

September 5, 2017
Medway Planning and Economic Development Board
Medway Middle School, 45 Holliston Street
Medway, MA 02053

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|-------------------|------------------------|-------------------|----------------|-------------------|----------------------|
| Members | Andy Rodenhiser | Bob Tucker | Tom Gay | Matt Hayes | Rich Di Iulio |
| Attendance | X | X | X | X | X |

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development
Sean Reardon, Tetra Tech Engineering

The Chairman opened the meeting at 7:00 pm.

There were no Citizen Comments.

CHOATE PARK SITE PLAN – Public Hearing

The Chairman opened the public hearing for site improvements to Choate Park. He read a prepared document about the ground rules of the hearing.

On a motion made by Bob Tucker and seconded by Tom Gay, the Board voted unanimously to dispense with the formal reading of the public hearing notice.

The following documents were provided to the Board: (See Attached)

- Public Hearing Notice
- Project Description
- Site Plan Application
- Site Plan
- Requests for Waivers
- Development Impact Report
- Cost Estimates
- Public Survey Results
- PGC Review Comments dated 8-29-17
- Tetra Tech Review Comments dated 8-31-17

Town Administrator Michael Boynton provided opening comments and explained that this project is exciting and the process began about a year ago. This has been the work of volunteers who came together and brought forth a remarkable concept for improvements to Choate and Oakland Parks. The EPFRAC did an amazing job. This project will benefit all residents in the community. The project will seek funding at the November 11, 2017 town meeting.

DJ Chagon of CBA Landscape Architects, began the presentation by explaining the design schedule. There have been a series of meetings going back to early 2016. The Community

Preservation Committee, Board of Selectmen, and EPFRAC had a joint meeting in February 2016 to discuss the proposed initial phase.

The goal is to have the first phase of construction on the park renovations completed during the spring of 2018. Any future phases of work will be prioritized as funding permits.

The goals and objectives were reviewed and included the following:

- Rehabilitate the parks and athletic fields to have signature parks for town.
- Improve accessibility including ADA compliance
- Improve the native vegetation
- Restore the site's predominant characteristics.

Choate and Cassidy Fields were discussed. This is Medway's most prominent park. The goal is also to create accessible routes around the pond and between Choate Park and Cassidy Field that compliment the setting. The beach area has been redesigned to create a safe experience at the water's edge but will not include swimming. The illustrative plan was shown which proposes to realign the parking. There will be lighting in the key areas. Repairs to the existing bridge will be done and there will be a proposed boardwalk. This is under the review the Conservation Commission. The location of the overlook platform was mentioned. All pathways up to the bridge will be accessible.

The next plan showed was the overview plan. The existing parking lot was noted and the amount of asphalt will be slightly reduced for the site as a whole. There will be compact and handicap parking. There will be bicycle racks. There will be a wood frame gazebo with natural cedar color. The applicant is also proposing a cupola on top of the gazebo/pavilion. It was reported that the Design Review Committee is in support of this. The playground will be of natural colors such as greens and browns and the intent is to have it appear relatively transparent. The playground area will have structures for ages 2-5, and 5-12. There will be a playhouse for toddlers with ornamental fencing. The applicant is aware that they need to meet the town bylaw in relation to lighting. There will be some shielding of lights near the residential properties for no spill over. The applicant may seek a waiver. The light fixtures were shown. These will have a black finish instead of the light gray at Thayer.

Site Amenities:

Some of the site amenities included benches (back and backless). The tables will be round and a color has not been chosen yet. The picnic tables will be ADA compliant. The trash receptacles, bike racks and water fountain and feature was shown. The DRC will provide more information after their review.

Waivers:

The following Requests for Waivers of Site Plan Regulations have been requested:

- 204-3 A.7a - Request for Traffic Impact Assessment.
- 204-5 C.1.2 – Request for waiver of survey 100' past property line
- 204-5 C.3, 204-5 D.7, and 205-9F – Request for inventory of trees 18" plus DBH in lieu of 10"/12".

Stormwater:

The stormwater system was explained by Andrew Truman of Samiotes Engineering. The existing building septic system will be removed and replaced with a new sanitary sewer connection. The site has two dry wells. One will act as an overflow for the infiltration system. The second will be located near the splash pad and will capture that run off. The project does not have any new point source discharges. The existing point source discharge from the existing parking lot will be utilized as the discharge after the stormwater treatment.

The existing parking area will be entirely removed and replaced with a new parking lot shifted away from the pond edge. This will allow the bucolic character of the pond to be the dominant character of the shoreline.

The project will improve the pathway around Choate Pond and a branch connection up to Cassidy Fields to provide a firm, stable, slip resistant surface of stabilized decomposed granite to satisfy accessibility requirements.

Selectmen Rick D'Innocenzo was present and indicated that there was a productive meeting with the Design Review Committee in July. The EFRAC Committee has worked hard to get information on what the community wants for these areas.

The Board would like a letter from Fire/EMS about being able to get up to the fields.

The water splash pad was discussed. It will be non-recirculating. It will be a push button Activated system. This will drain to the dry well. The cost of a re-circulating system is \$100,000.00 which is just not possible. The community survey indicated that having a splash pad is an item of interest, but not all are in favor. The water will be metered and the town will be billed.

Town Officials/Committee Members:

It was explained that there were several meeting prior to this with input from a variety of Town boards/committees and residents. There was discussion about the bollard and chain in the parking area. This was suggested to block off the area for camp. A question was raised about who will be responsible for the control of the chain (opening and closing). Consultant Reardon responded that regular police barricades work well and he indicated that chains and bollards are really dangerous.

The landscape plan was reviewed.

Representatives from the Community Education Department were present. They service 600 Children at Choate for the summer camps they hold. They indicated that they barricade their area with cones and that works well. They are concerned about the bathroom facilities and want to make sure they can meet the increased numbers expected as a result of the improvements. Another area of their concern is trash. The trash cans are always overflowing on Monday mornings from the weekend. They also want to make sure there will be space for their equipment along with access to a power source. They use the shed for equipment and a storage use is important.

The Board is waiting for comments from the Conservation Commission. Dave Travalini was present and he wants to see the a nature of the plantings and how the drainage is going to work in conjunction with the Rt. 109 project.

Public Hearing Continuation:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted unanimously to continue the public hearing for Choate Park to Tuesday, September 26, 2017 at 7:00 pm

OAKLAND PARK SITE PLAN - Public Hearing

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to waive the reading of the public hearing notice for Oakland Park.

The following documents were provided to the Board: (See Attached)

- Public Hearing Notice
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DJ Chagnon of CBA Landscape Architects described the Oakland Park site plan project. The Oakland project proposes to renovate and reorganize the parking, circulation, playground areas and the other non-athletic portions of the area. The existing small storage building (concession stand) will be removed to be replaced with a prefabricated wood bathroom and office/storage structure. There will be a wood pavilion. The playground will be redesigned with new equipment in separate zones being ages 2-5 and 5-12. There will be an ornamental fence and a seating area. The existing parking area will be reconfigured for safety and expanded to increase the total parking available to both Oakland Park and the Senior Center. There will be new lighting throughout the park. All existing park signage and memorial features will be either protected in place or relocated to appropriate locations shown on the plan. The drainage for the parking lot will be directed through a surface rain garden. A separate one-way entrance drive serving the Senior Center is proposed. The snow removal is to be limited to the parking areas and the sidewalk connecting the parking areas to the senior center. The removal by the rain garden will be by hand shoveling. Trash and recycling will be collected in receptacles and maintained by DPS and stored in the existing dumpster at the Senior Center. There will be replacement of a main asphalt parking area with 40 spaces; a gravel drive and a secondary area for parking with 20 spaces; and a far asphalt driveway and parking area with 13 spaces. There will be more formalized parking layout with 2014 spaces. This will be paved with bituminous concrete. The sidewalk extension is not part of the plan but could be part of a later phase.

The Board reviewed the photometric plan which was provided as part of the submittal. It does appear that there is some light spill onto Oakland street. This will need to be revised. The light fixtures will be the same as at Choate.

The entrance sign of the senior center may need to be relocated and moved to new entrance.

There will not need to be a scenic road permit. There are no trees and stonewall in area. There is an email confirming this.

There was a question if the infrastructure for recharging stations. The cost should of this should Be determined. This would satisfy the green community component.

Consultant Reardon indicated that the new entry needs to be signed as “no exit” for site distance issues. This will be one-way circulation. The parking lot and slope will need to be addressed.

The parking is convenient to the site entry, compact, and locates so that it does not impact the park visitor’s experience once they have arrived at the park. The parking will be screened from Oakland Street and abutting properties by the existing vegetated edges, and partially screened for the Senior Center by the existing wooded area between the two parcels. The landscaping has been designed to be for drought tolerant, non-invasive plants. There will not need to be a scenic road permit. There are no trees or stonewalls in the area. There is an email confirming this.

Public Comments:

Resident, 70 Oakland Street:

This resident had a question about Sheet C1- 1.1. There is a concern about the giant drain pipe that comes from the Senior Center. This corner is near her property. She is concerned about flooding. She is also concerned about the light spillage with the additional lights.

Susy Affleck-Childs entered into the record a letter from Laurence and Nancy Eaton of 6 Oakview Circle. (See **Attached**) Their concern is the noise from the basketball court. Will the lights shut off at 9:30 pm? Also who will be monitoring this area? Another concern is the sidewalk which is in need of repair.

Public Hearing Continuation:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to continue the hearing for Oakland Park to Tuesday, September 26, 2017 at 7:45 pm.

COUNTRY COTTAGE SITE PLAN REVIEW FEE ESTIMATE

35 Summer Street:

On a motion made by Tom Gay, and seconded by Rich Di Iulio, the Board voted unanimously to approve the plan review fee estimates from Tetra Tech and PGC Associates in the amount of \$6,041. (See Attached)

CONSTRUCTION REPORTS

Exelon:

- There was an inspection conducted at Exelon. (See **Attached report from BETA Group**) This is being done with the Conservation Agent.

Marc Rd:

- There will be inspection reports provided at the next meeting on September 12, 2017.

PEDB MEETING MINUTES

August 8, 2017:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the minutes of the August 8, 2017 PEDB meeting.

August 22, 2017:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the minutes of the August 22, 2017 PEDB meeting.

OTHER BUSINESS:

179 Main Street:

The Historical Commission met and instituted the 9 month demolition delay for 179 Main Street.

Stephanie Mercandetti, Director of Community and Economic Director, will be working with the Historical Commission on changes to the demolition delay bylaw for historical properties.

Plan Endorsement - O'Brien Site Plan:

The Board was informed that there was no appeal of the O'Brien site plan decision.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board endorsed the site plan for O'Brien, 18 Trotter Drive.

REPORTS

Sign Bylaw:

There will be a meeting with member Gay, Susy Affleck-Childs and Stephanie Mercandetti to discuss the sign bylaw.

143 Village Street:

Susy informed the Board that there will be an application submitted for a multi-family special permit. The tentative date for a public hearing is September 26, 2017.

Pine Ridge:

The Chairman indicated that he has been in touch with Paul Yorkis and they are making progress at Pine Ridge. The paving has not occurred yet.

Williamsburg:

Mr. Yorkis will be at the September 12, 2017 meeting to speak on getting the project completed. Inspection reports will be provided.

ADJOURN:

On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 9:37 pm.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Amy Sutherland".

Amy Sutherland
Recording Secretary
Prepared from video recording

Reviewed and edited by,

A handwritten signature in black ink, appearing to read "Susan E. Affleck-Childs".

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



September 5, 2017

**Medway Planning & Economic Development Board
Meeting**

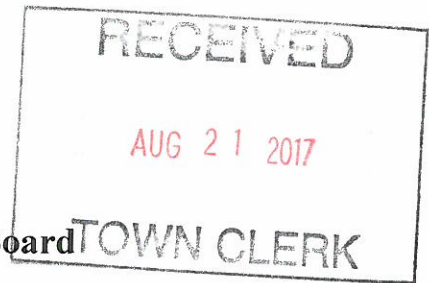
Choate Park Site Plan Public Hearing

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Note – The Board of Selectmen will be attending the hearing.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053



Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

August 17, 2017

Town of Medway – Choate Park Improvements Site Plan
NOTICE OF PUBLIC HEARING
Tuesday, September 5, 2017

In accordance with the Medway Zoning Bylaw, Section 3.5 Site Plan Review, and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will conduct a Public Hearing on Tuesday, September 5, 2017 at 7:00 p.m. in the Presentation Room at the Medway Middle School, 45 Holliston Street, Medway, MA to consider the application of the Town of Medway for approval of a major site plan for various improvements at Choate Park and Cassidy Field.***

The subject site's property addresses are 0 Oak Street and 11R Winthrop Street. Combined, the area is 21.79 acres in size and is located north of Main Street/Route 109. It is bounded by other Town owned property on the west, 25 Winthrop Street to the north, and by 158 and 160 Main Street and 3, 5, 7, 9, 11, 13, 15 & 19 Winthrop Street on the east. The properties, shown on the Medway Assessors Map as Parcels #39-074 and #39-078, are owned by the Town of Medway. The parcel includes Choate Pond, Cassidy Field, and a portion of Chicken Brook.

The site plan shows the construction/installation of varied and age-appropriate playground spaces including a natural/adventure play area, an asphalt "tricycle track" path, a wood pavilion, a water spray feature, trail improvements and extensions including a boardwalk and overlook platform at Choate Pond, 68 parking spaces, landscaping, site lighting, seating/benches and gathering areas, stormwater drainage facilities, removal the existing septic system, removal of the existing tennis courts, connection to municipal sewer system, repairs of the stonework at the park entrance, and construction of a public safety and maintenance vehicular route between Cassidy Field and Choate Park. The plan is titled *Site Plan Submission: Improvements to Choate Park and Cassidy Field*, is dated August 17, 2017, and was prepared by CBA Landscape Architects, LLC of Cambridge, MA and Samiotes Consultants, Inc. of Framingham, MA.

The application, proposed site plan, stormwater report and other supporting documents were filed with the Town on August 17, 2017 and are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed Monday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans and application documents will be available for viewing at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the plans, attend the public hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. All comments will be entered into the record during the public hearing. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

To be published in the *Milford Daily News*:

Tuesday, August 22, 2017

Monday, August 28, 2017

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Board of Parks Commissioners, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.

Project Description – Improvements to Choate Park

Project Background

Building on the Town of Medway's *Parks, Recreation, and Athletic Fields Master Plan* prepared by Gale Associates for the Town in 2013 and its addendum in 2016 (henceforth the Gale Assoc. Study), the Town's Evaluation of Parks, Fields, and Recreational Areas Committee (henceforth EPFRAC) requested design and project management qualifications from landscape architectural firms for work at Choate Park, Cassidy Fields, Oakland Park, and the Medway Middle School. CBA Landscape Architects LLC and our subconsultant team were selected from the competitive firms.

The scope of work in the Request for Proposals was to provide a public input and feedback process, develop and evaluate Master Plan Alternatives with EPFRAC and the public, settle on a consensus Schematic Master Plan for each of the sites, and pursue Community Preservation Committee (CPC) and Board of Selectmen (BoS) approval for the desired alternatives. Subsequent to that approval, CBA's contract was then extended to cover Construction Documents and Permitting. Assuming a successful bid process and Town Meeting approval of the project, the Town anticipates extending CBA's contract again to include Construction Administration services for those parks which are to be constructed.

CBA led an extensive public and Committee meeting process that began with an initial public forum (held at Sanford Hall on 12/7/16) followed by an online survey to confirm, update, and refine the community consensus on Goals and Objectives laid out in the Gale Assoc. Study and the approval by CPC and BoS of design funding. PDFs of the survey questions and the response tallies are included in the Site Plan Application as supplemental information.

The survey received 427 responses from the public and, together with the initial public meeting, provided a general consensus that EPFRAC and CBA used to refine initial Schematic Design Alternatives that were presented to the public at a subsequent public meeting held at Thayer House on January 5th, 2017. Based on feedback at that meeting and further discussion with EPFRAC, Preliminary Preferred Master Plans for each of the three target sites were presented to the public at a final public meeting, again held at Thayer House on January 26th. At that third meeting, there was a public discussion of priorities for Phase One construction at each site. Based on the input and feedback, and with the collaboration of EPFRAC, CBA prepared a final Recommended Master Plan, Recommended Phase One Plan, and accompanying cost estimates for each site. These recommendations were presented at a joint hearing of the BoS and the CPC. All public meetings (including the joint hearing) were quite well attended and sparked lively discussions of the alternatives being considered.

The consensus plan developed by CBA through the public process for Choate Park and Cassidy Fields, endorsed by EPFRAC, and approved by the BoS and CPC at the joint hearing to proceed with detailed design, is represented in this application for Site Plan Review.

Overview of Work and Project Timetable

The proposed project concentrates primarily on the “core area” of Choate Park. The existing building's septic system will be removed and replaced with a new sanitary sewer connection. A new wood pavilion will be constructed for public use. The playground will be thoroughly redesigned and reconfigured, with new equipment in separate zones for ages 5-12, 2-5, and 6m-23m; an ornamental fence; seating and gathering areas; rubber safety surfacing under the equipment; an asphalt “tricycle track” path; a water spray feature for seasonal use; and tree plantings for shade. The existing parking area will be entirely removed and replaced with a new parking lot shifted away from the pond edge, to allow the bucolic character of the pond to be the dominant character of the shoreline. All existing park signage and memorial features will be either protected in place or relocated to appropriate locations as shown on the plans. New lighting is provided throughout the core area as shown on the Drawings.

In addition to the park core work, the project will improve the pathway around Choate Pond and a branch connection up to Cassidy Fields to provide a firm, stable, slip-resistant surface of stabilized decomposed granite to satisfy accessibility requirements. The renovated pathway will be suitable for maintenance and public safety vehicle access, and will be at an ADA-accessible slope with the exception of the steeply sloped portion to the north of the site between the bridge and Cassidy Field, where regrading for accessibility would create too large a disturbance area. Occasional seating is provided along this pathway. A new stairway up to Cassidy Fields is proposed at the location of an existing worn footpath that is causing erosion issues. Repairs are proposed to the existing stonework at the park's entrance from Main Street and at the bridge across Chicken Brook on the north edge of the pond, with the work to match the existing stonework in good condition. All new walls proposed will be fieldstone to match the other walls on site. Lighting along the accessible route up to Cassidy Fields is provided.

Lastly, the project includes three Alternates which may be implemented if budget allows; if not, the Town proposes to pursue them at a later date. The first is the removal of the existing basketball, tennis practice, and sand volleyball courts to the west of the Pond to create a more-passive natural area in keeping with the park's bucolic character and the goal of concentrating active uses in the park's core. This would feature a pathway to better access the existing nature trail to the High School; a picnic area; and a natural / adventure-play area using natural materials and engineered wood fiber safety surface to provide a second type of play area to the Park. The second Alternate would create a new boardwalk (from near the bridge) and wooden stair (from Cassidy Fields above) to a new overlook platform located near the existing “fire pit” on the north shore of the Pond. The third Alternate would improve the vehicular route down from Cassidy Fields that connects the parking lots at Cassidy and Choate, open for public safety and maintenance use only.

The Town has requested to receive bids from contractors and select an apparent qualified low bidder by the end of October 2017, to facilitate funding approval at November Town Meeting. To that end, CBA will prepare a complete bid package by Monday, October 2, 2017. Should any further alteration of the plans result due to discussions with the PEDB, DRC, or ConComm after the bid set is issued, they will be handled by Addendum during the bid period or, if

necessary, by change order after a contract is executed. The Applicant's goal is to have the Site Plan Review process substantially completed before bidding so that any late-process required changes are minimal. The expected bid period is three (3) calendar weeks, finishing the week of October 23rd. Assuming that funding is approved at Town Meeting, a contract will be executed with the selected contractor.

The expectation is that site work will start in earnest as early as weather permits in the Spring of 2018. Sitework is expected to continue through Summer 2018 and be complete in the fall except for planting warranty and replacements which may extend into spring 2019.

Site Use Narrative

(Uses, intended users, expected occupants, methods and hours)

The site is designed for recreational use by Town residents and out-of-town visitors of all ages, as well as special Town-wide events such as Medway Day, the Pumpkin Walk, and similar festivals. The pavilion may also be permitted individually for special events as appropriate to a municipally-owned facility. There is currently one summer day camp program which uses the park during the summer months.

The Town's standard hours of park operation are 7 AM to 10PM for lighted parks, or 7AM to dusk for unlighted parks, except in the case of special events such as Medway Days or other Town-wide feature events. The Town is considering limiting the use of the non-vehicular-area lights to special events and/or having an earlier shutoff time for Choate Park than 10PM (and therefore having an earlier "closing" time) but for the purposes of Site Plan Review would request the Planning Board to consider the full potential hours of operation as 7AM to 10PM.

The water spray feature has an operating volume of 49 GPM when running. The system is activated by a button with an automatic shutoff after a time period that can be set by the Owner, typically of 60 to 90 seconds. The spray feature will also be managed by an overall timer system limiting the hours of use; the Town's current proposal is 9AM to 7PM from late June through early September. Based on recorded measurements at a busy spray area of similar scale in central Somerville, MA for the summer 2016 season, and confirmed by an independent approximation by Town staff, the spray feature is expected to be active 25% to 30% of the total operating hours on average.

Operations and maintenance of the park will be conducted primarily by the Town's Department of Public Services.

Snow removal is expected to be limited to the parking areas and major sidewalks connecting the parking areas to Thayer House where winter use is anticipated, achieved through the use of snowplows on the parking areas to the indicated snow removal areas, and sidewalk plows on the major walkways needed for connections.

Trash and recycling will be consolidated from the receptacles by DPS staff as needed and stored in the existing dumpsters at Thayer House and/or at Cassidy Fields, from which the trash is collected by WasteManagement under contract with the Town.

The Department of Public Services has reviewed the plans to confirm that the proposed pathway widths intended for maintenance vehicle use are suitable for their needs, and allow them to access the required areas of the site.

Operations and maintenance issues specific to the stormwater management system are included separately as part of the Stormwater Narrative.

Parking Bylaw Conformance

The proposed project replaces an existing parking lot containing 47 spaces with a new parking lot configuration containing 68 spaces. The other parking areas on the greater Choate Park site (at Thayer House and at Cassidy Fields) remain unchanged under Phase 1's proposed construction. The intent is to be in compliance with the Zoning Bylaw 7.1.1, and to fulfill the goals of 7.1.1.A, Purposes, to the extent applicable to the site.

The Zoning Bylaw Section 7.1.1.D Table 3 does not include a comparable function to a municipal park. Based on the Town's observations to date, the existing parking quantities at the site are more than adequate for peak demand except during special events such as Medway Days, the Pumpkin Walk, or large baseball tournaments or events at Cassidy Fields. At such times, while part of Cassidy Fields is used for temporary overflow parking, there is often insufficient total parking on the site. To that end, the project's goal is to increase the parking available in the areas being renovated to the greatest extent feasible under the constraints set by the site's physical characteristics and regulatory limits, rather than to achieve a specific parking number.

All parking spaces are designed in compliance with the Dimensional Standards in 7.1.1.E.3 as documented on the Site Plans included in the application. Of the 68 parking spaces proposed in the new lot, 4 are ADAAG-compliant "Van" spaces (8'x18' with an 8' minimum aisle) with the required signage and striping, and 11 (16%) are Small Vehicle Spaces.

All parking areas are paved with bituminous concrete. Stormwater management is documented in the Stormwater Narrative included in the Application. Vehicles are not required to back into a public way. No loading areas are proposed or required. The parking lot is curbed with vertical granite curbing (6" except at accessible curbcuts) around all edges.

Pedestrian and bicycle circulation is routed around the parking lot from the adjacent public ways; pedestrian traffic within the parking lot itself is not separated, but the traffic volumes expected are low. Bicycle Parking is provided near the core area of the site, with six (6) two-point "U" racks for twelve (12) bicycles (1:5 rather than the required 1:20).

Parking spaces are not within 15' of the front, side, or rear property lines, and no vehicle backing out of a space will impede traffic within 50' of the connection point to Oak Street at the new Route 109 entry drive.



Lighting Bylaw Conformance

The proposed project replaces the existing site lighting around the core of Choate Park with new LED post lighting using the post type, mounting height, and light fixture previously used at the adjacent Thayer House project (with the exception that the Choate lights will have a black powdercoat finish rather than silvery-gray, and that 3000K color temperature LEDs will be selected to address the Town's request for a warmer lighting temperature).

The Zoning Bylaw for Lighting, 7.1.2.D, requests a lighting plan with the listed information as part of the application. Those lighting plans and associated cut sheets and other information are included in the Site Plan drawing set as Sheets L8.0 and L8.1.

7.1.2.E presents the Standards for Control of Glare and Light Trespass. The proposed plan meets all these Standards. Shielding has been included in order to prevent light levels of greater than 0.01 foot candles at the property lines abutting residential properties, as shown on the Photometric plan. The individual site lighting luminaires are rated at 1805 Lumens; 7.1.2.E.2 is therefore not applicable to these fixtures, though a top side shade has been included to greatly reduce upward glare as well. The lighting under the pavilion canopy is rated at 3600 lumens, but is not visible above a horizontal plane located at the bottom of the roof edge and thus in compliance with E.2. The average illuminance on the ground is 0.11 fc, satisfying 3.b and 4. The Town proposes to limit the hours of lighting for those areas not needed for safety and security to the park's hours of operation, which are from 7AM to 10PM except during special events that require extended hours.

No Special Permit is requested under 7.1.2.F.

The Site Lighting is also in compliance with the Design Review Guidelines – lighting is generally downward-directed; minimizes glare and spillage; is integrated with the palette of the adjoining Thayer House and in keeping with the site's character; takes into account multiple users and approaches; and highlights the featured pavilion with a different character of lighting than the remainder of the site lighting.

Design Review Guidelines Conformance

The proposed project has been designed with the intent of compliance with the applicable portions of the Design Review Guidelines, specifically those elements in the Residential Zone section applicable to projects that are not multi-family residential developments. Specifically, the project aims to complement the Town's New England village character as outlined.

The Site Composition is designed to cluster the active uses and major structures in an organized park center, leaving a compact footprint for the main development and letting the natural features and passive recreation take the forefront for the remainder of the site to enhance the bucolic character. Attention has been paid to framing views and spaces and to integrating the site's natural character into the design and to minimizing the impact of the parking by pulling it farther from the shore and orienting the design away from the parking toward the water.

The Guidelines' standards for Building Orientation primarily apply to large-scale residential development and are difficult to apply to a municipal park design. However, attention has been given to the relationship between the new pavilion, the existing bathroom building, the pond, and the bridge.

Site access has been clarified and streamlined, with a more easily understood route into the parking area from Oak Street and a separated pedestrian pathway in from Main Street marked by a proposed pair of gateposts. Pedestrian connections from these areas and from other access points to the site clearly lead toward the visual beacon of the two structures in the core area of the park.

The park provides a complete path network for foot traffic promoting pedestrian circulation within the site. The entrance driveway to the parking lot features a raised pedestrian crosswalk for traffic calming to create a lower-speed environment in the parking lot itself. Bicycle parking is provided in the core area to encourage bike use in accessing the Park, and the layout of the vehicular parking areas has been designed for efficiency.

Parking is convenient to the site entry, compact, and located so that it does not impact the park visitor's experience of the waterfront from the core area of the site. The parking is screened from Route 109 by new plantings, from Thayer House by the existing vegetated area along Chicken Brook, and from the adjacent residential property by dense growth at the property line. The parking area contains a landscaped island down the center to reduce the visual impact of the parking area.

The entirety of the park project is a creation of Town-wide shared open space with connections to the Town's other open space resources in the form of the Thayer House property, Cassidy Fields, the natural setting along Chicken Brook, and the nature trail leading to the High School through the adjacent woodland.

The site landscaping has been designed to be drought-tolerant, non-invasive, and primarily New England native; planting areas of ecological importance are strictly native, but some appropriate and traditionally-used non-native plants have been included in areas such as planting beds to help visually mitigate the existing building's blank concrete walls. Significant mature trees have been protected wherever feasible, and new similar trees have been planted throughout the core area. Landscaping is appropriate to the general character of a New England Town Center park, in type, scale, character, and massing.

The site amenities have been selected to complement the traditional "town park" character with an emphasis on durable materials, coordinated design, appropriate location, and integration into the overall site design.

Site lighting is described above in conjunction with the section on the Lighting Zoning Bylaw.

The proposed new architectural pavilion has been selected in coordination with input from some members of the Design Review Committee to highlight natural wood materials, have an

appropriate scale to the intended function, and include architectural detailing reminiscent of a New England barn (including cupola and shingle roof). The building has been designed to reinforce the pedestrian scale.

No new signage is proposed at this time.

Mitigation Measures

To mitigate the visual impacts of locating parking closer to Main Street than currently exists, the project proposes screening plantings of a mix of evergreen trees, larger shrubs, and other plant material (as shown on the plans) to visually filter the parking lot. Except at times of large events, users of the parking can be expected to predominantly park in the areas closest to the core activities, comparably to the existing parking. The proposed screen plantings will buffer and soften these visual impacts without thoroughly blocking views of the interior.

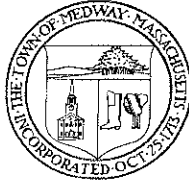
Areas of conservation impact will be mitigated through appropriate measures as directed by the Conservation Commission. Specifically, any fill in the flood storage areas will be compensated by equal or greater new volume created, and new shoreline-appropriate plantings will be installed where the proposed project removes an existing manmade sand beach and seeks to rebuild a more natural shoreline.

No significant change in use is proposed, so no noise, odor, or traffic mitigation is proposed.

Project Cost Estimate

The attached cost estimate, prepared by CBA Landscape Architects LLC with the advice and input of our subconsultants, reflects our expectation of the likely costs of the project as currently designed and submitted to the Planning and Economic Development Board. The prior drafts of this estimate provided the basis for the funding request by EPFRAC to the Board of Selectmen and Community Preservation Committee, which has set the total budget for all three park renovations collectively, subject to a successful bidder and approval at Town Meeting in November 2017.





Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw and The Board's Rules and Regulations for the Submission and Review of Site Plans. The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board. A copy of those review letters will be provided to you in advance of the meeting. You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request. Your absence at hearings may result in a delay in the Board's review of the site plan.

August 17, 2017

APPLICANT INFORMATION

Applicant's Name: Town of Medway, Town Administrator's Office
Mailing Address: 155 Village Street
Medway, MA 02053
Name of Primary Contact: Michael Boynton, Town Administrator
Telephone: Office: 508-533-3264
Cell:
Email address: mboynton@townofmedway.org

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: Improvements to Choate Park and Cassidy Fields
Plan Title: Choate Park, Site Improvements Plan
Plan Date: August 17, 2017
Prepared by:
Name: Denis J. Chagnon, ASLA CPSI
Firm: CBA Landscape Architects LLC
Phone #: 617-945-9760 x 2
Email: dj@cbaland.com

PROPERTY INFORMATION

Location Address: 0 Oak Street (Choate) and 11R Winthrop Street (Cassidy)

The land shown on the plan is shown on Medway Assessor's Map # 39 as Parcel # 074 & 078

Total Acreage of Land Area: 21.79 Ac.

General Description of Property: The parcels are centered around a pond created by a dam on Chicken Brook. The areas to the south and west of the pond have been developed for recreational uses; the northern and eastern edges provide walking paths around the pond that connect up to the baseball field complex and parking above known as Cassidy Fields.

Medway Zoning District Classification: Agricultural / Residential II

Current Use of Property: The land is currently used as a Town Park, including playground, pond, walking trails, picnic area, tennis courts, basketball court, sand volleyball court, benches, parking, athletic fields, woodlands, and several buildings (bathrooms / concessions).

Length of Existing Frontage: 420' On what street? Oak Street
 South side of Existing Street: 51' Winthrop Street

Setbacks for Existing Structure (if applicable)

| | | | |
|--------|-----------------|--------------------------------|-----------------------------------|
| | Choate Restroom | Choate Storage (to be removed) | Cassidy Fields bldgs. not listed; |
| Front: | <u>226'</u> | 96' | Information can be provided on |
| Back: | <u>892'</u> | 984' | request. (No work is proposed |
| Side: | <u>273'</u> | 173' | to buildings at Cassidy Fields.) |
| Side: | <u>109'</u> | 224' | |

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

_____ Yes X No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

 Yes - Rabbit Hill

 Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? X Yes No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? Yes X No

Flood Plain

Is any portion of the property within a Designated Flood Plain? X Yes No

Zoning Board of Appeals

Will this project require a variance or special permit?

 Yes X No

Explanation: Recreational uses are permitted uses within A/R II zoning; all proposed structures comply with the Zoning regulations.

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: Improvements to Choate Park and Cassidy Fields

A Major Site Plan is any commercial, industrial, institutional, multi-family, or municipal project which involves:

- a. New construction; or
- b. Alteration, reconstruction, or renovation work that will result in a change in the outside appearance of an existing building or premises, visible from a public or private street or way; or
- c. A change of use of a building or buildings or premises:

AND which includes one or more the following: (Please check all that apply.)

- ☐ New Construction - 2,500 or more sq. ft. of "gross floor area"
- ☐ New Construction - Construction of a new building or addition requiring 15 or more parking spaces
- ☐ Change in Use requiring the construction of 15 or more parking spaces
- ☒ Change in Parking Area - The construction, expansion, redesign or alteration of an existing parking area involving the addition of 15 or more new parking spaces
- ☐ Other - Any use or structure, or expansion thereof, exempt under MGL, c. 40A, s.3, but only if one or more of the above criteria is met.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: _____ to _____ dated _____ and recorded in Norfolk County Registry of Deeds, Book _____ Page _____ or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Samiotes Consultants, Inc.

Mailing Address: 20 A Street

Framingham, MA 01701

Primary Contact: Andrew Truman, PE

Telephone: _____
Office: 508-877-6688 x 11 Cell: _____

Email address: atruman@samiotes.com

Registered P.E. License #: #45505

SURVEYOR: CivilView, Inc. (Property boundary by Otte & Dwyer, Inc.)
Mailing Address: 30 River Street
Methuen, MA 01844
Primary Contact: Andrew Street, PE (Property Survey by David Dwyer, Otte & Dwyer)
Telephone:
Office: 978-416-0203 Cell: 857-205-8975
Email Address: astreet@civilviewinc.com

Registered P.L.S. License #: A. Street: PE # 48510 / D. Dwyer: PLS #46707

ARCHITECT: None (Pavilion is a preengineered structure by manufacturer)
Mailing Address: _____

Primary Contact: _____
Telephone:
Office: _____
Cell: _____
Email address: _____
Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: CBA Landscape Architects LLC
Mailing Address: 24 Thorndike Street, 4th Floor
Cambridge, MA 02141
Primary Contact: Denis J. Chagnon, ASLA CPSI
Telephone:
Office: 617-945-9760 x 2
Cell: 617-935-3296
Email address: dj@cbaland.com
Registered Landscape Architect License #: MA # 1512

ATTORNEY: K-P Law, P.C.
Mailing Address: 101 Arch Street
Boston, MA 02110
Primary Contact: Barbara J. Saint-Andre
Telephone:
Office: 617-556-0007 Cell: not available
Email address: bsaintandre@k-plaw.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: Denis J. Chagnon, ASLA CPSI, CBA Landscape Architects LLC
Address: 24 Thorndike Street, 4th Floor
Cambridge, MA 02141
Telephone: Office: 617-945-9760 x 2 Cell: 617-935-3296
Email address: dj@cband.com

SIGNATURES

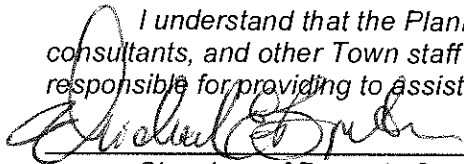
The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize Denis J. Chagnon to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.



Signature of Property Owner

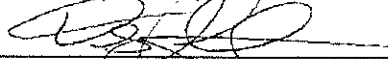
August 17, 2017

Date

8/17/17

Date

Signature of Applicant (if other than Property Owner)



Signature of Agent/Official Representative

August 17, 2017

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. gross floor area = \$ 750 plus \$.25/sq. ft.
For projects of 5,000 - 9,999 sq. ft. gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 - 14,999 sq. ft. gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. gross floor area = \$1,000 deposit
For projects of 5,000 - 9,999 sq. ft. gross floor area = \$1,500 deposit
For projects of 10,000 - 14,999 sq. ft. gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN APPLICATION CHECKLIST

- X Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)

- 2 Ten (10) full size copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations*

- X One (1) ledger size (11" x 17") copy of the Site Plan

- X Electronic Version of the Site Plan and all associated application documents. Provide disk or flash drive or email.

- X Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E

- X One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include narrative on how the proposed project meets the requirements of the Medway Zoning Bylaw for parking (V. H) and exterior lighting (V. B. 6)

- X One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*

- X Request for Waivers from the *Medway Site Plan Rules and Regulations* - Form Q.

- X Two (2) copies of the *Stormwater Drainage Calculations/Report* prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations*

- n/a Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.

- n/a One (1) copy of all relevant approvals received to date from other Town boards/committees/departments

- X Proof of present or pending ownership of all land within the proposed development.

- n/a Major Site Plan Filing Fee – Payable to Town of Medway

- n/a Advance of Plan Review Fee – Payable to Town of Medway

Improvements to: Choate Park

Oak St. and Winthrop Street
Medway, Massachusetts
Assesor's Map/Lot: 39-074, 39-078,
Zoning District: Agricultural Residential II

LIST OF REQUESTED WAIVERS

(See Form Q Sheets in Site Plan Review Application Packet)

204-3 A.7.a - Request for limited Traffic Impact Assessment
204-5 C.1 and .2 - Request for waiver of survey 100' past property line
204-5 C.3, 204-5 D.7, and 205-9 F - Request for inventory of trees 18"+ DBH in lieu of 10"+ / 12"+

DRAWING LIST

| | |
|-------|--|
| L1.0 | Site Context Plan |
| L2.0 | Illustrative Site Plan |
| L3.0 | Existing Conditions Plan: Sheet 1 |
| L3.1 | Existing Conditions Plan: Sheet 2 |
| L3.3 | Existing Landscape Inventory & Removals: Sheet 1 |
| L3.4 | Existing Landscape Inventory & Removals: Sheet 2 |
| L4.0 | Materials Plan: Overview |
| L4.1 | Materials Plan: Sheet 1 |
| L4.2 | Materials Plan: Sheet 2 |
| L5.0 | Grading, Drainage & Erosion Plan: Sheet 1 |
| L5.1 | Grading, Drainage & Erosion Plan: Sheet 2 |
| L6.0 | Landscape Plan: Sheet 1 |
| L6.1 | Landscape Plan: Sheet 2 |
| L7.0 | Architectural Plan: New Pavilion |
| L8.0 | Lighting/Photometrics Plan: Sheet 1 |
| L8.1 | Lighting/Photometrics Plan: Sheet 2 |
| L9.0 | Details |
| L9.1 | Details |
| L9.2 | Details |
| L9.3 | Details |
| L9.4 | Details |
| L9.5 | Details |
| L9.6 | Details |
| L9.7 | Details |
| L10.0 | Play Equipment |
| C1.1 | Drainage and Utilities Plan |
| C1.2 | Drainage and Utilities Plan |
| C2.1 | Storm Water and Utilities Details |

Owner / Applicant:

Town of Medway
155 Village Street
Medway, MA 02053

Project Team:

CBA | Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture | urban design | master planning

samiotes

Samiotes Consultants Inc.
Civil Engineers + Land Surveyors

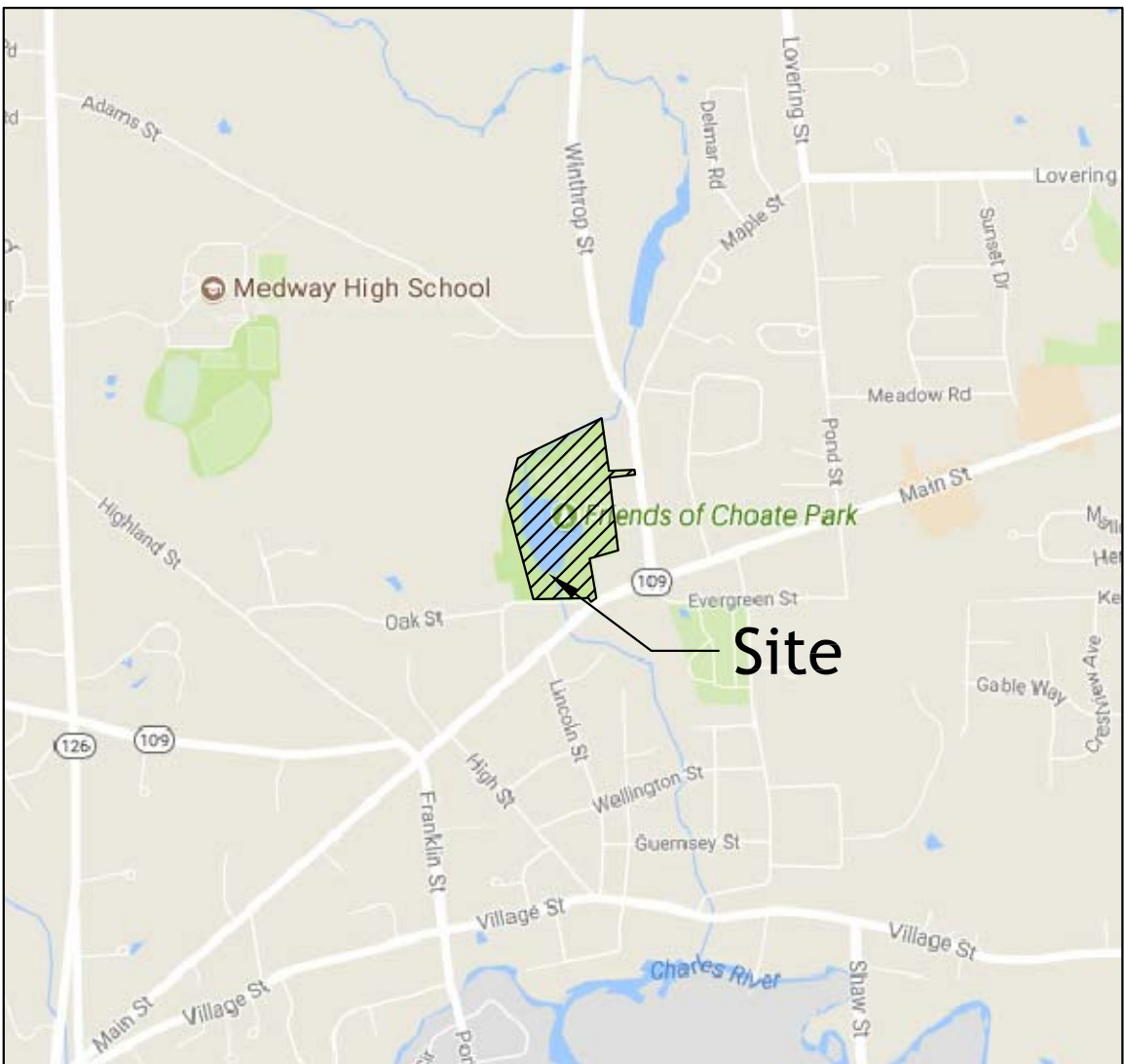
20 A Street
Framingham, MA 01701

T 508.877.6688
F 508.877.8349
www.samiotes.com



30 River Street
Methuen, MA 01844

T 978.416.0203
W www.CivilVIEWInc.com



Site Context Plan

Not to Scale

Site Plan Submission - Aug. 17, 2017

Prepared by CBA Landscape Architects LLC

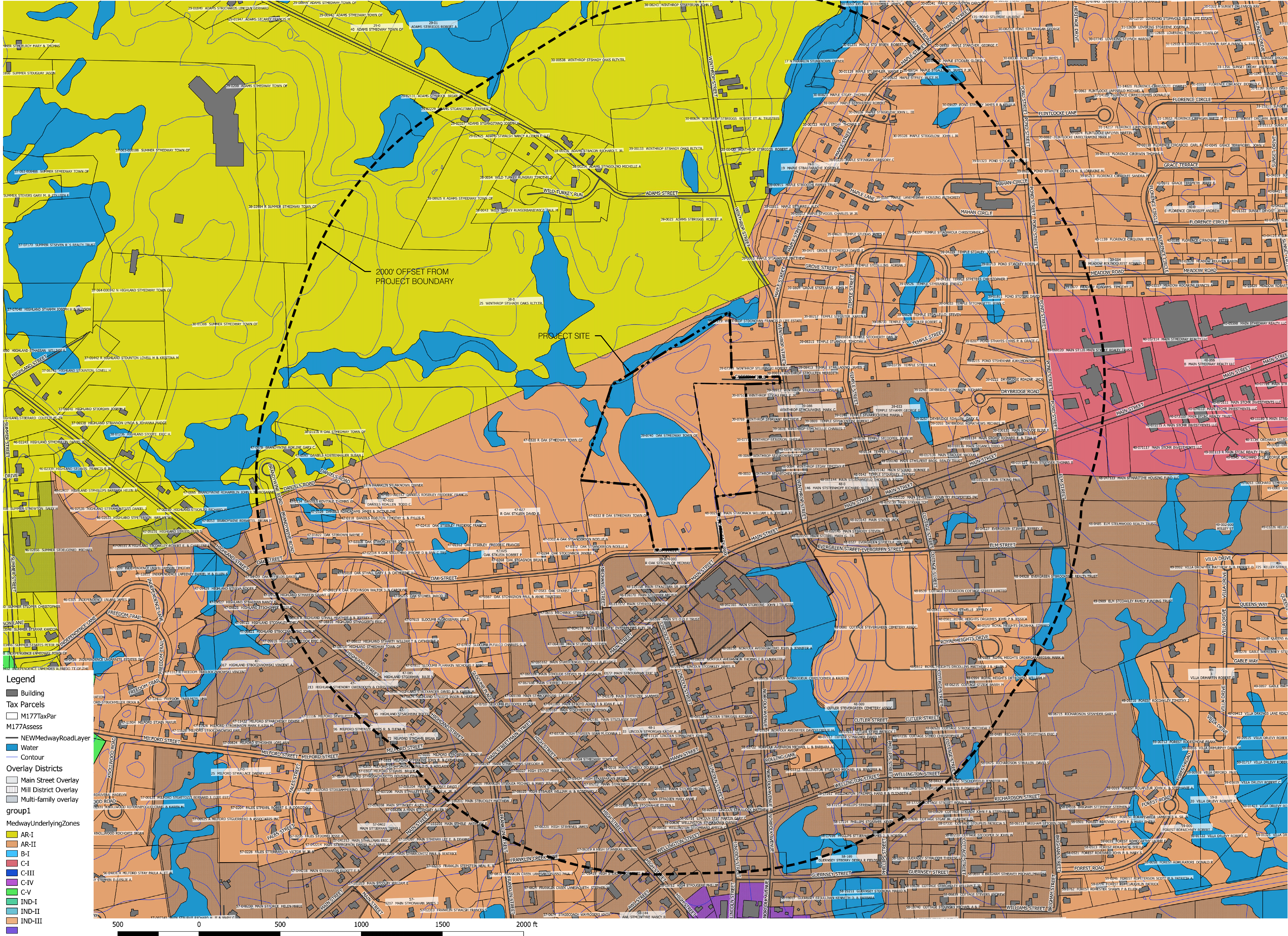
Revisions: None to Date



APPROVED BY MEDWAY BOARD OF SELECTMEN

APPROVED BY:

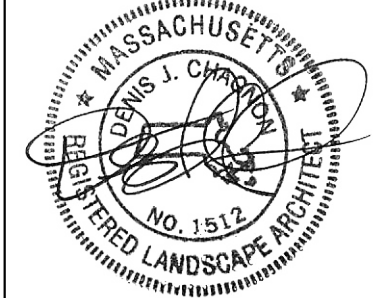
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Improvements to Choate Park

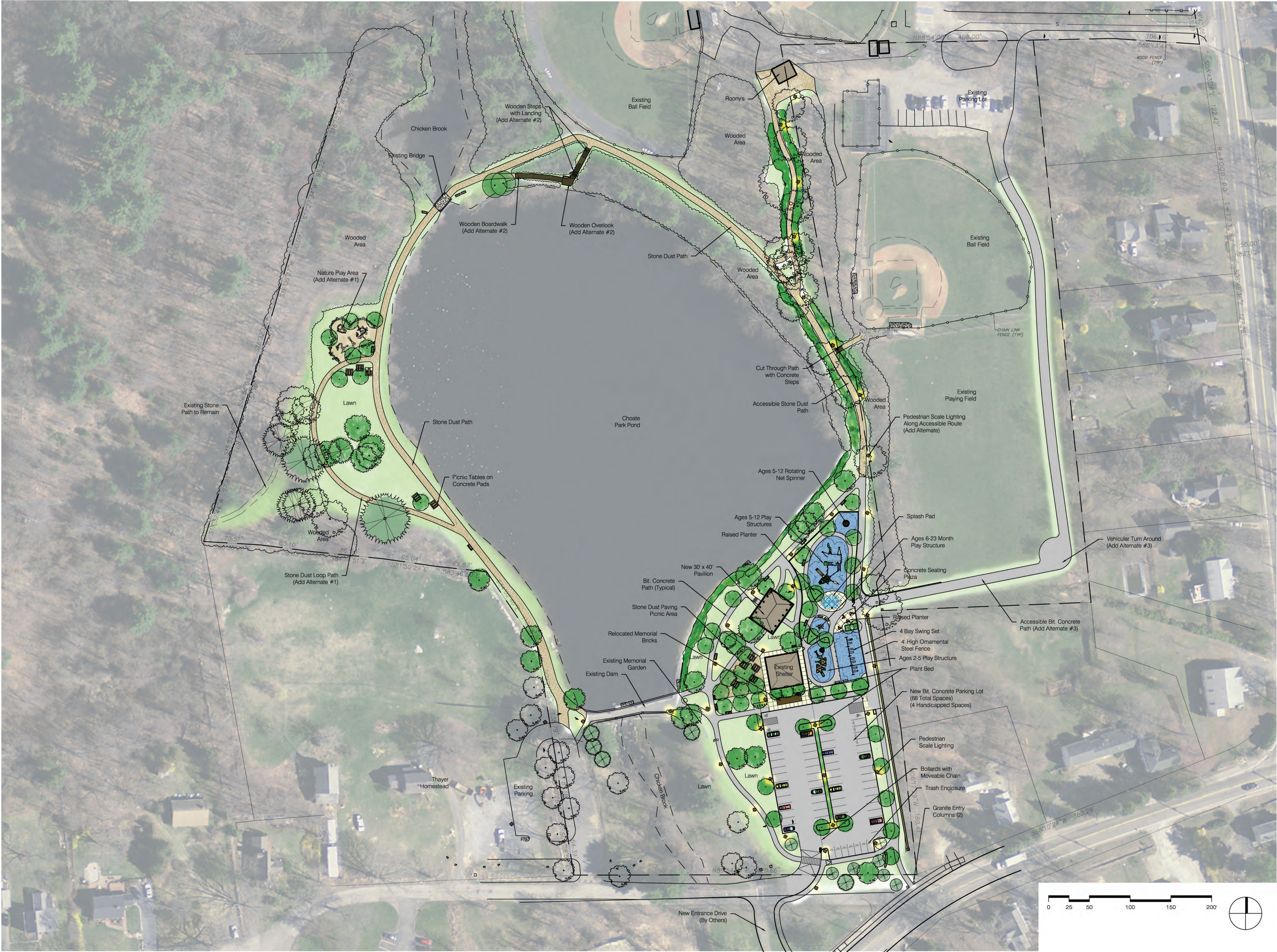
Site Plan Submission
Site Context Plan

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|----------|--------------------|
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| DWN BY: | AJK |
| OKD BY: | DJC |
| PROJ. #: | 1612a |



L1.0

FOR PERMIT ONLY

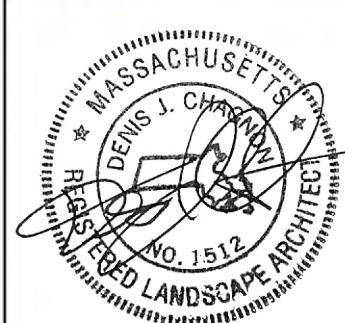


Improvements to Choate Park

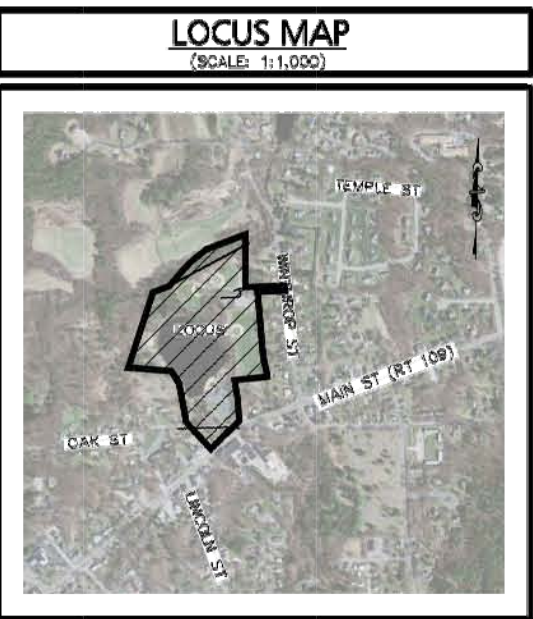
Site Plan Submittal
Illustrative Plan

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbal.com
landscape architecture
urban design
master planning

DATE: 08/17/2017
SCALE: 1" = 50' - 0"
FILE: CHO-Illustrative.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a

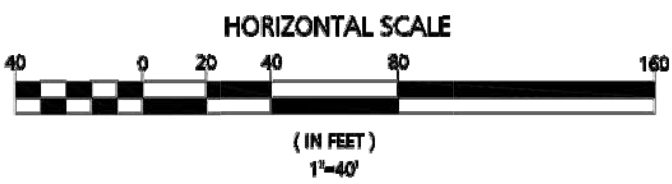


L2.0



| LEGEND | |
|------------------------|-----|
| PROPERTY LINE | |
| ADJUTING PROPERTY LINE | |
| EDGE OF PAVEMENT | |
| CURB | |
| EDGE OF GRAVEL | |
| CONTOUR | 100 |
| OVER HEAD WIRES | |
| UNDERGROUND DRAINAGE | |
| UNDERGROUND SEWER | |
| CHAIN LINK FENCE | |
| WOOD FENCE | |
| STEEL FENCE | |
| EDGE OF WATER | |
| TREE LINE | |
| RETAINING WALL | |
| STONE WALL | |
| DRAIN MANHOLE | |
| CATCH BASIN | |
| FLARED END STRUCTURE | |
| SEWER MANHOLE | |
| UTILITY POLE | |
| SITE LIGHTING | |
| IRRIGATION CONTROL BOX | |
| BOLLARD | |
| DECIDUOUS TREE | |
| CONIFEROUS TREE | |
| CONCRETE | |
| BRICK | |
| SAND | |
| BUILDING | |
| FEMA ZONE AE | |
| FEMA ZONE AE FLOODWAY | |
| FEMA ZONE X | |

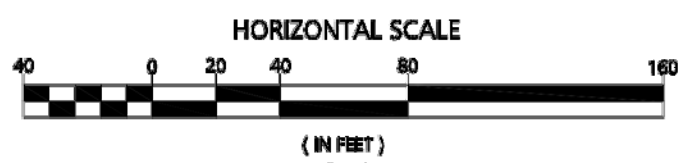
- NOTES:
- EXISTING CONDITIONS INFORMATION GENERATED FROM AN AERIAL SURVEY PERFORMED BY CIVILVIEW, INC. IN DECEMBER OF 2016.
 - PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83), MAINLAND ZONE FOR GPS OBSERVATIONS.
 - ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAVD83) PER GPS OBSERVATIONS.
 - SUBJECT POND IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP REVISIONS DATED JULY 17, 2012.
 - PROPERTY LINES ARE SHOWN BASED UPON A PLAN PREPARED BY CITE & DRIVE, INC. TITLED "PLAN OF LAND, CHOATE PARK, MAIN, DAK & WINTHROP STREETS, MEDWAY, MA 02053" DATED JANUARY 23, 2017.



| | |
|---|---------------|
| DATE | DESCRIPTION |
| REVISIONS | |
| CLIENT: | |
| CBA LANDSCAPE ARCHITECTS, LLC 24 THORNDIKE STREET CAMBRIDGE, MA 02141 | |
| PROJECT: | |
| CHOATE PARK MEDWAY, MA 02053 | |
| DATE ISSUED: | JULY 13, 2017 |
| PROJECT #: | 16-09001 |
| PREPARED BY: | AKG |
| | |
| PROFESSIONAL ENGINEER FOR CIVILVIEW, INC. | |
| | |
| 30 River Street Medway, MA 02054 Tel: 978.419-6329 www.CIVILVIEW.com | |
| DRAWING TITLE: | |
| EXISTING CONDITIONS PLAN | |
| DRAWING #: | |
| EC-1 | |

Improvements to Choate Park

Site Plan Submission
Existing Conditions Plan: Sheet 1



NOTES:

1. EXISTING CONDITIONS INFORMATION GENERATED FROM AN AERIAL SURVEY PERFORMED BY CIVIL/INC. INC. IN DECEMBER OF 2016.
2. PLANE BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83), MAINLAND ZONE PER GPS OBSERVATIONS.
3. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM (NAD83) PER GPS OBSERVATIONS.
4. SUBJECT PARCEL IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP 25021-0143C DATED JULY 17, 2012.
5. PROPERTY LINES ARE SHOWN BASED UPON A PLAN PREPARED BY A SURVEYOR, TITLED "PLAN OF LAND, CHATEAU PARK, MAIN, OAK & WINTHROP STREETS, MEDWAY, MA 02053" DATED JANUARY 23, 2017.

| | |
|--|---------------|
| DATE REVISIONS | DESCRIPTION |
| CLIENT: | |
| CBA LANDSCAPE ARCHITECTS, LLC 24 THORNHILL STREET CAMBRIDGE, MA 02141 | |
| PROJECT: | |
| CHOATE PARK MEDWAY, MA 02053 | |
| | |
| DATE ISSUED: | JULY 12, 2017 |
| PROJECT #: | 16-09001 |
| PREPARED BY: | AKG |

7/12/17

PROFESSIONAL ENGINEER FOR CIVILVIEW, INC.



