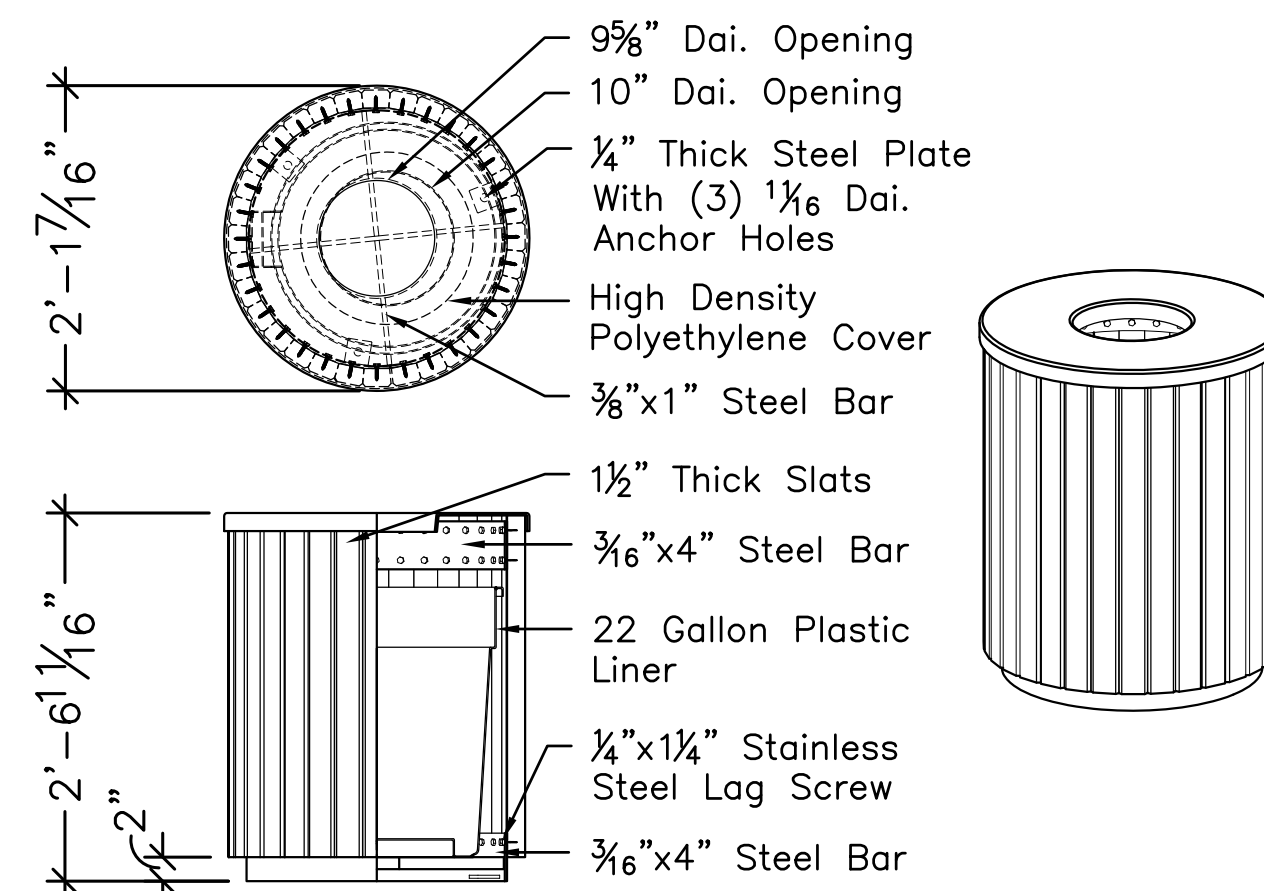
Scale: 1" = 1'-0"



- NOTE:**
1. SHOP DRAWINGS REQUIRED
 2. Benches to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model 78-32PL/S-4 Mounting (Sub-Floor).
 3. Slats to be 'Cedar' Recycled Plastic
 4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black. Touch-up Paint Kit to be provided.
 5. Bench to be sub-grade mounted.
 6. See manufactures information for installation instructions.

3 Game Table

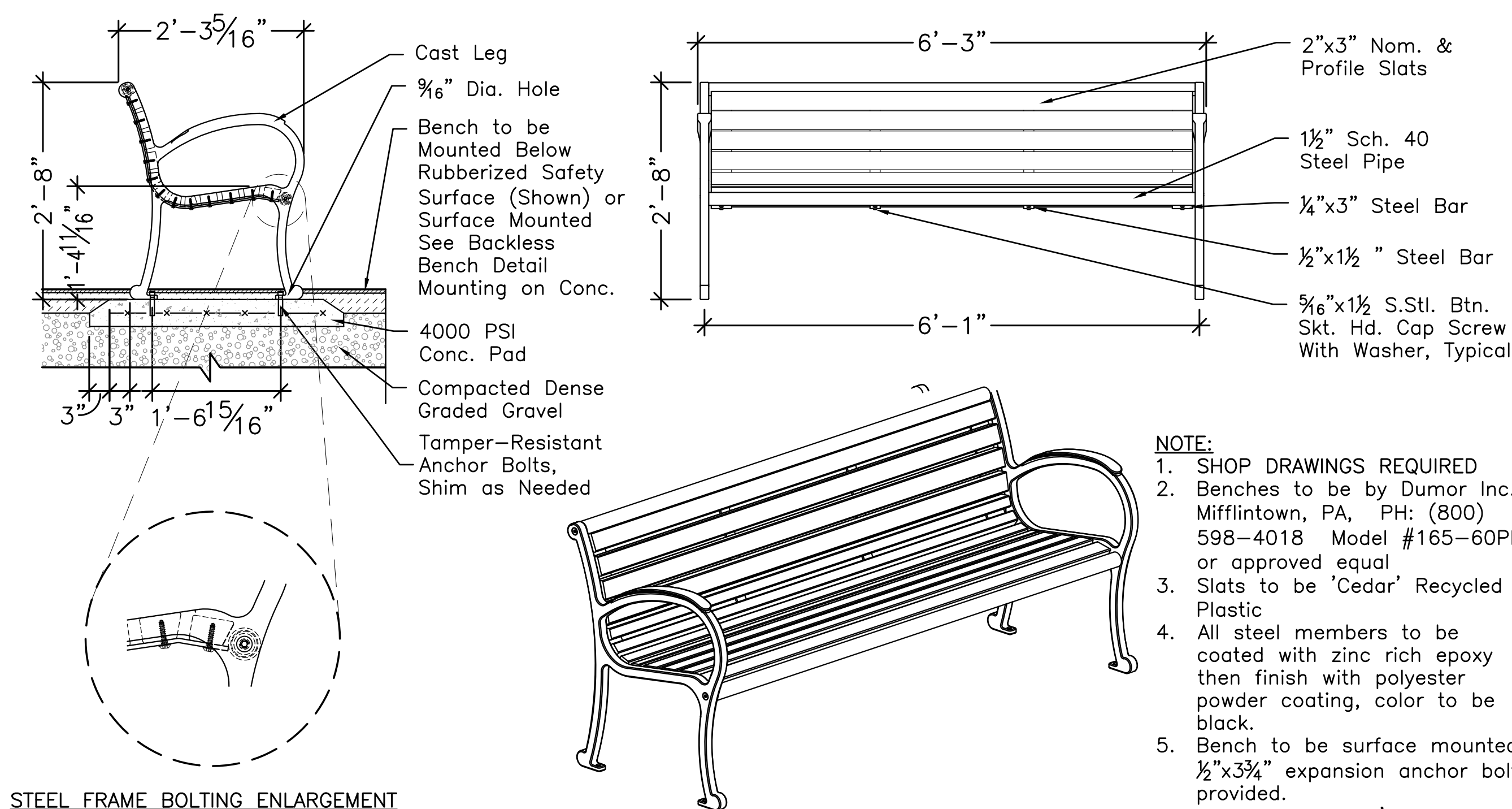
Scale: 3/4" = 1'-0"



- NOTE:**
1. SHOP DRAWINGS REQUIRED
 2. Receptacles to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model #70-22PL or approved equal
 3. Slats to be 'Cedar' Recycled Plastic
 4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
 5. Trash Receptacle to be surface mounted, 1/2"x3 3/4" expansion anchor bolts provided.
 6. Receptacles fully assembled at factory
 7. See manufactures information for installation instructions.
 8. Recycling receptacle to match trash receptacle expect for cover

5 Trash & Recycling Receptacle

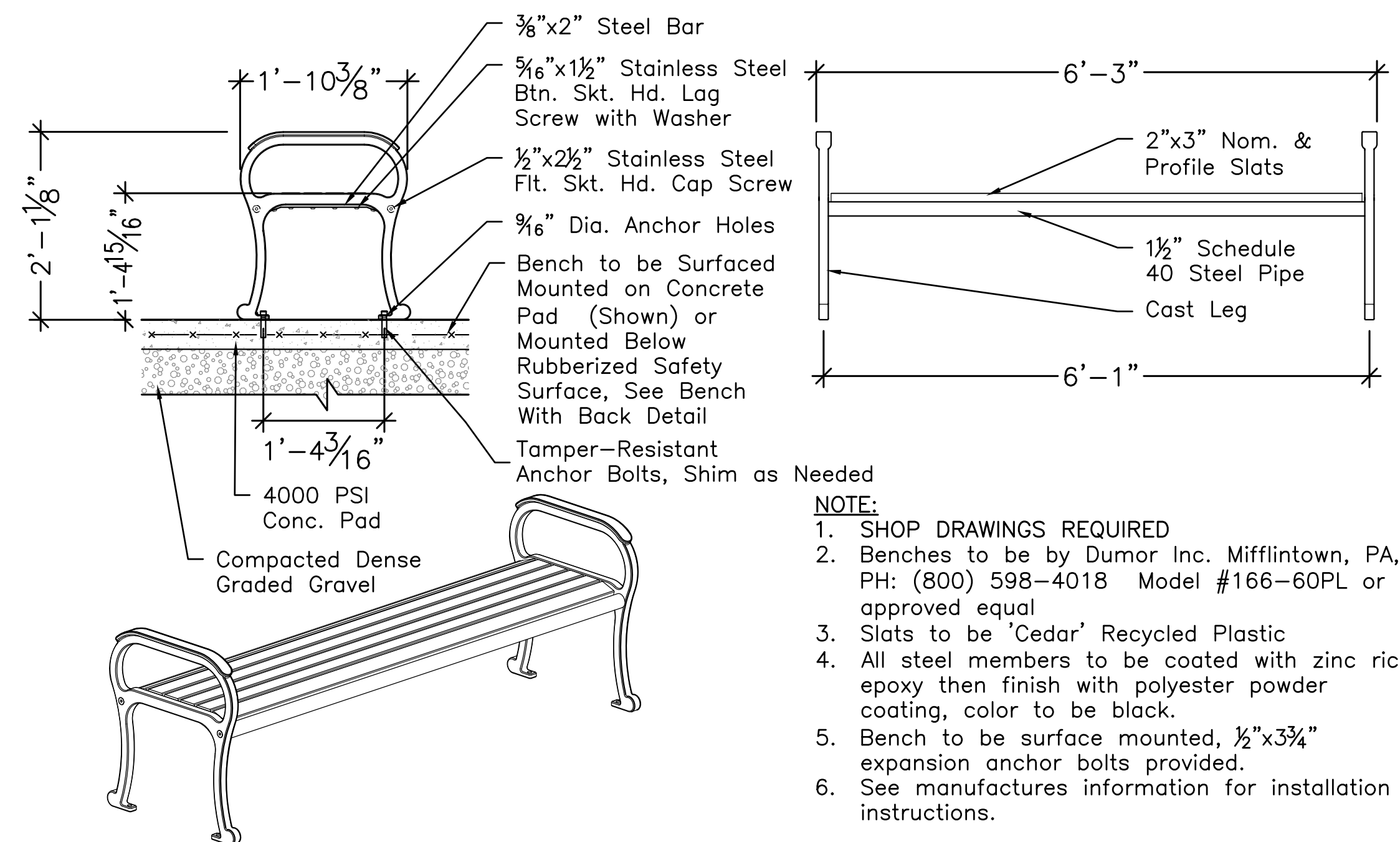
Scale: 3/4" = 1'-0"



STEEL FRAME BOLTING ENLARGEMENT

1 6' Bench With Back

Scale: 3/4" = 1'-0"

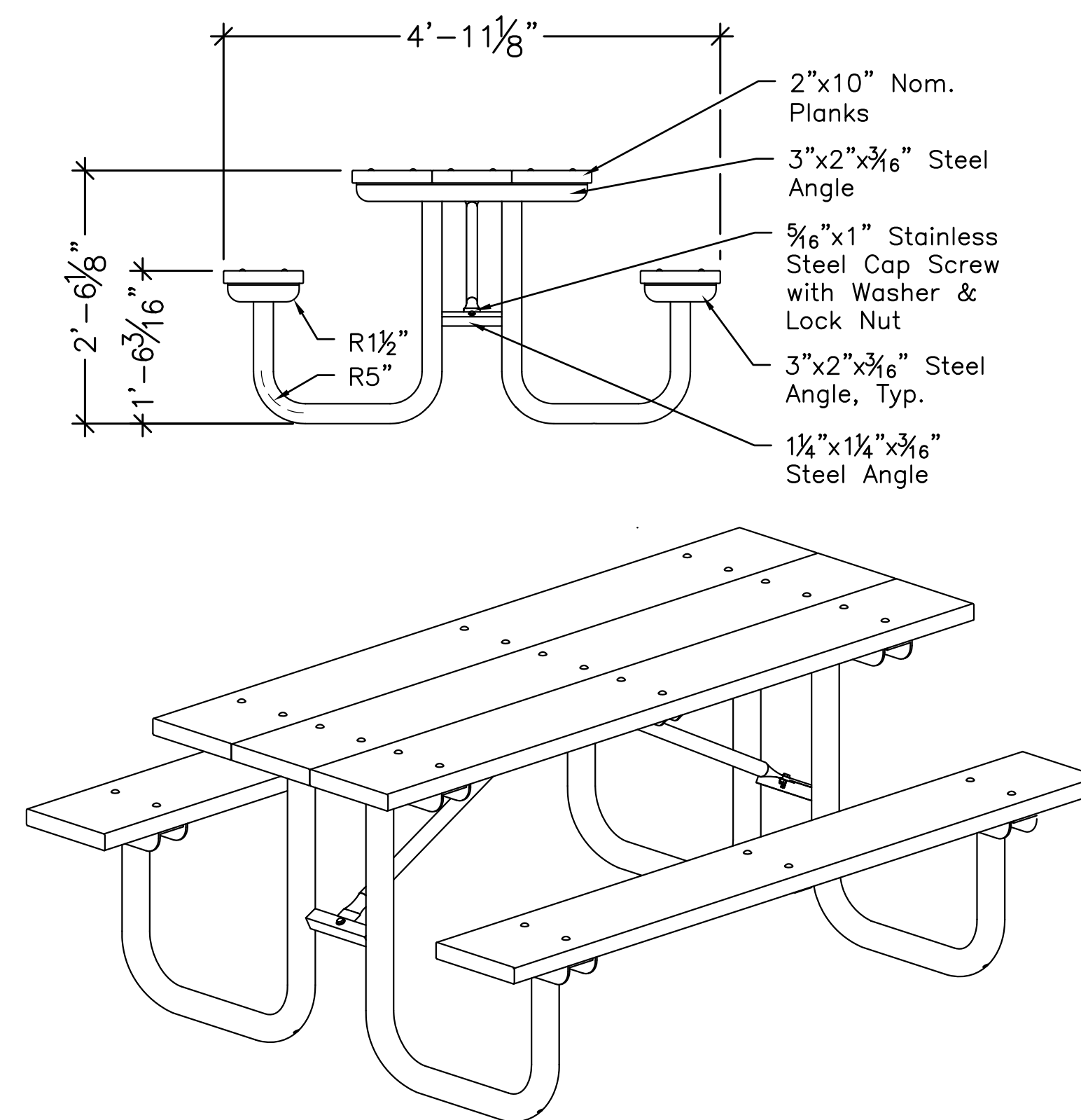


NOTE:

1. SHOP DRAWINGS REQUIRED
2. Benches to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model #166-60PL or approved equal
3. Slats to be 'Cedar' Recycled Plastic
4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
5. Bench to be surface mounted, 1/2" x 3 3/4" expansion anchor bolts provided.
6. See manufacturers information for installation instructions.

2 6' Bench With Back

Scale: 3/4" = 1'-0"

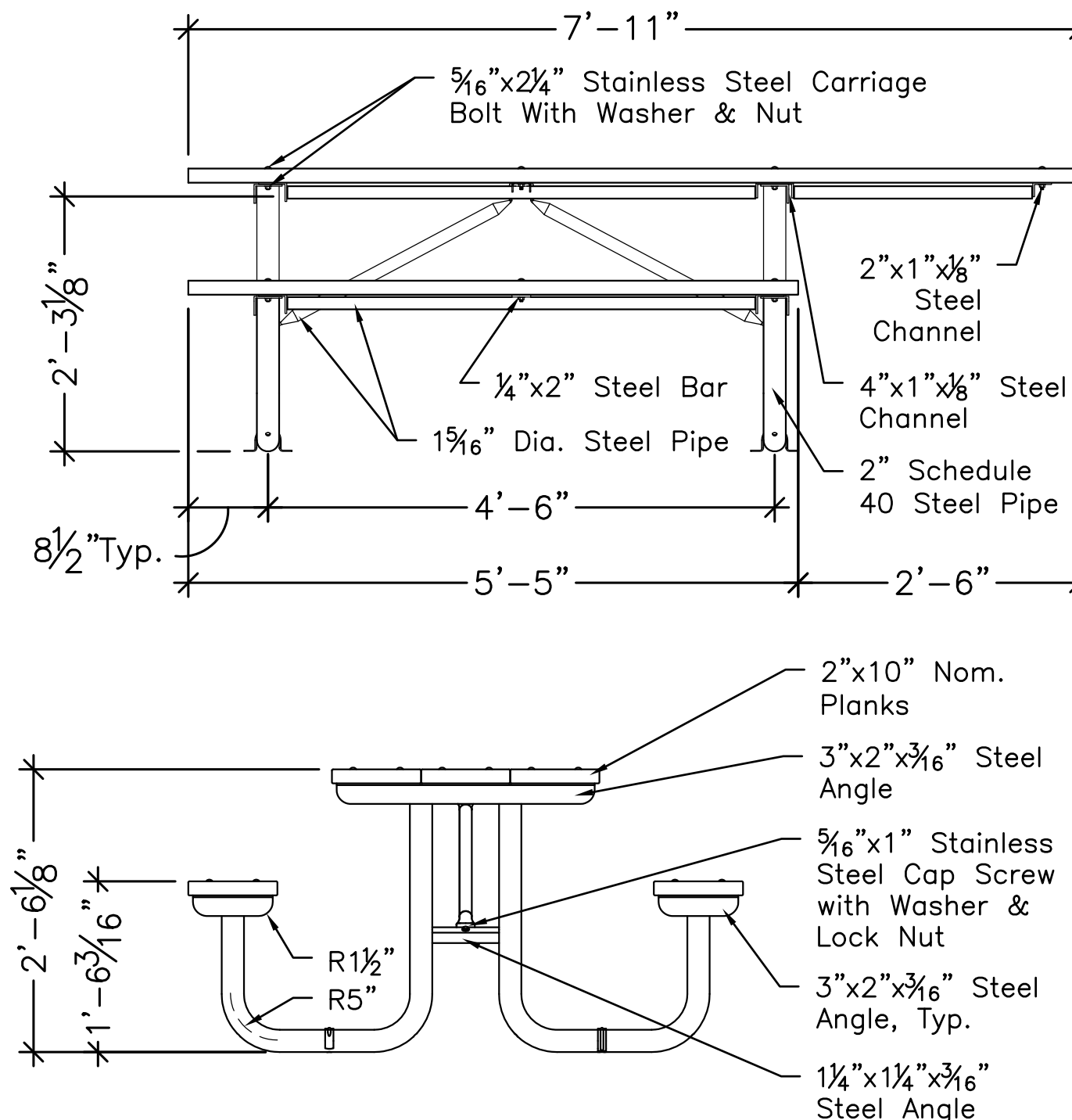


NOTE:

1. SHOP DRAWINGS REQUIRED
2. Picnic Table to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model #77-60PL or approved equal
3. Slats to be 'Cedar' Recycled Plastic
4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
5. Picnic Table to be free standing, do not surface mount.
6. See Manufacturer's information for assembly instructions

3 6' Picnic Table (Below Pavilion)

Scale: 3/4" = 1'-0"

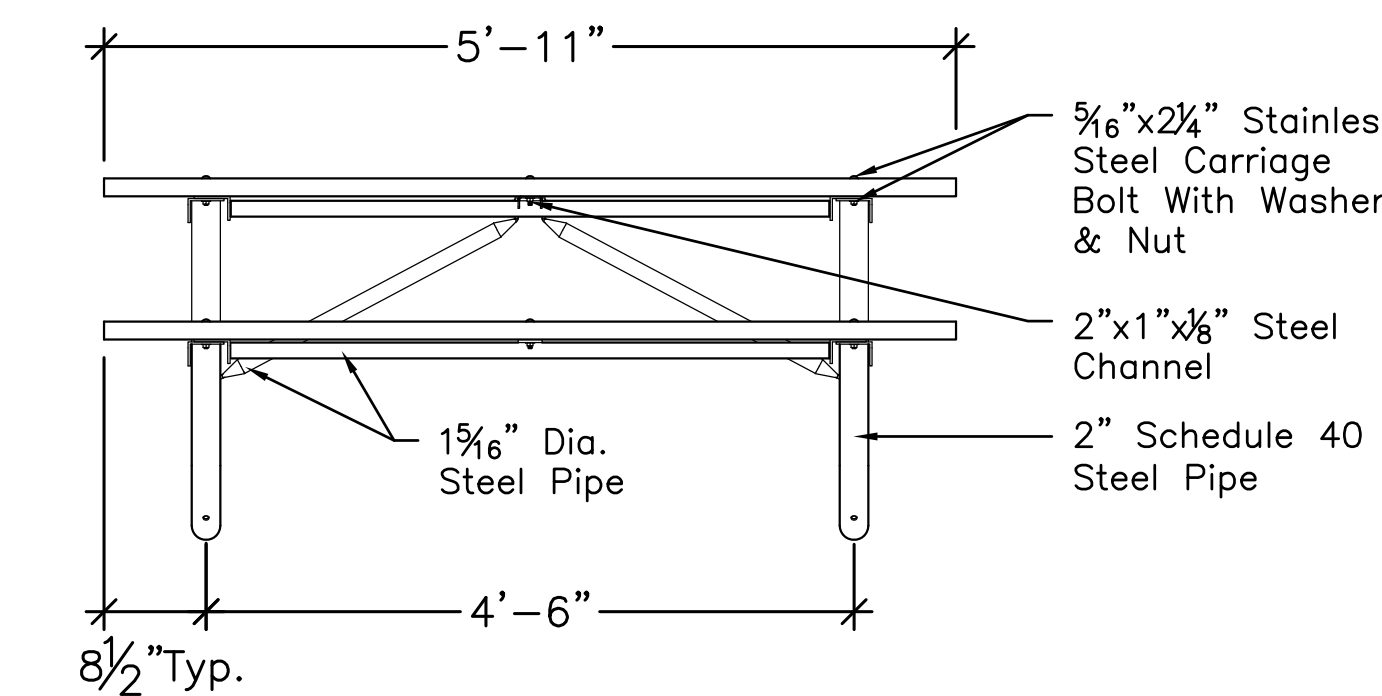


NOTE:

