

September 12, 2017
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	X	X	X

ALSO PRESENT:

- Gino Carlucci, PGC Associates
- Steve Bouley, Tetra Tech
- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland, Recording Secretary

The Chairman opened the meeting at 7:01pm.

There were no Public Comments.

Appointment to Economic Development Committee:

The Board is in receipt of the following: (See Attached)

- An email and resume from Zachary Knowlton.

Zachary Knowlton was present at meeting and explained his interest in serving on the Economic Development Committee.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to appoint Zachary Knowlton to the EDC through June 30, 2019.

Public Hearing Continuation - Paul Revere Estates Definitive Subdivision:

The Board is in receipt of the following documents: (See Attached)

- Public hearing continuation notice.
- Letter dated 9/6/17 from Dan Merrikin re: curb material
- Revised subdivision plan dated 8/29/17
- Draft decision dated 9/8/17
- Email note dated 9/7/17 from Dave D'Amico re: monolithic curb.

Project engineer Dan Merrikin was present and provided an overview of the following plan revisions:

- As requested by the Fire Chief, the cul-de-sac pavement diameter has been returned to 50'.
- There will be Caution Children signage.
- Crosswalk signs on both sides of Main Street "Crosswalk Ahead"
- A third isolation gate valve has been added.
- 15" wide access way and access gate added to the stormwater basin design as required by the Conservation Commission.
- Granite curb has been replaced with monolithic Cape Cod berm.

Susy Affleck-Childs discussed with the Board the requirement for sidewalks on the Main Street frontage of this property. The applicant had previously indicated that he would make a payment to the sidewalk fund instead. The cost estimate for the sidewalk is \$79,143.00 as prepared by Tetra Tech and includes a 25% contingency. **(See Attached)** There is about 650 linear ft. of sidewalk. Mr. Merrikin requested removal of the contingency amount in the estimate; that would reduce the sidewalk payment to \$63,314. The Board was asked if an equivalent length of sidewalk can be constructed in another location. A condition will be drafted to address this issue in the decision.

The Mullin Rule Certifications from Matt Hayes and Tom Gay were entered into the record for the August 22, 2017 meeting. **(See Attached)** These will be filed with the Town Clerk.

The Board does not like the aesthetic of the gate. It needs some landscaping around it. This will be noted in the decision. The Board also asked if the applicant will consider lighted crosswalk signs. The applicant will ask the Safety Officer if this is necessary.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to pause the public hearing for Paul Revere Estates until 8:30 pm.

143 Village Street Plan Review Fee Estimates

The Board is in receipt of the following: **(See Attached)**

- Plan Review fee estimate from PGC Associates - \$760
- Plan Review fee estimate from Tetra Tech - \$4,641

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to approve the PGC and Tetra Tech estimates for plan review services for the 143 Village Street development project.

Millstone ARCPUD: Full Release of Covenant:

The Board in receipt of the following: **(See Attached)**

- Full Release of Covenant

Millstone Developer Steve Venincasa has requested a full release of the subdivision covenant for all 80 dwelling units at Millstone. There is \$385,510 via a Tri-Party Agreement with Cornerstone Bank.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to approve the full release of covenant for Millstone ARCPUD.

NOTE – The Board signed the Release of Covenant document.

Correspondence:

- A letter dated 8/24/17 from Steve Venincasa to the Board of Selectmen requesting approval of raising the sales prices of the remaining affordable housing units at Millstone Village. **(See Attached)**

PEDB Meeting Minutes:

August 29, 2017:

On a motion made by Matt Hayes, and seconded by Rich Di Iulio, the Board voted unanimously to approve the minutes of the August 29, 2017 PEDB meeting.

Construction Reports:

The Board is in receipt of the following construction reports (**See Attached**)

- 2 Marc Road/ComCan - Report #30 (8-31-17)
- 2 Marc Road/ComCan - Report #31 (9-1-17)
- 2 Marc Road/ComCan - Report #32 (9-5-17)
- The Haven -Report #8 (8-24-17)
- Wingate Farm Inspection/Punch List/Bond Estimate (9-1-17)

Wingate Farm Subdivision Plan

The Board was made aware there was an original plan and decision and then a modified plan. Tetra Tech did a site inspection/punch list/bond estimate. Engineer Steve Bouley reported that the work on site appears to be from the original plan. The applicant has not installed proposed intersection warning signage on Holliston Street. It does not appear that the roadway to Holliston Street has sufficient sight lines. The cost estimate has been provided to the applicant. There needs to be further discussion about the drainage on this site. The Board discussed whether there needs to be a new subdivision plan. The Board asked Susy Affleck-Childs to contact Town Counsel.

Marc Road:

Steve Bouley reported that the contractor is in the process of grading loam between wetland restoration area and infiltration basin #2. They are also in process of grading sediment trap. The binder paving is occurring. There needs to be drainage for lot spot adjacent to eastern entrance to site.

Country Cottage Children's Center Site Plan- Public Hearing

The Board is in receipt of the following: (**See Attached**)

- Public Notice
- Site Plan Application
- Site Plan
- Architectural Plan
- PGC Plan Review Comments
- Tetra Tech Review Comments

The Chairman opened the public hearing for Country Cottage. A prepared statement was read.

“This agenda item is for a minor site plan application for Country Cottage Children’s Center for their new facility to be located at 35-37 Summer Street. Child care facilities are exempt from local zoning regulations under the State Zoning Act. Under Chapter 40A, Section 3, *“No zoning ordinance or bylaw in any city or town shall prohibit, or require a special permit for, the use of land or structures, or the expansion of existing structures, for the primary, accessory or incidental purpose of operating a child care facility; provided, however, that **such land or structures may be subject to reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements.**”* This means that a child care center can be located anywhere in a community. However, municipalities may require a Site Plan Review process for exempt uses. Here in Medway, Minor Site Plan Review by the Planning and Economic Development Board is the requirement. A planning board’s site plan decision for an exempt use is limited to the imposition of reasonable conditions concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking, and building coverage requirements.

Any questions or comments which may be raised during this discussion and future public meetings pertaining to this proposed project should be limited to these areas I just mentioned. ”

Present for the applicant was engineer Peter Bemis. Mr. Bemis explained that he is representing Robin and David Beaudreau who own Country Cottage. He explained that the current location is at 5 Summer Street (near Exelon) and they are moving to 35/37 Summer Street, immediately south of Rustic Road where they will build a new facility. There will be 39 children dropped off and picked up each day. There is enough parking for the staff. The applicant met with the Design Review Committee. The entrance will be on Rustic Road. Exit only onto Summer Street. There will also be egress from the facility onto Rustic Road. The loading and unloading areas were shown. The Fire Department has asked that the pavement width be 20 ft. Within the playground areas there will be three fenced in areas (chain links) for the different age groups. There will also be a larger 6 ft. fence (natural color vinyl) around the entire perimeter. The details of the stormwater were explained. 100% of the stormwater will be infiltrated on site. The stormwater will be collected and treated and will go through underground infiltration chambers on site. The proposed lighting and landscaping was shown along with the dumpster which will have a vinyl fence around it. The lighting needs to be revised to meet the 0 foot candle threshold based on bylaw.

The applicant did receive a negative determination from the Conservation Commission so they do not need to file a Notice of Intent. There will be a bollard and chain at the driveways to prevent anyone parking there when the center is closed. There will also be a sign which will be reviewed by the DRC. The playground will be natural and the highest slide is 4 or 6 ft. tall. The architectural renderings were shown. The Board is in receipt of comments from the Design Review Committee dated September 12, 2017. (**See Attached**) The project will tie into the water and sewer and gas lines. The applicant will be submitting a waiver request from the regulations regarding bike racks, plan scale size and also the written development impact statement. The Board would like to get a copy of the property deed to see about the sewer easement for the adjacent Speroni Acres neighborhood.

Planning Consultant Carlucci provided the following comments:

- Details of the sign need to be provided
- Address the house at 33 Summer Street. It is close to lot line. It needs screening with fencing or vegetation.
- Make sure employees know the policy for parking and that parents enter the site from Summer Street end of Rustic Road only.
- Revise the lighting plan so there is no spillover.

Engineering Consultant Bouley provided the following comments:

- Site distances should be added to current plan.
- Widen the turning radius and provide the turning movements sketch in the parking area.
- Parking spaces - will enlarge the sidewalk and make it deeper and make it the parking space 18' long.
- Fix the endorsement block.
- No objection to the waiver for Development Impact statement.
- Scale does not meet requirement but is fine since it is 1" = 40.
- The applicant will have to install a construction fence.

Resident Robert Condon, 3 Rustic Rd:

This resident is concerned about the two way egress. He also wants to know about the sewer easement and who is responsible if there is a problem with the line. He also wanted to know about fencing and vegetation.

It was explained to the resident that it will benefit the Rustic Rd. neighbors to have this gravity flow. It was suggested in the past to have the resident of the subdivision create a homeowners association.

Mr. Bemis explained that there will be a natural color fence and vegetation supplemented where needed.

Resident, Todd Lundin, 7 Little Tree Rd.:

Mr. Lundin wanted to further clarification on how the stormwater system will work. He wants to make sure that no water comes onto his property. He also wants to know what will be done if the snow storage area is full.

It was communicated that the snow will be hauled off site if its size exceeds the capacity of the snow storage area. In regards to the storm water system it is designed for a 100 yr. storm.

Resident Judith Notturmo, 33 Summer St.:

Resident Notturmo was questioning the stormwater retention pond that is north of her property. She also wanted to know if there will be a fence along her property.

It was explained that the basin is a rain garden. There will be plantings and the water will be treated and will go into a chamber. There will be no standing water.

Ms. Notturmo expressed concern about the sight line.

She was also informed that there will be a fence which will extend along her property. The plan was designed to make sure the fire apparatus could access this area if needed.

Resident, Jane Harris, 9 Little Tree Rd.:

Mrs. Harris is concerned about vehicles going too fast when they cut through Little Tree Road. She was wondering if there could be a stop sign installed at the corner of Little Tree and Rustic Roads. She is also concerned about the size of the buildings and the large parking area.

Resident, Adam Houser, 14 Little Tree Rd.:

Mr. Houser had some questions about the parking and the road and who is responsible if the road needs to be paved.

The Board is in receipt of a letter dated September 12, 2017 from Design Review Committee.
(See Attached)

The final details will be revised and there will be a follow-up hearing scheduled.

On a motion made by Rich Di Iulio, and seconded by Matt Hayes, the Board voted unanimously to continue the hearing for Country Cottage to September 26, 2017 at 9:15 pm.

The Chairman encouraged that the residents of Rustic and Little Tree Roads to get together to discuss the situation with the sewer line.

Village Estates Definitive Subdivision Plan Modification – Public Briefing

The Board is in receipt of the following: (See Attached)

- Public Notice
- Application
- Letter dated 8/29/17 from Engineer Dan Merrikin
- Revised subdivision plan
- Emails between SAC and Barry Smith, DPS Deputy Director re: sewer line location
- Tetra Tech review letter dated 9/11/17
- Tetra Tech inspection report dated 7/12/17 Re; video of inspection of sewer line
- Email from Mackenzie Leahy dated 8/31/17.

On a motion made by Rich Di Iulio, and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the public hearing notice for Village Estates.

Engineer Dan Merrikin was present representing Russ Santoro. It was explained that the Board is reviewing a proposed modified subdivision plan pertaining to the location of the sewer line on the property. The discussion was whether it connects to the new house via Bedalia Lane (as shown on the original subdivision plan) or run along the eastern boundary of the 272 Village Street property. The applicant proposed to extend the current sewer line servicing 272 Village Street (Lot 1) which presently runs northerly from Village Street for approximately 47' along the eastern side of the existing house. The existing 6" sewer line is followed by approximately 50' of existing 4" sewer line which would be replaced with a new 6' line. This would be followed by the installation of a new 6" sewer line extending approximately 160' northerly and northwesterly from the northeast corner of the existing house to the new dwelling on Lot 2.

The Chairman does not think this is a good thing to do and wants the sewer line installed according to how it was originally approved.

Mr. Merrikin indicated that whoever buys this will understand that there is an easement in place.

Discussion followed about a third alternative for the sewer line, that being to run around the perimeter of 272 Village Street and then back to new house lot on Bedalia Lane.

Mr. Merrikin and Mr. Santoro excused themselves for a brief conversation. Mr. Merrikin reported that his client is willing to go to the left if that is acceptable.

Some Board members expressed that going to the left of the house at 272 Village Street is more of a burden.

Consultant Bouley did respond that going to the left would result in more bends in the sewer line and would require two manholes instead of one.

The Board would like to see a revised plan with the sewer line to the left of the house at 272 Village Street.

Resident Wayne Brundage, 268 Village Street:

Mr. Brundage expressed that he was comfortable with what was presented with the third alternative.

Continuation:

On a motion made by Matt Hayes, and seconded by Tom Gay, the Board voted

unanimously to continue the hearing for the Village Estates modification to Tuesday, October 10, 2017 at 7:00 pm.

Paul Revere Estates Definitive Subdivision Plan – Public Hearing

Continuation

The hearing for Paul Revere Estates resumed at 9:15 pm. The Board is in receipt of the following: **(See Attached)**

- Draft decision

The waivers were reviewed on pages 4 and 5. The Board agreed that this will be discussed further at another meeting.

Deadline Extension:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the applicant's request for an extension of the action deadline to October 30, 2017.

Continuation:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to continue the hearing for Paul Revere Estates to October 10 at 7:30 pm.

Williamsburg OSRD – Status Report Discussion

Mr. Yorkis was present and is in receipt of the Tetra Tech inspection report/punch list/bond estimate. **(See Attached)** He indicated that he has not proposed or asked for a bond reduction.

The list was reviewed and the following was noted:

Item #2 (berm):

- Mr. Yorkis has sent an email to Dave Faist and would like an email back from him indicating where the curb belongs.

Item #10 (open space mowing):

- Mr. Yorkis did a site walk with representative from Open Space Committee and the trail is marked out and Mr. Yorkis indicated that the path will be mowed. The bench will be installed.

Item #13 (light poles):

- It was indicated by Mr. Yorkis that this is not his responsibility. A light was installed but it was damaged by parties unknown. The association is responsible for fixing that light. Mr. Yorkis acknowledged that there were some light poles he did need to replace.

Item #14 Sign:

- The sign was installed and it was reported by one of residents that the sign was taken. The Board discussed installing a one-way two sided arrow sign on street post which is currently there. Resident at 8 Williamsburg Way indicated that it is beneficial to have both signs.

Item #18:

- The Board discussed the asphalt on the island. This is supposed to have plants. Mr. Yorkis explained that this is the permanent electrical panel. There will need to be something done to make this more aesthetically pleasing.

Item #19:

- The comment is in relation to the landscaping throughout the site. Some of the trees need to be replaced since they are not thriving. The location of these are different than on the plan. Consultant Bouley will assess the landscape plan and will provide a recommendation.

Mr. Yorkis indicated that he will provide a modified landscape plan consistent with the original plan in terms of quantity but not by location.

The as-built will reflect the as built plan of the new layout.

Mr. Yorkis informed the Board that he submitted an application for a well and the Conservation Commission denied this and the applicant is appealing it to the DEP. The purpose of the well is for irrigation.

The Chairman asked Mr. Yorkis to provide a schedule or timetable of when this will be done. He wants a realistic timetable and plan on how it will get done and a timeframe.

Resident, Mr. Newby, 8 Williamsburg Way:

Mr. Newby had a prepared document dated 9/11/17 which was entered into the record. (**See Attached**)

Mr. Yorkis left the meeting.

Mr. Newby noted the following concerns:

- Subdivision plan did not show a well
- Cost for erosion control is too low. It cannot be done for \$500.00
- Open Space Parcel – The plants are overgrown and need to be removed by a machine brush hogged out. Fields have been neglected over years. Many rocks.
- Dumping within the open space area needs to be cleaned.
- Needs to be a barrier for electrical area noted in item #18.
- Drainage was not done properly - the down spouts are pointed upward. Lot #2
- Curbing and sidewalks and driveways need to be crack sealed.
- Landscaping needs to be replaced, trees are dead.

Consultant Bouley will look into these items. If there is dumping on the open space area then this is an issue.

The Board would like to see what the applicant gets done within the next 10 - 15 days before looking to increase the bond amount.

Williamsburg OSRD Construction Observation Fee:

The Board is in receipt of the following: (**See Attached**)

- Tetra Tech estimate dated July 28, 2017.
- Email from SAC to Paul Yorkis dated 9/8/17

Susy Affleck-Childs reported that she had informed Mr. Yorkis of the need for additional construction services funds and that he was OK with that.

On a motion made by Matt Hayes and seconded by Tom Gay, the Board voted unanimously to accept the construction fee of \$5,045.00 for Williamsburg.

Zoning Bylaw Amendments:

The Board is in receipt of the following:

- Confidential email from Town Counsel dated September 12, 2017.

The email provided reasons that the proposed amendments to Section 5.6.4 Multifamily Housing of the Zoning Bylaw would be acceptable. It was suggested that this be discussed with Jack Mee the Building Inspector.

Adjourn:

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 11:15 pm.

Respectfully Submitted,

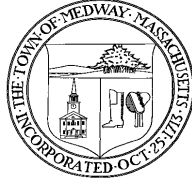


Amy Sutherland
Recording Secretary

Reviewed and edited by,



Susan E. Affleck-Childs
Planning and Economic Development Coordinator



September 12, 2017
Medway Planning & Economic Development Board
Meeting

**Appointment to the Economic
Development Committee**

- Email and resume from Zachary Knowlton to serve on the Economic Development Committee

Zach will attend the meeting to meet you and answer any questions you may have.

I recommend you appoint Zachary Knowlton to serve on the EDC for a term through June 30, 2019.

Susan Affleck-Childs

From: Stephanie Mercandetti
Sent: Monday, August 28, 2017 7:34 AM
To: Susan Affleck-Childs
Subject: Fwd: EDC Volunteer Opportunity
Attachments: Knowlton Resume.docx; ATT00001.htm

Susy,

I recently spoke with Zachary Knowlton and he would like to be appointed to the EDC.

Thanks,
Steph

Stephanie Mercandetti
Sent from my iPhone

Begin forwarded message:

From: Mary Becotte <mbecotte@townofmedway.org>
Date: June 14, 2017 at 10:25:10 AM EDT
To: Stephanie Mercandetti <smercandetti@townofmedway.org>
Subject: FW: EDC Volunteer Opportunity

Looks good!

From: Zach Knowlton [<mailto:zknowlton@comcast.net>]
Sent: Wednesday, June 14, 2017 10:21 AM
To: Mary Becotte
Cc: Stephanie Mercandetti
Subject: EDC Volunteer Opportunity

Dear Mary,

My name is Zach Knowlton and I am a resident of Medway who is interested in joining the Economic Development Committee. I feel as though my degree in economics and finance, coupled with my experience as an investment manager and coursework in urban & regional economics, makes me a strong candidate for this position. Attached you will find my resume which contains additional details of my career experiences and activities to date. Please contact me if you would further like to discuss my application, or would like to schedule an interview.

Thank you,

Zach Knowlton

26 Holliston Street, Medway, MA 02053
(508) 282-0071 | zknowlton@comcast.net

EDUCATION:

Bentley University, Waltham, MA

Bachelor of Science, Economics-Finance, Cum Laude May 2016

Relevant Coursework: Urban & Regional Economics, Business Strategy, Corporate Finance & Banking

GPA: 3.54/4.0 SAT MATH II: 740/800

EXPERIENCE:

Mercer Investment Management, Boston, MA

July 2016-Present

Investment Analyst – Portfolio Management Group

- Member of the portfolio management group helping to allocate and manage over \$60 billion in institutional assets
- Research and analyze equity, fixed income, and alternative markets for new investment ideas
- Build and maintain quantitative models including Monte Carlo simulations, scenario analysis and stress test models utilizing BarraOne
- Play a key role in the identification and selection of suitable investment managers, investment strategies, and products

Loomis, Sayles & Company, Boston, MA

June 2014-August 2014

Credit Research Summer Intern – Energy and Financials Sectors

- Build and maintain financial models using 10Ks, 10Qs, Income Statements, Balance Sheets, and Cash Flow Statements
- Compile industry and company specific data in Microsoft Excel for comparable sheets
- Assist Senior Analysts in preparing research memos, industry reviews and presentation materials
- Develop skills in assessing credit risk as well as understanding financial markets

Commonwealth Financial Network, Waltham MA

October 2013-December 2015

Investment Research Intern

- Support the analyst team in conducting product manager due diligence, mutual fund research, and report generation
- Research individual equity and fixed income securities for specific advisor requests

SKILLS, ACTIVITIES & INTERESTS:

Bentley University Investment Group

Equity Analyst

- Evaluate equity investments for a student-run investment fund managing approximately \$850,000
- Conduct fundamental research on stocks including reviewing SEC filings, earnings releases, investor presentations and research reports

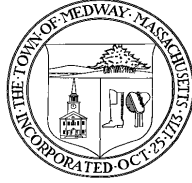
Sigma Chi Fraternity – Lambda Upsilon Chapter

Executive Board - Recruitment Chair, Finance Committee

- Elected to a 7 person executive board which is responsible for all major decisions regarding the 68 member chapter

Technical Skills: Microsoft Office, Bloomberg Terminal, SPSS (statistical software), and Econometric Views

Certifications & Training: Bloomberg Terminal Certified, Pillars of Wall Street Financial modeling course



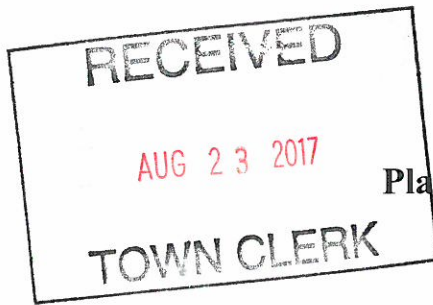
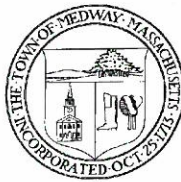
September 12, 2017
Medway Planning & Economic Development Board
Meeting

Paul Revere Estates
Definitive Subdivision Plan

- Public Hearing Continuation Notice
- Letter dated 9/6/17 from Dan Merrikin re: revised subdivision plan
- Additional waiver request re: curb material
- Revised subdivision plan dated 8/29/17
- Draft decision dated 9/8/17
- Email note dated 9/7/17 from Dave D'Amico re: monolithic curb

NOTE – The letter and revised plan were received 9/7/17 and were forwarded to Tetra Tech for review.