DRAWING TITLE:
EXISTING
CONDITIONS PLAN

EC-2

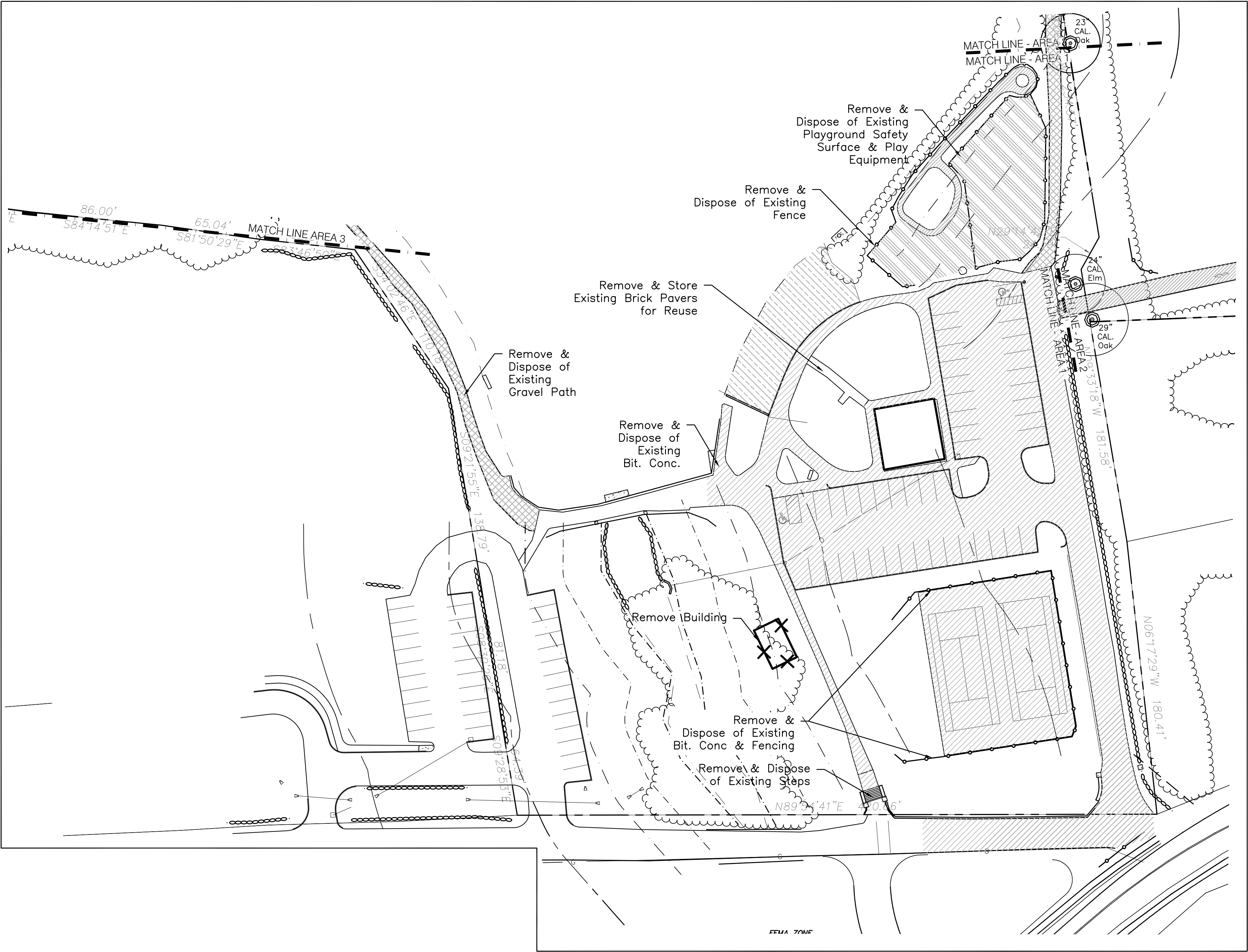
Improvements to Choate Park

Site Plan Submission

Existing Condition Plans: Sheet 2

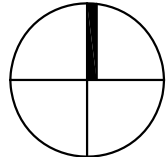
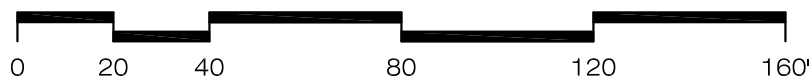
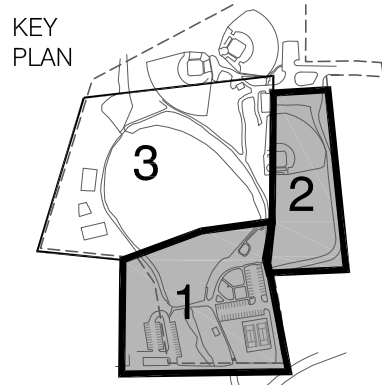
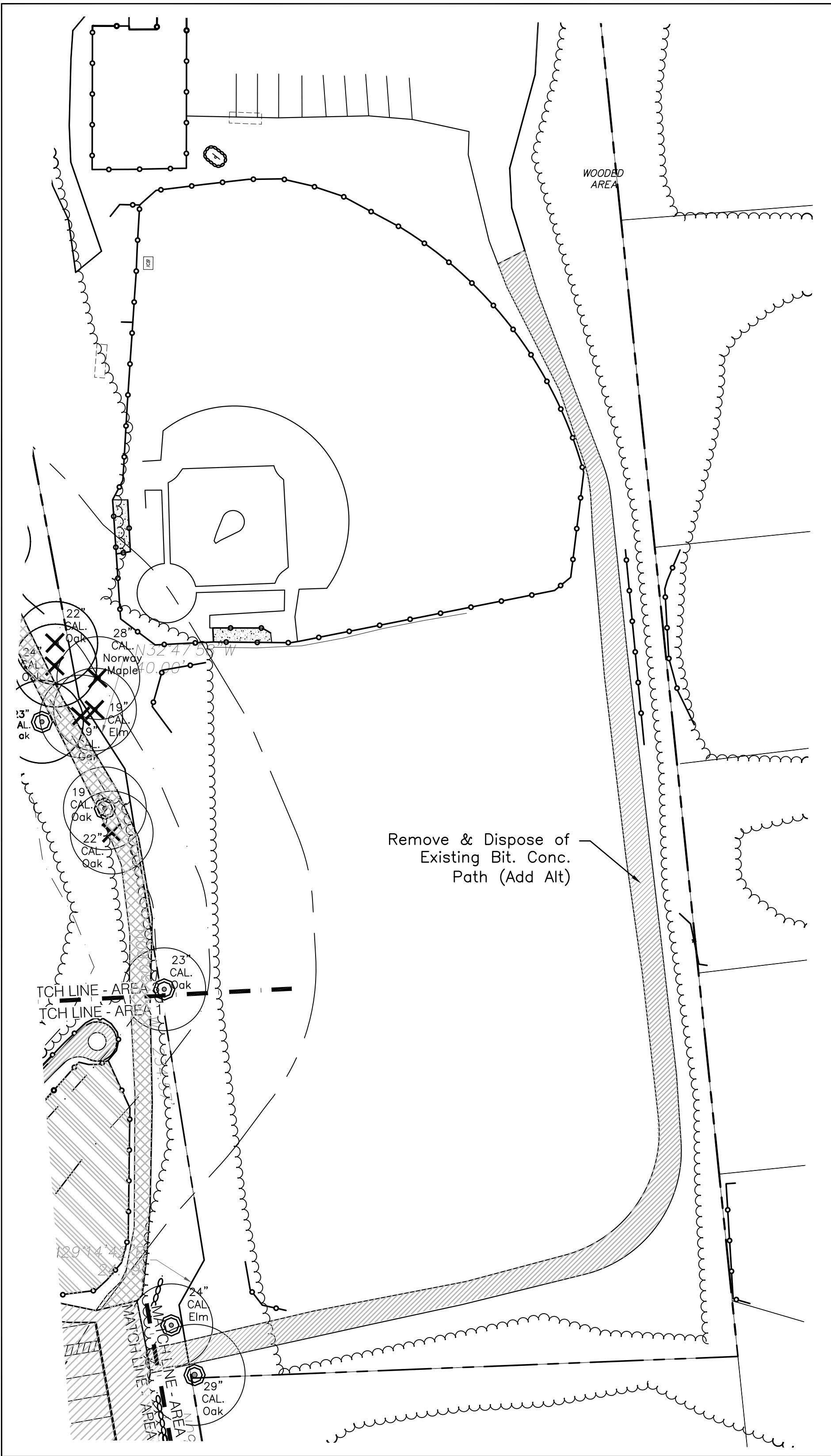
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| DWN BY: | CIVIL VIEW |
| CKD BY: | DJC |
| PROJ. # : | 1612a |

L3.1



Legend:

- Property Line
- Edge of Water
- Forested Area
- Wetland Setback
- Stone Wall
- Tree to be Removed
- Tree to be Kept
- Bit. Conc. to be Removed
- Play Equipment & Safety Surface to be Removed
- Gravel Paths to be Removed
- Sand to be Removed



Improvements to Choate Park

Site Plan Submission
Existing Landscape Inventory & Removals: Sheet 1

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

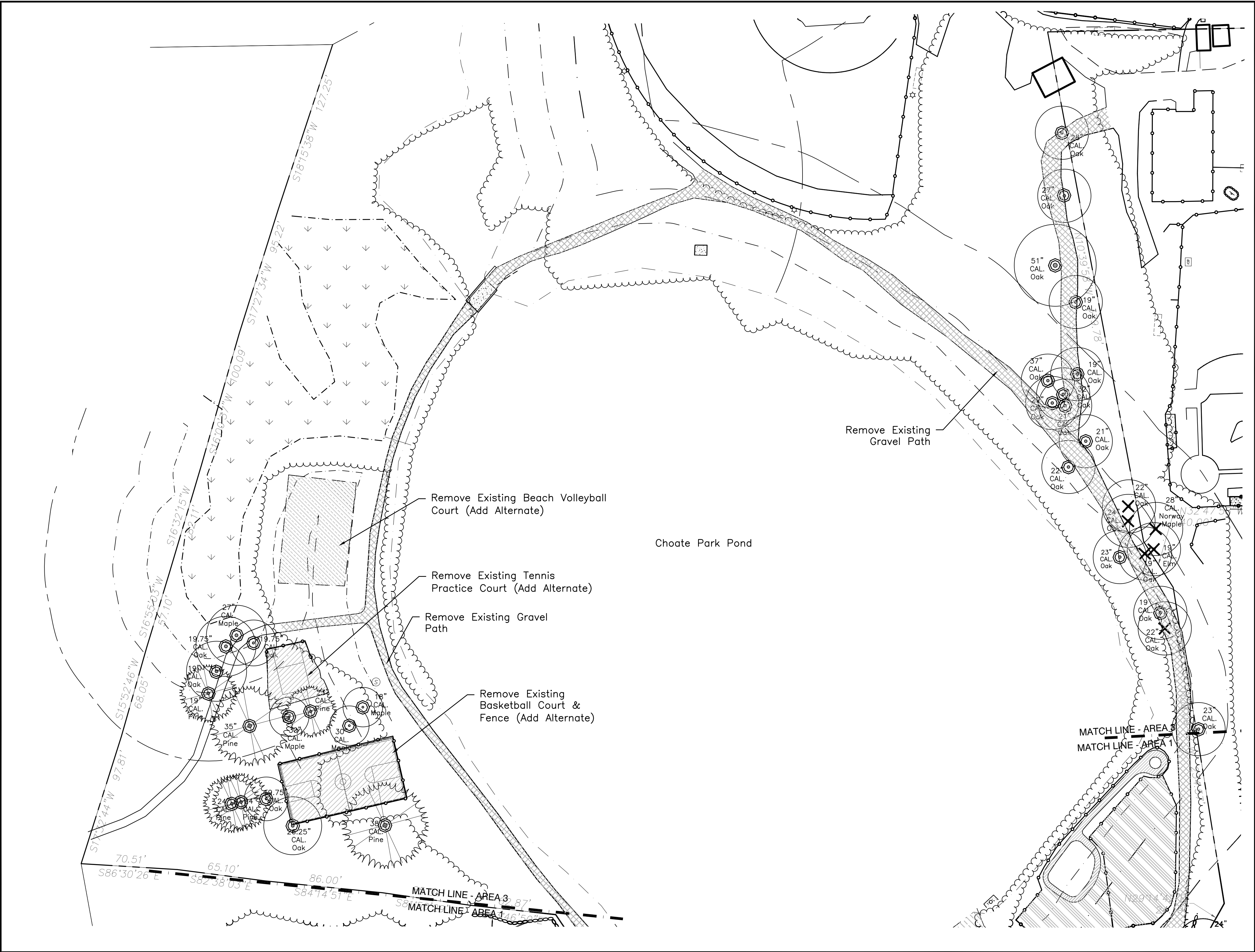
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SCALE: 1" = 40' - 0"
FILE: Choate-EC.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a



L3.2

Legend:

- Property Line
- Edge of Water
- Forested Area
- Wetland Setback
- Stone Wall
- Tree to be Removed
- Tree to be Kept
- Bit. Conc. to be Removed
- Play Equipment & Safety Surface to be Removed
- Gravel Paths to be Removed
- Sand to be Removal



Improvements to Choate Park

Site Plan Submission

Existing Landscape Inventory & Removals: Sheet 2

CBA | Landscape Architects LLC
24 THORNDIKE STREET | CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

DATE: 08/17/2017
SCALE: 1" = 40' - 0"
FILE: Choate-EC.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a



L3.3

ZONING TABLE (SEE L3.1 FOR PARKING)

| | | | |
|-----------------------------------|--|--|--|
| Zoning Classification: | | Lot Area (Project is Comprised of 2 Lots): | |
| AR-1 Agricultural-Residential 1 | | Lot 39-074 = 17.38 Acres | |
| | | Lot 39-078 = 4.40 Acres | |
| Building Height: | | Continuous Frontage: | |
| Lot 39-074 = (Pavilion) 16'-0" | | Lot 39-074 = 420.5' | |
| Lot 39-078 = NA | | Lot 39-078 = 0' | |
| Building Size: | | Lot Depth: | |
| 30'-0" x 40'-0" | | Lot 42-58 = 1114' | |
| Lot Coverage: | | Lot 42-57 = 694' | |
| Lot 39-074 = (Pavilion) 1200 S.F. | | Lot Width: | |
| Lot 39-078 = NA | | Lot 42-58 = 680' | |
| Gross Floor Area: | | Lot 42-57 = 255' | |
| Lot 39-074 = (Pavilion) 1200 S.F. | | Front Building Setback: | |
| Lot 39-078 = NA | | Pavilion = 299'-7" | |
| Maximum Seating Capacity: | | Side Building Setback: | |
| Lot 39-074 = 72 People (Pavilion) | | Pavilion = 112'-6" | |
| Lot 39-078 = NA | | Rear Building Setback: | |
| Number of Employees: | | Pavilion = 816'-9" | |
| Lot 39-074 = 0 | | | |
| Lot 39-078 = NA | | | |

Key:

- Property Line
- Proposed Tubular Steel Fencing
- Setback Line
- Proposed Pedestrian Scale Light



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Site Improvements to Choate Park

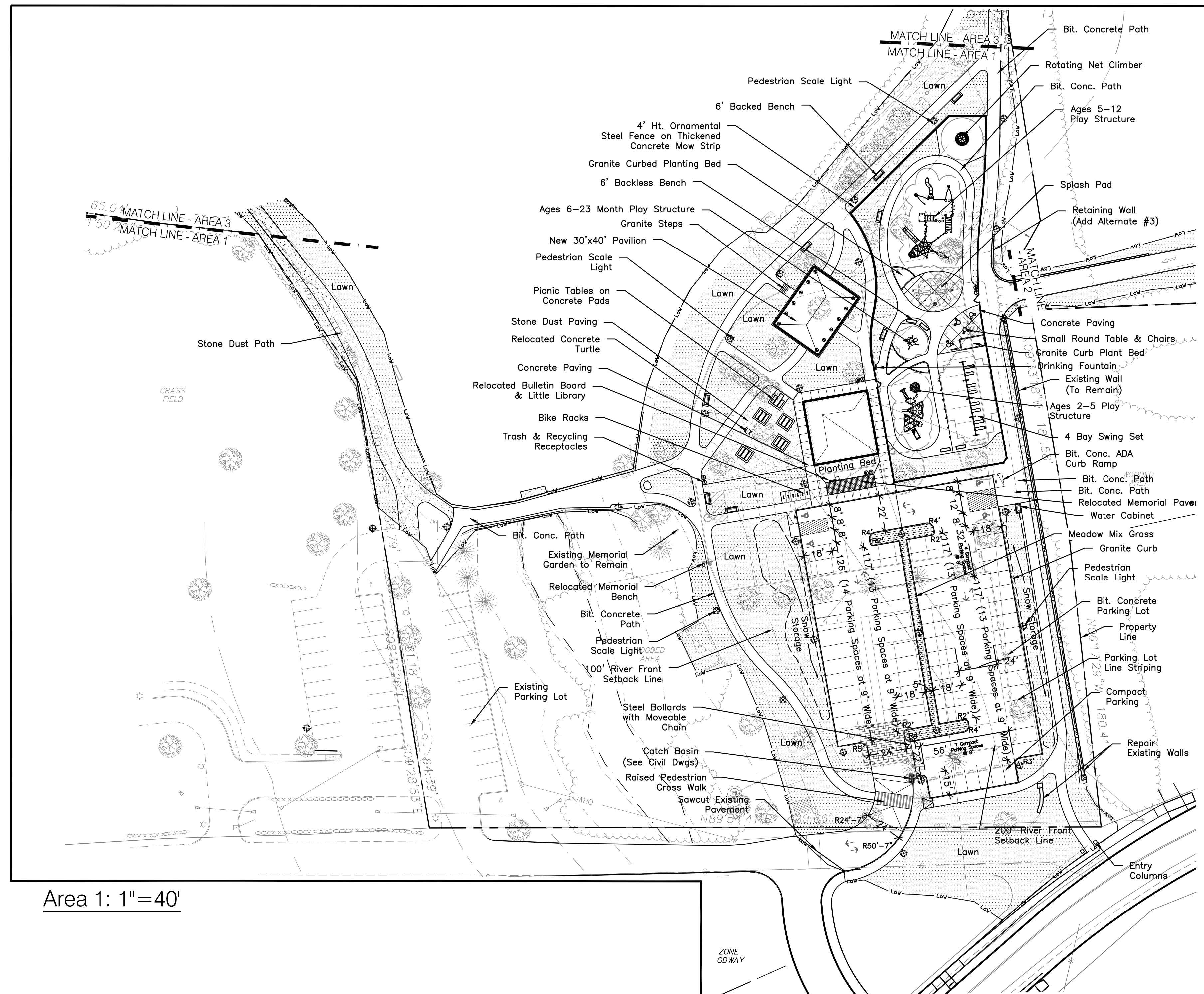
Site Plan Submission

Site Improvements: Overview

| | |
|----------|-------------------------|
| DATE: | 08/17/2017 |
| SCALE: | 1" = 70'-0" |
| FILE: | Choate-Improvements.dwg |
| DWN BY: | AJK |
| CKD BY: | DJC |
| PROJ. #: | 1612a |












L4.0

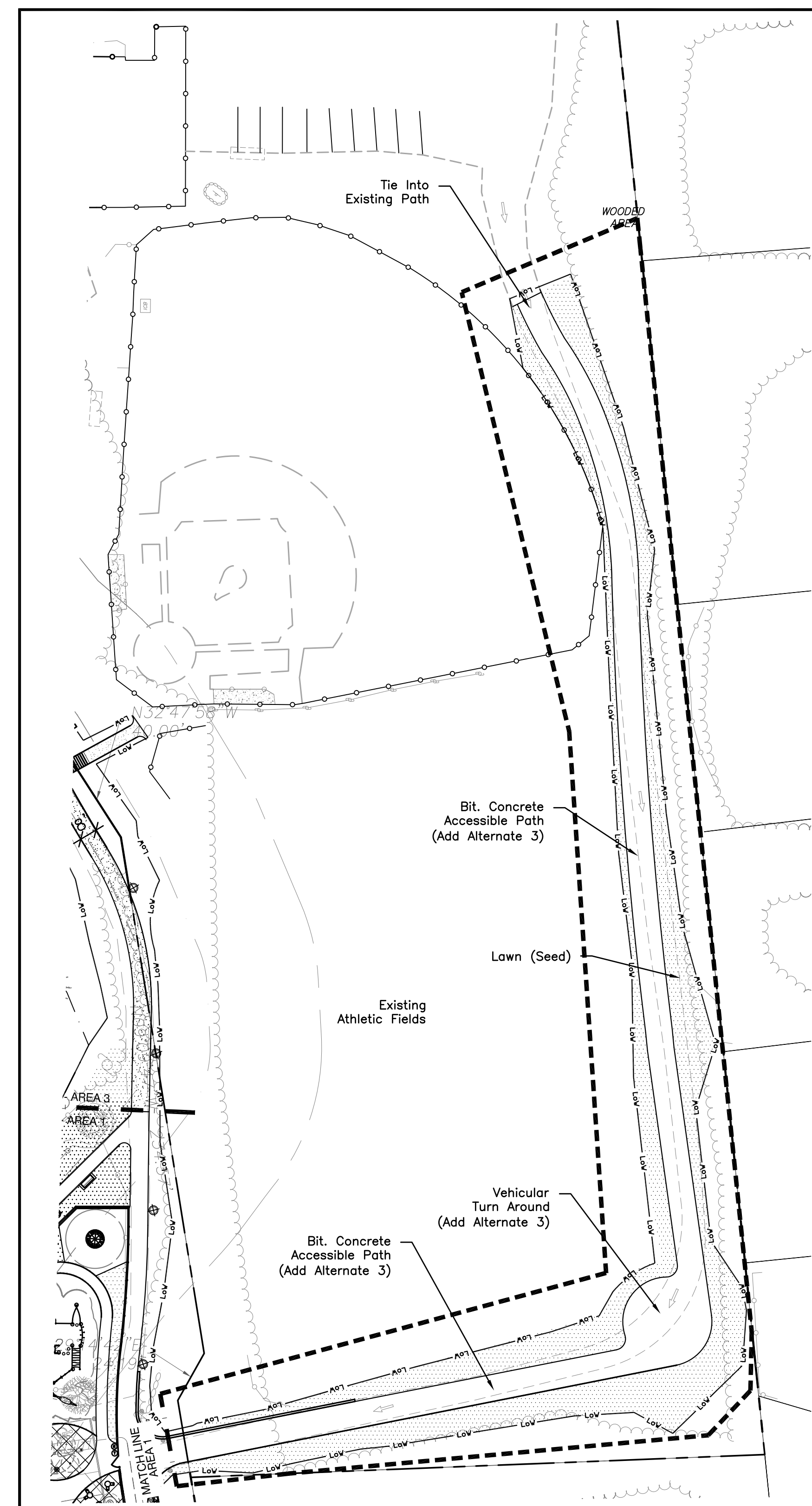


Materials Notes

1. The Contractor shall verify locations of and protect all utilities, drainage, and sub-drainage structures prior to commencing work. The Contractor will take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
2. Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
3. All utility & drain lines to be coordinated with footings for site features.
4. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.

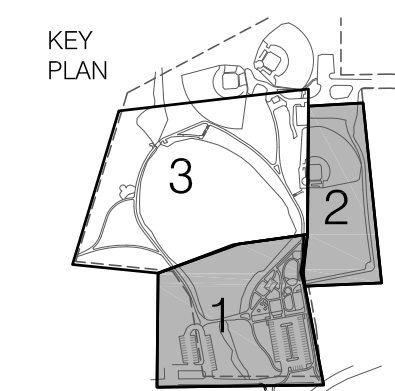
Key:

-  Property Line
-  Match Line
-  Add Alternate
-  Limit of Work
-  Proposed Tubular Steel Fencing
-  Stone Dust Paving
-  Rubber Safety Surface
-  Lawn
-  Proposed Pedestrian Scale Light



Parking Table:

| | |
|---|----|
| Number of Existing Parking Spaces: | 47 |
| Number of Proposed ADA Parking Spaces: | 4 |
| Number of Proposed Standard Parking Spaces: | 53 |
| Number of Proposed Compact Parking Spaces: | 11 |
| Total Number of Proposed Parking Spaces: | 68 |

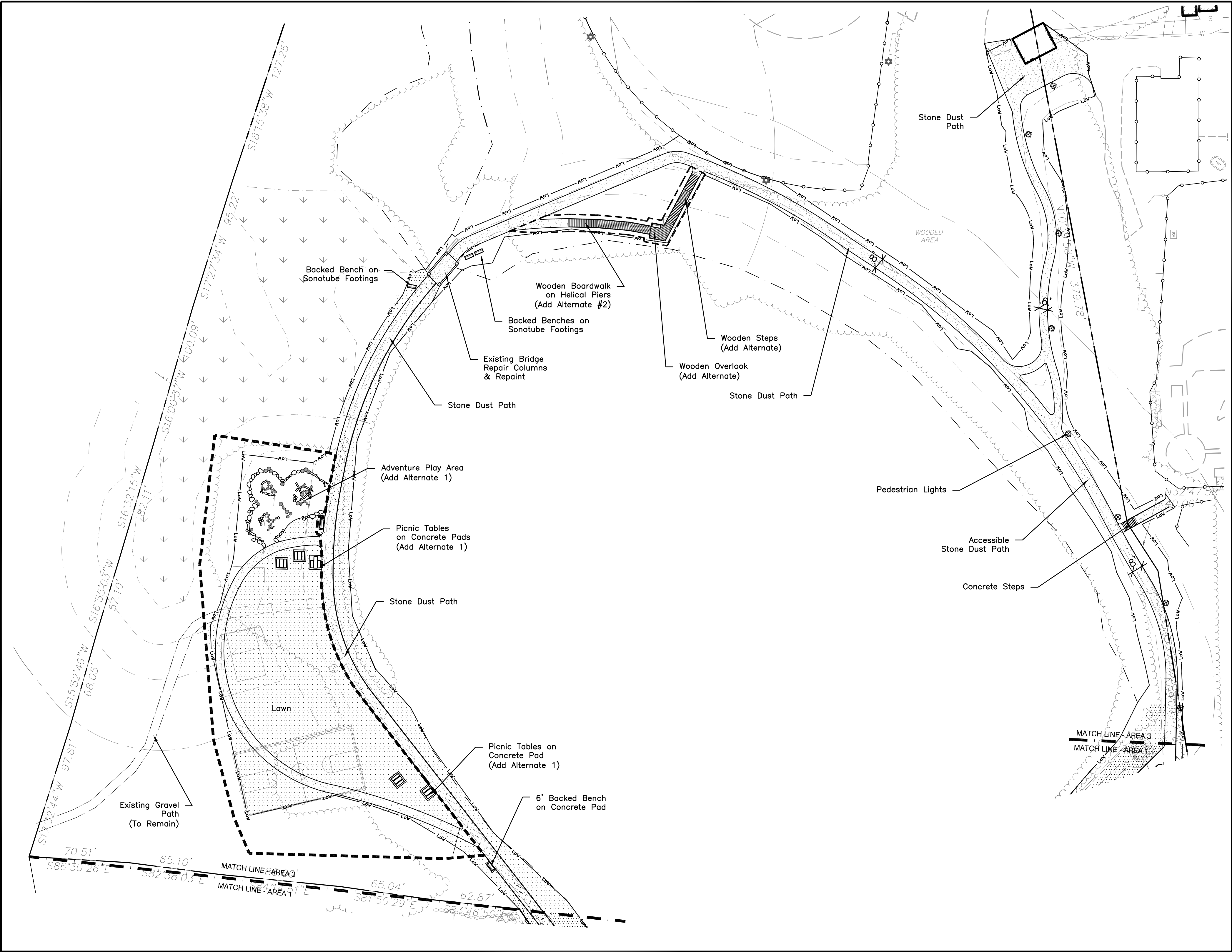


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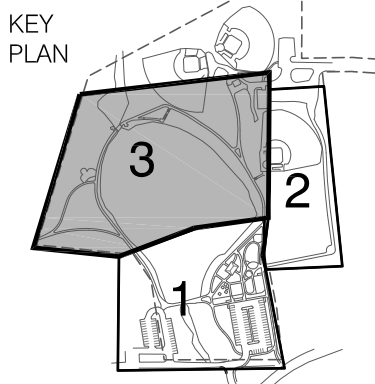
- Property Line
- Match Line
- Add Alternate
- Limit of Work
- Proposed Tubular Steel Fencing
- Stone Dust Paving
- Rubber Safety Surface
- Lawn
- Proposed Pedestrian Scale Light

Materials Notes

- The Contractor shall verify locations of and protect all utilities, drainage, and sub-drainage structures prior to commencing work. The Contractor will take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
- All utility & drain lines to be coordinated with footings for site features.
- Repair any damage to existing site features to remain and to any disruption beyond the limit of work.



Area 3: 1"=40'

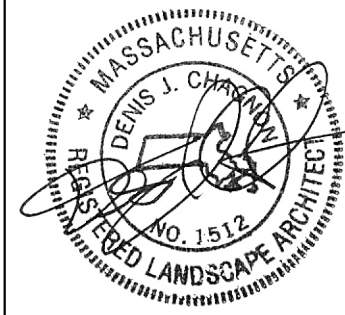


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Improvements to Choate Park
Site Plan Submission
Site Improvement Plan: Sheet 2

CBA Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE MA 02141
phone 617.945.9760 cba@cballand.com
landscape architecture
urban design
master planning

DATE: 08/17/2017
SCALE: 1" = 40' - 0"
FILE: Choate-Improvements.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a

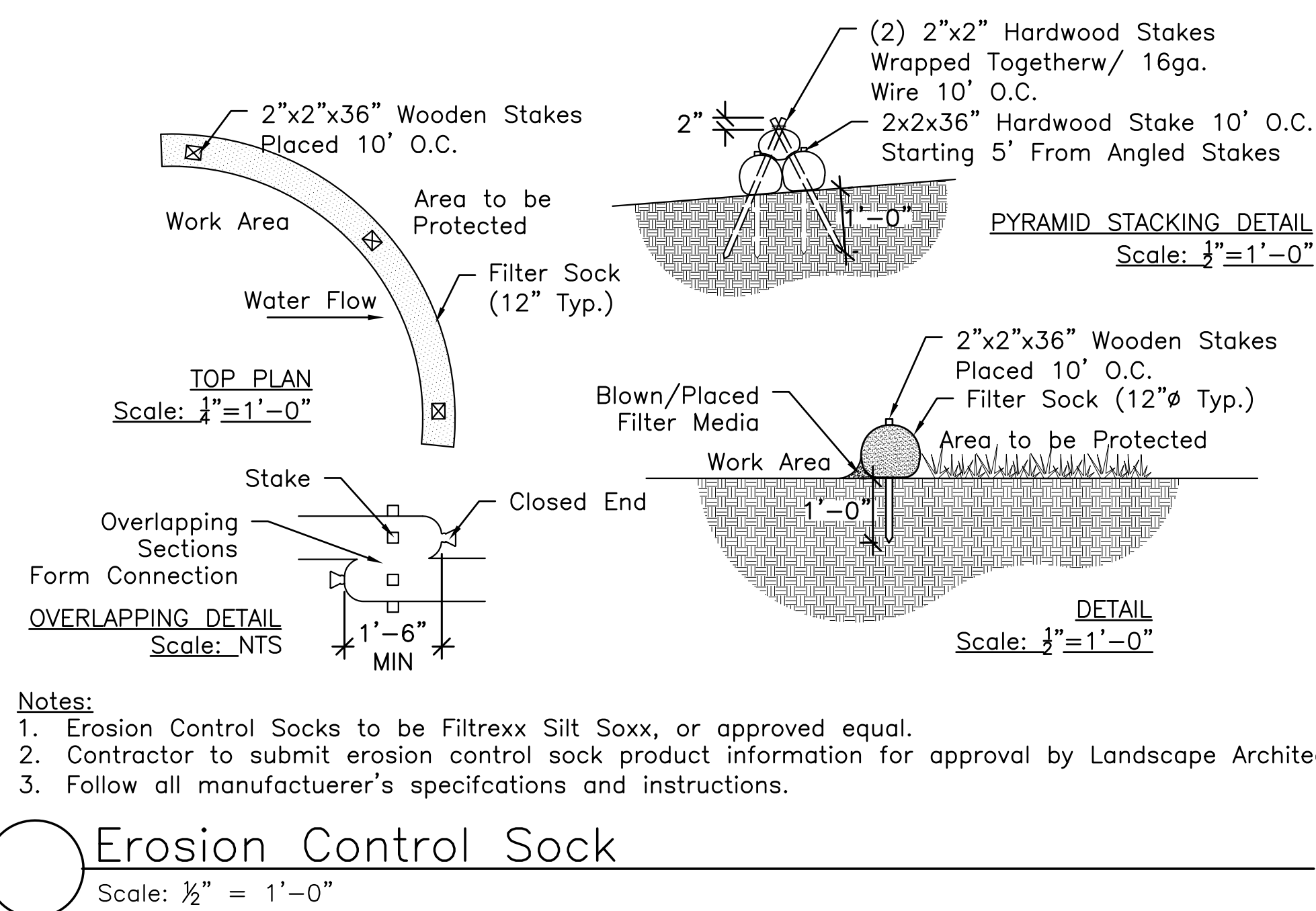


L4.2

Area 1: 1"=40'









Grading Notes

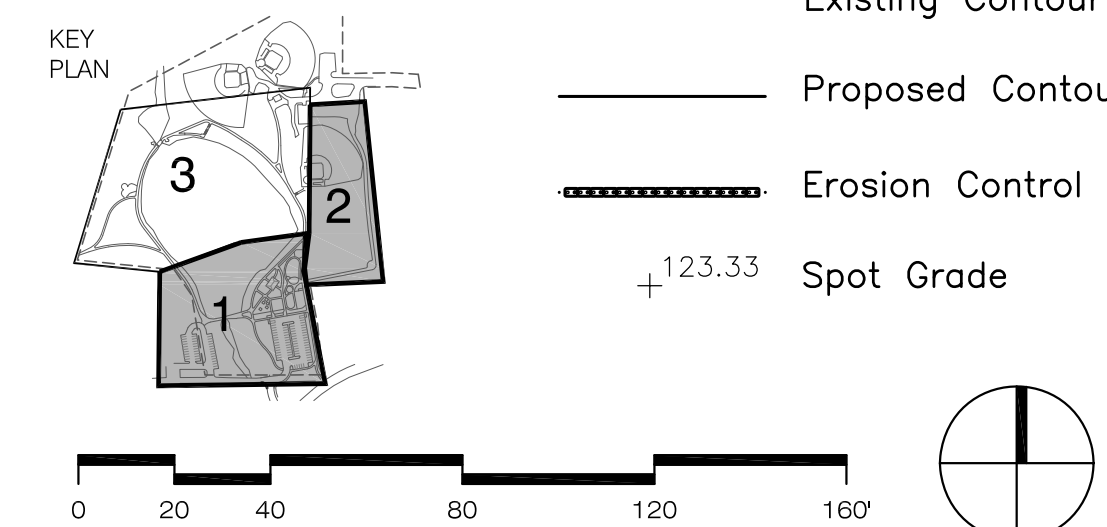
1. The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures prior to commencing work.
2. Landscape Contractor shall verify all dimensions and elevations on the ground and report any discrepancies to the Landscape Architect prior to commencing construction.
3. Grade stakes to be set for approval by The Landscape Architect prior to installation of gravel bases and prior to all paving, edges, and walls.
4. All transitions to existing grades to be smooth and gradual.
5. Cross slopes and slopes in rubber play areas are not to exceed 1.9% in any direction.
6. Grade surfaces to assure positive drainage away from all structures and to prevent ponding of surface drainage.
7. Pitch evenly between spot grading. Any discrepancies not allowing an even pitch to occur shall be reported to the Landscape Architect prior to continuing work.
8. Handicap Accessible Areas shall be in conformance with the rules and regulations of the Architectural Access Board and the American With Disabilities Act.
9. All utility & drain lines to be coordinated with footings for site features.
10. Repair any damage to existing site features to remain and to any disruption beyond the limit of work.
11. ALL REMOVALS & EXCAVATIONS outside Tree Protection Fencing but within the dripline of existing trees shall be HAND WORK or AIR SPADE ONLY. Cut NO ROOTS without the express permission of Landscape Architect or Owner's Representative. Provide 48 hours notice before all such work in "Hand Work Only" areas to allow Landscape Architect or Owner's Representative to observe work.



Area 2: 1"=40'

Grading Key:

-  Property Line
 Match Line
 Add Alternate
 Limit of Work
 Existing Contour
 Proposed Contour
 Erosion Control Sock
 Spot Grade

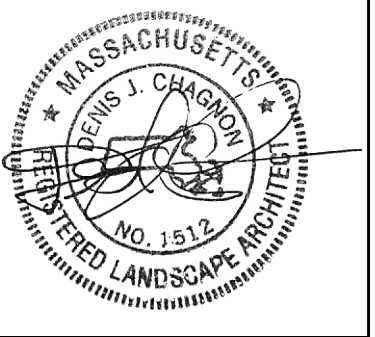


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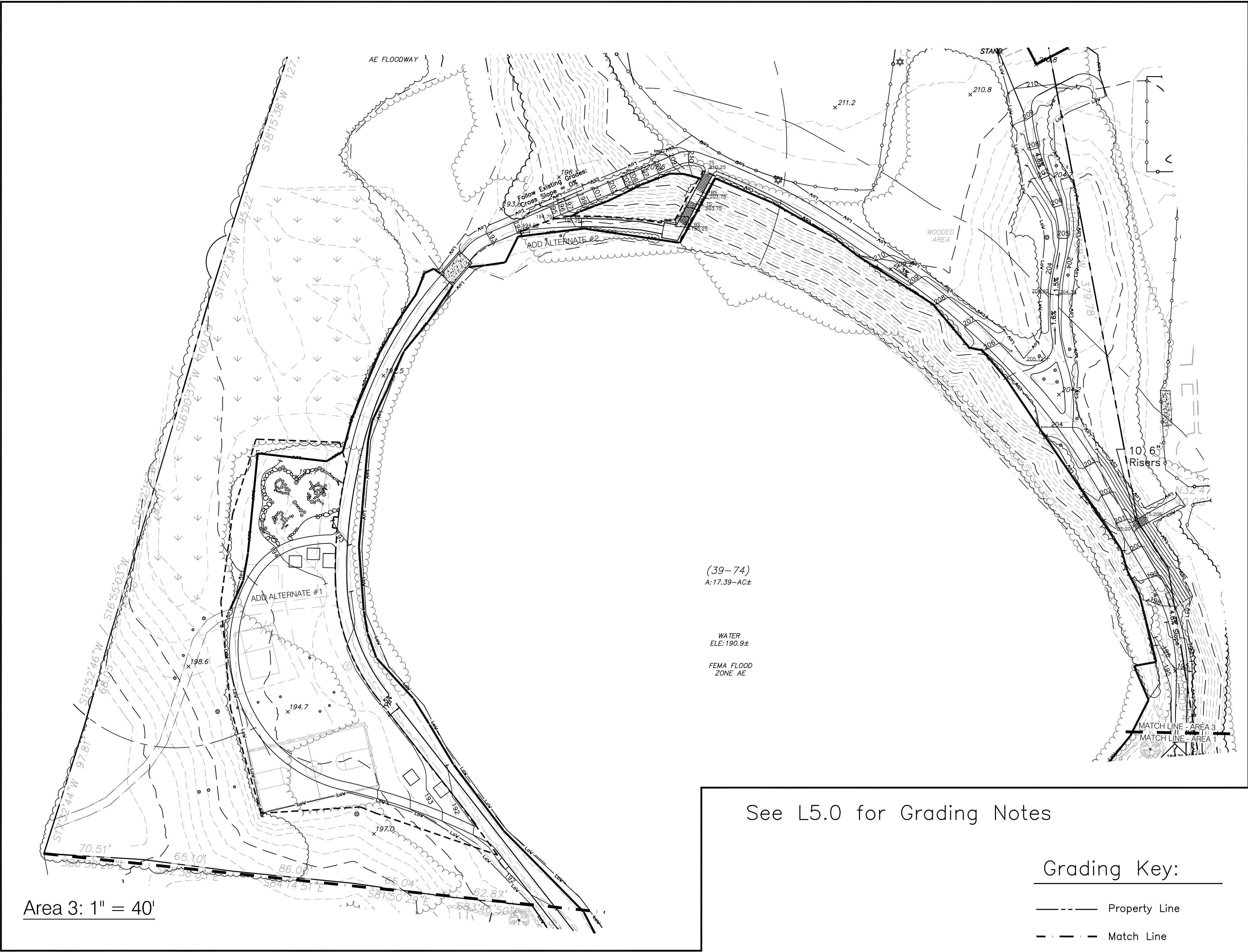
Improvements to Choate Park

Site Plan Submission
Grading, Drainage & Erosion Plan: Sheet 1

| | |
|-----------|-----------------|
| DATE: | 08/17/2017 |
| SCALE: | 1" = 40' - 0" |
| FILE: | CHO-Grading.dwg |
| DWN BY: | AJK |
| CKD BY: | DJC |
| PROJ. # : | 1612a |

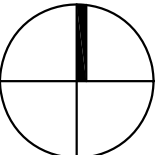
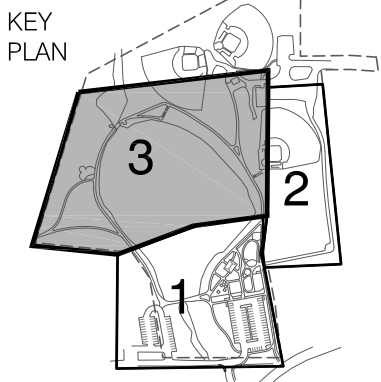


L5.0



See L5.0 for Grading Notes

- Grading Key:
- Property Line
 - Match Line
 - Add Alternate
 - Limit of Work
 - Existing Contour
 - Proposed Contour
 - Erosion Control Sock
 - Spot Grade

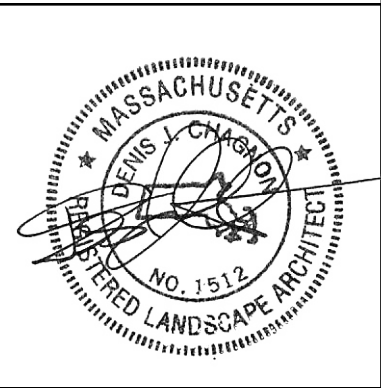


FOR PERMIT ONLY

Improvements to Choate Park

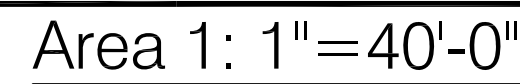
Site Plan Submission
Grading, Drainage and Erosion Plan: Sheet 2

| | |
|-----------|-----------------|
| DATE: | 08/17/2017 |
| SCALE: | 1" = 40' - 0" |
| FILE: | CHO-Grading.dwg |
| DWN BY: | AJK |
| CKD BY: | DJC |
| PROJ. # : | 1612a |



L5.1

1. The Landscape Contractor shall protect all utilities prior to starting construction.
2. The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on these drawings.
3. All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assn. of Nurserymen, current edition.
4. All plant materials to be selected by the Landscape Architect with the Contractor at the nursery.
5. All plants to be located on the site for approval of the Landscape Architect prior to planting.
6. If the plant list does not agree with the planting plan, the plan shall be followed.
7. The Contractor shall guarantee all plant materials and lawns for one year following final acceptance. See Specifications for conditions of final acceptance.
8. All plant beds to receive 3" shredded bark mulch; supply sample for approval of Landscape Architect.
9. All planting beds to have a minimum 12" depth of topsoil.
10. All areas called out as lawn within Limit of Landscape Workis to be hydroseeded lawn. Remove old lawn, weeds and mulch, and rototill. Add topsoil so that all lawns have a minimum 6" depth of topsoil. See Specs for requirements.
11. Areas on the plan called out as wildflower mix are to be planted with New England Showy Wildflower Seed Mix by New England Wetland Plants of Amherst, MA, or approved equal.
12. No substitution of plant materials shall be allowed without approval of Landscape Architect.



TREES

| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | NOTES |
|-----|-----|------------------------------------|-----------------------------|------------|---------------------|
| ABA | 5 | Abies balsamea | Balsam Fir | 8-10' HT | Native |
| ACG | 3 | Amelanchier canadensis 'Glenform' | Rainbow Pillar Serviceberry | 2.5-3" CAL | Native, Single Stem |
| ARO | 9 | Acer rubrum 'October Glory' | October Glory Red Maple | 3-3.5" CAL | Native |
| ASL | 5 | Acer saccharum 'Legacy' | Legacy Sugar Maple | 3-3.5" CAL | Native |
| BND | 2 | Betula nigra 'Dura Heat' | Dura Heat River Birch | 2.5-3" CAL | Native |
| CCA | 3 | Carpinus caroliniana | American Hornbeam | 2.5-3" CAL | Native |
| CFC | 3 | Cornus florida 'Cherokee Princess' | Cherokee Princess Dogwood | 2.5-3" CAL | Native |
| GTH | 12 | Gleditsia triacanthos 'Halka' | Halka Honey Locust | 3-3.5" CAL | Native |
| NSL | 4 | Nyssa sylvatica | Tupelo | 3-3.5" CAL | Native |
| PGL | 2 | Picea glauca | White Spruce | 8-10' HT | Native |
| QPA | 1 | Quercus palustris | Pin Oak | 3-3.5" CAL | Native |
| UAP | 4 | Ulmus americana 'Princeton' | Princeton American Elm | 3-3.5" CAL | Native |

| SYM | QTY | BOTANICAL NAME |
|-----|-----|---------------------------|
| CA1 | 15 | Clostridium sporobifolium |

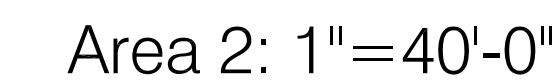
| | | | | | | |
|-----|----|------------------------------|--------------------|--------|----|--------|
| CAL | 13 | <i>Clethra alnifolia</i> | Summersweet | 2-2.5' | HT | Native |
| KAN | 10 | <i>Kalmia angustifolia</i> | Sheep Laurel | 1.5-2' | HT | Native |
| MGA | 25 | <i>Myrica gale</i> | Sweetgale | 2-3' | HT | Native |
| RVI | 14 | <i>Rhododendron viscosum</i> | Swamp Azalea | 4-5' | HT | Native |
| SLA | 22 | <i>Spiraea latifolia</i> | Common Meadowsweet | 2-2.5' | HT | Native |








| SYM | QTY | BOTANICAL NAME |
|-----|-----|--------------------------|
| 065 | 8 | <i>Quercus agrifolia</i> |

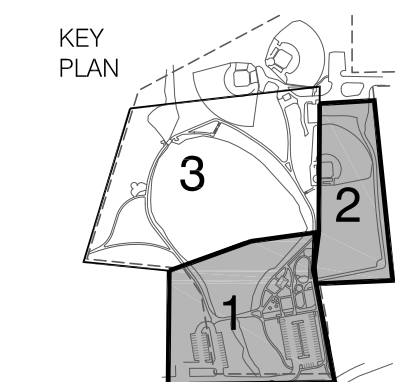
| | | | | | | |
|-----|---|--------------------------|--------------------|------|----|--------|
| CSE | 8 | <i>Cornus sericea</i> | Red Oiser Dogwood | 3-4' | HT | Native |
| IGL | 5 | <i>Ilex glabra</i> | Inkberry | 3-4' | HT | Native |
| VDE | 6 | <i>Viburnum dentatum</i> | Arrowwood Viburnum | 4-5' | HT | Native |

| SYM | QTY | BOTANICAL NAME | COMMON NAME |
|-----|-----|--------------------------|-----------------|
| 105 | 30 | <i>Chenopodium album</i> | Common Amaranth |

| | | | | | | | | |
|-----|----|---------------------------|--------|--------|----------------|-----|-----|--------|
| JCE | 32 | <i>Juniperus communis</i> | Effusa | Effusa | Common Juniper | 2-3 | SPD | Native |
|-----|----|---------------------------|--------|--------|----------------|-----|-----|--------|



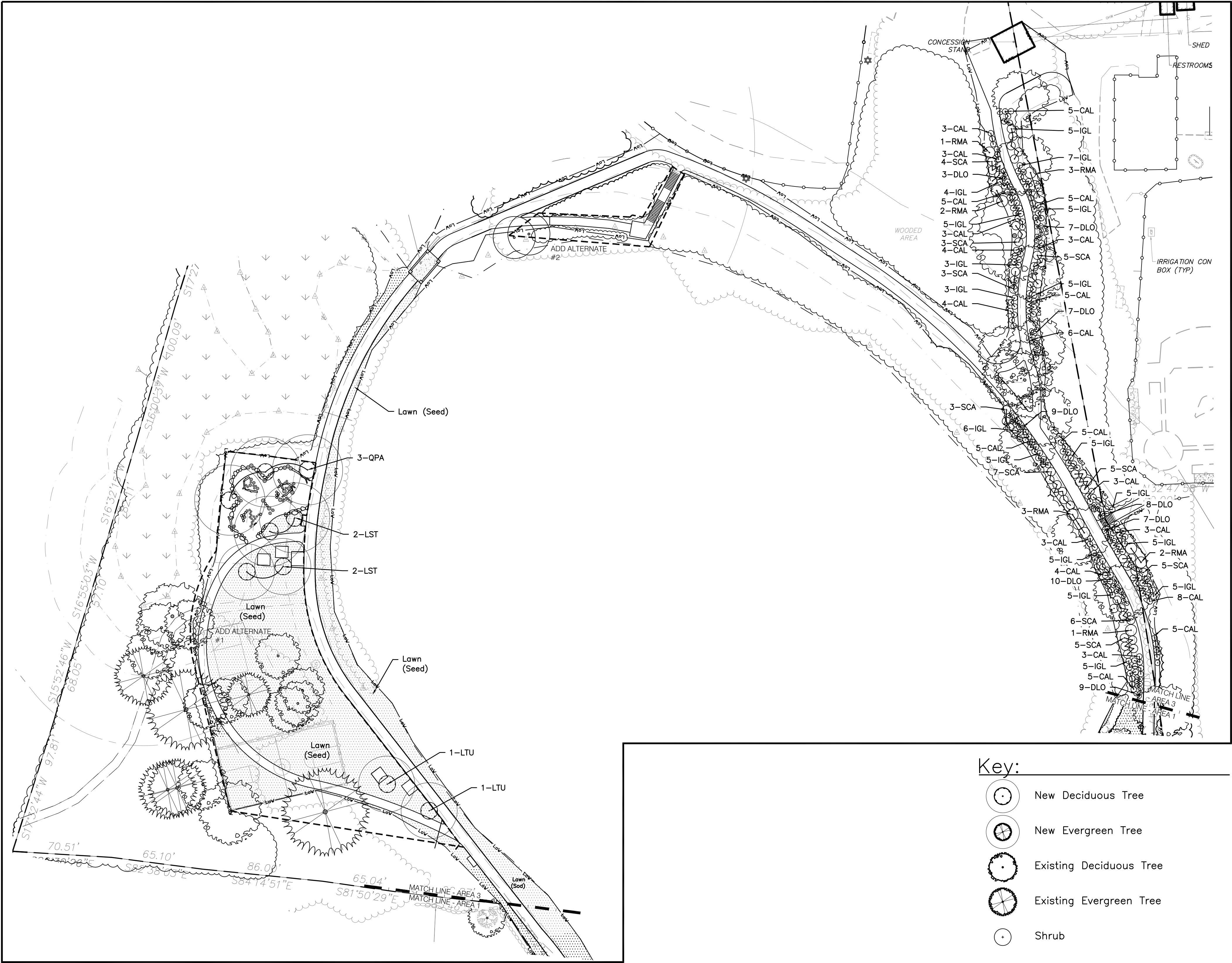
-  New Deciduous Tree
 New Evergreen Tree
 Existing Deciduous Tree
 Existing Evergreen Tree
 Shrub
 Lawn
 Wildflower Mix



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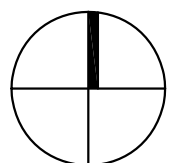
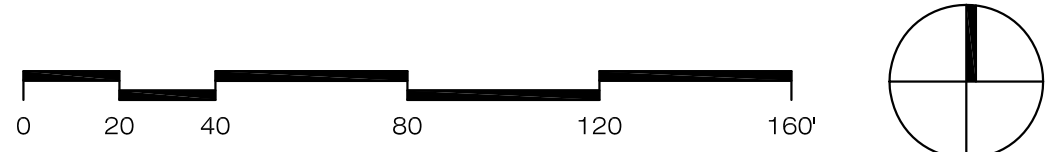
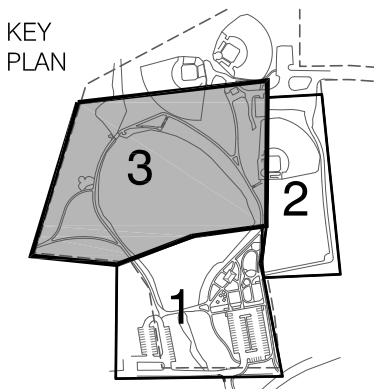
Planting Notes

1. The Landscape Contractor shall protect all utilities prior to starting construction.
2. The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on these drawings.
3. All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assn. of Nurserymen, current edition.
4. All plant materials to be selected by the Landscape Architect with the Contractor at the nursery.
5. All plants to be located on the site for approval of the Landscape Architect prior to planting.
6. If the plant list does not agree with the planting plan, the plan shall be followed.
7. The Contractor shall guarantee all plant materials and lawns for one year following final acceptance. See Specifications for conditions of final acceptance.
8. All plant beds to receive 3" shredded bark mulch; supply sample for approval of Landscape Architect.
9. All planting beds to have a minimum 12" depth of topsoil.
10. All areas called out as lawn within Limit of Landscape Works to be hydroseeded lawn. Remove old lawn, weeds and mulch, and rototill. Add topsoil so that all lawns have a minimum 6" depth of topsoil. See Specs for requirements.
11. Areas on the plan called out as wildflower mix are to be planted with New England Showy Wildflower Seed Mix by New England Wetland Plants of Amherst, MA, or approved equal.
12. Areas called out on the plan as tall grass/ rain garden are to be planted with New England Erosion Control/ Restoration Mix for Detention Basins and Moist Sites by New England Wetland Plants of Amherst, MA, or approved equal.
13. No substitution of plant materials shall be allowed without approval of Landscape Architect.

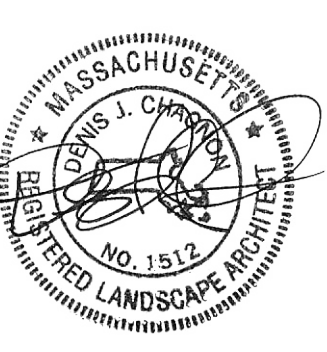


Plant List:

| TREES — ADD ALTERNATE | | | | | |
|-----------------------|-----|-------------------------|---------------------------|------------|--------|
| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | NOTES |
| LST | 4 | Liquidambar styraciflua | American Sweetgum | 3-3.5" CAL | Native |
| LTU | 2 | Liriodendron tulipifera | Tulip Tree | 3-3.5" CAL | Native |
| QPA | 3 | Quercus palustris | Pin Oak | 3-3.5" CAL | Native |
| SHRUBS — BASE BID | | | | | |
| SYM | QTY | BOTANICAL NAME | COMMON NAME | SIZE | NOTES |
| CAL | 90 | Clethra alnifolia | Summersweet | 4-5' HT | Native |
| DLO | 60 | Diervilla lonicera | Northern Bush Honeysuckle | 2.5-3' HT | Native |
| IGL | 83 | Ilex glabra | Inkberry | 4-5' HT | Native |
| RMA | 12 | Rhododendron maximum | Great Laurel | 6-8' HT | Native |
| SCA | 46 | Sambucus canadensis | Black Elderberry | 4-5' HT | Native |



FOR PERMIT ONLY



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***Structure Erection: Installation of this structure is to be done with a competent supervisor in the construction trades. This supervisor must be capable of reading the drawing(s) & following Cedar Forest Products' installation instructions using good construction practices and procedures. The contractor will be required to shim, cut and make adjustments of fitting for proper building erection.

***Returns: After receipt of materials, the general contractor is responsible for the condition. No merchandise can be returned without written authorization. Merchandise with return authorization must be in saleable condition. A 35% restocking fee will be charged. Merchandise to be returned must be shipped insured and freight prepaid.

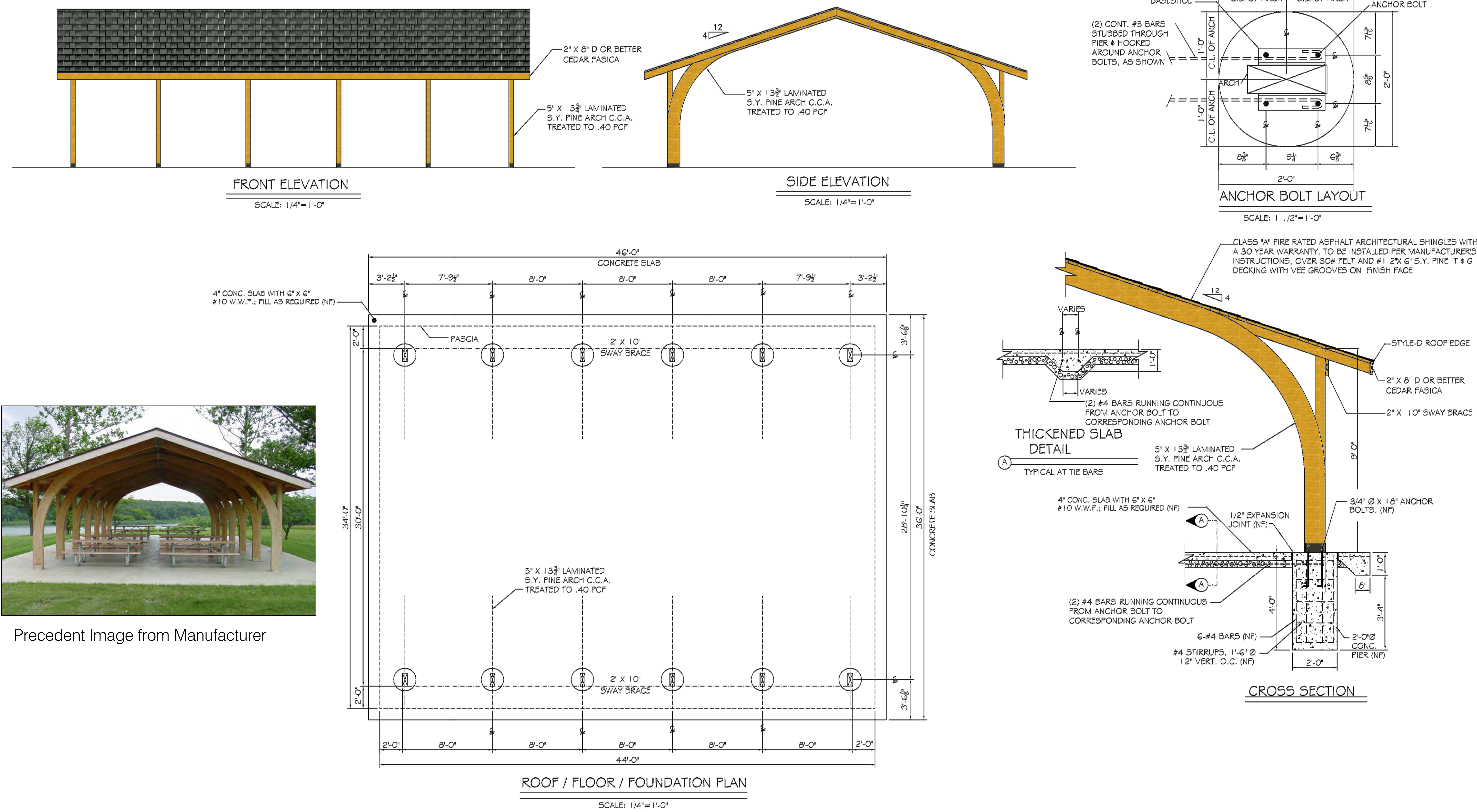
***Cedar Forest Products will not be liable for any unauthorized field work purchases to repair/replace/furnish materials. Any purchases must have prior written approval from Cedar Forest Products.

THE FOLLOWING WILL BE THE RESPONSIBILITY OF OTHERS

1. ALL CONSTRUCTION SHOULD MEET STATE & LOCAL BLDG. CODE RQMTS.
2. ASSUMED SOIL BEARING CAPACITY = 3,000 P.S.F. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL.
3. CONSULT WITH A LOCAL REGISTERED STRUCTURAL ENGINEER IF SOIL BEARING CONDITIONS ARE OTHER THAN ABOVE.
4. DESIGN, EXCAVATION AND CONSTRUCTION OF THE STRUCTURE(S) FOUNDATION MUST BE VERIFIED BY A REGISTERED STRUCTURAL ENGINEER.
5. DETERMINE ALL DESIGN LEADS PER LOCAL CODES.

6. CONCRETE TO BE 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
7. REINFORCING STEEL TO BE ASTM A-305 DEFORMED.
8. ALL CONSTRUCTION SURVEYING AND FIELD VERIFICATION OF ALL DIMENSIONS.
9. PROVIDE AND INSTALL ALL CONCRETE, REINFORCING STEEL, & ANCHOR BOLTS.
10. UNLOAD ALL TRUCK(S) DELIVERING C.F.P. MATERIALS.
11. ERECTION OF THE STRUCTURE(S).

Note: Pavilion is intended to include a cupola. When updated drawings are received they will be submitted.