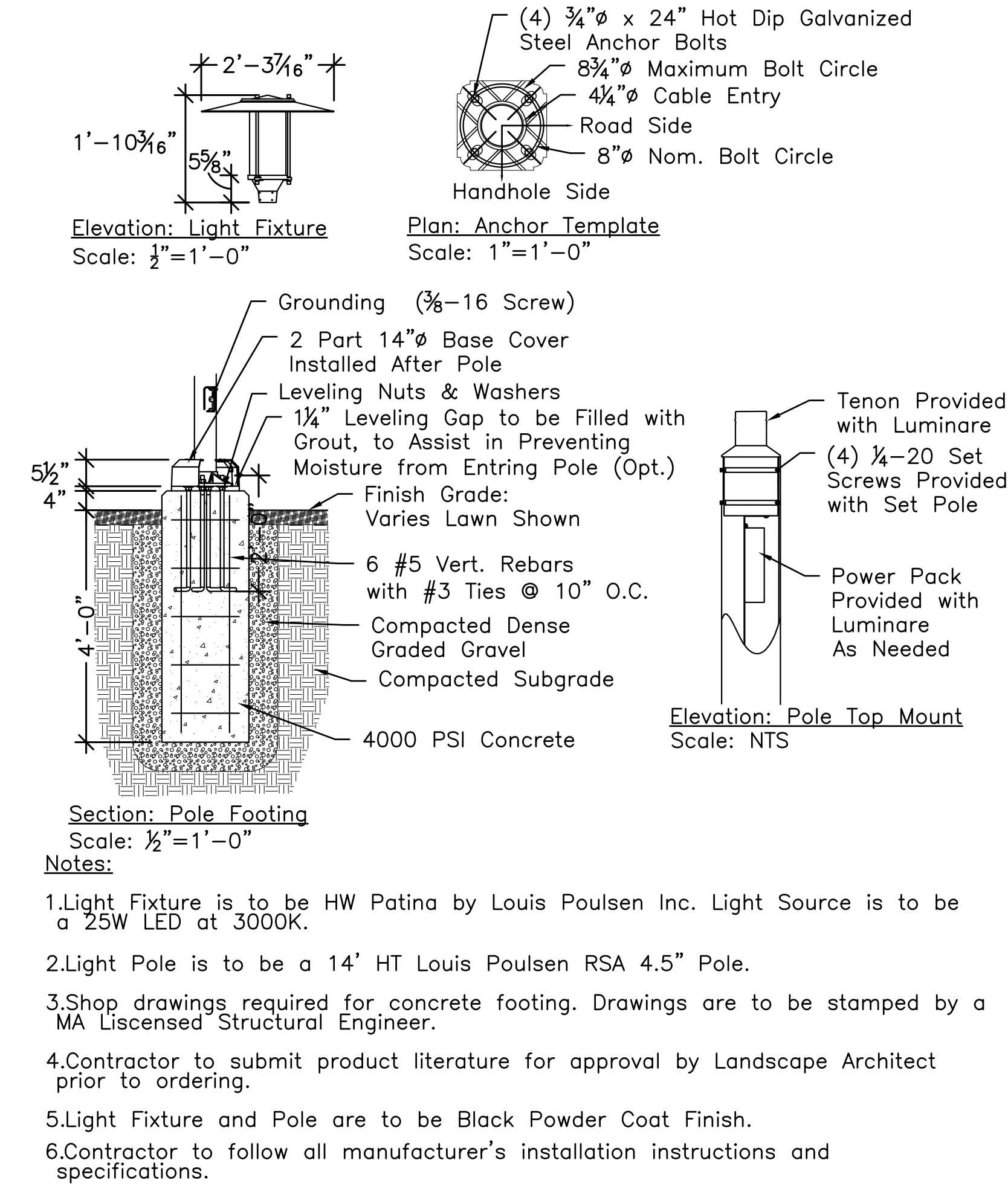
1. SHOP DRAWINGS REQUIRED
2. Picnic Tables to be by Dumor Inc. Mifflintown, PA, PH: (800) 598-4018 Model #77-68-1PL
3. Slats to be 'Cedar' Recycled Plastic
4. All steel members to be coated with zinc rich epoxy then finish with polyester powder coating, color to be black.
5. Picnic Table to be surface mounted to concrete plaza. 1/2" x 3 3/4" expansion anchors & 2" pipe clamps provided (4-Pieces)
6. See Manufacturer's information for installation and assembly instructions

4 ADA Accessible Picnic Table (In Playground)

Scale: 3/4" = 1'-0"

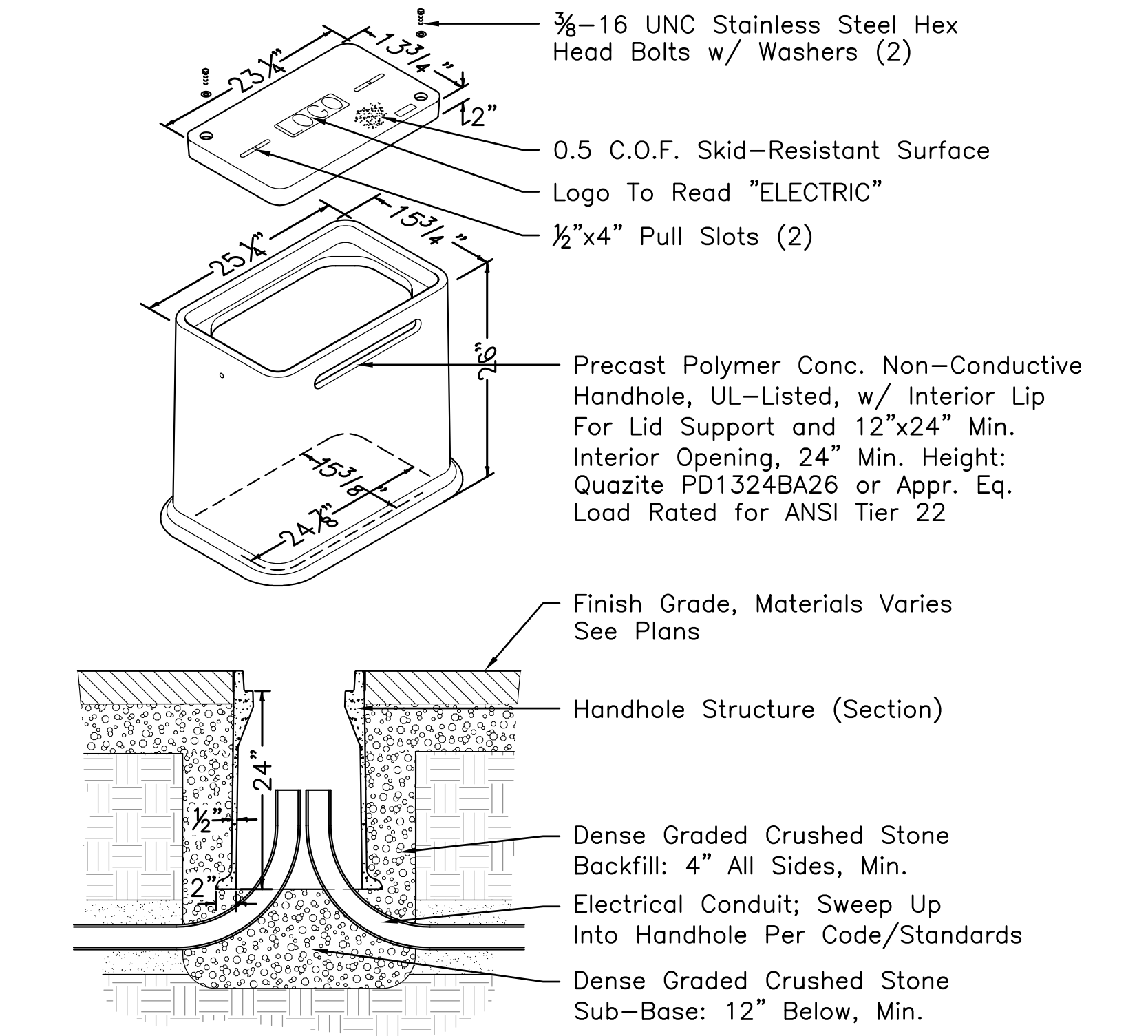


ANCHORING DETAIL



1 Pole Light

Scale: 1/2" = 1'-0"

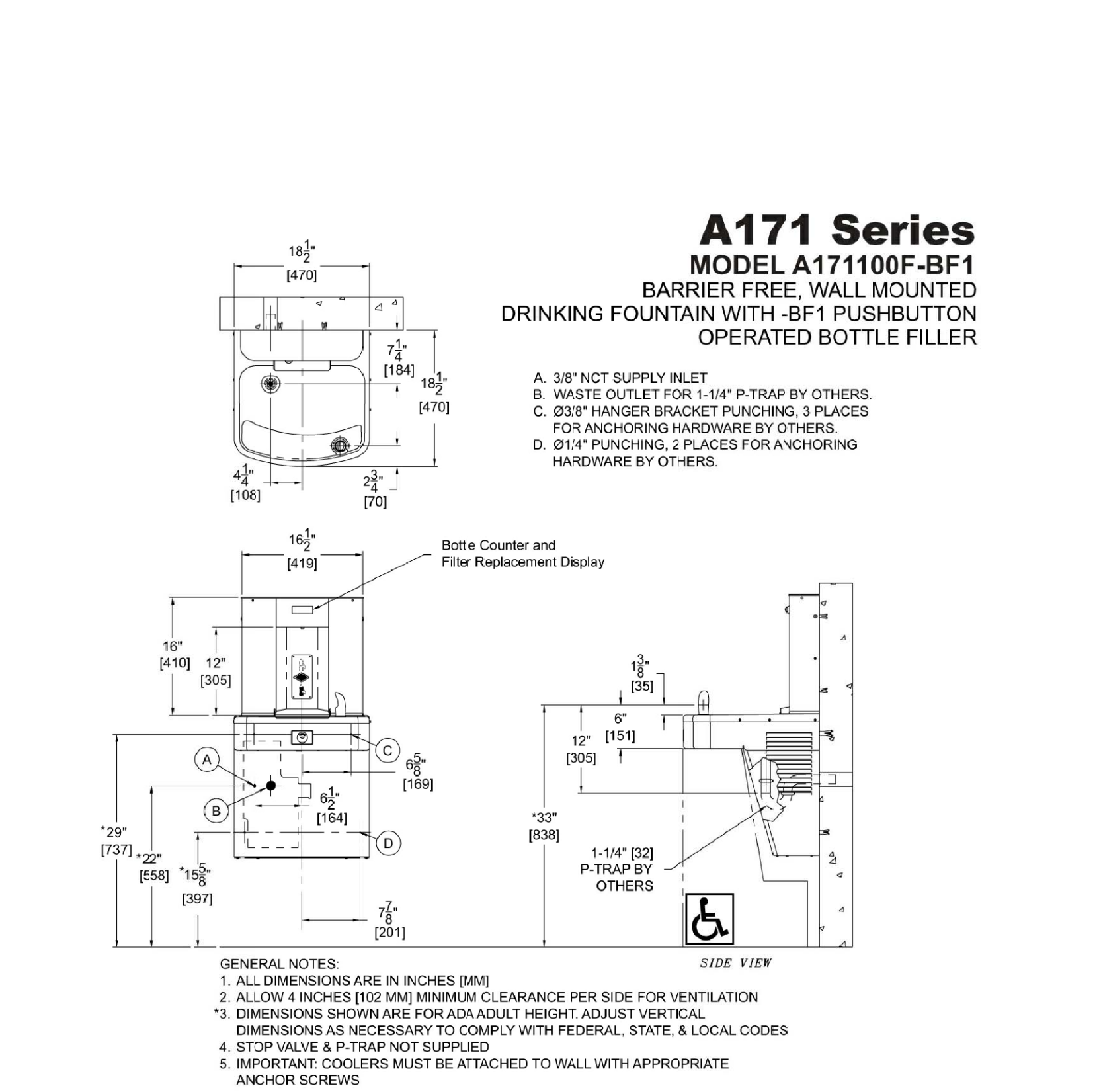


2 Electrical Handhole

Scale: 3/4" = 1'-0"

3 Electrical or Data Conduit

Scale: 3/4" = 1'-0"



4 Building Mounted Drinking Fountain

Scale: N.T.S.

FOR PERMIT ONLY



Renderings of the Proposed Play Equipment

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

IMPROVEMENTS TO: OAKLAND PARK
Site Plan Submission
PLAY EQUIPMENT

DATE:	08-17-2017
SCALE:	N.T.S.
FILE:	OAK_PERMITTING_L10.dwg
DWN BY:	PAH
CKD BY:	DJC
PROJ. #:	1612B

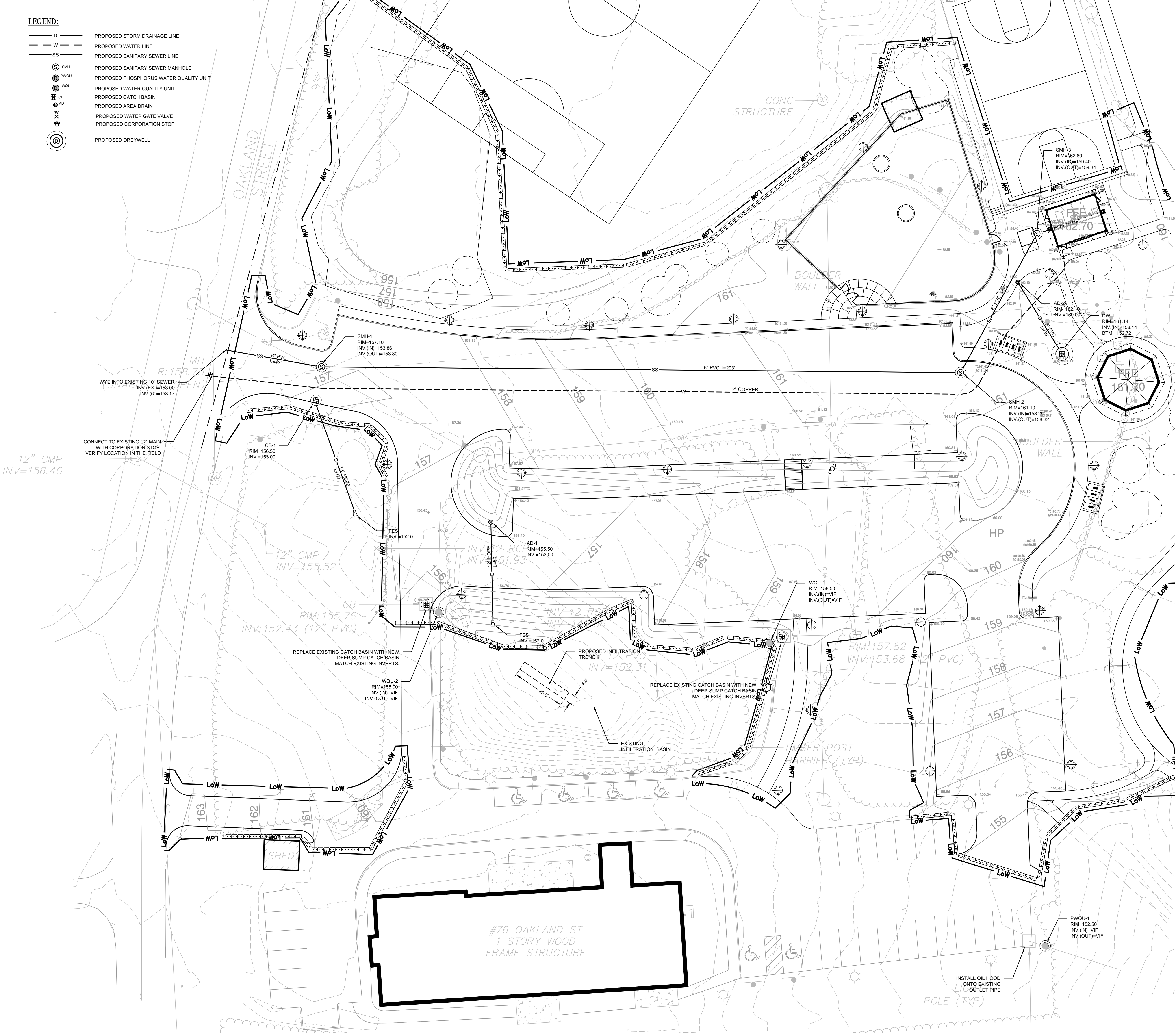


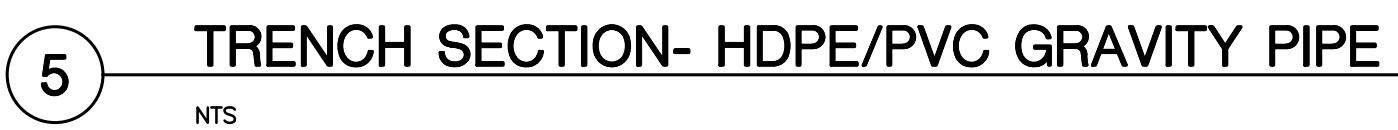
L10.0

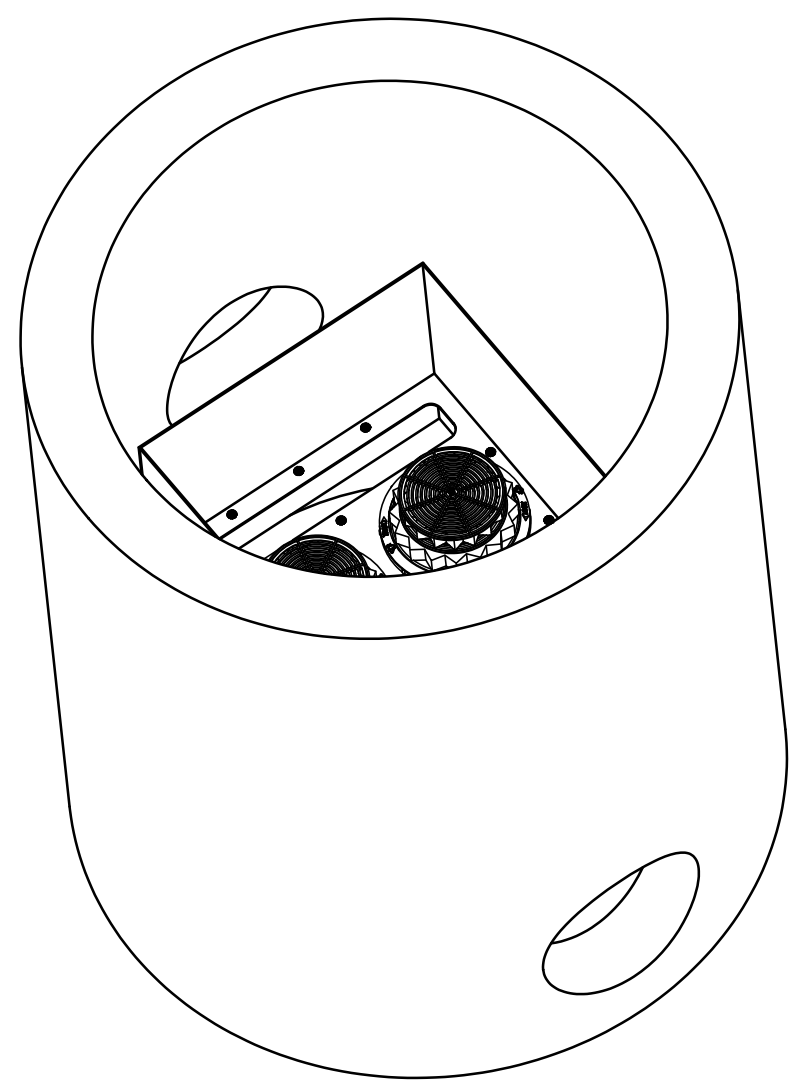
FOR PERMIT ONLY

LEGEND:

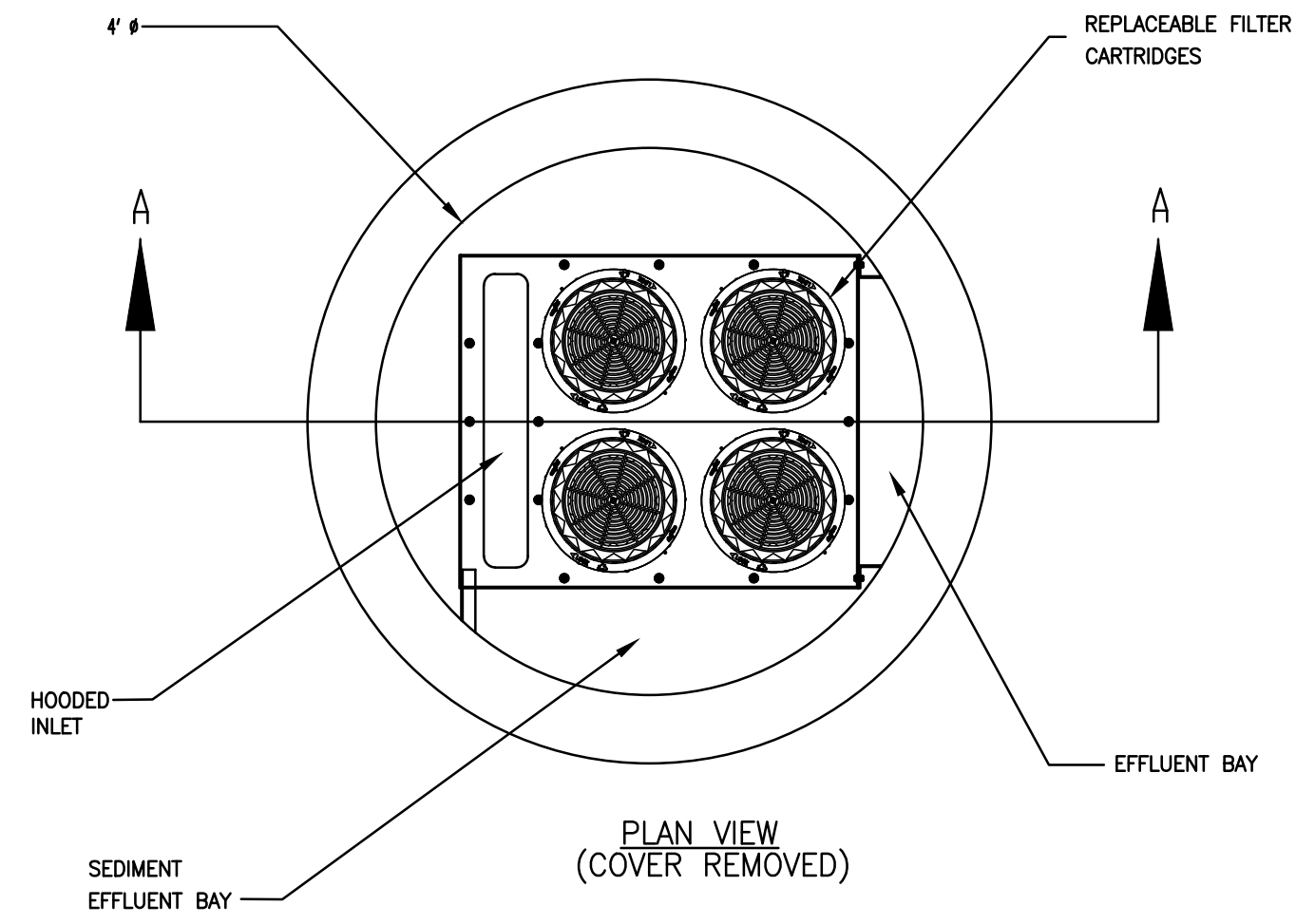
- D PROPOSED STORM DRAINAGE LINE
- W PROPOSED WATER LINE
- SS PROPOSED SANITARY SEWER LINE
- SMH PROPOSED SANITARY SEWER MANHOLE
- PWQU PROPOSED PHOSPHORUS WATER QUALITY UNIT
- WQU PROPOSED WATER QUALITY UNIT
- CB PROPOSED CATCH BASIN
- AD PROPOSED AREA DRAIN
- WGV PROPOSED WATER GATE VALVE
- CS PROPOSED CORPORATION STOP
- DW PROPOSED DREYWELL