NOTE – Action deadline is 9/30/17.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

MEMORANDUM

August 23, 2017

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator

RE: **Public Hearing Continuation: Paul Revere Estates Definitive Subdivision Plan**
Continuation Date: Tuesday, September 12, 2017 at 7:00 p.m.
Location: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on August 22, 2017, the Planning and Economic Development Board voted to continue the public hearing on the application of Notwen Realty Trust of Norfolk, MA for approval of a definitive subdivision plan for a proposed five lot residential subdivision at 33 Main Street. **The continued public hearing will take place on Tuesday, September 12, 2017 at 7:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street.**

The subject property is an 11.31 acre parcel located off the south side of Main Street/Route 109 in the Agricultural Residential I zoning district. The plan shows the division of land into five residential lots and one drainage parcel, the construction of an approximately 571' roadway intended to be an accepted Medway street, the installation of municipal water and sewer service, and the construction of stormwater management facilities. A portion of this site is in a Wetlands Resource Area and the Groundwater Protection District. This proposal is for a "by right" use in this zoning district.

The application, subdivision plan, stormwater report, and other documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The applications, plan, report and other documents are also posted at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/paul-revere-estates>

The Board will begin its review of a decision at this next meeting. Please contact me if you have any questions. Thanks.

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883

September 6, 2017

Planning & Economic Development Board
Town Offices
155 Village Street
Medway, MA 02053

Conservation Commission
Town Offices
155 Village Street
Medway, MA 02053

Ref: Definitive Subdivision Application
Paul Revere Estates
39 Main Street

Dear Members of the Board:

Please find enclosed the following:

- Two full-size and one 11"x17" copies of a revised subdivision plan,
- One copy of a revised O&M plan; and
- One copy of a revised SWPPP.

Plan revisions are summarized as follows:

- As requested by the Conservation Commission, a 15' wide access way and access gate has been added to the stormwater basin design on the grading and road profile sheets. A detail for the access gate has also been added to sheet 10.
- As requested by the Conservation Commission, a note has been added to the layout sheet indicating that healthy trees larger than 4" in diameter shall be preserved in the selective cut zone.
- As requested by the fire chief, the cul-de-sac pavement diameter has been returned to 50'.
- As requested by the police department, the street sign note on the plan view of sheet 7 has been changed to include both road name signs.
- As requested by the Police Department, a "Caution Children" sign at the entrance to the subdivision has been added to sheet 7.
- As requested by the Police Department, the plan view of sheet 7 has been revised to include "Crosswalk Ahead" signs along both direction of Main Street.
- As requested by the DPS, a third isolation gate valve has been added to the Main Street intersection; and

- As discussed with the Board, sloped granite curb has been replaced with monolithic cape cod berm within the subdivision and a detail for monolithic cape cod berm has been added to sheet 9. A waiver request has been added to the cover sheet and a waiver request form is attached to this letter.

O&M revisions are summarized as follows as requested by the Conservation Commission:

- All discussion of septic systems has been eliminated from the O&M plan.
- Note #2 has been added to the catch basin operation and maintenance tasks calling for the installation of silt sacks during construction. Note #1 has been altered to call for daily inspections as opposed to monthly inspections during construction.
- Note #4 has been added to the sediment forebay operation and maintenance tasks calling for the removal of woody vegetation, leaves, and other materials that would affect the life of the system or its operations.

SWPPP revisions are summarized as follows as requested by the Conservation Commission:

- Section 2.16.2 of the SWPPP now excludes fueling locations from being designated within the 100' buffer zone.
- Section 2.16.11 of the SWPPP now includes a note that fertilizers are not to be applied within buffer zones or the Zone II.
- All references to hay bales in Section 3.2 of the SWPPP have been changed to straw bales.

Do not hesitate to contact me if you have any questions or comments.

Sincerely,



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.09.07 08:30:29 -04'00'

Daniel J. Merrikin P.E.

cc: File

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	<i>Paul Revere Estates</i>
Property Location:	<i>39 Main Street</i>
Type of Project/Permit:	<i>Definitive Subdivision</i>
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	<i>7.10.2 - Curbs and Berms</i>
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	<i>Curbing shall be Sloped Granite Edging (Type S-A) for the full length of Neighborhood Streets.</i>
What aspect of the Regulation do you propose be waived?	<i>Sloped Granite Edging</i>
What do you propose instead?	<i>Monolithic Cape Cod Berm</i>
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	<i>Sloped granite edging is costly.</i>
What is the estimated value/cost savings to the applicant if the waiver is granted?	<i>Approximately \$20,000</i>
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	<i>Monolithic Cape Cod Berm is more resilient to snowplow damage and is easier to maintain and replace.</i>
What is the impact on the development if this waiver is denied?	<i>Cost implications</i>
What are the design alternatives to granting this waiver?	<i>None</i>
Why is granting this waiver in the Town's best interest?	<i>The applicant is proposing to donate a drain easement at no cost to the town to resolve a long-standing discharge of municipal runoff through the applicant's land.</i>
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	<i>The cost of an eminent domain taking for the easement.</i>
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	<i>The granting of a drainage easement to the town.</i>
What is the estimated value of the proposed mitigation measures?	<i>The cost of an eminent domain taking for the easement.</i>
Other Information?	<i>None</i>
Waiver Request Prepared By:	<i>Merrikin Engineering, LLP</i>
Date:	<i>6-Sep-17</i>
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<i>7/8/2011</i>	

PAUL REVERE ESTATES

DEFINITIVE SUBDIVISION

PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PLAN
JUNE 9, 2017
LATEST REVISION: AUGUST 29, 2017

PREPARED FOR:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

FOR REGISTRY USE

SUBDIVISION STATISTICS

TOTAL LAND AREA: 492,621 S.F. ±
NUMBER OF LOTS: 5
NUMBER OF PARCELS: 2
TOTAL LOT/PARCEL AREA: 459,670 S.F. ±
LOT 1: 47,121 S.F. ±
LOT 2: 53,534 S.F. ±
LOT 3: 49,933 S.F. ±
LOT 4: 47,965 S.F. ±
LOT 5: 44,128 S.F. ±
PARCEL C: 216,988 S.F. ±
PARCEL E: 32,950 S.F. ±
TOTAL WETLAND AREA: 195,933 S.F. ±
TOTAL UPLAND AREA: 296,688 S.F. ±
TOTAL STREET AREA: 32,951 S.F. ±
TOTAL OPEN SPACE: 0 S.F.

SUBDIVISION NOTES:

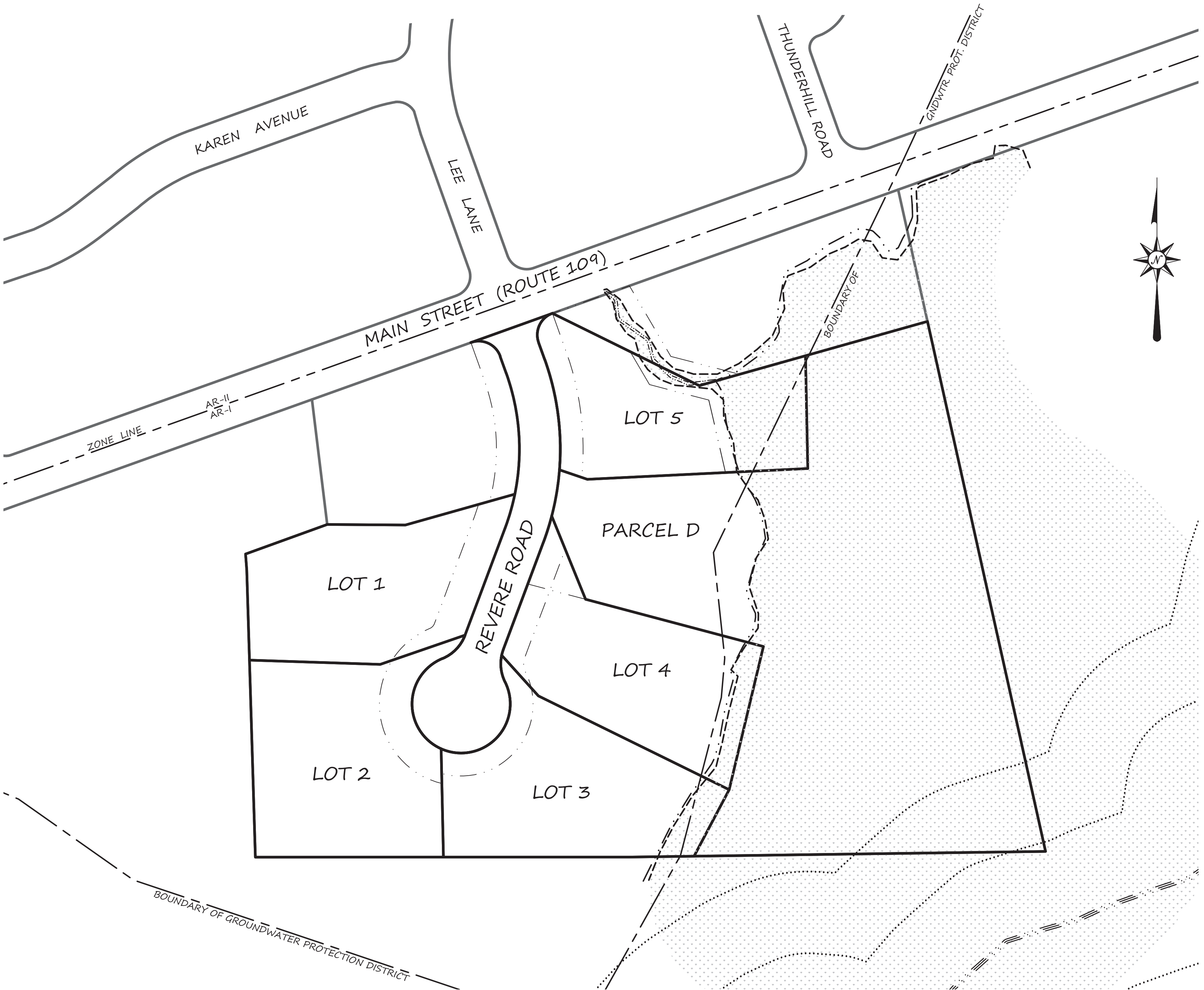
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS HIGHWAY HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

WAIVER REQUESTS:

- 5.7.6 CONTENTS OF DEFINITIVE SUBDIVISION PLAN SET TO EXCLUDE THE LOCATIONS OF EXISTING TREES WITH A DIAMETER OF ONE FOOT (1") OR GREATER AT TWENTY-FOUR INCHES (24") ABOVE GRADE, EXCEPT HARDWOOD TREES OF TWENTY FOUR INCHES (24") OR GREATER DIAMETER AT FOUR FEET (4') ABOVE GRADE WITHIN THE AREA OF CONSTRUCTION.
- 7.7.2.p STORMWATER MANAGEMENT: TO REDUCE THE SETBACK LIMIT OF STORMWATER BASINS FROM THIRTY FEET (30') TO TWENTY FEET (20').
- 7.10.2 CURBS AND BERMS: TO USE MONOLITHIC CAPE COD BERM INSTEAD OF VERTICAL GRANITE CURB EXCEPT AT THE CUL-DE-SAC PLANTING ISLAND AND AT THE MAIN STREET CORNER ROUNDINGS.

PAYMENTS TO BE MADE:

- 7.13.3 SIDEWALKS
A PAYMENT WILL BE MADE TO THE TOWN OF MEDWAY IN LIEU OF SIDEWALK CONSTRUCTION ALONG EXISTING TOWN WAYS.



LOCUS
SCALE: 1" = 80'

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: 1"=80'



PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	DJM
REVISIONS PER TOWN COMMENTS	8/24/2017	DJM

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
COVER SHEET
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2017.09.06
15:47:17 -04'00'

MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 1 OF 12

GENERAL NOTES:

- SURVEY & PLAN REFERENCES:
 - PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
 - REGISTRY REFERENCES:
 - PLAN REFERENCES:
PLAN BOOK 599, NO. 13
 - DEED REFERENCES:
BOOK 9237, PAGE 439
 - DATUM: NAVD88
 - A.N.R. PLAN DATED MAY 4, 2017 BY COLONIAL ENGINEERING, INC.
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SUBDIVISION SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.
- THE DEVELOPER SHALL RETAIN FEE INTEREST IN THE ROADWAY RIGHT-OF-WAY AND WILL GRANT TO THE TOWN THE FEE IN SUCH ROADWAY RIGHT-OF-WAY AND DRAINAGE EASEMENTS.
- THE NAME OF THE PROPOSED ROADWAY, REVERE ROAD, IS SUBJECT TO TOWN APPROVAL.
- PARCEL D SHALL BE CONVEYED TO THE TOWN OF MEDWAY AT THE TIME OF STREET ACCEPTANCE.

CONSERVATION NOTES:

- WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON AND HAVE NOT BEEN APPROVED BY THE CONSERVATION COMMISSION AS OF THE DATE OF THIS PLAN.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE DEVELOPER SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWN OF MEDWAY, IF REQUIRED.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS IN ACCORDANCE WITH TOWN STANDARDS.
- UNLESS OTHERWISE WAIVED IN THE DEFINITIVE SUBDIVISION APPROVAL, ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
- GRANITE THROAT STONES SHALL BE INSTALLED WITH ALL CATCH BASINS AGAINST A ROADWAY CUTTER/CURB LINE.
- GRANITE TRANSITION STONES SHALL BE PROVIDED BETWEEN ALL VERTICAL GRANITE (INCLUDING THROAT STONES) AND SLOPED BERM.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

CONSTRUCTION SEQUENCE AND SCHEDULE:

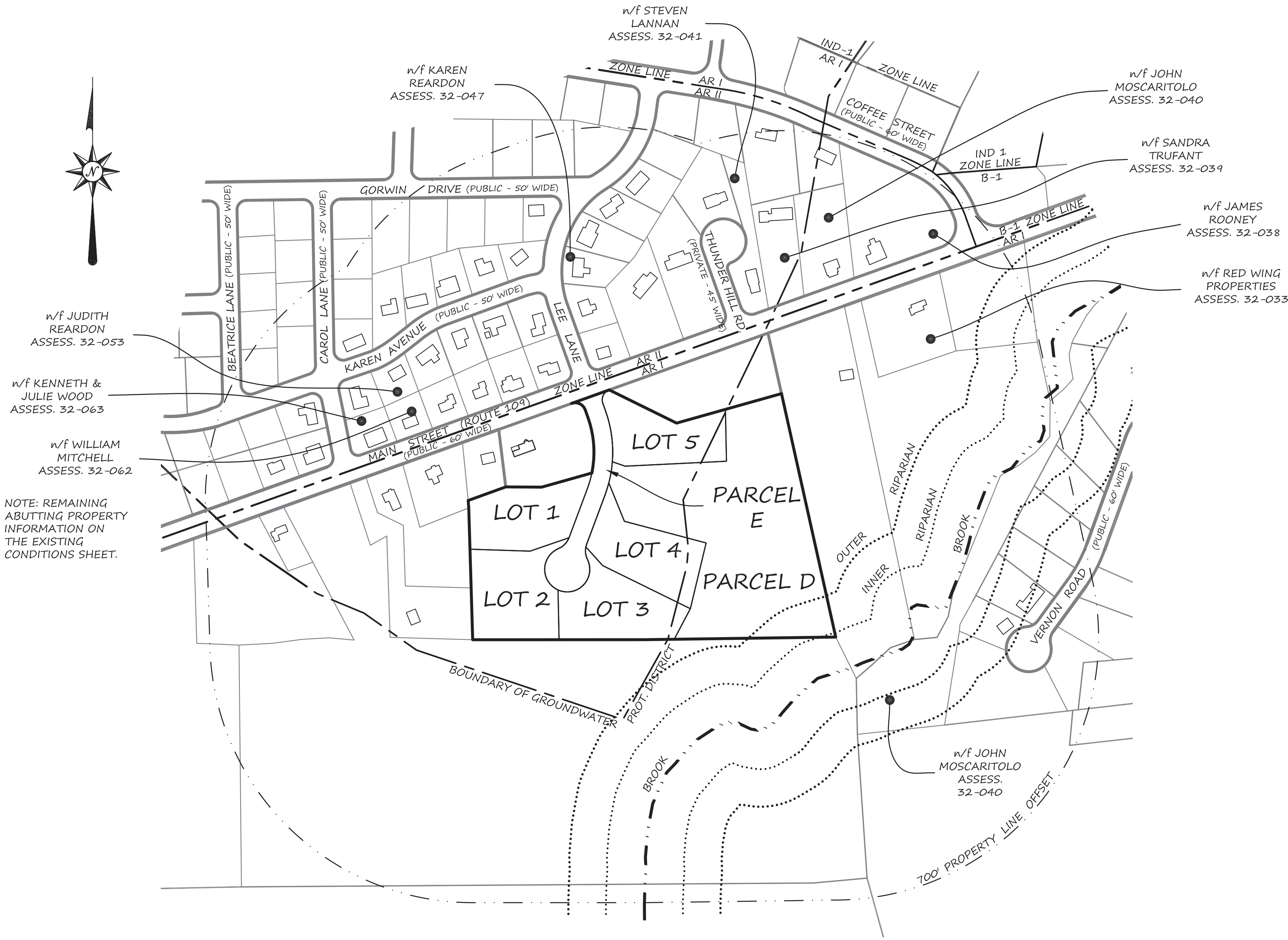
- DEPENDING ON FINANCING AND OTHER MARKET CONDITION ISSUES, CONSTRUCTION IS EXPECTED TO COMMENCE IN THE FALL OF 2017 WITH ROADWAY CONSTRUCTION COMPLETED TO BINDER COURSE BY THE SPRING OF 2018. HOUSE CONSTRUCTION IS EXPECTED TO OCCUR FROM THE SPRING OF 2018 THROUGH THE SPRING OF 2020, WITH FINAL ROADWAY CONSTRUCTION OCCURRING IN 2020-2021.
- REFER TO THE NPDES SWPPP FOR A MORE DETAILED CONSTRUCTION SEQUENCE, WHICH IS GENERALLY AS FOLLOWS:
 - INSTALLATION OF EROSION CONTROLS
 - FLAGGING OF TREES FOR REMOVAL
 - TREE CLEARING AND GRUBBING
 - TOPSOIL STRIP AND STOCKPILE
 - CUTS AND FILLS TO SUBGRADE
 - INSTALLATION OF STORMWATER SYSTEM AND INFILTRATION BASIN
 - INSTALLATION OF ROADWAY UTILITIES
 - SUBGRADE AND INSTALL ROADWAY AND SIDEWALK GRAVEL
 - INSTALL BINDER COURSE PAVEMENT, LOAM AND SEED SHOULDERS
 - COMMENCE HOUSE CONSTRUCTION
 - INSTALL TOP COURSE PAVEMENT

UTILITY NOTES:

- ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
- WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE.
- UNLESS OTHERWISE NOTED, DRAIN PIPING WITHIN THE RIGHT-OF-WAY SHALL BE CLASS IV REINFORCED CONCRETE PIPE (RCP) WITH O-RING SEAL JOINTS.
- SEWER MAIN TO BE SDR35.
- ALL WATER MAIN AND SERVICE COMPONENTS TO BE IN ACCORDANCE WITH THE TYPICAL REQUIREMENTS OF THE MEDWAY DPW.