Precedent Image from Manufacturer

CBA Landscape Architects LLC
24 THORNDIKE STREET I CAMBRIDGE MA 02141
phone 617.945.9760 I www.cbaland.com I cba@cbaland.com
landscape architecture
urban design
master planning

Improvements To Choate Park

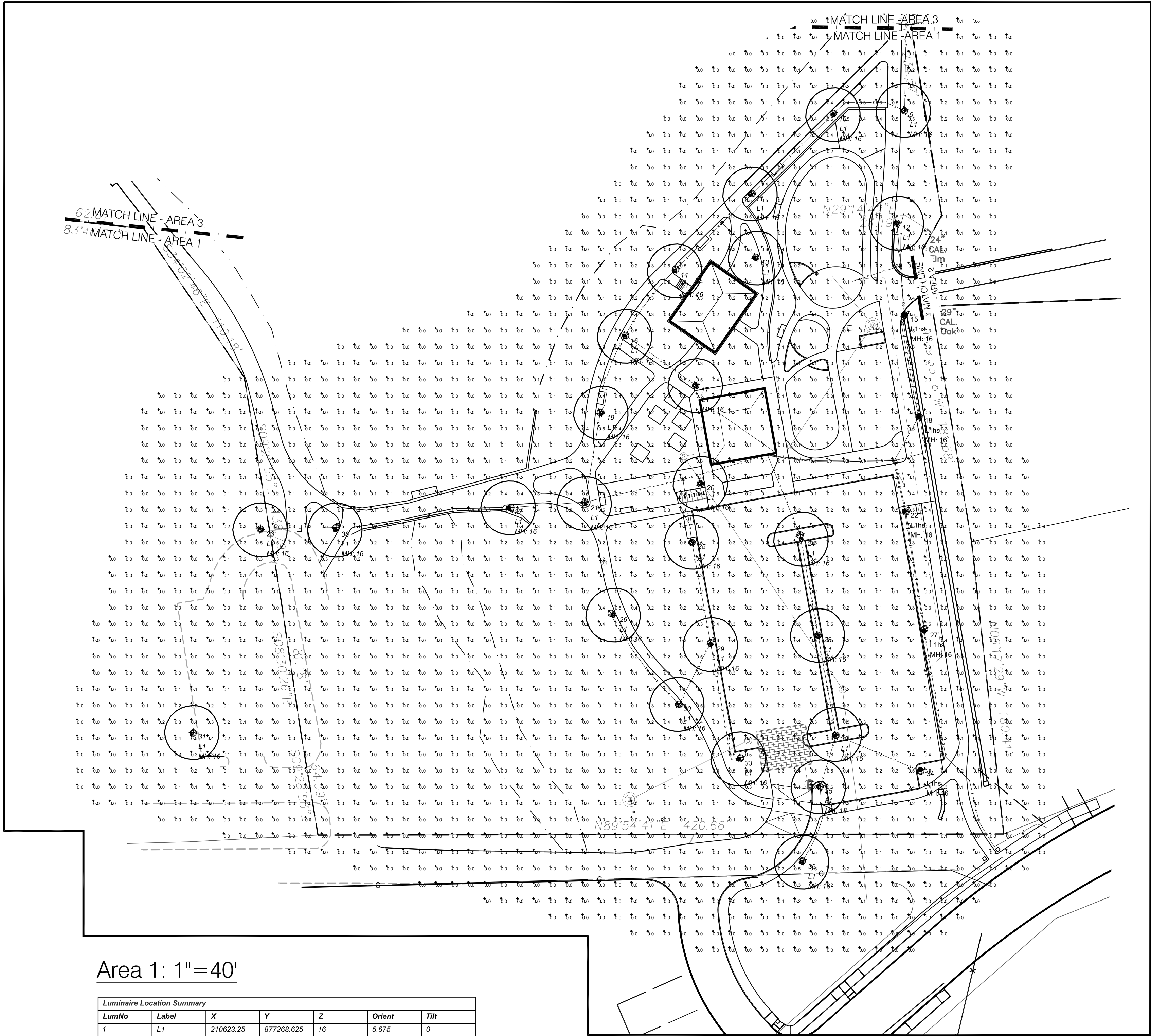
Site Plan Submission
Architectural Plans: Pavilion

DATE: 08/17/2017
SCALE: AS NOTED
FILE: CHO-Pavilion.dwg
DWN BY: Manufacturer
OKD BY: DJC
PROJ. #: 1612a



| | | | | | | | | | | |
|--|--|--|-----------------|---|------|------|---------|--|----------------|--------------------|
| | 1008 S. DIVISION - BOX 98 POLO, ILLINOIS 61064 (815)-946-3994 (815)-946-2479 FAX WWW.CEDARFORESTPRODUCTS.COM | | REVIEWED BY: | NF-DENOTES NOT FURNISHED BY CEDAR FOREST PRODUCTS | | QTY- | GAP3444 | | REVISION DATES | DRAWN BY/DATE/JOB# |
| | DEALER NAME: | | OWNER NAME: | | REV: | | | | | |
| | CITY/STATE: | | CITY/STATE/ZIP: | | REV: | | | | | |
| | SALESPERSON: | | | | REV: | | | | | |

L7.0



Area 1: 1"=40'

| Luminaire Location Summary | | | | | | |
|----------------------------|-------|------------|------------|----|--------|------|
| LumNo | Label | X | Y | Z | Orient | Tilt |
| 1 | L1 | 210623.25 | 877268.625 | 16 | 5.675 | 0 |
| 2 | L1 | 210605.375 | 877234.375 | 16 | 5.675 | 0 |
| 3 | L1 | 210628.25 | 877165 | 16 | 5.675 | 0 |
| 4 | L1 | 210622 | 877097 | 16 | 5.675 | 0 |
| 5 | L1 | 210633.875 | 877021.375 | 16 | 5.675 | 0 |
| 6 | L1 | 210669.75 | 876963 | 16 | 5.675 | 0 |
| 7 | L1 | 210702.375 | 876901.875 | 16 | 5.675 | 0 |
| 8 | L1 | 210712.625 | 876827 | 16 | 5.675 | 0 |
| 9 | L1 | 210711.25 | 876758.125 | 16 | 5.675 | 0 |
| 10 | L1 | 210668.125 | 876755.5 | 16 | 5.675 | 0 |
| 11 | L1 | 210617.25 | 876706.75 | 16 | 5.675 | 0 |
| 12 | L1 | 210707 | 876688.875 | 16 | 5.675 | 0 |
| 13 | L1 | 210620.625 | 876667.5 | 16 | 5.675 | 0 |
| 14 | L1 | 210571 | 876659.625 | 16 | 5.675 | 0 |
| 15 | L1ths | 210712 | 876632.625 | 16 | 5.675 | 0 |
| 16 | L1 | 210540.25 | 876619.5 | 16 | 5.675 | 0 |
| 17 | L1 | 210583.625 | 876589.25 | 16 | 5.675 | 0 |
| 18 | L1ths | 210720.75 | 876570.5 | 16 | 5.675 | 0 |
| 19 | L1 | 210525.75 | 876572.375 | 16 | 5.675 | 0 |
| 20 | L1 | 210586.75 | 876529.25 | 16 | 5.675 | 0 |
| 21 | L1 | 210515.5 | 876516.875 | 16 | 5.675 | 0 |
| 22 | L1ths | 210711.75 | 876512.25 | 16 | 5.675 | 0 |
| 23 | L1 | 210316.75 | 876500.875 | 16 | 0 | 0 |
| 24 | L1 | 210648.5 | 876495 | 16 | 5.675 | 0 |
| 25 | L1 | 210581.375 | 876493.125 | 16 | 5.675 | 0 |
| 26 | L1 | 210533.25 | 876448.375 | 16 | 5.675 | 0 |
| 27 | L1ths | 210723.75 | 876438.875 | 16 | 5.675 | 0 |
| 28 | L1 | 210658.625 | 876435.875 | 16 | 5.675 | 0 |
| 29 | L1 | 210592.875 | 876430.375 | 16 | 5.675 | 0 |
| 30 | L1 | 210572.375 | 876393.625 | 16 | 5.675 | 0 |
| 31 | L1 | 210274.875 | 876376.5 | 16 | 0 | 0 |
| 32 | L1 | 210669 | 876375.25 | 16 | 5.675 | 0 |
| 33 | L1 | 210610 | 876360.25 | 16 | 5.675 | 0 |
| 34 | L1ths | 210721.625 | 876353.875 | 16 | 5.675 | 0 |
| 35 | L1 | 210659.125 | 876343.125 | 16 | 5.675 | 0 |
| 36 | L1 | 210648.875 | 876296.875 | 16 | 5.675 | 0 |
| 37 | L1 | 210468.875 | 876514.375 | 16 | 0 | 0 |
| 38 | L1 | 210362.625 | 876500.75 | 16 | 0 | 0 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| CalcPts_1 | Illuminance | Fc | 0.11 | 0.6 | 0.0 | N.A. | N.A. |

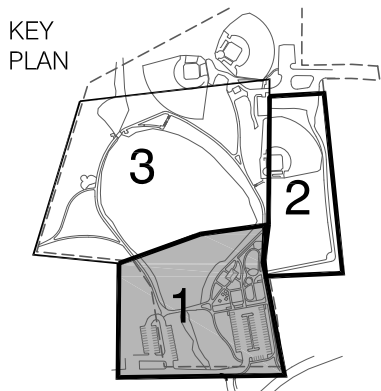
| Outdoor Luminaire Schedule | | | | | | |
|----------------------------|-----|-------|-------------------------------|-------------|-------|-------------------------------------|
| Symbol | Qty | Label | Description | Lum. Lumens | LLF | Filename |
| | 33 | L1 | 90510_US_LITMS_PAT_LED_30K_V0 | 1805 | 0.900 | 90510_US_LITMS_PAT_LED_30K_V00 A032 |
| | 5 | L1ths | 90510_US_LITMS_PAT_LED_30K_V0 | 1805 | 0.900 | 90510_US_LITMS_PAT_LED_30K_V00 A032 |

Notes:

- Pedestrian Light Fixtures are to be HW Patina by Louis Poulsen Light Fixtures. Lumiarees are to be 25w LED fixtures at a 3,000k color temperature.
- Light poles are to be 14' Louis Poulsen 4.5" diameter poles.
- Fixture color is to be black.

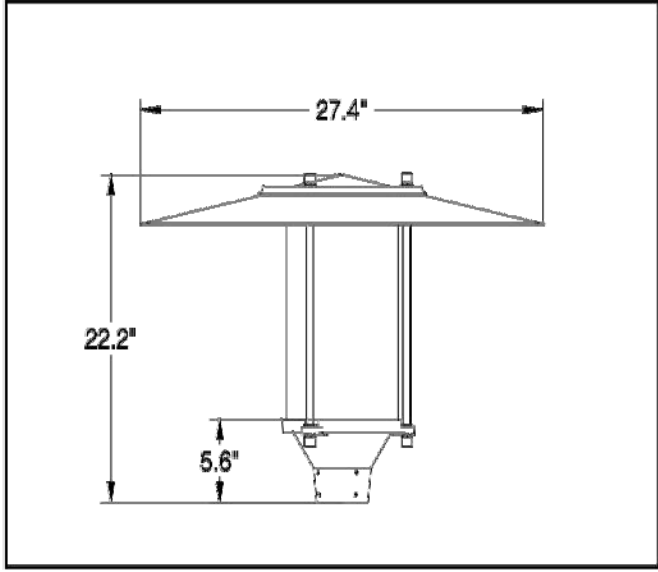
Photometrics Key:

- Property Line
- Match Line
- Add Alternate
- Electrical Line
- Hand Hole



HW Patina LED

Design: Louis Poulsen



| Light source | Voltage | Weight | Electric shock protection | Ingress protection |
|--------------------------------|----------|--------|---------------------------|---------------------|
| 26W LED/3000K 26W LED/4000K | 120-277V | 19 lbs | CL | IP 44, Wet location |

Recommended cleaning substances:
Wipe off dust with a dry, soft cloth. Remove greasy spots etc. with a soft cloth dampened in lukewarm water (<122° F/ 50° C) with a mild detergent.

Warning: Scouring powder and similar substances will scratch surfaces.

All installation is subject to local code and jurisdiction.

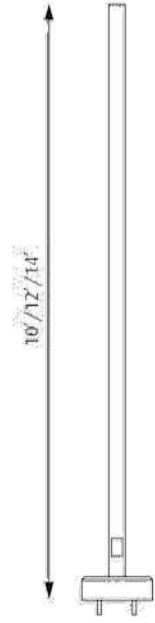
Consult a qualified electrician to ensure correct branch circuit conductor.

The installer must ensure that the foundation is stable and can support the luminaire's weight.

Light Fixture

louis poulsen

POLE ROUND STRAIGHT



Design:
Louis Poulsen A/S

Weight:
Min: 25 lbs. Max: 35 lbs.

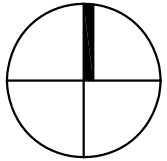
Finish:
Brushed aluminum. Black, graphite grey, grey, natural painted aluminum or white, powder coated.

Material:
Aluminum.

Mounting:
Base cover dimension: 14" diameter. Base plate: Mounted to a concrete base with 4 anchor bolts on a bolt circle of 8.0" diameter. Installation: Refer to mounting instruction download for installation details.

Light Pole

Light Pole with Fixture



Improvements to Choate Park

Site Plan Submission
Lighting/Photometric Plan: Sheet 1

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24 THORNDIKE STREET CAMBRIDGE MA 02141
phone 617.945.9760 cba@cballand.com
landscape architecture
urban design
master planning

DATE: 08/17/2017
SCALE: 1" = 40' - 0"
FILE: CHO-Photometrics.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a



L8.0

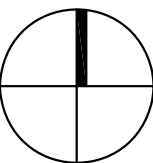
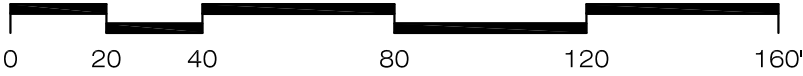
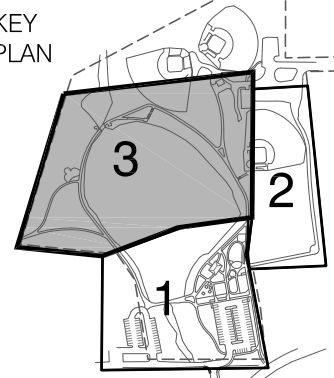


Notes:

1. See Sheet L-8.0 for Fixtures, Notes, and Luminaire Information

Photometrics Key:

- Property Line
- Match Line
- Add Alternate
- Electrical Line
- Hand Hole



Improvmnts to Choate Park

Site Plan Submission

Lighting/Photometrics Plan: Sheet 2

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24 THORNDIKE STREET | CAMBRIDGE, MA 02141

phone 617.945.9760 | www.cbaland.com | cba@cbaland.com

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master planning

DATE: 08/17/2017

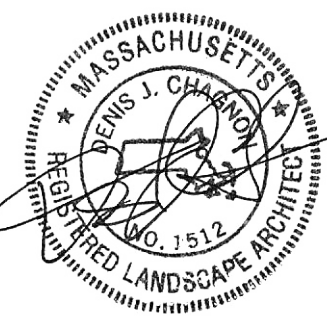
SCALE: 1" = 40' - 0"

FILE: CHO-Photometrics.dwg

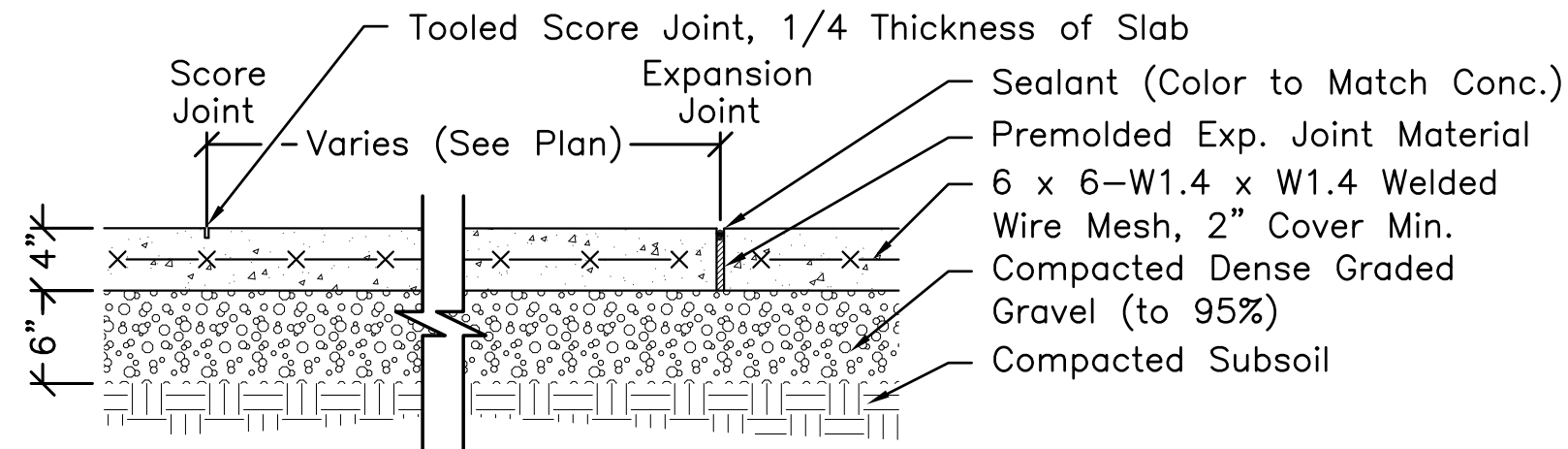
DWN BY: AJK

CKD BY: DJC

PROJ. #: 1612a



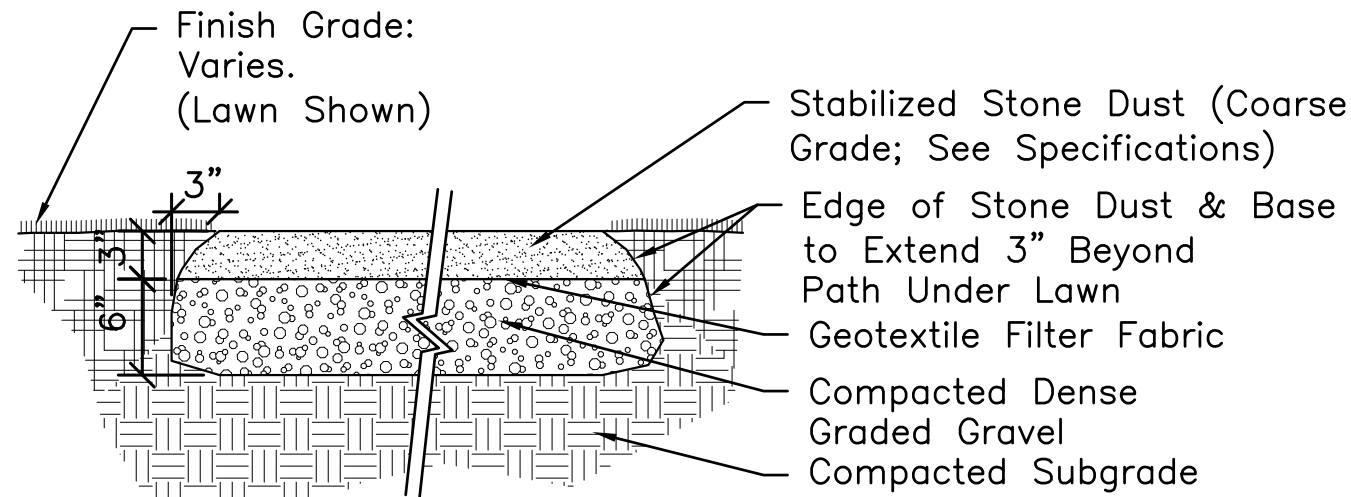
L8.1



- NOTES:**
- Score joints every 6' (maximum), both directions (see Plan). Expansion joints every 25' (maximum). Locate expansion joints where paving abuts structures, curbs, walls, or existing paving.
 - Concrete to be 4000 PSI (28 days), light broom finish. 4" steel trowel all edges.
 - All walks and plaza's shall slope to drain (1.5% maximum cross slope). Coordinate with existing grades.

Concrete Paving

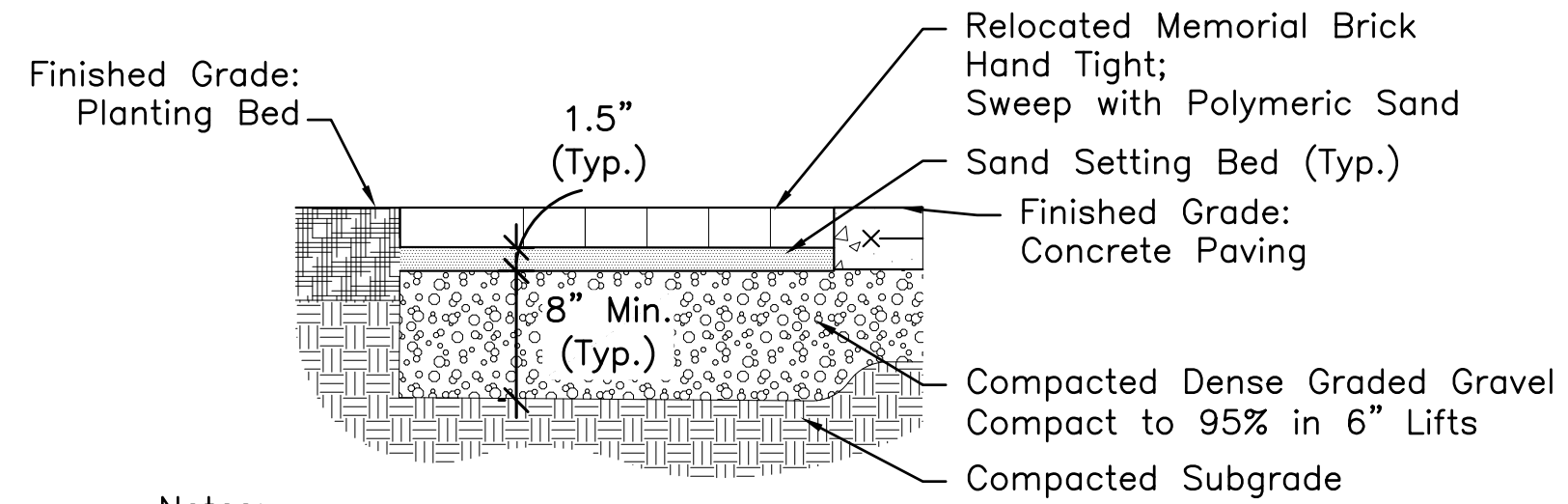
Scale: 1"=1'-0"



- NOTES:**
- Stone Dust to meet adjacent Finish Grade smoothly.
 - See Specifications. Provide sample for approval.
 - Contractor to ensure stone dust and all equipment used are free of vegetative matter and seeds.

Stone Dust Paving

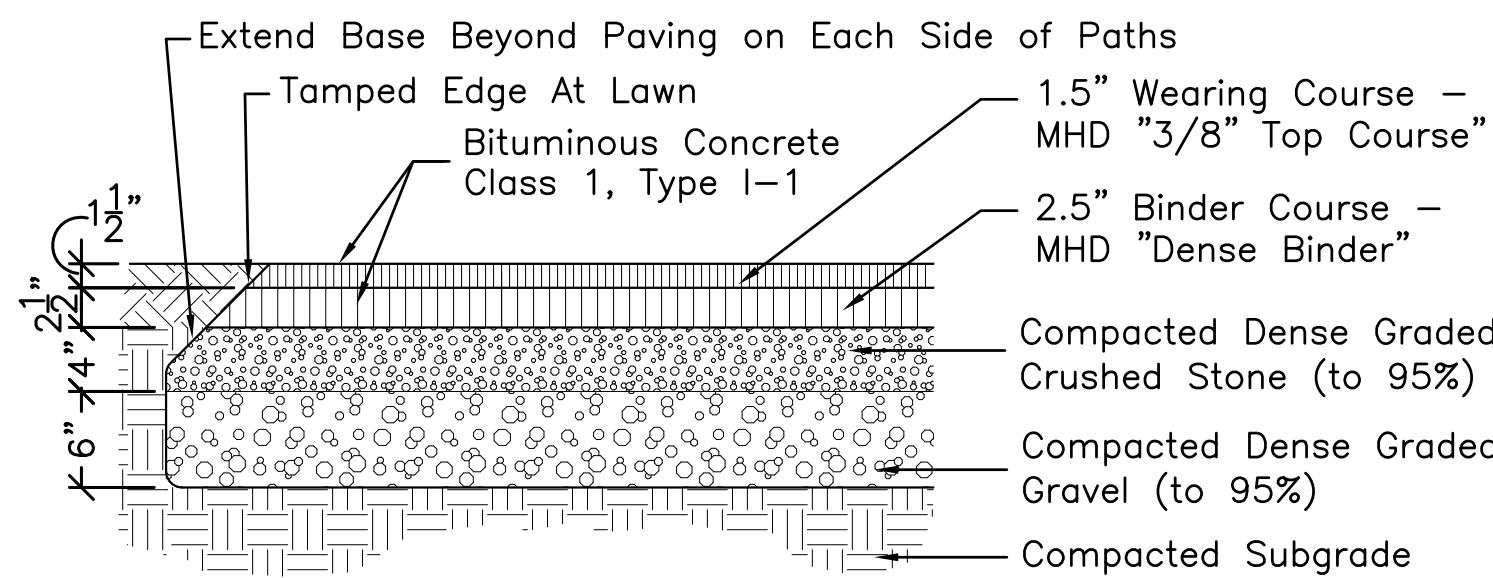
Scale: 1"=1'-0"



- Notes:**
- Bicks set on sand to meet grades at new concrete paving and planting beds. Review with Landscape Architect before sweeping with polymeric sand.

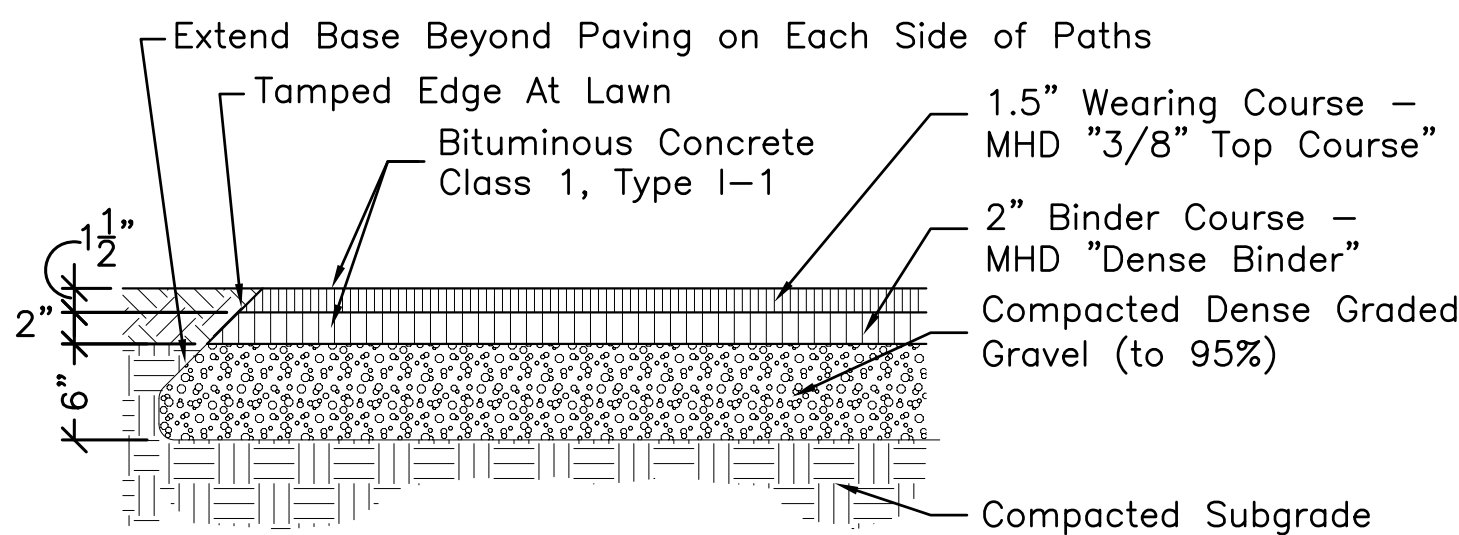
Reset Memorial Pavers on Sand Setting Bed

Scale: 1" = 1'-0"



Bit. Conc. Paving (Parking & Drives)

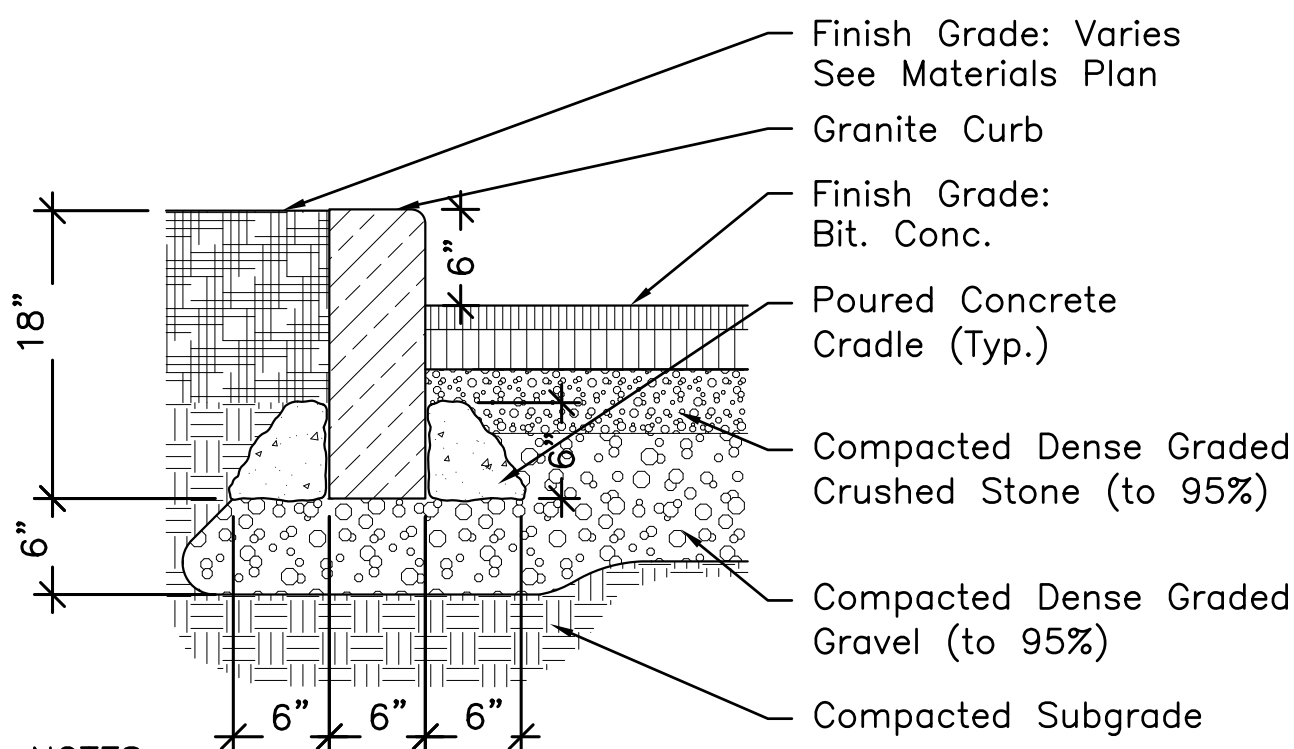
Scale: 1" = 1'-0"



- NOTE:**
- Where Bituminous Concrete abuts Poured Rubber Surface, Bit. Conc. shall be installed with a curved aluminum asphalt restraint; see Rubber Safety Surface detail (7/L8.1) for information, detail, and requirements.

Bituminous Concrete – Pathways

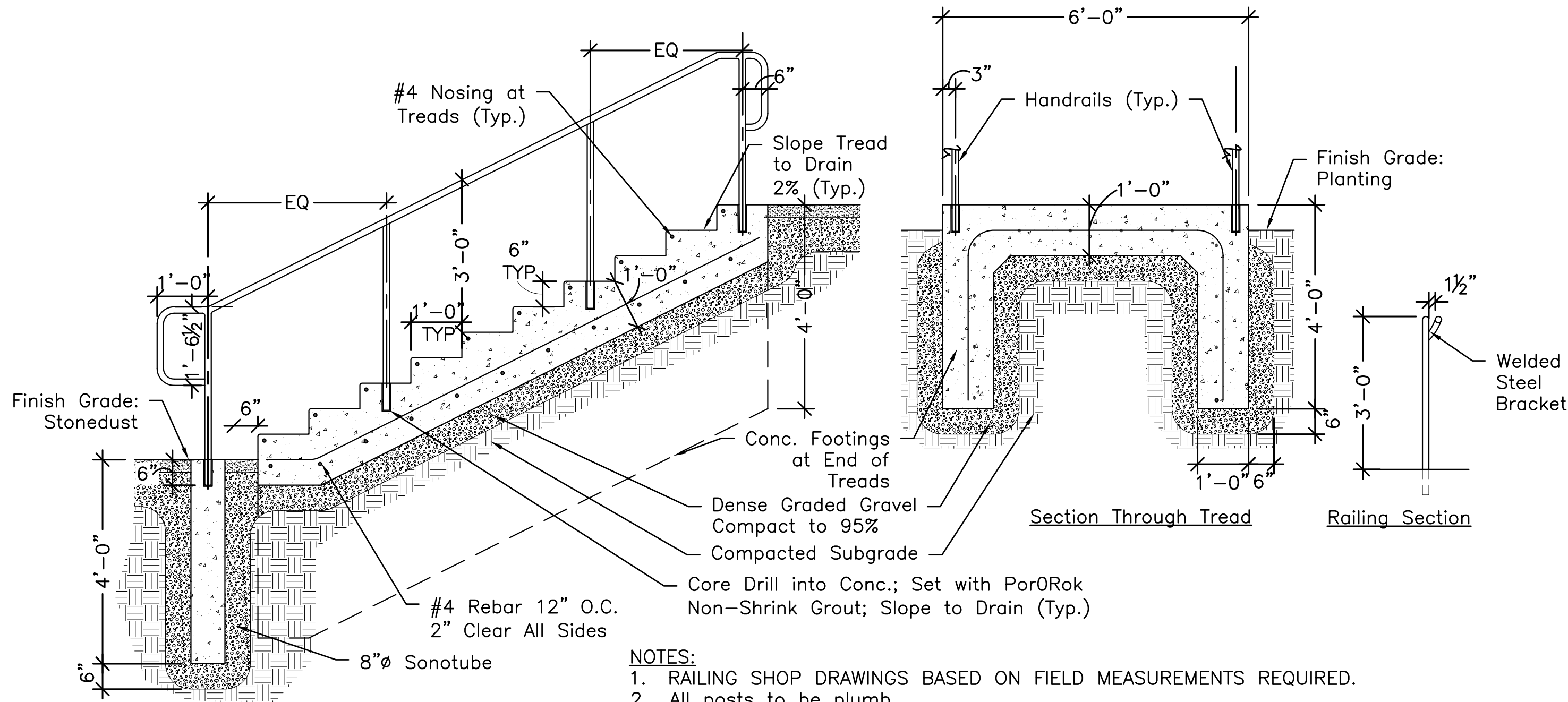
Scale: 1" = 1'-0"



- NOTES:**
- Provide sample for approval by Landscape Architect.

Granite Curb

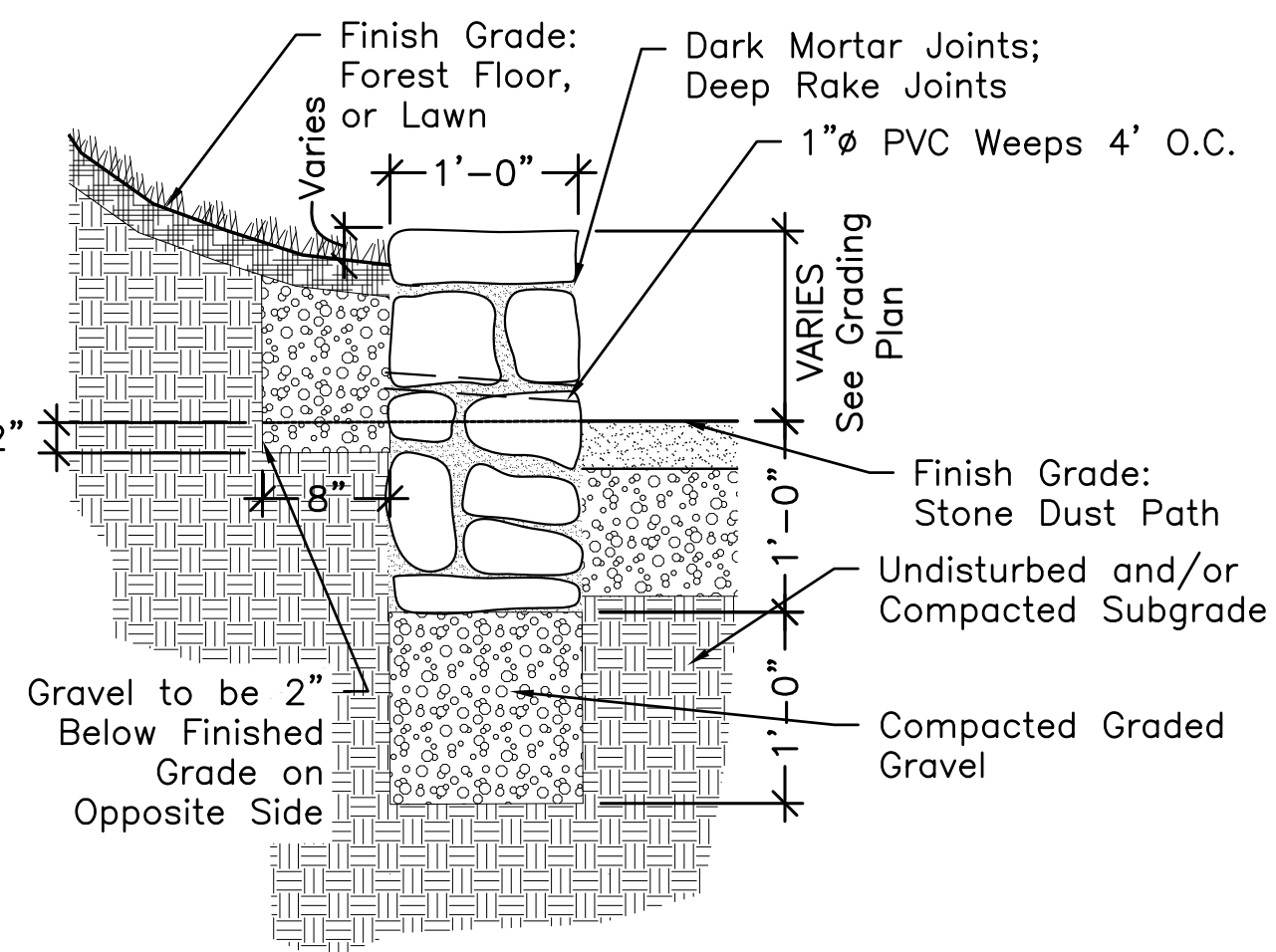
Scale: 1" = 1'-0"



- NOTES:**
- RAILING SHOP DRAWINGS BASED ON FIELD MEASUREMENTS REQUIRED.
 - All posts to be plumb.
 - All steel to be color galvanized Black; See Specs.
 - All welds to be full welds. Grind smooth all edges.

Concrete Steps with Metal Handrails

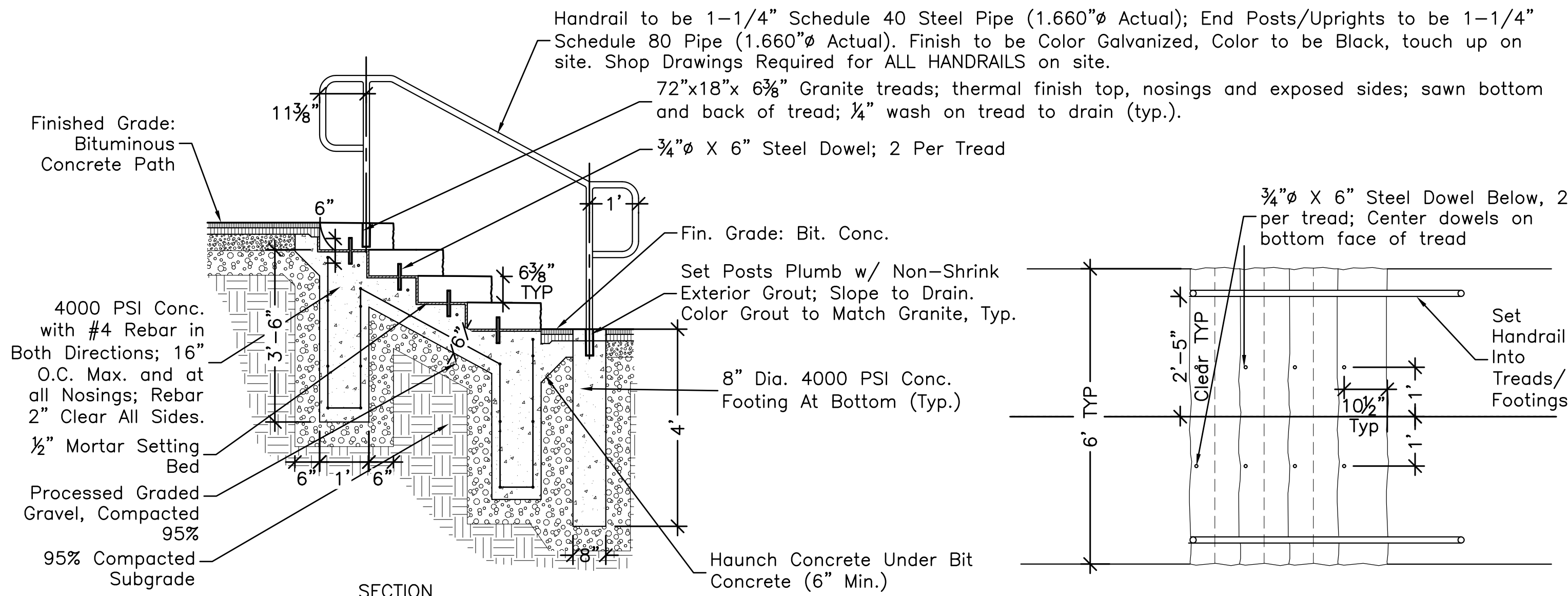
Scale: 1/2" = 1'-0"



- NOTES:**
- Supply sample of stone for approval. Landscape Architect to approve sample section of wall before constuction proceeds.

Low Fieldstone Retaining Wall

Scale: 1" = 1'-0"



- Notes:**
- Shop drawings based on field measurements required.
 - Granite to be "Woodbury Grey" by Swenson Granite or Approved Equal (See Specs).

Granite Steps with Handrails

1/2"=1'-0"

Improvements to Choate Park

Site Plan Submission

Details

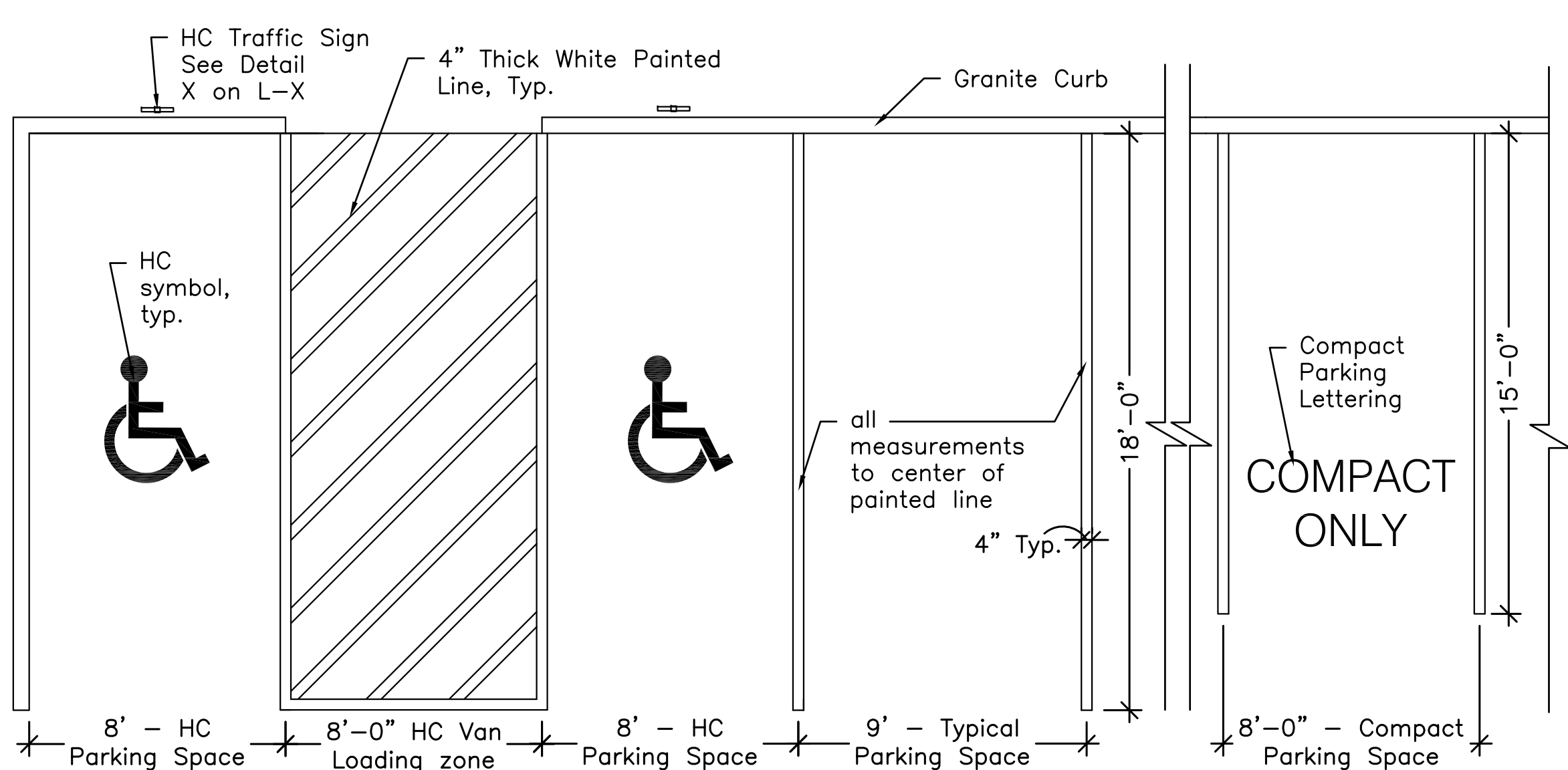
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phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

DATE: 08/17/2017
SCALE: AS NOTED
FILE: CHO-Details.dwg
DWN BY: AJK
CKD BY: DJC
PROJ. #: 1612a

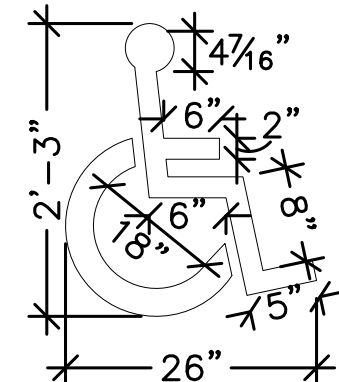


L9.0

FOR PERMIT ONLY



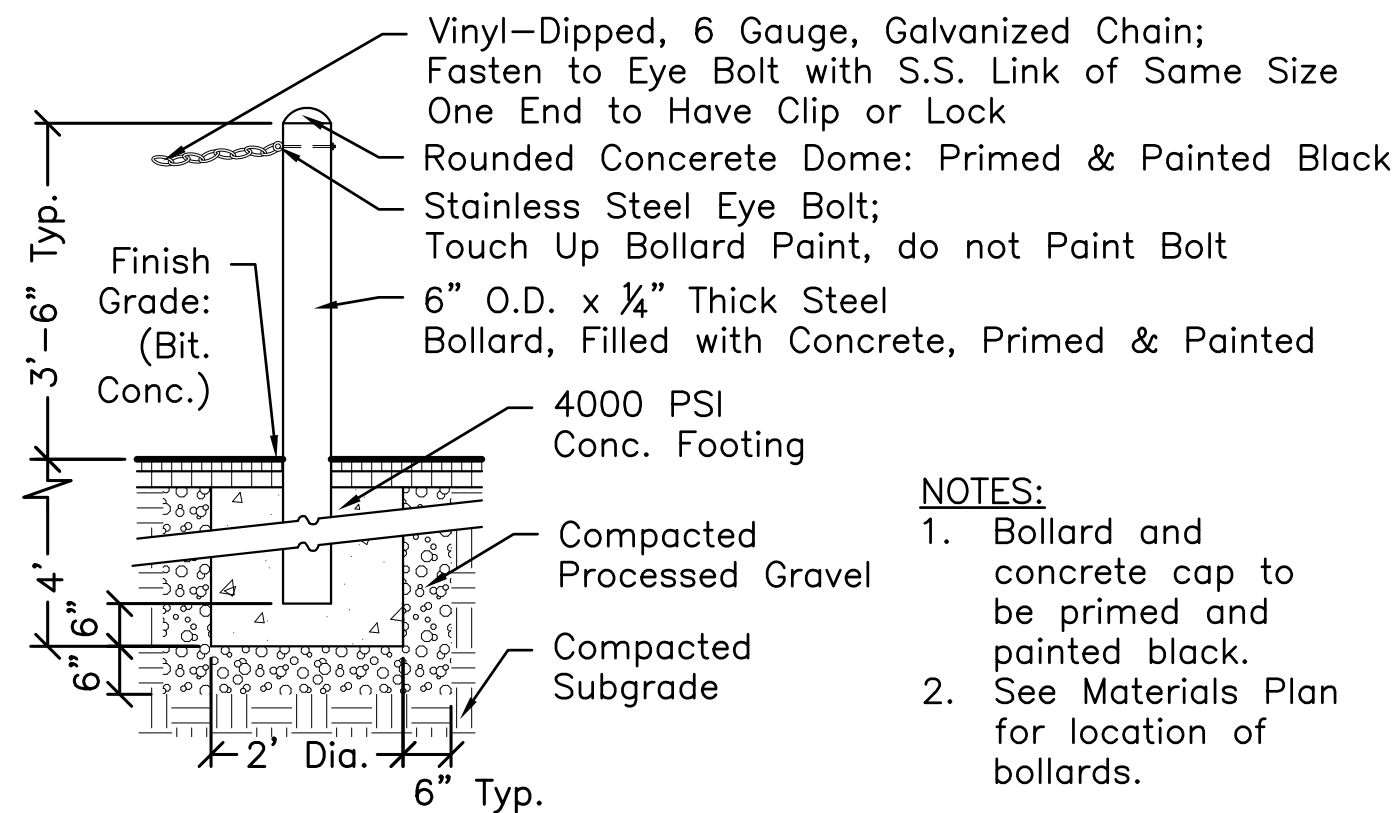
- Notes:**
1. All handicap parking shall be in conformance with the rules and regulations of the American's with Disabilities Act (ADA) and the Mass. Architectural Access Board (AAB).
 2. All Striping to be 4" wide painted white. refer to layout and materials plan for location of all pavement markings.



HC SYMBOL:
Not To Scale

Parking Striping Layout

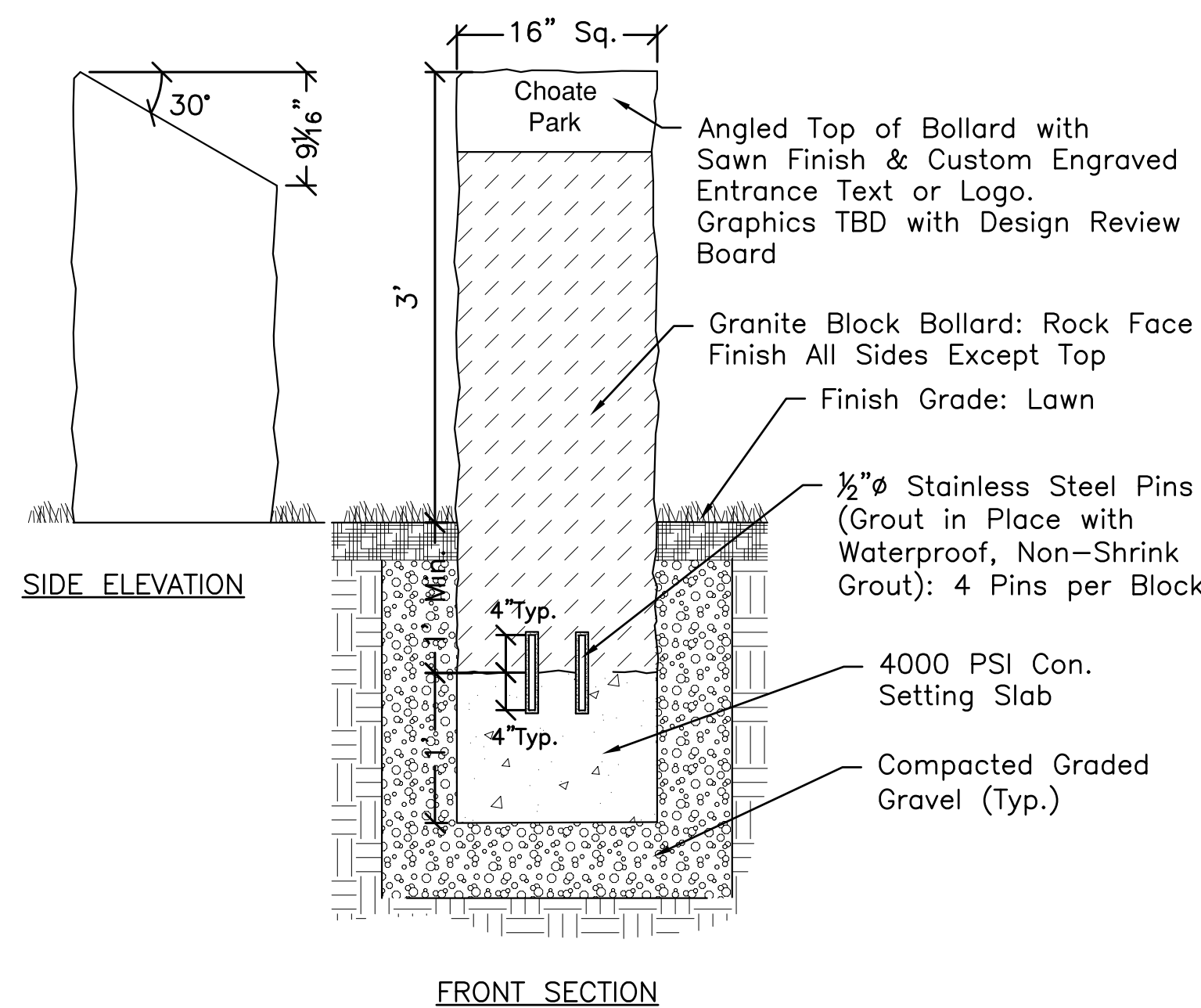
Scale: 1/4" = 1'-0"



- NOTES:**
1. Bollard and concrete cap to be primed and painted black.
 2. See Materials Plan for location of bollards.

Steel Bollard with Chain

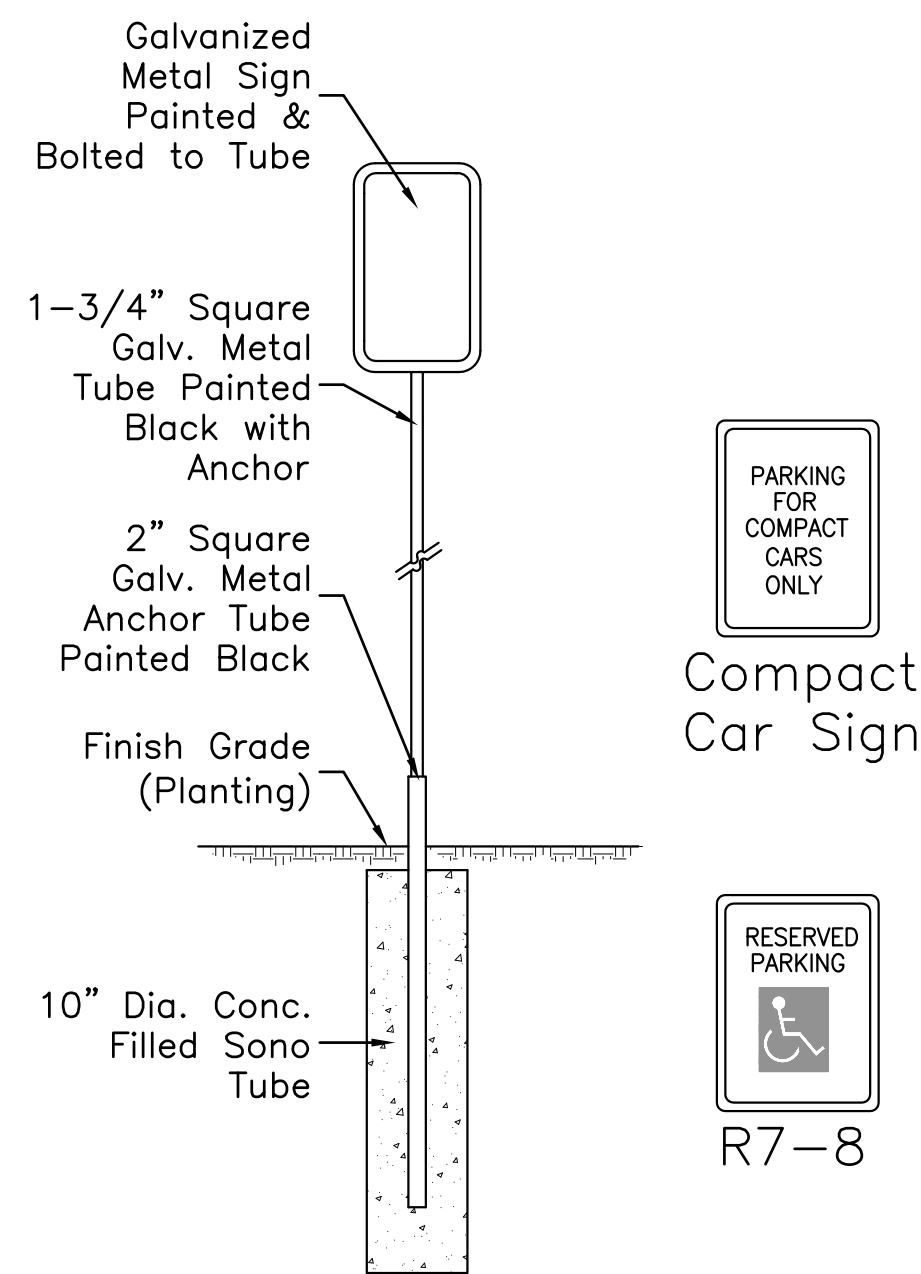
Scale: 1/2" = 1'-0"



- NOTES:**
1. SHOP DRAWINGS REQUIRED.
 2. Graphics for Signs to be custom engraved on angled sign face by granite fabricator, Graphics for each sign (2 total) to be provided by the Landscape Architect in production-ready digital format.
 3. Granite to be Woodbury Grey from Swenson Granite or approved equal.

Entry Bollard

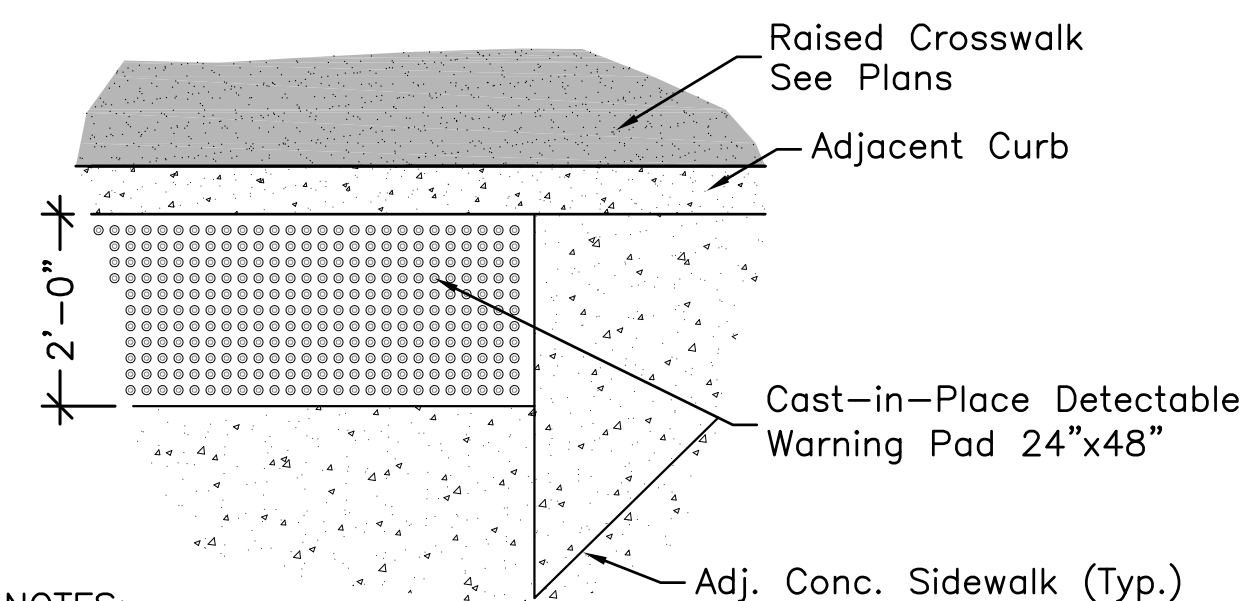
Scale: 1"=1'-0"



- NOTES:**
1. Sign to be type R7-8 sign (18" x 12") , or compact car parking sign (18" x 12") and to conform with the Manual on Uniform Traffic Control Devices (latest edition), or as noted.