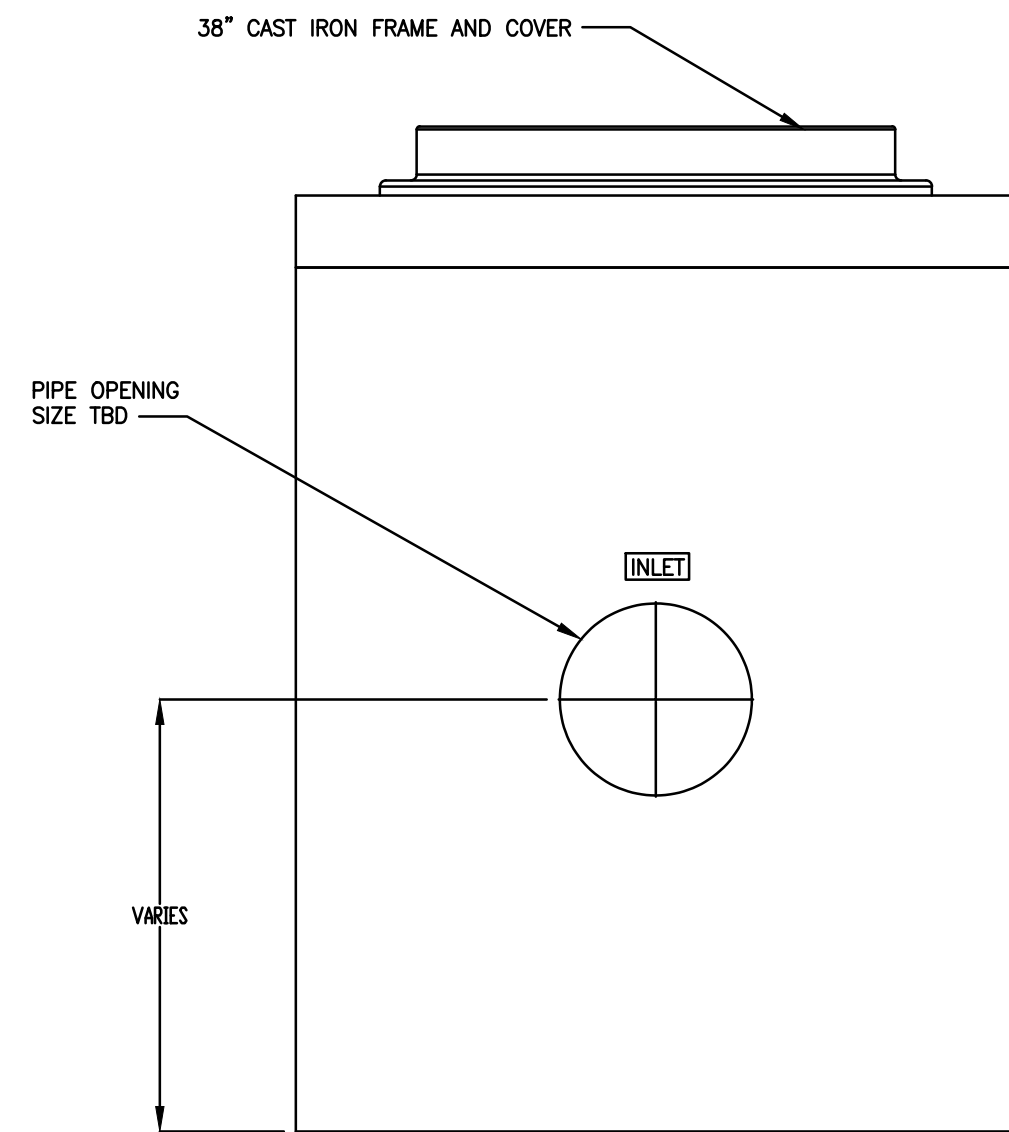




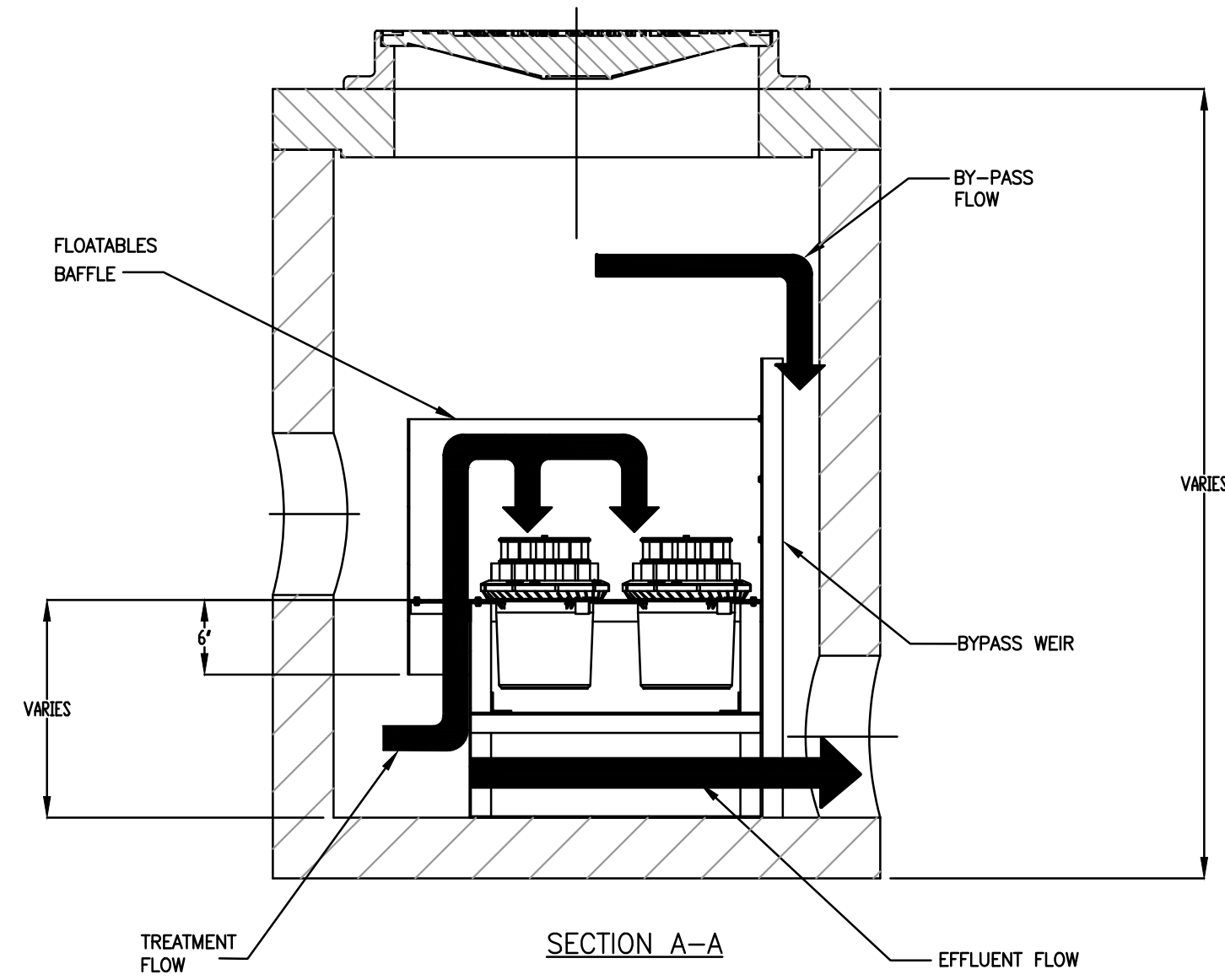
REFERENCE VIEW
(COVER REMOVED)



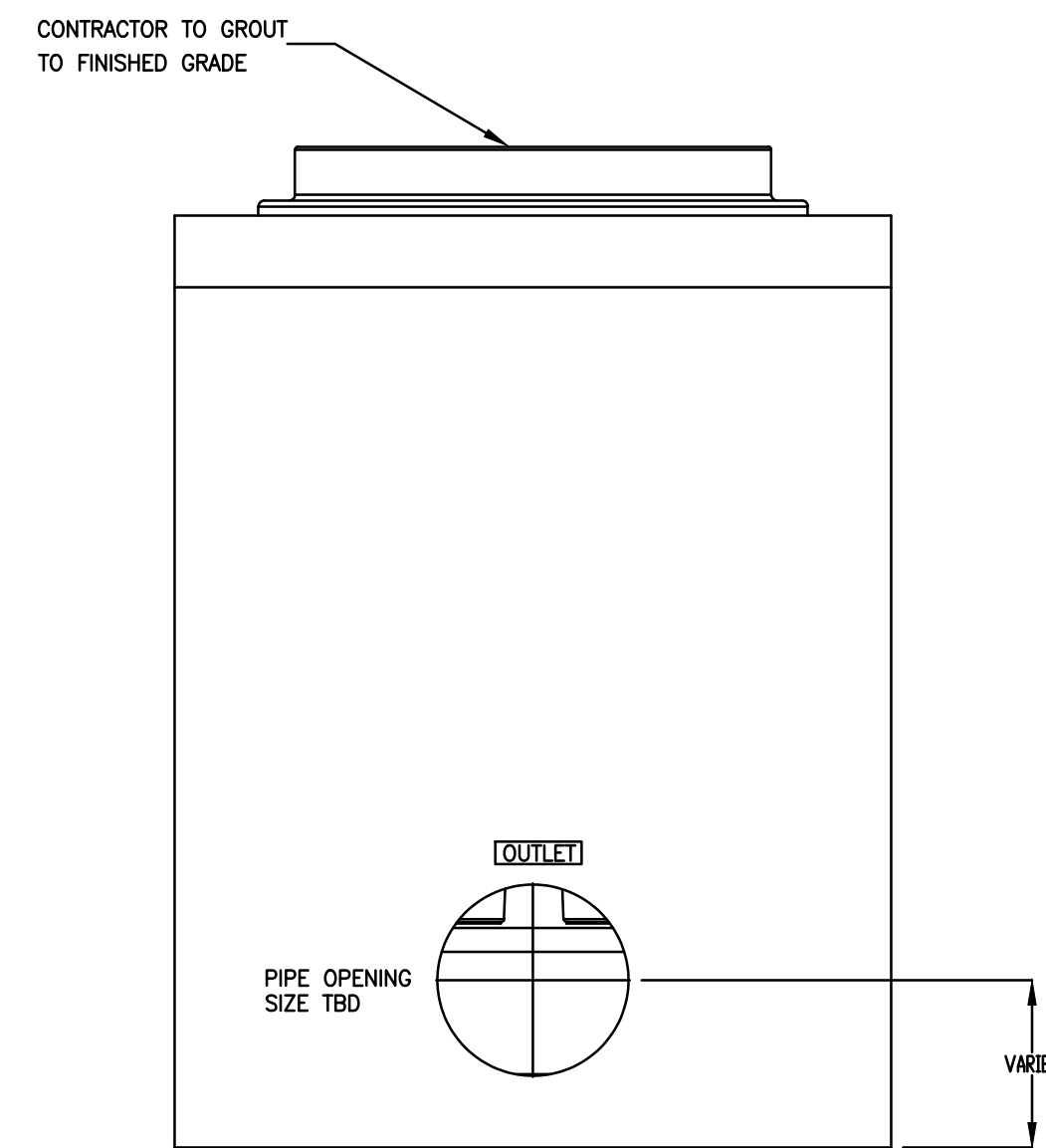
PLAN VIEW
(COVER REMOVED)



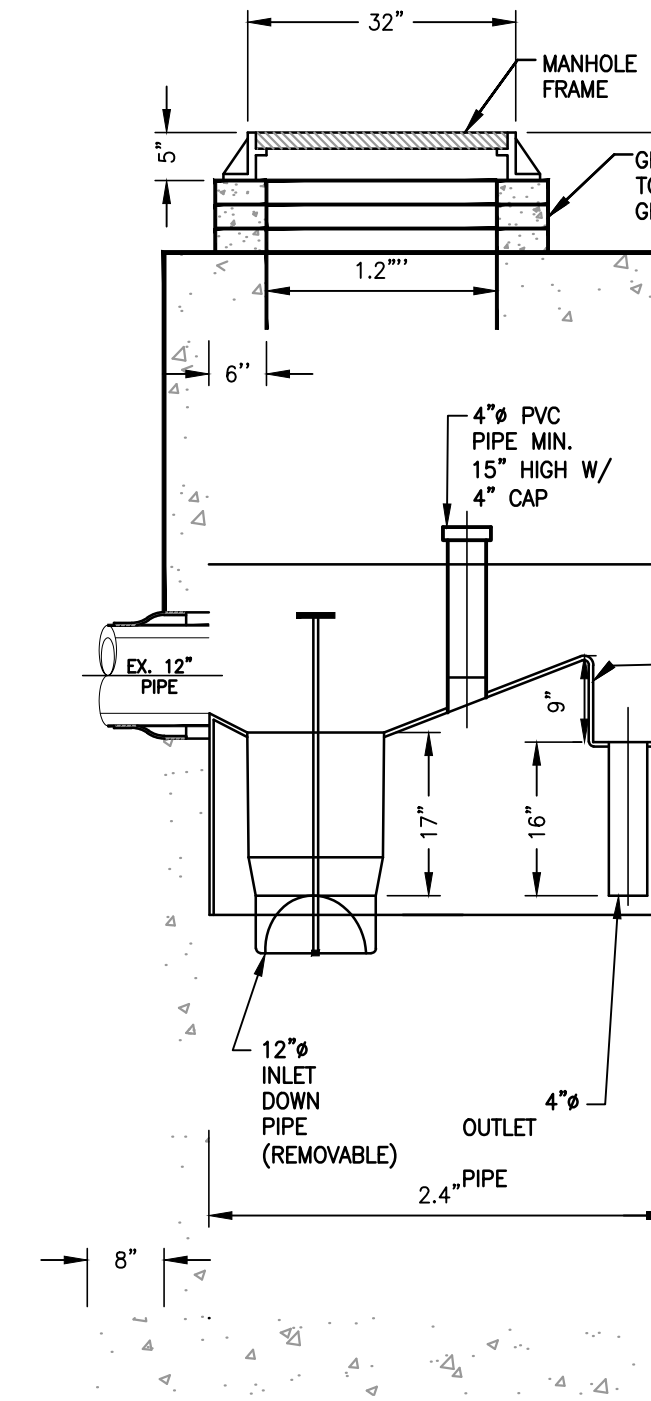
END VIEW, INLET



SECTION A-A



END VIEW, OUTLET



SECTION THRU CHAMBER

1

PHOSPHOROUS WATER QUALITY UNIT

NTS

2

WATER QUALITY UNIT

NTS

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-3.A.7 (a) - Planning Board Submittals: Development Impact Statement - Traffic Impact Assessment
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the preparation and submission of a full Traffic Impact Assessment due to the creation of more than 30 new parking spaces.
What aspect of the Regulation do you propose be waived?	Requirement for a full Traffic Impact Assessment.
What do you propose instead?	Acceptance of the general summary submitted with the application.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The proposed project is not generating additional uses on the site, merely reconfiguring and expanding existing parking areas to accommodate existing uses already present at the site; no additional traffic is expected to be generated by the project.
What is the estimated value/cost savings to the applicant if the waiver is granted?	A preliminary estimate for a traffic study of appropriate scale would be approximately \$6,000 to \$7,000 or more.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The cost savings for the traffic impact study allows more of the approved funding to be applied to the construction phase of the project's budget.
What is the impact on the development if this waiver is denied?	The time needed could delay permitting past Town Meeting.
What are the design alternatives to granting this waiver?	The Applicant will seek out a consultant to prepare the Assessment.
Why is granting this waiver in the Town's best interest?	The traffic impact appears minimal and the timetable is constricted.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the preparation of the Assessment.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	As outlined in the Development Impact Statement, there is reason to expect little traffic impact, and the site's circulation will be improved.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Development Impact Statement submitted.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-3.A.7 (b) - Planning Board Submittals: Development Impact Statement - Environmental Impact Assessment
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the preparation and submission of a full Environmental Impact Assessment due to the creation of more than 30 new parking spaces.
What aspect of the Regulation do you propose be waived?	Requirement for a full Environmental Impact Assessment.
What do you propose instead?	Acceptance of the general summary submitted with the application.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The Stormwater Narrative and Groundwater Protection District Special Permit Applications contain detail on the water quality protection measures. No areas of environmental concern are present at the site. New disturbance is minimized.
What is the estimated value/cost savings to the applicant if the waiver is granted?	A preliminary estimate for an environmental study of appropriate scale would be approximately \$2,500 to \$3,500 or more.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The cost savings for the environmental impact study allows more of the approved funding to be applied to the construction phase of the project's budget.
What is the impact on the development if this waiver is denied?	The time needed could delay permitting past Town Meeting.
What are the design alternatives to granting this waiver?	The Applicant will request a proposal from the team's Civil Engineer.
Why is granting this waiver in the Town's best interest?	The environ. impact is documented and the timetable is constricted.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the preparation of the Assessment.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	As outlined in the Development Impact Statement, there is reason to expect little environmental impact, and water quality will be improved.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Development Impact Statement submitted.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-5.C.1 and 2 - Planning Board Submittals: Existing Condition Sheets (Man-Made and Natural Features)
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the inclusion of all natural and manmade features within 100' of the project site on the Existing Conditions Plans.
What aspect of the Regulation do you propose be waived?	Requirement to extend out to 100' beyond property line.
What do you propose instead?	Acceptance of the site survey submitted with the application.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The site survey was obtained during the Master Planning stage with limits at 10' beyond the property edge except at streets in general; site development is generally confined to the interior of the site except along the public roadway.
What is the estimated value/cost savings to the applicant if the waiver is granted?	To have the survey extended around a parcel of this size would be several thousand dollars - no quote has been received.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The areas within 100' of proposed sitework are within the project site in most cases; extending the survey expends project budget on information that is not needed to that level of detail.
What is the impact on the development if this waiver is denied?	The time needed could delay permitting past Town Meeting.
What are the design alternatives to granting this waiver?	The Applicant will request a proposal from the team's Surveyor.
Why is granting this waiver in the Town's best interest?	100' past the affected area is documented and the timetable is tight.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the preparation of the extended survey.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	If additional information about abutting areas is needed, we propose to provide existing aerial photography for general information.
What is the estimated value of the proposed mitigation measures?	N/A - the information has already been collected.
Other Information?	-
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-5.C.3 - Existing Landscape Inventory, 204-5.D.7 - Landscape Architectural Plan, and 205-9.F - Tree Replacement
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the inventory and documentation of existing trees 12" or more in D.B.H. (204-5) and replacement of removed trees 10" or more in DBH (205-9).
What aspect of the Regulation do you propose be waived?	Requirement of the 12" / 10" measurements
What do you propose instead?	Inventory, documentation, and replacement based on 18" min. DBH
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The site is heavily wooded in many areas, meaning that many of the smaller trees are underdeveloped and not of comparable value to the 18"+ trees. Additionally, it is our understanding that the Planning Board is anticipating revising to the 18" standard in the future.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Inventory costs of approximately \$1,000 for field research. Tree replacement costs of approx. \$1200/new 3" tree required.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Restricting the inventory and removal to the more significant trees on site allows the project to focus on the most vital tree resources rather than being tied up in protecting smaller second-growth canopy that are not as well-formed and healthy.
What is the impact on the development if this waiver is denied?	The additional replacement expense would impact approved funding.
What are the design alternatives to granting this waiver?	The Applicant will inventory trees 10" or greater and calculate totals.
Why is granting this waiver in the Town's best interest?	The value of the trees in the 10"-17" range does not justify expense.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the inventory and the replacements for 10"-17" trees lost.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	As outlined in the Project Description narrative, tree canopy will be added wherever feasible in the project, and fast-growing species used.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Project Description Statement submitted.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-3.C.1 - Traffic Flow and 205-6.H - Curbing
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the use of vertical granite curbing at the site entrance (205-3.C.1) and around the perimeter of the parking lot (205-6.H).
What aspect of the Regulation do you propose be waived?	Strict requirement for vertical granite at all indicated locations
What do you propose instead?	Location of granite curbing in the areas shown on the Drawings.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Oakland Street itself is not curbed, therefore adding curbing on both sides is not in character. Around the parking lot, some areas are to be left without curbing to allow for sheet drainage into stormwater management areas.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Approximately \$52,800 (1,650 l.f. of curbing at appr. \$32/lf)
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Allowing a non-curbed entrance is in keeping with the character of Oakland Street as it exists today. Allowing non-curbed areas of the perimeter where appropriate facilitates the stormwater management design as currently proposed.
What is the impact on the development if this waiver is denied?	The additional curbing expense would reduce other project scope.
What are the design alternatives to granting this waiver?	The Applicant will seek cost savings elsewhere to pay for the curbing.
Why is granting this waiver in the Town's best interest?	As outlined above re: Scenic Road character and stormwater design.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the additional required curbing.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	The Applicant feels that the improved stormwater design and the attention to Scenic Road character mitigate the loss of curbing.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Drawings for areas of curbing proposed for inclusion.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-3.D.4 - Pedestrian and Bicycle Access and Connections
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the connection of the site to the nearest existing pedestrian ways if there is no pedestrian way along the site frontage.
What aspect of the Regulation do you propose be waived?	Requirement that that connection happen as part of the current park renovation project.
What do you propose instead?	The Town proposes to extend the sidewalk at a feasible later date.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Oakland Street has no sidewalk starting at the edge of the existing site. The Town is exploring extending the sidewalk as part of a separate project; additionally, the park's Master Plan includes a connection to the end of the existing sidewalk in a future Phase.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Approximately \$14,800 (1,290 s.f. of conc. paving at appr. \$11.50/sf)
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Deferring the creation of the sidewalk (which would be expected to receive fairly minimal use) allows that portion of the budget to be expended for improvements within the park instead, since the vast majority of users arrive by car.
What is the impact on the development if this waiver is denied?	The additional paving expense would reduce other project scope.
What are the design alternatives to granting this waiver?	The Applicant will seek cost savings elsewhere to pay for the paving.
Why is granting this waiver in the Town's best interest?	As outlined above re: relative priority of costs on the limited budget.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the additional required paving.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	The Applicant feels that the expenditure of project funds inside the park mitigate the short-term exclusion of the sidewalk extension.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Drawings for areas of curbing proposed for inclusion.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Project Name:	Improvements to Oakland Park
Property Location:	76 Oakland Street
Type of Project/Permit:	Site Plan Review (Municipal Park Improvement Project)
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-9.F - Tree Replacement (part 2)
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requires the replacement of trees removed with DBH greater than the triggering number (see part 1 waiver request) at a 1":1" DBH/caliper replacement ratio.
What aspect of the Regulation do you propose be waived?	Requirement of the 1:1 ratio through this project
What do you propose instead?	The ratio in the submitted plans or inclusion of other off-site planting
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The required total of replacement inches would result in an over-planted situation as the trees mature to full size. Additionally, the Town engages in tree planting efforts separately from this project; the Applicant requests that those plantings also be a consideration.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Tree replacement costs of approx. \$1200/new 3" tree required.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Reducing the required ratio will allow the sizeable number of new trees being planted to be appropriately spaced for their mature sizes, while avoiding the need to plant trees in open recreational spaces in order to meet the required numbers.
What is the impact on the development if this waiver is denied?	The additional replacement expense would impact approved funding.
What are the design alternatives to granting this waiver?	There is little opportunity for additional on-site planting to be added.
Why is granting this waiver in the Town's best interest?	The result will be a healthier canopy for the new trees.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	As the Town is the Applicant, the cost savings would be the cost of the additional replacements.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	As outlined in the Project Description narrative, tree canopy is to be added wherever feasible in the project, and fast-growing species used.
What is the estimated value of the proposed mitigation measures?	N/A - these are a portion of the design documents and application.
Other Information?	See Project Description Statement submitted.
Waiver Request Prepared By:	Denis J. Chagnon, CBA Landscape Architects LLC
Date:	August 17, 2017

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

**Development Impact Statement – Improvements to Oakland Park
as described in Section 204 - 3, 7 of the Medway Site Plan Rules and Regulations**

7a. Traffic Impact

1. The proposed project seeks to better serve the existing uses of the Park and the Senior Center rather than to create new uses. To that end, no additional traffic generation is expected beyond the peak times of current use, and therefore no traffic impacts are expected on the wider community. The project's proposed revision of circulation within the park and the creation of a separate entrance driveway for the Senior Center (when implemented) are anticipated to increase vehicular and pedestrian safety within the site.

2. and 3. Due to the expectation that no additional traffic is being generated; that the parking spaces created are to serve existing need rather than to accommodate increased demand; and that the proposed Senior Center entrance is one-way inward and thus does not create sight line issues, the Town requests that a full Traffic Impact Assessment not be required for the project.

7b. Environmental Impact

1. The proposed project will renovate existing uses and provide better functionality. Stormwater and groundwater protection have been addressed through the Stormwater Narrative; water quality from the existing parking areas will be improved by the project. Some loss of tree canopy is expected as described under the Project Description's section on Mitigation Measures; the expectation is that the new trees planted will be in favorable conditions to mature quickly and offset that loss.

2. and 3. The project only proposes the addition of (approximately, as existing parking is unstructured) 32 new spaces to serve existing parking needs, disturbs fewer than 30,000 square feet (approx. 23,000) of previously undisturbed area, and proposes building footprints of fewer than 1500 square feet total. Because of the limited nature of the increases beyond the trigger quantities and the information already included in the Groundwater Protection District Permit, the Site Plan Review Application, and the Stormwater Narrative, the Applicant therefore requests that a full Environmental Impact Assessment not be required for the project. If one will be required, please provide details on format and scope.

4. A full MEPA certification is not believed to be required for this project.

7c. Community Impact

1. The proposed project is a town-wide recreational resource improvement project intended to improve the ability of Oakland Park to serve the general population with specific attention to the needs of the Town's youth soccer programs, the Senior Center's users, the children who

use the playground as their neighborhood park, and the attendees and staff of Camp Sunshine.

2. The park renovations are centered within the park's space, leading to minimal visual impacts from Oakland Street and adjacent properties. The playground will be located farther into the site, extending the field along Oakland Street further south and improving the visual character of the scenic road. The park renovations are consistent with the goals of the existing master plans and open space plans for the Town, and were derived specifically from those goals by EPFRAC and the designers. The Applicant's strong belief is that the proposed project represents an improvement to the quality of life of all the site's users and of the park's abutters through the creation of a safer, more diverse, and more attractive open space.

7d. Parking Impact

1. The proposed project proposes the addition of 32 additional spaces beyond those approximately provided by the current disorganized parking.

2. and 3. Existing parking on the site is partially provided through a poorly-organized bituminous concrete parking area (40 spaces) and partially through gravel parking areas adjacent to driveways (33 spaces) connecting the park's lot with the dedicated Senior Center lot (32 spaces). There is no expected increase in use of the site due to the alterations. Therefore, any impact on off-site parking would be through a reduction in vehicles parking on adjacent residential streets (particularly Oakview Circle) during the rare events held at the site for which there is not sufficient parking in the current arrangement. The parking is located in the center of the lot where it is visually buffered. Tree plantings are proposed for shading, and a rain garden is proposed to address water quality impacts from the parking area. Due to the net positive impact, no mitigation is believed to be required.