LOG OF STREET ROADWAY WIDTHS:

- LEE LANE - 22'
- KAREN AVENUE - 24'
- CAROL LANE - 26'
- GORWIN DRIVE - 26'
- BEATRICE LANE - 26'
- COFFEE STREET - 24'
- THUNDER HILL ROAD - 20'
- MAIN STREET - 30'
- VERNON ROAD - 22'



LOCUS PLAN
SCALE: 1" = 200'

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC xxx: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR, DR: TRENCH DRAIN
- INFL, TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- OC/D: SEWER SERVICE CLEANNOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P: EDGE OF PAVEMENT
- C.C.B: INTEGRAL SLOPED BIT. BERM
- V.B.B: VERTICAL BITUMINOUS BERM
- S.G.C: SLOPED GRANITE CURB
- V.G.C: VERTICAL GRANITE CURB
- V.C.C: VERTICAL CONCRETE CURB
- E.C.S: EDGE CONCRETE SLAB
- G.V: GATE VALVE
- C.L.F: CHAIN LINK FENCE
- W.S.F: WOOD STOCKADE FENCE
- P.P.F: PVC PICKET FENCE
- G.R: GUARD RAIL
- C.C: HANDICAP CURB CUT

DRAWING INDEX:

- SHEET 1 - COVER SHEET
- SHEET 2 - NOTES, LOCUS, LEGEND
- SHEET 3 - O&M PLAN
- SHEET 4 - EXISTING CONDITIONS PLAN
- SHEET 5 - LAYOUT PLAN
- SHEET 6 - GRADING PLAN
- SHEET 7 - ROAD PLAN & PROFILE
- SHEET 8 - STORMWATER BASIN
- SHEET 9 - DETAILS
- SHEET 10 - DETAILS
- SHEET 11 - DETAIL
- SHEET 12 - DETAIL

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

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PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41A, SECTION 81U, BY DECISION DATED 8/10/2017, AND FILED WITH TOWN CLERK ON 8/10/2017, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/10/2017 TO BE RECORDED HEREWITH.

DATE APPROVED: 8/10/2017

DATE ENDORSED: 8/10/2017

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 15:48:24 -0400

MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 2 OF 12

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
NOTES, LOCUS, LEGEND
PLAN OF LAND IN
MEDWAY, MA

PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PLAN SCALE: 1" = 200'



FOR REGISTRY USE

OPERATION AND MAINTENANCE PLAN

THIS OPERATIONS AND MAINTENANCE PLAN (HEREINAFTER REFERRED TO "O&M PLAN") IS PROVIDED TO ENSURE THE LONG-TERM MONITORING AND MAINTENANCE OF VARIOUS COMPONENTS OF THE PAUL REVERE ESTATES INFRASTRUCTURE. THIS O&M PLAN INCLUDES THE FOLLOWING PROVISIONS:

1.STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

2.MISCELLANEOUS PROVISIONS

3.ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

THE "DEVELOPMENT" AND THE VARIOUS COMPONENTS WHICH ARE REFERENCED IN THIS O&M PLAN ARE DESCRIBED ON THE SITE PLAN REFERENCED BELOW.

REFERENCES

THIS O&M PLAN REFERENCES OTHER DOCUMENTS AS FOLLOWS:

SITE PLAN – PLANS ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN" WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED), AND PREPARED BY MERRIKIN ENGINEERING, LLP, HEREINAFTER REFERRED TO AS THE "SITE PLAN".

STORMWATER REPORT – REPORT ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN, 39 MAIN ST. MEDWAY, MA 02053" PREPARED BY MERRIKIN ENGINEERING, LLP WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED).

SITE DESCRIPTION

THE SITE CONSISTS OF FIVE PROPOSED RESIDENTIAL BUILDINGS LOCATED ON 11.31 ACRES OF LAND ON MAIN STREET IN MEDWAY AND INCLUDES ALL APPURTENANT UTILITY SYSTEMS, LANDSCAPE AREAS, AND STORMWATER MANAGEMENT SYSTEMS. THOSE LAND AREAS ARE COLLECTIVELY REFERRED TO HEREIN AS THE "DEVELOPMENT."

SITE USAGE AND ACTIVITIES

SINGLE FAMILY RESIDENTIAL BUILDINGS AND ASSOCIATED APPURTENANCES.

PART 1: STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMP'S FOR PAUL REVERE ESTATES, THE FOLLOWING OPERATION AND MAINTENANCE REQUIREMENTS APPLY TO ALL STORMWATER FACILITIES WITHIN THE EXTENTS OF THE DEVELOPMENT. THE STORMWATER FACILITIES ARE DEPICTED ON THE SITE PLAN AND ARE HEREINAFTER REFERRED TO AS THE "STORMWATER FACILITIES."

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OPERATOR OR ITS DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL OPERATIONS AND MAINTENANCE (O&M) RESPONSIBILITIES.

EASEMENT AREAS

THE DEVELOPMENT CONTAINS A STORMWATER EASEMENT ON LOTS 4 AND 5, AND AN OFF-SITE EASEMENT ON LOT B. THESE WILL BE CONVEYED TO THE TOWN OF MEDWAY.

COMMENCEMENT OF OPERATIONS AND MAINTENANCE RESPONSIBILITIES

OPERATIONS AND MAINTENANCE TASKS SHALL BE COMMENCED ONCE EACH RESPECTIVE STORMWATER FACILITY IS FULLY CONSTRUCTED AND IS RECEIVING RUNOFF FROM THE DEVELOPMENT.

OPERATIONS AND MAINTENANCE TASKS

DEEP SUMP CATCH BASINS:

1. DEEP SUMP CATCH BASINS SHALL BE INSPECTED DAILY DURING CONSTRUCTION ACTIVITIES AND ALL SEDIMENTS AND DEBRIS SHALL BE REMOVED FOUR TIMES PER YEAR UNLESS THE OWNER CAN DETERMINE THROUGH RECORDED OBSERVATIONS THAT SEDIMENT ACCUMULATION DOES NOT WARRANT SUCH FREQUENT CLEANINGS. IF DEEP SUMP CATCH BASIN CLEANING OCCURS LESS THAN FOUR TIMES PER YEAR, CLEANING SHALL OCCUR WHEN TWO FEET OF SEDIMENTS HAVE ACCUMULATED IN THE SUMP AND AT LEAST ONCE PER YEAR.
2. SILT SACKS SHALL BE INSTALLED ON ALL CATCH BASINS THROUGHOUT THE TIME OF CONSTRUCTION.
3. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

SEDIMENT FOREBAYS:

1. SEDIMENT FOREBAYS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. SEDIMENT FOREBAYS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
3. SEDIMENT SHOULD BE REMOVED WHEN 3-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.
4. REMOVE WOODY VEGETATION, LEAVES, AND OTHER MATERIALS THAT WOULD AFFECT THE LIFE OF THE SYSTEM OR ITS OPERATIONS.

STORMWATER INFILTRATION BASIN:

1. STORMWATER BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-RAP APRONS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BMPs ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
4. INSPECTIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING PER THE SITE PLAN DESIGN SPECIFICATIONS.
5. INSPECTIONS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED, STRUCTURALLY SOUND AND NOT ERODED. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
6. STORMWATER BASINS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS. IF WETLAND VEGETATION GROWS AT THE BOTTOM OF THE STORMWATER BASIN, IT SHALL ONLY BE MOWED ONCE PER YEAR AT THE BEGINNING OF THE WINTER SEASON.
7. SEDIMENT SHOULD BE REMOVED AT LEAST ONCE EVERY 5 YEARS OR WHEN 2-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE BASIN AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. TWO SEDIMENTATION MARKERS SHALL BE INSTALLED IN THE BASIN BY A REGISTERED LAND SURVEYORS WITH A CLEAR MARKING OF THE 2-INCH ACCUMULATION LINE. IT IS RECOMMENDED THAT STONE BOUNDS BE INSTALLED WITH CHISELED MARKS INDICATING THE LIMIT OF ACCUMULATION, ALTHOUGH OTHER SIMILARLY PERMANENT MARKING METHODS MAY BE UTILIZED.

STORMWATER PIPES, INLETS AND OUTFALLS:

1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR.
2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

THE VARIOUS OPERATIONS AND MAINTENANCE SCHEDULE REQUIREMENTS LISTED ABOVE MAY BE REDUCED IN FREQUENCY BY APPROVAL FROM THE TOWN. SHOULD SUCH PERMISSION BE DESIRED, THE OPERATOR SHALL PROVIDE DOCUMENTATION OF ACTUAL ON-SITE MAINTENANCE OBSERVATIONS BY A QUALIFIED SOURCE (ENGINEER OR OTHER QUALIFIED PERSON MEETING THE APPROVAL OF THE TOWN) DEMONSTRATING THAT THE PARTICULAR STORMWATER BMP IN QUESTION DOES NOT WARRANT THE SPECIFIED FREQUENCY OF INSPECTION OR MAINTENANCE ACTIVITIES.

ROOF RUNOFF INFILTRATION SYSTEMS:

ROOF RUNOFF INFILTRATION SYSTEMS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES BY EACH LOT OWNER. ANY SELLER WITHIN THE SUBDIVISION SHALL PROVIDE THE NEW OWNER WITH A BRIEF WRITTEN DESCRIPTION OF THE SYSTEM AND THE MAINTENANCE REQUIREMENTS OF THIS SECTION. GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE LOT OWNER SHALL INSPECT THE ROOF RUNOFF LEACHING SYSTEM ONCE PER CALENDAR YEAR SHORTLY AFTER A SMALL RAINSTORM EVENT TO ENSURE THAT WATER ACCUMULATION WITHIN THE ROOF RUNOFF LEACHING SYSTEM IS NOT EXCESSIVE. IT SHOULD BE NOTED THAT THESE SYSTEMS ARE GENERALLY DESIGNED TO OVERFLOW DURING STORM EVENTS LARGER THAN APPROXIMATELY 1.5-INCHES OF RAINFALL. DURING SMALL STORM EVENTS, THERE SHOULD BE NO OVERFLOW. OVERFLOW DURING SMALL STORM EVENTS IS LIKELY AN INDICATION OF A FAILED SYSTEM DUE TO CLOGGING OF THE SOILS AROUND THE SYSTEM OR MAY BE INDICATIVE OF A BLOCKED PIPE. IF THIS HAPPENS, THE LOT OWNER SHALL REPLACE THE SYSTEM IN ACCORDANCE WITH THE ORIGINAL DESIGN OR EFFECT AN APPROPRIATE REPAIR, IF IT IS DETERMINED THAT THIS REPAIR WILL ALLEVIATE THE PROBLEM.

REPORTING REQUIREMENTS

THE FOLLOWING DOCUMENTATION SHALL BE SUBMITTED NO LATER THAN DECEMBER 31ST OF EACH CALENDAR YEAR TO THE TOWN:

1. A STATEMENT, SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE OPERATOR INDICATING THAT THE REQUIREMENTS OF THIS O&M PLAN WERE PERFORMED DURING THE PREVIOUS CALENDAR YEAR. WHERE REQUIREMENTS WERE NOT MET, A SCHEDULE FOR THEIR COMPLETION SHALL BE PROVIDED AND A FOLLOW-UP STATEMENT SUBMITTED WHEN COMPLETE.
2. A LIST OF THE MAINTENANCE ACTIVITIES PERFORMED ALONG WITH THE APPROXIMATE DATE OF THE WORK.
3. A LIST OF THE INSPECTIONS PERFORMED ALONG WITH A STATEMENT BY EACH INSPECTOR SUMMARIZING THE RESULTS OF THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THIS O&M PLAN.
4. COPIES OF APPURTENANT DOCUMENTATION SUPPORTING THE COMPLETION OF THE O&M RESPONSIBILITIES SUCH AS COPIES OF CONTRACTS AND/OR RECEIPTS WITH PARTIES ENGAGED TO PERFORM MAINTENANCE AND INSPECTION SERVICES.

5. A NOTATION REGARDING WHETHER THERE HAS BEEN ANY CHANGE IN THE NAME AND OR CONTACT INFORMATION FOR THE OPERATOR.

PUBLIC SAFETY FEATURES

THE STORMWATER SYSTEM HAS BEEN DESIGNED TO SAFELY COLLECT SURFACE RUNOFF FROM DEVELOPED AREAS (AS DESCRIBED ON THE SITE PLAN AND STORMWATER REPORT) BY PROVIDING COLLECTIONS SYSTEMS AT REGULAR INTERVALS TO PREVENT SURFACE FLOODING AND TO TREAT THAT RUNOFF IN ACCORDANCE WITH THE PROVISIONS OF THE MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS AND HANDBOOK.

PART 2: MISCELLANEOUS PROVISIONS

GOOD HOUSEKEEPING CONTROLS

- THE FOLLOWING GOOD HOUSEKEEPING MEASURES WILL BE IMPLEMENTED IN THE DAY-TO-DAY OPERATION OF THE DEVELOPMENT:
1. THE SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY MANNER.
2. FERTILIZERS AND PESTICIDE APPLICATION ON THE LOTS SHALL BE IN ACCORDANCE WITH THIS PLAN.
3. ALL WASTE MATERIALS FROM THE DEVELOPMENT WILL BE COLLECTED IN DUMPSTERS AND REMOVED FROM THE SITE BY PROPERLY LICENSED DISPOSAL COMPANIES.

MANAGEMENT OF DEICING CHEMICALS AND SNOW

- MANAGEMENT OF ON-SITE SNOW WILL BE AS FOLLOWS:
1. THE SITE SHALL BE PLOWED AS NEEDED TO MAINTAIN SAFE DRIVING CONDITIONS. SNOW WILL BE STORED IN WINDROWS ALONG PAVEMENT EDGES AND SHALL BE PILED IN LANDSCAPE STRIPS AS NEEDED.
2. SNOW WILL NOT BE PLOWED INTO PILES WHICH BLOCK OR OBSTRUCT STORMWATER MANAGEMENT FACILITIES.
3. SNOW WILL NOT BE PLOWED INTO PILES AT ROADWAY INTERSECTIONS SUCH THAT IT WOULD OBSTRUCT VISIBILITY FOR ENTERING OR EXITING VEHICLES.
4. DEICING CHEMICALS APPLICATION WILL BE AS LITTLE AS POSSIBLE WHILE PROVIDE A SAFE ENVIRONMENT FOR VEHICULAR OPERATION AND FUNCTION.

OPERATOR TRAINING

THE OPERATOR IS RESPONSIBLE FOR PROVIDING TRAINING FOR THE STAFF THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS O&M PLAN. SUCH TRAINING SHALL OCCUR AT LEAST ONCE ANNUALLY.

ILLICIT DISCHARGES

THE OPERATOR SHALL NOT ALLOW NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM. ANY DISCOVERED NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM SHALL BE IMMEDIATELY DISCONNECTED.

ESTIMATED OPERATIONS AND MAINTENANCE BUDGET

IT IS ESTIMATED THAT THE REGULAR ANNUAL MAINTENANCE TASKS DESCRIBED HEREIN WILL COST \$2,000 PER YEAR (2017 VALUE).

PART 3: ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

IN THE EVENT OF AN ACCIDENT WITHIN THE BOUNDARIES OF THE SITE, WHERE SIGNIFICANT GASOLINE OR OTHER PETROLEUM PRODUCTS OR OTHER HAZARDOUS MATERIALS ARE RELEASED, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED IN THE ORDER NOTED:

1. AS QUICKLY AS POSSIBLE, ATTEMPT TO BLOCK THE NEAREST STORMWATER CATCH BASINS IF ON A ROADWAY, OR IF IN PROXIMITY TO WETLANDS, CREATE A BERM OF SOIL DOWNSLOPE OF THE SPILL.
2. IMMEDIATELY, AND WHILE THE CONTAINMENT MEASURES ARE IMPLEMENTED AS DESCRIBED ABOVE, NOTIFY THE FOLLOWING GOVERNMENTAL ENTITIES AND INFORM THEM OF THE TYPE OF SPILL THAT OCCURRED:
- o MEDWAY FIRE DEPARTMENT AT 911,
 - o MEDWAY BOARD OF HEALTH AT 508-533-3206,
 - o MEDWAY CONSERVATION COMMISSION AT 508-533-3292,
 - o MASS. DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CENTRAL REGION AT (508) 792-7650 (ADDRESS IS 20 RIVERSIDE DRIVE, LAKEVILLE, MA 02347),
 - o NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 (FOR SPILLS THAT REQUIRE SUCH NOTIFICATION PURSUANT TO 40 CFR PART 110, 40 CFR PART 117, AND 40 CR PART 302).
3. ONCE THE VARIOUS EMERGENCY RESPONSE TEAMS HAVE ARRIVED AT THE SITE AND IF THE SPILL OCCURS ON A LOT, THE OWNER SHALL FOLLOW THE INSTRUCTIONS OF THE VARIOUS GOVERNMENTAL ENTITIES, WHICH MAY INCLUDE THE FOLLOWING:
- A CLEAN UP FIRM MAY NEED TO BE IMMEDIATELY CONTACTED.
 - IF THE HAZARDOUS MATERIALS HAVE ENTERED THE STORMWATER SYSTEM, PORTIONS OF IT MAY NEED TO BE CLEANED AND RESTORED PER THE DEP. ALL SUCH ACTIVITIES SHALL BE AS SPECIFIED BY THE DEP.

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41A, SECTION 81U, BY DECISION DATED 8/10/2017, AND FILED WITH TOWN CLERK ON 8/24/2017, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/24/2017 TO BE RECORDED HEREWITH.

DATE APPROVED:

DATE ENDORSED:

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

FOR REGISTRY USE

PLAN SCALE: N.T.S.

PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
O&M
PLAN OF LAND IN
MEDWAY, MA

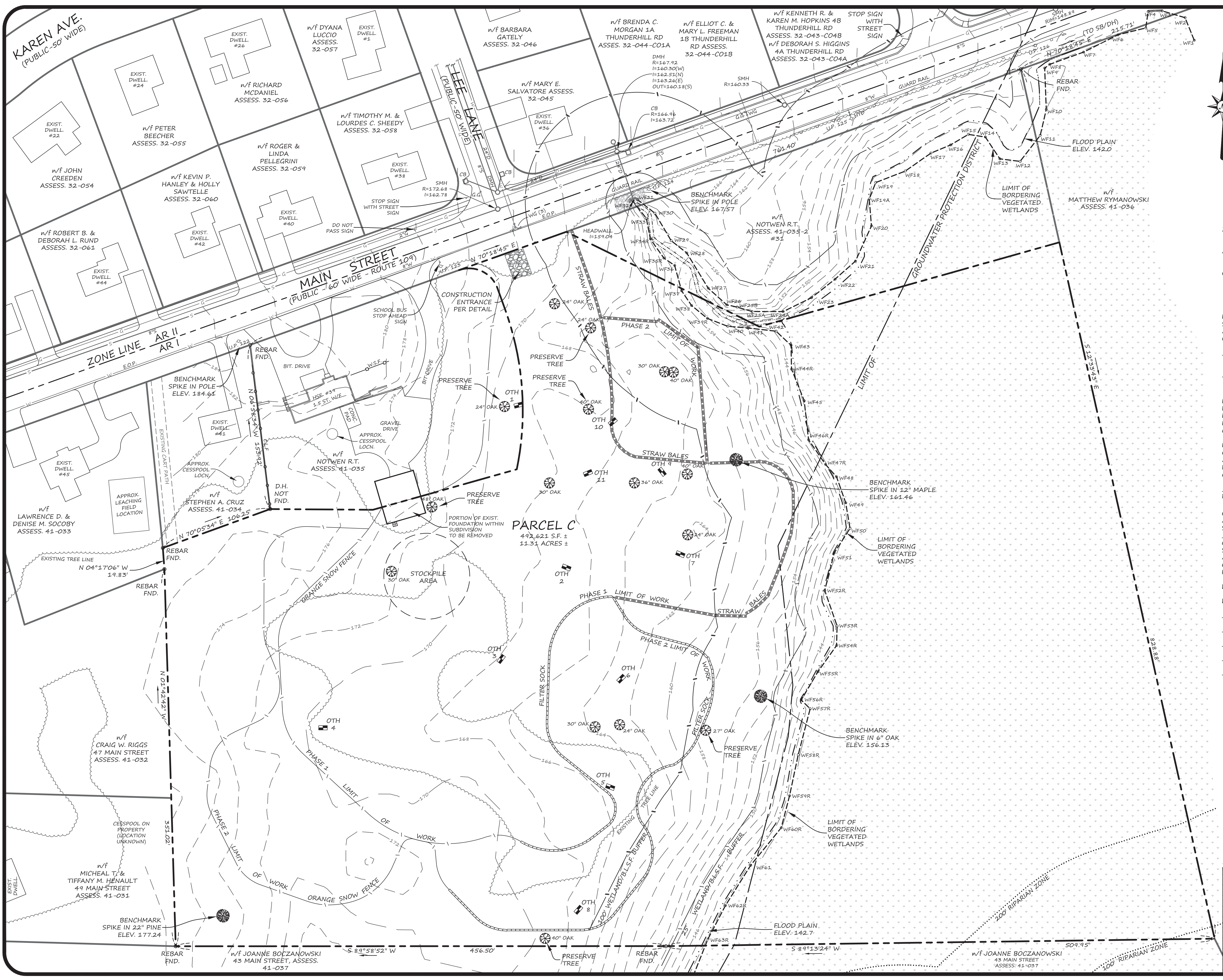


Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 15:50:20 -04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01 SHEET 3 OF 12



ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
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RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
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PROFESSIONAL LAND SURVEYOR

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ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
_____, AND FILED WITH TOWN
CLERK ON _____, AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PHASING NOTES:

PHASE 1 CONSTRUCTION CONSISTS
OF THE CONSTRUCTION OF THE
PROPOSED ROADWAY,
STORMWATER FACILITIES, AND ALL
APPURTENANT INFRASTRUCTURE
WORK.

PHASE 2 CONSTRUCTION CONSISTS
OF THE CONSTRUCTION OF THE
RESIDENTIAL DWELLINGS AND ALL
APPURTENANT WORK.