Parking Signs

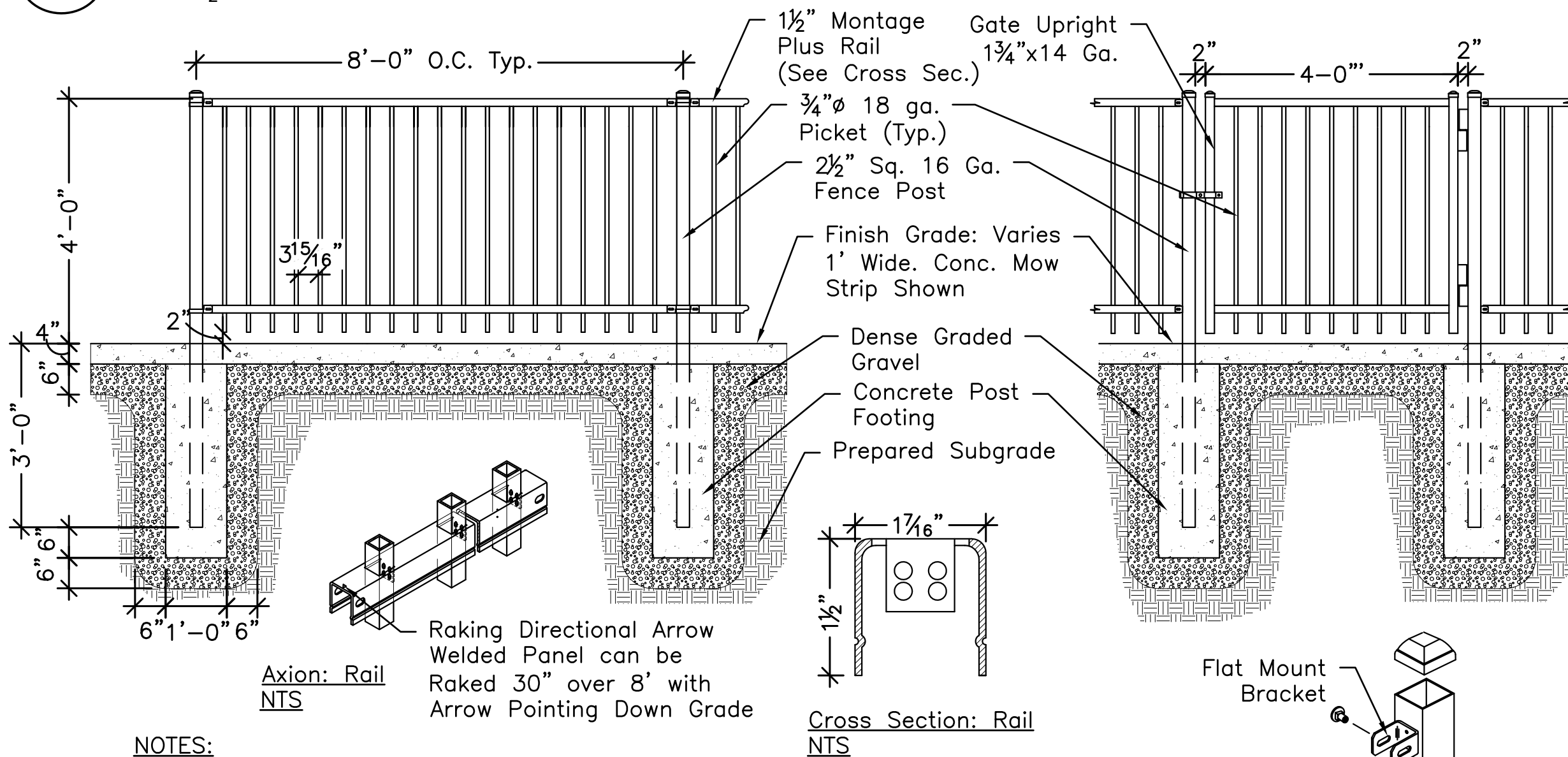
N.T.S



- NOTES:**
1. All Pads to be Federal Color #20109, Submit Sample for approval.
 2. Detectable Warning Pads in permanent sidewalks to be set atop 4" concrete slab, cast into place per manufacturer's instructions.
 3. Install new Curb Ramps and Tactile Warning Panels on both sides of street; meet existing curbs. Crosswalk striping by others.

Detectable Warning Panel

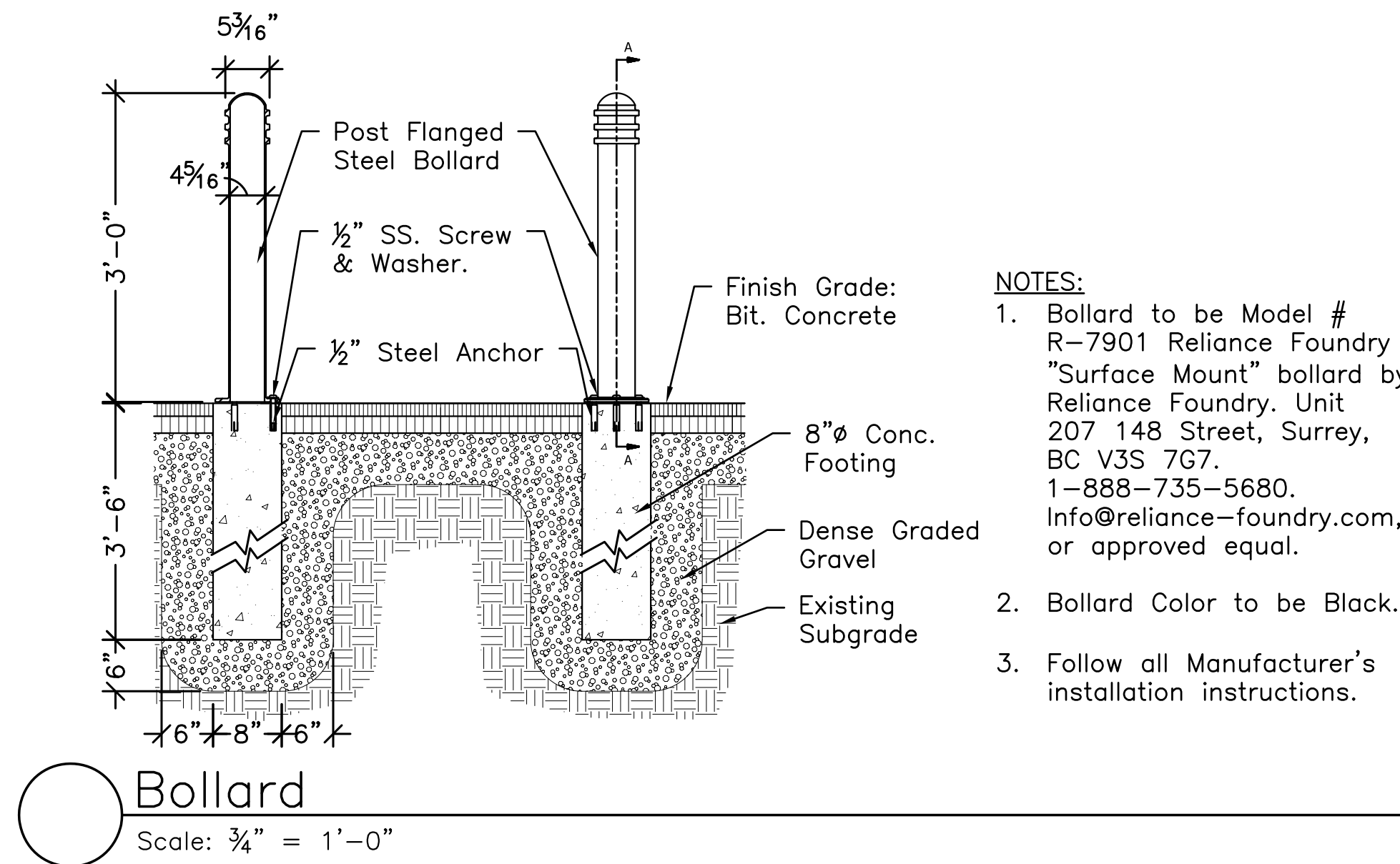
Scale: 1/2" = 1'-0"



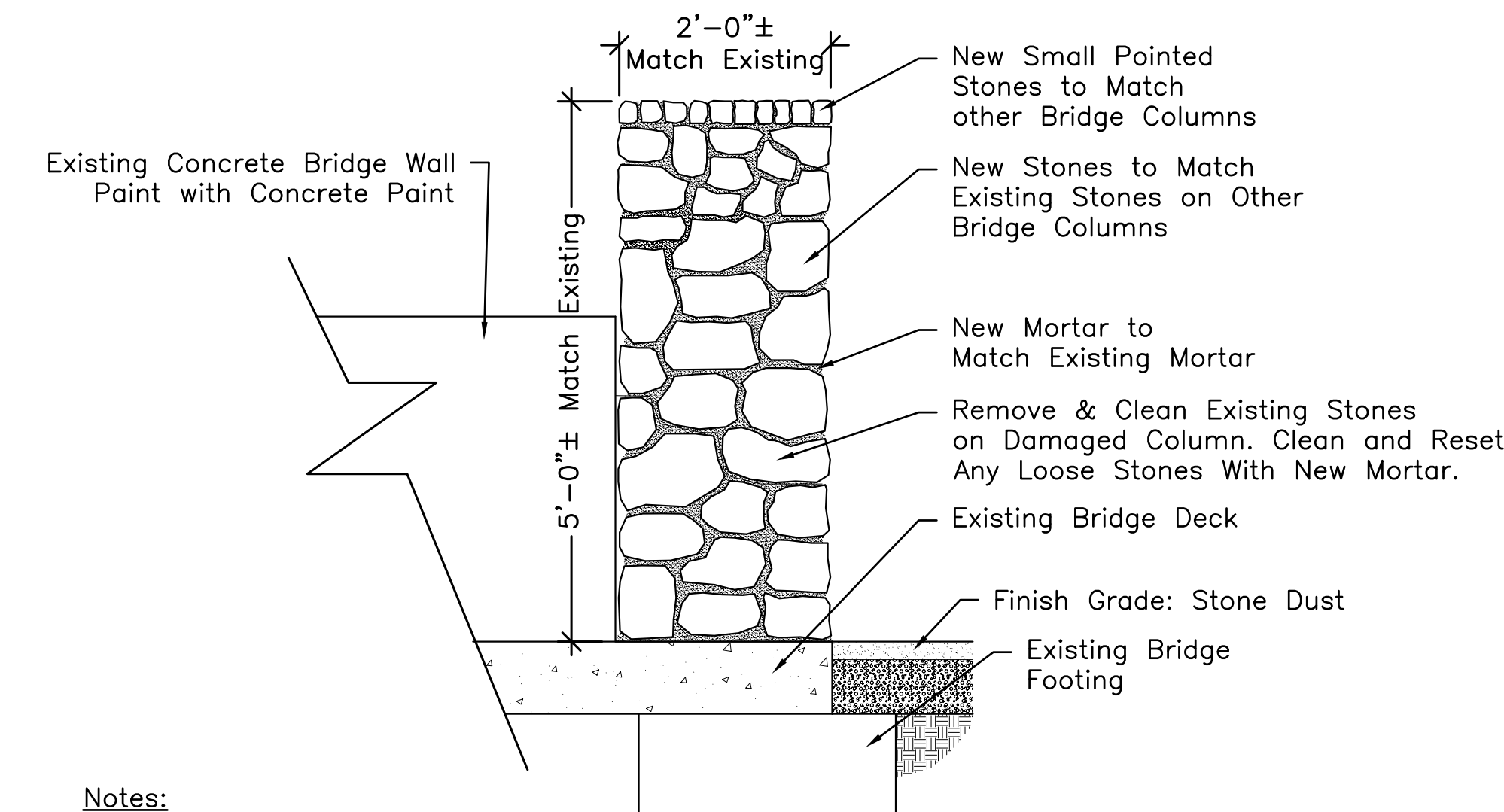
- NOTES:**
1. SHOP DRAWINGS REQUIRED.
 2. Concrete mow strip to be 1' wide centered on fence posts.
 3. Fence to be Montage Majestic Commercial Welded Steel Fence by Ameristar Fencing (Or Approved Equal.) Phone:1-888-333-3422.
 4. Follow all manufacturer's specifications and installation instructions.

4' Ht. Fence & Gate

Scale: 1/2" = 1'-0"



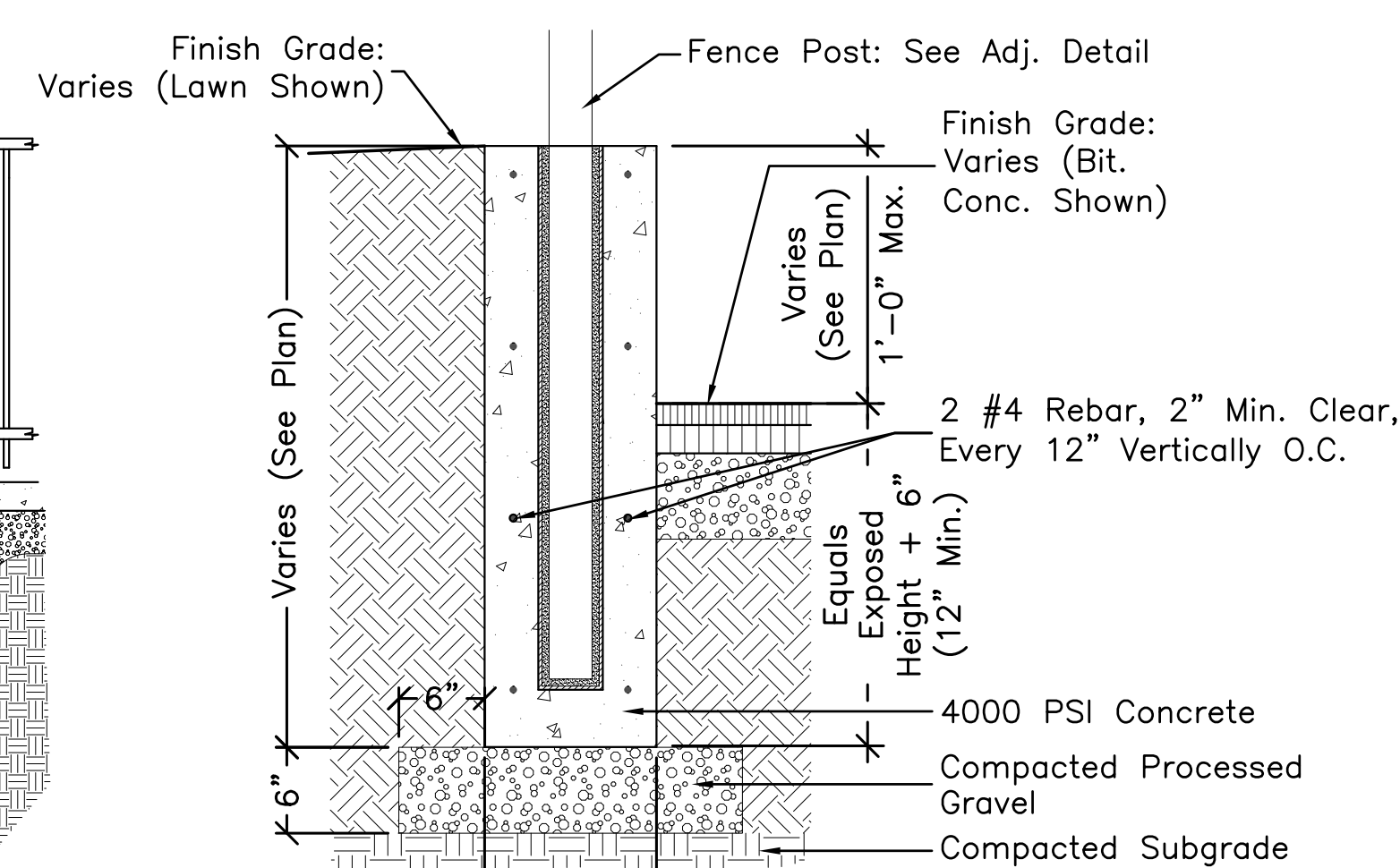
- NOTES:**
1. Bollard to be Model # R-7901 Reliance Foundry "Surface Mount" bollard by Reliance Foundry. Unit 207 148 Street, Surrey, BC V3S 7G7. 1-888-735-5680. Info@reliance-foundry.com, or approved equal.
 2. Bollard Color to be Black.
 3. Follow all Manufacturer's installation instructions.



- Notes:**
1. Shop Drawings Required
 2. Salvage, Clean and Reuse loose stones from damaged column. Clean all loose stones of mortar and other debris prior to rebuilding.
 3. New stones to match adjacent bridge columns in size, form, and color. Contractor to submit sample of new stones for approval by Landscape Architect.
 4. New mortar to match existing mortar on adjacent columns. Contractor to submit mortar sample for approval by Landscape Architect.
 5. Contractor to submit product literature and full range of colors for concrete paint. See specifications.

Rebuild Existing Stone Column at Bridge

Scale: 3/4" = 1'-0"



- NOTES:**
1. Score joints to be centered between posts. Locate expansion joints where edging abuts structures, walls, or other paving.
 2. Concrete to be 4000 PSI (28 days) with light broom finish on top surface. Rubbed finish on exposed sides.

Thickened Concrete Mow Strip

Scale: 1" = 1'-0"

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Improvements to Choate Park

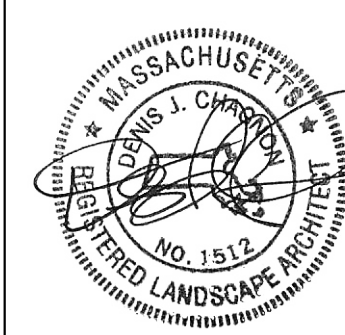
Site Plan Submission
Details

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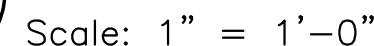
DATE: 08/17/2017
SCALE: AS NOTED
FILE: CHO-Details.dwg
DWN BY: AJK
CKD BY: CCB
PROJ. #: 1612a



L9.1



- ## Perspective



- SCALE: $3/4" = 1'-0"$

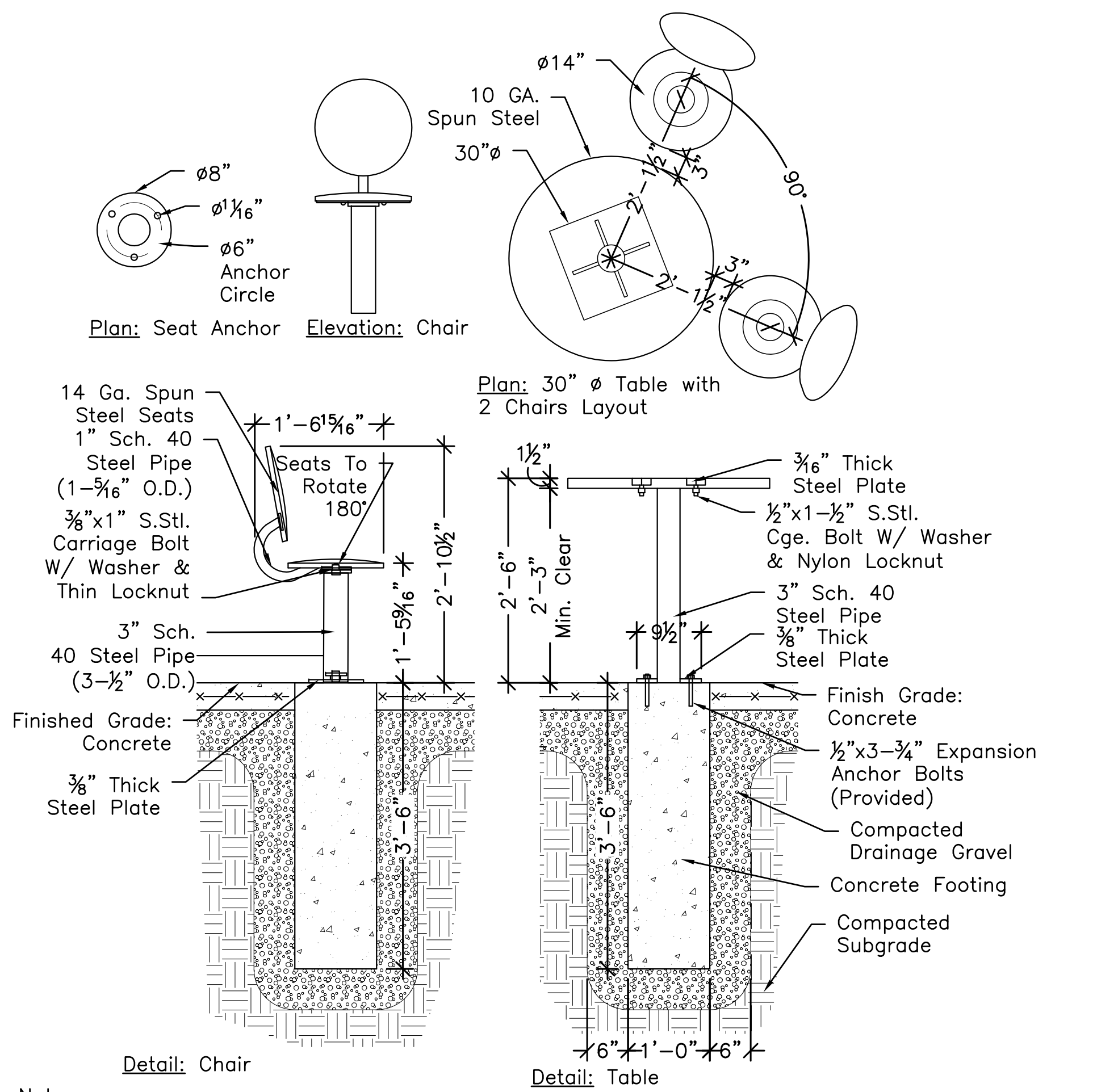


- SCALE: 3/4" = 1'-0"



- SCALE: 3/4" = 1'-0"

- Scale: $3/4" = 1'-0"$



- Notes:**
1. SHOP DRAWINGS REQUIRED.
 2. Tables are by DuMor Site Furnishings Inc., Table Model Number: 68-537-02. Chair Model Number: 69-403-01. Powdercoat colors to be selected by Landscape Architect prior to ordering.
 3. Ease all corners of seating surface to rounded ($\frac{1}{8}$ " Min. Radius).

Circular Table & Swivel Chairs

Scale: $\frac{3}{4}$ " = 1'-0"



- Notes:**
1. Existing entrance sign to be removed and reinstalled, see materials plan for location.
 2. Entrance Sign to be reinstalled in the same manner as it is currently installed.

Relocated Entrance Sign

Scale: $\frac{1}{2}$ " = 1'-0"



- Notes:**
1. Existing Bulletin Boards at the existing playground to be removed and reinstalled. See Materials plan for locations.
 2. Bulletin Boards are to be reinstalled in the same manner as they are currently installed.

Relocated Bulletin Boards

Scale: $\frac{1}{2}$ " = 1'-0"



- Notes:**
1. Existing Little Free Library at existing playground to be removed and reinstalled. See Materials plan for location.
 2. Little Free Library to be reinstalled in the same manner as it is currently installed.

Relocated Little Free Library

Scale: $\frac{1}{2}$ " = 1'-0"



- Notes:**
1. Existing boulder to be removed and reinstalled, see materials plan for location.
 2. Boulder to be reinstalled in the same manner as it is currently installed.

Relocated Dedication Boulder

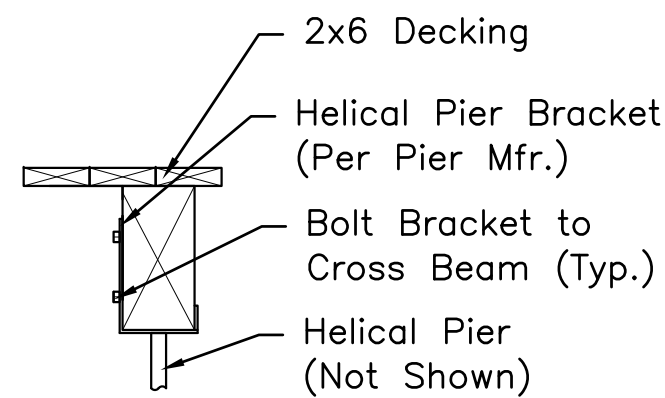
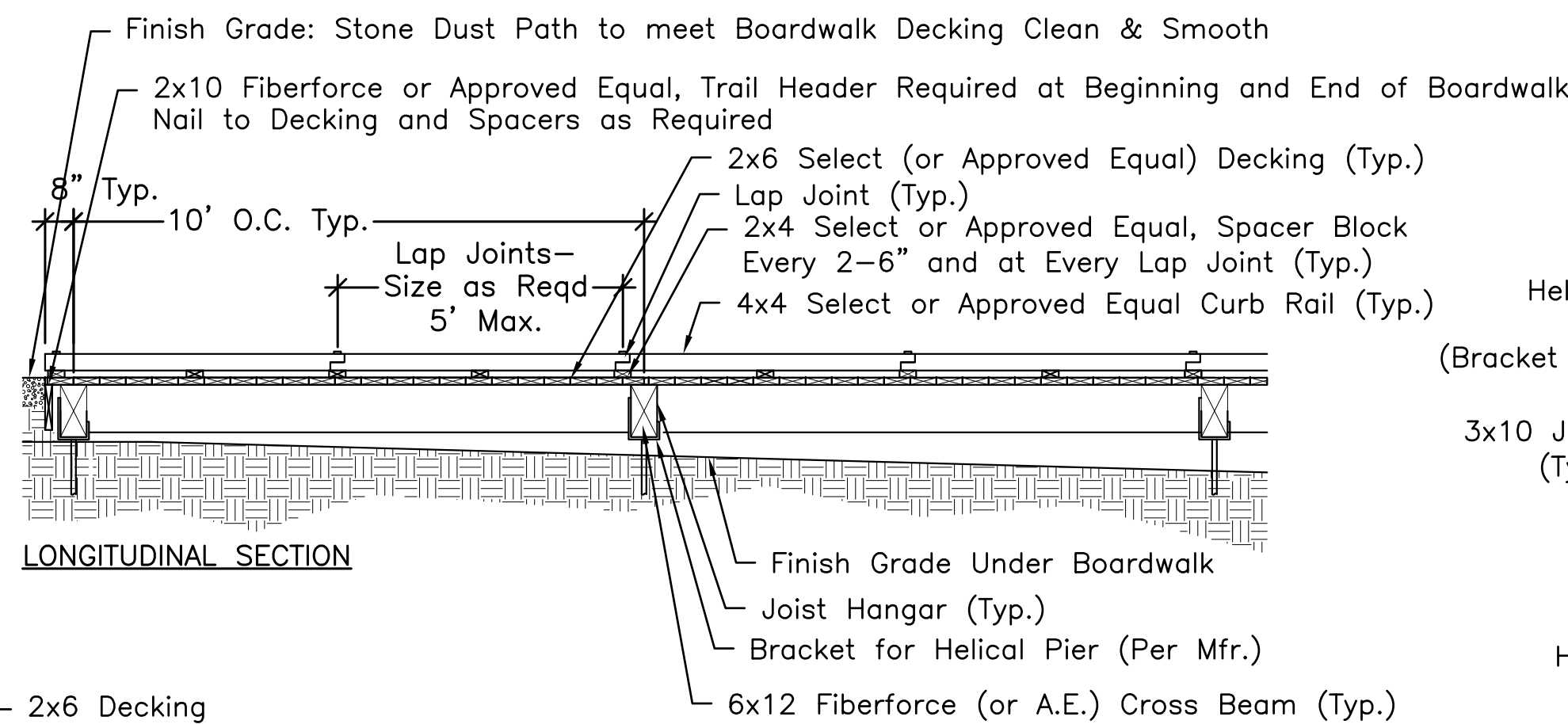
Scale: $\frac{1}{2}$ " = 1'-0"



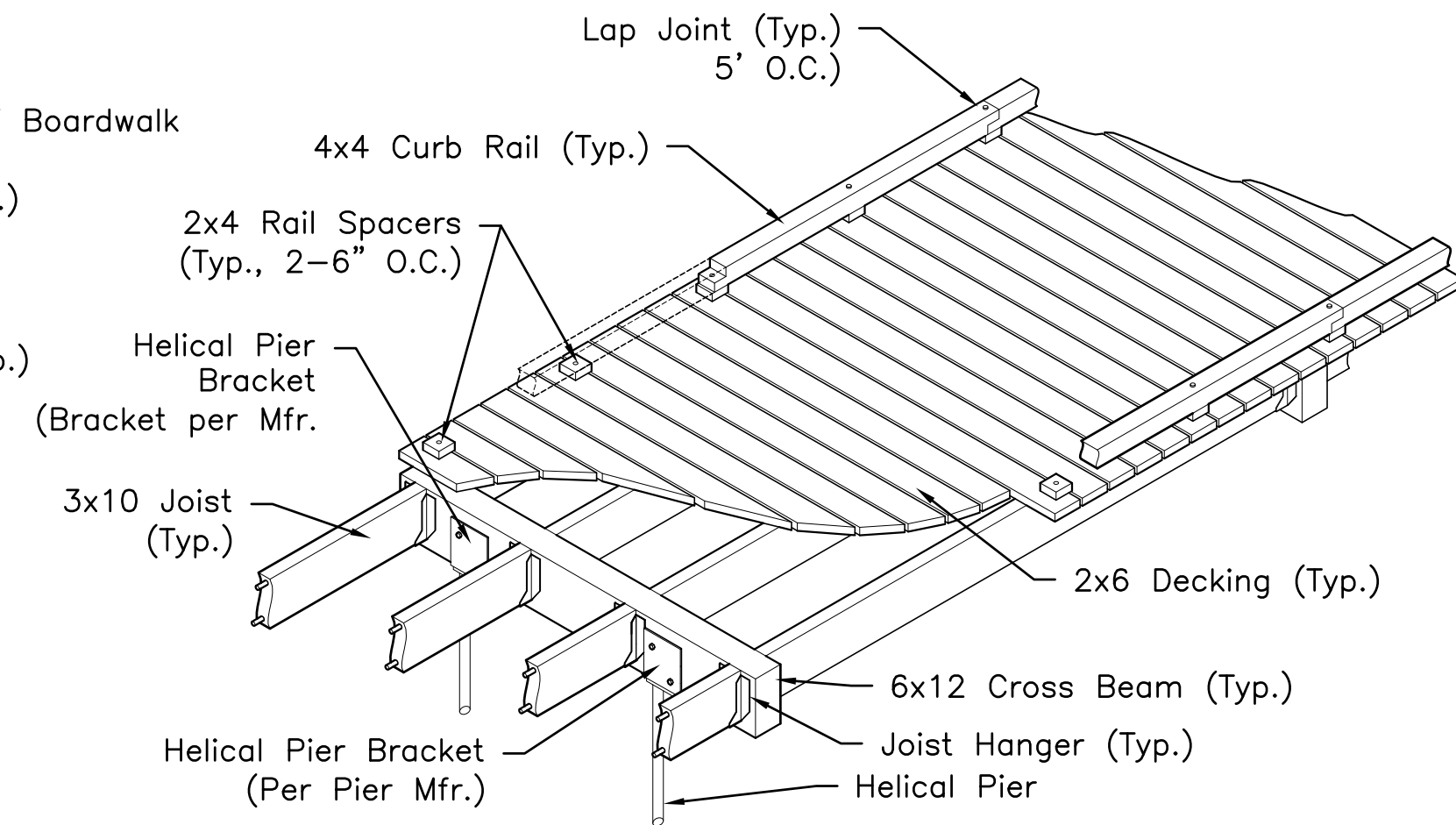
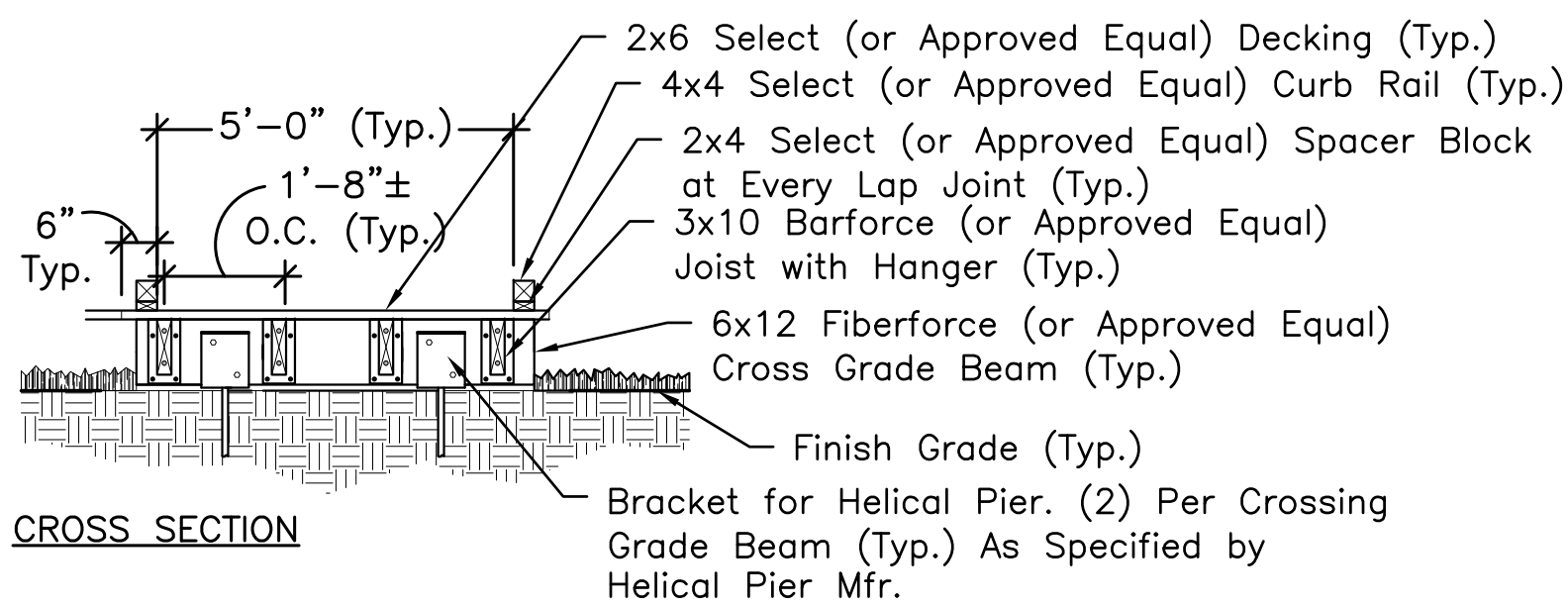
- Notes:**
1. Existing Memorial Bench to be removed and reinstalled, see materials plan for location.
 2. Bench to be reinstalled in the same manner as it is currently installed.

Relocated Memorial Bench

Scale: $\frac{1}{2}$ " = 1'-0"



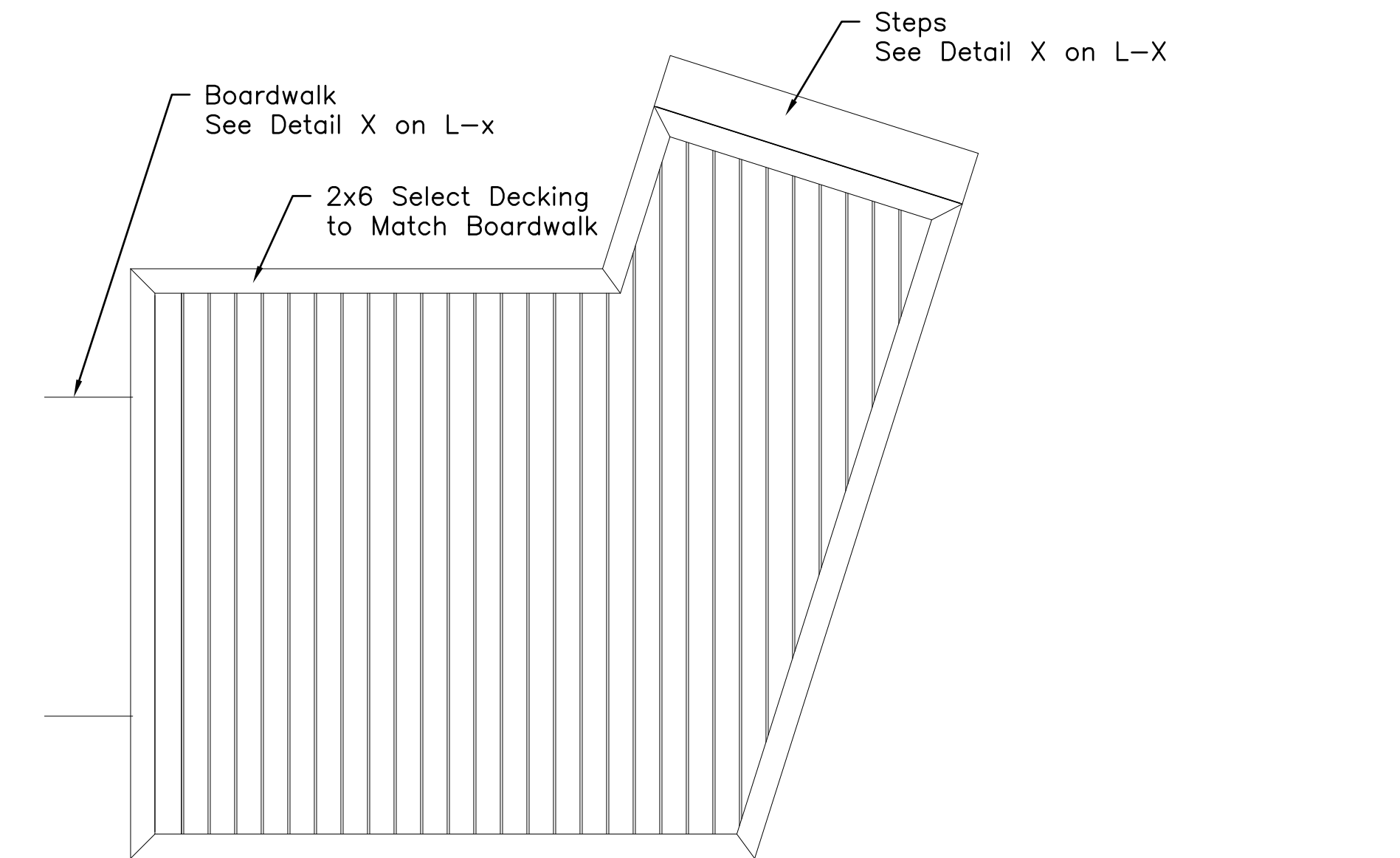
| FUNCTION | DIM. | LENGTH |
|----------------|--------|--------|
| CURB RAIL | 4"x4" | 5'-0"± |
| SPACER BLOCK | 2"x4" | 4" |
| DECKING | 2"x6" | 7'-0" |
| JOIST - EDGES | 3"x10" | 9'-7"± |
| JOIST - CENTER | 3"x10" | 9'-7"± |
| CROSS BEAMS | 6"x12" | 6'-6" |
| TRAIL HEADER | 2"x10" | 6'-6" |



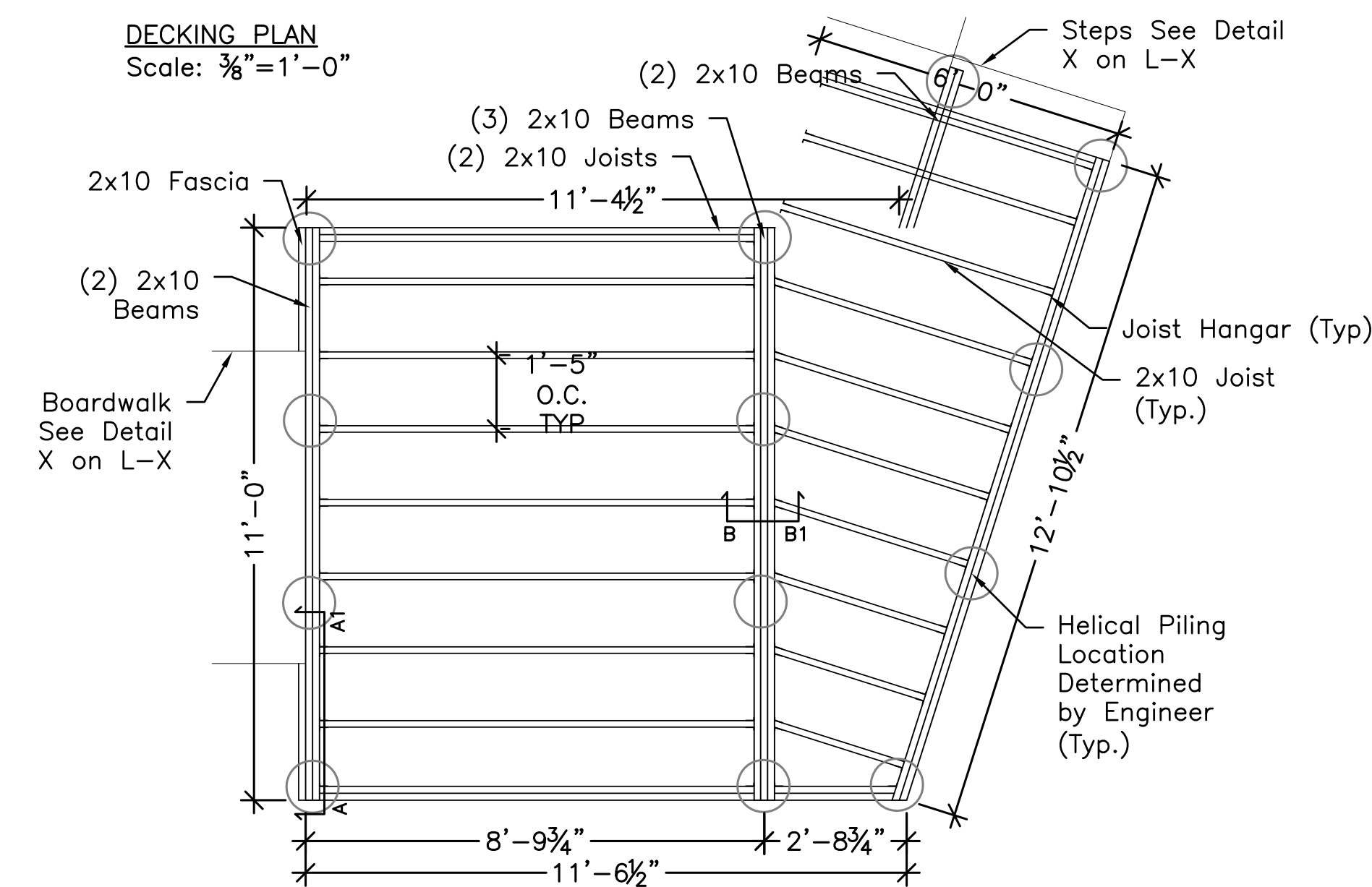
NOTES:

1. "Select" members shall be HDPE Recycled Plastic Lumber with at least 85% recycled content, "Select" by Bedford Technology, 2424 Armour Road, PO Box 609, Worthington, MN 56187-0609, Phone (507) 372-5558, or Approved Equal. Decking to have Simulated Wood Grain Top Surface.
2. "Fiberforce" members shall be HDPE Structural-Grade Recycled Plastic Lumber with at least 85% recycled content and added fiberglass strands for increased stiffness, "Fiberforce" by Bedford Technology or Approved Equal.
3. "Barforce" members shall be HDPE Structural-Grade Recycled Plastic Lumber with at least 85% recycled content, added fiberglass strands for increased stiffness, and two (2) $\frac{3}{4}$ " Full-Length Fiberglass Reinforced Polymer Rods, "Barforce" by Bedford Technology or Approved Equal.
4. Color for all members to be "Mink" by Bedford Tech. or approved equal.
5. Helical Pilings to be selected by Contractor. Submit product literature, piling details, and piling plan for approval by Landscape Architect. Piling details and layout plan to be stamped by a MA Licensed Structural Engineer.

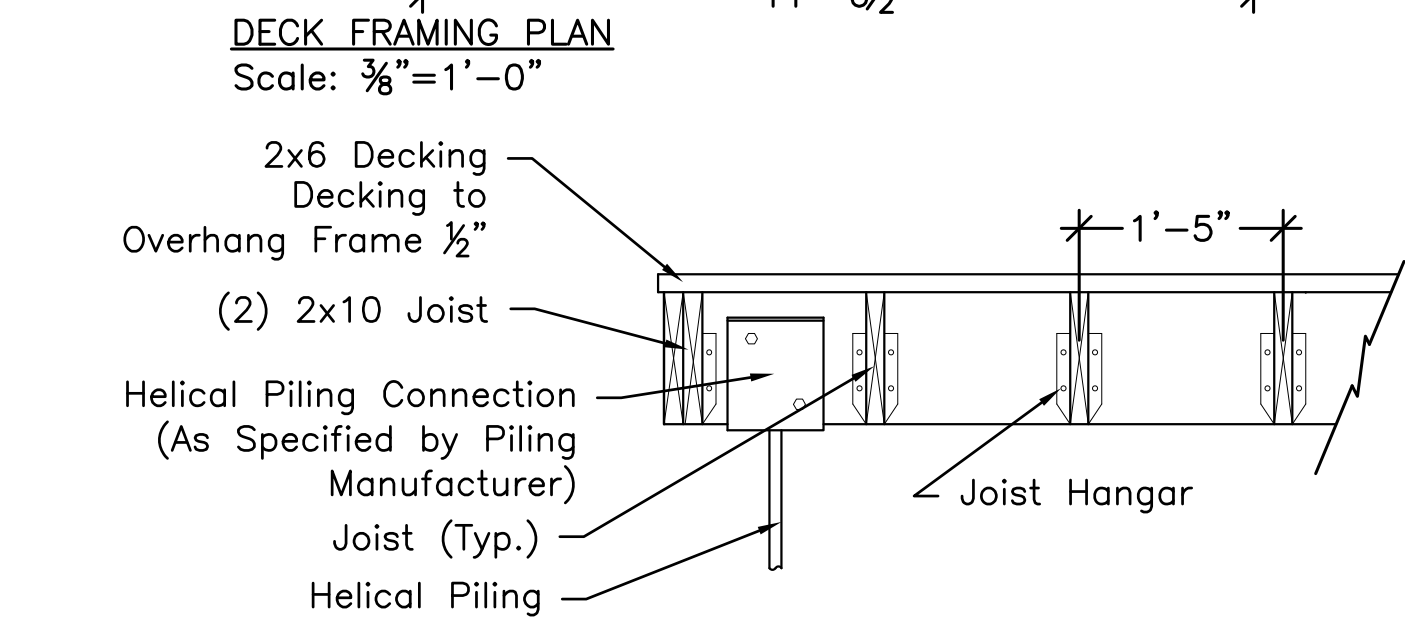




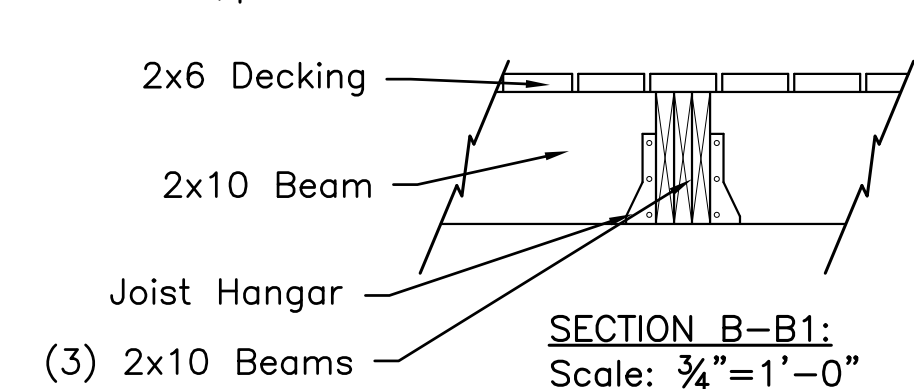
DECKING PLAN
Scale: 3/8"=1'-0"



DECK FRAMING PLAN
Scale: 3/8"=1'-0"



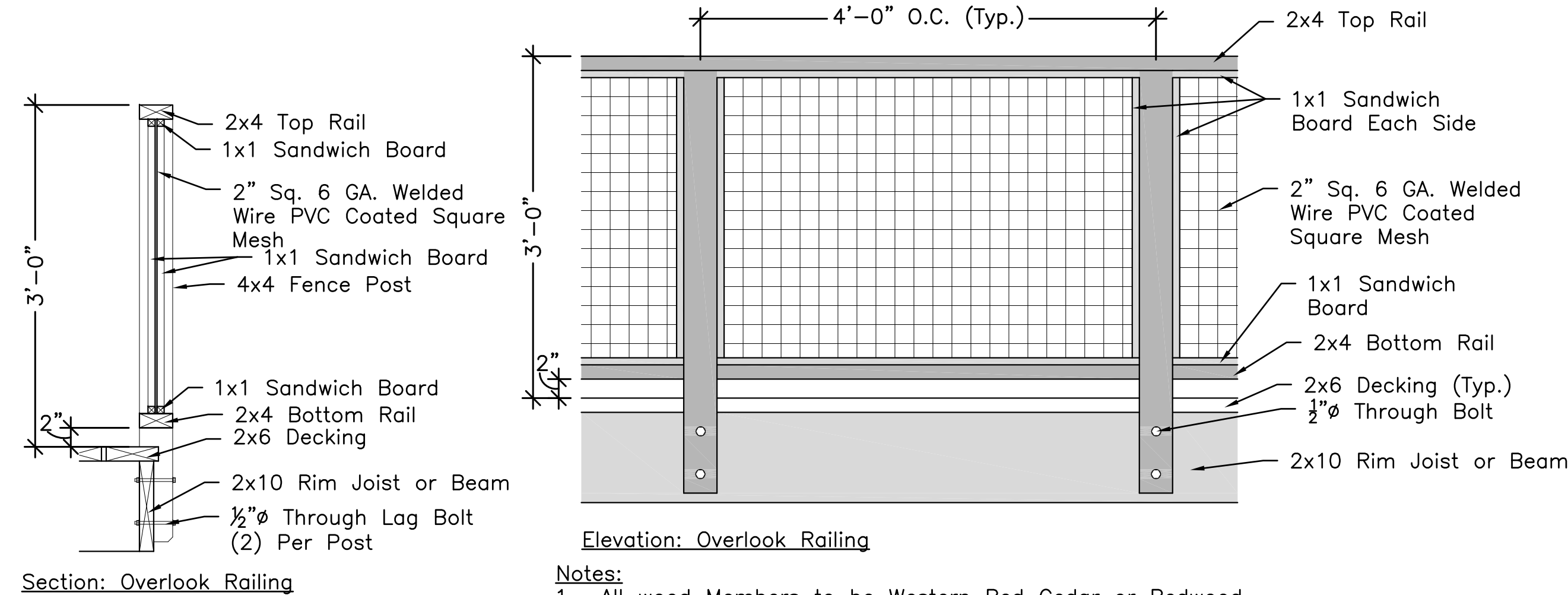
SECTION A-A1:
Scale: 3/4"=1'-0"



NOTES:

- 1."Select Decking" members shall be HDPE Recycled Plastic Lumber with at least 85% recycled content, "Select" by Bedford Technology, 2424 Armour Road, PO Box 609, Worthington, MN 56187-0609, Phone (507) 372-5558, or Approved Equal. Decking to have Simulated Wood Grain Top Surface.
- 2.2x10 Joists and Beams are to be pressure treated lumber. Contractor to submit product literature for approval by Landscape Architect.
- 3.Color for all members to be "Mink" by Bedford Tech, or approved equal.
- 4.Helical Piling to be selected by Contractor. Submit product literature, piling details, and piling plan for approval by Landscape Architect. Piling details and layout plan to be stamped by a MA Licensed Structural Engineer.
- 5.For Railings See Detail X on L-X.

Large Wooden Deck (Add Alternate)
Scale: 3/8" = 1'-0"

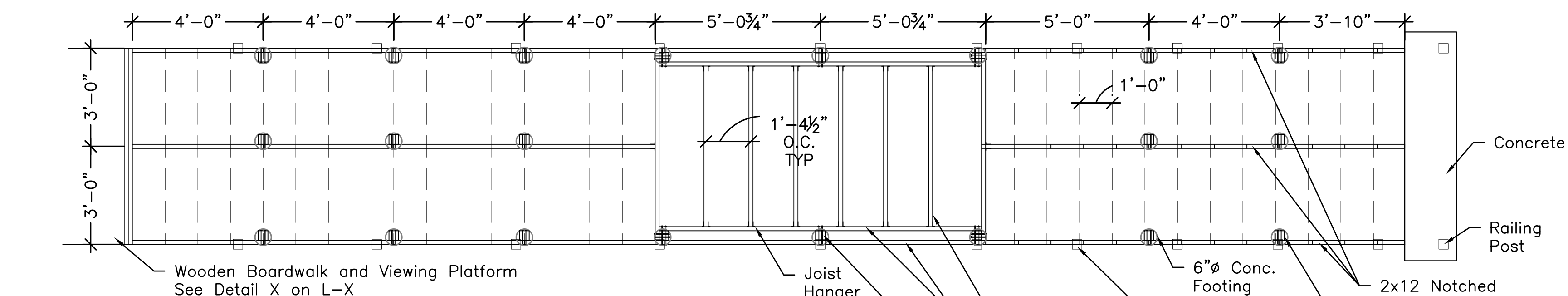


Elevation: Overlook Railing

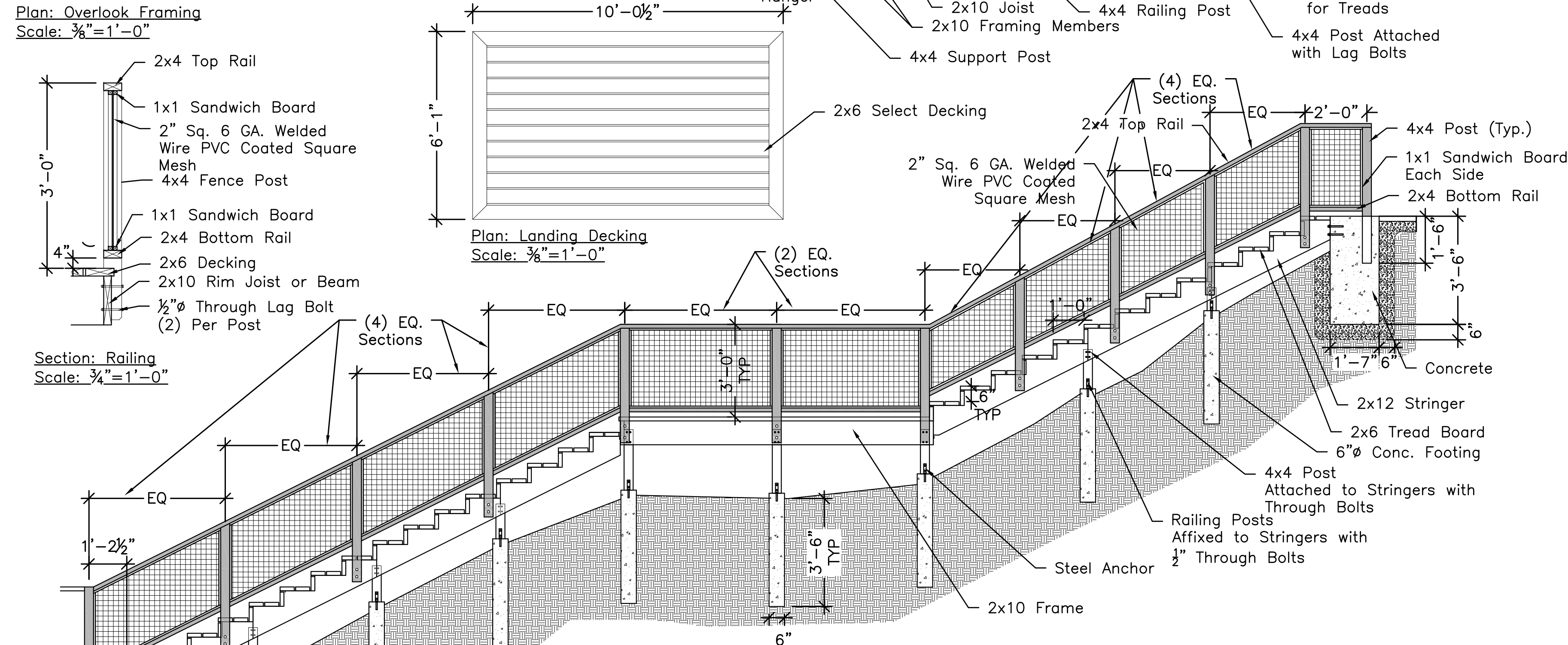
Notes:

1. All wood Members to be Western Red Cedar or Redwood.
2. Shop drawings Required. Shop drawings to be reviewed and stamped by a MA Licensed Structural Engineer.