Oakland Park – Permit Set									Medway, MA
Cost Estimate By Area							Prepared by CBA Landscape Architects, LLC		
									08/17/2017
		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal	Total	Running Total
#1	Mobilization / Logistics / Site Fencing	1	LS			\$15,000.00	\$15,000.00		
#2	Remove Existing Utility Pole	2	EA			\$500.00	\$1,000.00		
#3	Remove Former Concession Stand Building	1	LS			\$7,000.00	\$7,000.00		
#4	Utility Pole Relocation	1	EA			\$2,500.00	\$2,500.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$25,500.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$6,885.00	Total	Running Total
	TOTAL CONSTRUCTION: A. General Logistics and Preparation							\$32,385.00	\$32,385.00
B. Parking – Reorganize / Expand Existing Lot (See Also O.)		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal	Total	
	Demolition and Preparation								
#1	Tree Removal and Grubbing	2,140	SF			\$1.35	\$2,889.00		
#2	Individual Tree Removal Including The Stump	0	EA			\$725.00	\$0.00		
#3	Sawcut & Remove Bituminous Concrete	3,125	SF			\$1.25	\$3,906.25		
#4	Silt Sock Erosion Control	710	LF			\$2.00	\$1,420.00		
	Paving and Surfacing								
#5	Bituminous Concrete Parking Area (Full Depth Areas)	5,080	SF			\$6.00	\$30,480.00		
#6	Wheel Stop	8	EA			\$125.00	\$1,000.00		
#7	Curb	540	LF			\$25.00	\$13,500.00		
#8	Concrete Sidewalk Adjacent to Parking Lot	2,190	SF			\$9.00	\$19,710.00		
#9	Parking Lot Striping – Spaces	44	EA			\$7.00	\$308.00		
#10	Parking Lot Striping – HC/Compact Space Markings / Crosswalk	13	EA			\$75.00	\$975.00		
#11	ADA / Compact Parking Signs	7	EA			\$100.00	\$700.00		
	Planting								
#12	Lawn	400	SF			\$0.75	\$300.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$75,188.25		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$20,300.83	Total	Running Total
	TOTAL CONSTRUCTION: B. Parking – Reorganize / Expand Existing Lot (See Also O.)							\$95,489.08	\$127,874.08
C. New Playground & Lower Field Expansion		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Site Preparation								
#1	Remove Play Equipment, Safety Surface & Misc.	1	LS			\$10,000.00	\$10,000.00		
#2	Sawcut & Remove Bituminous Concrete	6,065	SF			\$1.25	\$7,581.25		
#3	Individual Tree Removal Including The Stump	13	EA			\$725.00	\$9,425.00		
	Paving and Surfacing								
#4	Rubber Safety Surface	5,400	SF			\$19.00	\$102,600.00		
#5	Concrete Entry & Site Furniture Conc. Pads Below R.S.S.	520	SF			\$9.00	\$4,680.00		
#6	Curb	50	LF			\$25.00	\$1,250.00		
	Fencing								
#7	4' HT. Ornamental Tubular Steel Fence	290	LF			\$90.00	\$26,100.00		
#8	4' Wide Ornamental Gates	1	EA			\$1,200.00	\$1,200.00		
#9	8' Wide Double Leaf Ornamental Gates	1	EA			\$2,400.00	\$2,400.00		
#10	Concrete Mow Strip for Ornamental Fence	272	LF			\$15.00	\$4,080.00		
	Play Equipment								
#11	Ages 2-5 Play Structure	1	EA	\$40,000.00	\$40,000.00	\$14,000.00	\$14,000.00		
#12	Ages 5-12 Play Structure	1	EA	\$87,500.00	\$87,500.00	\$30,625.00	\$30,625.00		
#13	Outdoor Musical Instruments	2	EA	\$3,100.00	\$6,200.00	\$1,395.00	\$2,790.00		
#14	Freestanding Spinner	1	LS	\$5,000.00	\$5,000.00	\$1,500.00	\$1,500.00		
#15	Swing Set	1	LS	\$7,250.00	\$7,250.00	\$2,175.00	\$2,175.00		

By Area

	Site Furnishings								
#16	6' Long Backed Benches	2	EA	\$975.00	\$1,950.00	\$438.75	\$877.50		
#17	6' Long Backless Benches	3	EA	\$825.00	\$2,475.00	\$371.25	\$1,113.75		
#18	Game Tables with Seating	2	EA	\$1,275.00	\$2,550.00	\$573.75	\$1,147.50		
#19	Trash/Recycling Receptacle	2	EA	\$1,000.00	\$2,000.00	\$550.00	\$1,100.00		
#20	ADA Picnic Table	1	EA	\$3,300.00	\$3,300.00	\$1,815.00	\$1,815.00		
	Planting								
#21	Trees 3" Cal.	13	EA			\$1,200.00	\$15,600.00		
#22	Shrubs	53	EA			\$75.00	\$3,975.00		
#23	Perennials	76	EA			\$18.00	\$1,368.00		
#24	12" Loam Depth	31	CY			\$55.00	\$1,705.00		
#25	Lawn	13,820	SF			\$0.75	\$10,365.00		
#26	Mulch	970	SF			\$0.35	\$339.50		
				MHEC Subt:	\$158,225.00	Contr. Subt:	\$259,812.50		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$70,149.38	Total	Running Total
	TOTAL CONSTRUCTION: C. New Playground & Lower Field Expansion							\$488,186.88	\$616,060.95
D. Park Center Area – Infrastructure & Circulation		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Preparation								
#1	Individual Tree Removal Including The Stump	3	EA			\$725.00	\$2,175.00		
#2	Sawcut & Remove Bituminous Concrete	220	SF			\$1.25	\$275.00		
	Paving and Surfacing								
#3	Stabilized Stone Dust Area	4,190	SF			\$5.00	\$20,950.00		
#4	Low Unit Block Wall	180	FF			\$40.00	\$7,200.00		
#5	Unit Block Stairs	1	LS			\$1,600.00	\$1,600.00		
#6	Handrails at Unit Block Stairs	12	LF			\$115.00	\$1,380.00		
#7	Concrete	350	SF			\$9.00	\$3,150.00		
	Site Furnishings								
#8	Trash / Recycling Receptacle	6	EA	\$1,000.00	\$6,000.00	\$550.00	\$3,300.00		
#9	6' Long Backed Benches	1	EA	\$975.00	\$975.00	\$438.75	\$438.75		
#10	6' Long Backless Benches	1	EA	\$825.00	\$825.00	\$371.25	\$371.25		
#11	Fountain / Jug Filler	2	EA	\$3,000.00	\$6,000.00	\$1,650.00	\$3,300.00		
#12	Bike Racks	8	EA	\$125.00	\$1,000.00	\$68.75	\$550.00		
	Planting								
#13	Trees 3" Cal.	8	EA			\$1,200.00	\$9,600.00		
#14	Lawn	12,600	SF			\$0.75	\$9,450.00		
#15	Mulch	50	SF			\$0.35	\$17.50		
	Utilities								
#16	Drainage	1	LS			\$10,000.00	\$10,000.00		
				MHEC Subt:	\$14,800.00	Contr. Subt:	\$73,757.50		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$19,914.53	Total	Running Total
	TOTAL CONSTRUCTION: D. Park Center Area – Infrastructure & Circulation							\$108,472.03	\$724,532.98
E. Park Center Area – Restroom / Office Building		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
#1	Office & Bathroom Building	1	LS	\$82,700.00	\$82,700.00	\$86,835.00	\$86,835.00		
#2	Electrical Panel	1	EA			\$4,000.00	\$4,000.00		
#3	Sewer Connection	1	LS			\$35,000.00	\$35,000.00		
#4	Water Connection	1	LS			\$5,000.00	\$5,000.00		
				MHEC Subt:	\$82,700.00	Contr. Subt:	\$130,835.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$35,325.45	Total	Running Total
	TOTAL CONSTRUCTION: E. Park Center Area – Restroom / Office Building							\$248,860.45	\$973,393.43

By Area

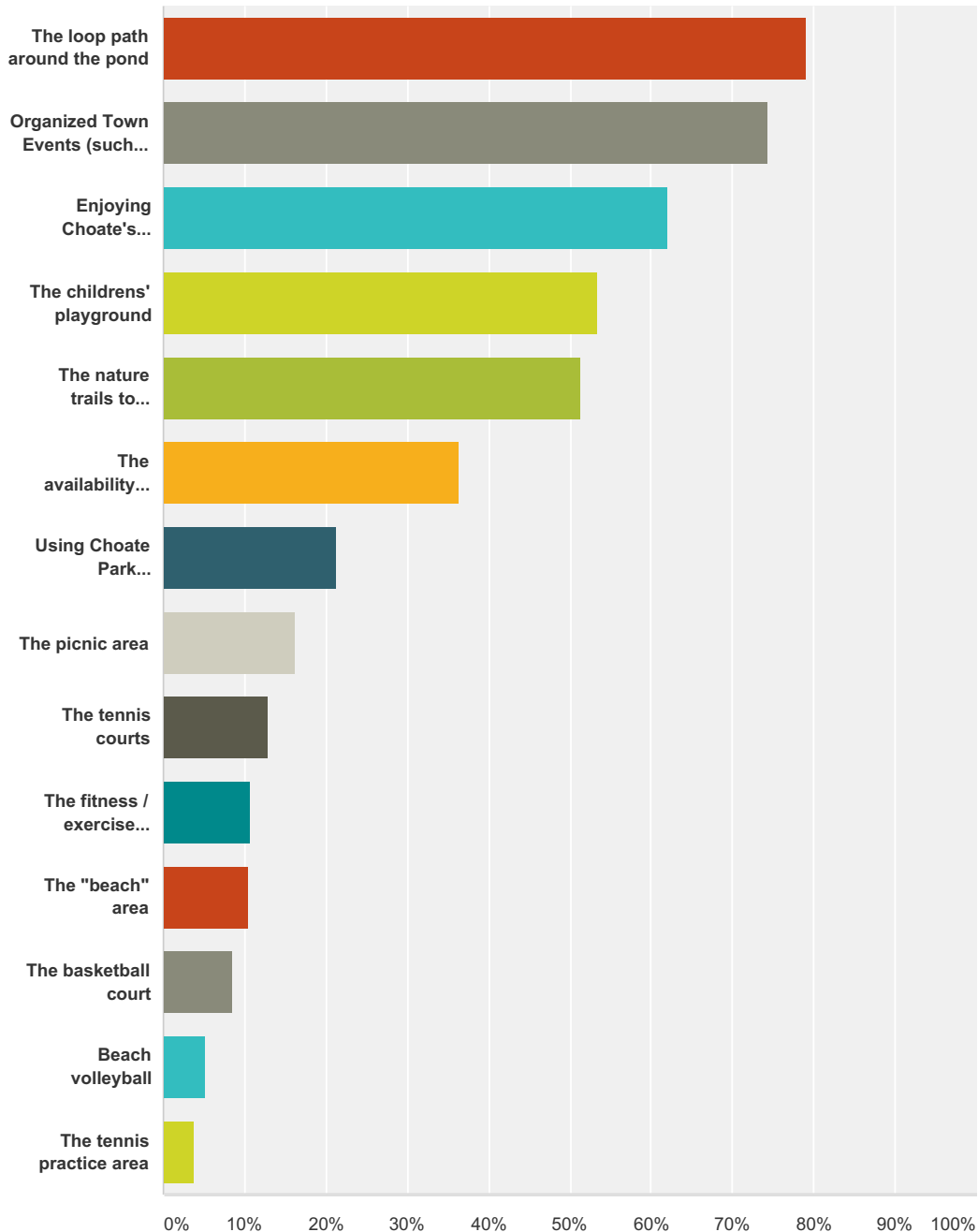
F. Park Center Area – Pavilion & Entry Plaza		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Paving and Surfacing								
#1	Decorative Paving Band at Plaza	240	SF			\$30.00	\$7,200.00		
#2	Concrete Plaza	1,020	SF			\$9.00	\$9,180.00		
	Buildings, Shade Structures & Pavilions								
#3	Pavilion (Octagon – 34' diameter)	1	LS	\$57,500.00	\$57,500.00	\$60,375.00	\$60,375.00		
	Site Furnishings								
#4	Picnic Tables at Pavilion	6	EA	\$2,500.00	\$15,000.00	\$100.00	\$600.00		
#5	Trash / Recycling Receptacle	4	EA	\$1,000.00	\$4,000.00	\$550.00	\$2,200.00		
				MHEC Subt:	\$76,500.00	Contr. Subt:	\$79,555.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$21,479.85	Total	Running Total
	TOTAL CONSTRUCTION: F. Park Center Area – Pavilion & Entry Plaza							\$177,534.85	\$1,150,928.28
G. Parking – Repave Remaining Original Lot		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Preparation								
#1	Scarify Bituminous Concrete (Top Course)	15,820	SF			\$0.30	\$4,746.00		
	Paving and Surfacing								
#2	Bituminous Concrete (Top Course Only)	15,820	SF			\$3.00	\$47,460.00		
#3	Parking Lot Striping – Spaces (assumes Phase 1, included in B)	0	EA			\$7.00	\$0.00		
#4	Parking Lot Striping – HC Spaces (assumes Phase 1, included in B)	0	EA			\$75.00	\$0.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$52,206.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$14,095.62	Total	Running Total
	TOTAL CONSTRUCTION: G. Parking – Repave Remaining Original Lot							\$66,301.62	\$1,217,229.90
H. Parking – SE Parking Area & Path To Fields		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Preparation								
#1	Tree Removal and Grubbing	2,140	SF			\$1.35	\$2,889.00		
#2	Sawcut & Remove Bituminous Concrete	2,970	SF			\$1.25	\$3,712.50		
#3	Silt Sock Erosion Control	170	LF			\$2.00	\$340.00		
	Paving and Surfacing								
#4	Stabilized Stone Dust Pathway	325	SF			\$5.00	\$1,625.00		
#5	Bituminous Concrete Parking Area	5,780	SF			\$6.00	\$34,680.00		
#6	Parking Lot Striping – Spaces	18	EA			\$7.00	\$126.00		
	Planting								
#7	Mulch	0	SF			\$0.35	\$0.00		
#8	Lawn	625	SF			\$0.75	\$468.75		
#9	Trees 3" Cal.	0	EA			\$1,200.00	\$0.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$43,841.25		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$11,837.14	Total	Running Total
	TOTAL CONSTRUCTION: H. Parking – SE Parking Area & Path To Fields							\$55,678.39	\$1,272,908.29
I. Parking – Second Bay, Rain Garden, Stormwater System, & Path To S		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Preparation								
#1	Tree Removal and Grubbing	11,300	SF			\$1.35	\$15,255.00		
#2	Sawcut & Remove Bituminous Concrete	7,150	SF			\$1.25	\$8,937.50		
#3	Silt Sock Erosion Control	275	LF			\$2.00	\$550.00		
	Paving and Surfacing								
#4	Graded Gravel Fill	1	LS			\$5,000.00	\$5,000.00		
#5	Bituminous Concrete Parking Area	14,340	SF			\$6.00	\$86,040.00		

By Area

#6	Stabilized Stone Dust Path	500	SF			\$5.00	\$2,500.00		
#7	Bridge – Plastic Lumber with Footings	112	SF			\$75.00	\$8,400.00		
#8	Vehicular Guardrail	172	LF			\$30.00	\$5,160.00		
#9	Parking Lot Striping – Spaces	35	EA			\$7.00	\$245.00		
#10	Parking Lot Striping – Access Aisle Markings	3	EA			\$40.00	\$120.00		
#11	Stormwater System Allowance – Sitewide	1	LS			\$40,000.00	\$40,000.00		
	Planting								
#12	Mulch	0	SF			\$0.35	\$0.00		
#13	Rain Garden – Loam and Seed Mix	5,270	SF			\$1.25	\$6,587.50		
#14	Erosion Control Seed Mix	1,970	SF			\$1.25	\$2,462.50		
#15	Erosion Control Mat	1,970	SF			\$0.10	\$197.00		
#16	Trees 3" Cal.	15	EA			\$1,200.00	\$18,000.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$199,454.50		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$53,852.72	Total	Running Total
	TOTAL CONSTRUCTION: I. Parking – Second Bay, Rain Garden, Stormwater System, & Path To Sr. Ctr.							\$253,307.22	\$1,526,215.50
O. Site Lighting & Data Conduits		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Lighting/Utilities								
#1	Pedestrian Scale Lighting	26	EA			\$3,225.00	\$83,850.00		
#2	Electrical Conduit for Lighting	1,893	LF			\$25.00	\$47,325.00		
#3	Data Conduit Runs for Cameras	400	LF			\$10.00	\$4,000.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$135,175.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$36,497.25	Total	Running Total
	TOTAL CONSTRUCTION: O. Site Lighting & Data Conduits							\$171,672.25	\$1,697,887.75
J. Parking – Create Separate Senior Center Driveway		Quantity	Unit	MHEC B14 Pricing	Direct Cost Total	Contractor Unit Price	Contractor Subtotal		
	Demolition and Preparation								
#1	Tree Removal and Grubbing	2,000	SF			\$1.35	\$2,700.00		
#2	Allowance for Police Detail for new Curbcut	1	LS			\$2,500.00	\$2,500.00		
#3	Sawcut & Remove Bituminous Concrete	0	SF			\$1.25	\$0.00		
	Paving and Surfacing								
#4	Bituminous Concrete Drive	1,650	SF			\$6.00	\$9,900.00		
	Planting								
#5	Lawn	520	SF			\$0.75	\$390.00		
				MHEC Subt:	\$0.00	Contr. Subt:	\$15,490.00		
	2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items						\$4,182.30	Total	Running Total
	TOTAL CONSTRUCTION: J. Parking – Create Separate Senior Center Driveway							\$19,672.30	\$1,717,560.05
				MHEC total:	\$332,225.00	Contr. Total:	\$1,385,335.05		
	Construction Administration Fees (anticipated based on current scope)							\$42,075.00	
	End Phase 1 Scope; See Master Plan for Future Phases								\$1,759,635.05

Q1 When you or your family uses Choate Park, which of the following is part of what attracts you to the park? (Check all that apply.)

Answered: 423 Skipped: 4



Answer Choices	Responses
The loop path around the pond	79.20% 335
Organized Town Events (such as the Pumpkin Walk, 4th of July, etc)	74.23% 314

Medway Parks: Goals & Analysis Survey

Enjoying Choate's natural setting and character	61.94%	262
The childrens' playground	53.43%	226
The nature trails to Medway High School	51.30%	217
The availability of bathrooms	36.41%	154
Using Choate Park before/during/after attending ballgames at Cassidy Fields	21.28%	90
The picnic area	16.31%	69
The tennis courts	13.00%	55
The fitness / exercise stations	10.64%	45
The "beach" area	10.40%	44
The basketball court	8.51%	36
Beach volleyball	5.20%	22
The tennis practice area	3.78%	16
Total Respondents: 423		

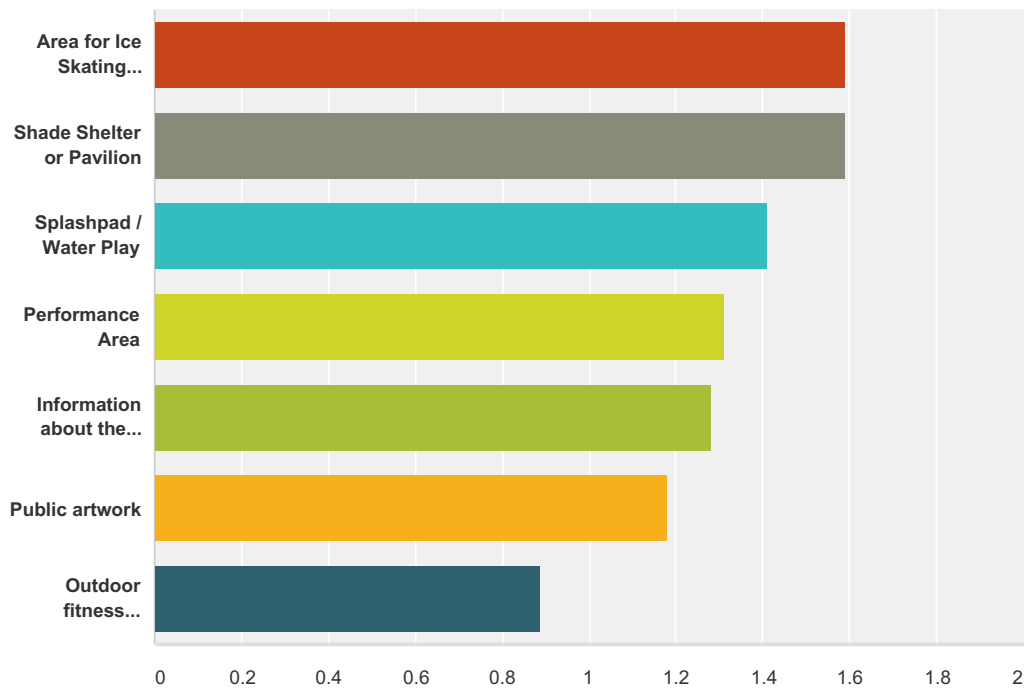
#	Other (please specify)	Date
1	Big lawn of Thayer	12/18/2016 4:47 PM
2	Having a place to sit, read & reflect is important to me	12/18/2016 2:31 PM
3	fishing along the shore - would be great if more access	12/15/2016 8:03 PM
4	Good to know that bathrooms are available	12/14/2016 9:12 AM
5	would love to use the beach if the water was clean	12/14/2016 8:45 AM
6	Choate park summer camp. Would use playground too if toys were removed from playground.... A lot are broke and not safe	12/13/2016 8:42 PM
7	In conjunction with Thayer House events.	12/12/2016 11:05 AM
8	Running trails	12/12/2016 10:55 AM
9	Beautiful location that could be so much more for the town with lots of TLC	12/11/2016 11:52 PM
10	allow dogs...fines for not cleaning up after. the dog park in town is a dump.	12/11/2016 9:29 PM
11	NOT Porta-Potties but Bathroom facilities	12/11/2016 8:50 PM
12	wide selection of toys and playhouses in playground	12/11/2016 8:27 PM
13	Would love to see ice skating in the winter!	12/11/2016 7:25 PM
14	Fishing	12/11/2016 10:20 AM
15	I like that is very well maintained, toys are inspected, garbage is picked up, etco	12/10/2016 9:20 PM
16	Wish we could go swimming!!	12/10/2016 8:14 PM
17	Fishing	12/9/2016 11:12 PM
18	music concerts in the summer	12/9/2016 11:11 PM
19	Would be nice to have a better beach area	12/9/2016 10:42 PM
20	It's close and conveniently located	12/9/2016 7:24 PM
21	Fishing in the lake	12/9/2016 6:48 PM
22	Christmas Tree!	12/9/2016 4:56 PM
23	fishing	12/9/2016 2:54 PM

Medway Parks: Goals & Analysis Survey

24	Mom meetups and social events (informal)	12/9/2016 2:52 PM
25	My son and several of his friends meet there to go fishing. Families use the pond to teach children how to fish of the bridges. It is a popular activity at Choate Park.	12/9/2016 2:51 PM
26	fishing	12/9/2016 1:35 PM
27	Ice Skating in Winter	12/9/2016 1:35 PM
28	I used the park regularly in the summers during the 1990s when it had a staffed summer program. My (now adult) kids learned to swim there. The summer program was the draw.	12/9/2016 1:30 PM
29	When you could swim in the pond	12/9/2016 1:18 PM

Q2 Discussions with the Committee and at the public meeting highlighted a desire to make Choate Park a signature, “town center” park for Medway, and a need for the renovations to include: accessible pathways throughout the site; improved seating and picnic areas; better organizing the “active core” uses (playground, picnic area, parking, etc); renovating the playground area; lighting in key areas for safe evening use; and redesigning the vehicular and pedestrian entrances. Which, if any, of the following features would you like to consider adding at Choate Park?