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.09.06 15:51:47
-0400



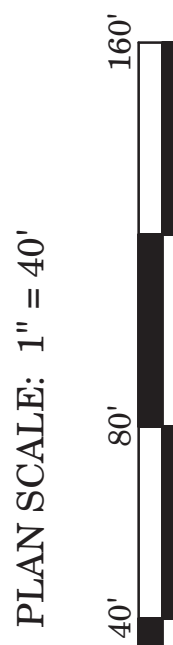
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

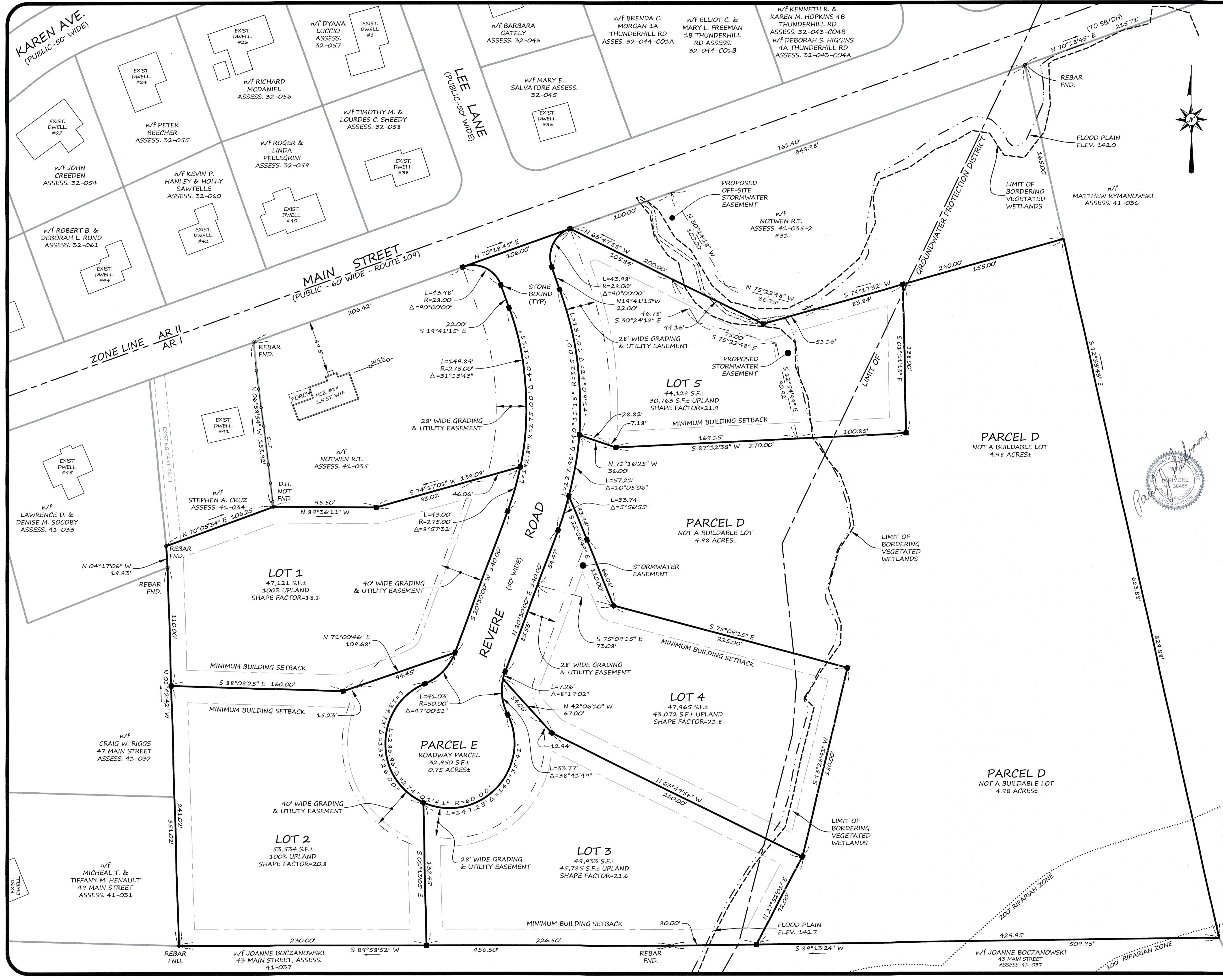
D104-01 SHEET 4 OF 12

FOR REGISTRY USE

PLAN DATE: JUNE 9, 2017	
REVISION	DATE
CHANGES PER BOARD CONSULTANTS	8/8/2017
REVISIONS PER TOWN COMMENTS	8/24/2017

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
EXISTING COND. &
EROSION PLAN OF LAND
IN MEDWAY, MA





ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 30 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK _____

DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN
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REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
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AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

Paul J. Berman
PROFESSIONAL LAND SURVEYOR

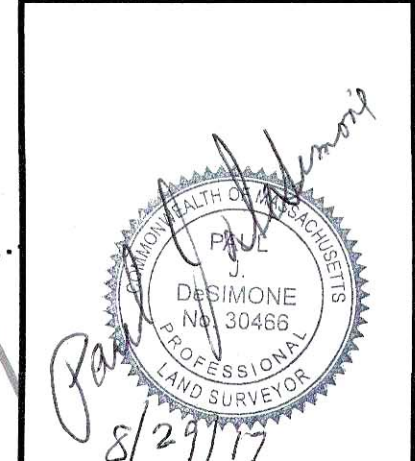
CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
_____, AND FILED WITH TOWN
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SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
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DATE APPROVED: _____

DATE ENDORSED: _____

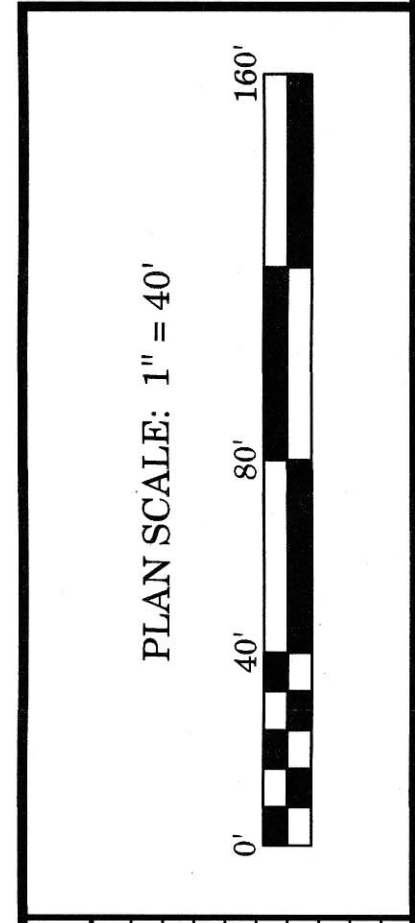
TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

- LAYOUT NOTES:
1. THE OWNER OF 39 MAIN ST. MAY
INSTALL DRIVEWAY TO NEW ROAD ON
CONDITION THAT ALL EXISTING CURB
CUTS ON MAIN ST. BE ELIMINATED.
 2. THE OWNER OF LOT 3 IS TO
MAINTAIN THE ISLAND ON REVERE
ROAD IN PERPETUITY (INCLUDE IN
DEED).
 3. THE DEED FOR EACH LOT SHALL
REFER TO THE SELECTIVE CUT ZONES
ON THE SUBDIVISION PLAN. HEALTHY
EXISTING TREES LARGER THAN
4-INCHES D.B.H. MAY NOT BE CUT.



**MERRIKIN
ENGINEERING, LLP**

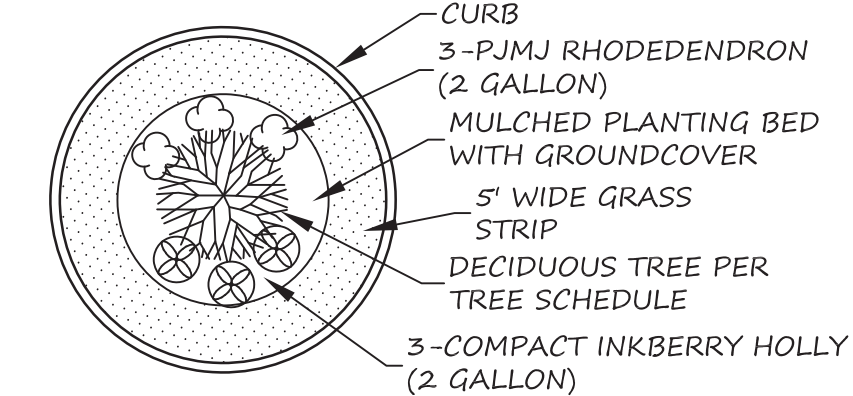
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823



REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
LAYOUT
PLAN OF LAND IN
MEDWAY, MA

1. TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS.
2. ALTERNATE TREE SPECIES MAY BE SUBSTITUTED IF APPROVED BY THE TREE WARDEN.



FOR REGISTRY USE

LOT	INV. @ MAIN	LENGTH	INV. @ LOT
LOT 1	164.50	35'	165.20
LOT 2	164.90	90'	166.70
LOT 3	164.90	70'	166.30
LOT 4	164.46	38'	165.22
LOT 5	163.54	39'	164.32
HSE 39	163.40	30'	164.00

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
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TOWN CLERK

DATE _____

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COMMONWEALTH OF MASSACHUSETTS.

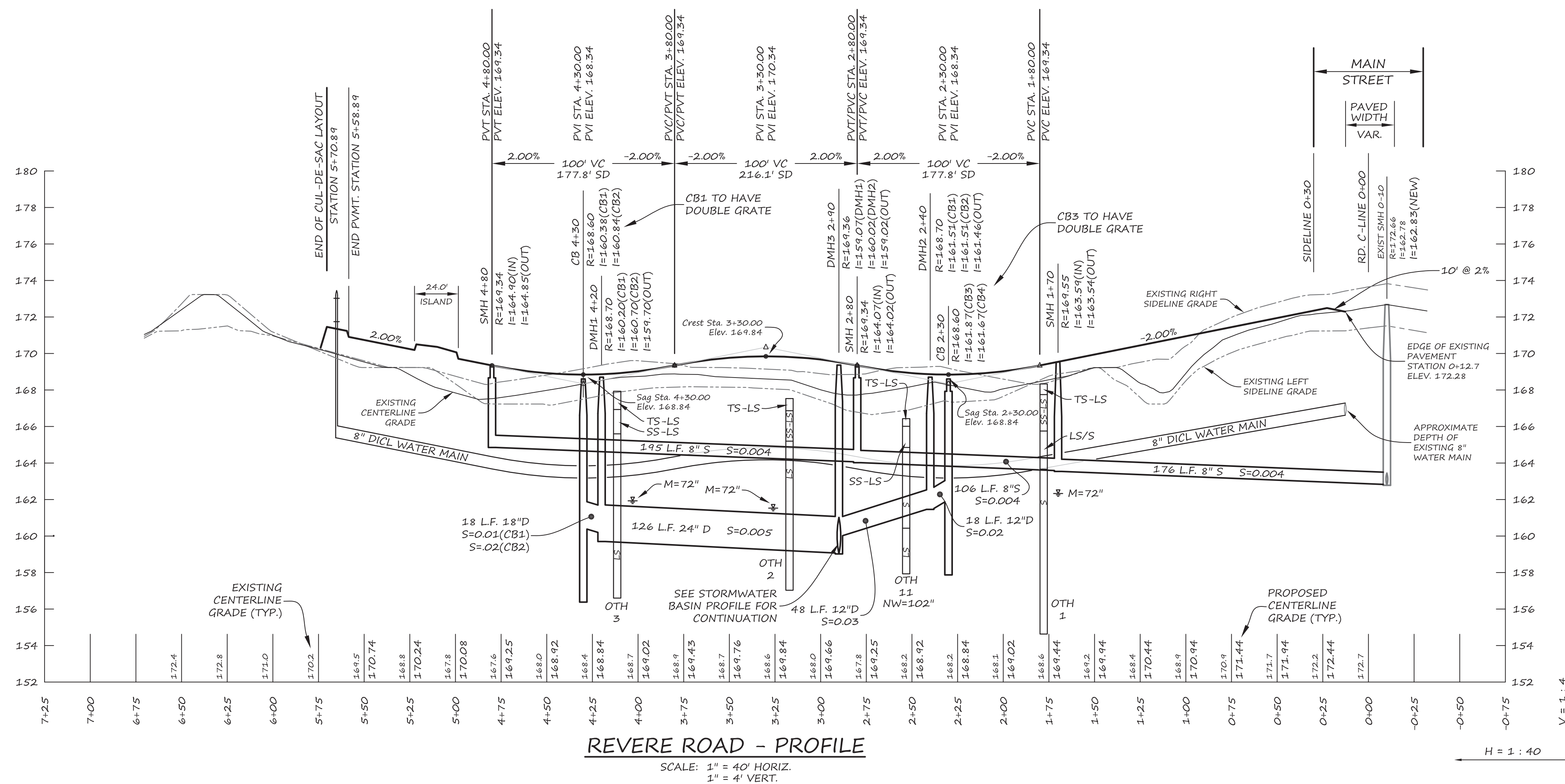
I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
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COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

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CLERK ON _____, AND
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DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

ABBREV.

M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



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J. Merrikin, P.E.
Date: 2017.09.06 15:58:53
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730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

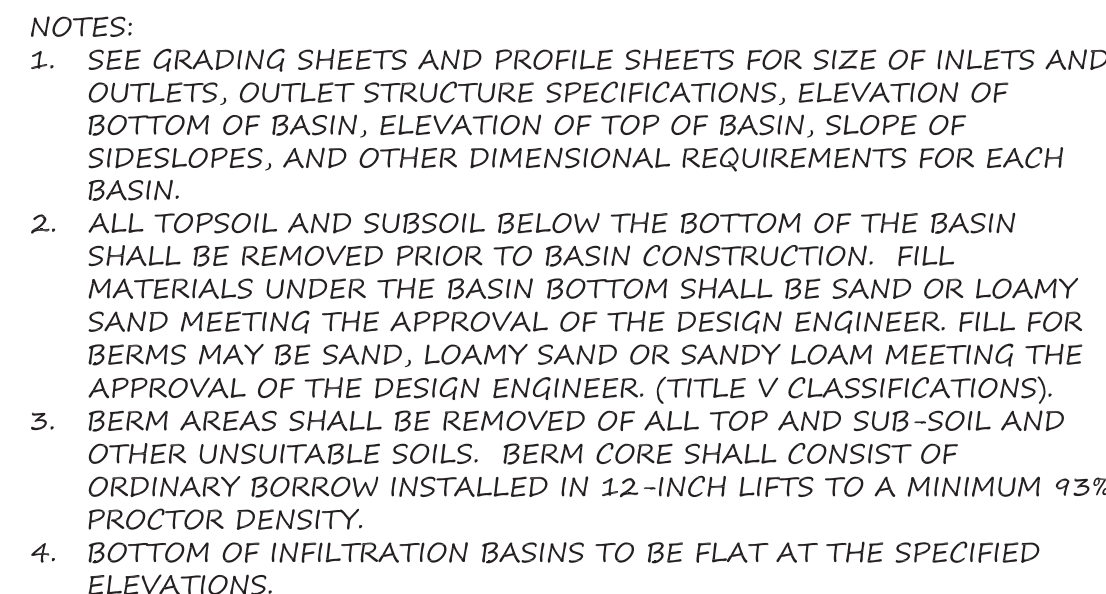
D104-01	SHEET 7 OF 12
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PLAN SCALE: AS NOTED

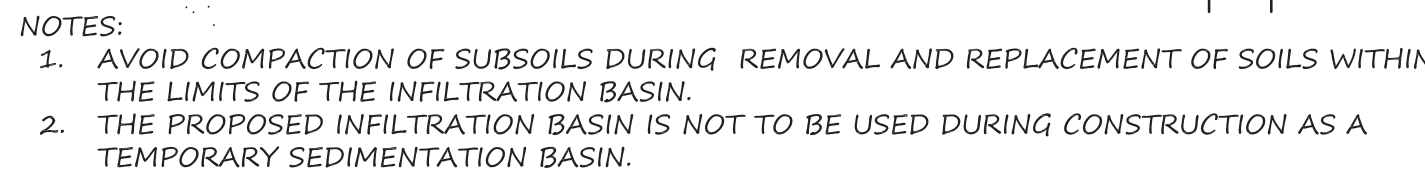
PLAN DATE: JUNE 9, 2017	DESIGN
REVISION	DATE

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
ROAD PLAN & PROFILE
PLAN OF LAND IN
MEDWAY, MA

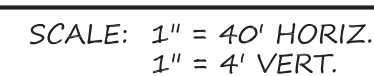
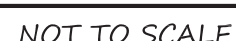
D104-01	SHEET 7 OF 12
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NOT TO SCALE