Overlook Railing
Scale: 1" = 1'-0"

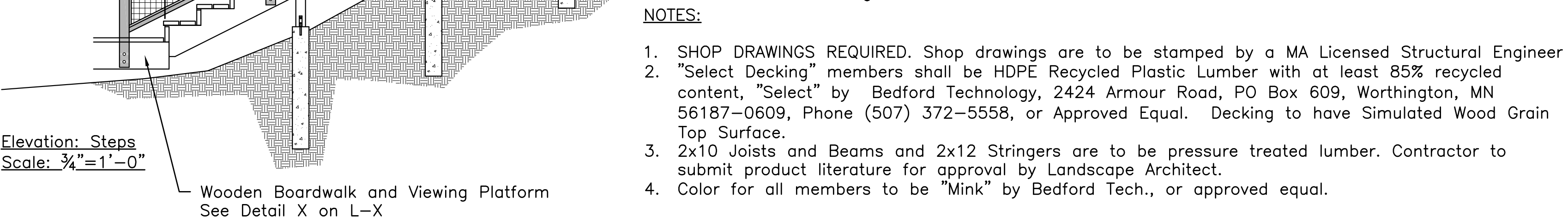


Plan: Overlook Framing
Scale: 3/8"=1'-0"



Plan: Landing Decking
Scale: 3/8"=1'-0"

Section: Railing
Scale: 3/4"=1'-0"

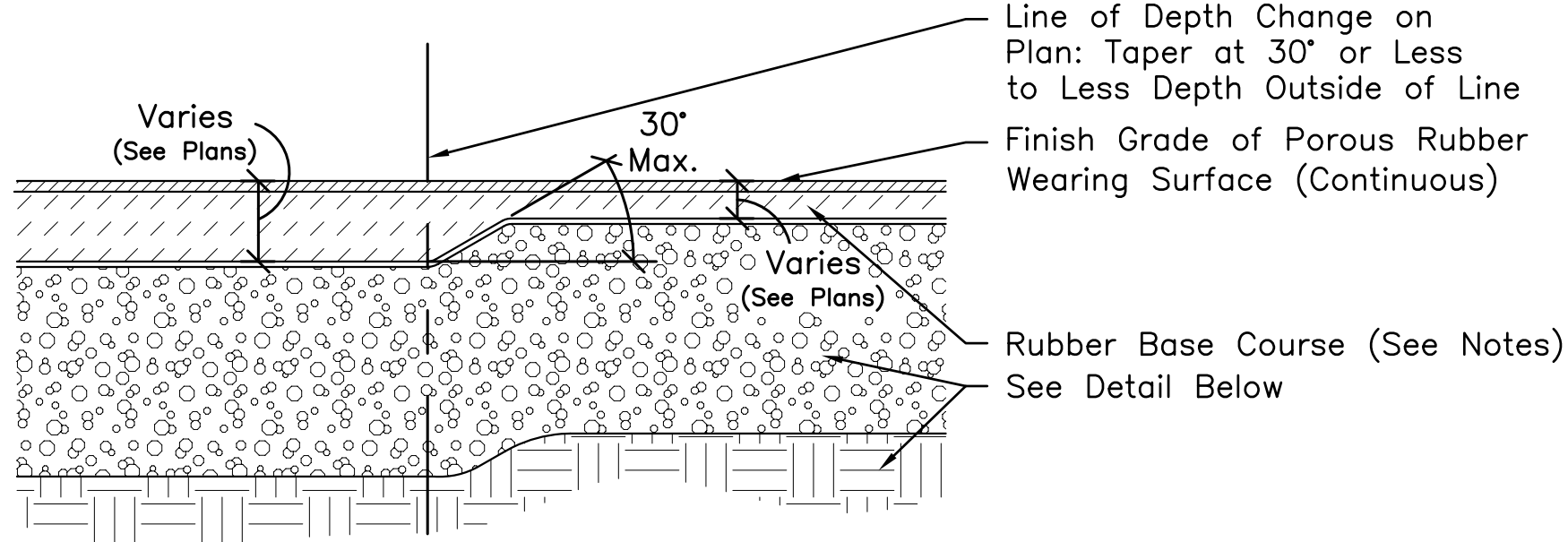


Elevation: Steps
Scale: 3/4"=1'-0"

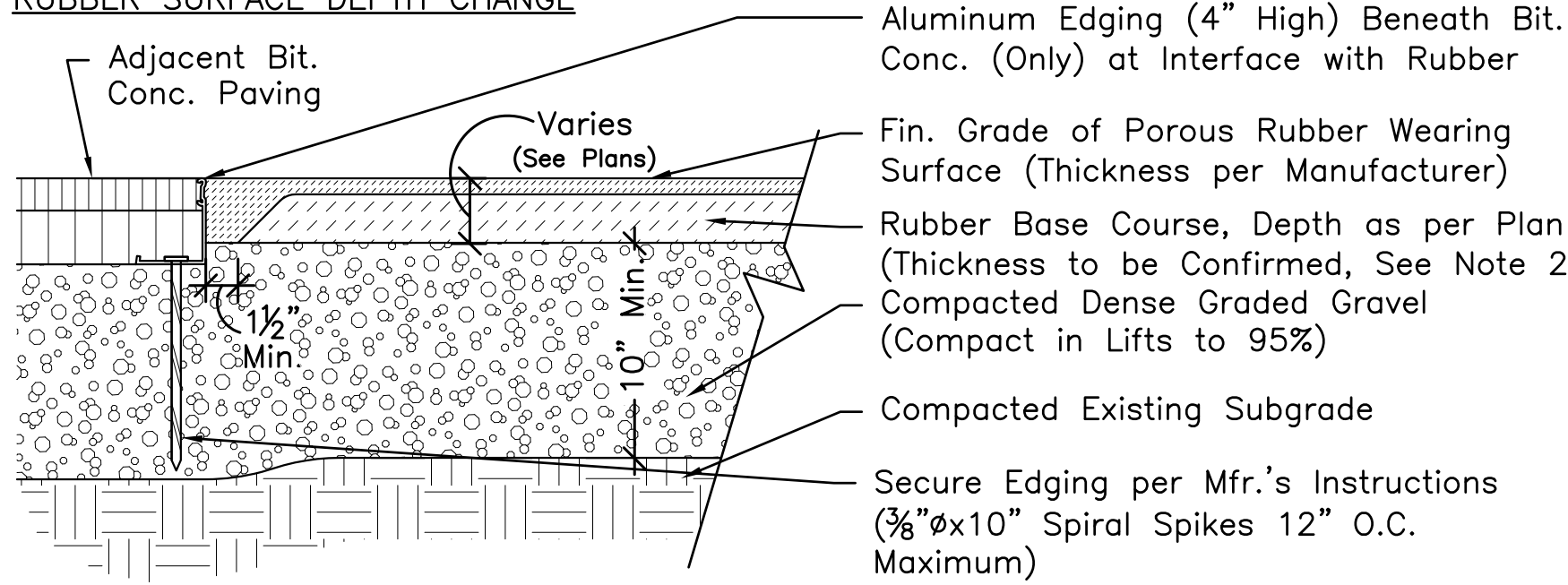
NOTES:

1. SHOP DRAWINGS REQUIRED. Shop drawings are to be stamped by a MA Licensed Structural Engineer
2. "Select Decking" members shall be HDPE Recycled Plastic Lumber with at least 85% recycled content, "Select" by Bedford Technology, 2424 Armour Road, PO Box 609, Worthington, MN 56187-0609, Phone (507) 372-5558, or Approved Equal. Decking to have Simulated Wood Grain Top Surface.
3. 2x10 Joists and Beams and 2x12 Stringers are to be pressure treated lumber. Contractor to submit product literature for approval by Landscape Architect.
4. Color for all members to be "Mink" by Bedford Tech., or approved equal.

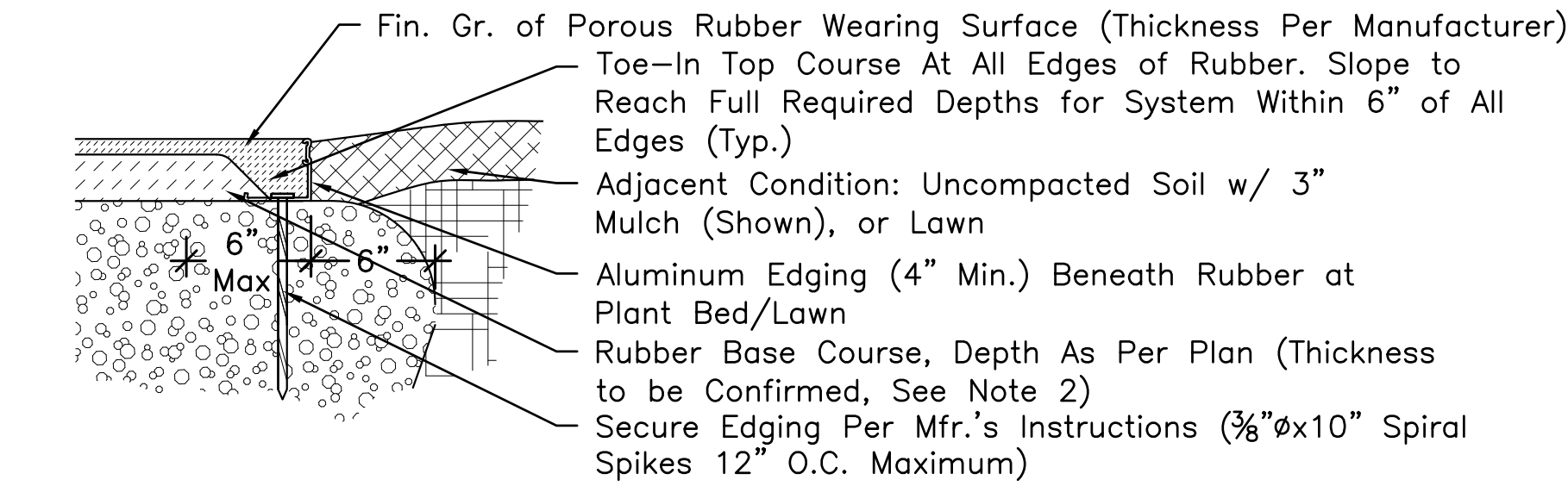
Wooden Steps with Landing (Add Alternate)
Scale: 3/8" = 1'-0"



RUBBER SURFACE DEPTH CHANGE



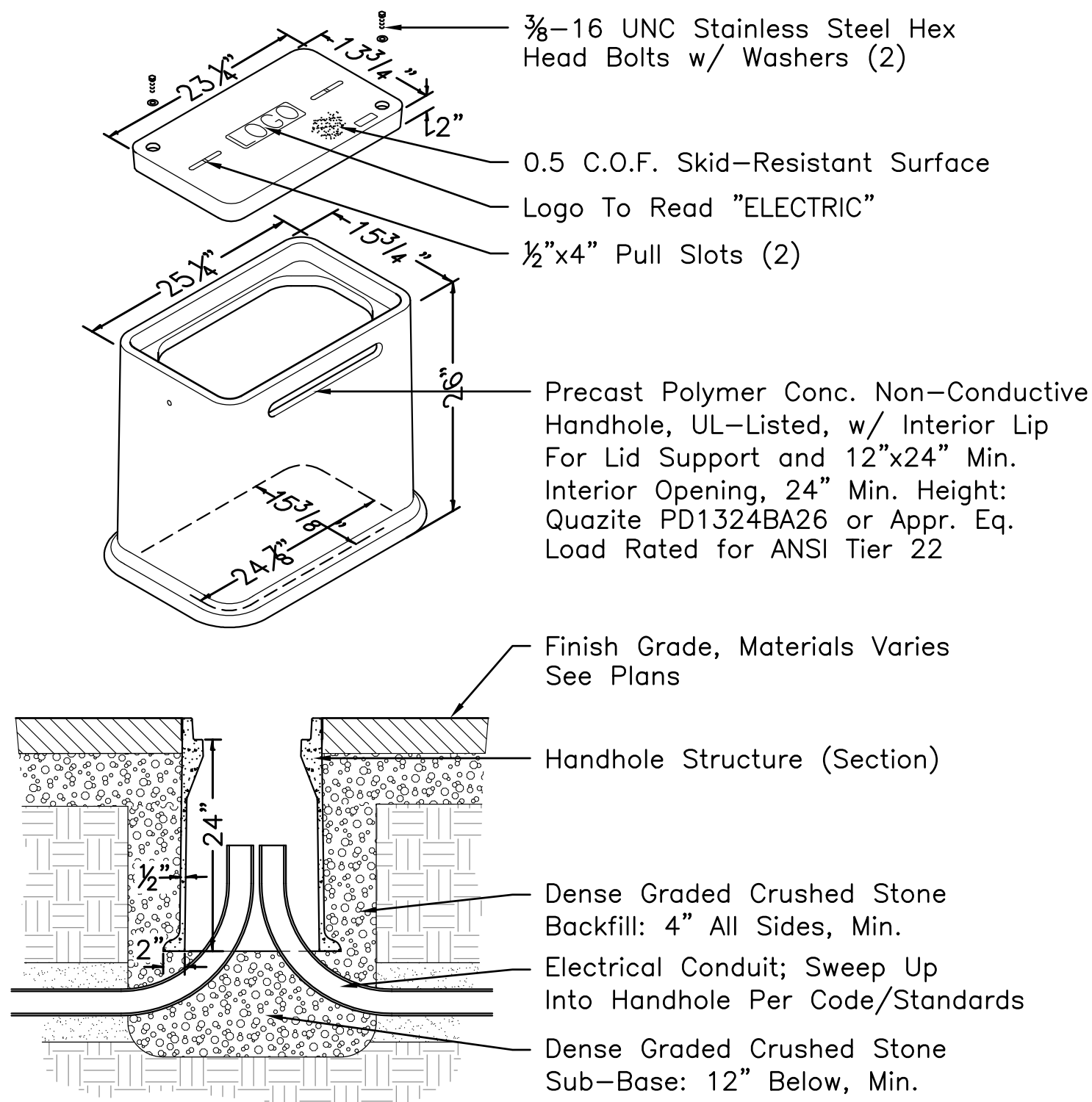
RUBBER SURFACE CONSTRUCTION AND EDGE CONDITIONS



EDGE CONDITION AT LAWN/PLANT BED

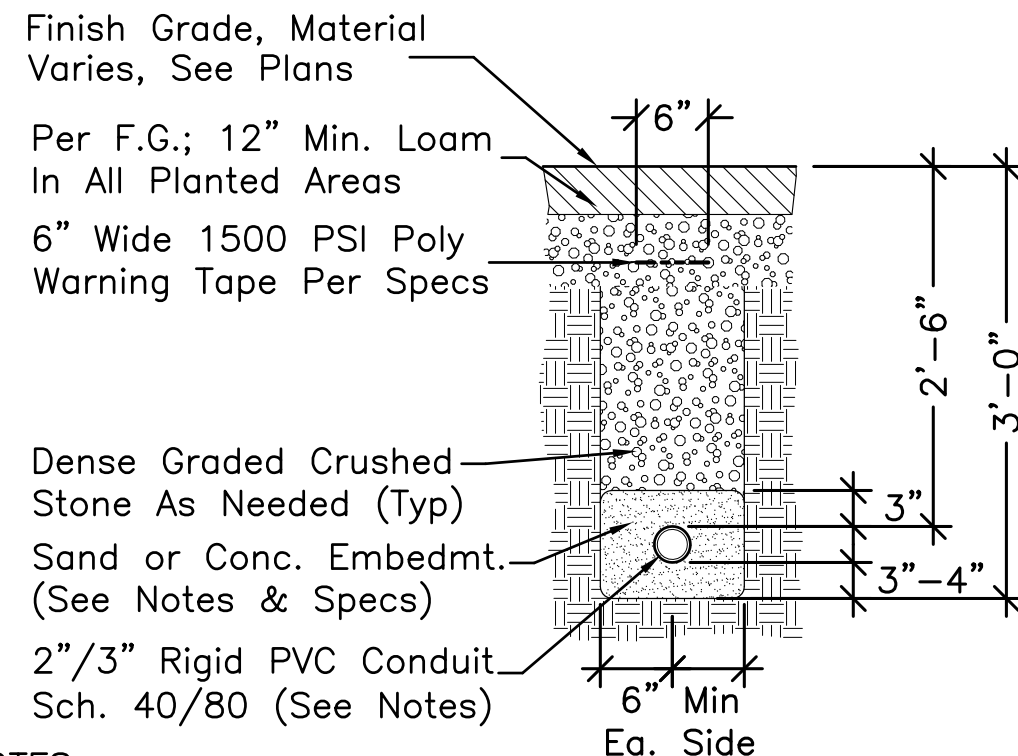
NOTES:

1. Rubber Safety Surface to be Playbound Poured-In-Place by Surface America or approved equal conforming with ASTM 1292 per note 2, and ASTM 1951.
2. Total Surface Depths indicated on plans are projected thicknesses based on proposed surfacing supplier and play equipment. Verify that critical height of surface at depth to be installed meets ASTM 1292 and all other applicable standards for all fall heights of play equipment as installed. The Compacted Crushed Stone base is to be considered a "Hard Base" when determining the required thicknesses.
3. System to use only aliphatic (non-aromatic) solvents in upper wearing surface.
4. Color blends to be 3 colors (assume no black), blends to be selected by Landscape Architect. Provide samples for approval.
5. Aluminum Edge Restraints shall be a 3/8" thick, L-shaped curvable aluminum edging system designed for use with bituminous concrete pavements, available in a range of sizes from 1" to 4" high from a single manufacturer, with black finish, "Asphalt Edge" by PermaLoc Aluminum Edging (www.permaloc.com) or Approved Equal. Install according to manufacturer's instructions and as shown in Drawing. Landscape Architect shall inspect all edging in place before installation of bituminous concrete and rubber surfaces.



NOTE:

Handhole locations not shown on plan. Locations to be determined in field.



NOTES:

1. All Conduit installation to meet all applicable State, Local, and Federal Codes, and all Town of Medway Standards.
2. Under planted areas and Stabilized Stone Dust, Sch40 Conduit and Sand embedment are acceptable. Under all paved areas, use Sch.80 Conduit and Concrete Embedment.
3. Size Conduits as appropriate to required wiring; consider derating factors when applicable. Multiple conduits in a single duct bank shall be separated by 6" min. or greater if code requires.
4. All electrical work must be installed by a licensed electrician

Poured-In-Place Rubber Safety Surface

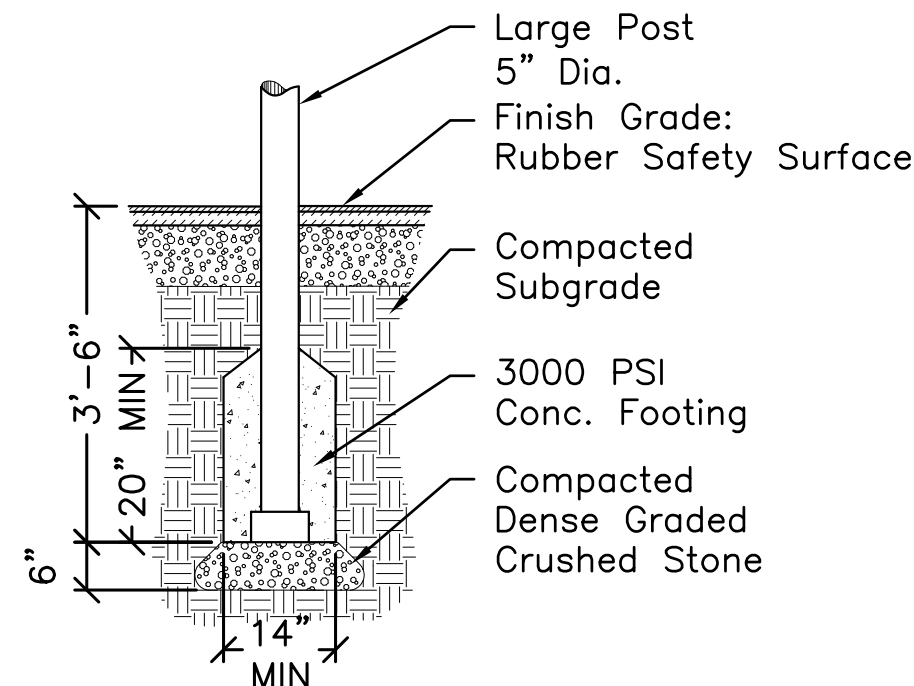
Scale: 1-1/2" = 1'-0"

Electric Handhole

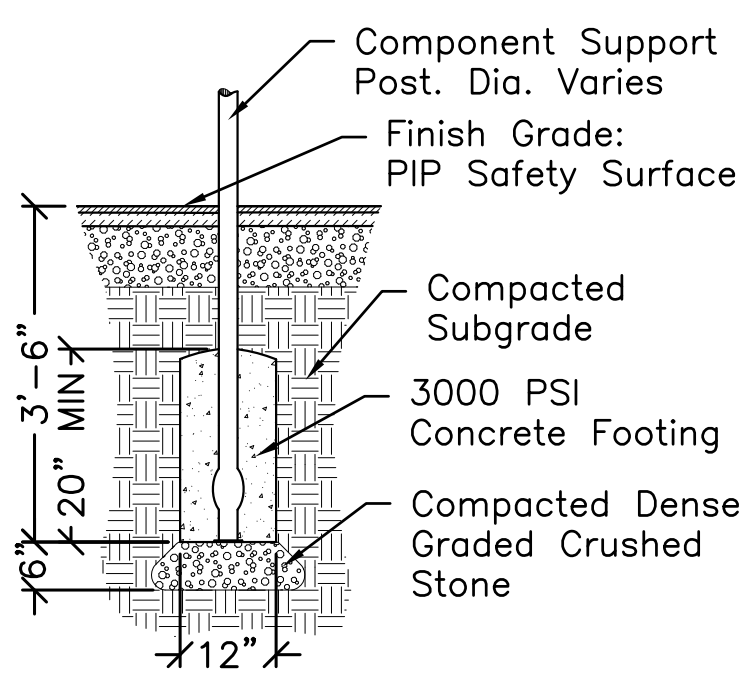
Scale: 3/4" = 1'-0"

Electrical Conduit

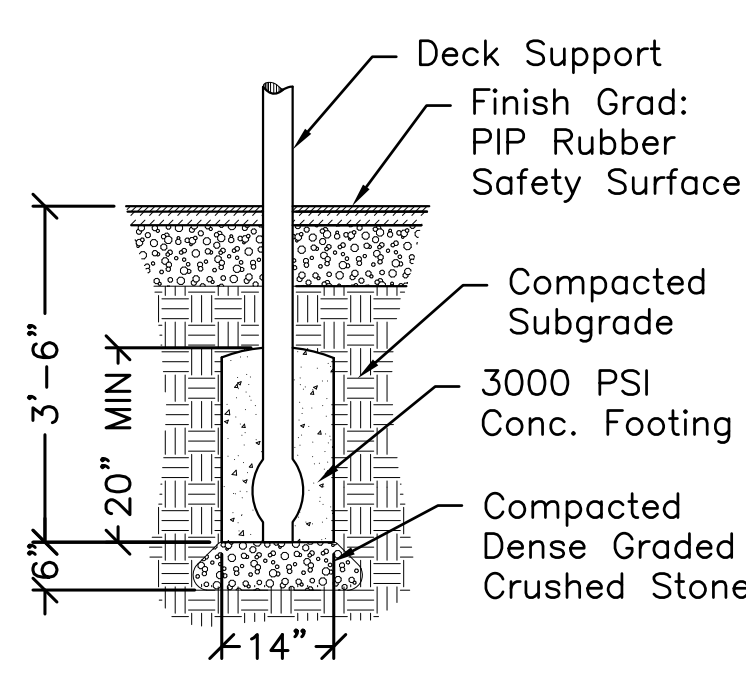
Scale: 3/4" = 1'-0"



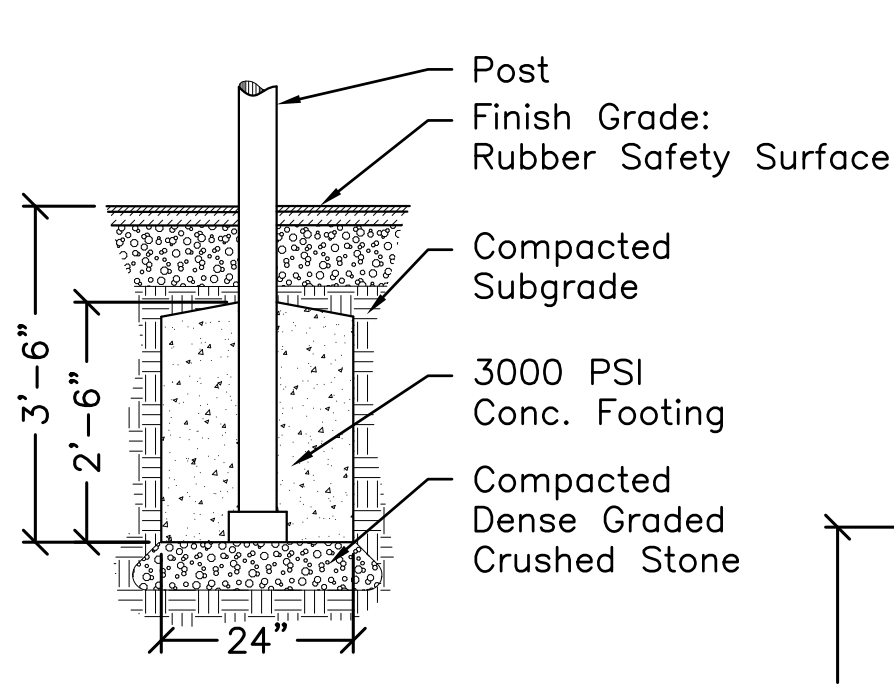
POST-AND-PLATFORM MAIN POST FOOTING



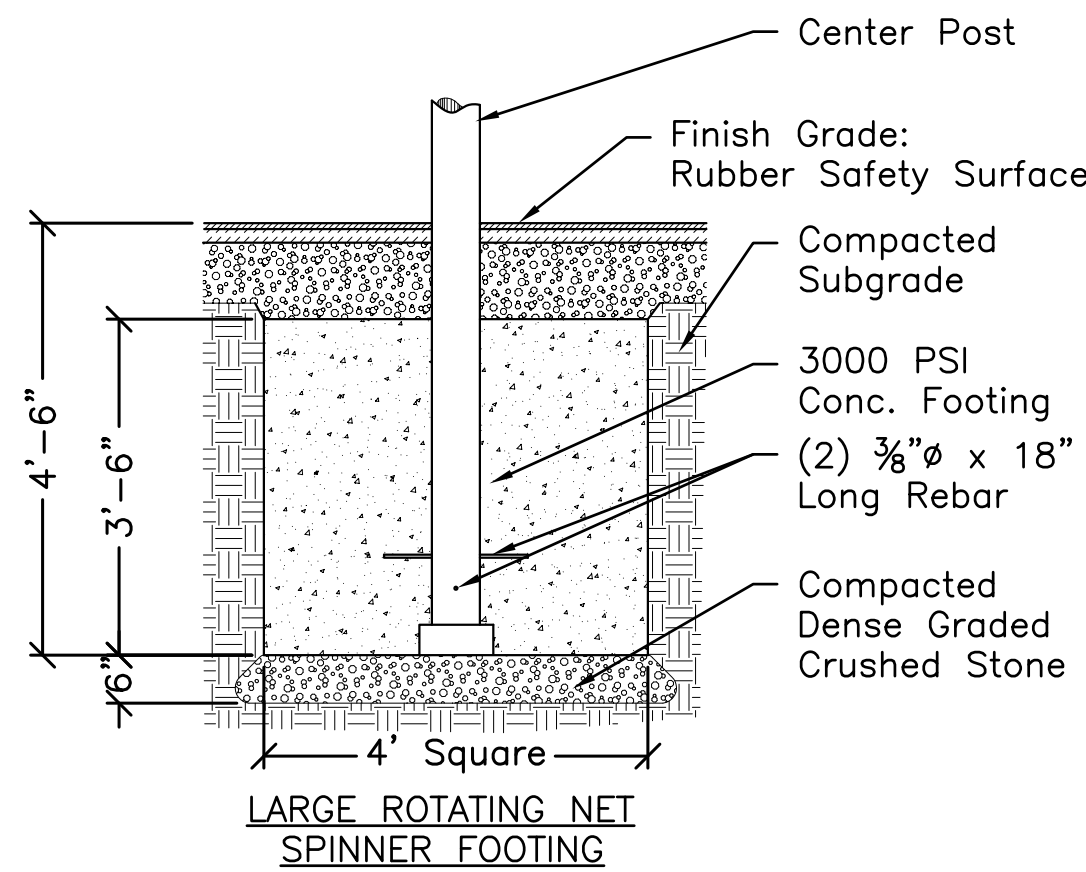
POST-AND-PLATFORM COMPONENT FOOTING



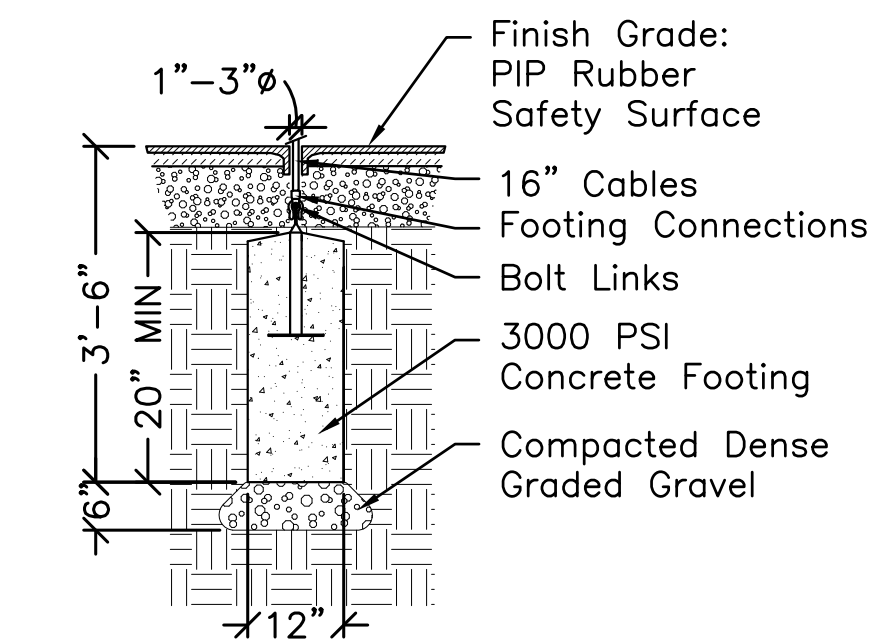
TRANSFER MODULE DECK SUPPORT FOOTING



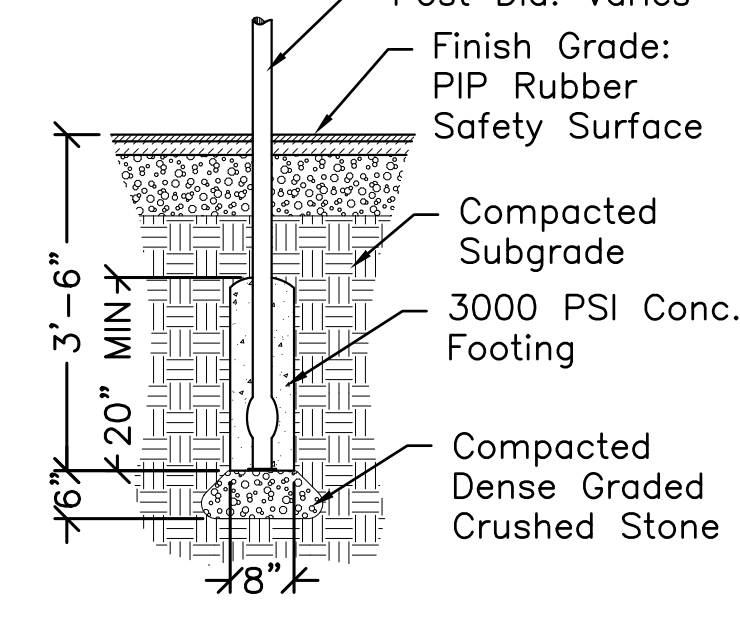
SWINGING BOARD FOOTING



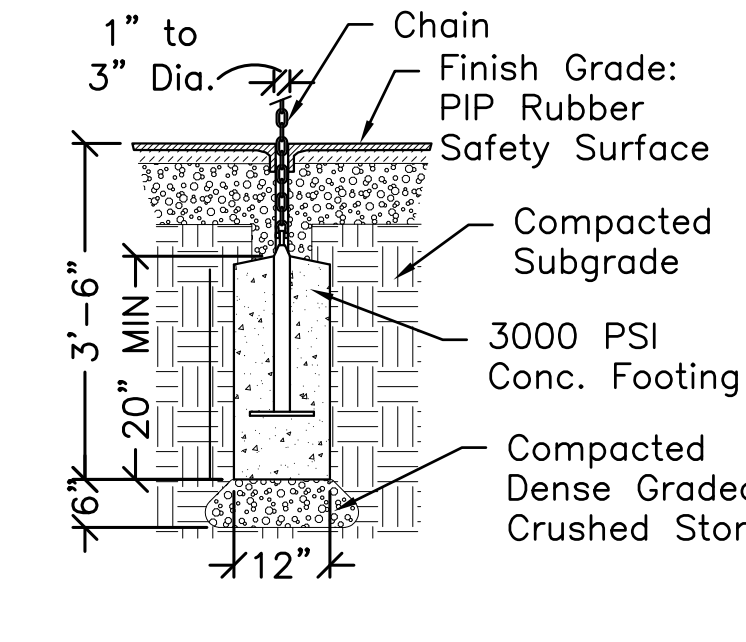
LARGE ROTATING NET SPINNER FOOTING



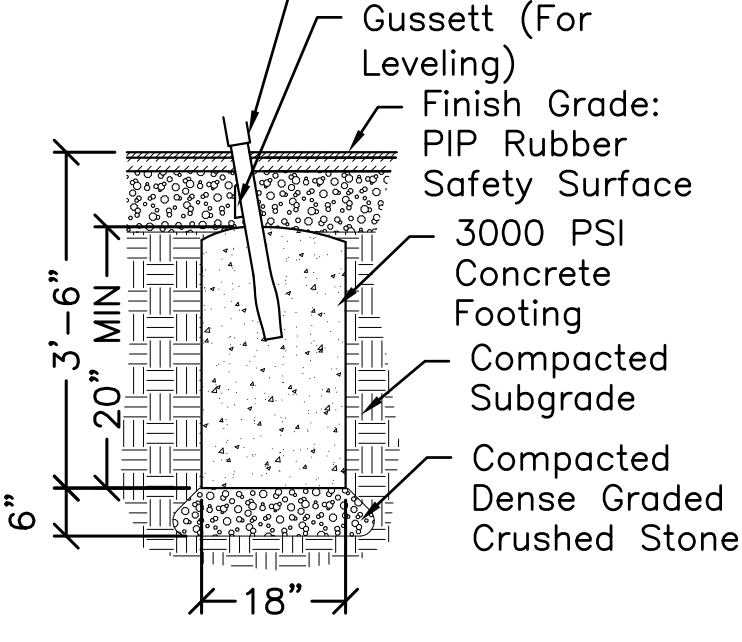
HORIZONTAL CLIMBER FOOTING



STEP LADDER AND TRANSFER PLATFORM STEP SUPPORT FOOTING



VERTICAL CLIMBER FOOTING



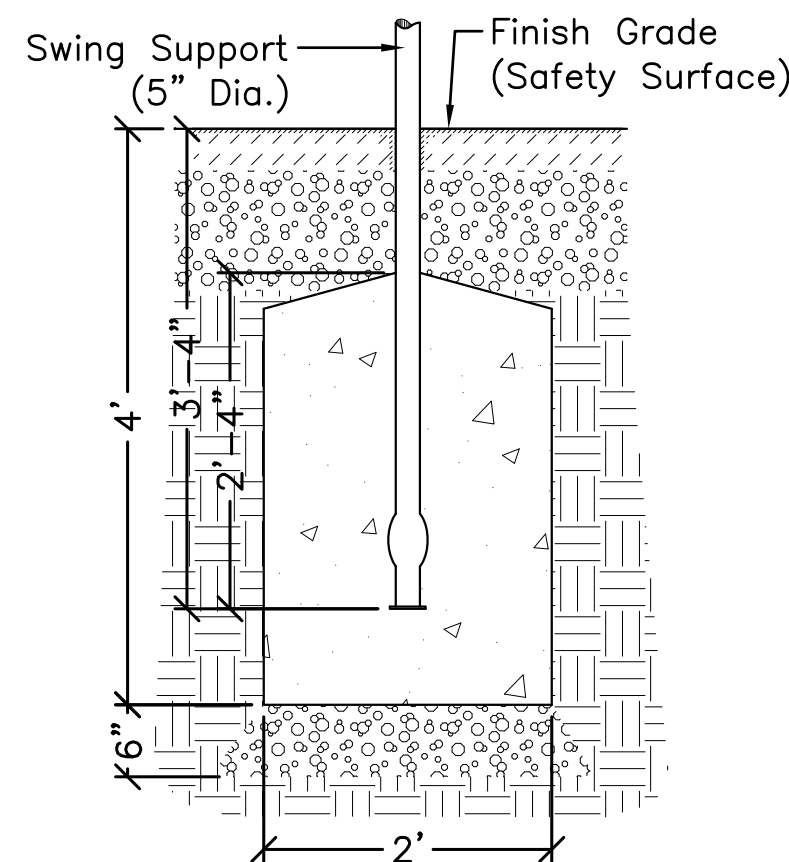
SPINNER FOOTING

NOTES:

1. SHOP DRAWINGS OF PLAY EQUIPMENT AND POST/FOOTING PLANS REQUIRED.
2. Play equipment's safety zones to only include safety surfaces specified. Play equipment to be installed so safety zones do NOT overlap with walls, stairs, manholes, curbs, concrete paving, bituminous concrete paving, etc.
3. Footing sizes vary; dimensions shown are minimums. Provide the GREATER of the diameter indicated on the supplier's Footing Schedule OR the size above (footings may be larger/deeper than required by supplier).
4. Play equipment colors to be as shown in renderings.

Play Structure Footings

Scale: 1/2" = 1'-0"

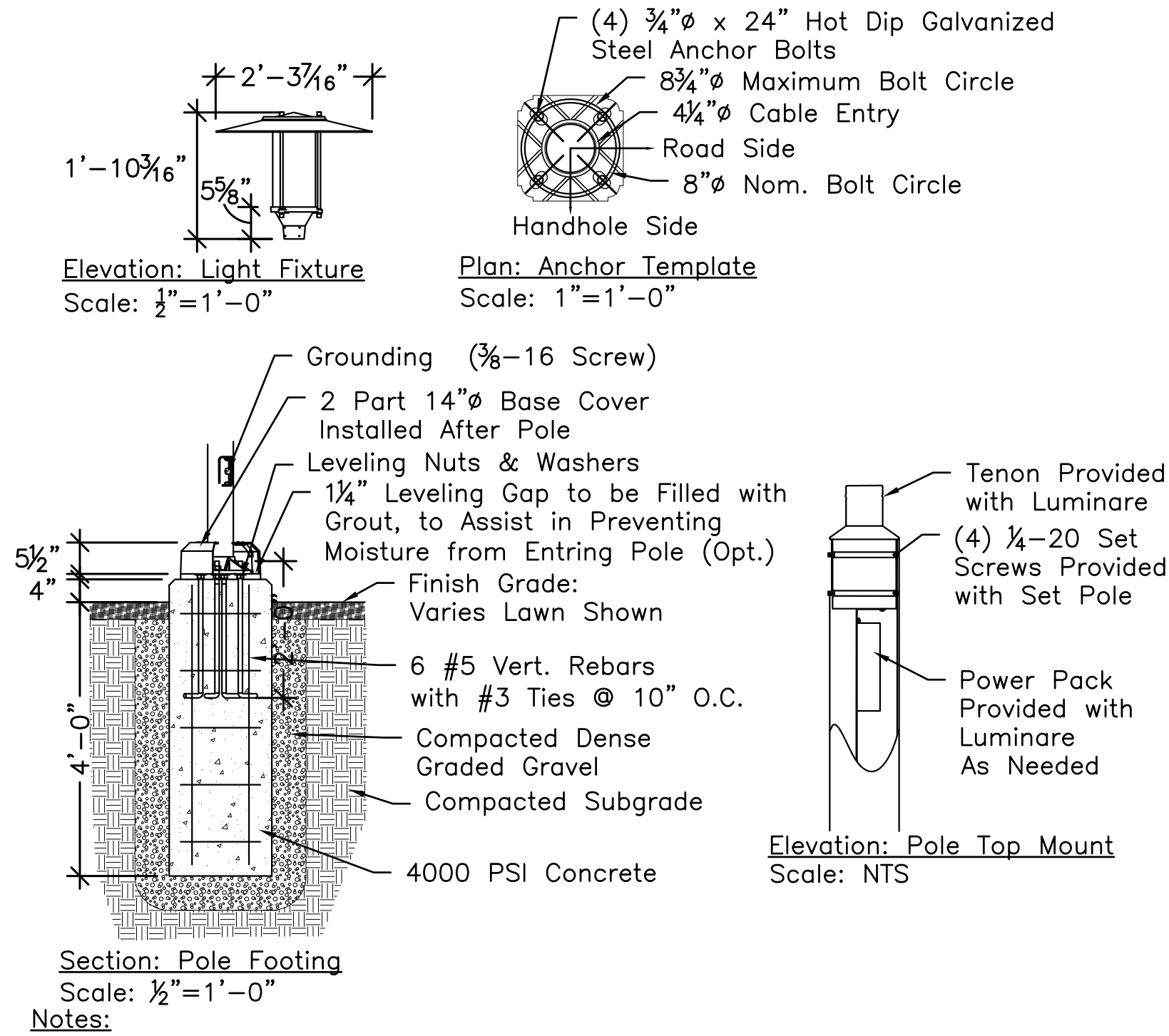


NOTES:

1. SHOP DRAWINGS REQUIRED.
2. Play equipment's safety zones to only include safety surfaces specified. Play equipment to be installed so safety zones do NOT overlap with walls, manholes, curbs, paving, etc.
3. Colors to be as shown in renderings.

Swing Posts

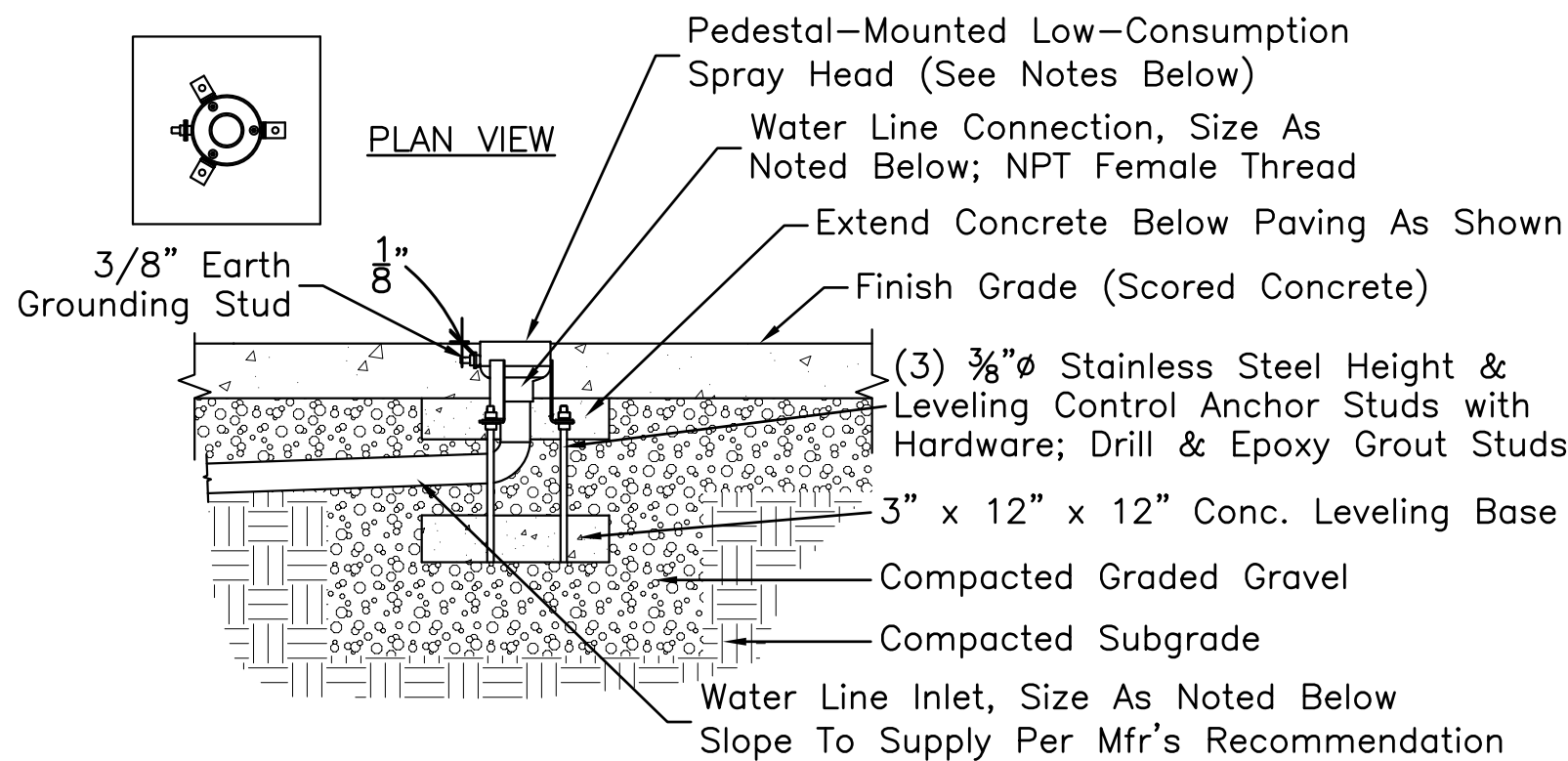
Scale: 3/4" = 1'-0"



- Notes:
- Light Fixture is to be HW Patina by Louis Poulsen Inc. Light Source is to be a 25W LED at 3000K.
 - Light Pole is to be a 14' HT Louis Poulsen RSA 4.5" Pole.
 - Shop drawings required for concrete footing. Drawings are to be stamped by a MA Liscensed Structural Engineer.
 - Contractor to submit product literature for approval by Landscape Architect prior to ordering.
 - Light fixture and pole are to be black.
 - Contractor to follow all manufacturer's installation instructions and specifications.

Pedestrian Scale Light

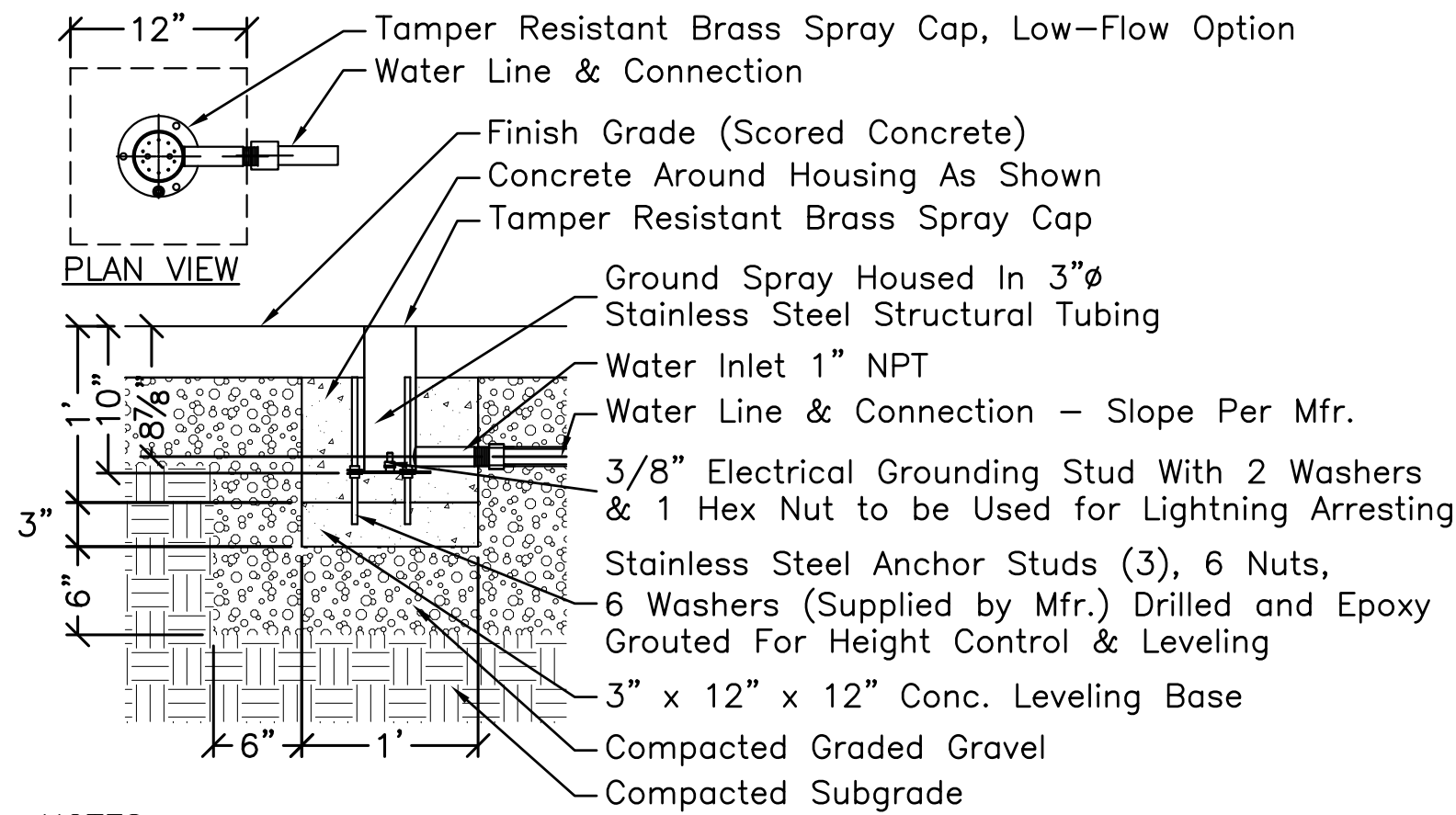
Scale: 1/2" = 1'-0"



- NOTES:
- Jet Type A to be "Direct Jet No. 1" VOR0305 by Vortex or Approved Equal. Cap shall produce a single directional stream. Water flow rate 2-4 gpm; pressure 3-5 psi; inlet size 3/4"Ø.
 - Jet Type B to be "Jet Stream No. 2" Smart-Flow VOR325 by Vortex or Approved Equal. Cap shall produce a single soft vertical stream. Water Flow Rate 3-7gpm; Pressure 1-4 psi; Inlet Size 3/4"Ø.
 - Jet Type C to be "Water Bloom No. 2." VOR0322 by Vortex or Approved Equal. Water Flow Rate 7-11 gpm; pressure 4-8 psi; inlet size 3/4"Ø.
 - Jet Type D to be "Water Jelly No. 1" VOR7010 by Vortex or Approved Equal. Cap shall produce an inverted laminar bell spray pattern. Water flow rate 10-15 gpm; pressure 1-2 psi; inlet size 1 1/2"Ø.
 - Contractor to review details with Landsacpe Architect before installation.

Pedestal Mounted Water Jet

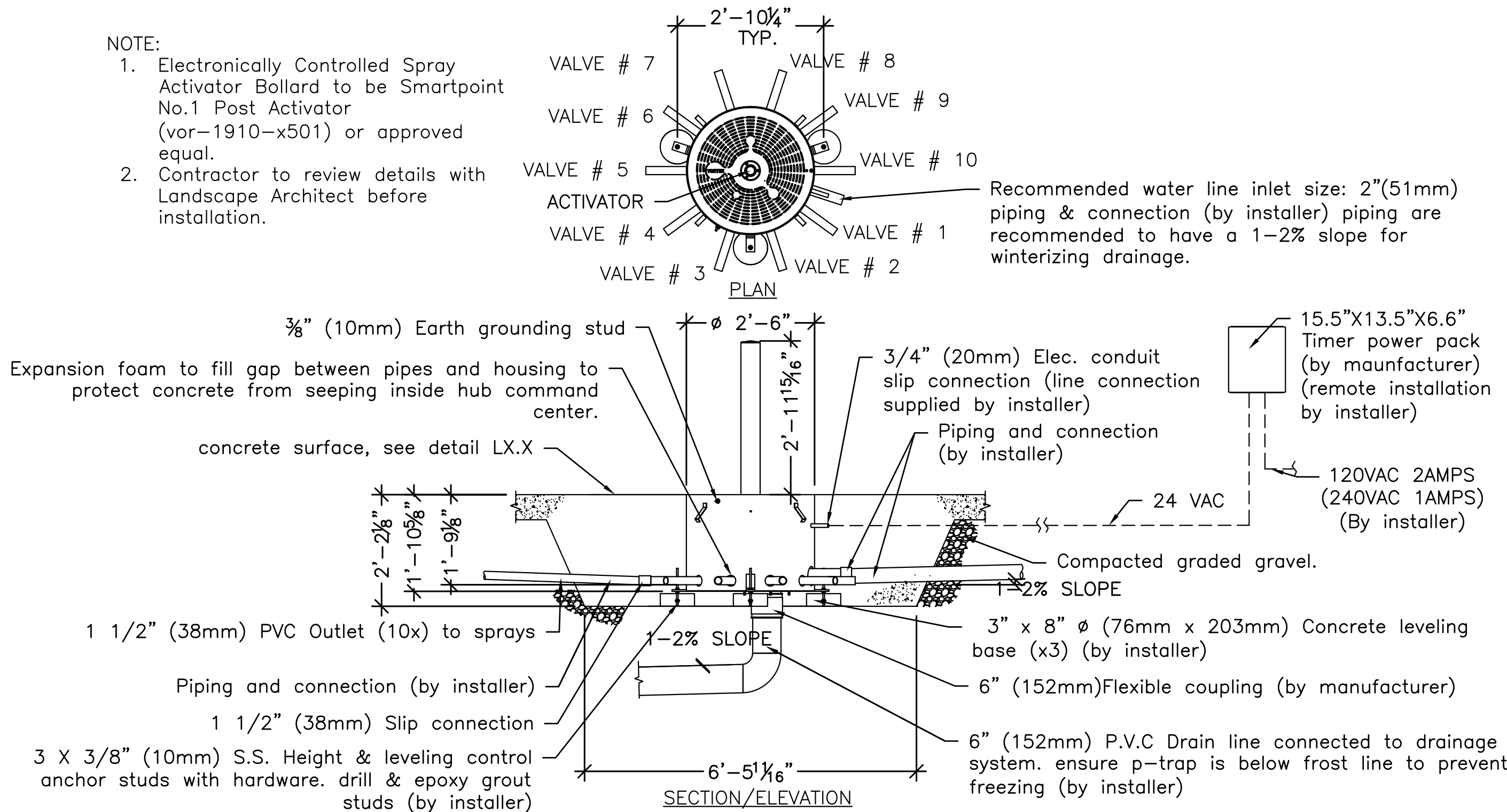
Scale: 1" = 1'-0"



- NOTES:
- Jet Type E to be "Ground Geyser" Smart-Flow VOR0301.0100 by Vortex or Approved Equal. Cap shall have a 10-hole radial spray pattern arranged at 5' from vertical. Water Flow Rate shall be 4-6gpm. Pressure shall be 5-10 psi.
 - Detail to be reviewed by Landscape Architect before installation.

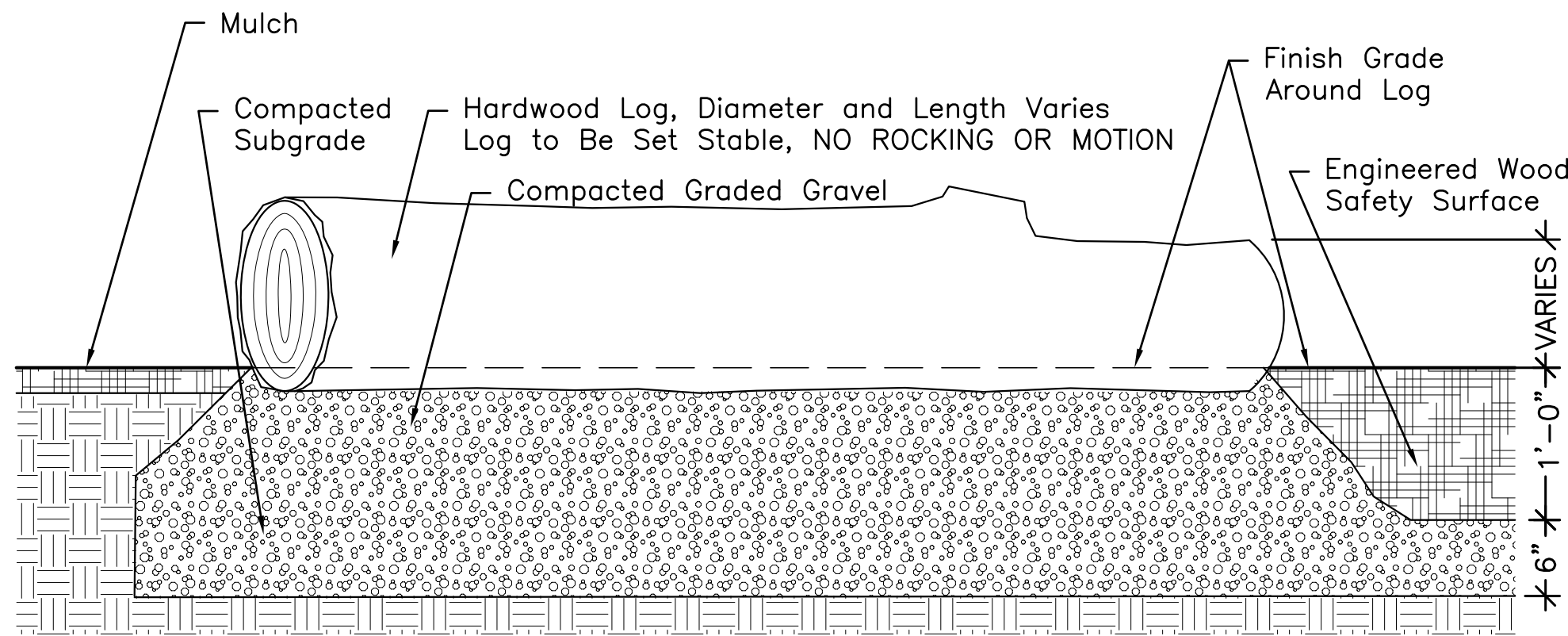
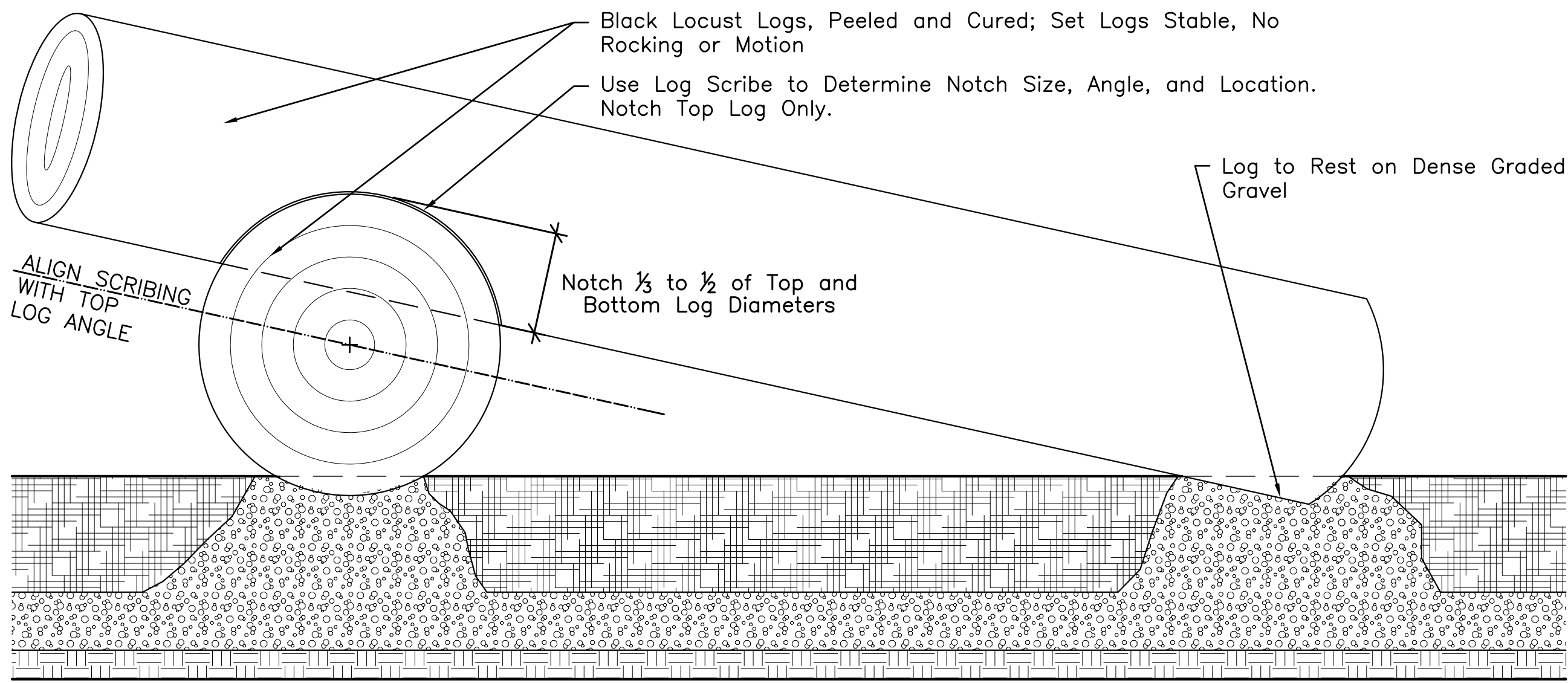
Cylinder Mount Water Jet

Scale: 1" = 1'-0"



Electronically Controlled Spray Activator

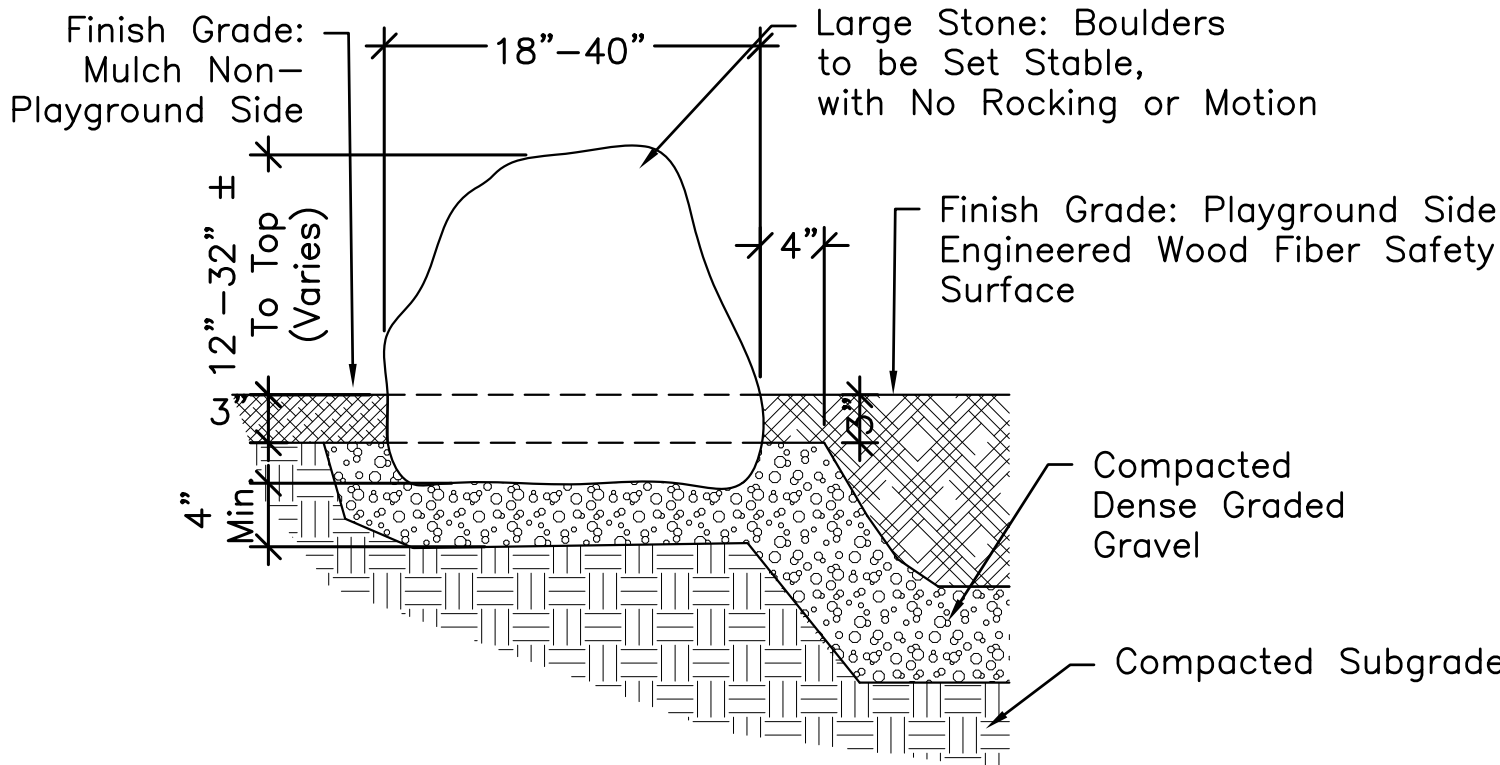
Scale: 1/2" = 1'-0"



- NOTES:
1. Logs shall be Robinia pseudoacacia (Black Locust) and Approved by Landscape Architect.
 2. Layout of Logs by Landscape Architect in Field.
 3. Bury any log surface in contact with ground 2" MINIMUM.
 4. All logs and stumps to be set stable with no rocking or motion.
 5. Notched logs shall be scribed at the intended angle in order to ensure a tight fit between logs.
 6. Notches shall be cut minimum 1/3 and maximum 1/2 of diameter of top log. Any notches that do not meet these proportions require prior approval by Landscape Architect.
 7. Base material shall be free-draining and shall not allow for standing water around log surface.