Answered: 422 Skipped: 5



	No	Maybe	Yes	Total	Weighted Average
Area for Ice Skating (separate from Choate Pond)	9.00% 37	22.63% 93	68.37% 281	411	1.59
Shade Shelter or Pavilion	8.62% 35	24.14% 98	67.24% 273	406	1.59
Splashpad / Water Play	18.47% 75	22.17% 90	59.36% 241	406	1.41
Performance Area	15.42% 60	37.79% 147	46.79% 182	389	1.31

Medway Parks: Goals & Analysis Survey

Information about the site's history	19.49% 76	32.56% 127	47.95% 187	390	1.28
Public artwork	21.36% 85	39.45% 157	39.20% 156	398	1.18
Outdoor fitness equipment	38.28% 147	34.90% 134	26.82% 103	384	0.89

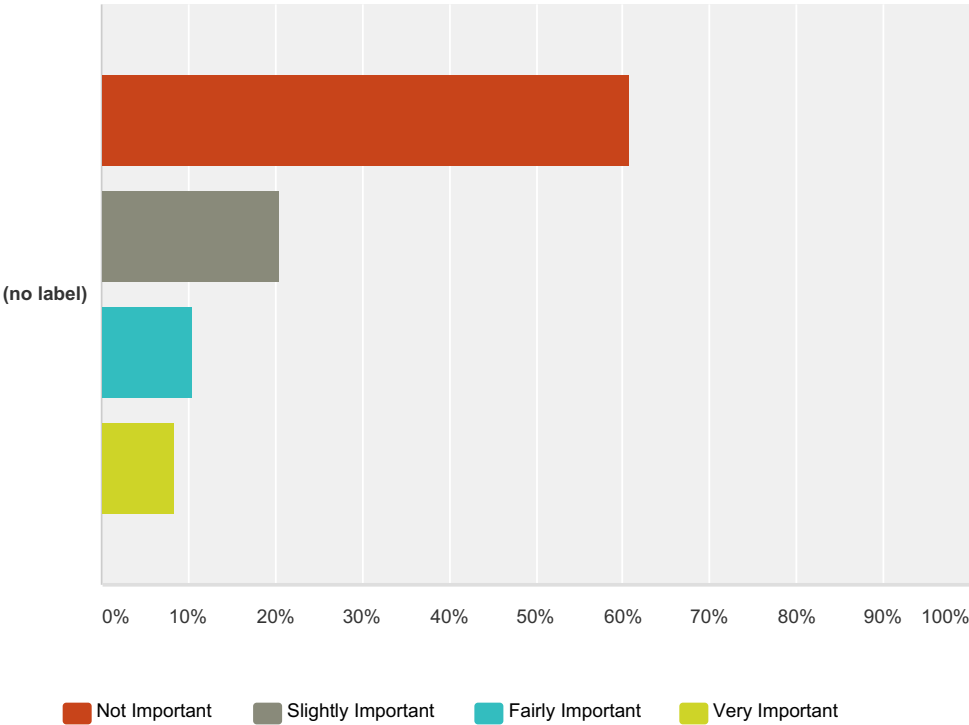
#	Other (please specify)	Date
1	swimming please!!!	12/18/2016 11:45 PM
2	Updated play structures	12/18/2016 11:34 PM
3	Curb appeal, natural landscape feature i.e. allee, row of trees, fairy room/plants	12/18/2016 4:47 PM
4	more access to around the pond fishing/paddleboard rentals	12/15/2016 8:03 PM
5	open the trails up to dog walking	12/14/2016 3:59 PM
6	Why not skate on the pond?	12/14/2016 12:59 PM
7	pet friendly area would be nice!	12/14/2016 12:17 PM
8	Would love a community center/indoor pool instead of above listed improvements	12/14/2016 10:03 AM
9	Clean beach so it could be used.	12/14/2016 9:46 AM
10	clean water for swimming cant bring children to the beach if they cant touch the water	12/14/2016 8:45 AM
11	Allow leashed dogs in non sports/playground setting.	12/13/2016 10:58 AM
12	If I had to pick one, it would be the splashpad/water play	12/12/2016 10:45 PM
13	Restrooms that are open daily.	12/12/2016 9:39 PM
14	Allowing leashed dogs along paths	12/12/2016 7:35 PM
15	clean up the "junk" in the children's play area	12/12/2016 3:44 PM
16	A pavillion/gazebo could be located at the Thayer House lawn as an alternative. A fabric shade structure or trees could be placed near the playground area also.	12/12/2016 11:05 AM
17	A summer program for volleyball	12/11/2016 9:08 PM
18	Please make paved pathways along the pond for stroller use.	12/11/2016 8:44 PM
19	Dock for fishing	12/11/2016 10:20 AM
20	Why not skating on the pond itself?	12/11/2016 12:00 AM
21	All are such wonderful ideas! If I could chose only one though, would chose a splash pad!	12/10/2016 9:20 PM
22	Better integration of the water into the park uses	12/10/2016 10:22 AM
23	I moved to Medway over the summer and took my kids to Choate Park a few times since we moved here. I think the top priority should be keeping the grounds free of litter. I was pretty amazed at the trash on the ground throughout the playground. I've started taking my kids to goodwill park in holliston because it's much cleaner and nicer. Would be so nice to have Choate park on the same level.	12/9/2016 11:58 PM
24	Safe and innovative playground equipment.	12/9/2016 9:54 PM
25	Bring back swimming! Expand trails in the park. Expanded trails so it can be used for cross country skiing	12/9/2016 9:00 PM
26	Playground lighting when there are evening events.	12/9/2016 3:41 PM
27	dogs on leash	12/9/2016 3:08 PM
28	Disc golf, tetherball, more "teen/tween" friendly recreation; more public art/sculptures like Choatie all can enjoy	12/9/2016 2:52 PM
29	I've seen splashpads double as ice skating area in the winter	12/9/2016 2:42 PM
30	Splash pad would be amazing!	12/9/2016 1:46 PM
31	Skate park	12/9/2016 1:43 PM

Medway Parks: Goals & Analysis Survey

32	fishing dock	12/9/2016 1:35 PM
33	What about a town pool?	12/9/2016 1:30 PM
34	Cleaning the pond for swimming bringing back swimming lessons	12/9/2016 1:18 PM
35	making it pet friendly!	12/9/2016 1:02 PM

Q3 Due to health concerns, the Pond is not open for swimming, and addressing the causes is beyond the scope of this project. Given that, how important is it to you to have a "beach area" at Choate Pond?

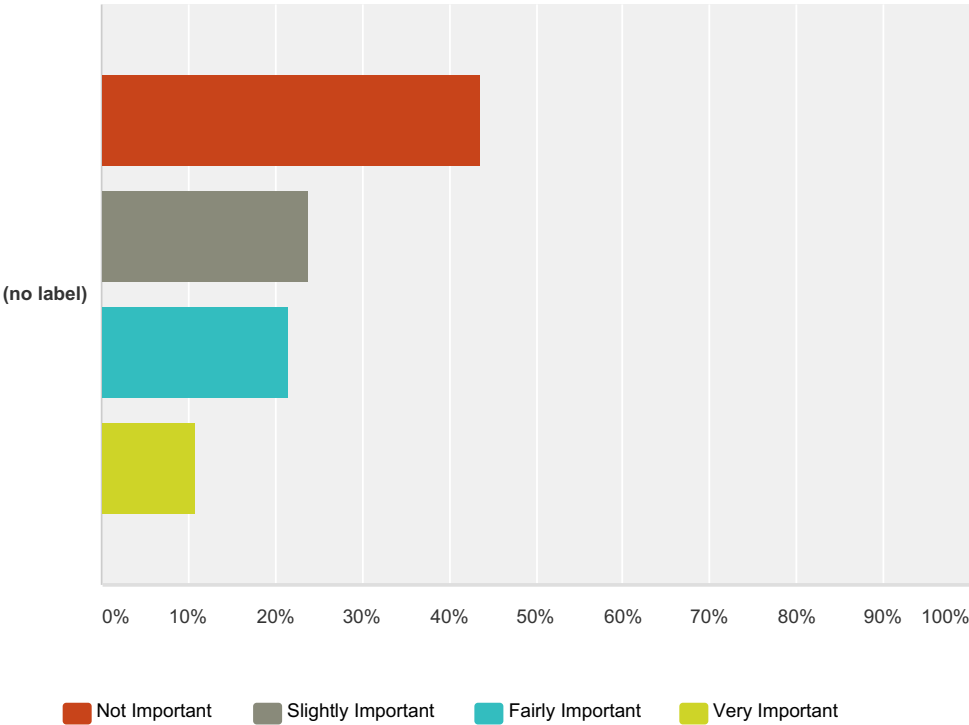
Answered: 424 Skipped: 3



	Not Important	Slightly Important	Fairly Important	Very Important	Total	Weighted Average
(no label)	60.85% 258	20.52% 87	10.38% 44	8.25% 35	424	0.66

Q4 Assuming the tennis facilities at the Middle School are renovated, how important is it to keep a tennis court at Choate Park (or at Cassidy Fields)?

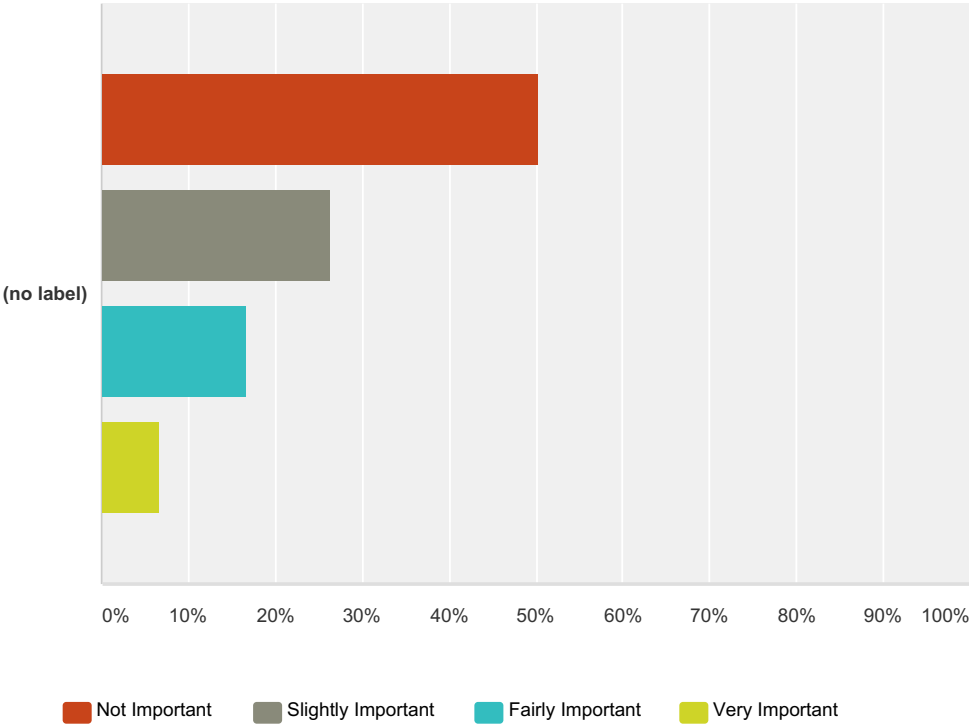
Answered: 423 Skipped: 4



	Not Important	Slightly Important	Fairly Important	Very Important	Total	Weighted Average
(no label)	43.74% 185	23.88% 101	21.51% 91	10.87% 46	423	1.00

Q5 How important is it to keep a beach volleyball court at Choate Park?

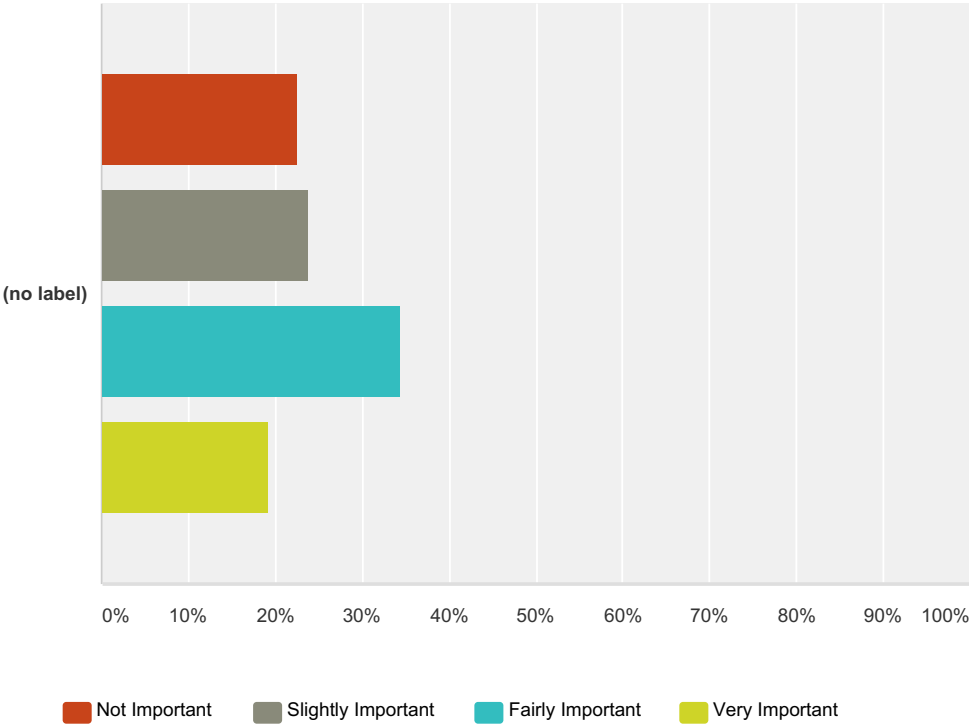
Answered: 423 Skipped: 4



	Not Important	Slightly Important	Fairly Important	Very Important	Total	Weighted Average
(no label)	50.35% 213	26.24% 111	16.78% 71	6.62% 28	423	0.80

Q6 How important is it to keep a basketball court at Choate Park (or at Cassidy Fields)?

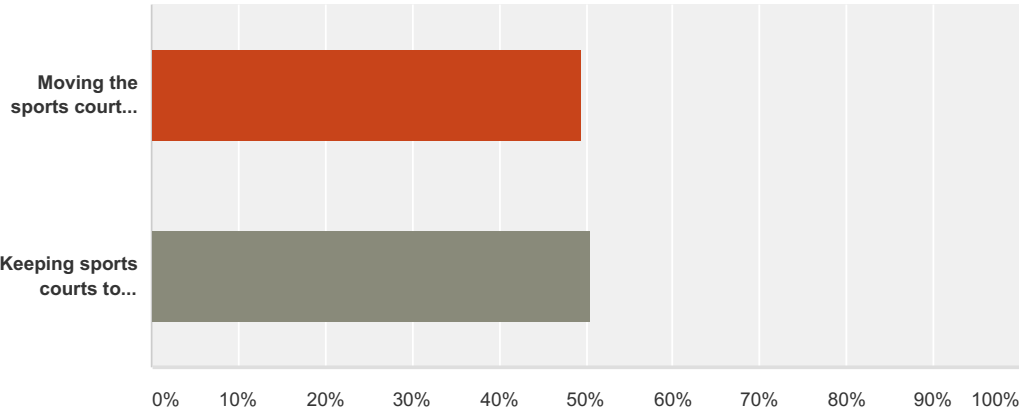
Answered: 425 Skipped: 2



	Not Important	Slightly Important	Fairly Important	Very Important	Total	Weighted Average
(no label)	22.59% 96	23.76% 101	34.35% 146	19.29% 82	425	1.50

Q7 Which of the following approaches would you prefer to see taken at Choate Park? (Not including Cassidy Fields)

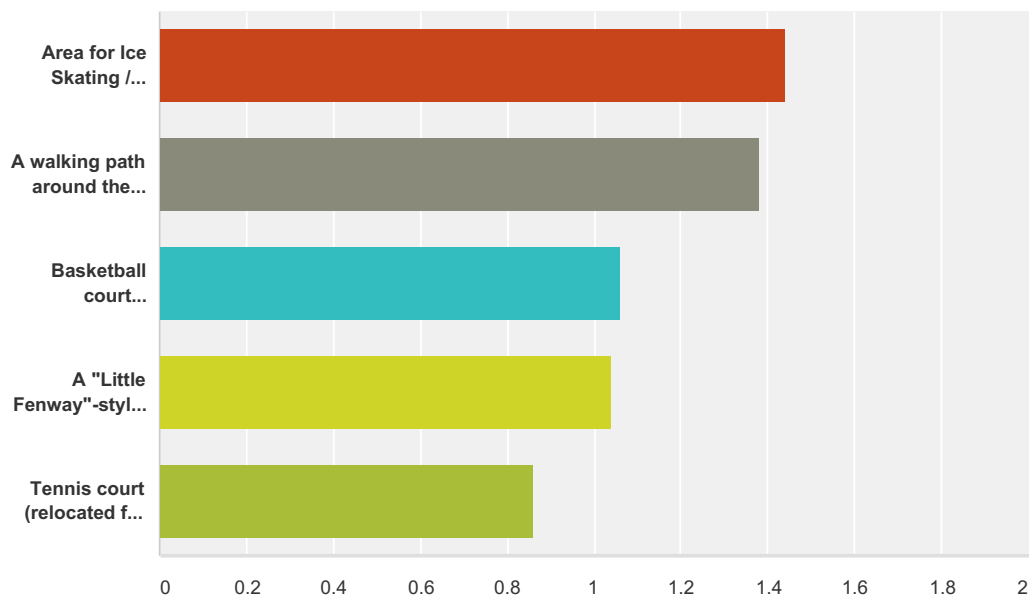
Answered: 420 Skipped: 7



Answer Choices	Responses
Moving the sports courts to other parks to enhance the bucolic / town green character of Choate Park and the Thayer Homestead, focusing on the natural features, childrens' play area, open space, picnicking, and walking paths.	49.52% 208
Keeping sports courts to provide a wider variety of uses here, similar to the current mix of walking paths, natural areas, playground, courts, and picnic areas	50.48% 212
Total	420

Q8 Discussions with the Committee and at the public meeting emphasized the need for the renovations at Cassidy Fields to: add lighting to additional ballfields; increase screening for the abutters; improve and clarify pedestrian pathways for accessibility; reorganize, improve, and (if possible) expand parking; improve the entry drive from Winthrop Street; provide better facilities for spectators; and create ADA-accessible and appropriately-lit connections to Choate Park. Which, if any, of the following features would you like to consider adding at Cassidy Fields?

Answered: 412 Skipped: 15



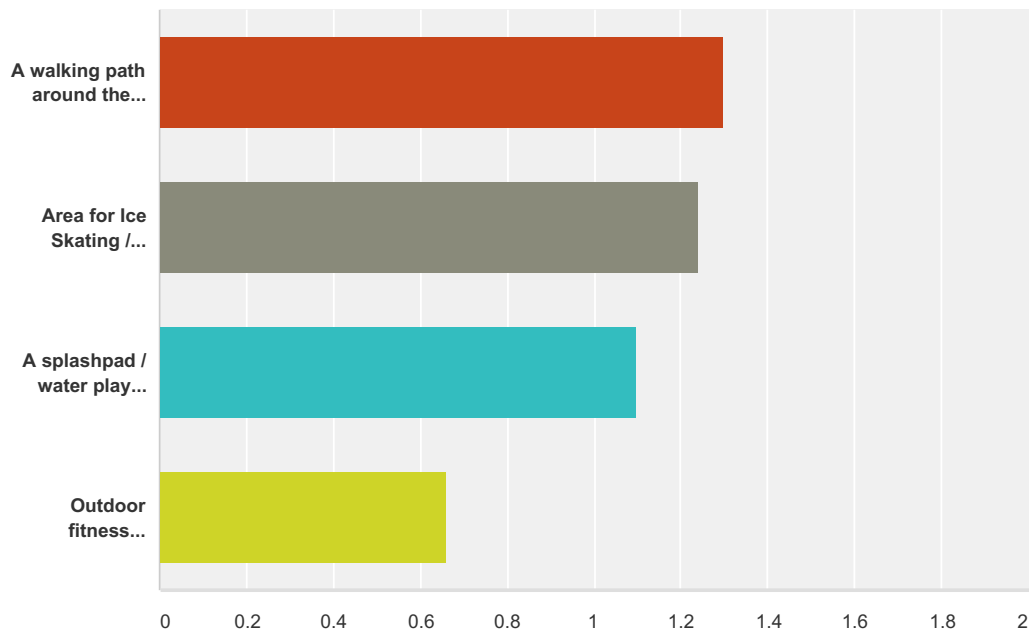
	No	Maybe	Yes	Total	Weighted Average
Area for Ice Skating / Hockey	13.83% 56	27.90% 113	58.27% 236	405	1.44
A walking path around the perimeter of the fields	15.00% 60	32.25% 129	52.75% 211	400	1.38
Basketball court (relocated from Choate)	28.43% 114	36.91% 148	34.66% 139	401	1.06
A "Little Fenway"-style wiffle ball diamond	29.40% 117	37.44% 149	33.17% 132	398	1.04
Tennis court (relocated from Choate)	39.70% 158	34.92% 139	25.38% 101	398	0.86

Medway Parks: Goals & Analysis Survey

#	Other (please specify)	Date
1	Perhaps skating at one of the other parks instead, or more adjacent to the pond.	12/18/2016 4:48 PM
2	I think courts that are at Choate should stay there. Found question confusing.	12/17/2016 12:40 PM
3	Outdoor skating rink would be great. There aren't any around	12/14/2016 1:02 PM
4	Fenced in roller/street/floorball hockey area	12/12/2016 12:26 PM
5	Roller hockey	12/12/2016 10:39 AM
6	better parking!	12/12/2016 9:27 AM
7	Better parking and shade	12/12/2016 8:36 AM
8	Softball Diamond for Girls Teams	12/11/2016 10:21 PM
9	Would be nice to have a multi sport area with boards for street hockey, roller hockey or "indoor" soccer. We always used tennis courts when I was a kid but the nets were a real hazard.	12/11/2016 7:27 PM
10	Would prefer tennis stay at choate	12/11/2016 10:01 AM
11	Please please ice skating ring!!!!:)	12/10/2016 9:21 PM
12	ADA-Accessible is critical	12/10/2016 10:23 AM
13	There is nothing wrong with Cassidy field. Why change anything?	12/9/2016 11:13 PM
14	Put volley ball up here too.	12/9/2016 9:00 PM
15	Parking is the biggest concern, especially during baseball season	12/9/2016 5:51 PM
16	Basketball and tennis are fine at Choate	12/9/2016 3:42 PM
17	Splash pad!	12/9/2016 1:49 PM

Q9 Discussions with the Committee and at the public meeting emphasized the need for Oakland Park to have its existing or expanded sports fields and basketball court; reorganized and (if possible) increased parking; a renovated playground that serves a wider age range; a shade structure; bathrooms; sports and camp storage; and accessible paths and picnic area. Which, if any, of the following features would you like to consider adding at Oakland Park?

Answered: 399 Skipped: 28



	No	Maybe	Yes	Total	Weighted Average
A walking path around the perimeter of the fields	20.15% 79	30.10% 118	49.74% 195	392	1.30
Area for Ice Skating / Hockey	22.05% 86	32.05% 125	45.90% 179	390	1.24
A splashpad / water play feature	31.28% 122	27.69% 108	41.03% 160	390	1.10
Outdoor fitness equipment stations	51.56% 198	30.99% 119	17.45% 67	384	0.66

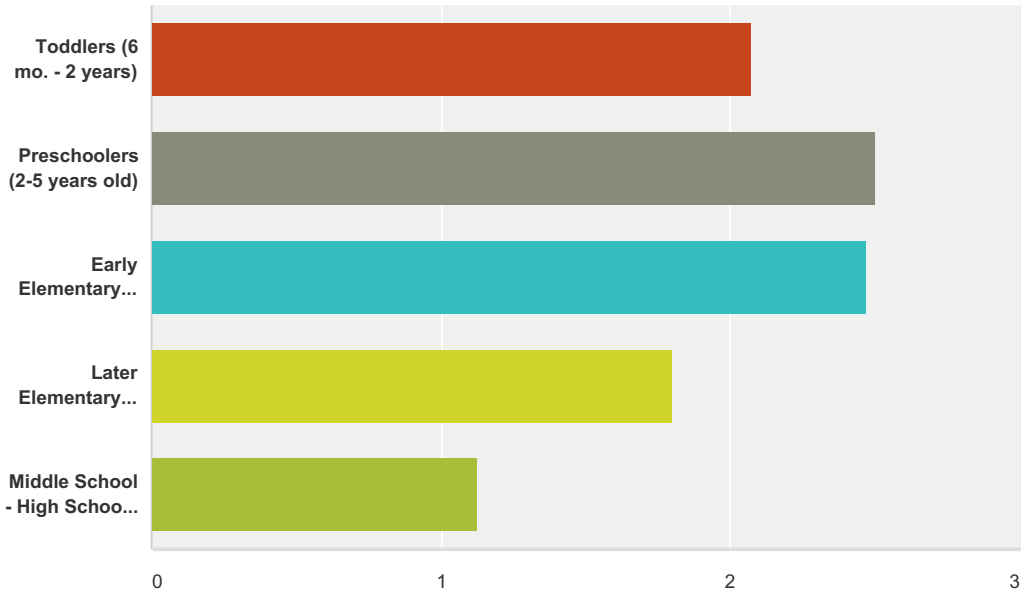
#	Other (please specify)	Date
1	It would be nice to have a splash pad and skating area available in town. I think Oakland would be ideal for the splash pad keeping it separate from the town's major event area (Choate). That way kids not begging parents to use it during fireworks etc! Skating would also be a nice addition at either park since rarely used during winter months.	12/17/2016 12:47 PM

Medway Parks: Goals & Analysis Survey

2	Bathrooms and improved parking should be the priority at this facility.	12/15/2016 3:15 PM
3	Bathrooms, better seating for adults in playground area	12/13/2016 8:09 PM
4	Bathrooms	12/12/2016 10:48 PM
5	Sidewalks on Oakland Street for families with strollers. I live in Oakland and never felt safe walking to the park.	12/12/2016 4:15 PM
6	Roller hockey is much more accessible than ice hockey, which is impractical 3 seasons out of the year.	12/12/2016 12:28 PM
7	Flooding of the basketball court was tried for skating. inconsistent because of the temperature and the court is not level making it more difficult. It was frozen a few times and was used.	12/12/2016 11:09 AM
8	would like these features at Choate Park rather than Oakland	12/12/2016 9:28 AM
9	play equipment for wider age range	12/11/2016 8:29 PM
10	Putting green	12/10/2016 8:09 PM
11	skate park	12/9/2016 11:14 PM
12	Who owns the wooded land behind the fields. This would be a great place to expand walking trails.	12/9/2016 9:04 PM
13	Anything that would detract from the existing sports fields would be a huge negative	12/9/2016 6:12 PM
14	Parking is challenging	12/9/2016 5:53 PM
15	I would prefer skating not to be for hockey. It should be open skate so all ages could enjoy at the same time.	12/9/2016 3:12 PM
16	Oakland would be a great place for ice skating if abutters agree and parking is improved.	12/9/2016 2:54 PM
17	YOU DO REALIZE THERE ARE NO SIDEWALKS ON OAKLAND ST ?? Those who live in the immediate area who would like to access the park have to walk on a heavily travelled street that doesn't have sidewalks for most of it. THIS IS A PROBLEM!!!!	12/9/2016 1:33 PM
18	This area would make a great community pool area.	12/9/2016 1:23 PM
19	Sunshine Group is located here during summers so it would be nice to have a splash pad here. Also a community center located next to the senior center would be a great addition!	12/9/2016 1:20 PM
20	pet friendly!	12/9/2016 1:03 PM

Q10 How important is it to provide play equipment or activities for each of the following age ranges at Oakland Park?
 (*Note: Play equipment standards only cover ages up to 12 years old, but some types of structures lend themselves to early teen use as well.)