NOT TO SCALE

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: AS NOTED

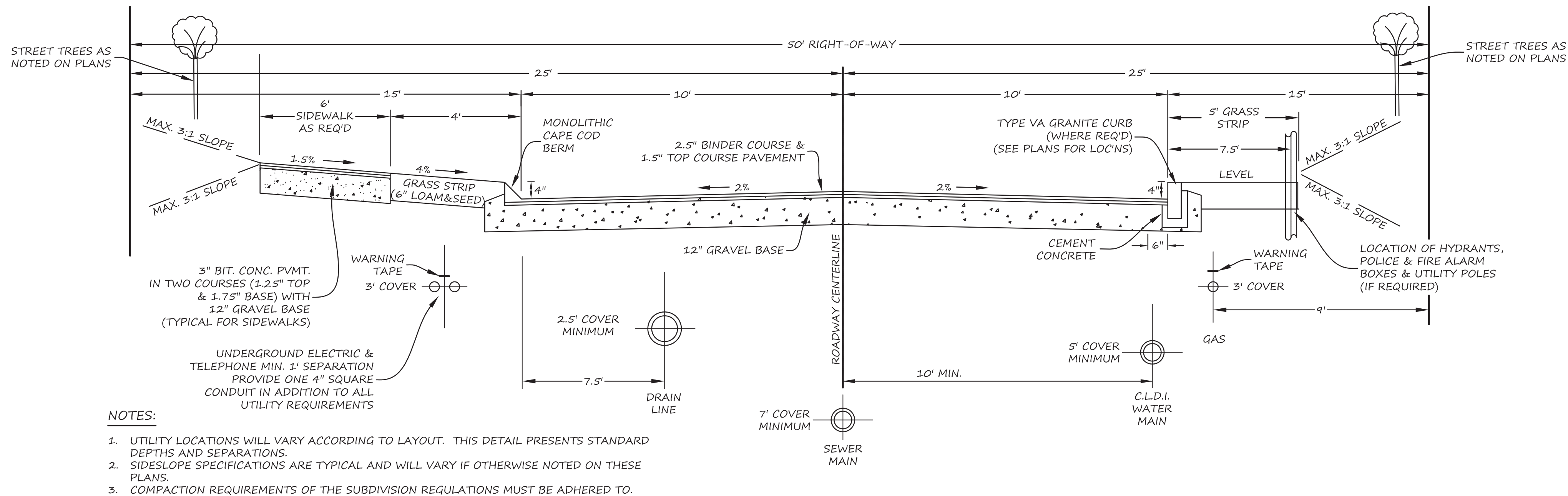
PLAN DATE: JUNE 9, 2017

PAUL REVERE ESTATES
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STORMWATER BASIN
PLAN OF LAND IN
MEDWAY, MA

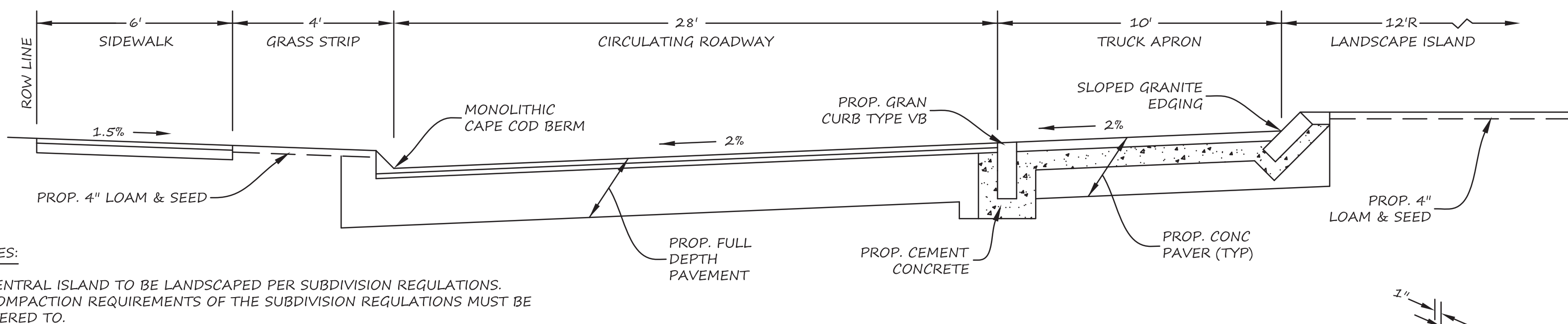


D104-01

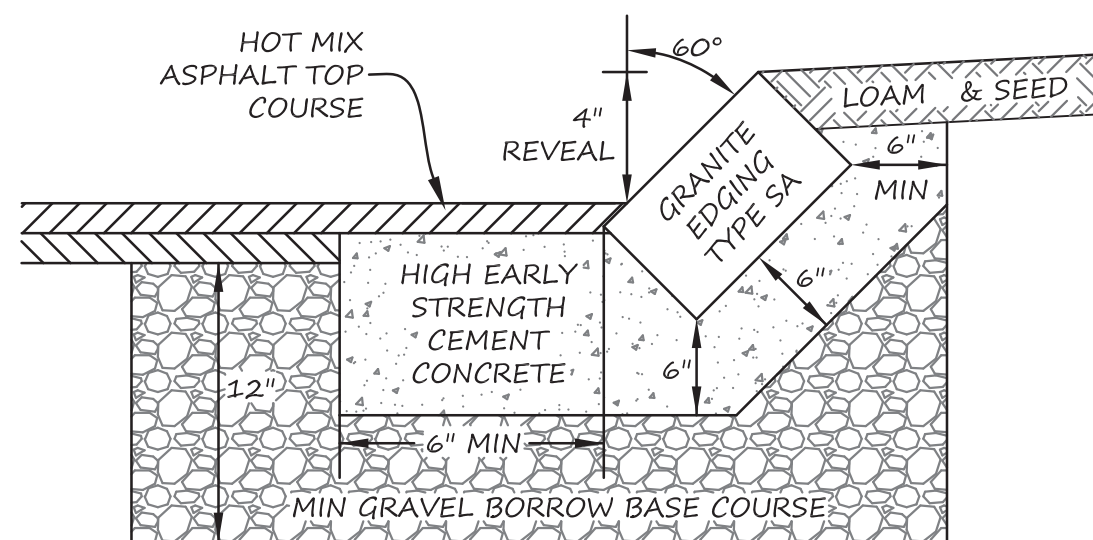
SHEET 8 OF 12



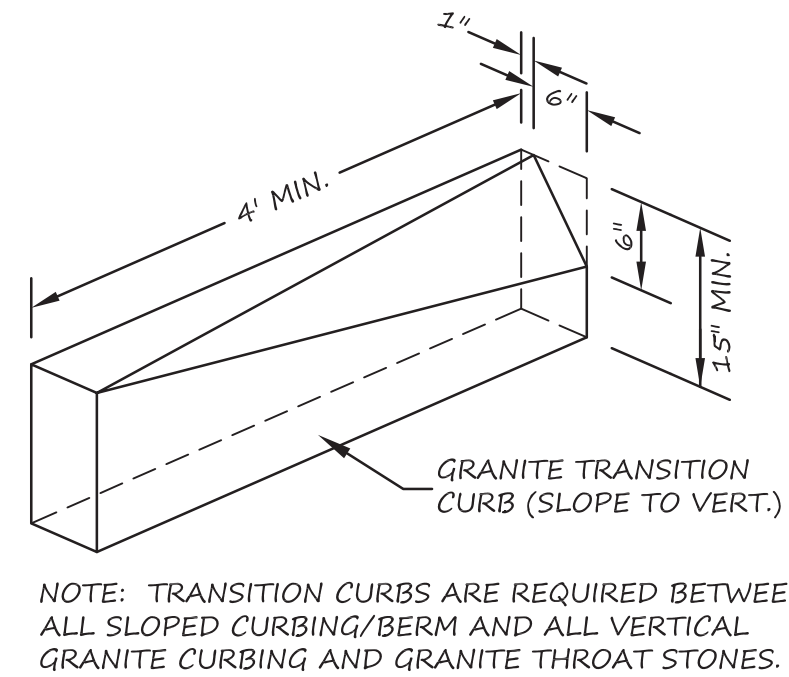
TYPICAL ROADWAY CROSS SECTION
(NOT TO SCALE)



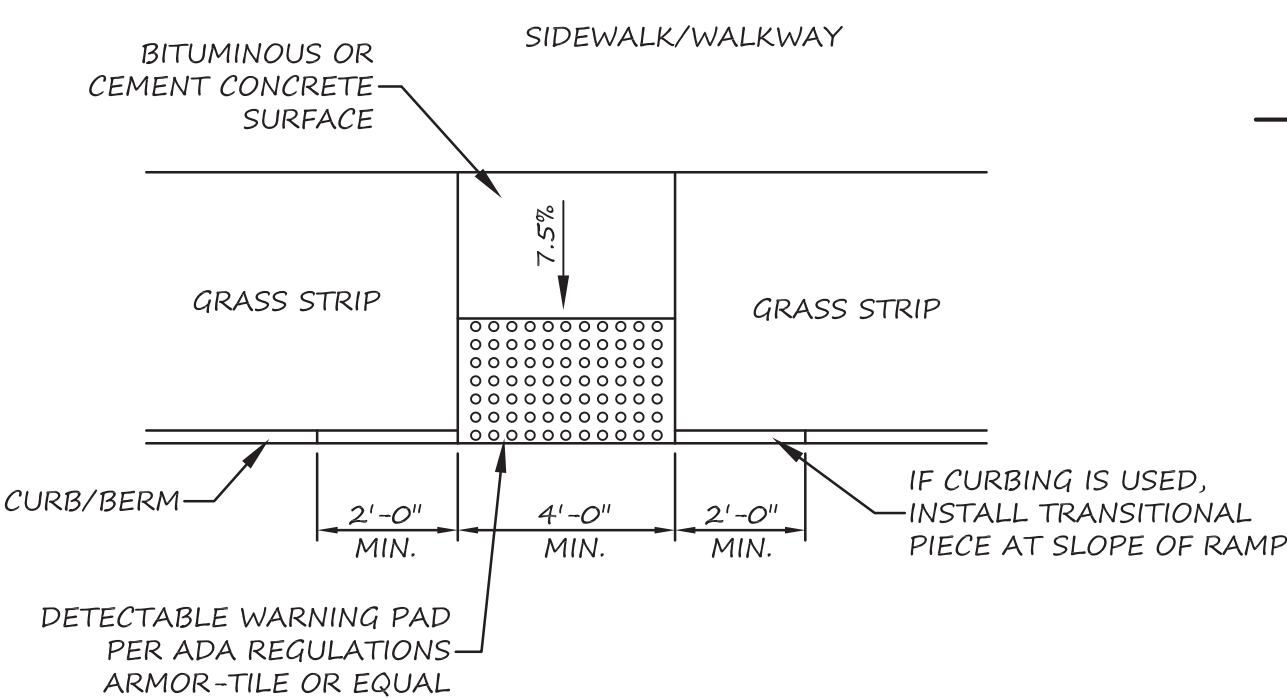
TYPICAL CUL-DE-SAC CROSS SECTION
(NOT TO SCALE)



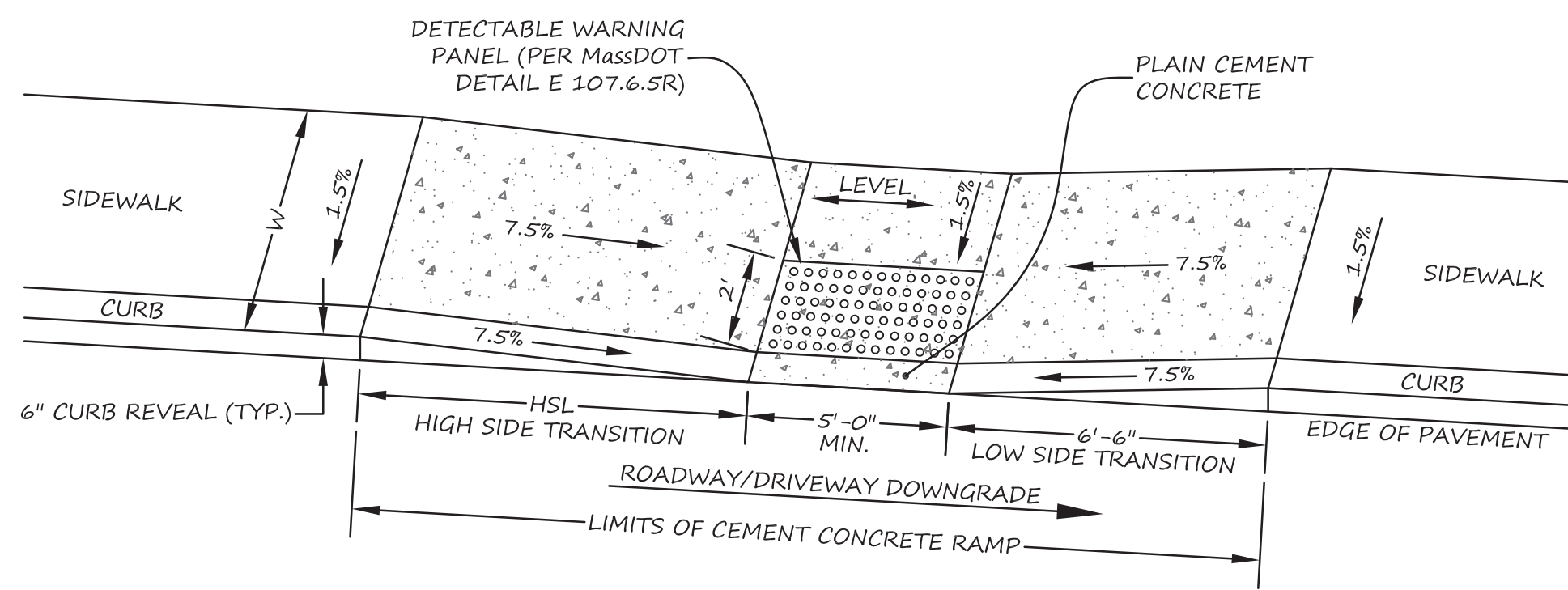
SLOPED GRANITE EDGING
(NOT TO SCALE)



GRANITE TRANSITION CURB DETAIL
(NOT TO SCALE)

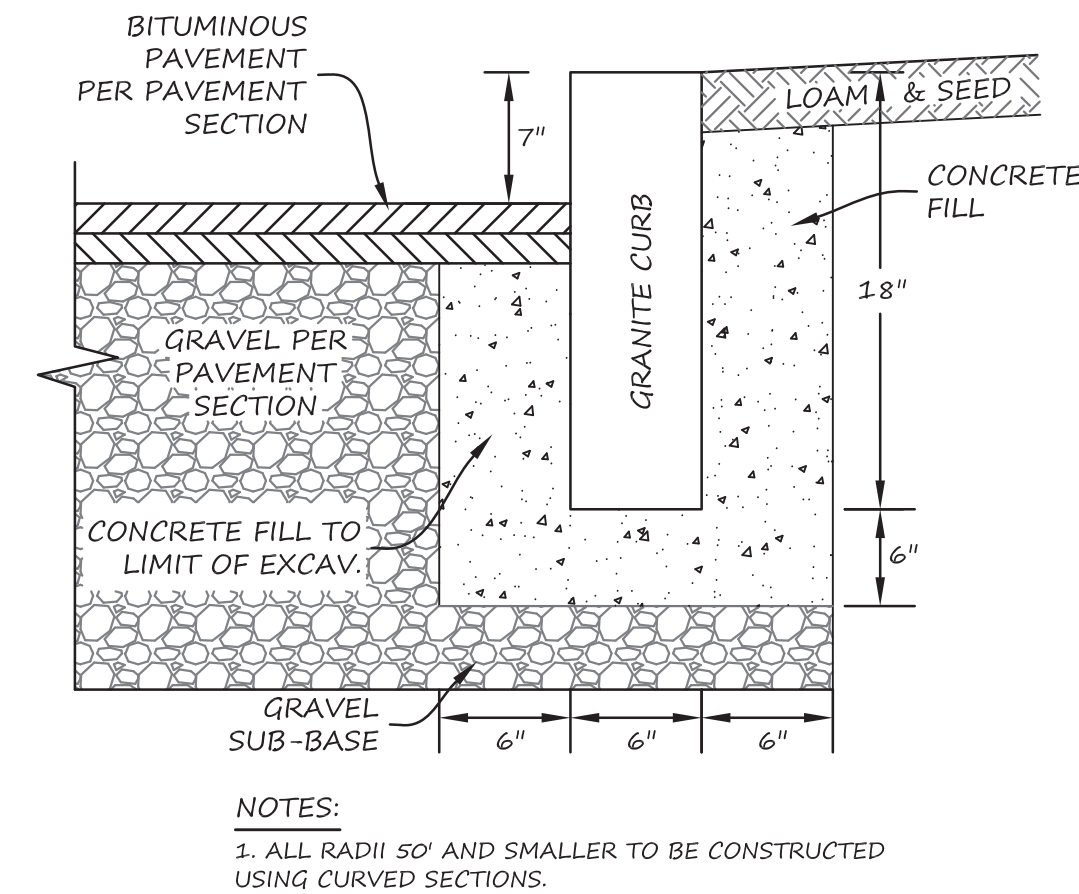


TYPICAL SIDEWALK CURB CUT DETAIL
(NOT TO SCALE)

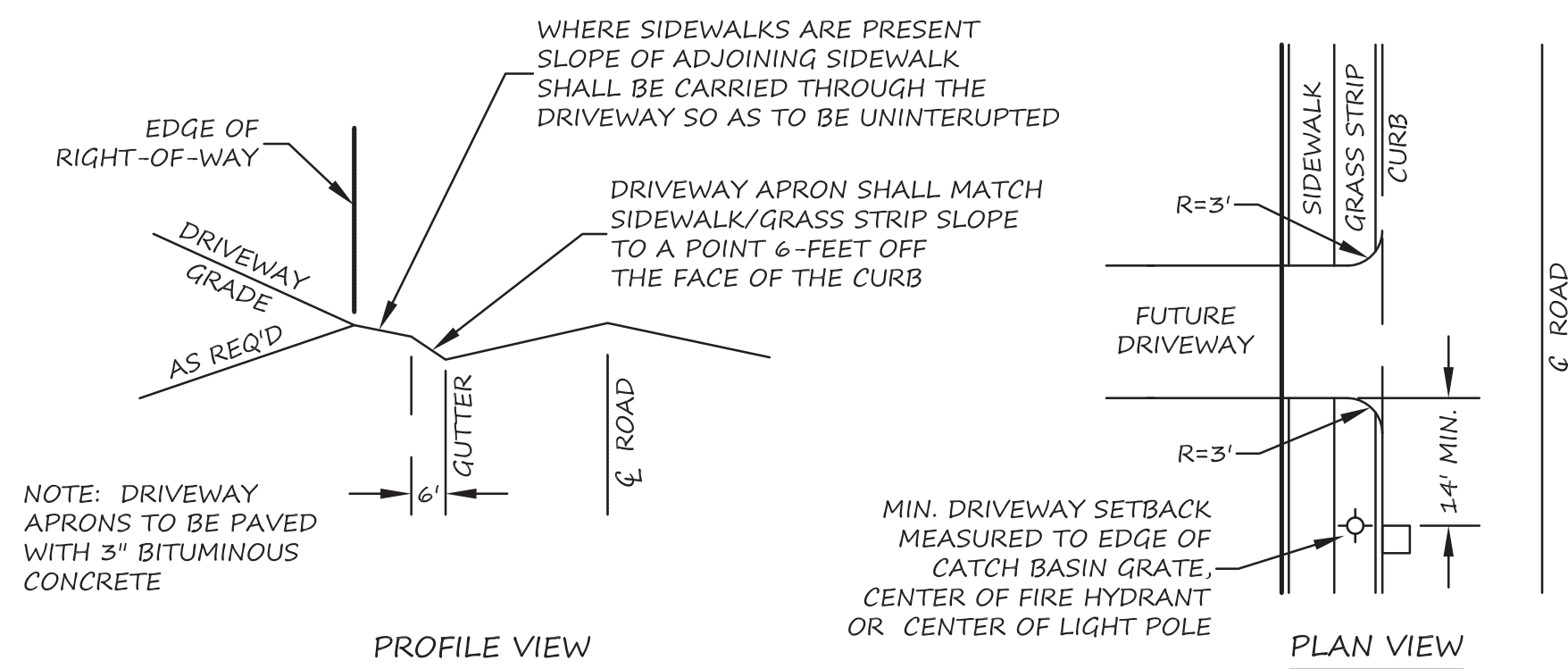


CONSTRUCTION NOTES:
1. SLOPE TOLERANCE FOR CONSTRUCTION = +/- 0.5%.
2. ROADWAY/DRIVEWAY, GUTTER AND FIRST 6\"/>

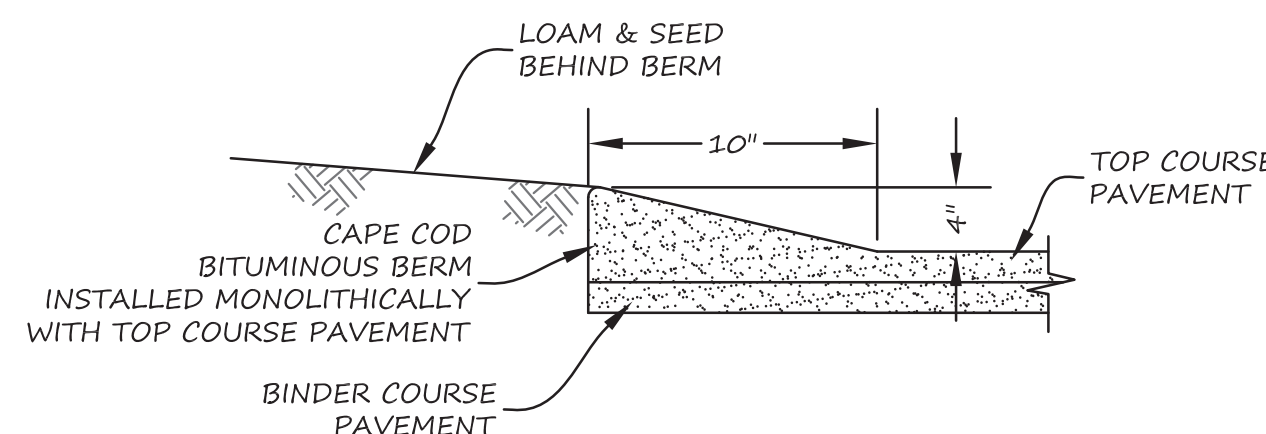
CURB CUT - EXISTING CONCRETE SIDEWALK
NOT TO SCALE



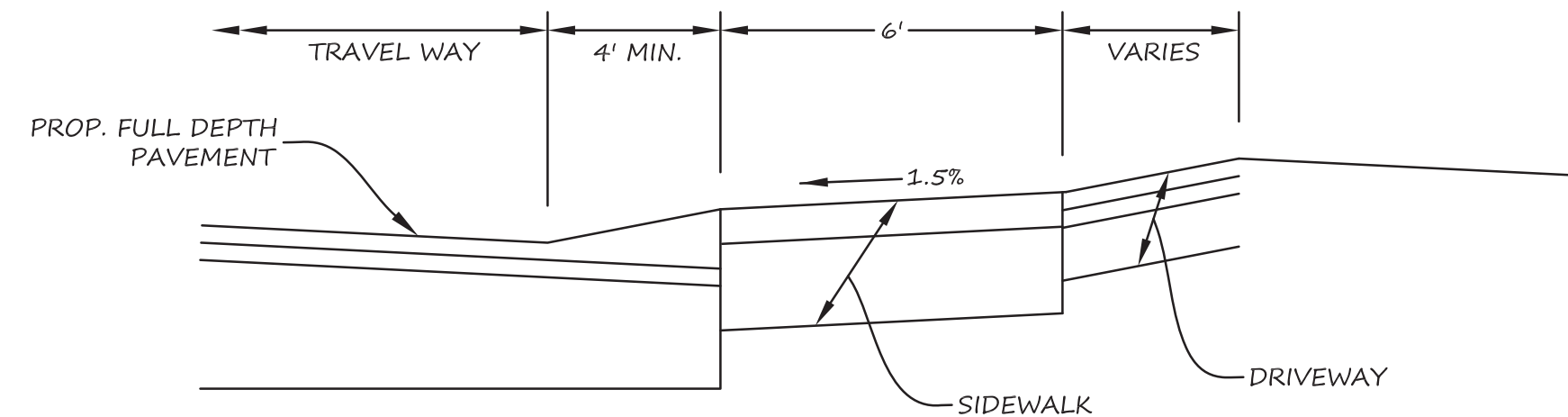
VERTICAL GRANITE CURB DETAIL
(NOT TO SCALE)



TYPICAL DRIVEWAY APRON DETAIL
(NOT TO SCALE)



MONOLITHIC CAPE COD BERM DETAIL
(NO SCALE)



NOTE: DRIVEWAY SHALL BE SLOPED TO MEET BACK OF SIDEWALK FINISHED GRADE.

TYPICAL DRIVEWAY WITH SIDEWALK
NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

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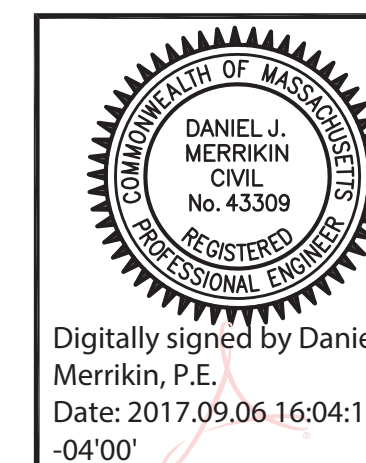
PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED 8/24/2017 AND FILED WITH TOWN CLERK ON 8/24/2017 AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/24/2017 TO BE RECORDED HEREWITH.