Border or Balancing Log (Add Alternate)

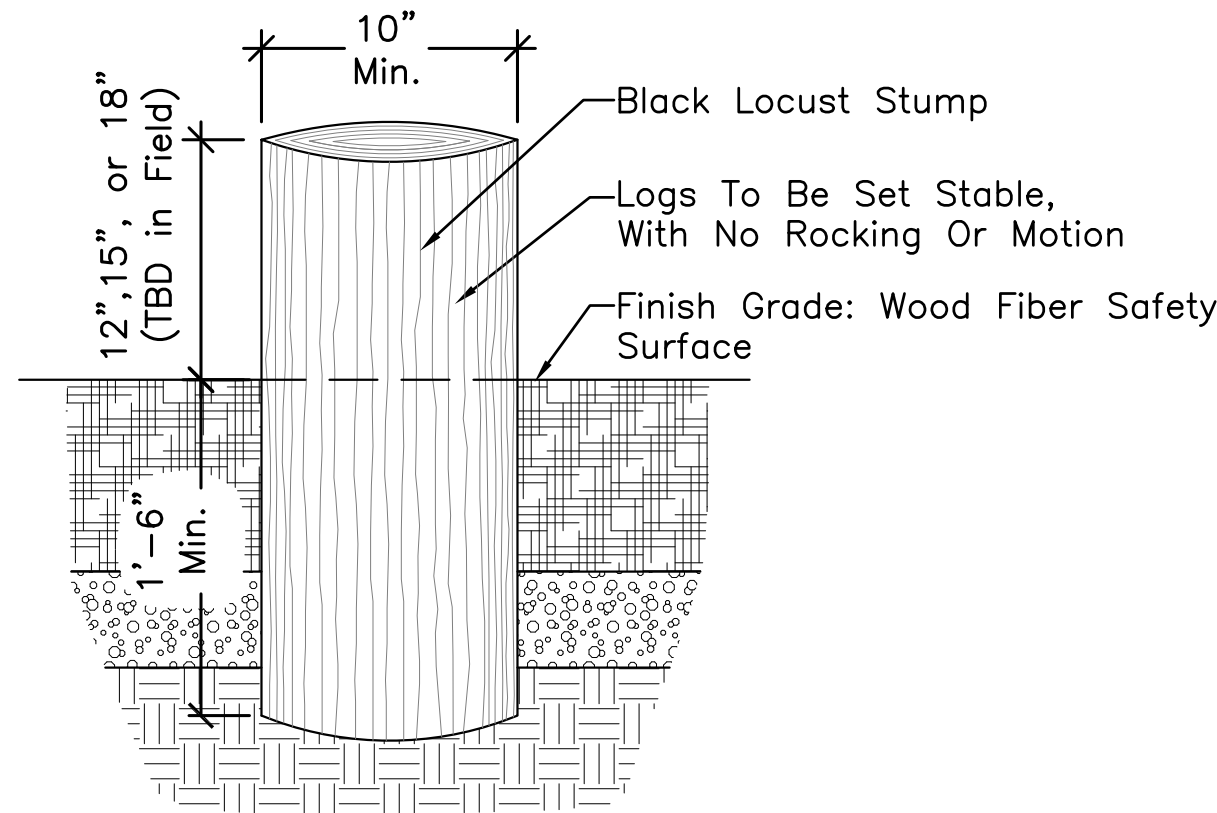
Scale: 1" = 1'-0"



- NOTES:
1. Large Stones shall be selected by Landscape Architect with Contractor.
 2. Final layout of stones to be approved by Landscape Architect in field.

Border or Climbing Boulder (Add Alternate)

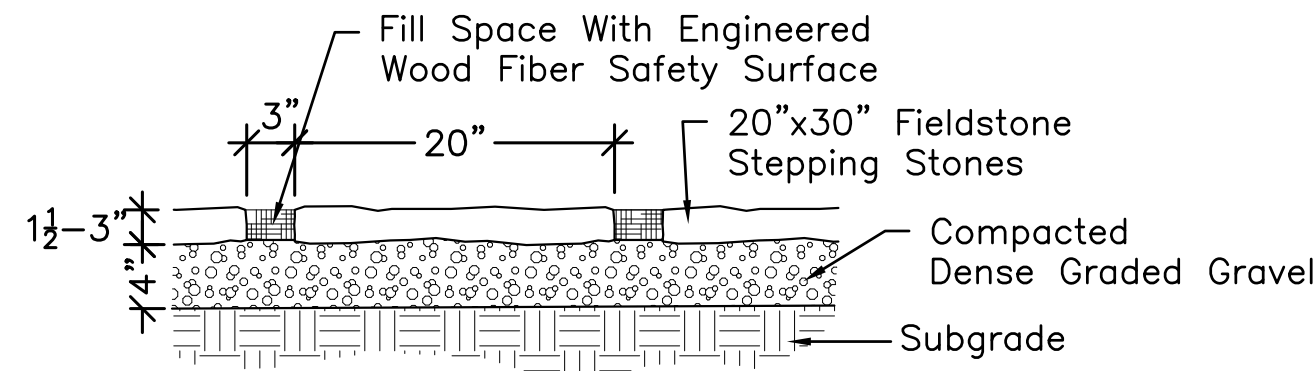
Scale: 1" = 1'-0"



- NOTES:
1. Logs shall be Approved by Landscape Architect.
 2. Layout of Logs by Landscape Architect in Field.

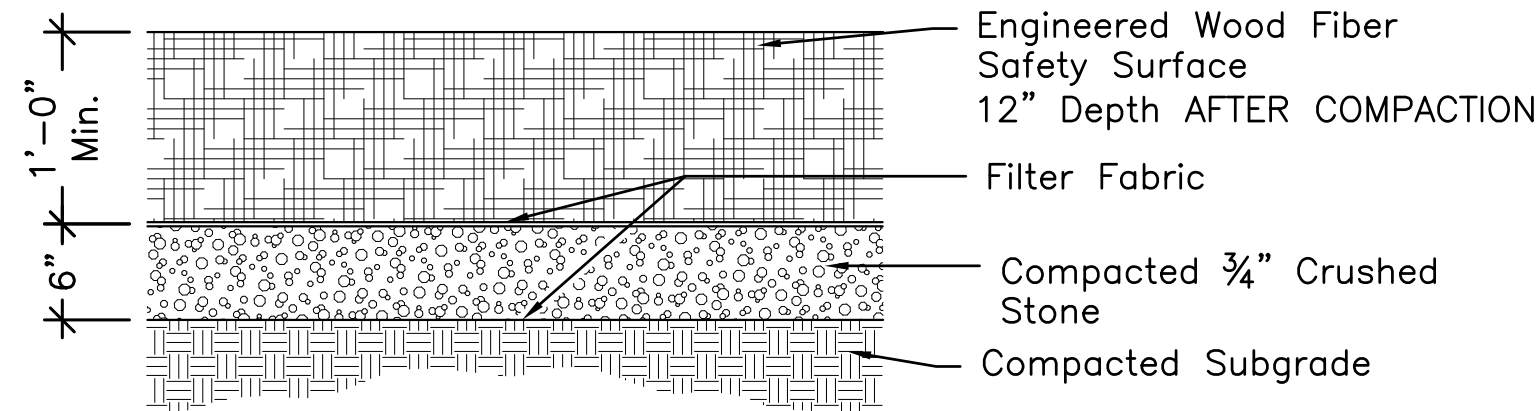
Balancing Stump (Add Alt.)

Scale: 1" = 1'-0"



Stepping Stones (Add Alt.)

Scale: 1"=1'-0"



- NOTES:
1. All "Wood Surface" to be Engineered Wood Fiber Safety Surface. Wood Surface to meet Federal code requirements for playgrounds.
 2. After compaction, wood surface to be flush with adjacent lawn areas.

Engineered Wood Fiber Safety Surface

Scale: 1" = 1'-0"

CHOATE PARK - CASSIDY FIELD

Medway, MA

Details

| | |
|----------|-----------------|
| DATE: | 08/17/2017 |
| SCALE: | AS NOTED |
| FILE: | CHO-Details.dwg |
| DWN BY: | AJK |
| CKD BY: | CCB |
| PROJ. #: | 1612a |





CHOATE PARK
MEDWAY, MA June 20, 2017 106536-1-4-1



CHOATE PARK
MEDWAY, MA June 20, 2017 106536-1-4-2



CHOATE PARK
MEDWAY, MA June 20, 2017 106536-1-4-3

Renderings of the Proposed Play Equipment

CBA | Landscape Architects LLC
24 THORNDIKE STREET CAMBRIDGE, MA 02141
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com
landscape architecture
urban design
master planning

Improvements To Choate Park
Site Plan Submission
Play Equipment

DATE: 08/17/2017
SCALE: AS NOTED
FILE: CHO-Play.dwg
DWN BY: Manufacturer
CKD BY: DJC
PROJ. #: 1612a



L10.0





CHOATE PARK - CASSIDY FIELD

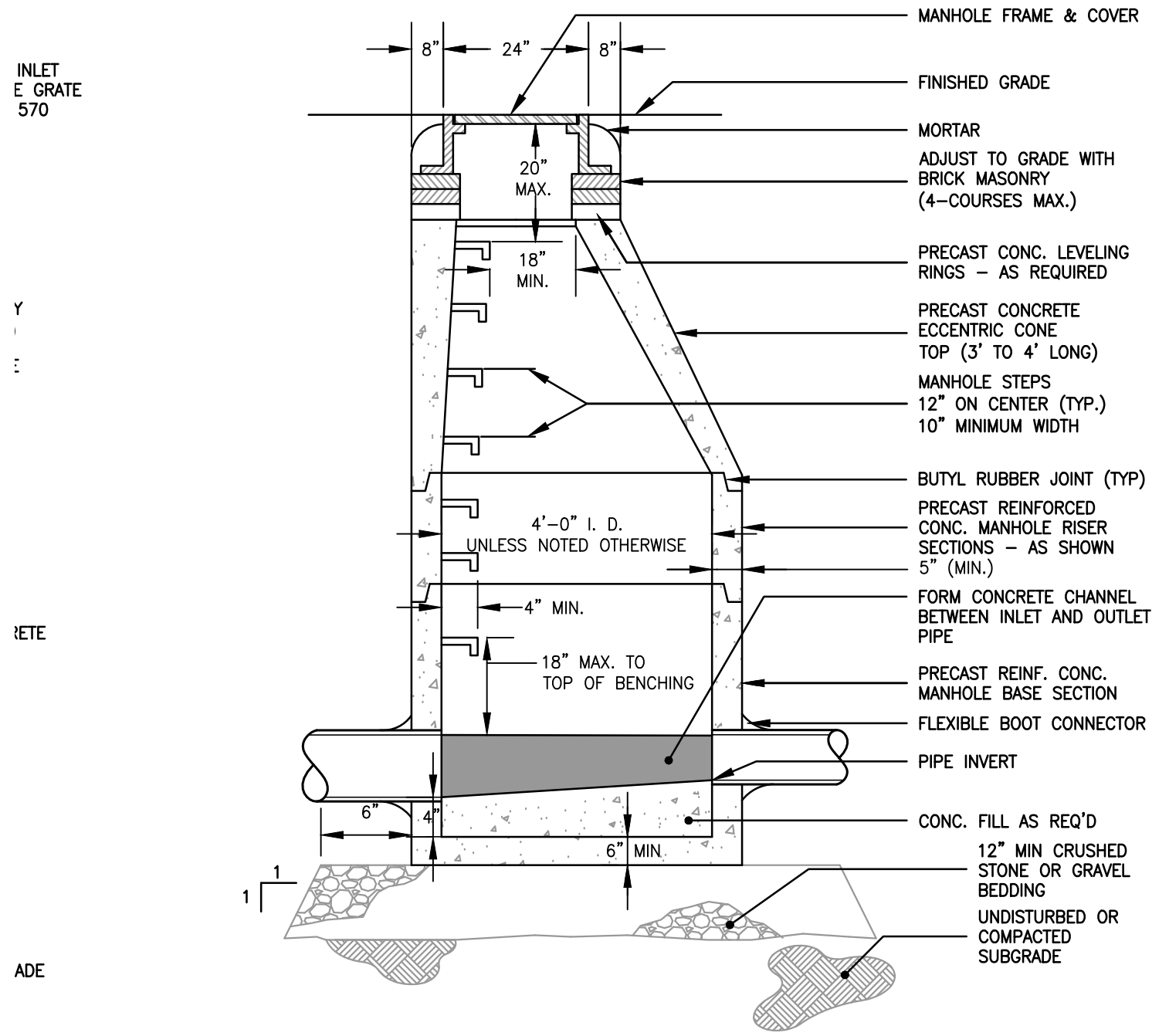
Medway, MA

Drainage and Utilities Plan

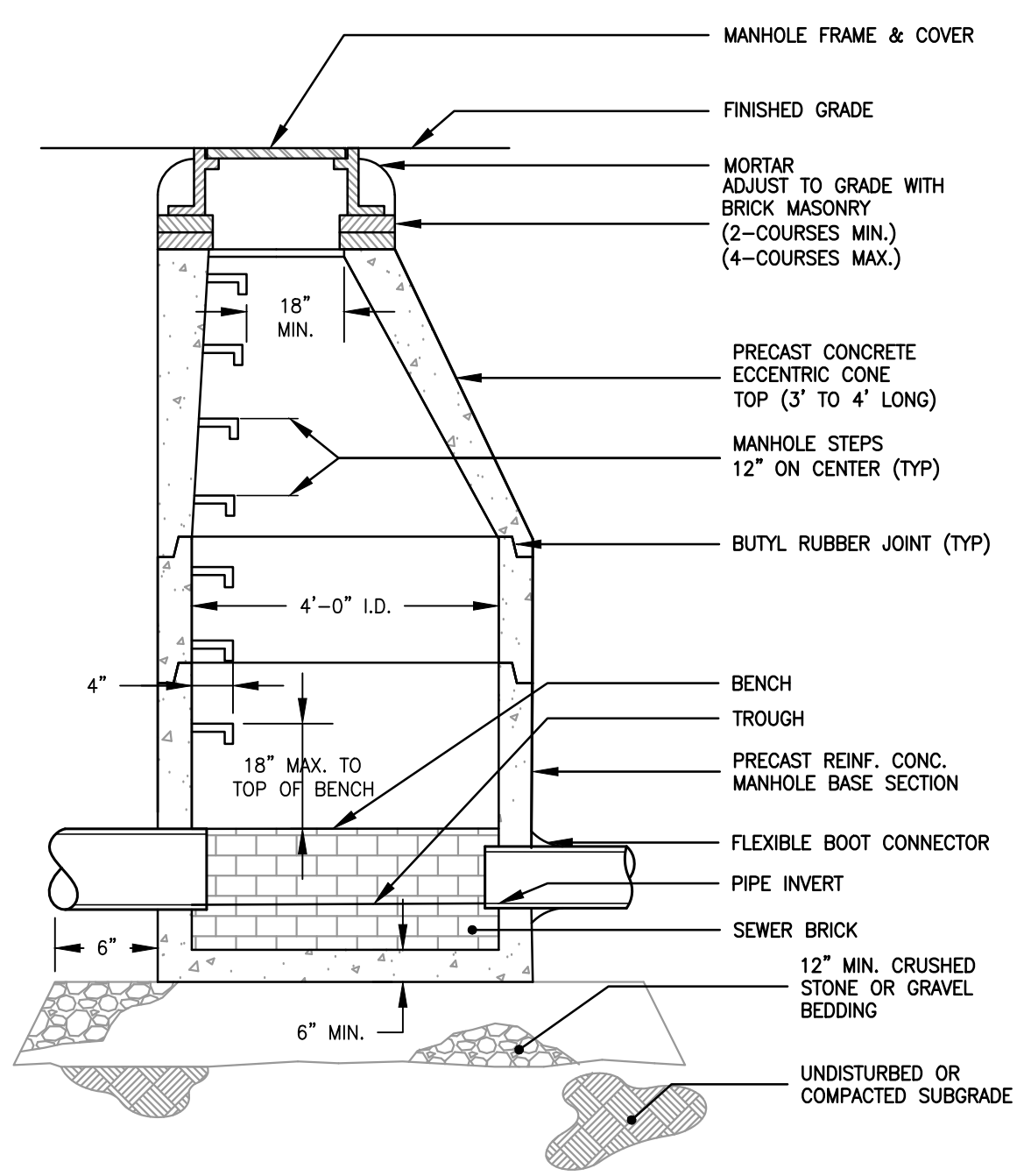
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DWN BY: NS
CKD BY: AMT
PROJ. #: 17027.00



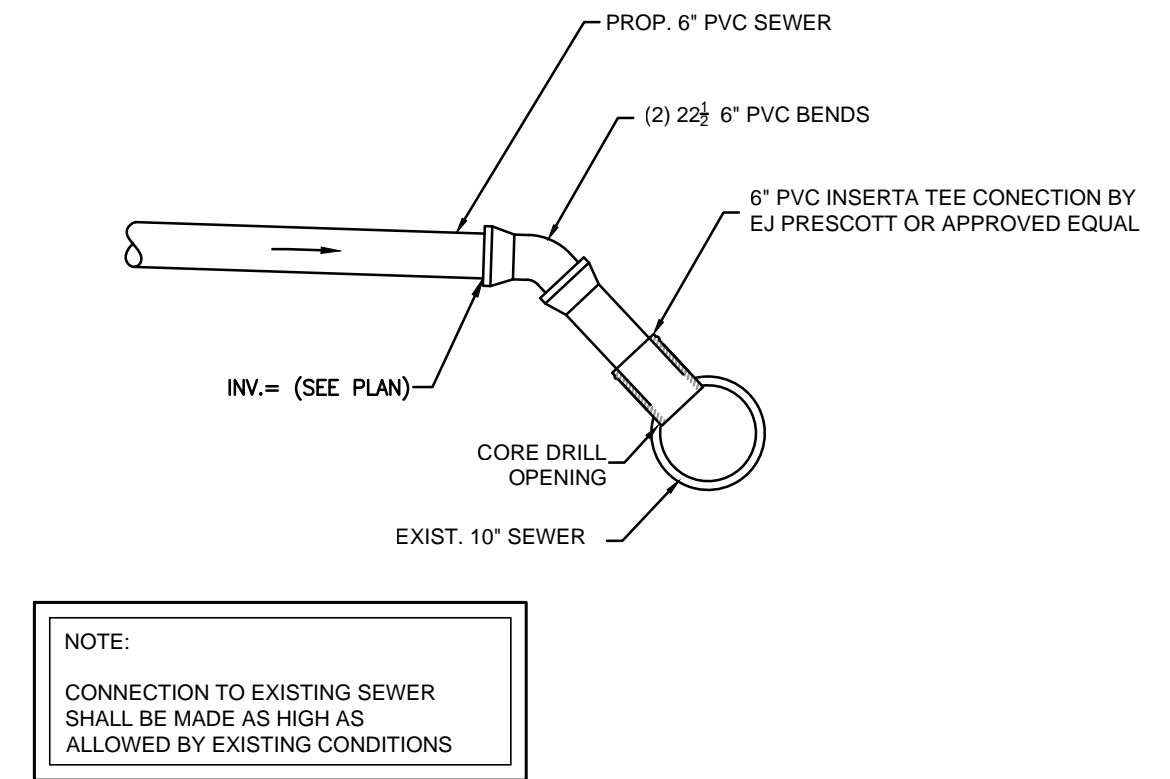
C1.2



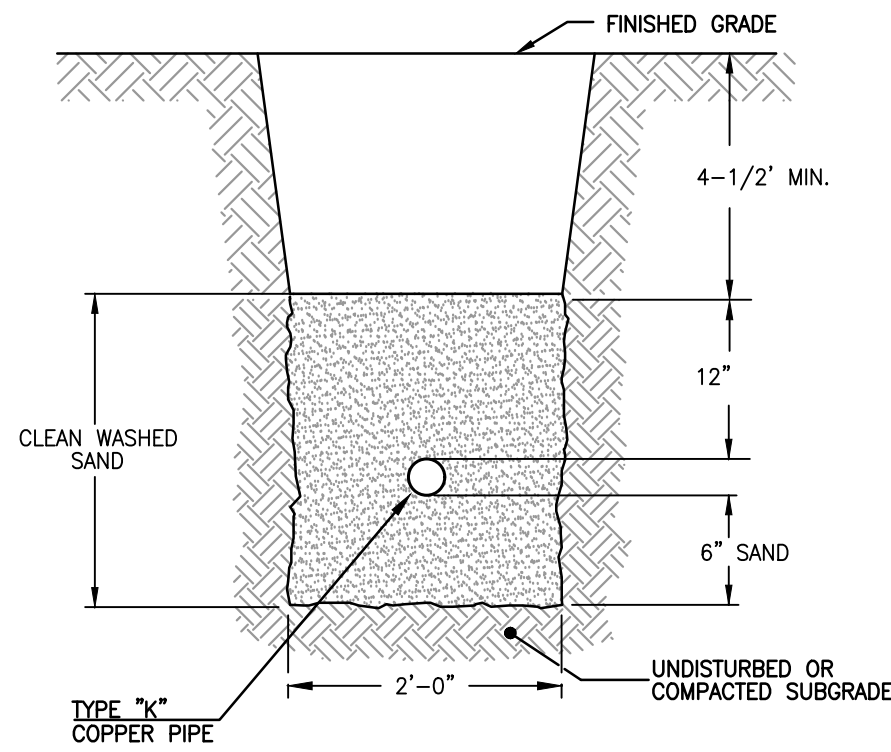
2 PRECAST STORM DRAIN MANHOLE
NTS



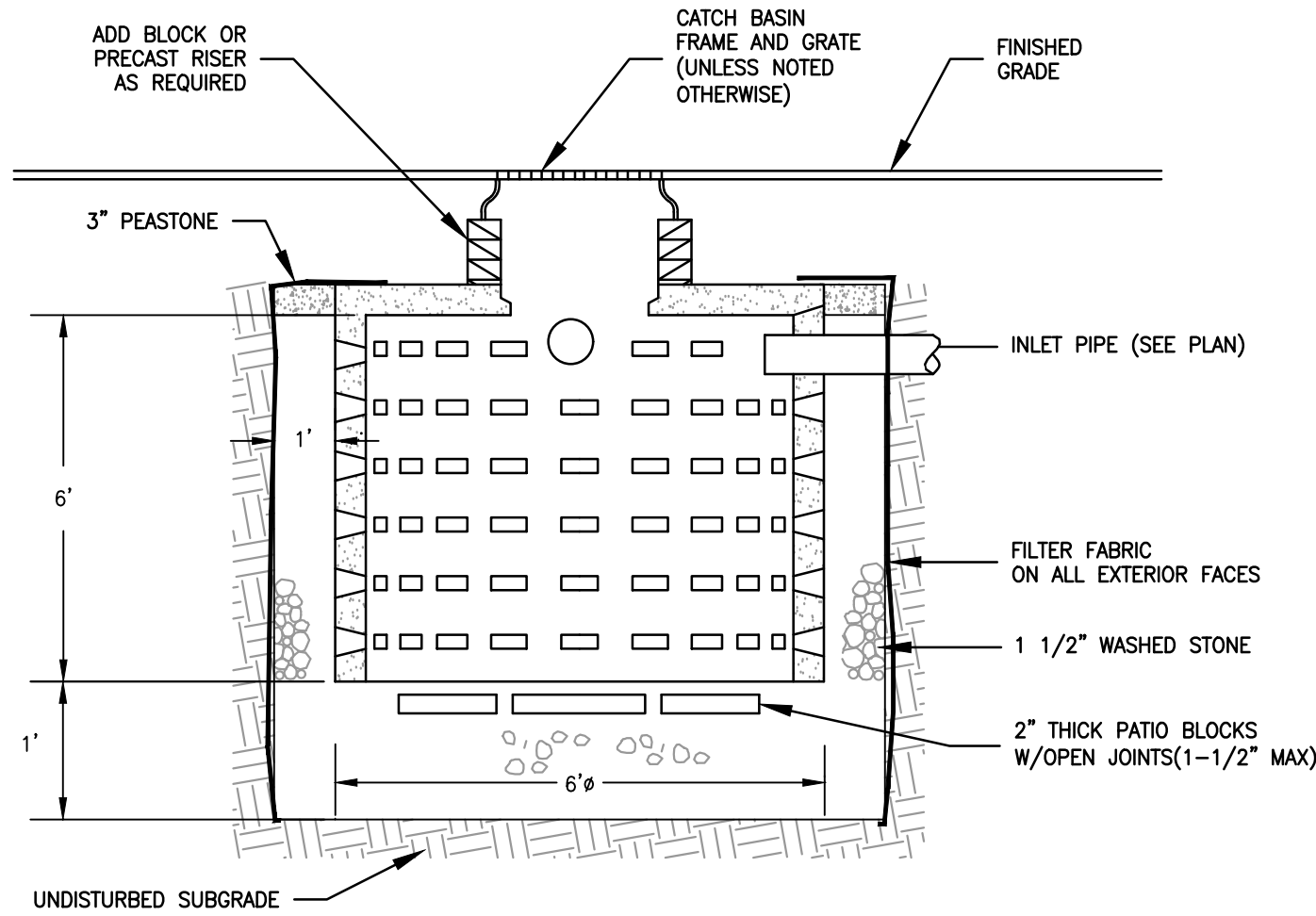
3 PRECAST SANITARY MANHOLE
NTS



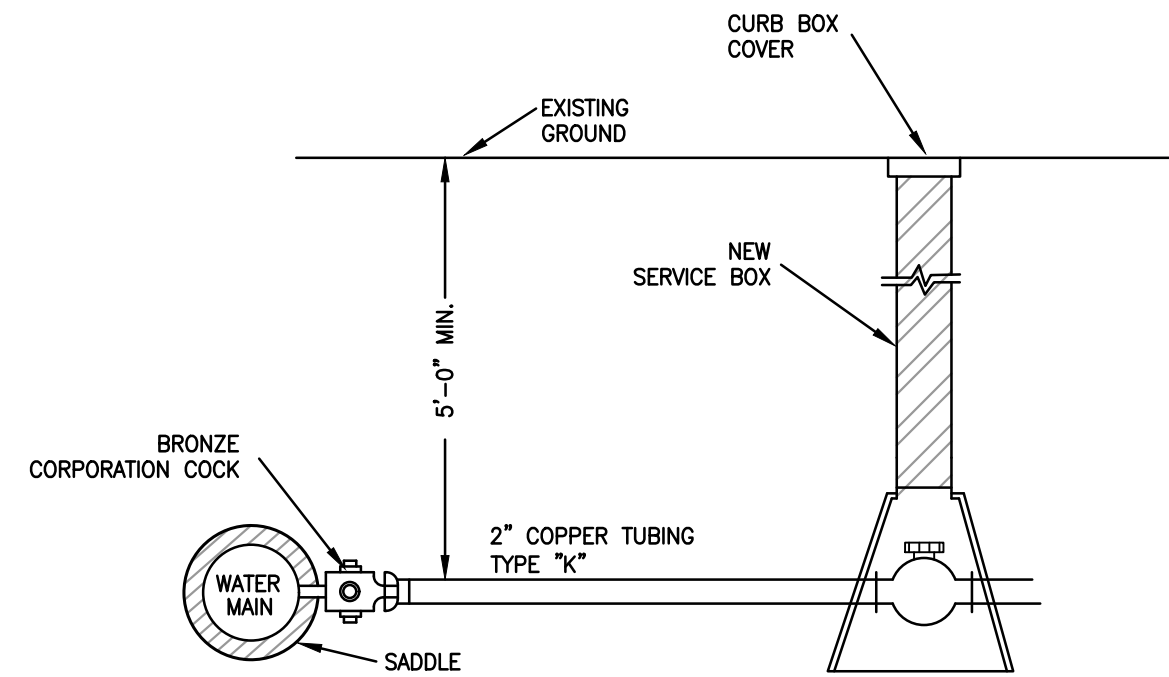
4 CONNECTION TO EXISTING SEWER
NTS



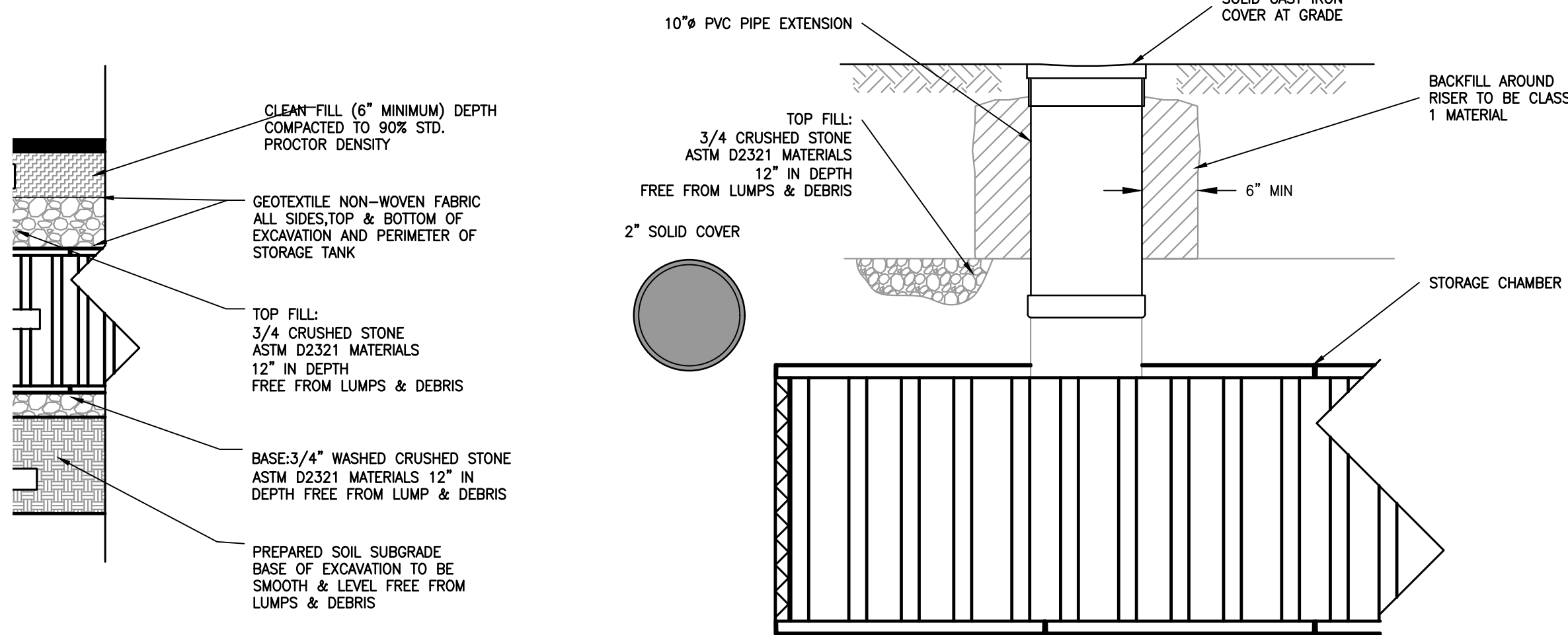
6 COPPER PIPE TRENCH
NTS



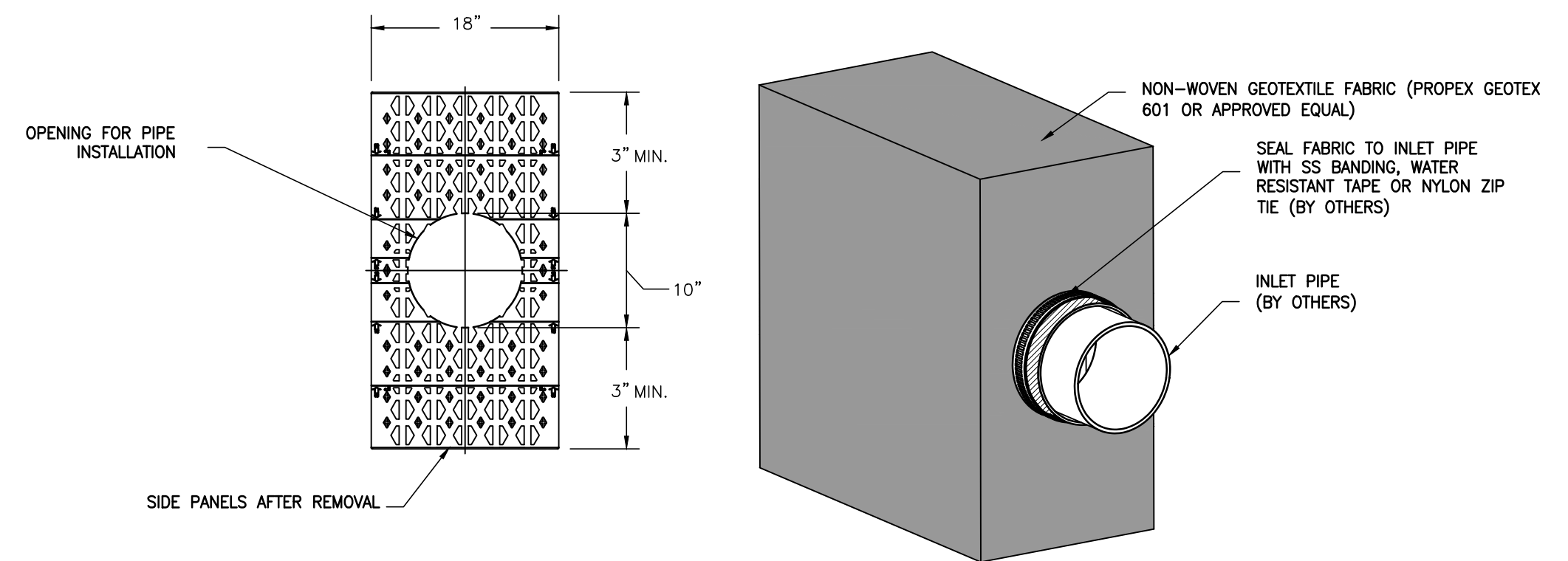
7 LEACHING CATCH BASIN/DRYWELL
NTS



8 CORPORATION STOP & METER
NTS



10 INFILTRATION SYSTEM INSPECTION PORT
NTS



11 INFILTRATION SYSTEM PIPE CONNECTION DETAIL
NTS

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

| | |
|---|---|
| Project Name: | Improvements to Choate Park and Cassidy Fields |
| Property Location: | Main Street at Oak Street |
| Type of Project/Permit: | Site Plan Review (Municipal Park Improvement Project) |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | 204-3.A.7 (a) - Planning Board Submittals: Development Impact Statement - Traffic Impact Assessment |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | Requires the preparation and submission of a full Traffic Impact Assessment due to the site's adjustment of access along a public way. |
| What aspect of the Regulation do you propose be waived? | Requirement for a full Traffic Impact Assessment. |
| What do you propose instead? | Acceptance of the general summary submitted with the application. |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request. | The proposed project is not generating additional uses on the site, merely reconfiguring and expanding existing parking areas; no added traffic is expected to be generated by the project. Additionally, the traffic is unchanged from that studied as part of the Route 109 work. |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | A preliminary estimate for a traffic study of appropriate scale would be approximately \$8,000 or more. |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | The cost savings for the traffic impact study allows more of the approved funding to be applied to the construction phase of the project's budget. |
| What is the impact on the development if this waiver is denied? | The time needed could delay permitting past Town Meeting. |
| What are the design alternatives to granting this waiver? | The Applicant will seek out a consultant to prepare the Assessment. |
| Why is granting this waiver in the Town's best interest? | The traffic impact appears minimal and the timetable is constricted. |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | As the Town is the Applicant, the cost savings would be the cost of the preparation of the Assessment. |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | As outlined in the Development Impact Statement, there is reason to expect little traffic impact, and existing traffic was recently studied. |
| What is the estimated value of the proposed mitigation measures? | N/A - these are a portion of the design documents and application. |
| Other Information? | See Development Impact Statement submitted. |
| Waiver Request Prepared By: | Denis J. Chagnon, CBA Landscape Architects LLC |
| Date: | August 17, 2017 |

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

| | |
|---|---|
| Project Name: | Improvements to Choate Park and Cassidy Fields |
| Property Location: | Main Street at Oak Street |
| Type of Project/Permit: | Site Plan Review (Municipal Park Improvement Project) |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | 204-5.C.1 and 2 - Planning Board Submittals: Existing Condition Sheets (Man-Made and Natural Features) |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | Requires the inclusion of all natural and manmade features within 100' of the project site on the Existing Conditions Plans. |
| What aspect of the Regulation do you propose be waived? | Requirement to extend out to 100' beyond property line. |
| What do you propose instead? | Acceptance of the site survey submitted with the application. |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request. | The site survey was obtained during the Master Planning stage with limits at 10' beyond the property edge except at streets in general; site development is generally confined to the interior of the site except along the public roadway. |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | To have the survey extended around a parcel of this size would be several thousand dollars - no quote has been received. |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | The areas within 100' of proposed sitework are within the project site in most cases; extending the survey expends project budget on information that is not needed to that level of detail. |
| What is the impact on the development if this waiver is denied? | The time needed could delay permitting past Town Meeting. |
| What are the design alternatives to granting this waiver? | The Applicant will request a proposal from the team's Surveyor. |
| Why is granting this waiver in the Town's best interest? | 100' past the affected area is documented and the timetable is tight. |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | As the Town is the Applicant, the cost savings would be the cost of the preparation of the extended survey. |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | If additional information about abutting areas is needed, we propose to provide existing aerial photography for general information. |
| What is the estimated value of the proposed mitigation measures? | N/A - the information has already been collected. |
| Other Information? | - |
| Waiver Request Prepared By: | Denis J. Chagnon, CBA Landscape Architects LLC |
| Date: | August 17, 2017 |
| Questions?? - Please contact the Medway PED office at 508-533-3291. | |

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

| | |
|---|--|
| Project Name: | Improvements to Choate Park and Cassidy Fields |
| Property Location: | Main Street at Oak Street |
| Type of Project/Permit: | Site Plan Review (Municipal Park Improvement Project) |
| Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought. | 204-5.C.3 - Existing Landscape Inventory, 204-5.D.7 - Landscape Architectural Plan, and 205-9.F - Tree Replacement |
| Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested. | Requires the inventory and documentation of existing trees 12" or more in D.B.H. (204-5) and replacement of removed trees 10" or more in DBH (205-9). |
| What aspect of the Regulation do you propose be waived? | Requirement of the 12" / 10" measurements |
| What do you propose instead? | Inventory, documentation, and replacement based on 18" min. DBH |
| Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request. | The site is heavily wooded in many areas, meaning that many of the smaller trees are underdeveloped and not of comparable value to the 18"+ trees. Additionally, it is our understanding that the Planning Board is anticipating revising to the 18" standard in the future. |
| What is the estimated value/cost savings to the applicant if the waiver is granted? | Inventory costs of approximately \$1,200 for field research. Tree replacement costs of approx. \$1200/new 3" tree required. |
| How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development? | Restricting the inventory and removal to the more significant trees on site allows the project to focus on the most vital tree resources rather than being tied up in protecting smaller second-growth canopy that are not as well-formed and healthy. |
| What is the impact on the development if this waiver is denied? | The additional replacement expense would impact approved funding. |
| What are the design alternatives to granting this waiver? | The Applicant will inventory trees 10" or greater and calculate totals. |
| Why is granting this waiver in the Town's best interest? | The value of the trees in the 10"-17" range does not justify expense. |
| If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town? | As the Town is the Applicant, the cost savings would be the cost of the inventory and the replacements for 10"-17" trees lost. |
| What mitigation measures do you propose to offset not complying with the particular Rule/Regulation? | As outlined in the Project Description narrative, tree canopy will be added wherever feasible in the project, and fast-growing species used. |
| What is the estimated value of the proposed mitigation measures? | N/A - these are a portion of the design documents and application. |
| Other Information? | See Project Description Statement submitted. |
| Waiver Request Prepared By: | Denis J. Chagnon, CBA Landscape Architects LLC |
| Date: | August 17, 2017 |

Questions?? - Please contact the Medway PED office at 508-533-3291.

7/8/2011

**Development Impact Statement – Improvements to Choate Park
as described in Section 204 - 3, 7 of the Medway Site Plan Rules and Regulations**

7a. Traffic Impact

1. The proposed project seeks to better serve the existing uses of the Park and occasional overflow use by Thayer House or Cassidy Fields rather than to create new uses that would be a more significant draw to the site. To that end, no additional traffic generation is expected beyond the peak times of current use, and therefore no traffic impacts are expected on the wider community.

2. and 3. Due to the expectation that no additional traffic is being generated; that the parking spaces created are to serve existing need at times of peak use rather than to accommodate increased demand; and that the Route 109 improvement project already addressed the traffic impacts of the new configuration of Oak Street, the Town requests that a full Traffic Impact Assessment not be required for the project.

7b. Environmental Impact

1. The proposed project will renovate existing uses and provide better functionality. Stormwater impacts have been addressed through the Stormwater Narrative; water quality will be improved by the project over the current condition. The Notice of Intent submitted to the Medway Conservation Commission also addresses the environmental impacts of the project.

2. and 3. The project only proposes the addition of 21 new spaces to serve existing parking needs, disturbs fewer than 30,000 square feet (approx. 11,550) of previously undisturbed area, and proposes a building footprint of fewer than 1500 square feet. Therefore, the Applicant therefore requests that a full Environmental Impact Assessment not be required for the project beyond the information provided concurrently to the Conservation Commission as the Notice of Intent. If one will be required, please provide details on format and scope.

4. A copy of the Notice of Intent has also been provided to the Massachusetts Department of Environmental Protection.

7c. Community Impact

1. The proposed project is a town-wide recreational resource improvement project intended to improve the ability of Choate Park and Cassidy Fields to serve the general population of the Town of Medway and its visitors, and to provide improved accessibility to the park's amenities.

2. The park renovations are predominantly focused within the park's space, leading to minimal visual impacts from adjacent properties. The parking area will be partially screened from Main Street as described under Mitigation Measures in the Project Description narrative. The park

renovations are consistent with the goals of the existing master plans and open space plans for the Town, and were derived specifically from those goals by EPFRAC and the designers. The Applicant's strong belief is that the proposed project represents an improvement to the quality of life of all the site's users and of the park's abutters through the creation of a safer, more diverse, and more attractive open space.

7d. Parking Impact

1. The proposed project proposes the addition of only 21 additional spaces and therefore is not expected to require a Parking Impact Assessment.



| Choate Park & Cassidy Field – Permit Set | | | | | | | | | Medway, MA |
|---|--|----------|------|------------------|-------------------|-----------------------|---------------------|---------------------|---|
| Cost Estimate By Area | | | | | | | | | Prepared by CBA Landscape Architects, LLC |
| | | | | | | | | | 08/17/2017 |
| A – Choate Parking and Entrance Areas | | | | | | | | | |
| Choate Park Parking Area Removals | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | Total | Running Total |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | | |
| #2 | Remove Parking, Entry Drive, and Oak Street in this area | 14752 | SF | | | \$1.25 | \$18,440.00 | | |
| #3 | Remove Existing Tennis Courts | 9596 | SF | | | \$1.25 | \$11,995.00 | | |
| | Remove Existing Steps, and Timber Walls | 1 | LS | | | \$3,000.00 | \$3,000.00 | | |
| #4 | Remove Chain Link Fence at Tennis Court | 1 | LS | | | \$2,000.00 | \$2,000.00 | | |
| #5 | Remove Septic System | 1 | LS | | | \$20,000.00 | \$20,000.00 | | |
| #6 | Remove Individual Trees | 4 | EA | | | \$400.00 | \$1,600.00 | | |
| #7 | Remove and Dispose of Stumps | 4 | EA | | | \$325.00 | \$1,300.00 | | |
| | Remove Existing Concrete Block Building & Foundation | 1 | LS | | | \$15,000.00 | \$15,000.00 | | |
| Parking Area and Entry Area Construction | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #8 | Parking Paving and Entry Drive | 23972 | SF | | | \$6.00 | \$143,832.00 | | |
| #9 | Parking Lot Striping – Spaces | 68 | EA | | | \$7.00 | \$476.00 | | |
| #10 | Parking Lot Striping – HC Space Markings | 4 | EA | | | \$75.00 | \$300.00 | | |
| #11 | Reset Existing Memorial Pavers | 245 | SF | | | \$8.00 | \$1,960.00 | | |
| #12 | Granite Curb | 1043 | LF | | | \$25.00 | \$26,075.00 | | |
| #13 | Bit. Concrete Paths | 5030 | SF | | | \$6.00 | \$30,180.00 | | |
| #14 | Concrete Paving | 700 | SF | | | \$9.00 | \$6,300.00 | | |
| | Furnishings and Structures | | | | | | | | |
| #15 | New Granite Entry Columns | 2 | EA | | | \$1,500.00 | \$3,000.00 | | |
| #16 | Repointing/Repairs to Existing Walls & Columns | 1 | LS | | | \$7,500.00 | \$7,500.00 | | |
| #17 | Bike Racks | 6 | EA | \$376.20 | \$2,257.20 | \$122.27 | \$733.59 | | |
| #18 | Trash/Recycle Receptacles | 2 | EA | \$1,678.65 | \$3,357.30 | \$251.80 | \$503.60 | | |
| #19 | Bollard and Chain | 4 | EA | | | \$300.00 | \$1,200.00 | | |
| #20 | Reinstall Signs, Library, Etc. | 3 | EA | | | \$500.00 | \$1,500.00 | | |
| | Utilities | | | | | | | | |
| #21 | Sewer Connection | 1 | LS | | | \$25,000.00 | \$25,000.00 | | |
| #22 | Lights | 13 | EA | | | \$4,875.00 | \$63,375.00 | | |
| #23 | Lighting Conduit | 1206 | LF | | | \$20.00 | \$24,120.00 | | |
| #24 | Utility Pole Relocation | 2 | EA | | | \$2,500.00 | \$5,000.00 | | |
| #25 | Subsurface Infiltration System | 1 | LS | | | \$47,500.00 | \$47,500.00 | | |
| #26 | New Catch Basin Structure / Manhole | 2 | EA | | | \$5,000.00 | \$10,000.00 | | |
| | Planting | | | | | | | | |
| #27 | Flowering Trees | 3 | EA | | | \$800.00 | \$2,400.00 | | |
| #28 | Shade & Evergreen Trees | 16 | EA | | | \$1,200.00 | \$19,200.00 | | |
| #29 | Wildflower Mix | 1020 | SF | | | \$1.50 | \$1,530.00 | | |
| #30 | Shrubs for Front of Building | 450 | SF | | | \$12.00 | \$5,400.00 | | |
| #31 | Lawn (Seed) | 21023 | SF | | | \$0.75 | \$15,767.25 | | |
| | | | | | | | | | |
| | | | | MHEC Subt: | \$5,614.50 | Contr. Subt: | \$521,187.44 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$140,720.61 | | |
| | TOTAL CONSTRUCTION: A – Choate Parking and Entrance Areas | | | | | | | \$667,522.54 | \$667,522.54 |

| B – Playground Area w/o Splashpad | | | | | | | | |
|--|--|----------|------|------------------|-------------------|-----------------------|---------------------|-----------------------|
| Playground Area Removals | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | |
| #2 | Remove Existing Play Equipment & Surfacing | 1 | LS | | | \$10,000.00 | \$10,000.00 | |
| #3 | Remove Existing Playground Fence | 1 | LS | | | \$2,500.00 | \$2,500.00 | |
| #4 | Remove Existing Paths & Parking Area | 8866 | SF | | | \$1.25 | \$11,082.50 | |
| #5 | Remove Individual Trees | 4 | EA | | | \$400.00 | \$1,600.00 | |
| #6 | Remove and Dispose of Stumps | 4 | EA | | | \$325.00 | \$1,300.00 | |
| | Remove Existing Utility Poles | 2 | EA | | | \$2,500.00 | \$5,000.00 | |
| Playground Construction | | | | | | | | |
| | Paving and Surfacing | | | | | | | |
| #7 | Bit. Concrete Paths | 2790 | SF | | | \$6.00 | \$16,740.00 | |
| #8 | Concrete Paving | 542 | SF | | | \$9.00 | \$4,878.00 | |
| #9 | Granite Curb | 214 | LF | | | \$25.00 | \$5,350.00 | |
| #10 | PIP Rubber Safety Surface | 7260 | SF | | | \$19.00 | \$137,940.00 | |
| #11 | Aluminum Edge at Rubber Safety Surface | 1134 | LF | | | \$5.50 | \$6,237.00 | |
| | Site Furnishings | | | | | | | |
| #12 | 6' Bench, Backless | 4 | EA | \$1,387.95 | \$5,551.80 | \$104.10 | \$416.39 | |
| #13 | 6' Bench with Back | 2 | EA | \$1,160.90 | \$2,321.80 | \$104.48 | \$208.96 | |
| #14 | Round Table with 2 Chairs | 8 | EA | \$1,797.16 | \$14,377.30 | \$359.43 | \$2,875.46 | |
| | Site Elements | | | | | | | |
| #15 | 4' High Ornamental Steel Fence | 562 | LF | | | \$90.00 | \$50,580.00 | |
| #16 | Concrete Mow Strip at Fence | 209 | LF | | | \$15.00 | \$3,135.00 | |
| #17 | 4' Wide Gate | 2 | EA | | | \$1,200.00 | \$2,400.00 | |
| #18 | Bollards at Swings | 7 | EA | | | \$200.00 | \$1,400.00 | |
| #19 | Drinking Fountain | 1 | EA | \$3,000.00 | \$3,000.00 | \$1,050.00 | \$1,050.00 | |
| #20 | Trash Receptacles | 2 | EA | \$1,678.65 | \$3,357.30 | \$251.80 | \$503.60 | |
| #21 | Reinstall Signs, Library, Etc. | 1 | EA | | | \$500.00 | \$500.00 | |
| | Play Equipment | | | | | | | |
| #22 | Rotating Play Feature (Installation cost, Donated) | 1 | EA | | | \$9,500.00 | \$9,500.00 | |
| #23 | Swing Set (4 bays) & Items below (not itemized separately) | 1 | EA | \$164,763.00 | \$164,763.00 | \$49,428.90 | \$49,428.90 | |
| #24 | Ages 5-12 Play Structure (included above) | 1 | EA | | | | | |
| #25 | Ages 2-5 Play Structure (included above) | 1 | EA | | | | | |
| #26 | Ages 6-23 Mo. Play Structure (included above) | 1 | EA | | | | | |
| | Planting | | | | | | | |
| #27 | Ornamental Trees | 2 | EA | | | \$800.00 | \$1,600.00 | |
| #28 | Shade Trees | 12 | EA | | | \$1,200.00 | \$14,400.00 | |
| #29 | Lawn (Seed) | 2736 | SF | | | \$0.75 | \$2,052.00 | |
| | Utilites | | | | | | | |
| #30 | Utility Pole Relocation | 1 | EA | | | \$2,500.00 | \$2,500.00 | |
| #31 | Lights | 1 | EA | | | \$4,875.00 | \$4,875.00 | |
| #32 | Electrical Conduit | 100 | LF | | | \$20.00 | \$2,000.00 | |
| #33 | Electrical Panel Within Building | 1 | EA | | | \$4,000.00 | \$4,000.00 | |
| #34 | Water Cabinet | 1 | EA | | | \$4,000.00 | \$4,000.00 | |
| | | | | MHEC Subt: | \$193,371.20 | Contr. Subt: | \$365,052.80 | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$98,564.26 | |
| | TOTAL CONSTRUCTION: B – Playground Area w/o Splashpad | | | | | | \$656,988.26 | \$1,324,510.80 |

| C - Splash Pad (Non-Recirculating) | | | | | | | | |
|--|--|----------|------|------------------|-------------------|-----------------------|---------------------|------------------------------------|
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | |
| #1 | Concrete Paving (Decorative) | 727 | SF | | | \$14.00 | \$10,178.00 | |
| #2 | Splash Pad (Base Design, incl. connections & vault/manifold) | 1 | LS | \$16,500.00 | \$16,500.00 | \$7,425.00 | \$7,425.00 | |
| #3 | Drainage / Infiltration System for Splashpad | 1 | LS | | | \$7,500.00 | \$7,500.00 | |
| | | | | MHEC Subt: | \$16,500.00 | Contr. Subt: | \$25,103.00 | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$6,777.81 | Total Running Total |
| | TOTAL CONSTRUCTION: C - Splash Pad (Non-Recirculating) | | | | | | | \$48,380.81 \$1,372,891.61 |
| D – Choate Park Picnic/Shoreline Area | | | | | | | | |
| Removals | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | |
| #2 | Remove Existing Paths & Parking Area | 8079 | SF | | | \$1.25 | \$10,098.75 | |
| #3 | Remove Sand Beach | 3200 | SF | | | \$0.50 | \$1,600.00 | |
| #4 | Remove Individual Trees | 9 | EA | | | \$400.00 | \$3,600.00 | |
| #5 | Remove and Dispose of Stumps | 9 | EA | | | \$325.00 | \$2,925.00 | |
| Picnic Area Construction | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | |
| | Paving and Surfacing | | | | | | | |
| #6 | Bit. Concrete Paths | 7219 | SF | | | \$6.00 | \$43,314.00 | |
| #7 | Stone Dust Seating Area | 2259 | SF | | | \$5.00 | \$11,295.00 | |
| #8 | Concrete Paving | 818 | SF | | | \$9.00 | \$7,362.00 | |
| | Site Furnishings | | | | | | | |
| #9 | 6' Benches with Back | 6 | EA | \$1,160.90 | \$6,965.40 | \$104.48 | \$626.89 | |
| #10 | Picnic Tables (Non-ADA) | 4 | EA | \$4,156.25 | \$16,625.00 | \$706.56 | \$2,826.25 | |
| #11 | Picnic Table (ADA) | 1 | EA | \$4,408.00 | \$4,408.00 | \$749.36 | \$749.36 | |
| #12 | Trash Receptacles | 4 | EA | \$1,678.65 | \$6,714.60 | \$251.80 | \$1,007.19 | |
| #13 | Reinstall Signs, Monuments, etc. | 3 | EA | | | \$500.00 | \$1,500.00 | |
| | Utilities | | | | | | | |
| #14 | Lights | 12 | EA | | | \$4,875.00 | \$58,500.00 | |
| #15 | Lighting Conduit | 642 | LF | | | \$20.00 | \$12,840.00 | |
| | Planting | | | | | | | |
| #16 | Ornamental Trees | 0 | EA | | | \$800.00 | \$0.00 | |
| #17 | Shade Trees | 13 | EA | | | \$1,200.00 | \$15,600.00 | |
| #18 | Shrubs/Wetland Plants | 1387 | SF | | | \$12.00 | \$16,644.00 | |
| #19 | Lawn (Seed) | 13427 | SF | | | \$0.75 | \$10,070.25 | |
| | | | | MHEC Subt: | \$34,713.00 | Contr. Subt: | \$182,334.94 | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$49,230.43 | Total Running Total |
| | TOTAL CONSTRUCTION: D – Choate Park Picnic/Shoreline Area | | | | | | | \$266,278.37 \$1,639,169.98 |
| E – Pavilion | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | |
| #1 | New Pavilion | 1 | LS | \$65,500.00 | \$65,500.00 | \$68,775.00 | \$68,775.00 | |
| #2 | Concrete Pad | 1656 | SF | | | \$9.00 | \$14,904.00 | |
| #3 | Picnic Tables (Portable, not installed) | 12 | EA | \$4,156.25 | \$49,875.00 | \$100.00 | \$1,200.00 | |
| #4 | New Granite Stairs | 4 | EA | | | \$375.00 | \$1,500.00 | |

| | | | | | | | | | |
|--|--|-----------------|-------------|-------------------------|--------------------------|------------------------------|----------------------------|---------------------|-----------------------|
| #5 | Handrails for New Stairs | 12 | LF | | | \$115.00 | \$1,380.00 | | |
| | | | | MHEC Subt: | \$115,375.00 | Contr. Subt: | \$87,759.00 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$23,694.93 | Total | Running Total |
| | TOTAL CONSTRUCTION: E – Pavilion | | | | | | | \$226,828.93 | \$1,865,998.91 |
| F - Accessible Route Through Woods (Unlit) | | | | | | | | | |
| Removals | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$3,000.00 | \$3,000.00 | | |
| #2 | Remove Gravel Paths | 7314 | SF | | | \$0.50 | \$3,657.00 | | |
| #3 | Remove Trees & Undergrowth Vegetation | 9715 | SF | | | \$1.35 | \$13,115.25 | | |
| Accessible Route Construction | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #4 | Stabilized Stone Dust Path | 5416 | SF | | | \$5.00 | \$27,080.00 | | |
| #5 | New Granite Stairs to Cassidy Fields | 10 | EA | | | \$375.00 | \$3,750.00 | | |
| #6 | Handrails for New Stairs | 24 | LF | | | \$115.00 | \$2,760.00 | | |
| #7 | Shrubs | 1943 | SF | | | \$12.00 | \$23,316.00 | | |
| | | | | MHEC Subt: | \$0.00 | Contr. Subt: | \$76,678.25 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$21,086.52 | Total | Running Total |
| | TOTAL CONSTRUCTION: F - Accessible Route Through Woods (Unlit) | | | | | | | \$97,764.77 | \$1,963,763.68 |
| G – Light Accessible Route Through Woods | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Lighting | | | | | | | | |
| #1 | Lights | 8 | EA | | | \$4,875.00 | \$39,000.00 | | |
| #2 | Lighting Conduit | 600 | LF | | | \$20.00 | \$12,000.00 | | |
| | | | | MHEC Subt: | \$0.00 | Contr. Subt: | \$51,000.00 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$14,025.00 | Total | Running Total |
| | TOTAL CONSTRUCTION: G – Light Accessible Route Through Woods | | | | | | | \$65,025.00 | \$2,028,788.68 |
| O – Loop Path – Remaining After Accessible Route to Cassidy (Unlit) | | | | | | | | | |
| Removals | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | | |
| #2 | Remove Existing Gravel Paths | 9349 | SF | | | \$0.50 | \$4,674.50 | | |
| Loop Path Construction | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #3 | Stabilized Stone Dust Path | 10255 | SF | | | \$5.00 | \$51,275.00 | | |
| #4 | 6' Benches with Back | 5 | EA | \$1,160.90 | \$5,804.50 | \$104.48 | \$522.41 | | |
| #5 | Repainting/Repairs to Existing Bridge | 1 | LS | | | \$4,000.00 | \$4,000.00 | | |
| | | | | MHEC Subt: | \$5,804.50 | Contr. Subt: | \$65,471.91 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$18,004.77 | Total | Running Total |
| | TOTAL CONSTRUCTION: O – Loop Path – Remaining After Accessible Route to Cassidy (Unlit) | | | | | | | \$89,281.18 | \$2,118,069.86 |