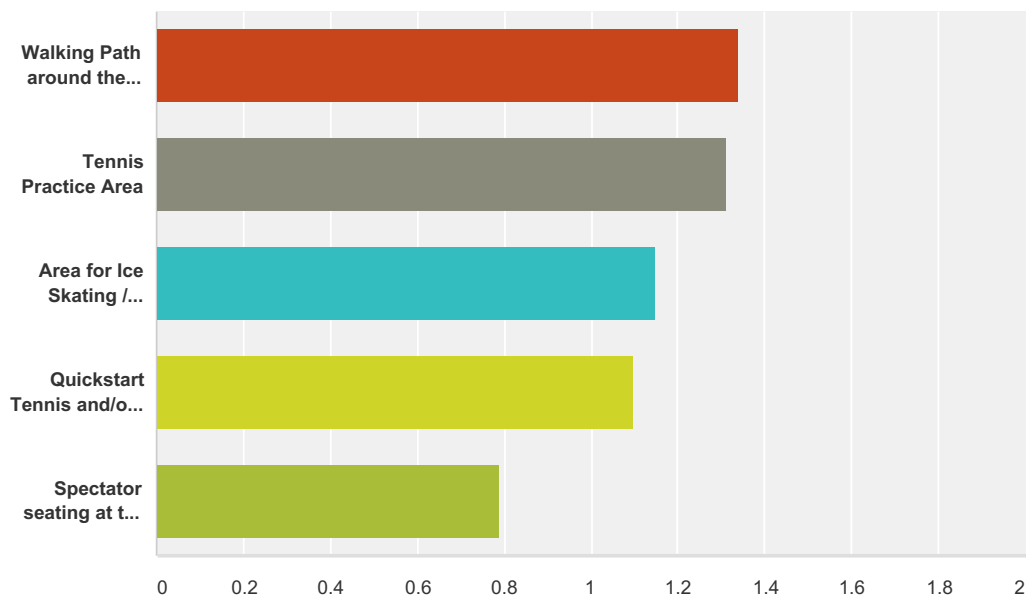
Answered: 396 Skipped: 31



	Not Important	Slightly Important	Fairly Important	Very Important	Total	Weighted Average
Toddlers (6 mo. - 2 years)	8.97% 35	19.23% 75	27.44% 107	44.36% 173	390	2.07
Preschoolers (2-5 years old)	3.55% 14	8.63% 34	22.08% 87	65.74% 259	394	2.50
Early Elementary School (5-8 years)	2.82% 11	10.00% 39	24.87% 97	62.31% 243	390	2.47
Later Elementary School (9-12 years)	14.07% 55	25.06% 98	28.13% 110	32.74% 128	391	1.80
Middle School - High School (12+ years)	39.02% 151	26.87% 104	16.28% 63	17.83% 69	387	1.13

Q11 Discussions with the Committee and at the public meeting emphasized the need for the renovations at the Middle School to:
renovate and light the tennis courts;
renovate the track and field facilities for use by the Middle School's track program;
consider expanding and replacing field lighting to better light the other fields;
organize the sports-equipment storage; and
provide accessible routes throughout the site to player and spectator areas and links to the adjacent sites. Which, if any, of the following features would you like to consider adding at Medway Middle School?

Answered: 390 Skipped: 37



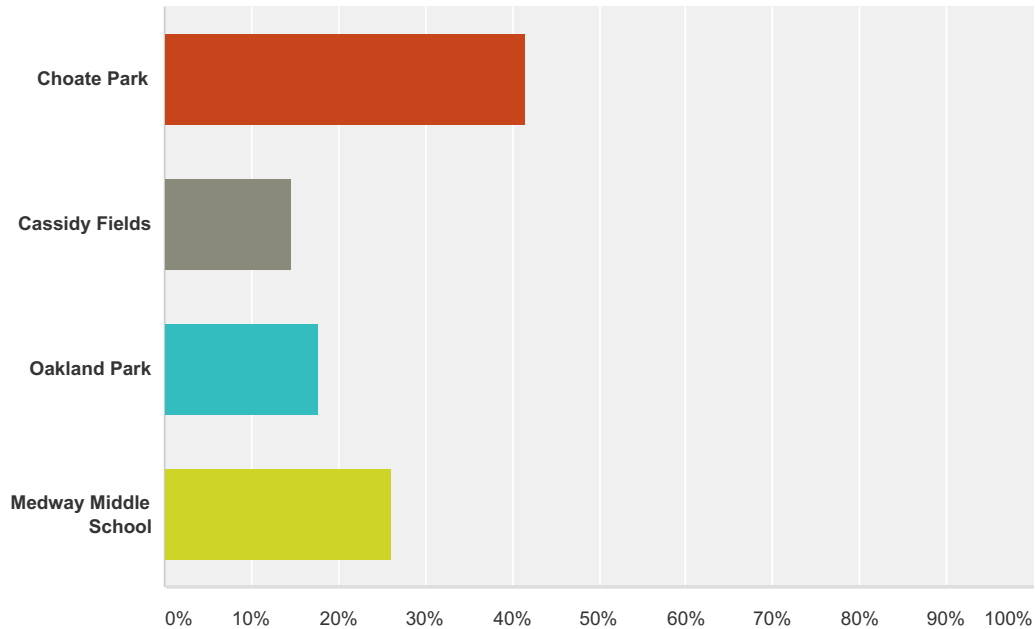
	No	Maybe	Yes	Total	Weighted Average
Walking Path around the perimeter of the fields	20.16% 77	25.39% 97	54.45% 208	382	1.34
Tennis Practice Area	15.04% 57	39.05% 148	45.91% 174	379	1.31
Area for Ice Skating / Hockey	26.96% 103	31.15% 119	41.88% 160	382	1.15
Quickstart Tennis and/or Pickleball Courts	21.33% 80	46.93% 176	31.73% 119	375	1.10
Spectator seating at the Tennis Courts	39.62% 147	42.05% 156	18.33% 68	371	0.79

Medway Parks: Goals & Analysis Survey

#	Other (please specify)	Date
1	Improve the conditions of the Tennis courts and include bathroom facilities.	12/15/2016 3:17 PM
2	The rear area of the Middle School near the track has been an eyesore for years.	12/14/2016 9:15 AM
3	The track needs to be fixed. It's a disgrace and a liability if someone trips on one of the many cracks.	12/12/2016 3:46 PM
4	Roller and street hockey is much more practical than ice which is only available in wintertime. Roller is great for cross-training for ice.	12/12/2016 12:29 PM
5	Shaded area	12/12/2016 8:39 AM
6	Lighting for one Softball field and bathrooms or access to Middle school bathrooms	12/11/2016 10:24 PM
7	The baseball fields are not handicapped accessible-this need to be changed. The paths to the field are not well maintained and have many rocks and poison ivy. And, safe seating is not provided (to see the game you need to sit close to the foul line. Most importantly there is not a safe on-deck area, and there have been many "close calls" with players almost being hit.	12/11/2016 9:14 PM
8	This needs to be inline with what the Physical Education teacher needs to meet their standards and needs.	12/11/2016 8:59 PM
9	Street hockey could be nice here.What about skate park or parkour?	12/11/2016 7:31 PM
10	Exercise equipment around the track (pull up bars and other body weight platforms)	12/11/2016 11:29 AM
11	The Middle School needs an area for recess and whatever structures that would include.	12/9/2016 7:51 PM
12	BATHROOM and running water for concessions (and a concession stand), better lighting and better wheelchair access for spectators to further football/lax fields	12/9/2016 2:55 PM

Q12 If an Ice Skating / Hockey area were created at only one of the four sites, which do you feel would be the most appropriate location?

Answered: 390 Skipped: 37



Answer Choices	Responses	
Choate Park	41.54%	162
Cassidy Fields	14.62%	57
Oakland Park	17.69%	69
Medway Middle School	26.15%	102
Total		390

Q13 What other amenities or facilities do you feel are lacking from Medway's recreational areas that have not been discussed in earlier questions?

Answered: 125 Skipped: 302

#	Responses	Date
1	Natural playground, mini zipline, waterside path or dock for fishing, relaxing, photos?	12/18/2016 4:59 PM
2	n/a	12/18/2016 2:41 PM
3	Town Pool	12/18/2016 9:15 AM
4	rail trail access??, or dog walking path	12/18/2016 8:36 AM
5	Maybe a pool at the high school for the swim team that the public can use at certain times	12/17/2016 12:52 PM
6	More benches & flowers	12/15/2016 8:11 AM
7	Middle School Track Renovation	12/14/2016 8:39 PM
8	Water fountains, restrooms	12/14/2016 7:31 PM
9	Bike trail	12/14/2016 6:45 PM
10	all of the above suggestions and ideas sound great!	12/14/2016 12:21 PM
11	bathrooms, tables with benches,	12/14/2016 11:04 AM
12	community center with workout rooms, indoor pool	12/14/2016 10:08 AM
13	dog access	12/14/2016 9:38 AM
14	Year round indoor/outdoor swimming facility for all ages	12/14/2016 9:18 AM
15	Perminent stage area near thayer (where the movies are setup) to provide easy movie and concert facilities.	12/14/2016 9:01 AM
16	None	12/14/2016 8:56 AM
17	town pool	12/14/2016 8:54 AM
18	encouragement of 'natural' play, not just structures, incorporation of public art into the parks, bike/scooter path around the playground area (similar to EMC park in Hopkinton)	12/13/2016 10:30 PM
19	Cricket	12/13/2016 9:15 PM
20	Remove toys from Choate to improve ascetic and safety. Add water feature.	12/13/2016 8:50 PM
21	Adult/spectator seating, bathrooms	12/13/2016 8:12 PM
22	A swiming pool	12/13/2016 7:21 PM
23	Home for Camp Sunshine, Skate Park, Street Hockey Rink	12/13/2016 6:37 PM
24	Better parking at Choate	12/13/2016 6:23 PM
25	Restroom availability	12/12/2016 9:42 PM
26	A rose garden	12/12/2016 8:32 PM
27	adding a town pool	12/12/2016 7:54 PM
28	Area for walking leashed dog and/or off leash areas. Potential revenue for an increased cost for an off leash dog permit (example is how towns of newton have two separate dog permits at different costs)	12/12/2016 7:39 PM
29	Disc Golf,	12/12/2016 7:31 PM
30	bathrooms	12/12/2016 3:47 PM
31	town pool	12/12/2016 12:45 PM

Medway Parks: Goals & Analysis Survey

32	More picnic sites	12/12/2016 12:36 PM
33	public rest rooms	12/12/2016 12:16 PM
34	I've seen play structures that resemble art or vehicles. I've also seen what I'll call hopping stones set up in an area. These types of things in the beach areas may make sense so long as a child has no easy access to the water.	12/12/2016 11:19 AM
35	More running trails	12/12/2016 10:58 AM
36	Skate Park	12/12/2016 10:40 AM
37	bathrooms	12/12/2016 10:28 AM
38	Accessibility, intermittent seating around walking paths	12/12/2016 9:53 AM
39	Open space that is NOT a sports field where kids can toss a frisbee, play tag, etc.	12/12/2016 9:51 AM
40	Sun shelter/seating at middle school fields	12/12/2016 9:30 AM
41	Features for Tweens/Teens - maybe wall ball; skate board area. Also, please consider shaded areas across all parks.	12/12/2016 8:45 AM
42	I like the idea of a stage/performance area to Choate Park.	12/12/2016 3:13 AM
43	Additional toilets. Rest stop seating for seniors	12/11/2016 11:30 PM
44	Disc golf	12/11/2016 11:19 PM
45	bike paths	12/11/2016 10:57 PM
46	Area for youth groups like scouts to camp overnight	12/11/2016 10:25 PM
47	Swimming pool	12/11/2016 9:49 PM
48	Beach	12/11/2016 9:23 PM
49	Town pool	12/11/2016 9:21 PM
50	Safe on-deck areas for idylbrook and middle school baseball fields. Adequate and handicapped accessible parking and bathrooms. Access to one bathroom at idylbrook has no path and is full of brush and poisoned ivy. Idylbrook has no lined parking spaces and people get boxed in on the lowering side. Last there is no recycling at Cassidy or Idylbrook	12/11/2016 9:18 PM
51	Swimming area	12/11/2016 9:15 PM
52	bathrooms at Oakland Park	12/11/2016 9:13 PM
53	A pool	12/11/2016 9:05 PM
54	Pool	12/11/2016 8:59 PM
55	Restrooms	12/11/2016 8:54 PM
56	More professional signage, better parking and lighting....but you are addressing these in this project, I think. Choate definitely needs a splashpad and walking paths that are paved around the pond.	12/11/2016 8:51 PM
57	paved bike path	12/11/2016 8:31 PM
58	Decent basketball courts	12/11/2016 8:03 PM
59	Street hockey, skate park, parkour	12/11/2016 7:32 PM
60	Having dogs able to walk around the park. Have dog cans for cleaning up after our pets	12/11/2016 7:11 PM
61	Nature paths. Hardly any in Medway when many nearby towns have more. I always drive away from Medway to go walking.	12/11/2016 7:08 PM
62	Real bathrooms at the sites that only have porta-johnnies	12/11/2016 6:16 PM
63	Rubberized running surface at middle school track	12/11/2016 5:44 PM
64	Improved signage on paths connecting fields	12/11/2016 11:33 AM
65	Skateboard Park	12/11/2016 10:26 AM
66	Volleyball court at middle school	12/11/2016 10:03 AM
67	dog-friendly areas, ongoing maintenance of children's play area at Choate Park, consistent access to track, safe sidewalks throughout town	12/11/2016 9:00 AM

Medway Parks: Goals & Analysis Survey

68	None	12/11/2016 8:11 AM
69	We need to ensure there are bathrooms accessible year round.	12/11/2016 7:22 AM
70	Swimming pool Because its hot around here in the summertime And there is Nothing to do here in the summertime.	12/11/2016 7:18 AM
71	Teen hangouts, skateboarding options, rails to trails type trails for strollers and bikes	12/11/2016 4:40 AM
72	Why no skating on the pond?	12/11/2016 12:04 AM
73	Nighttime lighting on walking paths around chaote park	12/10/2016 9:39 PM
74	Would be great to have more paths for kids to ride their bikes, kind of like in Bellingham Commons	12/10/2016 9:26 PM
75	Ice skating rink would be amazing	12/10/2016 9:24 PM
76	Putting green	12/10/2016 8:10 PM
77	Completely enclosed play area at Oakland Park (Fencing is open to the street). Bathrooms at Oakland.	12/10/2016 6:50 PM
78	Bathroom facilities	12/10/2016 4:48 PM
79	Public tables for chess and checkers	12/10/2016 9:37 AM
80	Long hiking trails	12/10/2016 8:20 AM
81	Outdoor pavilion that can be rented for family parties, birthdays, graduation etc with outdoor sink/kitchen and BBQ	12/10/2016 8:02 AM
82	Skate park area	12/10/2016 7:46 AM
83	Pool	12/10/2016 7:17 AM
84	Bocce and some way to make the pond swimmable	12/10/2016 12:02 AM
85	Shaded areas for spectator sports, indoor option for summer camps; 24/7 access to bathrooms at all locations; flexible use areas for fall festivals and community events,	12/9/2016 11:18 PM
86	Fields that are green.	12/9/2016 11:18 PM
87	skate park	12/9/2016 11:15 PM
88	Swimming pool!!	12/9/2016 10:33 PM
89	Performance Areas and public art displays	12/9/2016 10:01 PM
90	Good and safe crosstown walking paths. Too many cars on Main St and Village St for a pleasant long walk.	12/9/2016 9:08 PM
91	More parking at Cassidy and more trails in the woods	12/9/2016 6:52 PM
92	Lighting for softball field at Middle School	12/9/2016 6:37 PM
93	NA	12/9/2016 6:19 PM
94	Teather ball, skateboard park	12/9/2016 6:11 PM
95	Removal of a lot of outdated equipment (fitness at choate or construction barriers at middle)	12/9/2016 5:54 PM
96	Na	12/9/2016 5:00 PM
97	Splash pad/water play area.	12/9/2016 4:57 PM
98	Bathrooms at the other parks aside from choate.	12/9/2016 4:53 PM
99	Public skating/hockey in Choate would be wonderful.	12/9/2016 4:21 PM
100	Recreational summer SWIMMING	12/9/2016 3:47 PM
101	maybe some type of skateboard area so kids are not using Shaw parking lot	12/9/2016 3:05 PM
102	Bike trails	12/9/2016 3:02 PM
103	Clean bathrooms and water fountains	12/9/2016 3:00 PM
104	Idylbrook baseball fields, middle school baseball fields, high school baseball field	12/9/2016 2:58 PM
105	working bathrooms that are unlocked at all public rec areas	12/9/2016 2:57 PM
106	Pubic bathrooms at all sites	12/9/2016 2:53 PM
107	A definted town "common" area at Choate would be nice	12/9/2016 2:47 PM

Medway Parks: Goals & Analysis Survey

108	The town should develop either the Middle School or Idylbrook to have two 90 foot baseball diamonds. these fields should include field lighting on at least 1 field, spectator seating, dugouts, outfield fencing, equipment storage, etc	12/9/2016 2:27 PM
109	Bathroom facilities at all locations other than Choate Park	12/9/2016 2:22 PM
110	restrooms	12/9/2016 2:14 PM
111	Bathroom facilities at every location; bike racks (to encourage less driving); fenced in areas for playgrounds (for safety); open areas with trees/woods to invite creative play; natural playgrounds; indoor play areas/common spaces for inclement weather; a recreation center that could offer classes	12/9/2016 1:54 PM
112	ADD AN ICE SKATING RINK!	12/9/2016 1:51 PM
113	Biking trail would be nice	12/9/2016 1:43 PM
114	Oakland fields	12/9/2016 1:41 PM
115	SIDEWALKS/accessibility for people who live in immediate vicinity.	12/9/2016 1:34 PM
116	Lighting to prolong play hours during fall and winter	12/9/2016 1:28 PM
117	Public pool	12/9/2016 1:25 PM
118	Community Pool at Oakland Park area	12/9/2016 1:25 PM
119	Biotangiacal garden	12/9/2016 1:22 PM
120	Natural playground - perhaps at Idyll near the fields/entrance to hiking trails	12/9/2016 1:18 PM
121	Bike trails	12/9/2016 1:07 PM
122	pet friendly at parks	12/9/2016 1:04 PM
123	Playground equipment specifically for teens so they don't play where the little kids are- too dangerous.	12/9/2016 1:01 PM
124	walking track. MMS one is terrible.	12/9/2016 12:58 PM
125	Skate ramps	12/9/2016 12:58 PM

Medway Parks: Goals & Analysis Survey

Q14 What questions or comments do you have about the current park planning project?

Answered: 74 Skipped: 353

#	Responses	Date
1	I love the idea of making Choate and the pond even more of a center piece/focal point of the town and park.	12/18/2016 4:59 PM
2	Love the idea of Pocket Park(s), HOWEVER do not use up space for a parking lot at a pocket park (such as at Mechanic & Main Sts.) People don't DRIVE to a pocket park. It is used, in my experience, by those who are walking/jogging/biking.	12/18/2016 2:41 PM
3	I personally love choate park and would love to se it have a better playground. My children and grandchildren prefer going to Norfolk for playgrounds which is a shame. I also avoid Choate all summer do to the camps held there. My toddlers are teased by the blow ups and water features that are for campers only so we just don't go.	12/18/2016 9:15 AM
4	Glad folks are looking into stepping forward with planning!	12/18/2016 8:36 AM
5	Medway should have a stronger REC dept...I don't want to have to do everything through Franklin and surrounding areas. When we first moved here I was disappointed at what was offered here in town.	12/17/2016 12:52 PM
6	A skating/Hockey area is not worth the expense for the number of days that they would be able to be used.	12/15/2016 3:18 PM
7	I am concerned about this affecting our tax bill!	12/15/2016 8:11 AM
8	I'm concerned about synthetic turf and possible toxicity of playground surface substances.	12/15/2016 7:43 AM
9	is security/surveillance in scope or addressed elsewhere?	12/14/2016 7:31 PM
10	Parking availability and crosswalks / sidewalk condition if having to park remotely	12/14/2016 10:47 AM
11	looks great	12/14/2016 9:38 AM
12	All ages need safer areas in town for walking and riding bikes. The roads are much more hazardous and busy in recent years and drivers appear careless, and rarely slow down for pedestrians. Trail walking is wonderful, like the one in Holliston, since it inspires community interaction.	12/14/2016 9:18 AM
13	Keep up the good work!	12/14/2016 9:01 AM
14	None	12/14/2016 8:56 AM
15	what about older people in town what is available	12/14/2016 8:54 AM
16	A splashpad is wasteful considering we are in a long-term drought.	12/13/2016 10:21 PM
17	Maintenance issues with any the new additions being proposed	12/13/2016 9:42 PM
18	Be sure there is plenty of parking	12/13/2016 7:21 PM
19	Please keep Choate as natural as possible! That is it's strongest & best feature.	12/12/2016 10:50 PM
20	Parking	12/12/2016 8:32 PM
21	It would be nice to add a few designated (painted) handicapped parking spaces.	12/12/2016 12:40 PM
22	Please post hearings and meeying on FB	12/12/2016 12:36 PM
23	How much money will be provided for planning from the corrupt Exelon project?	12/12/2016 12:31 PM
24	needs to be improved	12/12/2016 12:16 PM
25	I think the primary focus has to be on the Thayer House and Choate Park. This will be the "Village Green." It needs to work together. Even if the Town needs to spend a little money in the planning phase now, it's worth doing right. I understand that funds for work at Thayer may have to be appropriated seperately, but that shouldn't stop a larger view of the area. Cassidy is another higher point only becasue it links to Choate and Thayer. Oakland and Middle Middle School should only be looked at in terms of relocated or support for existing uses. Another issue is parking. When Thayer and Cassidy are busy, there is no parking available.	12/12/2016 11:19 AM
26	Want to ensure you don't increase rental fees or take over Medway Youth Baseball manage the of Rodney's	12/12/2016 10:58 AM