DATE APPROVED:

DATE ENDORSED:

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

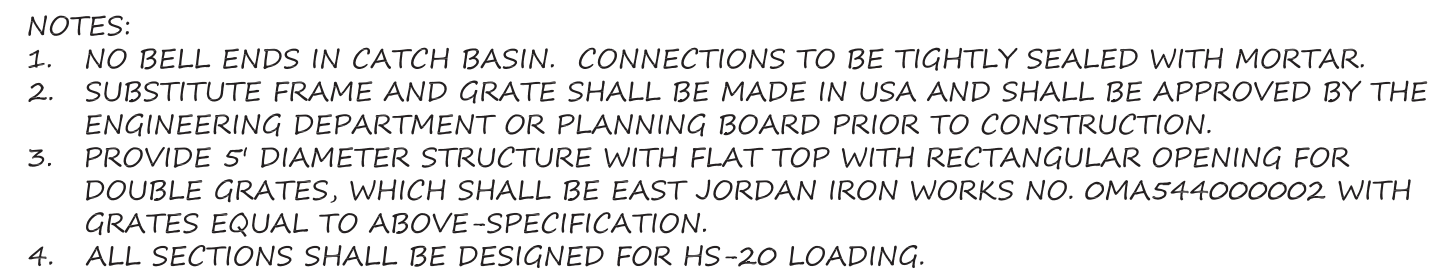


MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
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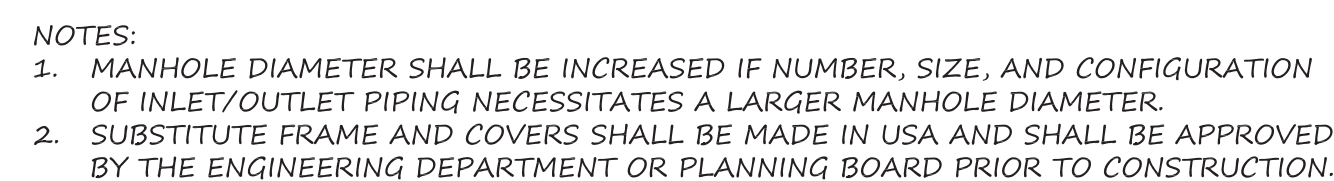
D104-01

SHEET 9 OF 12

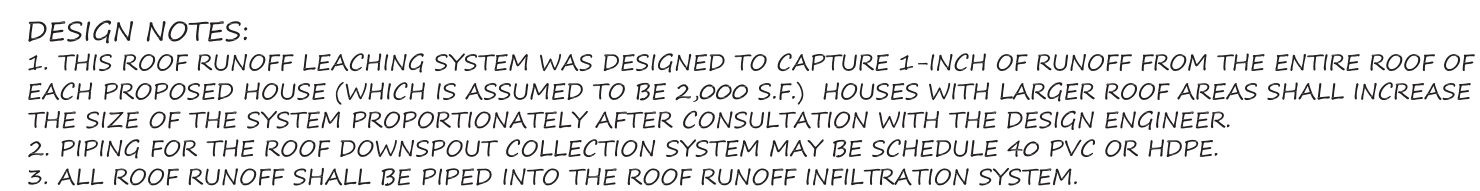
PLAN SCALE: N.T.S.



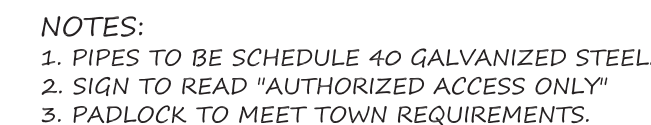
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NOT TO SCALE



NOT TO SCALE



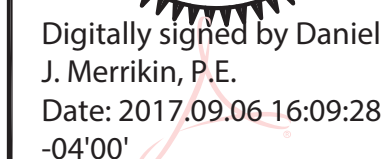
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TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

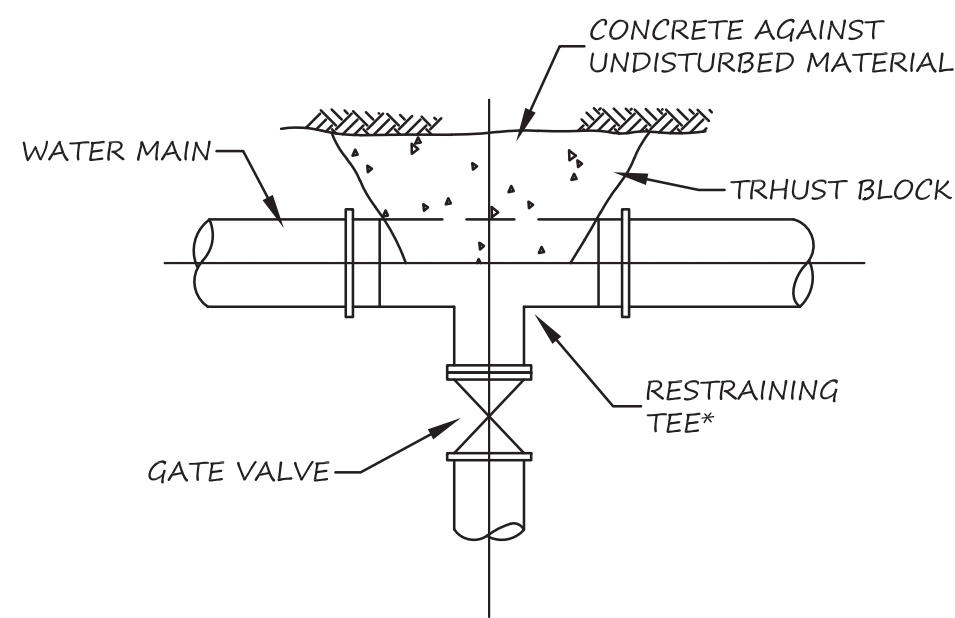
PLAN SCALE: N.T.S.

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PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



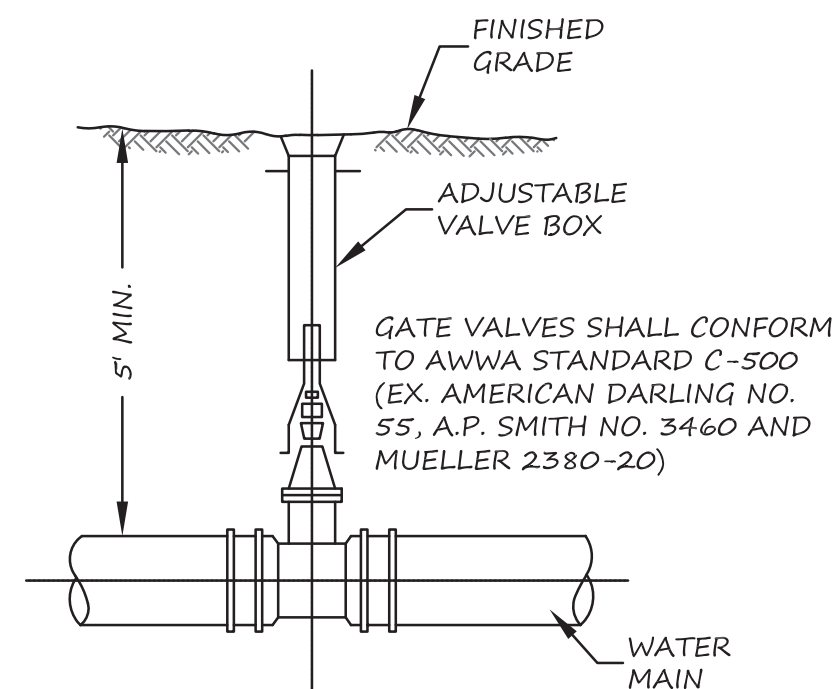
SHEET 10 OF 12



NOTE: MECHANICAL JOINT RESTRAINT SYSTEMS SUCH AS "MEGALUG" MAY BE USED SUBJECT TO APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS/ENGINEERING DEPT.

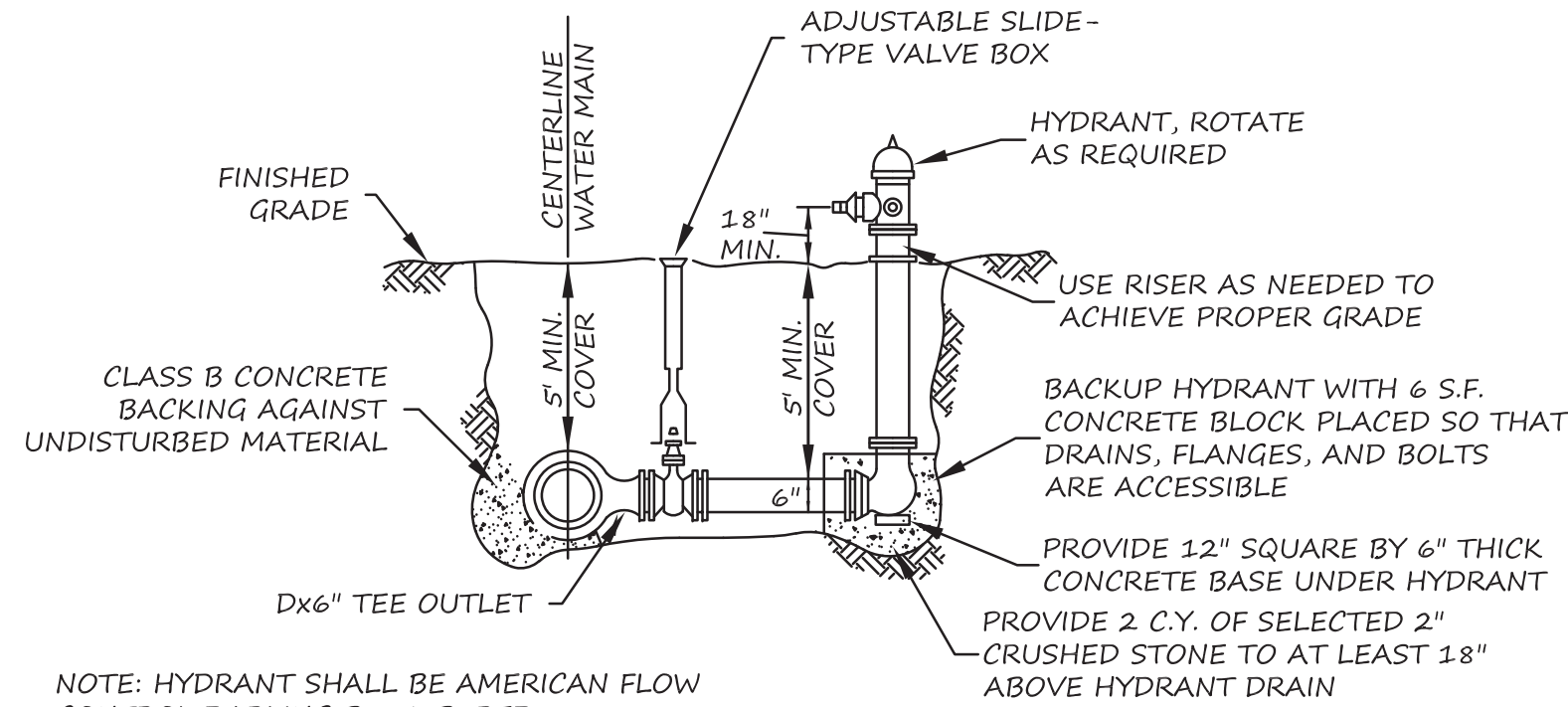
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE



TYPICAL GATE VALVE

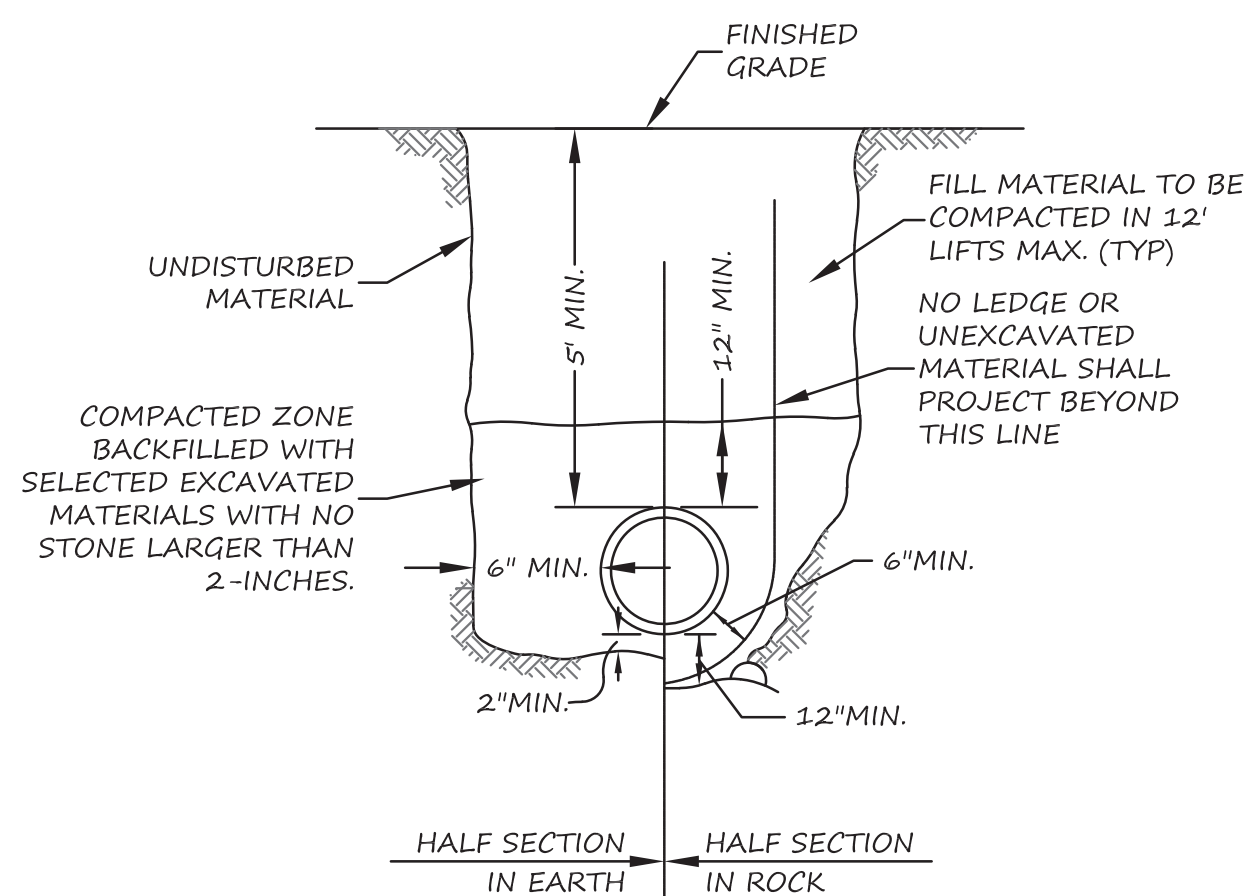
NOT TO SCALE



NOTE: HYDRANT SHALL BE AMERICAN FLOW CONTROL DARLING B-84-B, RED

TYPICAL HYDRANT ASSEMBLY DETAIL

NOT TO SCALE

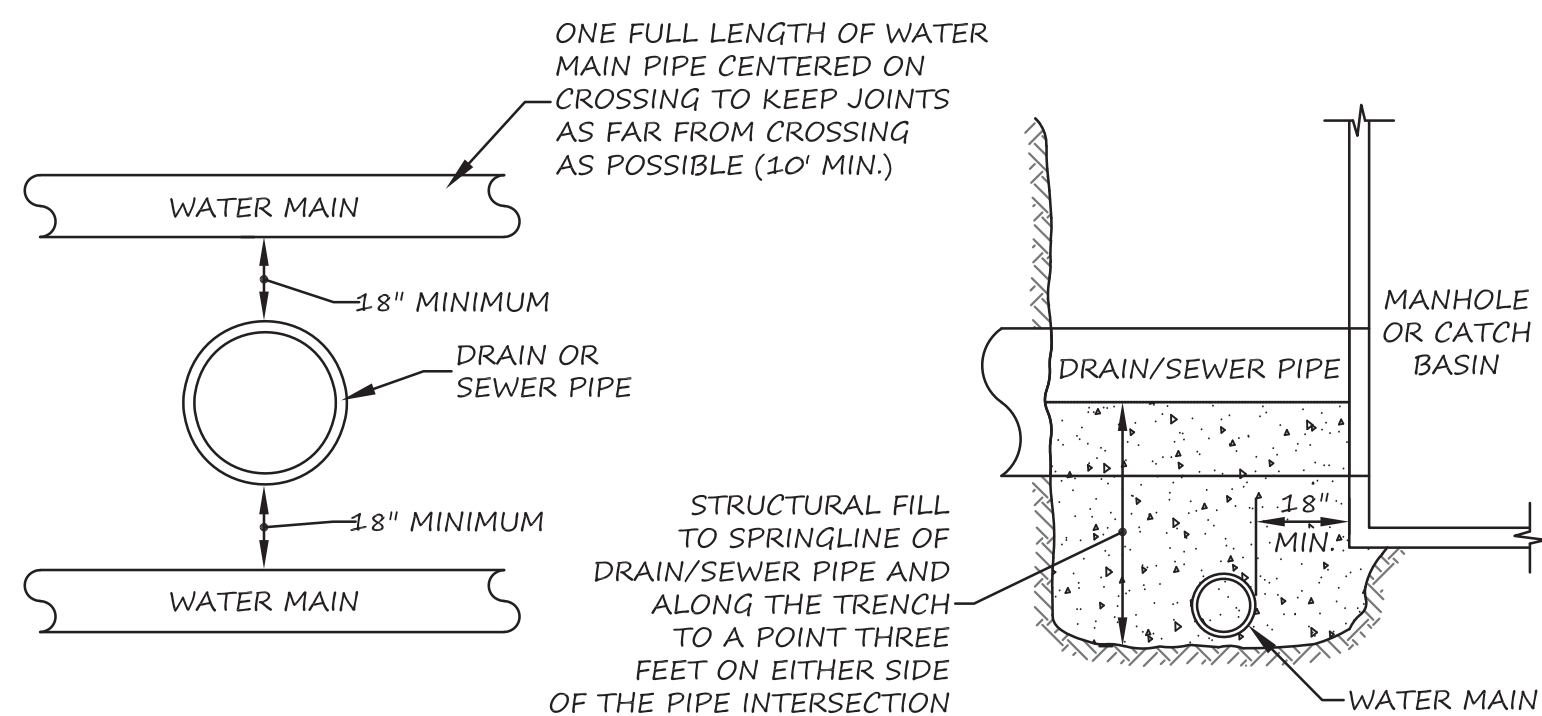


WATER MAIN TRENCH DETAIL

NOT TO SCALE

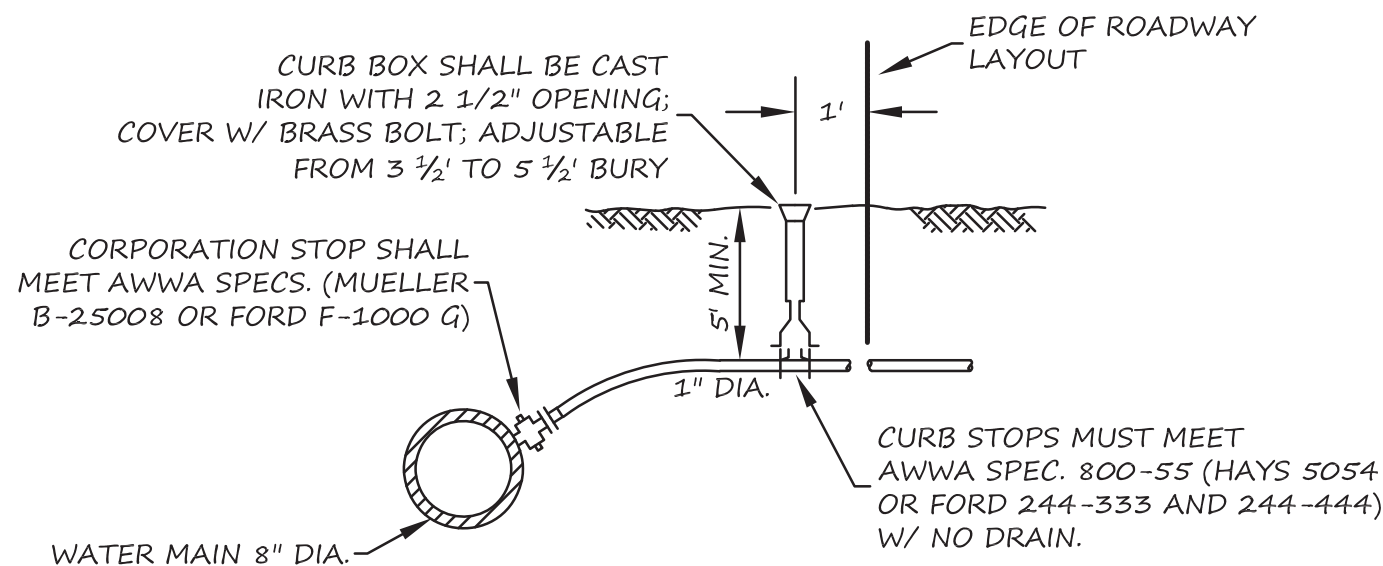
NOTES:

- FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTANT WITH AWWA GUIDELINES.
- FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
- FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.