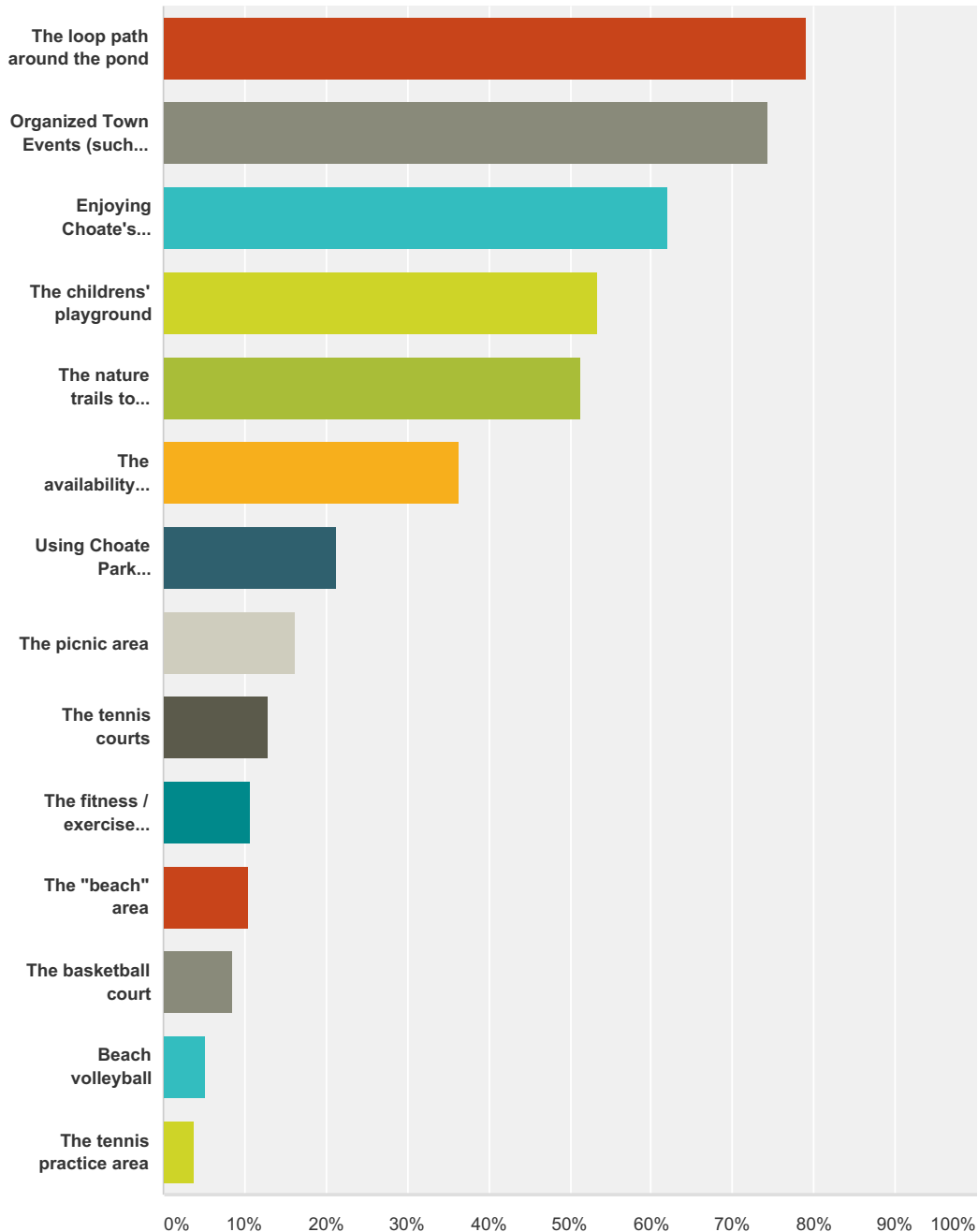
| | | | | | | | | | |
|--|---|----------|------|------------------|-------------------|-----------------------|---------------------|--------------|----------------|
| | | | | MHEC total: | \$371,378.20 | Contr. Total: | \$1,746,691.66 | | |
| Construction Administration Fees (anticipated based on current scope) | | | | | | | | \$58,125.00 | |
| End Phase 1 Base Scope; Begin Phase 1 Alternates | | | | | | | | | \$2,176,194.86 |
| Q – Southwest Corner / Trailhead Area (Without Ice Equipment) – Add Alt #1 | | | | | | | | | |
| Removals | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | | |
| #2 | Remove Existing Gravel Paths | 502 | SF | | | \$0.50 | \$251.00 | | |
| #3 | Remove Trees & Undergrowth Vegetation | 475 | SF | | | \$1.35 | \$641.25 | | |
| #4 | Remove Basketball Court and Tennis Surface | 5381 | SF | | | \$1.25 | \$6,726.25 | | |
| #5 | Remove Volleyball Court | 3825 | SF | | | \$0.50 | \$1,912.50 | | |
| #6 | Remove Fencing at Basketball and Tennis Court | 1 | LS | | | \$3,000.00 | \$3,000.00 | | |
| Southwest Corner / Trailhead Area Construction | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #7 | Stabilized Stone Dust Path | 2182 | SF | | | \$5.00 | \$10,910.00 | | |
| | Site Elements | | | | | | | | |
| #8 | Adventure Play – Balancing Logs | 15 | EA | | | \$450.00 | \$6,750.00 | | |
| #9 | Adventure Play – Stepping Stumps | 20 | EA | | | \$125.00 | \$2,500.00 | | |
| #10 | Adventure Play Area – Hardwood Benches | 4 | EA | | | \$1,500.00 | \$6,000.00 | | |
| #11 | Adventure Play Area – Stacking Stones | 60 | SF | | | \$35.00 | \$2,100.00 | | |
| #12 | Adventure Play Area – Boulder Edging | 150 | LF | | | \$50.00 | \$7,500.00 | | |
| #13 | Adventure Play Area – Wood Fiber Safety Surface | 2000 | SF | | | \$3.00 | \$6,000.00 | | |
| #14 | Picnic Table (ADA) | 1 | EA | \$4,408.00 | \$4,408.00 | \$749.36 | \$749.36 | | |
| #15 | Picnic Tables (Non-ADA) | 4 | EA | \$4,156.25 | \$16,625.00 | \$706.56 | \$2,826.25 | | |
| | Planting | | | | | | | | |
| #16 | Lawn (Seed) | 13570 | SF | | | \$0.75 | \$10,177.50 | | |
| #17 | Shade Trees | 8 | EA | | | \$1,200.00 | \$9,600.00 | | |
| | | | | MHEC Subt: | \$21,033.00 | Contr. Subt: | \$82,644.11 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$22,727.13 | Total | Running Total |
| TOTAL CONSTRUCTION: Q – Southwest Corner / Trailhead Area (Without Ice Equipment) – Add Alt #1 | | | | | | | | \$126,404.24 | \$2,302,599.10 |
| T – Boardwalk Path Along Park Pond, Overlook, and Steps – Add Alt. #2 | | | | | | | | | |
| Removals | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$5,000.00 | \$5,000.00 | | |
| #2 | Removals Trees & Undergrowth Vegetation | 1175 | SF | | | \$1.35 | \$1,586.25 | | |
| | | | | | | | | | |
| Boardwalk / Overlook Construction | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #3 | Stabilized Stone Dust Path | 215 | SF | | | \$5.00 | \$1,075.00 | | |

By Area

| | | | | | | | | | |
|------------|--|-----------------|-------------|-------------------------|--------------------------|------------------------------|----------------------------|--------------------|-----------------------|
| #4 | Boardwalk Along Park Pond | 349 | SF | | | \$35.00 | \$12,215.00 | | |
| #5 | Steps to Upper Path | 1 | LS | | | \$20,000.00 | \$20,000.00 | | |
| #6 | Wooden Overlook / Deck | 1 | LS | | | \$15,000.00 | \$15,000.00 | | |
| | Site Elements | | | | | | | | |
| #7 | 6' Benches with Back | 1 | EA | \$1,160.90 | \$1,160.90 | \$104.48 | \$104.48 | | |
| | | | | MHEC Subt: | \$1,160.90 | Contr. Subt: | \$54,980.73 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$15,119.70 | Total | Running Total |
| | TOTAL CONSTRUCTION: T – Boardwalk Path Along Park Pond, Overlook, and Steps – Add Alt. #2 | | | | | | | \$71,261.33 | \$2,373,860.43 |
| | | | | | | | | | |
| | I - Accessible Route Along Fields (Unlit) – Add Alt. #3 | | | | | | | | |
| | Removals | | | | | | | | |
| | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| #1 | Logistics / Site Fencing / Silt Socks | 1 | LS | | | \$3,500.00 | \$3,500.00 | | |
| #2 | Remove Asphalt Paths | 7739 | SF | | | \$1.25 | \$9,673.75 | | |
| #3 | Remove Trees & Undergrowth Vegetation | 720 | SF | | | \$1.35 | \$972.00 | | |
| | Accessible Route Construction | | | | | | | | |
| | | | | | | | | | |
| No. | Item | Quantity | Unit | MHEC B14 Pricing | Direct Cost Total | Contractor Unit Price | Contractor Subtotal | | |
| | Paving and Surfacing | | | | | | | | |
| #4 | Vehicular Bit. Concrete Pathway | 9533 | SF | | | \$6.50 | \$61,964.50 | | |
| #5 | Stone Wall | 2480 | FF | | | \$60.00 | \$148,800.00 | | |
| | | | | MHEC Subt: | \$0.00 | Contr. Subt: | \$76,110.25 | | |
| | 2.5% Bond, 15% Overhead/Profit, 10% Miscellaneous Items | | | | | | \$20,930.32 | Total | Running Total |
| | TOTAL CONSTRUCTION: I - Accessible Route Along Fields (Unlit) – Add Alt. #3 | | | | | | | \$97,040.57 | \$2,470,901.00 |
| | | | | | | | | | |
| | | | | MHEC total: | \$393,572.10 | Contr. Total: | \$2,019,203.90 | | |
| | | | | | | | | | |
| | <i>End Phase 1 Alternates; See Master Plan for other Phases</i> | | | | | | | | |
| | | | | | | | | | \$2,470,901.00 |

Q1 When you or your family uses Choate Park, which of the following is part of what attracts you to the park? (Check all that apply.)

Answered: 423 Skipped: 4



| Answer Choices | Responses |
|--|------------|
| The loop path around the pond | 79.20% 335 |
| Organized Town Events (such as the Pumpkin Walk, 4th of July, etc) | 74.23% 314 |

Medway Parks: Goals & Analysis Survey

| | | |
|---|--------|-----|
| Enjoying Choate's natural setting and character | 61.94% | 262 |
| The childrens' playground | 53.43% | 226 |
| The nature trails to Medway High School | 51.30% | 217 |
| The availability of bathrooms | 36.41% | 154 |
| Using Choate Park before/during/after attending ballgames at Cassidy Fields | 21.28% | 90 |
| The picnic area | 16.31% | 69 |
| The tennis courts | 13.00% | 55 |
| The fitness / exercise stations | 10.64% | 45 |
| The "beach" area | 10.40% | 44 |
| The basketball court | 8.51% | 36 |
| Beach volleyball | 5.20% | 22 |
| The tennis practice area | 3.78% | 16 |
| Total Respondents: 423 | | |

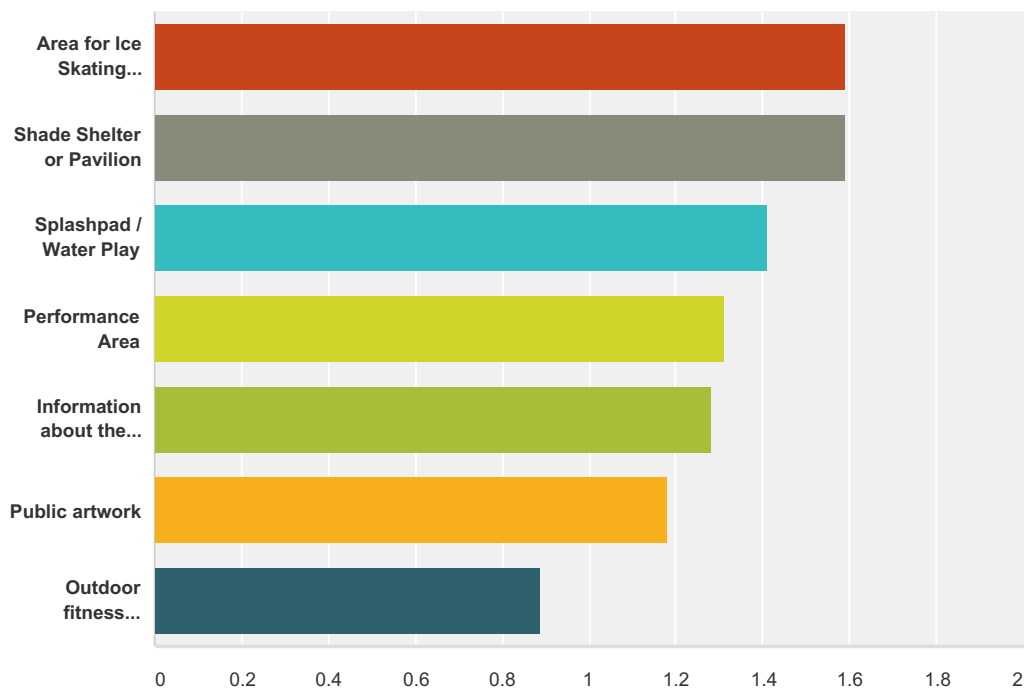
| # | Other (please specify) | Date |
|----|---|---------------------|
| 1 | Big lawn of Thayer | 12/18/2016 4:47 PM |
| 2 | Having a place to sit, read & reflect is important to me | 12/18/2016 2:31 PM |
| 3 | fishing along the shore - would be great if more access | 12/15/2016 8:03 PM |
| 4 | Good to know that bathrooms are available | 12/14/2016 9:12 AM |
| 5 | would love to use the beach if the water was clean | 12/14/2016 8:45 AM |
| 6 | Choate park summer camp. Would use playground too if toys were removed from playground.... A lot are broke and not safe | 12/13/2016 8:42 PM |
| 7 | In conjunction with Thayer House events. | 12/12/2016 11:05 AM |
| 8 | Running trails | 12/12/2016 10:55 AM |
| 9 | Beautiful location that could be so much more for the town with lots of TLC | 12/11/2016 11:52 PM |
| 10 | allow dogs...fines for not cleaning up after. the dog park in town is a dump. | 12/11/2016 9:29 PM |
| 11 | NOT Porta-Potties but Bathroom facilities | 12/11/2016 8:50 PM |
| 12 | wide selection of toys and playhouses in playground | 12/11/2016 8:27 PM |
| 13 | Would love to see ice skating in the winter! | 12/11/2016 7:25 PM |
| 14 | Fishing | 12/11/2016 10:20 AM |
| 15 | I like that is very well maintained, toys are inspected, garbage is picked up, etco | 12/10/2016 9:20 PM |
| 16 | Wish we could go swimming!! | 12/10/2016 8:14 PM |
| 17 | Fishing | 12/9/2016 11:12 PM |
| 18 | music concerts in the summer | 12/9/2016 11:11 PM |
| 19 | Would be nice to have a better beach area | 12/9/2016 10:42 PM |
| 20 | It's close and conveniently located | 12/9/2016 7:24 PM |
| 21 | Fishing in the lake | 12/9/2016 6:48 PM |
| 22 | Christmas Tree! | 12/9/2016 4:56 PM |
| 23 | fishing | 12/9/2016 2:54 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|---|-------------------|
| 24 | Mom meetups and social events (informal) | 12/9/2016 2:52 PM |
| 25 | My son and several of his friends meet there to go fishing. Families use the pond to teach children how to fish of the bridges. It is a popular activity at Choate Park. | 12/9/2016 2:51 PM |
| 26 | fishing | 12/9/2016 1:35 PM |
| 27 | Ice Skating in Winter | 12/9/2016 1:35 PM |
| 28 | I used the park regularly in the summers during the 1990s when it had a staffed summer program. My (now adult) kids learned to swim there. The summer program was the draw. | 12/9/2016 1:30 PM |
| 29 | When you could swim in the pond | 12/9/2016 1:18 PM |

Q2 Discussions with the Committee and at the public meeting highlighted a desire to make Choate Park a signature, “town center” park for Medway, and a need for the renovations to include: accessible pathways throughout the site; improved seating and picnic areas; better organizing the “active core” uses (playground, picnic area, parking, etc); renovating the playground area; lighting in key areas for safe evening use; and redesigning the vehicular and pedestrian entrances. Which, if any, of the following features would you like to consider adding at Choate Park?

Answered: 422 Skipped: 5



| | No | Maybe | Yes | Total | Weighted Average |
|--|--------------|---------------|---------------|-------|------------------|
| Area for Ice Skating (separate from Choate Pond) | 9.00% 37 | 22.63% 93 | 68.37% 281 | 411 | 1.59 |
| Shade Shelter or Pavilion | 8.62% 35 | 24.14% 98 | 67.24% 273 | 406 | 1.59 |
| Splashpad / Water Play | 18.47% 75 | 22.17% 90 | 59.36% 241 | 406 | 1.41 |
| Performance Area | 15.42% 60 | 37.79% 147 | 46.79% 182 | 389 | 1.31 |

Medway Parks: Goals & Analysis Survey

| | | | | | |
|--------------------------------------|----------------------|----------------------|----------------------|-----|------|
| Information about the site's history | 19.49% 76 | 32.56% 127 | 47.95% 187 | 390 | 1.28 |
| Public artwork | 21.36% 85 | 39.45% 157 | 39.20% 156 | 398 | 1.18 |
| Outdoor fitness equipment | 38.28% 147 | 34.90% 134 | 26.82% 103 | 384 | 0.89 |

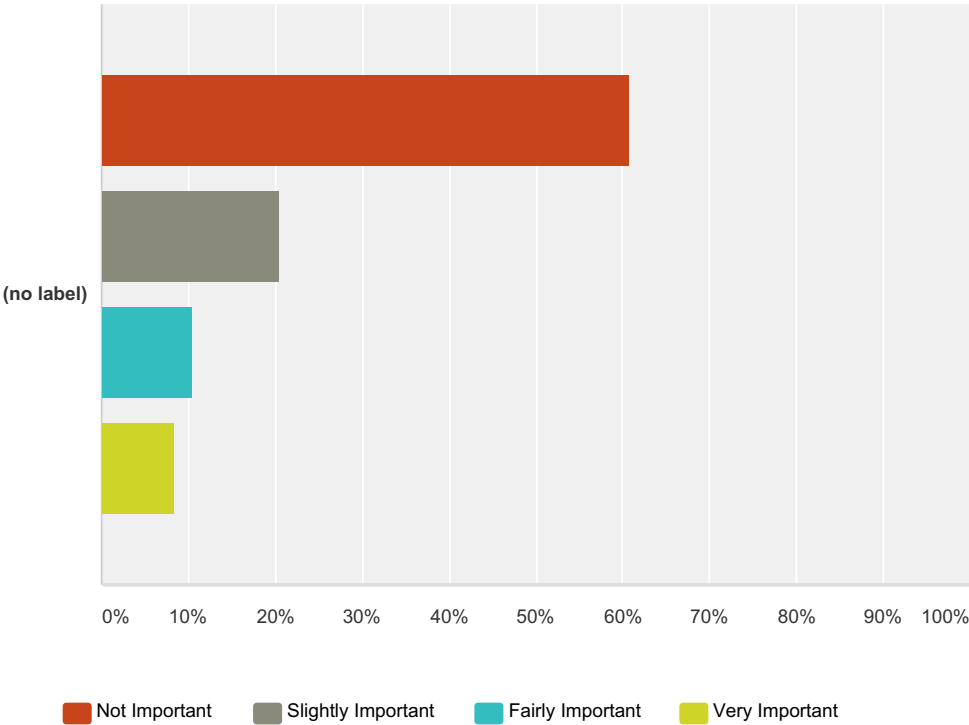
| # | Other (please specify) | Date |
|----|--|---------------------|
| 1 | swimming please!!! | 12/18/2016 11:45 PM |
| 2 | Updated play structures | 12/18/2016 11:34 PM |
| 3 | Curb appeal, natural landscape feature i.e. allee, row of trees, fairy room/plants | 12/18/2016 4:47 PM |
| 4 | more access to around the pond fishing/paddleboard rentals | 12/15/2016 8:03 PM |
| 5 | open the trails up to dog walking | 12/14/2016 3:59 PM |
| 6 | Why not skate on the pond? | 12/14/2016 12:59 PM |
| 7 | pet friendly area would be nice! | 12/14/2016 12:17 PM |
| 8 | Would love a community center/indoor pool instead of above listed improvements | 12/14/2016 10:03 AM |
| 9 | Clean beach so it could be used. | 12/14/2016 9:46 AM |
| 10 | clean water for swimming cant bring children to the beach if they cant touch the water | 12/14/2016 8:45 AM |
| 11 | Allow leashed dogs in non sports/playground setting. | 12/13/2016 10:58 AM |
| 12 | If I had to pick one, it would be the splashpad/water play | 12/12/2016 10:45 PM |
| 13 | Restrooms that are open daily. | 12/12/2016 9:39 PM |
| 14 | Allowing leashed dogs along paths | 12/12/2016 7:35 PM |
| 15 | clean up the "junk" in the children's play area | 12/12/2016 3:44 PM |
| 16 | A pavillion/gazebo could be located at the Thayer House lawn as an alternative. A fabric shade structure or trees could be placed near the playground area also. | 12/12/2016 11:05 AM |
| 17 | A summer program for volleyball | 12/11/2016 9:08 PM |
| 18 | Please make paved pathways along the pond for stroller use. | 12/11/2016 8:44 PM |
| 19 | Dock for fishing | 12/11/2016 10:20 AM |
| 20 | Why not skating on the pond itself? | 12/11/2016 12:00 AM |
| 21 | All are such wonderful ideas! If I could chose only one though, would chose a splash pad! | 12/10/2016 9:20 PM |
| 22 | Better integration of the water into the park uses | 12/10/2016 10:22 AM |
| 23 | I moved to Medway over the summer and took my kids to Choate Park a few times since we moved here. I think the top priority should be keeping the grounds free of litter. I was pretty amazed at the trash on the ground throughout the playground. I've started taking my kids to goodwill park in holliston because it's much cleaner and nicer. Would be so nice to have Choate park on the same level. | 12/9/2016 11:58 PM |
| 24 | Safe and innovative playground equipment. | 12/9/2016 9:54 PM |
| 25 | Bring back swimming! Expand trails in the park. Expanded trails so it can be used for cross country skiing | 12/9/2016 9:00 PM |
| 26 | Playground lighting when there are evening events. | 12/9/2016 3:41 PM |
| 27 | dogs on leash | 12/9/2016 3:08 PM |
| 28 | Disc golf, tetherball, more "teen/tween" friendly recreation; more public art/sculptures like Choatie all can enjoy | 12/9/2016 2:52 PM |
| 29 | I've seen splashpads double as ice skating area in the winter | 12/9/2016 2:42 PM |
| 30 | Splash pad would be amazing! | 12/9/2016 1:46 PM |
| 31 | Skate park | 12/9/2016 1:43 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|---|-------------------|
| 32 | fishing dock | 12/9/2016 1:35 PM |
| 33 | What about a town pool? | 12/9/2016 1:30 PM |
| 34 | Cleaning the pond for swimming bringing back swimming lessons | 12/9/2016 1:18 PM |
| 35 | making it pet friendly! | 12/9/2016 1:02 PM |

Q3 Due to health concerns, the Pond is not open for swimming, and addressing the causes is beyond the scope of this project. Given that, how important is it to you to have a "beach area" at Choate Pond?

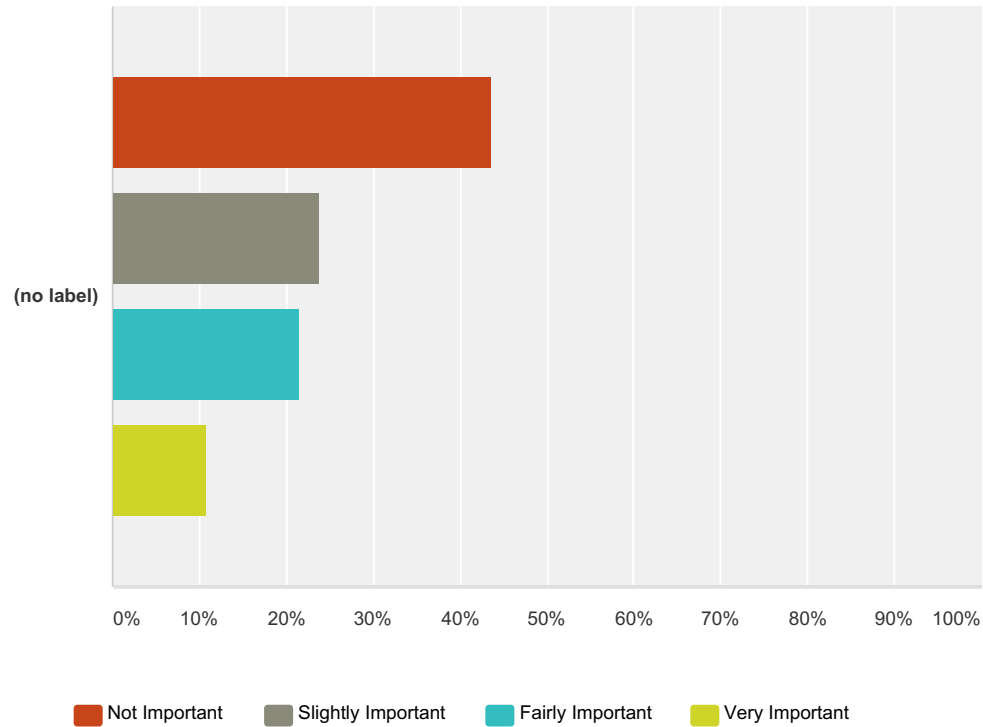
Answered: 424 Skipped: 3



| | Not Important | Slightly Important | Fairly Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------------|----------------|-------|------------------|
| (no label) | 60.85% 258 | 20.52% 87 | 10.38% 44 | 8.25% 35 | 424 | 0.66 |

Q4 Assuming the tennis facilities at the Middle School are renovated, how important is it to keep a tennis court at Choate Park (or at Cassidy Fields)?

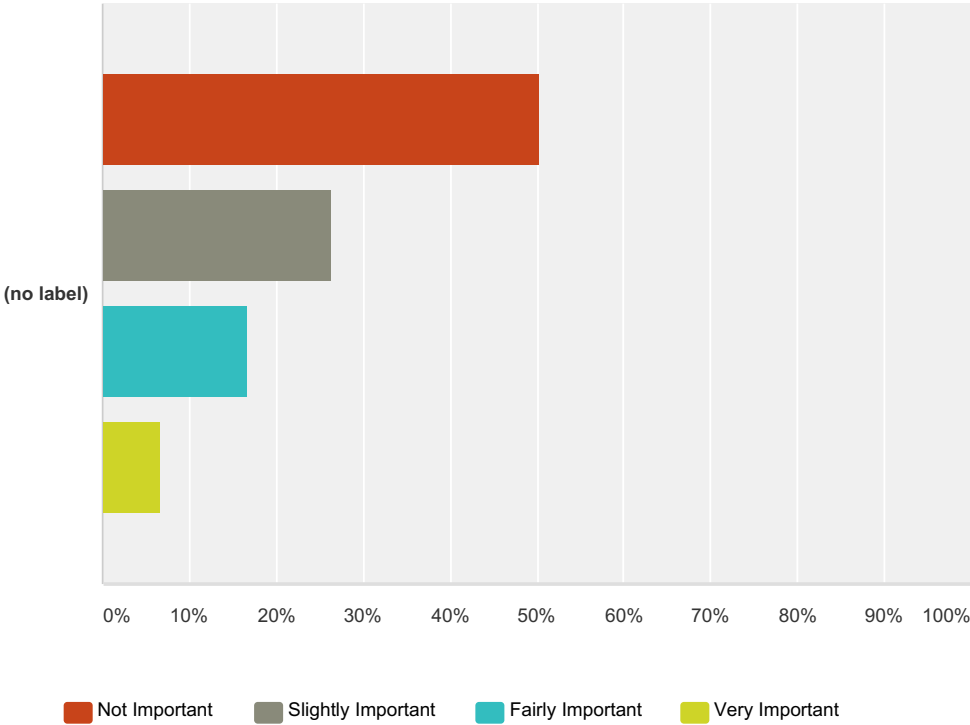
Answered: 423 Skipped: 4



| | Not Important | Slightly Important | Fairly Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------------|----------------|-------|------------------|
| (no label) | 43.74% 185 | 23.88% 101 | 21.51% 91 | 10.87% 46 | 423 | 1.00 |

Q5 How important is it to keep a beach volleyball court at Choate Park?

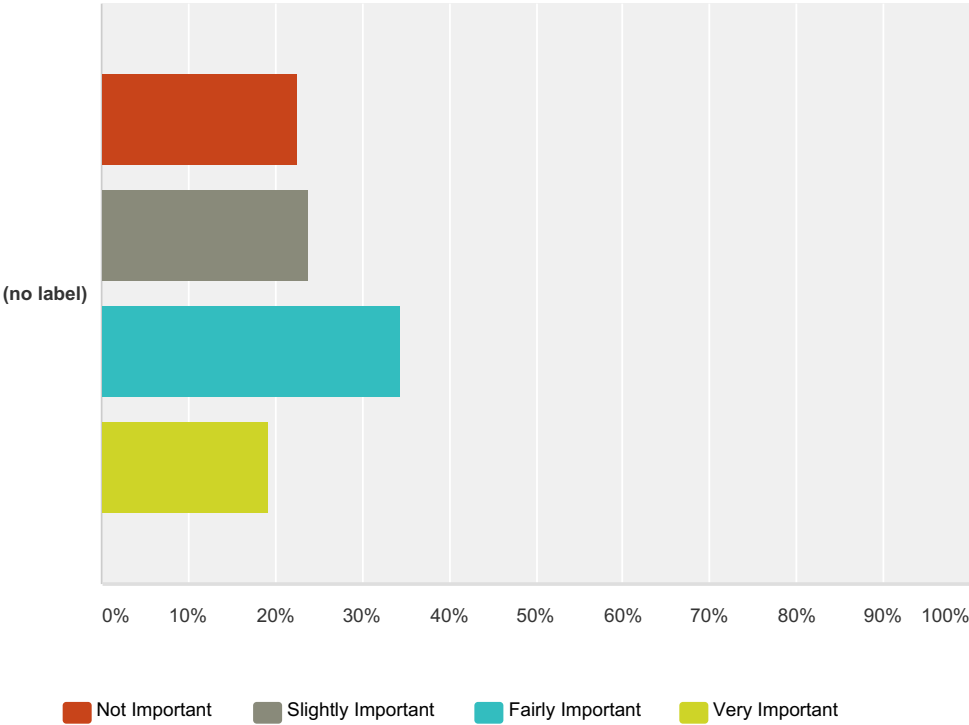
Answered: 423 Skipped: 4



| | Not Important | Slightly Important | Fairly Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------------|----------------|-------|------------------|
| (no label) | 50.35% 213 | 26.24% 111 | 16.78% 71 | 6.62% 28 | 423 | 0.80 |

Q6 How important is it to keep a basketball court at Choate Park (or at Cassidy Fields)?

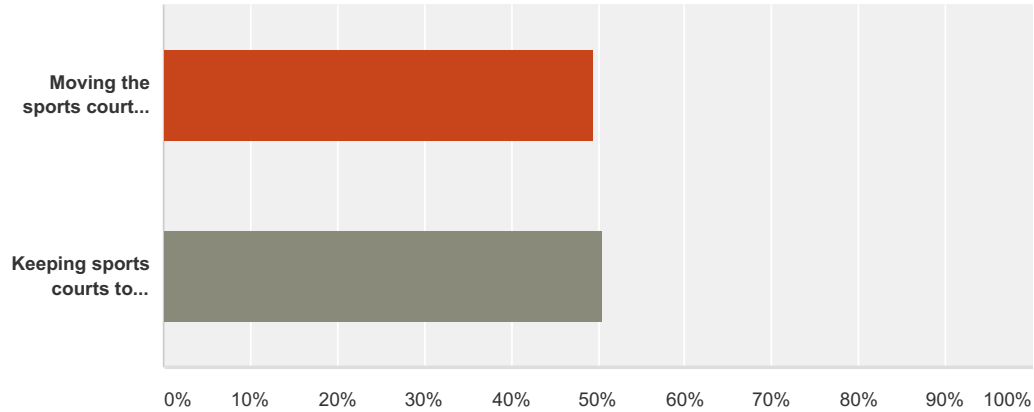
Answered: 425 Skipped: 2



| | Not Important | Slightly Important | Fairly Important | Very Important | Total | Weighted Average |
|------------|---------------|--------------------|------------------|----------------|-------|------------------|
| (no label) | 22.59% 96 | 23.76% 101 | 34.35% 146 | 19.29% 82 | 425 | 1.50 |

Q7 Which of the following approaches would you prefer to see taken at Choate Park? (Not including Cassidy Fields)

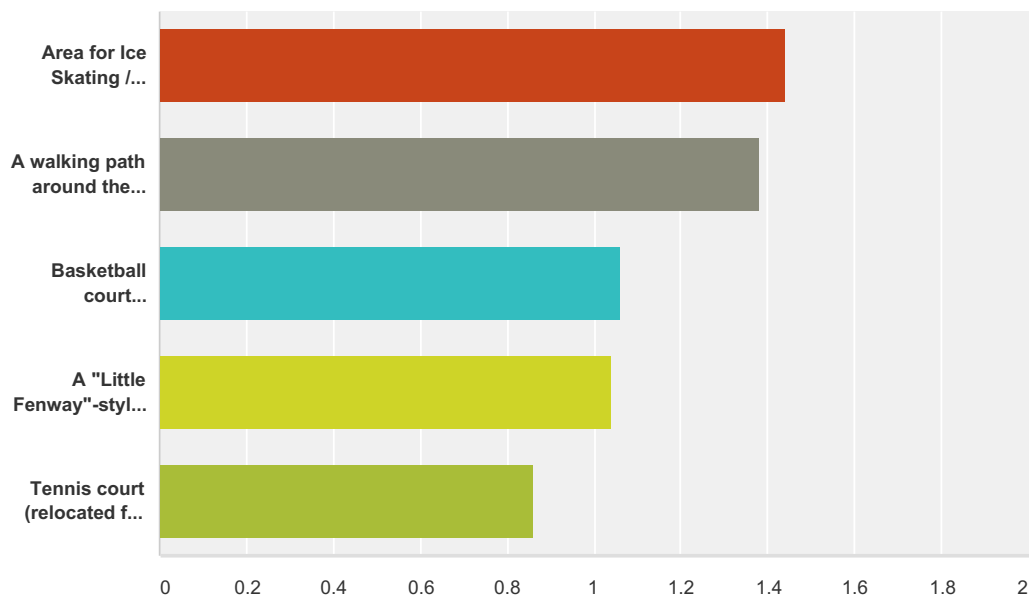
Answered: 420 Skipped: 7



| Answer Choices | Responses |
|---|---------------|
| Moving the sports courts to other parks to enhance the bucolic / town green character of Choate Park and the Thayer Homestead, focusing on the natural features, childrens' play area, open space, picnicking, and walking paths. | 49.52% 208 |
| Keeping sports courts to provide a wider variety of uses here, similar to the current mix of walking paths, natural areas, playground, courts, and picnic areas | 50.48% 212 |
| Total | 420 |

Q8 Discussions with the Committee and at the public meeting emphasized the need for the renovations at Cassidy Fields to: add lighting to additional ballfields; increase screening for the abutters; improve and clarify pedestrian pathways for accessibility; reorganize, improve, and (if possible) expand parking; improve the entry drive from Winthrop Street; provide better facilities for spectators; and create ADA-accessible and appropriately-lit connections to Choate Park. Which, if any, of the following features would you like to consider adding at Cassidy Fields?

Answered: 412 Skipped: 15



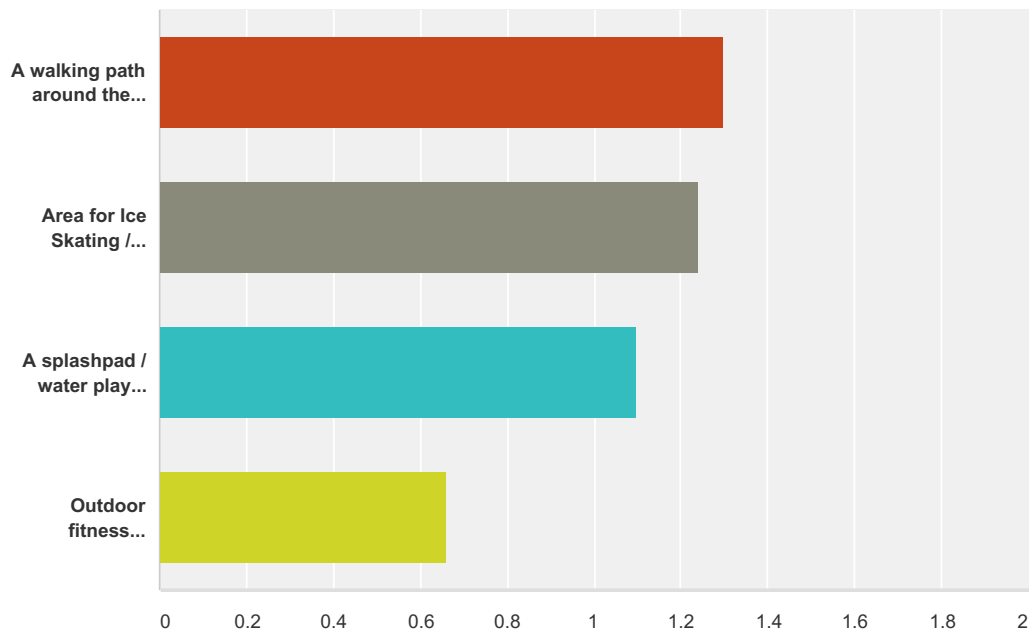
| | No | Maybe | Yes | Total | Weighted Average |
|---|---------------|---------------|---------------|-------|------------------|
| Area for Ice Skating / Hockey | 13.83% 56 | 27.90% 113 | 58.27% 236 | 405 | 1.44 |
| A walking path around the perimeter of the fields | 15.00% 60 | 32.25% 129 | 52.75% 211 | 400 | 1.38 |
| Basketball court (relocated from Choate) | 28.43% 114 | 36.91% 148 | 34.66% 139 | 401 | 1.06 |
| A "Little Fenway"-style wiffle ball diamond | 29.40% 117 | 37.44% 149 | 33.17% 132 | 398 | 1.04 |
| Tennis court (relocated from Choate) | 39.70% 158 | 34.92% 139 | 25.38% 101 | 398 | 0.86 |

Medway Parks: Goals & Analysis Survey

| # | Other (please specify) | Date |
|----|--|---------------------|
| 1 | Perhaps skating at one of the other parks instead, or more adjacent to the pond. | 12/18/2016 4:48 PM |
| 2 | I think courts that are at Choate should stay there. Found question confusing. | 12/17/2016 12:40 PM |
| 3 | Outdoor skating rink would be great. There aren't any around | 12/14/2016 1:02 PM |
| 4 | Fenced in roller/street/floorball hockey area | 12/12/2016 12:26 PM |
| 5 | Roller hockey | 12/12/2016 10:39 AM |
| 6 | better parking! | 12/12/2016 9:27 AM |
| 7 | Better parking and shade | 12/12/2016 8:36 AM |
| 8 | Softball Diamond for Girls Teams | 12/11/2016 10:21 PM |
| 9 | Would be nice to have a multi sport area with boards for street hockey, roller hockey or "indoor" soccer. We always used tennis courts when I was a kid but the nets were a real hazard. | 12/11/2016 7:27 PM |
| 10 | Would prefer tennis stay at choate | 12/11/2016 10:01 AM |
| 11 | Please please ice skating ring!!!!:) | 12/10/2016 9:21 PM |
| 12 | ADA-Accessible is critical | 12/10/2016 10:23 AM |
| 13 | There is nothing wrong with Cassidy field. Why change anything? | 12/9/2016 11:13 PM |
| 14 | Put volley ball up here too. | 12/9/2016 9:00 PM |
| 15 | Parking is the biggest concern, especially during baseball season | 12/9/2016 5:51 PM |
| 16 | Basketball and tennis are fine at Choate | 12/9/2016 3:42 PM |
| 17 | Splash pad! | 12/9/2016 1:49 PM |

Q9 Discussions with the Committee and at the public meeting emphasized the need for Oakland Park to have its existing or expanded sports fields and basketball court; reorganized and (if possible) increased parking; a renovated playground that serves a wider age range; a shade structure; bathrooms; sports and camp storage; and accessible paths and picnic area. Which, if any, of the following features would you like to consider adding at Oakland Park?

Answered: 399 Skipped: 28



| | No | Maybe | Yes | Total | Weighted Average |
|---|---------------|---------------|---------------|-------|------------------|
| A walking path around the perimeter of the fields | 20.15% 79 | 30.10% 118 | 49.74% 195 | 392 | 1.30 |
| Area for Ice Skating / Hockey | 22.05% 86 | 32.05% 125 | 45.90% 179 | 390 | 1.24 |
| A splashpad / water play feature | 31.28% 122 | 27.69% 108 | 41.03% 160 | 390 | 1.10 |
| Outdoor fitness equipment stations | 51.56% 198 | 30.99% 119 | 17.45% 67 | 384 | 0.66 |

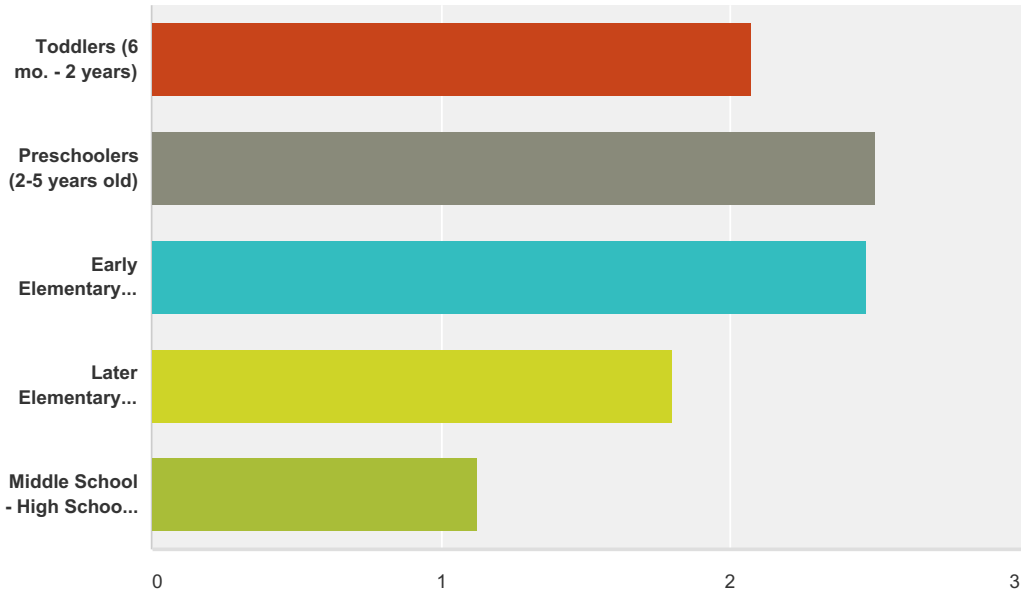
| # | Other (please specify) | Date |
|---|---|---------------------|
| 1 | It would be nice to have a splash pad and skating area available in town. I think Oakland would be ideal for the splash pad keeping it separate from the town's major event area (Choate). That way kids not begging parents to use it during fireworks etc! Skating would also be a nice addition at either park since rarely used during winter months. | 12/17/2016 12:47 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|--|---------------------|
| 2 | Bathrooms and improved parking should be the priority at this facility. | 12/15/2016 3:15 PM |
| 3 | Bathrooms, better seating for adults in playground area | 12/13/2016 8:09 PM |
| 4 | Bathrooms | 12/12/2016 10:48 PM |
| 5 | Sidewalks on Oakland Street for families with strollers. I live in Oakland and never felt safe walking to the park. | 12/12/2016 4:15 PM |
| 6 | Roller hockey is much more accessible than ice hockey, which is impractical 3 seasons out of the year. | 12/12/2016 12:28 PM |
| 7 | Flooding of the basketball court was tried for skating. inconsistent because of the temperature and the court is not level making it more difficult. It was frozen a few times and was used. | 12/12/2016 11:09 AM |
| 8 | would like these features at Choate Park rather than Oakland | 12/12/2016 9:28 AM |
| 9 | play equipment for wider age range | 12/11/2016 8:29 PM |
| 10 | Putting green | 12/10/2016 8:09 PM |
| 11 | skate park | 12/9/2016 11:14 PM |
| 12 | Who owns the wooded land behind the fields. This would be a great place to expand walking trails. | 12/9/2016 9:04 PM |
| 13 | Anything that would detract from the existing sports fields would be a huge negative | 12/9/2016 6:12 PM |
| 14 | Parking is challenging | 12/9/2016 5:53 PM |
| 15 | I would prefer skating not to be for hockey. It should be open skate so all ages could enjoy at the same time. | 12/9/2016 3:12 PM |
| 16 | Oakland would be a great place for ice skating if abutters agree and parking is improved. | 12/9/2016 2:54 PM |
| 17 | YOU DO REALIZE THERE ARE NO SIDEWALKS ON OAKLAND ST ?? Those who live in the immediate area who would like to access the park have to walk on a heavily travelled street that doesn't have sidewalks for most of it. THIS IS A PROBLEM!!!! | 12/9/2016 1:33 PM |
| 18 | This area would make a great community pool area. | 12/9/2016 1:23 PM |
| 19 | Sunshine Group is located here during summers so it would be nice to have a splash pad here. Also a community center located next to the senior center would be a great addition! | 12/9/2016 1:20 PM |
| 20 | pet friendly! | 12/9/2016 1:03 PM |

Q10 How important is it to provide play equipment or activities for each of the following age ranges at Oakland Park?
 (*Note: Play equipment standards only cover ages up to 12 years old, but some types of structures lend themselves to early teen use as well.)

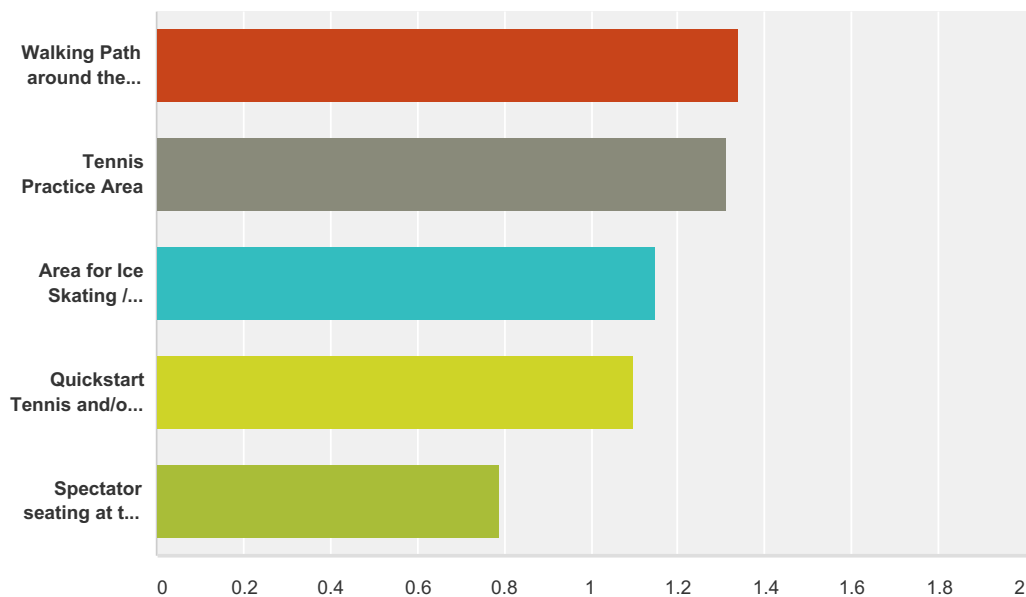
Answered: 396 Skipped: 31



| | Not Important | Slightly Important | Fairly Important | Very Important | Total | Weighted Average |
|---|---------------|--------------------|------------------|----------------|-------|------------------|
| Toddlers (6 mo. - 2 years) | 8.97% 35 | 19.23% 75 | 27.44% 107 | 44.36% 173 | 390 | 2.07 |
| Preschoolers (2-5 years old) | 3.55% 14 | 8.63% 34 | 22.08% 87 | 65.74% 259 | 394 | 2.50 |
| Early Elementary School (5-8 years) | 2.82% 11 | 10.00% 39 | 24.87% 97 | 62.31% 243 | 390 | 2.47 |
| Later Elementary School (9-12 years) | 14.07% 55 | 25.06% 98 | 28.13% 110 | 32.74% 128 | 391 | 1.80 |
| Middle School - High School (12+ years) | 39.02% 151 | 26.87% 104 | 16.28% 63 | 17.83% 69 | 387 | 1.13 |

Q11 Discussions with the Committee and at the public meeting emphasized the need for the renovations at the Middle School to:
renovate and light the tennis courts;
renovate the track and field facilities for use by the Middle School's track program;
consider expanding and replacing field lighting to better light the other fields;
organize the sports-equipment storage; and
provide accessible routes throughout the site to player and spectator areas and links to the adjacent sites. Which, if any, of the following features would you like to consider adding at Medway Middle School?

Answered: 390 Skipped: 37



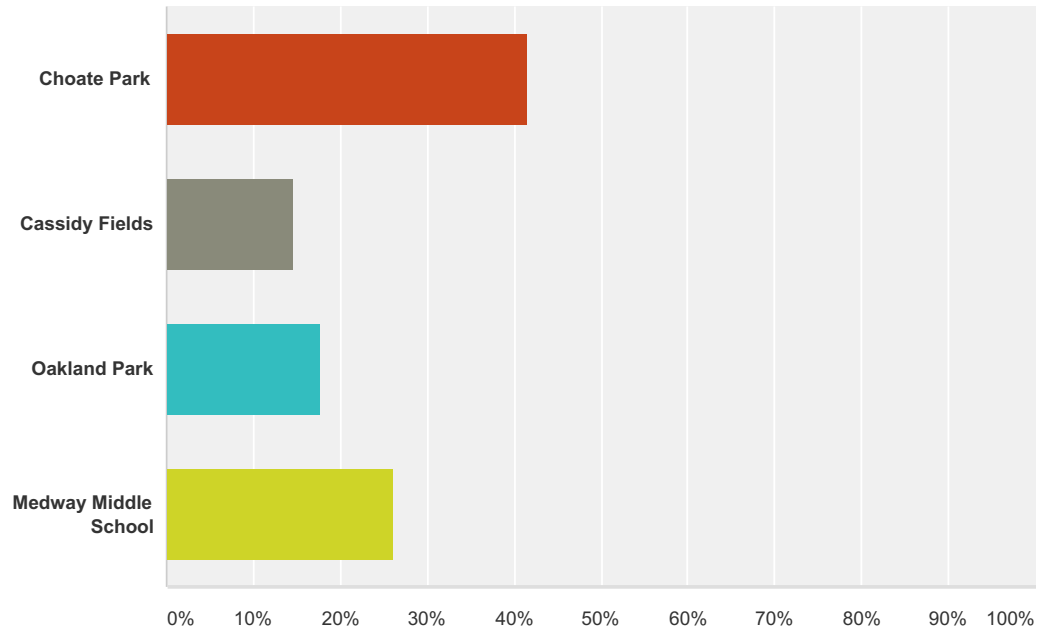
| | No | Maybe | Yes | Total | Weighted Average |
|---|---------------|---------------|---------------|-------|------------------|
| Walking Path around the perimeter of the fields | 20.16% 77 | 25.39% 97 | 54.45% 208 | 382 | 1.34 |
| Tennis Practice Area | 15.04% 57 | 39.05% 148 | 45.91% 174 | 379 | 1.31 |
| Area for Ice Skating / Hockey | 26.96% 103 | 31.15% 119 | 41.88% 160 | 382 | 1.15 |
| Quickstart Tennis and/or Pickleball Courts | 21.33% 80 | 46.93% 176 | 31.73% 119 | 375 | 1.10 |
| Spectator seating at the Tennis Courts | 39.62% 147 | 42.05% 156 | 18.33% 68 | 371 | 0.79 |

Medway Parks: Goals & Analysis Survey

| # | Other (please specify) | Date |
|----|--|---------------------|
| 1 | Improve the conditions of the Tennis courts and include bathroom facilities. | 12/15/2016 3:17 PM |
| 2 | The rear area of the Middle School near the track has been an eyesore for years. | 12/14/2016 9:15 AM |
| 3 | The track needs to be fixed. It's a disgrace and a liability if someone trips on one of the many cracks. | 12/12/2016 3:46 PM |
| 4 | Roller and street hockey is much more practical than ice which is only available in wintertime. Roller is great for cross-training for ice. | 12/12/2016 12:29 PM |
| 5 | Shaded area | 12/12/2016 8:39 AM |
| 6 | Lighting for one Softball field and bathrooms or access to Middle school bathrooms | 12/11/2016 10:24 PM |
| 7 | The baseball fields are not handicapped accessible-this need to be changed. The paths to the field are not well maintained and have many rocks and poison ivy. And, safe seating is not provided (to see the game you need to sit close to the foul line. Most importantly there is not a safe on-deck area, and there have been many "close calls" with players almost being hit. | 12/11/2016 9:14 PM |
| 8 | This needs to be inline with what the Physical Education teacher needs to meet their standards and needs. | 12/11/2016 8:59 PM |
| 9 | Street hockey could be nice here.What about skate park or parkour? | 12/11/2016 7:31 PM |
| 10 | Exercise equipment around the track (pull up bars and other body weight platforms) | 12/11/2016 11:29 AM |
| 11 | The Middle School needs an area for recess and whatever structures that would include. | 12/9/2016 7:51 PM |
| 12 | BATHROOM and running water for concessions (and a concession stand), better lighting and better wheelchair access for spectators to further football/lax fields | 12/9/2016 2:55 PM |

Q12 If an Ice Skating / Hockey area were created at only one of the four sites, which do you feel would be the most appropriate location?

Answered: 390 Skipped: 37



| Answer Choices | Responses | |
|----------------------|-----------|------------|
| Choate Park | 41.54% | 162 |
| Cassidy Fields | 14.62% | 57 |
| Oakland Park | 17.69% | 69 |
| Medway Middle School | 26.15% | 102 |
| Total | | 390 |

Q13 What other amenities or facilities do you feel are lacking from Medway's recreational areas that have not been discussed in earlier questions?