Medway Parks: Goals & Analysis Survey

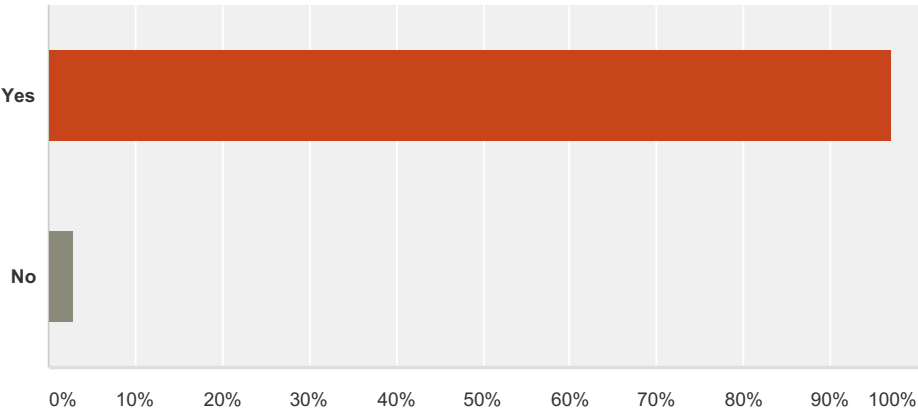
27	Exciting things!	12/12/2016 9:53 AM
28	Please pay careful attention to parking and safety, maybe add speed bumps and sidewalks, to Choate/Mechanic/Oak streets	12/12/2016 8:45 AM
29	If we have a water park of some sort it should be Medway residence only. We can not support other towns coming into Medway to use these facilities.	12/12/2016 8:32 AM
30	Super undertaking! Love the idea of making the park more of a town feature.	12/12/2016 3:13 AM
31	None	12/11/2016 11:30 PM
32	Needs to be some way to access trail to high school with a dog	12/11/2016 9:49 PM
33	I'm very glad that this survey was put out. Thank you!	12/11/2016 9:18 PM
34	When is this expected to be completed?	12/11/2016 8:51 PM
35	Why are you stressing the need for a skating area? Why can't people use Choate pond in the winter?	12/11/2016 7:29 PM
36	With improvements what can be done to ensure town residents will benefit the most rather than out of town people. I'd like to see a park pass system created, especially if features such as ice rinks or splash pads are created	12/11/2016 11:33 AM
37	What will its affect be on taxes?	12/11/2016 10:26 AM
38	Need area for older kids and prefer at Choate or Cassidy.	12/11/2016 10:11 AM
39	This is a great conversation to have. I have 3 young kids and look forward to seeing more fun opportunities for them. Splash pad especially!	12/11/2016 8:11 AM
40	It sounds good!!	12/11/2016 7:18 AM
41	I hate to say it but more parking at Choate would be very helpful particularly for events	12/11/2016 12:04 AM
42	Make the hockey area happen please!!!	12/10/2016 9:39 PM
43	When will the Choate park renovations start and complete? We use the park almost daily! And will there be fees for ice sheet ring and the splash pad if such will be installed? Thank you!	12/10/2016 9:26 PM
44	I would want more details on a splash pad facility. Will this only be open to town members (fee for out of towners like you see with some of the ponds in the area). How does this work if there is a water ban in town?	12/10/2016 6:50 PM
45	Traffic in/out of Choate Park into Oak St.	12/10/2016 10:45 AM
46	Cost of project features to allow a sense of cost to benefit. Thanks.	12/10/2016 9:37 AM
47	On the right path	12/10/2016 8:20 AM
48	Great job on the survey!	12/10/2016 8:02 AM
49	Cost to residents; duration; project impact to sport programs	12/9/2016 11:18 PM
50	I don't see anything wrong with them.	12/9/2016 11:18 PM
51	What would the budget/time frame be for the project?	12/9/2016 10:01 PM
52	I don't think it is necessary to have all the toys at Choate park. Most don't function properly and makes the area look trashy.	12/9/2016 7:28 PM
53	NA	12/9/2016 6:19 PM
54	Very excited that work and money is being devoted to this project- thank you!	12/9/2016 5:54 PM
55	Na	12/9/2016 5:00 PM
56	Parking in all facilities need to be added and addressed along with better flow. Choate park keep natural with a playground for all ages, splash pad, Pavillion and picnic tabkes and benches. Oakland very much needs a playground renovation and relocation. Shelter and restrooms and parking majorly needs to be addressed. Seating and picnic area would be nice. Middle school idea sounds great, Cassidy field keep as a sports complex. Ice rink location? More seating, benches and blechers	12/9/2016 4:57 PM
57	Allowing dogs in parks - Choate in particular.	12/9/2016 4:21 PM
58	Burke-Memorial School playground needs an upgrade	12/9/2016 3:47 PM
59	cost	12/9/2016 3:05 PM
60	How long will it take to be finished	12/9/2016 3:02 PM

Medway Parks: Goals & Analysis Survey

61	Thank you SO much for all your hard work improving our play/green/public spaces in Medway. You are angels!	12/9/2016 2:57 PM
62	Allow dogs on leash at Choate.	12/9/2016 2:35 PM
63	thank you for making Medway parks better!	12/9/2016 2:27 PM
64	The North St./School St. park is probably more in need of renovation than the other parks	12/9/2016 2:22 PM
65	To consider splash pads in this age of restricted water usage and power plant supply seems irresponsible and thoughtless.	12/9/2016 2:00 PM
66	none	12/9/2016 1:41 PM
67	The "Walpole Ponds Association" and the town of Walpole have partnered up at Turner Pond on Route 27 to provide a great atmosphere for ice skating. I think something like that could be huge at Choate Park.	12/9/2016 1:41 PM
68	See above.	12/9/2016 1:34 PM
69	Let's get it done fast so that families can enjoy updated facilities sooner rather than later.	12/9/2016 1:28 PM
70	I think an Ice Skating/Hockey area would be great	12/9/2016 1:25 PM
71	Don't go nuts, our tax bill is already too high.	12/9/2016 1:23 PM
72	The ideas are good but where would funding come from?	12/9/2016 1:22 PM
73	Thank you!	12/9/2016 1:07 PM
74	Can not wait for these projects to be done. Good work picking CBA as the designer.	12/9/2016 12:55 PM

Q15 Are you a Town of Medway resident?

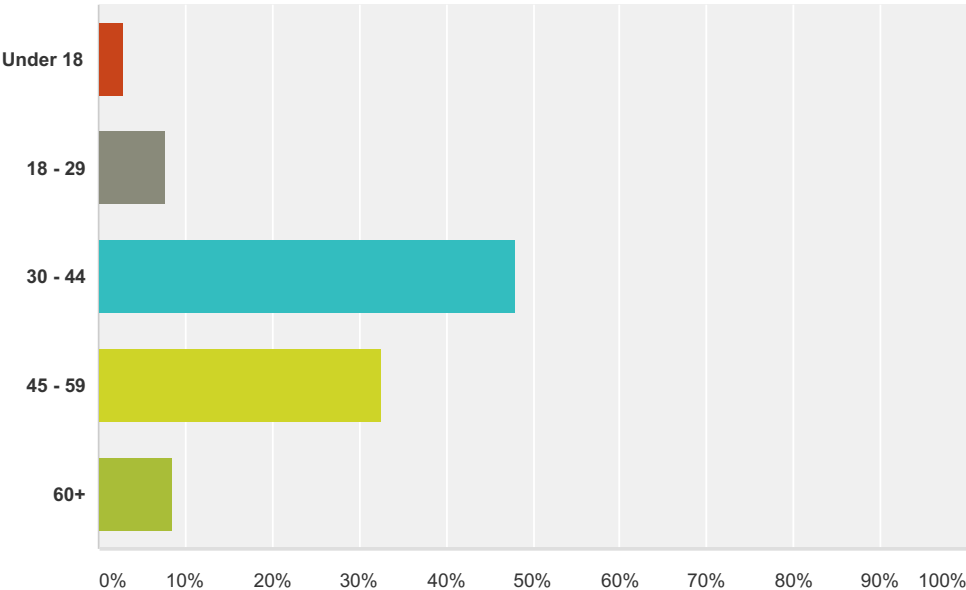
Answered: 397 Skipped: 30



Answer Choices	Responses	
Yes	96.98%	385
No	3.02%	12
Total		397

Q16 What is your age?

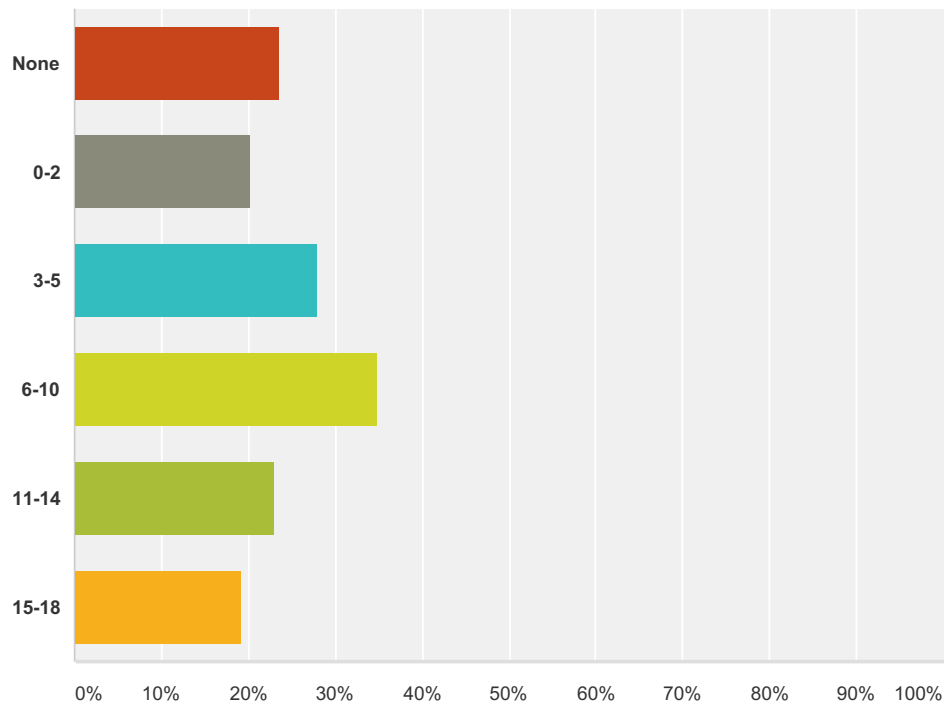
Answered: 397 Skipped: 30



Answer Choices	Responses	
Under 18	3.02%	12
18 - 29	7.81%	31
30 - 44	48.11%	191
45 - 59	32.49%	129
60+	8.56%	34
Total		397

Q17 What ages of children currently live in your household? (Check all that apply.)

Answered: 389 Skipped: 38



Answer Choices	Responses
None	23.65% 92
0-2	20.31% 79
3-5	28.02% 109
6-10	34.96% 136
11-14	22.88% 89
15-18	19.28% 75
Total Respondents: 389	

Q18 Which park or site in town (not limited to the four study areas) do you use most often?

Answered: 344 Skipped: 83

#	Responses	Date
1	Choate	12/18/2016 11:39 PM
2	Choate	12/18/2016 10:38 PM
3	Idylbrook, high school	12/18/2016 9:58 PM
4	Choat	12/18/2016 6:26 PM
5	Choate and North street, and many of the other fields for sports.	12/18/2016 5:01 PM
6	Choate Park	12/18/2016 2:41 PM
7	Choate	12/18/2016 11:04 AM
8	Choate	12/18/2016 9:16 AM
9	Choate	12/18/2016 9:00 AM
10	Choate Park	12/18/2016 8:37 AM
11	Choate	12/17/2016 12:53 PM
12	Choate	12/17/2016 9:17 AM
13	Choate to Adams walking path	12/17/2016 9:15 AM
14	choate	12/15/2016 8:06 PM
15	Choate Park	12/15/2016 3:19 PM
16	idylbrok	12/15/2016 2:11 PM
17	Choate	12/15/2016 11:25 AM
18	Oakland for soccer and playground	12/15/2016 10:24 AM
19	Choate	12/15/2016 9:08 AM
20	Idle Brook	12/15/2016 8:37 AM
21	Cassidy	12/15/2016 8:26 AM
22	Cassidy	12/15/2016 8:22 AM
23	Choate Park	12/15/2016 8:12 AM
24	Oakland	12/15/2016 8:05 AM
25	Choate Park	12/15/2016 7:43 AM
26	Choate, Medway Middle	12/15/2016 6:23 AM
27	Idylbrook	12/14/2016 11:52 PM
28	Middle & HS	12/14/2016 8:40 PM
29	Choate	12/14/2016 7:45 PM
30	Choate	12/14/2016 7:31 PM
31	Choate	12/14/2016 6:45 PM
32	Idyllbrook	12/14/2016 4:58 PM
33	Choate, Library	12/14/2016 3:36 PM

Medway Parks: Goals & Analysis Survey

34	Choate Park and the Middle School	12/14/2016 2:02 PM
35	Oakland	12/14/2016 1:43 PM
36	Choate	12/14/2016 1:28 PM
37	Oakland	12/14/2016 1:15 PM
38	Choate	12/14/2016 1:03 PM
39	Choate Park	12/14/2016 12:39 PM
40	walk choate park mostly	12/14/2016 12:22 PM
41	Choate	12/14/2016 11:36 AM
42	Idylbrook Park trails	12/14/2016 11:09 AM
43	Choate	12/14/2016 11:04 AM
44	Choate	12/14/2016 10:47 AM
45	Choate	12/14/2016 10:09 AM
46	Choate	12/14/2016 9:51 AM
47	Choate Park	12/14/2016 9:48 AM
48	Choate	12/14/2016 9:46 AM
49	Choate	12/14/2016 9:39 AM
50	Oakland	12/14/2016 9:33 AM
51	Choate	12/14/2016 9:32 AM
52	Choate	12/14/2016 9:27 AM
53	Choate	12/14/2016 9:20 AM
54	Choate And the soccer field by Partridge.	12/14/2016 9:20 AM
55	Idyllbrook	12/14/2016 9:16 AM
56	Choate/HS	12/14/2016 9:15 AM
57	Medway middle School	12/14/2016 9:13 AM
58	Choate	12/14/2016 9:02 AM
59	Choate	12/14/2016 8:56 AM
60	choate thayer house area	12/14/2016 8:54 AM
61	Choate	12/14/2016 8:52 AM
62	choate	12/14/2016 8:49 AM
63	Choate	12/13/2016 10:31 PM
64	Choate	12/13/2016 10:22 PM
65	choate	12/13/2016 10:00 PM
66	Idlebrook	12/13/2016 9:49 PM
67	No parks worth going except for Choate	12/13/2016 9:17 PM
68	All equally	12/13/2016 8:51 PM
69	Choate/Oakland	12/13/2016 8:12 PM
70	Choate	12/13/2016 7:22 PM
71	Walking Trails	12/13/2016 6:38 PM
72	Choate Park	12/13/2016 6:32 PM
73	MHS	12/13/2016 6:24 PM
74	Choate	12/13/2016 5:58 PM

Medway Parks: Goals & Analysis Survey

75	Choate	12/13/2016 10:59 AM
76	High school and middle school	12/12/2016 11:32 PM
77	Choate	12/12/2016 11:20 PM
78	Choate	12/12/2016 10:50 PM
79	choate	12/12/2016 10:06 PM
80	Idyllbrook, Oakland, and middle school - all for town sports.	12/12/2016 9:43 PM
81	Choate and Oakland	12/12/2016 9:40 PM
82	Choate	12/12/2016 9:24 PM
83	Choate	12/12/2016 9:11 PM
84	Choate	12/12/2016 8:57 PM
85	Choate	12/12/2016 8:35 PM
86	Middle School	12/12/2016 8:34 PM
87	choate	12/12/2016 7:55 PM
88	Choate	12/12/2016 7:40 PM
89	Oakland	12/12/2016 7:32 PM
90	Choate	12/12/2016 4:50 PM
91	Choate	12/12/2016 4:20 PM
92	Choate	12/12/2016 4:17 PM
93	Choate	12/12/2016 4:16 PM
94	Middle School	12/12/2016 3:47 PM
95	Choate	12/12/2016 12:51 PM
96	Choate Park	12/12/2016 12:40 PM
97	I used to use Choate for rollerblading. But somebody called police on me and I don't use it anymore.	12/12/2016 12:33 PM
98	Oakland	12/12/2016 12:31 PM
99	choate	12/12/2016 12:20 PM
100	choate/ high school walking paths	12/12/2016 12:16 PM
101	Chote	12/12/2016 12:11 PM
102	North Street Park, Oakland Park, Choate Park, Thayer House	12/12/2016 11:28 AM
103	Choate and Middle School	12/12/2016 11:07 AM
104	Cassidy and choate	12/12/2016 10:59 AM
105	Choate	12/12/2016 10:41 AM
106	Middle school, choate, Oakland	12/12/2016 10:28 AM
107	Choate	12/12/2016 10:18 AM
108	Idylbrook fielda and nature trails	12/12/2016 9:54 AM
109	Idlybook and Cassidy	12/12/2016 9:52 AM
110	middle school fields	12/12/2016 9:30 AM
111	choate and oakland	12/12/2016 9:09 AM
112	Choate and trails	12/12/2016 8:47 AM
113	Choate	12/12/2016 8:46 AM
114	Choate and cassidy	12/12/2016 8:33 AM
115	Choate park	12/12/2016 8:13 AM

Medway Parks: Goals & Analysis Survey

116	Oakland, Choate, Idylbrook, Middle school	12/12/2016 7:59 AM
117	Choate Park	12/12/2016 6:56 AM
118	Oakland	12/12/2016 6:24 AM
119	Choate	12/12/2016 6:00 AM
120	Choate	12/12/2016 4:58 AM
121	Choate	12/12/2016 3:34 AM
122	Medway high school	12/12/2016 3:14 AM
123	Idlebrook trails	12/11/2016 11:55 PM
124	None	12/11/2016 11:31 PM
125	Choate-HS path and HS tennis courts	12/11/2016 11:20 PM
126	middle school, idyllbrook	12/11/2016 10:58 PM
127	Choate	12/11/2016 10:28 PM
128	Middle School	12/11/2016 10:26 PM
129	Choate	12/11/2016 10:06 PM
130	Choate	12/11/2016 9:56 PM
131	Choate	12/11/2016 9:50 PM
132	Oakland st	12/11/2016 9:48 PM
133	Choate	12/11/2016 9:44 PM
134	dog park	12/11/2016 9:32 PM
135	Choate	12/11/2016 9:24 PM
136	Choate Park	12/11/2016 9:22 PM
137	Chore	12/11/2016 9:20 PM
138	Idylbrook	12/11/2016 9:19 PM
139	Choate	12/11/2016 9:16 PM
140	Choate Park	12/11/2016 9:15 PM
141	Choate	12/11/2016 9:14 PM
142	Choate	12/11/2016 9:14 PM
143	Choate	12/11/2016 9:13 PM
144	Choate	12/11/2016 9:11 PM
145	cassidy, idylbrook	12/11/2016 9:09 PM
146	Choate	12/11/2016 9:06 PM
147	choate	12/11/2016 9:01 PM
148	Choate	12/11/2016 9:01 PM
149	North, Oakland, Chote	12/11/2016 9:00 PM
150	Choate, oakland and Middle school	12/11/2016 8:55 PM
151	Choate	12/11/2016 8:54 PM
152	Choate	12/11/2016 8:51 PM
153	Choate	12/11/2016 8:50 PM
154	Choate Park	12/11/2016 8:38 PM
155	Choate park playground	12/11/2016 8:32 PM
156	Choate	12/11/2016 8:21 PM

Medway Parks: Goals & Analysis Survey

157	Choate park	12/11/2016 8:04 PM
158	Choate park	12/11/2016 7:56 PM
159	Choate or middle school	12/11/2016 7:34 PM
160	Choate	12/11/2016 7:29 PM
161	Choate	12/11/2016 7:12 PM
162	Choate, I guess	12/11/2016 7:09 PM
163	Choate	12/11/2016 6:48 PM
164	choate	12/11/2016 6:44 PM
165	Choate	12/11/2016 6:30 PM
166	I'm primarily a trail walker, so HS/Choate and Idylbrook.	12/11/2016 6:17 PM
167	Middle School	12/11/2016 5:44 PM
168	Choate & Cassidy	12/11/2016 5:02 PM
169	Oakland	12/11/2016 11:33 AM
170	Choate Park/Cassidy Field	12/11/2016 10:27 AM
171	Choate	12/11/2016 10:12 AM
172	Choate	12/11/2016 10:04 AM
173	Choate Park	12/11/2016 9:01 AM
174	Choate Park	12/11/2016 8:12 AM
175	Choate Park	12/11/2016 7:23 AM
176	Choate park.	12/11/2016 7:19 AM
177	Oakland	12/11/2016 6:56 AM
178	Choate	12/11/2016 6:38 AM
179	Choate, Middle School	12/11/2016 4:41 AM
180	Choate	12/11/2016 12:25 AM
181	Choate	12/11/2016 12:05 AM
182	Choate	12/10/2016 10:38 PM
183	Choate, elementary schools	12/10/2016 10:25 PM
184	Choate Park	12/10/2016 10:11 PM
185	Choate park and Cassidy field	12/10/2016 9:41 PM
186	Choate	12/10/2016 9:27 PM
187	We love Choate park! We go at least 3 times a week. And it's great for distracting younger kids while my older son plays baseball at Cassidy field (which we also love)	12/10/2016 9:26 PM
188	Choate	12/10/2016 9:20 PM
189	Choate	12/10/2016 8:18 PM
190	High school	12/10/2016 8:11 PM
191	Choate	12/10/2016 7:48 PM
192	Choate and oakland	12/10/2016 7:15 PM
193	Choate Park	12/10/2016 6:54 PM
194	Oakland. I call Choate the graveyard of unwanted toys. I dont think people should be allowed to dump toys there.	12/10/2016 6:51 PM
195	Choate park	12/10/2016 4:59 PM
196	Medway Middle School, Choate Park, Cassidy Fields	12/10/2016 4:50 PM

Medway Parks: Goals & Analysis Survey

197	Choate	12/10/2016 4:05 PM
198	Choat	12/10/2016 2:43 PM
199	Medway middle school	12/10/2016 2:00 PM
200	Choate	12/10/2016 10:46 AM
201	Choate	12/10/2016 9:39 AM
202	Use all 4	12/10/2016 9:38 AM
203	Cassidy	12/10/2016 8:46 AM
204	Choate park and middle school	12/10/2016 8:22 AM
205	Choate	12/10/2016 8:03 AM
206	Choate	12/10/2016 7:47 AM
207	Choate	12/10/2016 7:43 AM
208	Chote, middle	12/10/2016 7:18 AM
209	Choate	12/10/2016 7:14 AM
210	Choate	12/10/2016 6:06 AM
211	Choate	12/10/2016 1:52 AM
212	Oakland	12/10/2016 12:04 AM
213	Choate/and trails	12/10/2016 12:03 AM
214	Choate	12/9/2016 11:28 PM
215	Choate	12/9/2016 11:19 PM
216	Oakland.	12/9/2016 11:19 PM
217	Choate	12/9/2016 10:35 PM
218	Choate park	12/9/2016 10:17 PM
219	choate	12/9/2016 10:08 PM
220	Idyllbrook Field	12/9/2016 10:02 PM
221	Choate	12/9/2016 9:57 PM
222	Choate	12/9/2016 9:40 PM
223	Choate	12/9/2016 9:32 PM
224	Choate & Oakland	12/9/2016 9:09 PM
225	Choate/oakland	12/9/2016 9:08 PM
226	Middle school/choate park	12/9/2016 8:50 PM
227	Choate	12/9/2016 8:33 PM
228	Choate	12/9/2016 8:14 PM
229	Middle school	12/9/2016 7:55 PM
230	Choate	12/9/2016 7:52 PM
231	Oakland Park	12/9/2016 7:29 PM
232	Cassidy	12/9/2016 6:54 PM
233	Idylbrook	12/9/2016 6:52 PM
234	High School	12/9/2016 6:38 PM
235	Middle School	12/9/2016 6:37 PM
236	Choate/Cassidy	12/9/2016 6:27 PM
237	Choate park	12/9/2016 6:26 PM

Medway Parks: Goals & Analysis Survey

238	Choatek	12/9/2016 6:19 PM
239	Idylbrook Park	12/9/2016 6:14 PM
240	Choate	12/9/2016 6:12 PM
241	Choate and idylbrook	12/9/2016 6:07 PM
242	Choate	12/9/2016 5:55 PM
243	Middle school	12/9/2016 5:38 PM
244	Choate	12/9/2016 5:29 PM
245	Idyllbrook	12/9/2016 5:17 PM
246	Cassidy and Oakland	12/9/2016 5:15 PM
247	Choate	12/9/2016 5:04 PM
248	Oakland	12/9/2016 5:01 PM
249	Choate	12/9/2016 4:58 PM
250	Choate and oakland	12/9/2016 4:58 PM
251	Choate park	12/9/2016 4:54 PM
252	Choate	12/9/2016 4:35 PM
253	Choate	12/9/2016 4:32 PM
254	High School fields and trails, Choate trails	12/9/2016 4:28 PM
255	Choate	12/9/2016 4:22 PM
256	Choate	12/9/2016 4:14 PM
257	Choate park	12/9/2016 4:11 PM
258	Choate	12/9/2016 3:58 PM
259	Cassidy, Oakland, Middle School	12/9/2016 3:57 PM
260	Choate	12/9/2016 3:56 PM
261	Choate	12/9/2016 3:48 PM
262	Oakland	12/9/2016 3:29 PM
263	Oakland park	12/9/2016 3:22 PM
264	Choate	12/9/2016 3:21 PM
265	Choate	12/9/2016 3:21 PM
266	Choate	12/9/2016 3:17 PM
267	oakland	12/9/2016 3:09 PM
268	Choate Park	12/9/2016 3:06 PM
269	Choate and Oakland	12/9/2016 3:06 PM
270	Choate park	12/9/2016 3:02 PM
271	Medway Middle School	12/9/2016 3:01 PM
272	Choate park	12/9/2016 2:59 PM
273	Choate	12/9/2016 2:59 PM
274	Medway High, Medway Middle school fields	12/9/2016 2:58 PM
275	choate	12/9/2016 2:57 PM
276	Choate	12/9/2016 2:53 PM
277	Oakland and Choate	12/9/2016 2:51 PM
278	High school	12/9/2016 2:47 PM