WATER MAIN CROSSING DETAIL

NOT TO SCALE

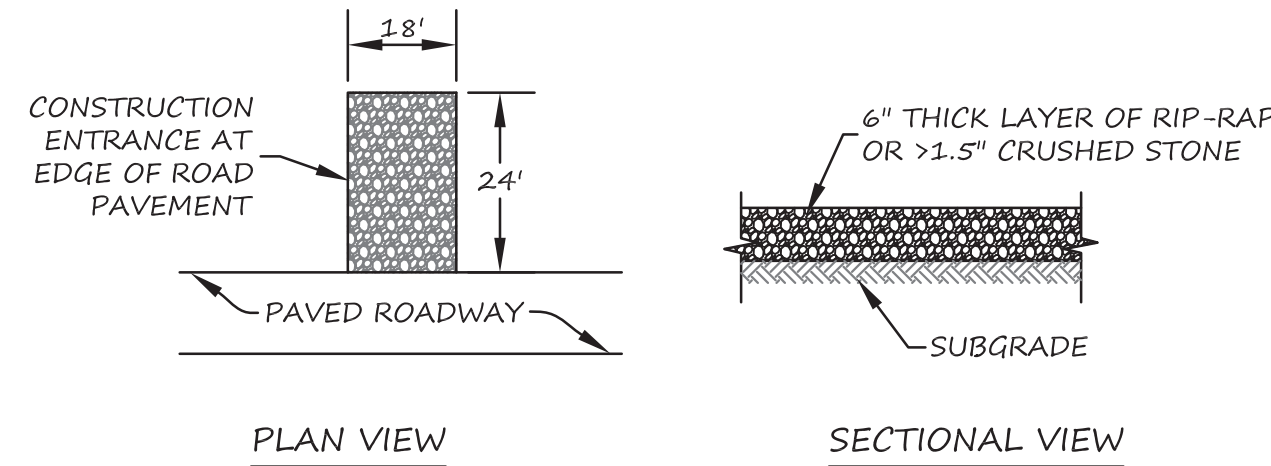


NOTES:

- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K AND BE THICKNESS CLASS 52.
- 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.
- POLYETHYLENE PLASTIC PIPE ALLOWED BETWEEN HOUSE AND CURB STOP.

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

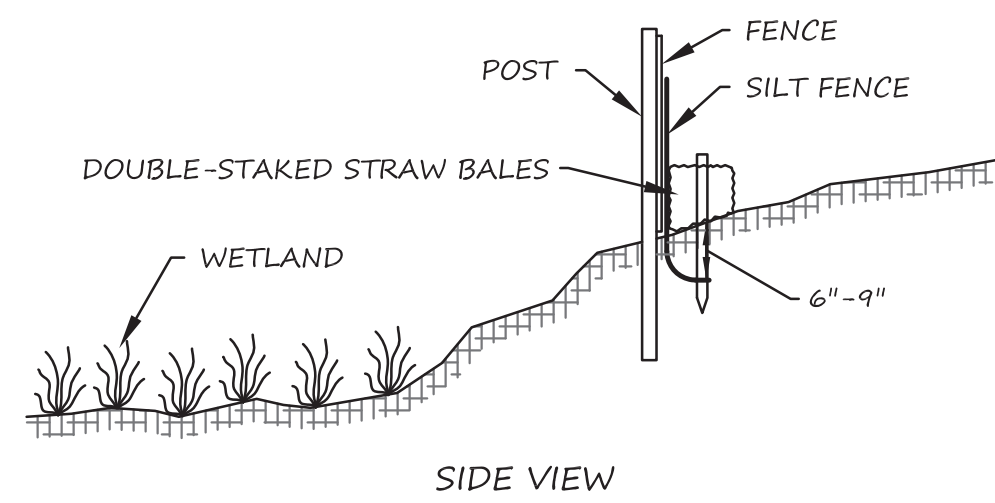
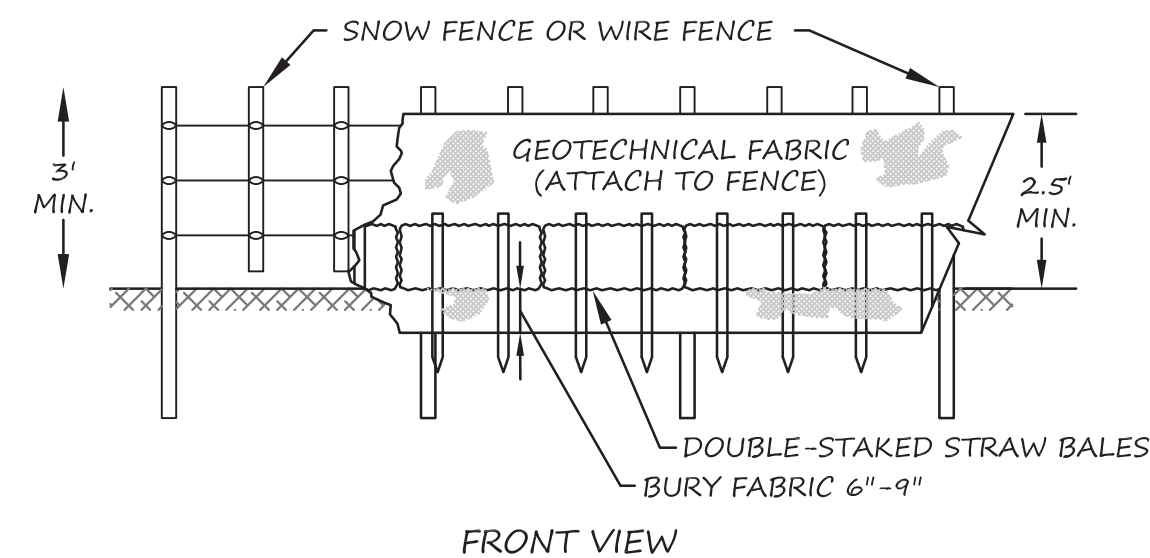


NOTES:

- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
- ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

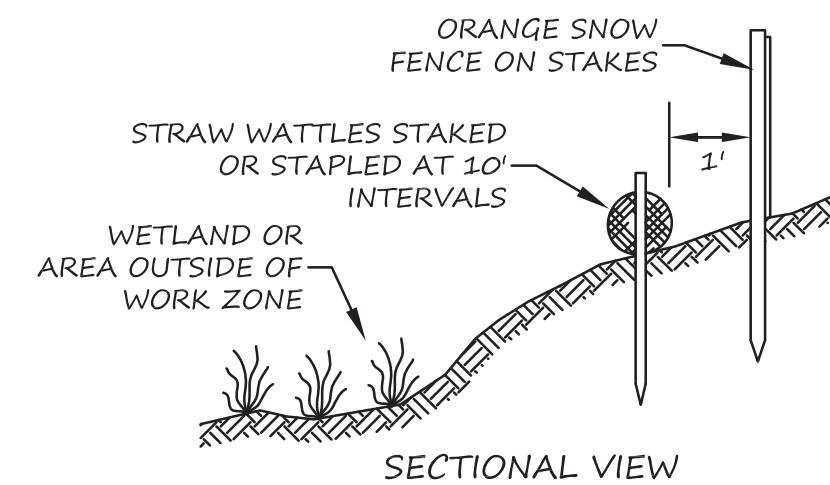
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SILT FENCE & STRAW-BALES DETAIL

NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHALL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL DETAIL (COMPOST SOCK)

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____ AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 16:14:53 -04'00'



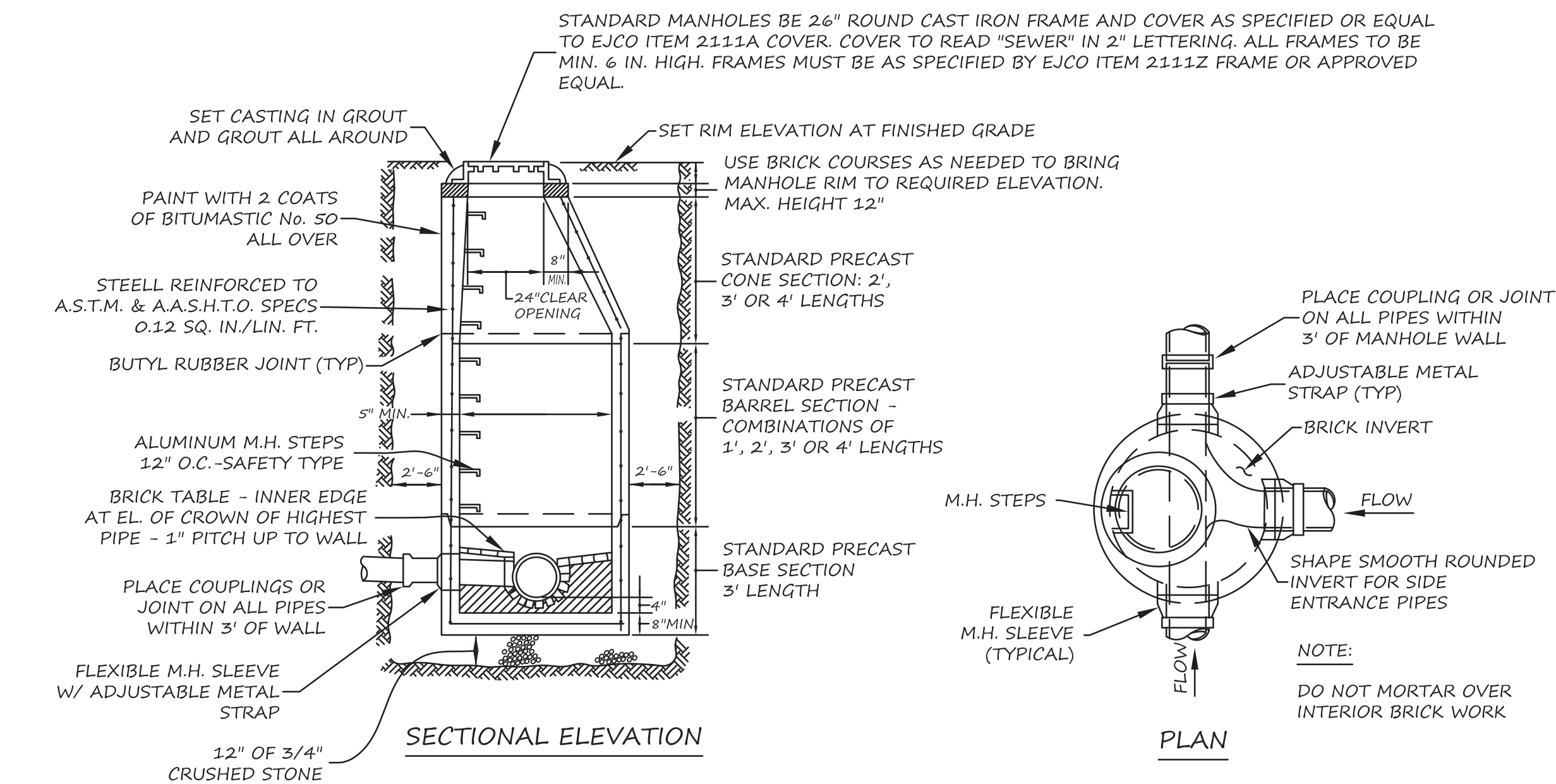
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 11 OF 12

PLAN SCALE: N.T.S.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

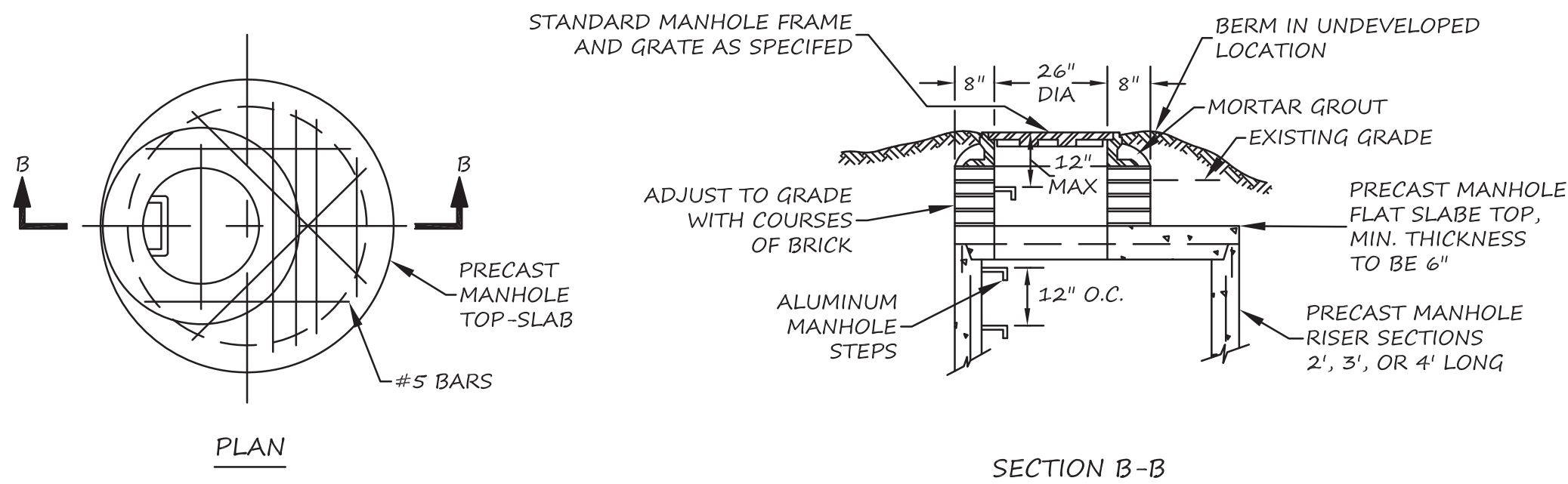


TYPICAL PRECAST CONCRETE MANHOLE DETAILS

NOT TO SCALE

NOTES:

1. TYPICAL SANITARY MANHOLE TO BE 4' IN DIAMETER.
2. 5'-0" DIA. FOR ALL MANHOLE DEPTHS GREATER THAN 12' OR WHEN ORDERED BY THE ENGINEER.
3. 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIA. MANHOLES.
4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
5. DESIGN LOAD - HS20.
6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
7. INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE WITH ALL PIPES INSTALLED.

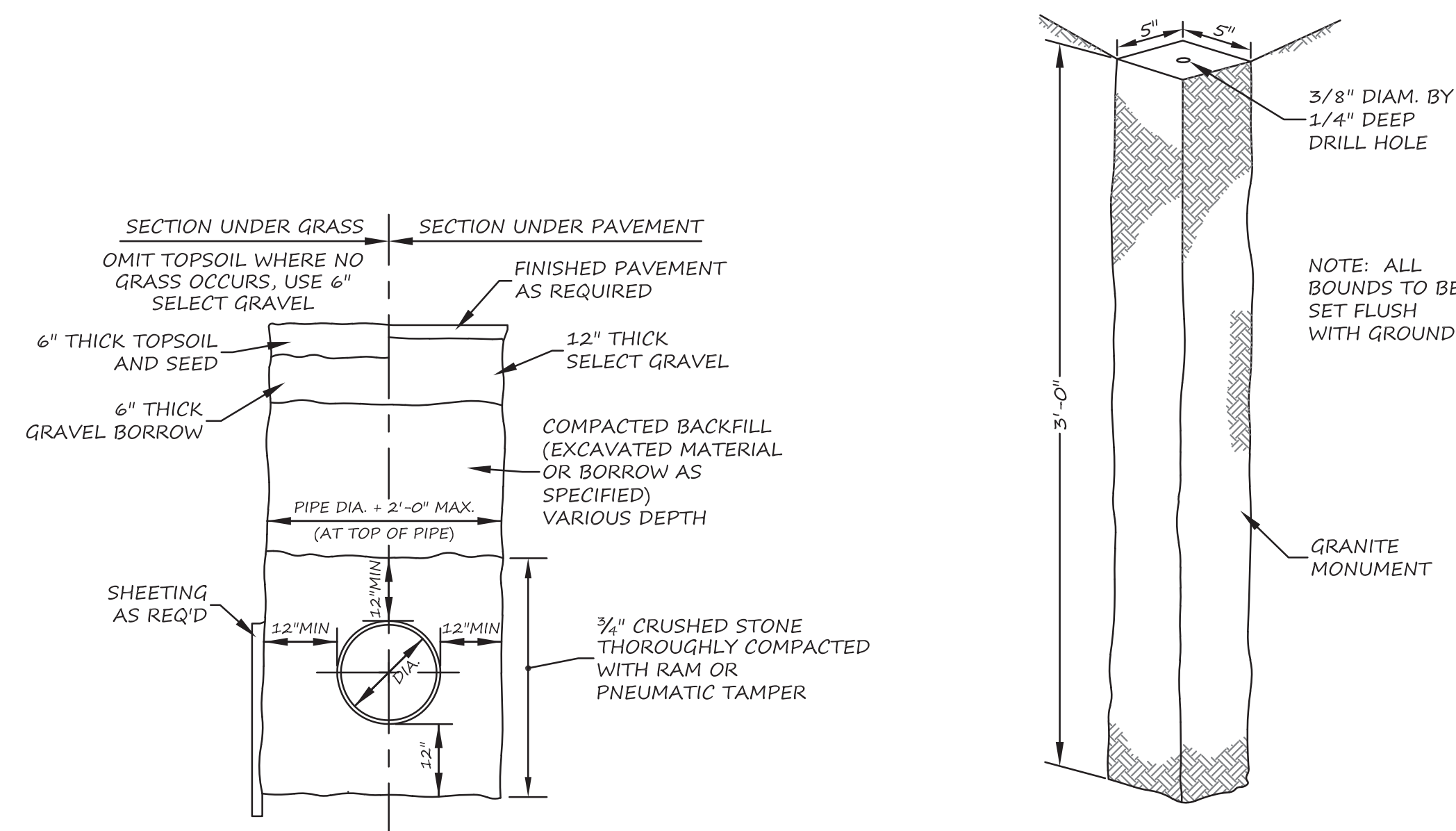


NOTE:

FOR ALL USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.