Answered: 125 Skipped: 302

| # | Responses | Date |
|----|--|---------------------|
| 1 | Natural playground, mini zipline, waterside path or dock for fishing, relaxing, photos? | 12/18/2016 4:59 PM |
| 2 | n/a | 12/18/2016 2:41 PM |
| 3 | Town Pool | 12/18/2016 9:15 AM |
| 4 | rail trail access??, or dog walking path | 12/18/2016 8:36 AM |
| 5 | Maybe a pool at the high school for the swim team that the public can use at certain times | 12/17/2016 12:52 PM |
| 6 | More benches & flowers | 12/15/2016 8:11 AM |
| 7 | Middle School Track Renovation | 12/14/2016 8:39 PM |
| 8 | Water fountains, restrooms | 12/14/2016 7:31 PM |
| 9 | Bike trail | 12/14/2016 6:45 PM |
| 10 | all of the above suggestions and ideas sound great! | 12/14/2016 12:21 PM |
| 11 | bathrooms, tables with benches, | 12/14/2016 11:04 AM |
| 12 | community center with workout rooms, indoor pool | 12/14/2016 10:08 AM |
| 13 | dog access | 12/14/2016 9:38 AM |
| 14 | Year round indoor/outdoor swimming facility for all ages | 12/14/2016 9:18 AM |
| 15 | Perminent stage area near thayer (where the movies are setup) to provide easy movie and concert facilities. | 12/14/2016 9:01 AM |
| 16 | None | 12/14/2016 8:56 AM |
| 17 | town pool | 12/14/2016 8:54 AM |
| 18 | encouragement of 'natural' play, not just structures, incorporation of public art into the parks, bike/scooter path around the playground area (similar to EMC park in Hopkinton) | 12/13/2016 10:30 PM |
| 19 | Cricket | 12/13/2016 9:15 PM |
| 20 | Remove toys from Choate to improve ascetic and safety. Add water feature. | 12/13/2016 8:50 PM |
| 21 | Adult/spectator seating, bathrooms | 12/13/2016 8:12 PM |
| 22 | A swiming pool | 12/13/2016 7:21 PM |
| 23 | Home for Camp Sunshine, Skate Park, Street Hockey Rink | 12/13/2016 6:37 PM |
| 24 | Better parking at Choate | 12/13/2016 6:23 PM |
| 25 | Restroom availability | 12/12/2016 9:42 PM |
| 26 | A rose garden | 12/12/2016 8:32 PM |
| 27 | adding a town pool | 12/12/2016 7:54 PM |
| 28 | Area for walking leashed dog and/or off leash areas. Potential revenue for an increased cost for an off leash dog permit (example is how towns of newton have two separate dog permits at different costs) | 12/12/2016 7:39 PM |
| 29 | Disc Golf, | 12/12/2016 7:31 PM |
| 30 | bathrooms | 12/12/2016 3:47 PM |
| 31 | town pool | 12/12/2016 12:45 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|--|---------------------|
| 32 | More picnic sites | 12/12/2016 12:36 PM |
| 33 | public rest rooms | 12/12/2016 12:16 PM |
| 34 | I've seen play structures that resemble art or vehicles. I've also seen what I'll call hopping stones set up in an area. These types of things in the beach areas may make sense so long as a child has no easy access to the water. | 12/12/2016 11:19 AM |
| 35 | More running trails | 12/12/2016 10:58 AM |
| 36 | Skate Park | 12/12/2016 10:40 AM |
| 37 | bathrooms | 12/12/2016 10:28 AM |
| 38 | Accessibility, intermittent seating around walking paths | 12/12/2016 9:53 AM |
| 39 | Open space that is NOT a sports field where kids can toss a frisbee, play tag, etc. | 12/12/2016 9:51 AM |
| 40 | Sun shelter/seating at middle school fields | 12/12/2016 9:30 AM |
| 41 | Features for Tweens/Teens - maybe wall ball; skate board area. Also, please consider shaded areas across all parks. | 12/12/2016 8:45 AM |
| 42 | I like the idea of a stage/performance area to Choate Park. | 12/12/2016 3:13 AM |
| 43 | Additional toilets. Rest stop seating for seniors | 12/11/2016 11:30 PM |
| 44 | Disc golf | 12/11/2016 11:19 PM |
| 45 | bike paths | 12/11/2016 10:57 PM |
| 46 | Area for youth groups like scouts to camp overnight | 12/11/2016 10:25 PM |
| 47 | Swimming pool | 12/11/2016 9:49 PM |
| 48 | Beach | 12/11/2016 9:23 PM |
| 49 | Town pool | 12/11/2016 9:21 PM |
| 50 | Safe on-deck areas for idylbrook and middle school baseball fields. Adequate and handicapped accessible parking and bathrooms. Access to one bathroom at idylbrook has no path and is full of brush and poisoned ivy. Idylbrook has no lined parking spaces and people get boxed in on the lowering side. Last there is no recycling at Cassidy or Idylbrook | 12/11/2016 9:18 PM |
| 51 | Swimming area | 12/11/2016 9:15 PM |
| 52 | bathrooms at Oakland Park | 12/11/2016 9:13 PM |
| 53 | A pool | 12/11/2016 9:05 PM |
| 54 | Pool | 12/11/2016 8:59 PM |
| 55 | Restrooms | 12/11/2016 8:54 PM |
| 56 | More professional signage, better parking and lighting....but you are addressing these in this project, I think. Choate definitely needs a splashpad and walking paths that are paved around the pond. | 12/11/2016 8:51 PM |
| 57 | paved bike path | 12/11/2016 8:31 PM |
| 58 | Decent basketball courts | 12/11/2016 8:03 PM |
| 59 | Street hockey, skate park, parkour | 12/11/2016 7:32 PM |
| 60 | Having dogs able to walk around the park. Have dog cans for cleaning up after our pets | 12/11/2016 7:11 PM |
| 61 | Nature paths. Hardly any in Medway when many nearby towns have more. I always drive away from Medway to go walking. | 12/11/2016 7:08 PM |
| 62 | Real bathrooms at the sites that only have porta-johnnies | 12/11/2016 6:16 PM |
| 63 | Rubberized running surface at middle school track | 12/11/2016 5:44 PM |
| 64 | Improved signage on paths connecting fields | 12/11/2016 11:33 AM |
| 65 | Skateboard Park | 12/11/2016 10:26 AM |
| 66 | Volleyball court at middle school | 12/11/2016 10:03 AM |
| 67 | dog-friendly areas, ongoing maintenance of children's play area at Choate Park, consistent access to track, safe sidewalks throughout town | 12/11/2016 9:00 AM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|---|---------------------|
| 68 | None | 12/11/2016 8:11 AM |
| 69 | We need to ensure there are bathrooms accessible year round. | 12/11/2016 7:22 AM |
| 70 | Swimming pool Because its hot around here in the summertime And there is Nothing to do here in the summertime. | 12/11/2016 7:18 AM |
| 71 | Teen hangouts, skateboarding options, rails to trails type trails for strollers and bikes | 12/11/2016 4:40 AM |
| 72 | Why no skating on the pond? | 12/11/2016 12:04 AM |
| 73 | Nighttime lighting on walking paths around chaote park | 12/10/2016 9:39 PM |
| 74 | Would be great to have more paths for kids to ride their bikes, kind of like in Bellingham Commons | 12/10/2016 9:26 PM |
| 75 | Ice skating rink would be amazing | 12/10/2016 9:24 PM |
| 76 | Putting green | 12/10/2016 8:10 PM |
| 77 | Completely enclosed play area at Oakland Park (Fencing is open to the street). Bathrooms at Oakland. | 12/10/2016 6:50 PM |
| 78 | Bathroom facilities | 12/10/2016 4:48 PM |
| 79 | Public tables for chess and checkers | 12/10/2016 9:37 AM |
| 80 | Long hiking trails | 12/10/2016 8:20 AM |
| 81 | Outdoor pavilion that can be rented for family parties, birthdays, graduation etc with outdoor sink/kitchen and BBQ | 12/10/2016 8:02 AM |
| 82 | Skate park area | 12/10/2016 7:46 AM |
| 83 | Pool | 12/10/2016 7:17 AM |
| 84 | Bocce and some way to make the pond swimmable | 12/10/2016 12:02 AM |
| 85 | Shaded areas for spectator sports, indoor option for summer camps; 24/7 access to bathrooms at all locations; flexible use areas for fall festivals and community events, | 12/9/2016 11:18 PM |
| 86 | Fields that are green. | 12/9/2016 11:18 PM |
| 87 | skate park | 12/9/2016 11:15 PM |
| 88 | Swimming pool!! | 12/9/2016 10:33 PM |
| 89 | Performance Areas and public art displays | 12/9/2016 10:01 PM |
| 90 | Good and safe crosstown walking paths. Too many cars on Main St and Village St for a pleasant long walk. | 12/9/2016 9:08 PM |
| 91 | More parking at Cassidy and more trails in the woods | 12/9/2016 6:52 PM |
| 92 | Lighting for softball field at Middle School | 12/9/2016 6:37 PM |
| 93 | NA | 12/9/2016 6:19 PM |
| 94 | Teather ball, skateboard park | 12/9/2016 6:11 PM |
| 95 | Removal of a lot of outdated equipment (fitness at choate or construction barriers at middle) | 12/9/2016 5:54 PM |
| 96 | Na | 12/9/2016 5:00 PM |
| 97 | Splash pad/water play area. | 12/9/2016 4:57 PM |
| 98 | Bathrooms at the other parks aside from choate. | 12/9/2016 4:53 PM |
| 99 | Public skating/hockey in Choate would be wonderful. | 12/9/2016 4:21 PM |
| 100 | Recreational summer SWIMMING | 12/9/2016 3:47 PM |
| 101 | maybe some type of skateboard area so kids are not using Shaw parking lot | 12/9/2016 3:05 PM |
| 102 | Bike trails | 12/9/2016 3:02 PM |
| 103 | Clean bathrooms and water fountains | 12/9/2016 3:00 PM |
| 104 | Idylbrook baseball fields, middle school baseball fields, high school baseball field | 12/9/2016 2:58 PM |
| 105 | working bathrooms that are unlocked at all public rec areas | 12/9/2016 2:57 PM |
| 106 | Pubic bathrooms at all sites | 12/9/2016 2:53 PM |
| 107 | A definted town "common" area at Choate would be nice | 12/9/2016 2:47 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|--|--------------------|
| 108 | The town should develop either the Middle School or Idylbrook to have two 90 foot baseball diamonds. these fields should include field lighting on at least 1 field, spectator seating, dugouts, outfield fencing, equipment storage, etc | 12/9/2016 2:27 PM |
| 109 | Bathroom facilities at all locations other than Choate Park | 12/9/2016 2:22 PM |
| 110 | restrooms | 12/9/2016 2:14 PM |
| 111 | Bathroom facilities at every location; bike racks (to encourage less driving); fenced in areas for playgrounds (for safety); open areas with trees/woods to invite creative play; natural playgrounds; indoor play areas/common spaces for inclement weather; a recreation center that could offer classes | 12/9/2016 1:54 PM |
| 112 | ADD AN ICE SKATING RINK! | 12/9/2016 1:51 PM |
| 113 | Biking trail would be nice | 12/9/2016 1:43 PM |
| 114 | Oakland fields | 12/9/2016 1:41 PM |
| 115 | SIDEWALKS/accessibility for people who live in immediate vicinity. | 12/9/2016 1:34 PM |
| 116 | Lighting to prolong play hours during fall and winter | 12/9/2016 1:28 PM |
| 117 | Public pool | 12/9/2016 1:25 PM |
| 118 | Community Pool at Oakland Park area | 12/9/2016 1:25 PM |
| 119 | Biotangiacal garden | 12/9/2016 1:22 PM |
| 120 | Natural playground - perhaps at Idyll near the fields/entrance to hiking trails | 12/9/2016 1:18 PM |
| 121 | Bike trails | 12/9/2016 1:07 PM |
| 122 | pet friendly at parks | 12/9/2016 1:04 PM |
| 123 | Playground equipment specifically for teens so they don't play where the little kids are- too dangerous. | 12/9/2016 1:01 PM |
| 124 | walking track. MMS one is terrible. | 12/9/2016 12:58 PM |
| 125 | Skate ramps | 12/9/2016 12:58 PM |

Medway Parks: Goals & Analysis Survey

Q14 What questions or comments do you have about the current park planning project?

Answered: 74 Skipped: 353

| # | Responses | Date |
|----|--|---------------------|
| 1 | I love the idea of making Choate and the pond even more of a center piece/focal point of the town and park. | 12/18/2016 4:59 PM |
| 2 | Love the idea of Pocket Park(s), HOWEVER do not use up space for a parking lot at a pocket park (such as at Mechanic & Main Sts.) People don't DRIVE to a pocket park. It is used, in my experience, by those who are walking/jogging/biking. | 12/18/2016 2:41 PM |
| 3 | I personally love choate park and would love to se it have a better playground. My children and grandchildren prefer going to Norfolk for playgrounds which is a shame. I also avoid Choate all summer do to the camps held there. My toddlers are teased by the blow ups and water features that are for campers only so we just don't go. | 12/18/2016 9:15 AM |
| 4 | Glad folks are looking into stepping forward with planning! | 12/18/2016 8:36 AM |
| 5 | Medway should have a stronger REC dept...I don't want to have to do everything through Franklin and surrounding areas. When we first moved here I was disappointed at what was offered here in town. | 12/17/2016 12:52 PM |
| 6 | A skating/Hockey area is not worth the expense for the number of days that they would be able to be used. | 12/15/2016 3:18 PM |
| 7 | I am concerned about this affecting our tax bill! | 12/15/2016 8:11 AM |
| 8 | I'm concerned about synthetic turf and possible toxicity of playground surface substances. | 12/15/2016 7:43 AM |
| 9 | is security/surveillance in scope or addressed elsewhere? | 12/14/2016 7:31 PM |
| 10 | Parking availability and crosswalks / sidewalk condition if having to park remotely | 12/14/2016 10:47 AM |
| 11 | looks great | 12/14/2016 9:38 AM |
| 12 | All ages need safer areas in town for walking and riding bikes. The roads are much more hazardous and busy in recent years and drivers appear careless, and rarely slow down for pedestrians. Trail walking is wonderful, like the one in Holliston, since it inspires community interaction. | 12/14/2016 9:18 AM |
| 13 | Keep up the good work! | 12/14/2016 9:01 AM |
| 14 | None | 12/14/2016 8:56 AM |
| 15 | what about older people in town what is available | 12/14/2016 8:54 AM |
| 16 | A splashpad is wasteful considering we are in a long-term drought. | 12/13/2016 10:21 PM |
| 17 | Maintenance issues with any the new additions being proposed | 12/13/2016 9:42 PM |
| 18 | Be sure there is plenty of parking | 12/13/2016 7:21 PM |
| 19 | Please keep Choate as natural as possible! That is it's strongest & best feature. | 12/12/2016 10:50 PM |
| 20 | Parking | 12/12/2016 8:32 PM |
| 21 | It would be nice to add a few designated (painted) handicapped parking spaces. | 12/12/2016 12:40 PM |
| 22 | Please post hearings and meeying on FB | 12/12/2016 12:36 PM |
| 23 | How much money will be provided for planning from the corrupt Exelon project? | 12/12/2016 12:31 PM |
| 24 | needs to be improved | 12/12/2016 12:16 PM |
| 25 | I think the primary focus has to be on the Thayer House and Choate Park. This will be the "Village Green." It needs to work together. Even if the Town needs to spend a little money in the planning phase now, it's worth doing right. I understand that funds for work at Thayer may have to be appropriated seperately, but that shouldn't stop a larger view of the area. Cassidy is another higher point only becasue it links to Choate and Thayer. Oakland and Middle Middle School should only be looked at in terms of relocated or support for existing uses. Another issue is parking. When Thayer and Cassidy are busy, there is no parking available. | 12/12/2016 11:19 AM |
| 26 | Want to ensure you don't increase rental fees or take over Medway Youth Baseball manage the of Rodney's | 12/12/2016 10:58 AM |

Medway Parks: Goals & Analysis Survey

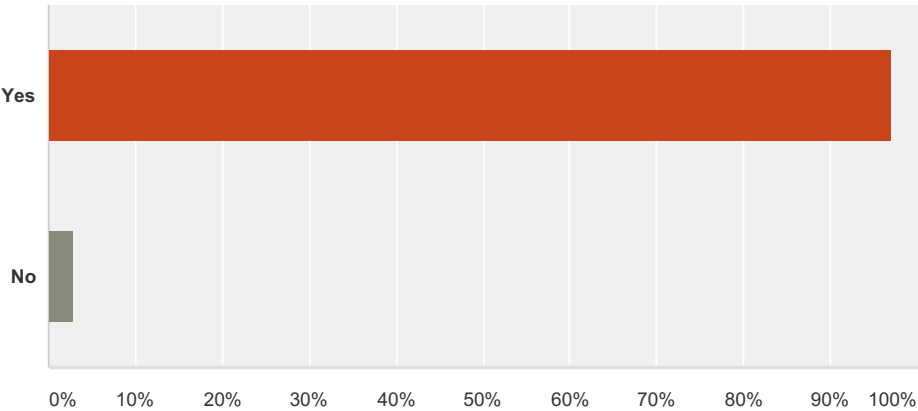
| | | |
|----|---|---------------------|
| 27 | Exciting things! | 12/12/2016 9:53 AM |
| 28 | Please pay careful attention to parking and safety, maybe add speed bumps and sidewalks, to Choate/Mechanic/Oak streets | 12/12/2016 8:45 AM |
| 29 | If we have a water park of some sort it should be Medway residence only. We can not support other towns coming into Medway to use these facilities. | 12/12/2016 8:32 AM |
| 30 | Super undertaking! Love the idea of making the park more of a town feature. | 12/12/2016 3:13 AM |
| 31 | None | 12/11/2016 11:30 PM |
| 32 | Needs to be some way to access trail to high school with a dog | 12/11/2016 9:49 PM |
| 33 | I'm very glad that this survey was put out. Thank you! | 12/11/2016 9:18 PM |
| 34 | When is this expected to be completed? | 12/11/2016 8:51 PM |
| 35 | Why are you stressing the need for a skating area? Why can't people use Choate pond in the winter? | 12/11/2016 7:29 PM |
| 36 | With improvements what can be done to ensure town residents will benefit the most rather than out of town people. I'd like to see a park pass system created, especially if features such as ice rinks or splash pads are created | 12/11/2016 11:33 AM |
| 37 | What will its affect be on taxes? | 12/11/2016 10:26 AM |
| 38 | Need area for older kids and prefer at Choate or Cassidy. | 12/11/2016 10:11 AM |
| 39 | This is a great conversation to have. I have 3 young kids and look forward to seeing more fun opportunities for them. Splash pad especially! | 12/11/2016 8:11 AM |
| 40 | It sounds good!! | 12/11/2016 7:18 AM |
| 41 | I hate to say it but more parking at Choate would be very helpful particularly for events | 12/11/2016 12:04 AM |
| 42 | Make the hockey area happen please!!! | 12/10/2016 9:39 PM |
| 43 | When will the Choate park renovations start and complete? We use the park almost daily! And will there be fees for ice sheet ring and the splash pad if such will be installed? Thank you! | 12/10/2016 9:26 PM |
| 44 | I would want more details on a splash pad facility. Will this only be open to town members (fee for out of towners like you see with some of the ponds in the area). How does this work if there is a water ban in town? | 12/10/2016 6:50 PM |
| 45 | Traffic in/out of Choate Park into Oak St. | 12/10/2016 10:45 AM |
| 46 | Cost of project features to allow a sense of cost to benefit. Thanks. | 12/10/2016 9:37 AM |
| 47 | On the right path | 12/10/2016 8:20 AM |
| 48 | Great job on the survey! | 12/10/2016 8:02 AM |
| 49 | Cost to residents; duration; project impact to sport programs | 12/9/2016 11:18 PM |
| 50 | I don't see anything wrong with them. | 12/9/2016 11:18 PM |
| 51 | What would the budget/time frame be for the project? | 12/9/2016 10:01 PM |
| 52 | I don't think it is necessary to have all the toys at Choate park. Most don't function properly and makes the area look trashy. | 12/9/2016 7:28 PM |
| 53 | NA | 12/9/2016 6:19 PM |
| 54 | Very excited that work and money is being devoted to this project- thank you! | 12/9/2016 5:54 PM |
| 55 | Na | 12/9/2016 5:00 PM |
| 56 | Parking in all facilities need to be added and addressed along with better flow. Choate park keep natural with a playground for all ages, splash pad, Pavillion and picnic tabkes and benches. Oakland very much needs a playground renovation and relocation. Shelter and restrooms and parking majorly needs to be addressed. Seating and picnic area would be nice. Middle school idea sounds great, Cassidy field keep as a sports complex. Ice rink location? More seating, benches and blechers | 12/9/2016 4:57 PM |
| 57 | Allowing dogs in parks - Choate in particular. | 12/9/2016 4:21 PM |
| 58 | Burke-Memorial School playground needs an upgrade | 12/9/2016 3:47 PM |
| 59 | cost | 12/9/2016 3:05 PM |
| 60 | How long will it take to be finished | 12/9/2016 3:02 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|---|--------------------|
| 61 | Thank you SO much for all your hard work improving our play/green/public spaces in Medway. You are angels! | 12/9/2016 2:57 PM |
| 62 | Allow dogs on leash at Choate. | 12/9/2016 2:35 PM |
| 63 | thank you for making Medway parks better! | 12/9/2016 2:27 PM |
| 64 | The North St./School St. park is probably more in need of renovation than the other parks | 12/9/2016 2:22 PM |
| 65 | To consider splash pads in this age of restricted water usage and power plant supply seems irresponsible and thoughtless. | 12/9/2016 2:00 PM |
| 66 | none | 12/9/2016 1:41 PM |
| 67 | The "Walpole Ponds Association" and the town of Walpole have partnered up at Turner Pond on Route 27 to provide a great atmosphere for ice skating. I think something like that could be huge at Choate Park. | 12/9/2016 1:41 PM |
| 68 | See above. | 12/9/2016 1:34 PM |
| 69 | Let's get it done fast so that families can enjoy updated facilities sooner rather than later. | 12/9/2016 1:28 PM |
| 70 | I think an Ice Skating/Hockey area would be great | 12/9/2016 1:25 PM |
| 71 | Don't go nuts, our tax bill is already too high. | 12/9/2016 1:23 PM |
| 72 | The ideas are good but where would funding come from? | 12/9/2016 1:22 PM |
| 73 | Thank you! | 12/9/2016 1:07 PM |
| 74 | Can not wait for these projects to be done. Good work picking CBA as the designer. | 12/9/2016 12:55 PM |

Q15 Are you a Town of Medway resident?

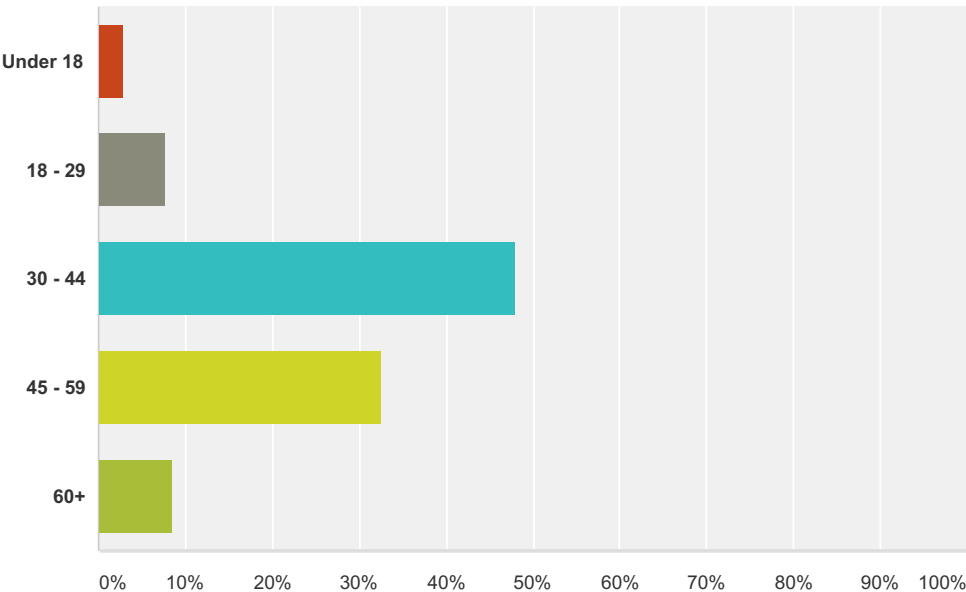
Answered: 397 Skipped: 30



| Answer Choices | Responses | |
|----------------|-----------|-----|
| Yes | 96.98% | 385 |
| No | 3.02% | 12 |
| Total | | 397 |

Q16 What is your age?

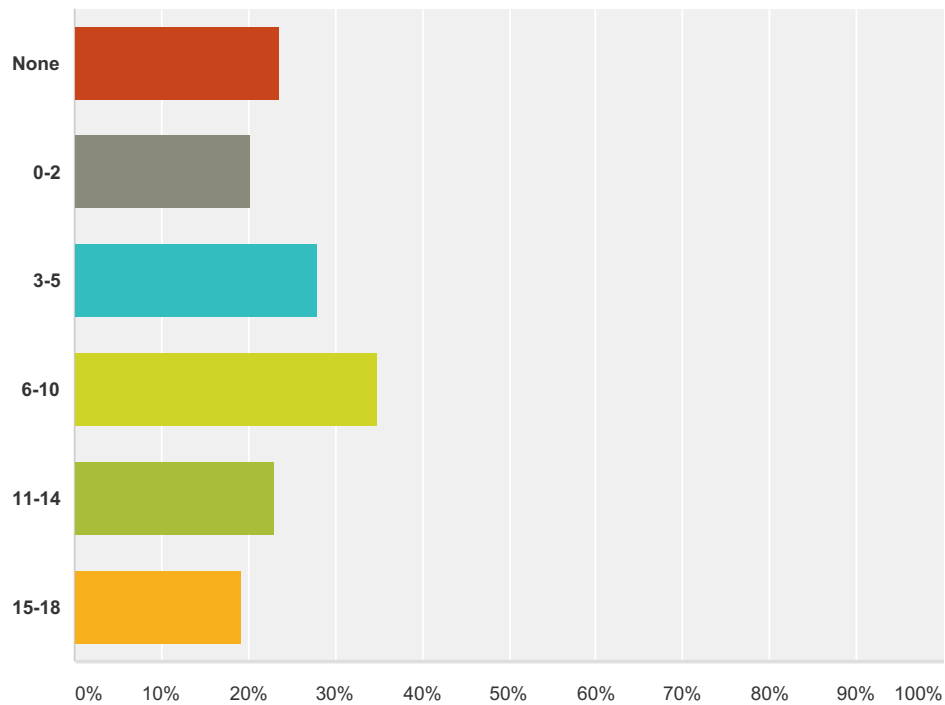
Answered: 397 Skipped: 30



| Answer Choices | Responses | |
|----------------|-----------|-----|
| Under 18 | 3.02% | 12 |
| 18 - 29 | 7.81% | 31 |
| 30 - 44 | 48.11% | 191 |
| 45 - 59 | 32.49% | 129 |
| 60+ | 8.56% | 34 |
| Total | | 397 |

Q17 What ages of children currently live in your household? (Check all that apply.)

Answered: 389 Skipped: 38



| Answer Choices | Responses | |
|------------------------|-----------|-----|
| None | 23.65% | 92 |
| 0-2 | 20.31% | 79 |
| 3-5 | 28.02% | 109 |
| 6-10 | 34.96% | 136 |
| 11-14 | 22.88% | 89 |
| 15-18 | 19.28% | 75 |
| Total Respondents: 389 | | |

Q18 Which park or site in town (not limited to the four study areas) do you use most often?

Answered: 344 Skipped: 83

| # | Responses | Date |
|----|---|---------------------|
| 1 | Choate | 12/18/2016 11:39 PM |
| 2 | Choate | 12/18/2016 10:38 PM |
| 3 | Idylbrook, high school | 12/18/2016 9:58 PM |
| 4 | Choat | 12/18/2016 6:26 PM |
| 5 | Choate and North street, and many of the other fields for sports. | 12/18/2016 5:01 PM |
| 6 | Choate Park | 12/18/2016 2:41 PM |
| 7 | Choate | 12/18/2016 11:04 AM |
| 8 | Choate | 12/18/2016 9:16 AM |
| 9 | Choate | 12/18/2016 9:00 AM |
| 10 | Choate Park | 12/18/2016 8:37 AM |
| 11 | Choate | 12/17/2016 12:53 PM |
| 12 | Choate | 12/17/2016 9:17 AM |
| 13 | Choate to Adams walking path | 12/17/2016 9:15 AM |
| 14 | choate | 12/15/2016 8:06 PM |
| 15 | Choate Park | 12/15/2016 3:19 PM |
| 16 | idylbrok | 12/15/2016 2:11 PM |
| 17 | Choate | 12/15/2016 11:25 AM |
| 18 | Oakland for soccer and playground | 12/15/2016 10:24 AM |
| 19 | Choate | 12/15/2016 9:08 AM |
| 20 | Idle Brook | 12/15/2016 8:37 AM |
| 21 | Cassidy | 12/15/2016 8:26 AM |
| 22 | Cassidy | 12/15/2016 8:22 AM |
| 23 | Choate Park | 12/15/2016 8:12 AM |
| 24 | Oakland | 12/15/2016 8:05 AM |
| 25 | Choate Park | 12/15/2016 7:43 AM |
| 26 | Choate, Medway Middle | 12/15/2016 6:23 AM |
| 27 | Idylbrook | 12/14/2016 11:52 PM |
| 28 | Middle & HS | 12/14/2016 8:40 PM |
| 29 | Choate | 12/14/2016 7:45 PM |
| 30 | Choate | 12/14/2016 7:31 PM |
| 31 | Choate | 12/14/2016 6:45 PM |
| 32 | Idyllbrook | 12/14/2016 4:58 PM |
| 33 | Choate, Library | 12/14/2016 3:36 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|----|---|---------------------|
| 34 | Choate Park and the Middle School | 12/14/2016 2:02 PM |
| 35 | Oakland | 12/14/2016 1:43 PM |
| 36 | Choate | 12/14/2016 1:28 PM |
| 37 | Oakland | 12/14/2016 1:15 PM |
| 38 | Choate | 12/14/2016 1:03 PM |
| 39 | Choate Park | 12/14/2016 12:39 PM |
| 40 | walk choate park mostly | 12/14/2016 12:22 PM |
| 41 | Choate | 12/14/2016 11:36 AM |
| 42 | Idylbrook Park trails | 12/14/2016 11:09 AM |
| 43 | Choate | 12/14/2016 11:04 AM |
| 44 | Choate | 12/14/2016 10:47 AM |
| 45 | Choate | 12/14/2016 10:09 AM |
| 46 | Choate | 12/14/2016 9:51 AM |
| 47 | Choate Park | 12/14/2016 9:48 AM |
| 48 | Choate | 12/14/2016 9:46 AM |
| 49 | Choate | 12/14/2016 9:39 AM |
| 50 | Oakland | 12/14/2016 9:33 AM |
| 51 | Choate | 12/14/2016 9:32 AM |
| 52 | Choate | 12/14/2016 9:27 AM |
| 53 | Choate | 12/14/2016 9:20 AM |
| 54 | Choate And the soccer field by Partridge. | 12/14/2016 9:20 AM |
| 55 | Idyllbrook | 12/14/2016 9:16 AM |
| 56 | Choate/HS | 12/14/2016 9:15 AM |
| 57 | Medway middle School | 12/14/2016 9:13 AM |
| 58 | Choate | 12/14/2016 9:02 AM |
| 59 | Choate | 12/14/2016 8:56 AM |
| 60 | choate thayer house area | 12/14/2016 8:54 AM |
| 61 | Choate | 12/14/2016 8:52 AM |
| 62 | choate | 12/14/2016 8:49 AM |
| 63 | Choate | 12/13/2016 10:31 PM |
| 64 | Choate | 12/13/2016 10:22 PM |
| 65 | choate | 12/13/2016 10:00 PM |
| 66 | Idlebrook | 12/13/2016 9:49 PM |
| 67 | No parks worth going except for Choate | 12/13/2016 9:17 PM |
| 68 | All equally | 12/13/2016 8:51 PM |
| 69 | Choate/Oakland | 12/13/2016 8:12 PM |
| 70 | Choate | 12/13/2016 7:22 PM |
| 71 | Walking Trails | 12/13/2016 6:38 PM |
| 72 | Choate Park | 12/13/2016 6:32 PM |
| 73 | MHS | 12/13/2016 6:24 PM |
| 74 | Choate | 12/13/2016 5:58 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|--|---------------------|
| 75 | Choate | 12/13/2016 10:59 AM |
| 76 | High school and middle school | 12/12/2016 11:32 PM |
| 77 | Choate | 12/12/2016 11:20 PM |
| 78 | Choate | 12/12/2016 10:50 PM |
| 79 | choate | 12/12/2016 10:06 PM |
| 80 | Idyllbrook, Oakland, and middle school - all for town sports. | 12/12/2016 9:43 PM |
| 81 | Choate and Oakland | 12/12/2016 9:40 PM |
| 82 | Choate | 12/12/2016 9:24 PM |
| 83 | Choate | 12/12/2016 9:11 PM |
| 84 | Choate | 12/12/2016 8:57 PM |
| 85 | Choate | 12/12/2016 8:35 PM |
| 86 | Middle School | 12/12/2016 8:34 PM |
| 87 | choate | 12/12/2016 7:55 PM |
| 88 | Choate | 12/12/2016 7:40 PM |
| 89 | Oakland | 12/12/2016 7:32 PM |
| 90 | Choate | 12/12/2016 4:50 PM |
| 91 | Choate | 12/12/2016 4:20 PM |
| 92 | Choate | 12/12/2016 4:17 PM |
| 93 | Choate | 12/12/2016 4:16 PM |
| 94 | Middle School | 12/12/2016 3:47 PM |
| 95 | Choate | 12/12/2016 12:51 PM |
| 96 | Choate Park | 12/12/2016 12:40 PM |
| 97 | I used to use Choate for rollerblading. But somebody called police on me and I don't use it anymore. | 12/12/2016 12:33 PM |
| 98 | Oakland | 12/12/2016 12:31 PM |
| 99 | choate | 12/12/2016 12:20 PM |
| 100 | choate/ high school walking paths | 12/12/2016 12:16 PM |
| 101 | Chote | 12/12/2016 12:11 PM |
| 102 | North Street Park, Oakland Park, Choate Park, Thayer House | 12/12/2016 11:28 AM |
| 103 | Choate and Middle School | 12/12/2016 11:07 AM |
| 104 | Cassidy and choate | 12/12/2016 10:59 AM |
| 105 | Choate | 12/12/2016 10:41 AM |
| 106 | Middle school, choate, Oakland | 12/12/2016 10:28 AM |
| 107 | Choate | 12/12/2016 10:18 AM |
| 108 | Idylbrook fielda and nature trails | 12/12/2016 9:54 AM |
| 109 | Idlybook and Cassidy | 12/12/2016 9:52 AM |
| 110 | middle school fields | 12/12/2016 9:30 AM |
| 111 | choate and oakland | 12/12/2016 9:09 AM |
| 112 | Choate and trails | 12/12/2016 8:47 AM |
| 113 | Choate | 12/12/2016 8:46 AM |
| 114 | Choate and cassidy | 12/12/2016 8:33 AM |
| 115 | Choate park | 12/12/2016 8:13 AM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|---|---------------------|
| 116 | Oakland, Choate, Idylbrook, Middle school | 12/12/2016 7:59 AM |
| 117 | Choate Park | 12/12/2016 6:56 AM |
| 118 | Oakland | 12/12/2016 6:24 AM |
| 119 | Choate | 12/12/2016 6:00 AM |
| 120 | Choate | 12/12/2016 4:58 AM |
| 121 | Choate | 12/12/2016 3:34 AM |
| 122 | Medway high school | 12/12/2016 3:14 AM |
| 123 | Idlebrook trails | 12/11/2016 11:55 PM |
| 124 | None | 12/11/2016 11:31 PM |
| 125 | Choate-HS path and HS tennis courts | 12/11/2016 11:20 PM |
| 126 | middle school, idyllbrook | 12/11/2016 10:58 PM |
| 127 | Choate | 12/11/2016 10:28 PM |
| 128 | Middle School | 12/11/2016 10:26 PM |
| 129 | Choate | 12/11/2016 10:06 PM |
| 130 | Choate | 12/11/2016 9:56 PM |
| 131 | Choate | 12/11/2016 9:50 PM |
| 132 | Oakland st | 12/11/2016 9:48 PM |
| 133 | Choate | 12/11/2016 9:44 PM |
| 134 | dog park | 12/11/2016 9:32 PM |
| 135 | Choate | 12/11/2016 9:24 PM |
| 136 | Choate Park | 12/11/2016 9:22 PM |
| 137 | Chore | 12/11/2016 9:20 PM |
| 138 | Idylbrook | 12/11/2016 9:19 PM |
| 139 | Choate | 12/11/2016 9:16 PM |
| 140 | Choate Park | 12/11/2016 9:15 PM |
| 141 | Choate | 12/11/2016 9:14 PM |
| 142 | Choate | 12/11/2016 9:14 PM |
| 143 | Choate | 12/11/2016 9:13 PM |
| 144 | Choate | 12/11/2016 9:11 PM |
| 145 | cassidy, idylbrook | 12/11/2016 9:09 PM |
| 146 | Choate | 12/11/2016 9:06 PM |
| 147 | choate | 12/11/2016 9:01 PM |
| 148 | Choate | 12/11/2016 9:01 PM |
| 149 | North, Oakland, Chote | 12/11/2016 9:00 PM |
| 150 | Choate, oakland and Middle school | 12/11/2016 8:55 PM |
| 151 | Choate | 12/11/2016 8:54 PM |
| 152 | Choate | 12/11/2016 8:51 PM |
| 153 | Choate | 12/11/2016 8:50 PM |
| 154 | Choate Park | 12/11/2016 8:38 PM |
| 155 | Choate park playground | 12/11/2016 8:32 PM |
| 156 | Choate | 12/11/2016 8:21 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|---|---------------------|
| 157 | Choate park | 12/11/2016 8:04 PM |
| 158 | Choate park | 12/11/2016 7:56 PM |
| 159 | Choate or middle school | 12/11/2016 7:34 PM |
| 160 | Choate | 12/11/2016 7:29 PM |
| 161 | Choate | 12/11/2016 7:12 PM |
| 162 | Choate, I guess | 12/11/2016 7:09 PM |
| 163 | Choate | 12/11/2016 6:48 PM |
| 164 | choate | 12/11/2016 6:44 PM |
| 165 | Choate | 12/11/2016 6:30 PM |
| 166 | I'm primarily a trail walker, so HS/Choate and Idylbrook. | 12/11/2016 6:17 PM |
| 167 | Middle School | 12/11/2016 5:44 PM |
| 168 | Choate & Cassidy | 12/11/2016 5:02 PM |
| 169 | Oakland | 12/11/2016 11:33 AM |
| 170 | Choate Park/Cassidy Field | 12/11/2016 10:27 AM |
| 171 | Choate | 12/11/2016 10:12 AM |
| 172 | Choate | 12/11/2016 10:04 AM |
| 173 | Choate Park | 12/11/2016 9:01 AM |
| 174 | Choate Park | 12/11/2016 8:12 AM |
| 175 | Choate Park | 12/11/2016 7:23 AM |
| 176 | Choate park. | 12/11/2016 7:19 AM |
| 177 | Oakland | 12/11/2016 6:56 AM |
| 178 | Choate | 12/11/2016 6:38 AM |
| 179 | Choate, Middle School | 12/11/2016 4:41 AM |
| 180 | Choate | 12/11/2016 12:25 AM |
| 181 | Choate | 12/11/2016 12:05 AM |
| 182 | Choate | 12/10/2016 10:38 PM |
| 183 | Choate, elementary schools | 12/10/2016 10:25 PM |
| 184 | Choate Park | 12/10/2016 10:11 PM |
| 185 | Choate park and Cassidy field | 12/10/2016 9:41 PM |
| 186 | Choate | 12/10/2016 9:27 PM |
| 187 | We love Choate park! We go at least 3 times a week. And it's great for distracting younger kids while my older son plays baseball at Cassidy field (which we also love) | 12/10/2016 9:26 PM |
| 188 | Choate | 12/10/2016 9:20 PM |
| 189 | Choate | 12/10/2016 8:18 PM |
| 190 | High school | 12/10/2016 8:11 PM |
| 191 | Choate | 12/10/2016 7:48 PM |
| 192 | Choate and oakland | 12/10/2016 7:15 PM |
| 193 | Choate Park | 12/10/2016 6:54 PM |
| 194 | Oakland. I call Choate the graveyard of unwanted toys. I dont think people should be allowed to dump toys there. | 12/10/2016 6:51 PM |
| 195 | Choate park | 12/10/2016 4:59 PM |
| 196 | Medway Middle School, Choate Park, Cassidy Fields | 12/10/2016 4:50 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|-------------------------------|---------------------|
| 197 | Choate | 12/10/2016 4:05 PM |
| 198 | Choat | 12/10/2016 2:43 PM |
| 199 | Medway middle school | 12/10/2016 2:00 PM |
| 200 | Choate | 12/10/2016 10:46 AM |
| 201 | Choate | 12/10/2016 9:39 AM |
| 202 | Use all 4 | 12/10/2016 9:38 AM |
| 203 | Cassidy | 12/10/2016 8:46 AM |
| 204 | Choate park and middle school | 12/10/2016 8:22 AM |
| 205 | Choate | 12/10/2016 8:03 AM |
| 206 | Choate | 12/10/2016 7:47 AM |
| 207 | Choate | 12/10/2016 7:43 AM |
| 208 | Chote, middle | 12/10/2016 7:18 AM |
| 209 | Choate | 12/10/2016 7:14 AM |
| 210 | Choate | 12/10/2016 6:06 AM |
| 211 | Choate | 12/10/2016 1:52 AM |
| 212 | Oakland | 12/10/2016 12:04 AM |
| 213 | Choate/and trails | 12/10/2016 12:03 AM |
| 214 | Choate | 12/9/2016 11:28 PM |
| 215 | Choate | 12/9/2016 11:19 PM |
| 216 | Oakland. | 12/9/2016 11:19 PM |
| 217 | Choate | 12/9/2016 10:35 PM |
| 218 | Choate park | 12/9/2016 10:17 PM |
| 219 | choate | 12/9/2016 10:08 PM |
| 220 | Idyllbrook Field | 12/9/2016 10:02 PM |
| 221 | Choate | 12/9/2016 9:57 PM |
| 222 | Choate | 12/9/2016 9:40 PM |
| 223 | Choate | 12/9/2016 9:32 PM |
| 224 | Choate & Oakland | 12/9/2016 9:09 PM |
| 225 | Choate/oakland | 12/9/2016 9:08 PM |
| 226 | Middle school/choate park | 12/9/2016 8:50 PM |
| 227 | Choate | 12/9/2016 8:33 PM |
| 228 | Choate | 12/9/2016 8:14 PM |
| 229 | Middle school | 12/9/2016 7:55 PM |
| 230 | Choate | 12/9/2016 7:52 PM |
| 231 | Oakland Park | 12/9/2016 7:29 PM |
| 232 | Cassidy | 12/9/2016 6:54 PM |
| 233 | Idylbrook | 12/9/2016 6:52 PM |
| 234 | High School | 12/9/2016 6:38 PM |
| 235 | Middle School | 12/9/2016 6:37 PM |
| 236 | Choate/Cassidy | 12/9/2016 6:27 PM |
| 237 | Choate park | 12/9/2016 6:26 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|--|-------------------|
| 238 | Choatek | 12/9/2016 6:19 PM |
| 239 | Idylbrook Park | 12/9/2016 6:14 PM |
| 240 | Choate | 12/9/2016 6:12 PM |
| 241 | Choate and idylbrook | 12/9/2016 6:07 PM |
| 242 | Choate | 12/9/2016 5:55 PM |
| 243 | Middle school | 12/9/2016 5:38 PM |
| 244 | Choate | 12/9/2016 5:29 PM |
| 245 | Idyllbrook | 12/9/2016 5:17 PM |
| 246 | Cassidy and Oakland | 12/9/2016 5:15 PM |
| 247 | Choate | 12/9/2016 5:04 PM |
| 248 | Oakland | 12/9/2016 5:01 PM |
| 249 | Choate | 12/9/2016 4:58 PM |
| 250 | Choate and oakland | 12/9/2016 4:58 PM |
| 251 | Choate park | 12/9/2016 4:54 PM |
| 252 | Choate | 12/9/2016 4:35 PM |
| 253 | Choate | 12/9/2016 4:32 PM |
| 254 | High School fields and trails, Choate trails | 12/9/2016 4:28 PM |
| 255 | Choate | 12/9/2016 4:22 PM |
| 256 | Choate | 12/9/2016 4:14 PM |
| 257 | Choate park | 12/9/2016 4:11 PM |
| 258 | Choate | 12/9/2016 3:58 PM |
| 259 | Cassidy, Oakland, Middle School | 12/9/2016 3:57 PM |
| 260 | Choate | 12/9/2016 3:56 PM |
| 261 | Choate | 12/9/2016 3:48 PM |
| 262 | Oakland | 12/9/2016 3:29 PM |
| 263 | Oakland park | 12/9/2016 3:22 PM |
| 264 | Choate | 12/9/2016 3:21 PM |
| 265 | Choate | 12/9/2016 3:21 PM |
| 266 | Choate | 12/9/2016 3:17 PM |
| 267 | oakland | 12/9/2016 3:09 PM |
| 268 | Choate Park | 12/9/2016 3:06 PM |
| 269 | Choate and Oakland | 12/9/2016 3:06 PM |
| 270 | Choate park | 12/9/2016 3:02 PM |
| 271 | Medway Middle School | 12/9/2016 3:01 PM |
| 272 | Choate park | 12/9/2016 2:59 PM |
| 273 | Choate | 12/9/2016 2:59 PM |
| 274 | Medway High, Medway Middle school fields | 12/9/2016 2:58 PM |
| 275 | choate | 12/9/2016 2:57 PM |
| 276 | Choate | 12/9/2016 2:53 PM |
| 277 | Oakland and Choate | 12/9/2016 2:51 PM |
| 278 | High school | 12/9/2016 2:47 PM |

Medway Parks: Goals & Analysis Survey

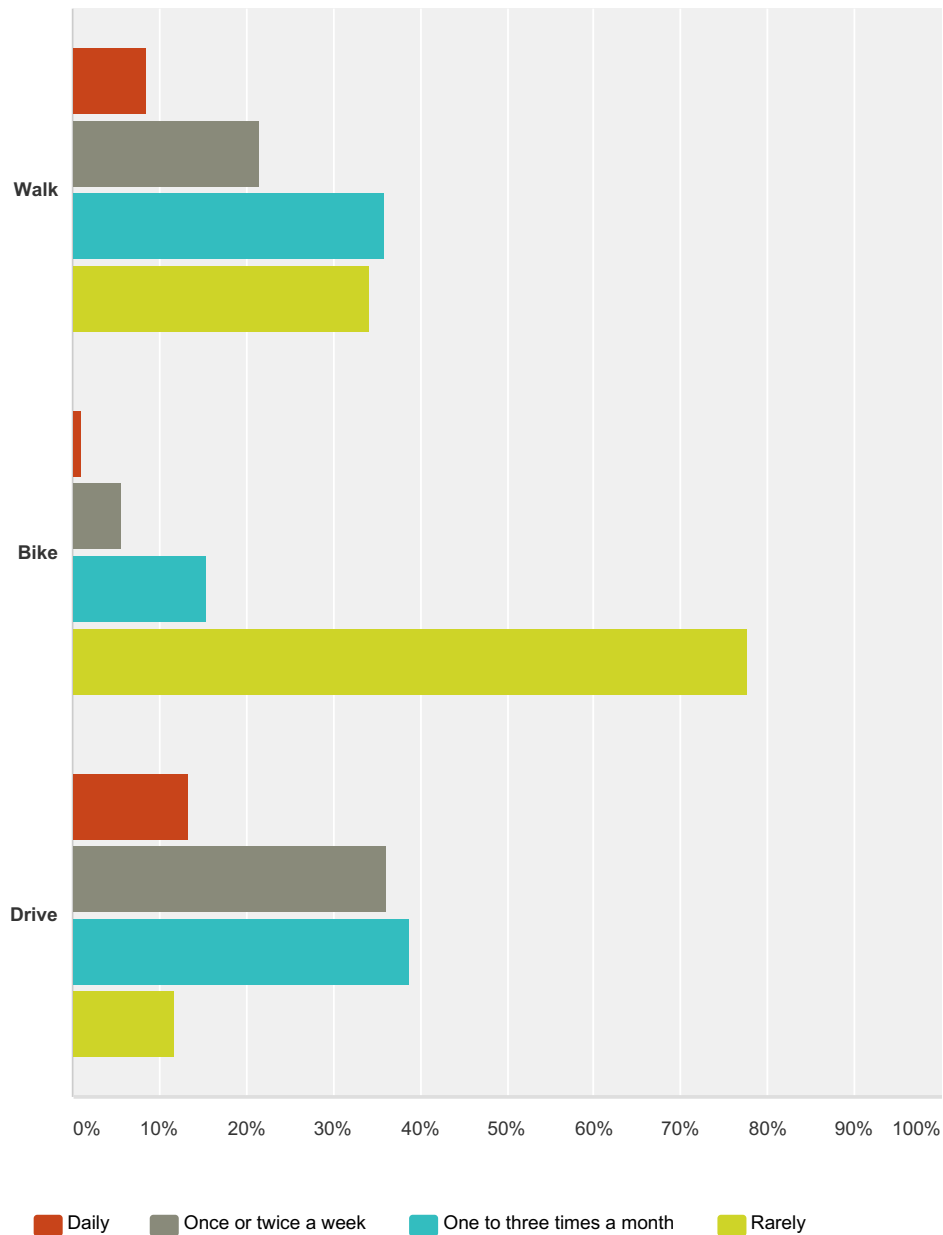
| | | |
|-----|--|-------------------|
| 279 | Choate | 12/9/2016 2:47 PM |
| 280 | Choate | 12/9/2016 2:37 PM |
| 281 | Choate | 12/9/2016 2:35 PM |
| 282 | Choate | 12/9/2016 2:35 PM |
| 283 | Choate | 12/9/2016 2:34 PM |
| 284 | Oakland Street | 12/9/2016 2:28 PM |
| 285 | middle school, cassidy, idylbrook | 12/9/2016 2:28 PM |
| 286 | Idylbrook | 12/9/2016 2:26 PM |
| 287 | Oakland or choate | 12/9/2016 2:23 PM |
| 288 | Choat | 12/9/2016 2:23 PM |
| 289 | North St | 12/9/2016 2:22 PM |
| 290 | Choate | 12/9/2016 2:22 PM |
| 291 | Choate and Idylbrook | 12/9/2016 2:21 PM |
| 292 | Choate Park | 12/9/2016 2:20 PM |
| 293 | Medway Middle | 12/9/2016 2:17 PM |
| 294 | all (3 kids, lots of sports) | 12/9/2016 2:15 PM |
| 295 | Choate | 12/9/2016 2:13 PM |
| 296 | Middle School fields | 12/9/2016 2:00 PM |
| 297 | choate | 12/9/2016 2:00 PM |
| 298 | Choate | 12/9/2016 1:58 PM |
| 299 | Choate | 12/9/2016 1:55 PM |
| 300 | All | 12/9/2016 1:52 PM |
| 301 | Choate | 12/9/2016 1:47 PM |
| 302 | Middle School and Choate | 12/9/2016 1:47 PM |
| 303 | Choate | 12/9/2016 1:47 PM |
| 304 | Choate | 12/9/2016 1:46 PM |
| 305 | Choate park no | 12/9/2016 1:45 PM |
| 306 | Idlebrook oakland choate | 12/9/2016 1:43 PM |
| 307 | Choate | 12/9/2016 1:42 PM |
| 308 | Idylbrook | 12/9/2016 1:40 PM |
| 309 | Choate | 12/9/2016 1:36 PM |
| 310 | Choate Park | 12/9/2016 1:35 PM |
| 311 | Choate Park | 12/9/2016 1:35 PM |
| 312 | Choate | 12/9/2016 1:34 PM |
| 313 | Oakland. North st | 12/9/2016 1:34 PM |
| 314 | Choate | 12/9/2016 1:31 PM |
| 315 | Choate | 12/9/2016 1:31 PM |
| 316 | Norfolk | 12/9/2016 1:29 PM |
| 317 | Choate | 12/9/2016 1:29 PM |
| 318 | Oakland | 12/9/2016 1:26 PM |
| 319 | Choate, Cassidy Fields & Middle School | 12/9/2016 1:26 PM |

Medway Parks: Goals & Analysis Survey

| | | |
|-----|---|--------------------|
| 320 | Oakland | 12/9/2016 1:24 PM |
| 321 | Middle School | 12/9/2016 1:23 PM |
| 322 | Choate Park | 12/9/2016 1:22 PM |
| 323 | Choate | 12/9/2016 1:21 PM |
| 324 | Choate | 12/9/2016 1:19 PM |
| 325 | Choate Park | 12/9/2016 1:18 PM |
| 326 | Choate and the walking paths to the high school | 12/9/2016 1:18 PM |
| 327 | Choate Park | 12/9/2016 1:15 PM |
| 328 | Choate | 12/9/2016 1:14 PM |
| 329 | Choate | 12/9/2016 1:14 PM |
| 330 | Middle School | 12/9/2016 1:09 PM |
| 331 | Choate | 12/9/2016 1:06 PM |
| 332 | choate | 12/9/2016 1:05 PM |
| 333 | Choate | 12/9/2016 1:05 PM |
| 334 | choate | 12/9/2016 1:04 PM |
| 335 | Choate | 12/9/2016 1:02 PM |
| 336 | Choate | 12/9/2016 1:02 PM |
| 337 | Choate Park | 12/9/2016 12:59 PM |
| 338 | Choate/Cassidy | 12/9/2016 12:59 PM |
| 339 | Oakland | 12/9/2016 12:58 PM |
| 340 | Middle school | 12/9/2016 12:57 PM |
| 341 | Choate | 12/9/2016 12:57 PM |
| 342 | Choate Park and the Middle School | 12/9/2016 12:56 PM |
| 343 | Choate, Idyllbrook | 12/9/2016 12:52 PM |
| 344 | Choate Park | 12/9/2016 12:49 PM |

Q19 How often do you walk, bike, or drive to parks in Medway (in season)?

Answered: 395 Skipped: 32



| | Daily | Once or twice a week | One to three times a month | Rarely | Total |
|-------|--------------|----------------------|----------------------------|---------------|-------|
| Walk | 8.49% 32 | 21.49% 81 | 35.81% 135 | 34.22% 129 | 377 |
| Bike | 1.15% 4 | 5.73% 20 | 15.47% 54 | 77.65% 271 | 349 |
| Drive | 13.35% 51 | 36.13% 138 | 38.74% 148 | 11.78% 45 | 382 |

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 29, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

Re: Choate Park Site Plan

Dear Mr. Rodenhiser:

I have reviewed the site plan submitted by the Town Administrator's Office for the Town of Medway. The proposal is to renovate portions of Choate Park including replacing the playground, replace and expand the parking lot, add fencing and seating areas, add a pavilion, improve the pathway around the pond, plant shade trees, and associated lighting, landscaping and drainage. The plan may also include (depending on funding) removal of the basketball, volleyball and practice tennis courts and replace with a more natural/passive area, add a boardwalk and improve the maintenance drive between Cassidy Fields and the park. The plan was prepared by a team including CBA Landscape Architects, LLC and Samiotes Consultants, Inc. The plan is dated August 17, 2017.

Zoning

1. The proposed use is municipal. This is allowed by right in all districts.
2. The plan proposes to replace an existing parking lot with 47 spaces with one for 68 cars. There is no specific number of spaces for the proposed use in the Zoning Bylaw. The bylaw says that industry standards should apply. The dimensions of the spaces comply with the bylaw and 16% of the spaces are "small vehicle" spaces (up to 30% is allowed) which reduces impervious surface.
3. Section 7.1.1.I requires a bicycle rack spot for each 20 parking spaces. With 68 spaces, 5 bicycle spots are required and 12 are provided.
4. Section 7.1.2 E.1 states that light trespass onto any abutting street or lot beyond .01 foot-candles is not permitted. A photometric plan was provided and it indicates that the foot-candle level at the property lines do not exceed .01.
5. No signage is proposed, other than to remove and replace existing signage (including bulletin boards). It is not clear if "replace" literally means to put back the existing signs or install new ones.

Site Plan Rules and Regulations

6. Section 204-5 C. (3). The Existing Conditions Sheet also does not include an Existing Landscape Inventory prepared by a Landscape Architect. A waiver from this requirement is requested.
7. Section 204-5 (14) requires horizontal sight distances be shown on the plan. This information was not provided.
8. Section 205-6 (A) states that parking “should” be located to the side and rear of the building. This is not an absolute requirement. Parking is being located closer to Main Street at the front of the site. This requirement is not really applicable since no substantial buildings are proposed and the use is a park. In any case, the parking lot is at least 50 feet off Main Street and is adequately screened.

General Comments

9. In general, the narrative statement provides an excellent and detailed explanation of the project and clearly demonstrates that the applicant closely adhered to the Zoning Bylaw and Site Plan Rules and Regulations.

If there are any questions about these comments, please call or e-mail me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



August 31, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Choate Park Improvements
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at Oak Street in Medway, MA at existing Choate Park. Proposed improvements include reorganization of parking, redesign/reconfigure of playground area, removal of existing septic system and installation of new sanitary sewer for the existing building and upgrade of the pathway around Choate Pond with connection to Cassidy Fields. Stormwater infrastructure is proposed to improve water quality at the site.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Improvements To: Choate Park, Oak St. and Winthrop Street, Medway, Massachusetts", dated August 17, 2017, prepared by CBA Landscape Architects (CBA).
- A stormwater management report (Stormwater Report) titled "Choate Park – Medway, Oak Street, Medway, MA, Stormwater Report" dated August 17, 2017, prepared by Samiotes Consultants, Inc. (SCI).
- A project description document titled "Project Description – Improvements to Choate Park" dated August 17, 2017, prepared by CBA.
- A development impact statement titled "Development Impact Statement – Improvements to Choate Park" dated August 17, 2017, prepared by CBA.
- A Request for Waivers Form D (multiple forms) dated August 17, 2017, prepared by CBA.
- An Application for Major Site Plan Approval form dated August 17, 2017, prepared by CBA.

The Plans, Stormwater Report and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), MA DEP Stormwater Management Standards (Standards), additional applicable town standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

The following items were found to be inconsistent with current Town of Medway PEDB Site Plan Review Regulations (Chapter 200). Reference to applicable regulation requirement is given in parentheses following each comment.

- 1) The applicant has not supplied a Traffic Impact Statement. A waiver has been requested from this regulation. TT does not oppose this waiver as the site use remains unchanged and no significant traffic increase is expected. (Ch. 200 §204-3.A.7(a))

- 2) The applicant has not supplied an Environmental Impact Assessment. A waiver has not been requested from this regulation. TT does not oppose a waiver as the site is jurisdictional to Medway Conservation Commission and a Notice of Intent (NOI) is required for the project. Any impacts will undergo environmental review during the NOI Process. (Ch. 200 §204-3.A.7(b))
- 3) Site plan scales are inconsistent throughout the Plans. Additionally, the existing conditions sheets include multiple scales. However, scales at which the Plans are drawn appear to be sufficient to accurately depict the proposed work. (Ch. 200 §204-4.B)
- 4) "Board of Selectmen" in the signature block shall be changed to "Planning and Economic Development Board". The signature block shall also be included on each sheet in the Plans. (Ch. 200 §204-5.A)
- 5) The applicant has not included natural and man-made features within 100' of the project site. A Waiver has been requested from this regulation. TT does not oppose this waiver as it appears no features of interest exist within the 100' area. (Ch. 200 §204-5.C.1 and 2)
- 6) The applicant has not provided all trees located on site at a diameter of 12" or greater. A waiver has been requested from this regulation. The applicant has included all trees 18" in diameter or greater on the existing conditions plan. TT does not oppose this waiver request. (Ch. 200 §204-5.C.3, §204-5.D.7 and §205-9)
- 7) Light spill over the property line adjacent to the entrance to the site from Oak Street is shown on the Lighting/Photometric Plan, Sheet L8.0. (Ch. 200 §205-2.O and §205-8.C)
- 8) The applicant has proposed standard 9' x 18' parking stalls which does not comply with the Regulations. TT does not oppose 9' width for proposed spaces but we recommend extending the length of stalls along areas bounded by sidewalk to limit bumper overhang over the sidewalk area. We recommend a waiver be requested. (Ch. 200 §205-6.G.3(a))
- 9) Wheel stops are required in parking stalls abutting sidewalks. However, see Comment 8 above as we recommend extending the depth of the parking stalls and eliminating wheel stops as they tend to cause issues during winter months during snow plowing operations. We recommend a waiver be requested. (Ch. 200 §205-3.G.3(b))

The following items were found to not be in conformance with MA DEP Storm Water Management Standards and/or Town stormwater standards.

MA DEP Stormwater Management Standards

- 10) We recommend the applicant provide test pit information to confirm soil types and associated infiltration rates below the proposed Infiltration System. (Standard 3)

Town Stormwater Regulations (Ch. 200 §205-4)

- 11) Test pit information shall be submitted to confirm infiltration bmp exfiltration rates. (Ch. 200 §205-4.B)
- 12) Pipe/cb grate sizing calculations shall be provided for the 25-year storm event. (Ch. 200 §205-4.E.1)

General Stormwater Comments

- 13) HydroCAD analysis does not include proposed Infiltration System, please provide for review. Furthermore, systems such as the Brentwood tend to have little or no lateral stability, we recommend considering alternate system.
- 14) We recommend relocation of proposed Infiltration System to an area completely below proposed pavement to avoid conflicts with curb and site trees. Proposed location shows the system partially under proposed curb and nearly coincident with southeastern side of the existing septic leach field.
- 15) The applicant should confirm access into the proposed Infiltration System in order to maintain if necessary. Furthermore, although not specifically required by the Standards, we recommend proposing a water quality unit upstream of the Infiltration System to further capture TSS which will extend life of the Infiltration System and reduce maintenance frequency.

The following is a list of general items that TT recommends the applicant take into consideration prior to the next submission:

- 16) A Majority of the proposed work is within areas Jurisdictional to the Medway Conservation Commission and will require submittal of a Notice of Intent.
- 17) On future submittals we recommend the applicant show existing conditions information as gray on all sheets and proposed as black, the plans are difficult to read.
- 18) Steel Bollards proposed at eastern edge of the proposed Infiltration System which may conflict vertically with the upper portion of the system. Furthermore, please clarify intent of the bollards and moveable chain as chains can be difficult to see in low light/heavy snow conditions and may become an issue with vehicles striking it while using the parking lot.
- 19) We recommend the applicant add note stating new sewer connection must be installed and septic system must be fully decommissioned prior to beginning excavation for proposed Infiltration System.
- 20) We recommend the applicant propose backflow prevention for spray activator. Applicant to coordinate with DPS on proposed installation and details for winterization.
- 21) We recommend the applicant provide greater detail of proposed traffic management at intersection of the site with Oak Street and proposed entrance drive (by others) from Route 109.
- 22) A conflict exists between the proposed sewer service and light pole adjacent to the southwest corner of the existing "Bath House".
- 23) Sewer alignment shows bend in excess of 90°, please revise layout proposing bends <90°.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer



September 5, 2017
Medway Planning & Economic Development Board
Meeting

Construction Reports

- BETA inspection (8-22-17) – Exelon project

Inspection reports on Wingate Farm and Williamsburg are forthcoming. Also, Steve Bouley was in Medway in Friday for the paving of Marc Road associated with the ComCan project.