Medway Parks: Goals & Analysis Survey

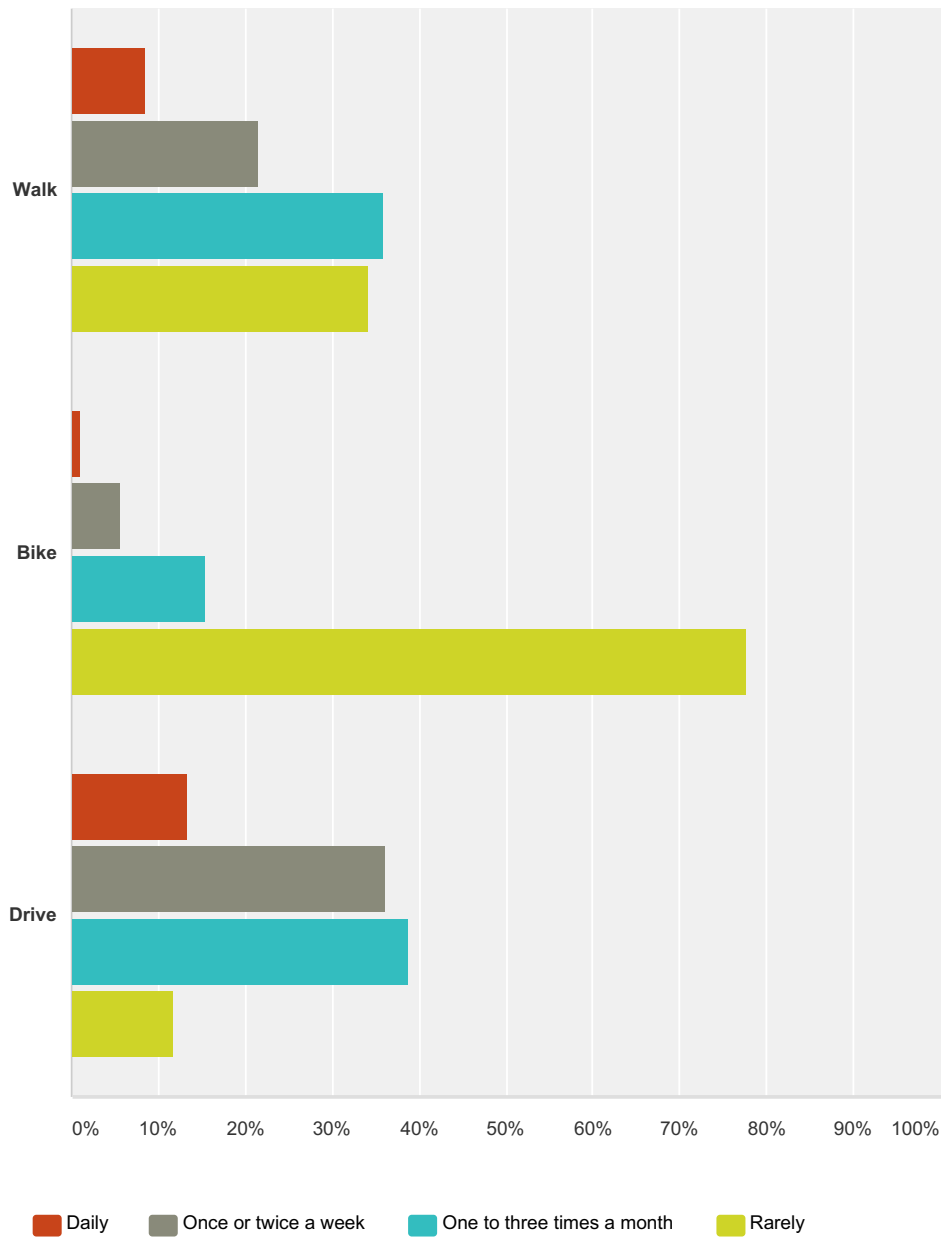
279	Choate	12/9/2016 2:47 PM
280	Choate	12/9/2016 2:37 PM
281	Choate	12/9/2016 2:35 PM
282	Choate	12/9/2016 2:35 PM
283	Choate	12/9/2016 2:34 PM
284	Oakland Street	12/9/2016 2:28 PM
285	middle school, cassidy, idylbrook	12/9/2016 2:28 PM
286	Idylbrook	12/9/2016 2:26 PM
287	Oakland or choate	12/9/2016 2:23 PM
288	Choat	12/9/2016 2:23 PM
289	North St	12/9/2016 2:22 PM
290	Choate	12/9/2016 2:22 PM
291	Choate and Idylbrook	12/9/2016 2:21 PM
292	Choate Park	12/9/2016 2:20 PM
293	Medway Middle	12/9/2016 2:17 PM
294	all (3 kids, lots of sports)	12/9/2016 2:15 PM
295	Choate	12/9/2016 2:13 PM
296	Middle School fields	12/9/2016 2:00 PM
297	choate	12/9/2016 2:00 PM
298	Choate	12/9/2016 1:58 PM
299	Choate	12/9/2016 1:55 PM
300	All	12/9/2016 1:52 PM
301	Choate	12/9/2016 1:47 PM
302	Middle School and Choate	12/9/2016 1:47 PM
303	Choate	12/9/2016 1:47 PM
304	Choate	12/9/2016 1:46 PM
305	Choate park no	12/9/2016 1:45 PM
306	Idlebrook oakland choate	12/9/2016 1:43 PM
307	Choate	12/9/2016 1:42 PM
308	Idylbrook	12/9/2016 1:40 PM
309	Choate	12/9/2016 1:36 PM
310	Choate Park	12/9/2016 1:35 PM
311	Choate Park	12/9/2016 1:35 PM
312	Choate	12/9/2016 1:34 PM
313	Oakland. North st	12/9/2016 1:34 PM
314	Choate	12/9/2016 1:31 PM
315	Choate	12/9/2016 1:31 PM
316	Norfolk	12/9/2016 1:29 PM
317	Choate	12/9/2016 1:29 PM
318	Oakland	12/9/2016 1:26 PM
319	Choate, Cassidy Fields & Middle School	12/9/2016 1:26 PM

Medway Parks: Goals & Analysis Survey

320	Oakland	12/9/2016 1:24 PM
321	Middle School	12/9/2016 1:23 PM
322	Choate Park	12/9/2016 1:22 PM
323	Choate	12/9/2016 1:21 PM
324	Choate	12/9/2016 1:19 PM
325	Choate Park	12/9/2016 1:18 PM
326	Choate and the walking paths to the high school	12/9/2016 1:18 PM
327	Choate Park	12/9/2016 1:15 PM
328	Choate	12/9/2016 1:14 PM
329	Choate	12/9/2016 1:14 PM
330	Middle School	12/9/2016 1:09 PM
331	Choate	12/9/2016 1:06 PM
332	choate	12/9/2016 1:05 PM
333	Choate	12/9/2016 1:05 PM
334	choate	12/9/2016 1:04 PM
335	Choate	12/9/2016 1:02 PM
336	Choate	12/9/2016 1:02 PM
337	Choate Park	12/9/2016 12:59 PM
338	Choate/Cassidy	12/9/2016 12:59 PM
339	Oakland	12/9/2016 12:58 PM
340	Middle school	12/9/2016 12:57 PM
341	Choate	12/9/2016 12:57 PM
342	Choate Park and the Middle School	12/9/2016 12:56 PM
343	Choate, Idyllbrook	12/9/2016 12:52 PM
344	Choate Park	12/9/2016 12:49 PM

Q19 How often do you walk, bike, or drive to parks in Medway (in season)?

Answered: 395 Skipped: 32



	Daily	Once or twice a week	One to three times a month	Rarely	Total
Walk	8.49% 32	21.49% 81	35.81% 135	34.22% 129	377
Bike	1.15% 4	5.73% 20	15.47% 54	77.65% 271	349
Drive	13.35% 51	36.13% 138	38.74% 148	11.78% 45	382

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 30, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

Re: Oakland Park Site Plan

Dear Mr. Rodenhiser:

I have reviewed the site plan submitted by the Town Administrator's Office for the Town of Medway. The proposal is to renovate portions of Oakland Park including replacing the playground, replace and expand the parking lot, add a pavilion, replace concession stand with bathroom/storage building, add and improve existing pathways on site, plant shade trees, and associated lighting, landscaping and drainage. The plan was prepared by a team including CBA Landscape Architects, LLC and Samiotes Consultants, Inc. The plan is dated August 17, 2017.

Zoning

1. The proposed use is municipal. This is allowed by right in all districts.
2. The plan proposes to replace an existing parking lot with 75 spaces with one for 104 cars (including 5 handicapped spaces and not including 31 existing spaces at the Senior Center. There is no specific number of spaces for the proposed use in the Zoning Bylaw. The bylaw says that industry standards should apply. The dimensions of the spaces comply with the bylaw and 2 of the spaces are "small vehicle" spaces (up to 30% is allowed) which reduces impervious surface.
3. Section 7.1.1.I requires a bicycle rack spot for each 20 parking spaces. With 104 spaces, 6 bicycle spots are required and 16 are provided.
4. Section 7.1.2 E.1 states that light trespass onto any abutting street or lot beyond .01 foot-candles is not permitted. A photometric plan was provided and it indicates that the foot-candle level at the property lines is 0.
5. No new signage is proposed.
6. The site is within the Groundwater Protection District. Outdoor recreation is a permitted use in the district. It is unclear if impervious surface is increased to beyond 15% of the total which would trigger a special permit from ZBA. There are also limits on fertilizer and pesticide use, which are likely already observed since the fields are existing.

Site Plan Rules and Regulations

7. Section 204-5 C. (3). The Existing Conditions Sheet also does not include an Existing Landscape Inventory prepared by a Landscape Architect. The inventory is included. A waiver from the requirement to show trees 12" in caliper and to replace trees 10" in caliper at a 1:1 ratio is requested. Thirty-five 3" caliper trees are proposed. Adding more would take away recreation space.
8. Section 204-5 (14) requires horizontal sight distances be shown on the plan. This information was not provided, but the entrance is existing.
9. Section 205-6 (A) states that parking "should" be located to the side and rear of the building. This is not an absolute requirement. The parking lot expansion is being accomplished by expanding the limits of the existing lot.

General Comments

10. I would suggest that a crosswalk be added from the paved path running from the expanded parking lot to the Senior Center sidewalk.
11. While not intended as part of the project to be bid, a new curb cut and entrance to the Senior Center from Oakland Street is proposed. Section 205-3 A (1) suggests that curb cuts be minimized and this curb cut appears to be unnecessary.
12. In general, the narrative statement provides an excellent and detailed explanation of the project and clearly demonstrates that the applicant closely adhered to the Zoning Bylaw and Site Plan Rules and Regulations.

If there are any questions about these comments, please call or e-mail me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



August 31, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Oakland Park Improvements
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 76 Oakland Street in Medway, MA at existing Oakland Park area. Proposed improvements include renovation/reorganization of parking, circulation, playground area and other non-athletic portions of the park as well as construction of a combination bathroom/office/storage structure and a new octagonal wood pavilion. Stormwater infrastructure is proposed to mitigate the increase in impervious area at the site as well as treat for water quality.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Improvements To: Oakland Park, 76 Oakland Street, Medway, Massachusetts", dated August 17, 2017, prepared by CBA Landscape Architects (CBA).
- A stormwater management report (Stormwater Report) titled "Oakland Park – Medway, Oakland Street, Medway, MA, Stormwater Report" dated August 17, 2017, prepared by Samiotes Consultants, Inc. (SCI).
- A project description document titled "Project Description – Improvements to Oakland Park" dated August 17, 2017, prepared by CBA.
- A development impact statement titled "Development Impact Statement – Improvements to Oakland Park" dated August 17, 2017, prepared by CBA.
- A Request for Waivers Form D (multiple forms) dated August 17, 2017, prepared by CBA.
- An Application for Major Site Plan Approval form dated August 17, 2017, prepared by CBA.

The Plans, Stormwater Report and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), MA DEP Stormwater Management Standards (Standards), additional applicable town standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

The following items were found to be inconsistent with current Town of Medway PEDB Site Plan Review Regulations (Chapter 200). Reference to applicable regulation requirement is given in parentheses following each comment.

- 1) The applicant has not supplied a Traffic Impact Statement. A waiver has been requested from this regulation. TT does not oppose this waiver as the site use remains unchanged and no significant traffic increase is expected. (Ch. 200 §204-3.A.7(a))

- 2) The applicant has not supplied an Environmental Impact Assessment. A waiver has been requested from this regulation. TT does not oppose this waiver as the site contains no areas of environmental concern other than being located within the Groundwater Protection District/Zone II and focus of the stormwater design is to improve water quality. (Ch. 200 §204-3.A.7(b))
- 3) Site plan scales are inconsistent throughout the Plans. However, scales at which the Plans are drawn appear to be sufficient to accurately depict the proposed work. (Ch. 200 §204-4.B)
- 4) All sheets shall contain a north arrow, PEDB signature block and recommended bar scale. (Ch. 200 §204-4.F)
- 5) "Board of Selectmen" in the signature block shall be changed to "Planning and Economic Development Board". The signature block shall also be included on each sheet in the Plans. (Ch. 200 §204-5.A)
- 6) The applicant has not included natural and man-made features within 100' of the project site. A Waiver has been requested from this regulation. TT does not oppose this waiver as it appears no features of interest exist within the 100' area. (Ch. 200 §204-5.C.1 and 2)
- 7) The applicant has not provided all trees located on site at a diameter of 12" or greater. A waiver has been requested from this regulation. The applicant has included all trees 18" in diameter or greater on the existing conditions plan and TT does not oppose this request. (Ch. 200 §204-5.C.3, §204-5.D.7 and §205-9)
- 8) Light spill over the property line adjacent to the entrance to the site is shown on the Lighting/Photometric Plan, Sheet L8.0. (Ch. 200 §205-2.O and §205-8.C)
- 9) The applicant is proposing an additional curb cut into the site from Oakland Street. The proposed curb cut appears to be designed for direct access to the senior center from Oakland Street, egress is not proposed for this curb cut and existing egress from the site will be maintained. TT does not oppose the additional proposed curb cut, however, Regulations require written approval from Police and Fire Departments. (Ch. 200 §205-3.A.2)
- 10) One way signage is recommended in addition to pavement arrows at the proposed entrance to ensure one-way access to the site is maintained. (Ch. 200 §205-3.A.3)
- 11) The Regulations require vertical granite curb or similar bound the parking areas. However, the proposed drainage design relies on sheet flow/LID design to bmp's which would not be possible if curb was installed. We recommend a waiver be requested. (Ch. 200 §205-3.B.6 and §205-6.H)
- 12) The applicant has not included vertical granite curbing (VGC) at the entrance radii to the site. A waiver has been requested from this regulation. TT does not oppose this waiver as Oakland Street does not currently contain curb and sidewalk. However, the applicant should coordinate with Medway Department of Public Services (Medway DPS) to determine if sidewalk and curbing is proposed along Oakland Street as part of a future project. We recommend a waiver be requested. (Ch. 200 §205-3.C.1)
- 13) The applicant has not proposed pedestrian ways off-site along property frontage to connect to on-site pedestrian ways. The applicant should confirm/coordinate with Medway DPS to determine if sidewalk is proposed along Oakland Street as part of a future project. (Ch. 200 §205-3.D.4)
- 14) The applicant has proposed standard 9' x 18' parking stalls which does not comply with the Regulations. TT does not oppose 9' width for proposed spaces but we recommend 20' length stalls

along areas bounded by sidewalk to limit bumper overhang over the sidewalk area. We recommend a waiver be requested. (Ch. 200 §205-6.G.3(a))

- 15) Wheel stops are required in parking stalls abutting sidewalks. However, see comment 14 above as we recommend extending the depth of the parking stalls and eliminating wheel stops as they tend to cause issues during winter months during snow plowing operations. We recommend a waiver be requested. (Ch. 200 §205-3.G.3(b))
- 16) The applicant has not proposed replacing trees removed (>10' in diameter) at a 1:1 ratio. A waiver has been requested from this regulation. TT does not oppose this waiver request. (Ch. 200 §205-9.F)

The following items were found to not be in conformance with MA DEP Storm Water Management Standards and/or Town stormwater standards.

MA DEP Stormwater Management Standards

- 17) The Stormwater Report states a reduction in impervious area in the post-developed condition, Section 3.2. However, the HydroCAD analysis shows an increase of 6,300 sf of impervious area (CN=98). The applicant should confirm pre- vs. post-development discharge rates and/or revise report. (Standard 2)
- 18) Capture area adjustment required for recharge calculation if all additional proposed impervious area is not directed to the infiltration basin. (Standard 3)
- 19) We recommend the applicant provide TSS removal spreadsheets. Rain gardens require proper pre-treatment to achieve 90% TSS removal credit and to maintain proper function and effectiveness throughout lifespan of the bmp. (Standard 4)

Town Stormwater Regulations (Ch. 200 §205-4)

- 20) Test pit information shall be submitted to confirm infiltration bmp exfiltration rates. (Ch. 200 §205-4.B)
- 21) Pipe/cb grate sizing calculations shall be provided for the 25-year storm event. (Ch. 200 §205-4.E.1)

General Stormwater Comments

- 22) HydroCAD analysis does not include existing or proposed ponds, please provide for review. Test pit information should also be submitted to confirm exfiltration rates at the existing/proposed infiltration bmp's.
- 23) We recommend the applicant provide clarification on existing 12" RCP pipe connecting the low area on the western portion of the site adjacent to Oakland Street (Basin 1) with the existing internal detention basin (Basin 2) located south of the proposed rain garden. It appears the existing pipe will be buried during grading with no proposal for outlet treatment. Furthermore, we recommend modeling both Basins in the analysis due to proposed decrease in volume of existing Basin 2 in addition to understanding how off-site flows (from horse stable area) impact basin performance.
- 24) We recommend the applicant provide a detail of the proposed rain garden.

The following is a list of general items that TT recommends the applicant take into consideration prior to the next submission:

- 25) Proposed parking area in southwest corner has proposed slope of 5%. This will make downslope vehicle doors swing open and upslope doors difficult to close, consider adjusting proposed slopes to <3%.
- 26) Driveway entrance at southwestern portion of the site is proposed at approximately 5% and in a cut section. This area may be prone to erosion, we recommend proposing curb along each side of the driveway to prevent
- 27) We recommend the applicant show existing water utilities on the Plans.
- 28) We recommend proposing mountable curb and reinforced concrete sidewalk at proposed gate entrance to the playground area.
- 29) On future submittals we recommend the applicant show existing conditions information as gray on all sheets and proposed as black, the plans are difficult to read.
- 30) Proposed rain gardens should not be used as snow storage areas due to high sediment loading associated with snow removal. We suggest placing signage in the rain garden to prevent snow storage in this area.
- 31) We recommend the applicant provide detail on which type of water quality units will be proposed on the site. Water quality units should be third-party tested to confirm TSS removal rates.
- 32) We recommend the applicant provide detail for pavement arrows and concrete sidewalk.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-17010 (OAKLAND PARK IMPROVEMENTS)\DOCS\OAKLANDPARK-PEDBREV(2017-08-31).DOCX

Susan Affleck-Childs

From: Nancy Eaton <neaton0226@verizon.net>
Sent: Monday, September 04, 2017 7:55 PM
To: Planning Board
Subject: Oakland Park Improvements

Dear Sirs,

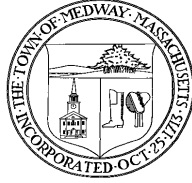
Our family lives at 6 Oakview Circle and we are within 300' of the Oakland Park Improvements site. We are excited to hear about the investments being put into the Oakland Park facilities. Our children (ages 11 and 9) have grown up playing at the playground, on the soccer fields and going to Camp Sunshine. They still enjoy playing at the fields regularly.

As you requested, here are a couple of our concerns about the new plans.

1. The biggest issue we have with the park now is the loud noise from the basketball court during the summer months. The court is mostly used by high school or college aged young men nightly throughout the summer. Currently the lights on the court shut off around 9:30 pm and this usually ends the games in progress. Some nights it may go later. It is important to us that the lights continue to be shut off by 9:30 pm and that this is monitored. We have had issues with loud music and noise late into the night.
2. The other issue we have is regarding sidewalks. Currently, the sidewalk begins at the Main Street end of Oakview Circle and ends before Oakland Park. It doesn't go all the way to the Senior Center and is in need of repair. Parts of the sidewalks will become large puddles after rain, forcing pedestrians to walk on Oakland Street. With the investment being made to this park it seems like the surrounding neighborhoods should have safe access to it.

Thank you for allowing us to voice our concerns about this project.

Laurence and Nancy Eaton
neaton0226@verizon.net



September 5, 2017
Medway Planning & Economic Development Board
Meeting

Country Cottage Children's Center Site Plan
Plan Review Estimates

- Tetra Tech estimate dated 8-30-2017
- PGC Associates estimate dated 8-29-17



August 30, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: Country Cottage Children's Center
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway (the Client) for professional engineering services associated with the Country Cottage Children's Center Site Plan Review in Medway, Massachusetts (the Project). The objective of our services is to review the site plan package and provide review comments as they relate to applicable Town of Medway Rules and Regulations, Department of Environmental Protection Stormwater Management Standards, and sound engineering practice. We have excluded from our scope, the review of the application package as it relates to the Town of Medway Zoning By-Laws which will be conducted by a separate consultant.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 Site Visit

- A. Perform one (1) site visits to review the site and its surroundings;
- Budget Assumption: 1 Visit
2 hours @ \$140/hr = \$280
Total = \$280

Task 2 Design Review

- A. Review the Application for Major Site Plan Approval, and supporting documentation, and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
1 hour @ \$140/hr = \$140
Total = \$380
- B. Review the proposed Site Plans and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
3 hours @ \$140/hr = \$420
Total = \$660

- C. Review the Stormwater Report for compliance with the latest Massachusetts Department of Environmental Protection Stormwater Management Standards, applicable town stormwater standards and good engineering practice and incorporate comments into review letter in item D below;
- Budget Assumption: 2 hour @ \$240/hr = \$480
4 hours @ \$140/hr = \$560
 Total = \$1,040
- D. Prepare a letter summarizing findings for presentation to the Town of Medway Planning and Economic Development Board;
- Budget Assumption: 1 hour @ \$240/hr = \$480
4 hours @ \$140/hr = \$560
 Total = \$800
- E. Coordinate with applicant to address items in review letter and issue an updated letter upon receipt of modifications:
- Budget Assumption: 1 hour @ \$240/hr = \$240
2 hours @ \$140/hr = \$280
 Total = \$520

Task 3 Meeting Attendance

- A. Participate in two (2) hearings/meetings with the Town of Medway Planning and Economic Development Board.
- Budget Assumption: 2 Meetings @ 3 hours per meeting = 6 Hours
6 hours @ \$240/hr = \$1,440
 Total = \$1,440

Cost

Our cost for the above Scope of Services will be on a time and expenses basis in accordance with Tetra Tech's and existing Town of Medway contract rates. Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visit	\$280
Task 2	Design Review	\$3,400
Task 3	Meeting Attendance	\$1,440
	Labor Subtotal	\$5,120
	Expenses (5%)	\$256
Total Fee		\$5,376

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and will put forth our best effort, consistent with accepted professional practice, to comply with the project's needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented.

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

Date Approved by Medway Planning and Economic Development Board_____

Certified by:

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator

Date

M:\SITE\BOULEY\MEDWAY_PEDB_COUNTRY COTTAGE SITE PLAN REVIEW_2017-08-30.DOCX

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 30, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

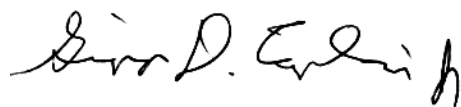
Dear Mr. Rodenhiser:

PGC Associates is pleased to present the following cost estimate to review and comment on the proposed site plan submitted by Robin and David Beaudreau of Uxbridge. The proposal is to construct a 5,080 square foot child care center on a vacant lot of 33,898 square feet including associated parking, drainage, landscaping, etc. The plan was prepared by Engineering Design Consultants of Southborough. The plan is dated August 24, 2017.

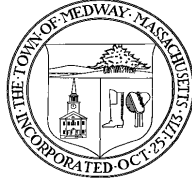
<u>Task</u>	<u>Hours</u>
Technical review and comment on initial submittal for compliance with zoning and site plan regulations	2.5
Attendance at Planning Board meetings/hearings	1.5
Review and comment on revised plans	1.0
Review and comment on draft Certificate of Action	2.0
Total	7.0
Cost Estimate (@\$95)	\$665.00

If there are any questions about this estimate, please call me.

Sincerely,



Gino D. Carlucci, Jr.



September 5, 2017
Medway Planning & Economic Development Board
Meeting

Construction Reports

- BETA inspection (8-22-17) – Exelon project

Inspection reports on Wingate Farm and Williamsburg are forthcoming. Also, Steve Bouley was in Medway in Friday for the paving of Marc Road associated with the ComCan project.