PRECAST MANHOLE FLAT TOP SECTION

NOT TO SCALE

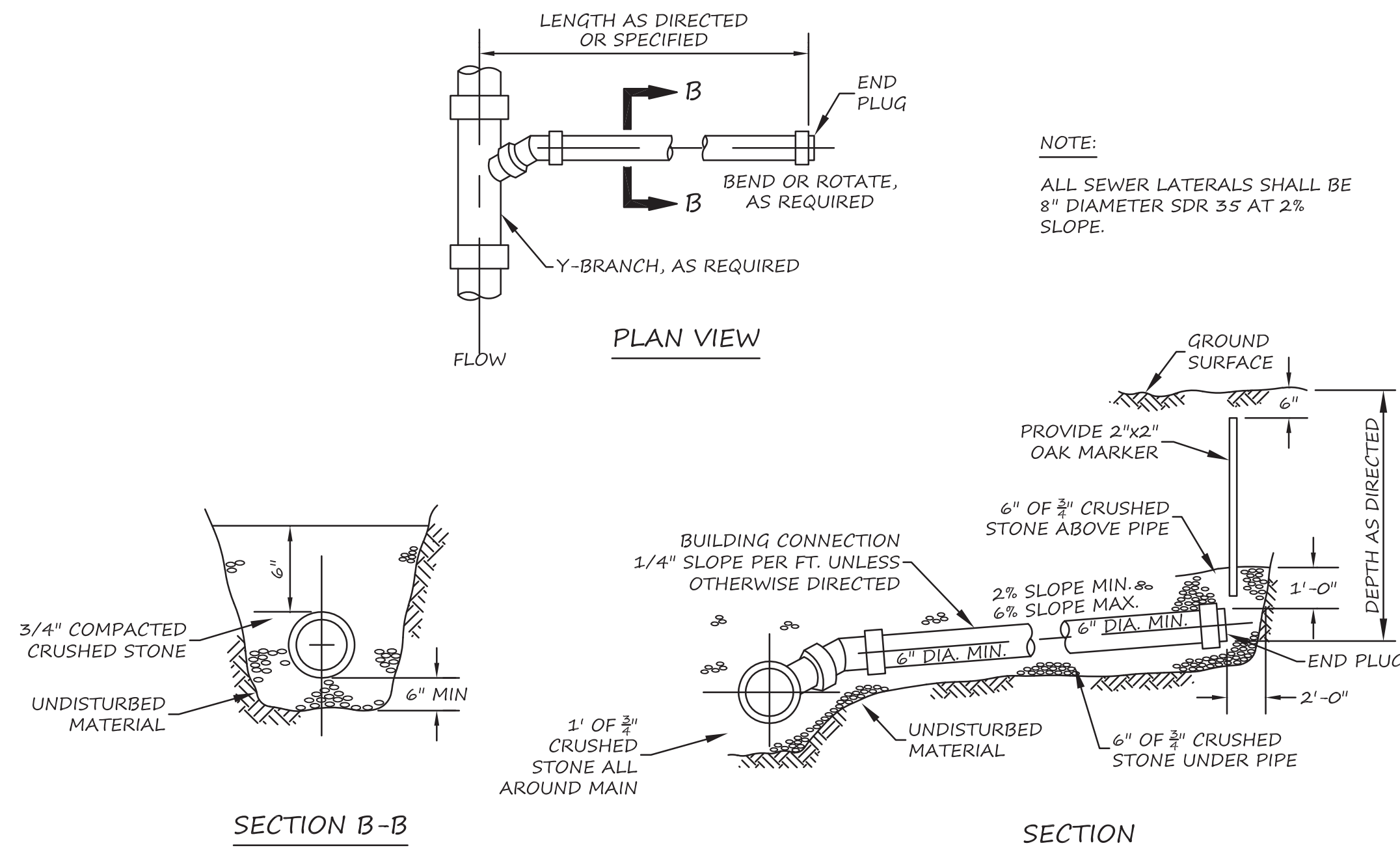


TYPICAL SEWER TRENCH

NOT TO SCALE

GRANITE MONUMENT DETAIL

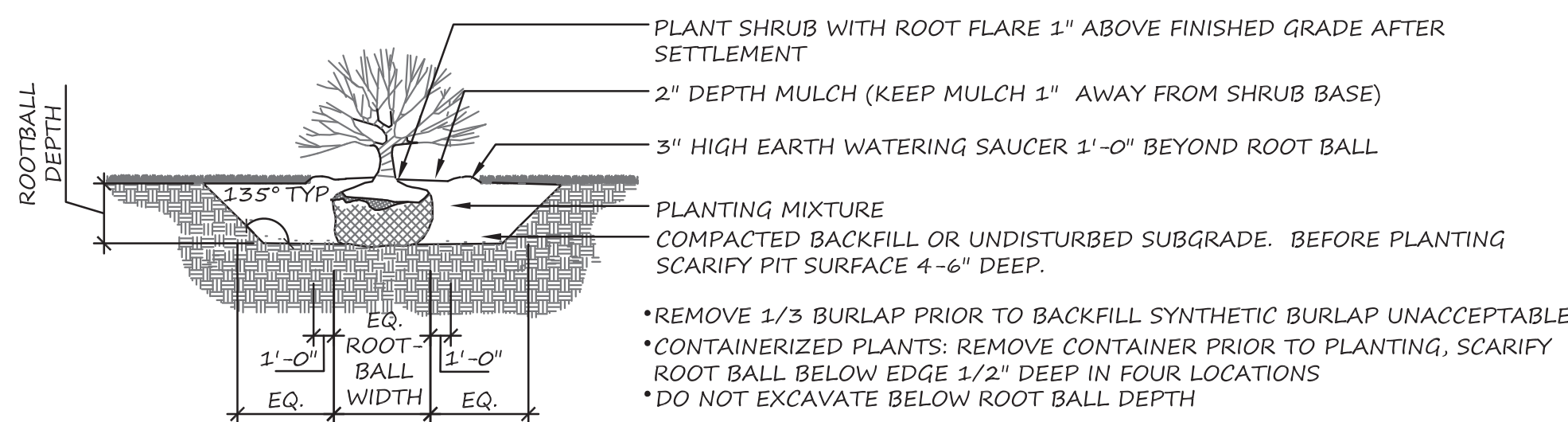
NOT TO SCALE



TYPICAL BUILDING SEWER SERVICE CONNECTION

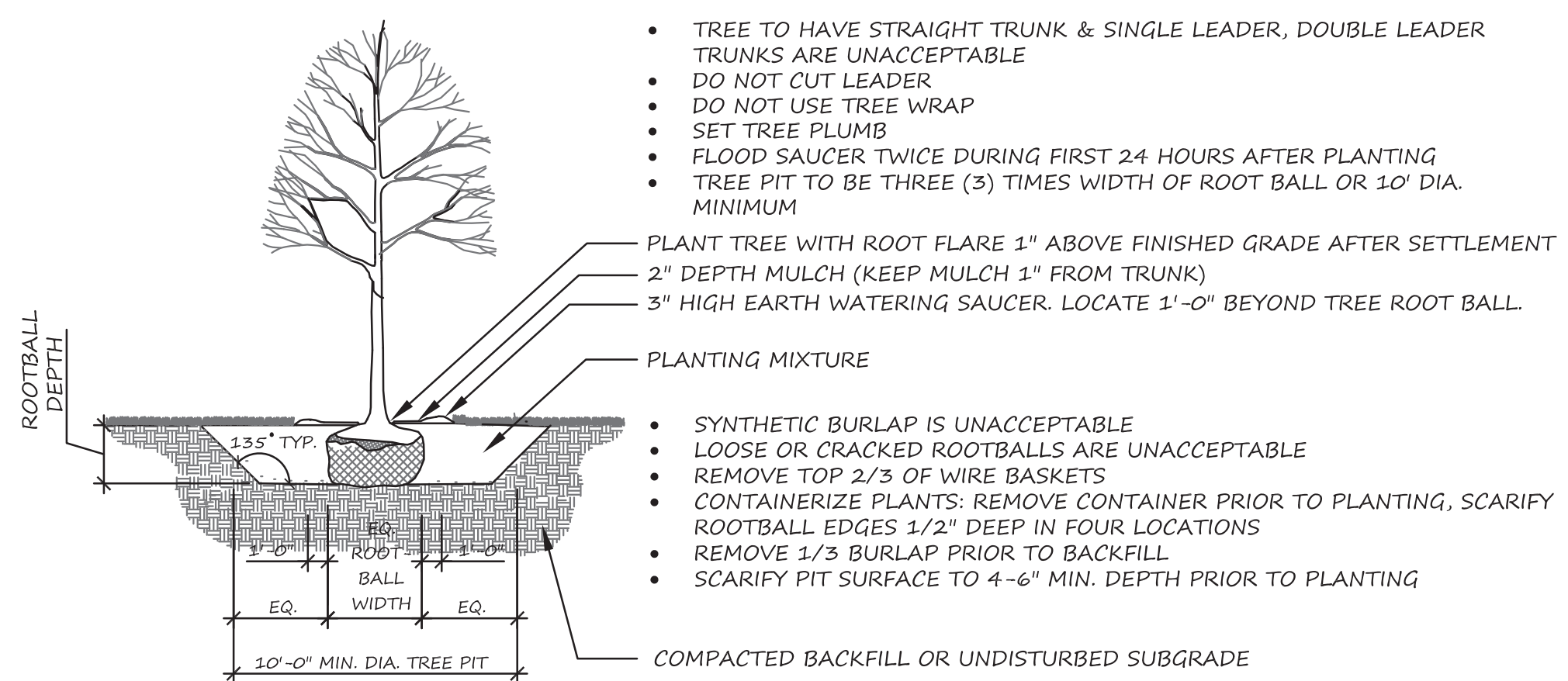
NOT TO SCALE

- LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE
- PLACE ROOT BALL ON UNDISTURBED SUBGRADE
- EXCAVATE TO REQUIRED DEPTH AND BACKFILL WITH PLANTING MIX
- RAISE AND REPLANT SHRUBS THAT SETTLE AFTER PLANTING & WATERING
- SET SHRUBS PLUMB
- FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.



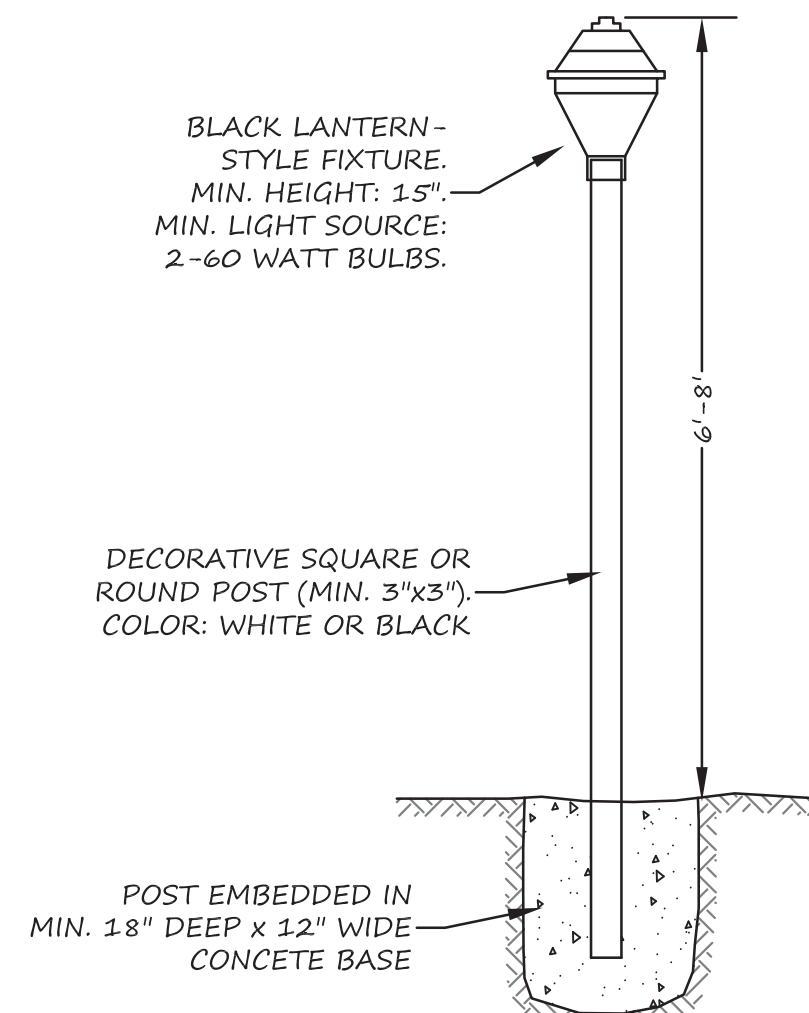
SHRUB PLANTING

NOT TO SCALE



DECIDUOUS TREE PLANTING

NOT TO SCALE



DRIVEWAY LIGHT POLE DETAIL

NOT TO SCALE

NOTE: EACH LOT TO MAINTAIN ONE LIGHT POLE WITHIN 10 FEET OF THE STREET LAYOUT ADJACENT TO ITS DRIVEWAY.

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

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I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 16:17:26 -04'00'

MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 12 OF 12

PLAN SCALE: N.T.S.



Susan Affleck-Childs

From: David Damico
Sent: Friday, September 08, 2017 12:06 PM
To: Susan Affleck-Childs
Subject: FW: Paul Revere Estates

Susy,

See Dan's note below. I'm not opposed to a change from sloped granite to monolithic cape cod berm. However, since it is a cost saver, I would presume that we get something in return for these changes.

Thanks,

Dave
DPS Director
Check us out on-line at www.townofmedway.org

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Daniel Merrikin [mailto:dan@merrikinengineering.com]
Sent: Friday, September 08, 2017 8:13 AM
To: David Damico
Subject: Paul Revere Estates

Hi Dave,

Susy was wondering if you could send her a quick email confirming our discussion that you would not object to the Planning Board changing the curbing requirement for Paul Revere Estates from sloped granite edging to monolithic cape cod berm.

Thanks

Dan

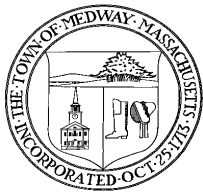
Yours Truly,

Daniel J. Merrikin, P.E.
Partner

Merrikin Engineering LLP

730 Main Street
Suite 2C
Millis, MA 02054

Office: 508-376-8883
Mobile: 508-868-8353



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village ST
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

DRAFT – September 8, 2017

CERTIFICATE OF ACTION
Paul Revere Estates
DEFINITIVE SUBDIVISION PLAN
(APPROVED with Waivers and Conditions)

Location: 33 Main Street
Assessors' Reference: Map 41 – Parcel 035-001
Parcel Size: 11.31 acres
Name/Address of Applicant: Notwen Realty Trust
33 Fruit Street
Norfolk, MA 02056
Name/Address of Property Owner: Notwen Realty Trust
33 Fruit Street
Norfolk, MA 02056
Engineer: Daniel J. Merrikin, P.E.
Merrikin Engineering, LLP
730 Main Street, Suite 2C
Millis, MA 02054
Land Surveyor: Colonial Engineering
11 Awl Street
Medway, MA 02053
Plan Dated: June 9, 2017, last revised August 29, 2017
Zoning District: Agricultural Residential I
Street Name: Revere Road

- I. PROJECT DESCRIPTION:** The *Paul Revere Estates Definitive Subdivision Plan* dated June 9, 2017, last revised August 29, 2017 shows the division of the 11.31 acre parcel of land located at 33 Main Street (*Medway Assessor's Map 41, Parcel 35-0001*), a recently divided portion of 39 Main Street (*Medway Assessor's Map 41, Parcel 35*), in the Agricultural Residential I zoning district.

The plan shows the division of land into five residential lots and one drainage parcel, the construction of an approximately 571' roadway (Revere Road) intended to be an accepted Medway street, and the installation of stormwater management facilities and municipal water and sewer service. A portion of this site is in a Wetlands Resource Area and the Groundwater Protection District. This proposal is for a "by right" use in this zoning district. The property will be accessed from Main Street.

II. PROCEDURAL SUMMARY:

1. On June 15, 2017, the Planning and Economic Development Board received an application for approval of the *Paul Revere Estates Definitive Subdivision Plan*, dated June 9, 2017 prepared by Merrikin Engineering, LLC of Millis, MA.
2. On June 29, 2017 the Board informed various Town boards and departments, including the Board of Health, of the public hearing on the proposed *Paul Revere Estates Definitive Subdivision Plan*, provided copies of the plans and requested review comments.
3. On July 11, 2017, the Board commenced a public hearing. The public hearing was duly noticed in the *Milford Daily News* on June 26 and July 3, 2017. Notice was posted with the Medway Town Clerk on June 19, 2017 and was sent by *Certified Sent* mail on June 20, 2017 to abutters in Medway within 300 feet of the subject property and to parties of interest. The public hearing was continued to August 22, September 12 and September __, 2017 when it was closed. During the course of the public hearing, the applicant submitted two revision to the Paul Revere Estates Definitive Subdivision Plan, one dated August 8, 2017 and the second one dated August 29, 2017.
4. All members voting on this Certificate of Action were present at all sessions of the public hearing or have provided a certification pursuant to General Laws c. 39 section 23D.

III. PUBLIC HEARING SUMMARY: The public hearing and the Board's review of the *Paul Review Estates Definitive Subdivision Plan* were conducted over the course of four Planning and Economic Development Board meetings during which substantive information was presented and evaluated. The plan and its submitted revisions were reviewed for compliance with the *Subdivision Rules and Regulations* dated April 26, 2005 which were in effect at the time the applicant submitted a preliminary subdivision plan to the Board in July 2011.

Specified below is a list of plan documents and support materials, public comments, consultant and town departmental board review documents, and supplemental information which have been provided by the Applicant or placed on the record by the Planning and Economic Development Board. All information is on file in the Medway Planning and Economic Development office and is available for public review (except for confidential communications from Town Counsel).

Paul Revere Estates Definitive Subdivision Plan Application Materials

Form C – Definitive Plan Application – received June 15, 2017
Form D – Designer’s Certificate (with deed) – dated June 9, 2017
Form E – Certified Abutters’ List - dated April 3, 2017
Form F – Development Impact Report – dated June 9, 2017

Paul Revere Estates Definitive Subdivision Plan – Merrikin Engineering, LLP.

June 9, 2017
Revised – August 8, 2017
Revised – August 29, 2017

Stormwater Report for Paul Revere Estates – Merrikin Engineering, LLP.

June 9, 2017

Requests for Waivers from Subdivision Rules and Regulations – Prepared by Merrikin Engineering,
June 15, 2017

Town Engineering Consultant Reviews – Steven Bouley, P.E. and Sean Reardon, P.E. Tetra Tech

July 6, 2017 letter
August 14, 2017 letter

Town Planning Consultant Review Letters – Gino Carlucci, AICP, PGC Associates

June 22, 2012 letter
August 23, 2012

Supplemental Information Provided by Applicant’s Consultants

Letter from Daniel Merrikin, Merrikin Engineering dated August 9, 2017 including a Revere Road Fire Access Sketch Plan dated (8-8-17) in response to plan review comments from Tetra Tech dated July 6, 2017 and PGC Associates dated July 5, 2017.

Letter from Daniel Merrikin, Merrikin Engineering, dated August 9, 2017, submitting the revised Paul Revere Estates Definitive Subdivision Plan dated August 8, 2017 and summarizing the plan changes.

Letter from Daniel Merrikin, Merrikin Engineering dated September 6, 2017 submitting the revised Paul Revere Estates Definitive Subdivision Plan dated August 29, 2017, a summary of plan changes, an additional request for waiver from the *Subdivision Rules and Regulations*, a revised Stormwater Operations and Maintenance Plan dated September 6, 2017 and a revised Stormwater Pollution Prevention Plan (SWPPP) dated September 6, 2017.

Supplemental Information Entered into the Record by the Medway Planning and Economic Development Board

Mullins Rule certifications from Matthew Hayes and Thomas Gas re: the hearing on July 21, 2017 PEDB

Citizen/Resident Letters/Communications

Email communication dated August 18, 2017 from Bruce Hamblin, 17 Crestview Avenue

Citizen/Resident Testimony

Matthew Rymanowski, 29 Main Street

Professional Testimony

Gino Carlucci, AICP, PGC Associates, Inc. – Franklin, MA

Sean Reardon, P.E., Tetra Tech – Marlborough, MA

Steven Bouley, P.E., Tetra Tech – Marlborough, MA

Daniel Merrikin, P.E. Merrikin Engineering – Millis, MA

Medway Departmental/Board Review Comments

Email communication dated July 17, 2017 from Jeff Lynch, Medway Fire Chief

Email communication dated July 28, 2017 from Barry Smith, Deputy Director, Medway Department of Public Services

Memorandum dated August 14, 2017 from Sergeant Jeffrey Watson, Medway Police

IV. ACTION ON REQUEST FOR WAIVERS OF SUBDIVISION RULES & REGULATIONS –

The Applicant has requested and the Board has identified needed waivers from the following sections of the *Subdivision Rules and Regulations*, dated April 26, 2005.

SECTION 5.7.6 CONTENTS OF SUBDIVISION PLAN – *The existing conditions sheet shall include locations of single free-standing trees with a diameter of one foot (1') or greater at twenty-four inches (24") above grade.*

FINDINGS – The applicant has asked that this requirement be waived due the cost of conducting a tree survey on the entire 11 acre site. Instead, the applicant has proposed to locate and map all hardwood trees larger than 24" that are growing within the proposed construction area. Those trees not interfering with the proposed roadway layout and stormwater basin location and which are away from the reasonably expected house locations have been tagged in the field and mapped on the plan. The applicant has agreed to preserve those trees - See Condition # ____.

SECTION 7.7.2 STORMWATER MANAGEMENT – *(p) Detention and retention basins and underground infiltration systems and any related drainage structures shall be located on separate parcels and shall not be included on individual house/building lots. Stormwater basins are to be no closer than thirty feet from lot/parcel lines and any right-of-way.*

FINDINGS – The applicant has proposed to have the northern edge of the stormwater basin on Parcel D set back 20 feet from the property line with Lot 5. To meet the State and Town stormwater design standards and due to the location of adjacent wetlands to the east, the location and size of the stormwater basin results in it needing to have a lesser setback from the property line than the 30 feet specified in the *Subdivision Rules and Regulations*. The 20 foot setback is a reasonable alternative given the site characteristics.

SECTION 7.10.2 CURBS and BERMS – Curbing shall be sloped granite edging (Type S-A) for the full length of Neighborhood Streets.

FINDINGS – The applicant has proposed to NOT install sloped granite edging along the length of Revere Road and to use monolithic Cape Cod berm instead. This type of curbing is

more resilient to snowplow damage and is easier to maintain and replace. The Department of Public Services is in agreement that this type of curbing is suitable as it will be maintaining Revere Road once it is conveyed to the Town.

MITIGATION PLAN

ACTION ON WAIVERS – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on September 12, 2017, a motion was made by _____ and seconded by _____ to _____ the above noted waiver requests from the *Subdivision Rules and Regulations*. The motion was approved by a vote of ____ in favor () and ____ opposed ().

V. PROJECT EVALUATION CRITERIA – Before taking action on a definitive subdivision plan, the Board shall evaluate the proposed subdivision according to the criteria as specified in Section 5.16 of the *Subdivision Rules and Regulations*. At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on September 12, 2017, a motion was made by _____ and seconded by _____ to approve the Project Evaluation Findings noted below. The motion was _____ by a vote of ____ in favor () and ____ opposed.

5.16.1 Completeness and technical accuracy of all submissions.

FINDINGS – All submissions were reviewed by Town staff and/or the Town's Consulting Engineer and Consulting Planner and no significant missing or technical inaccuracies were identified.

5.16.2 Determination that the street pattern is safe and convenient and that proper provision is made for street extension. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed ways within the subdivision.

FINDINGS – The Board finds that the proposed street pattern within the new subdivision is safe and convenient. The layout has been reviewed by the Town's Fire Chief, Public Safety Office and Consulting Engineer. Comments from them have been incorporated into the design. Future roadway extension to adjacent property is not feasible so provisions to do so are not required.

5.16.3 Determination that development at this location does not entail unwarranted hazard to the safety, health and convenience of future residents of the development or of others because of possible natural disaster, traffic hazard or other environmental degradation.

FINDINGS – The Board finds that the location of the development does not entail unwarranted hazard. A drainage plan has been designed to handle anticipated stormwater runoff and the sight distances from the proposed roadway's intersection with Main Street are adequate. Erosion controls will be in place during construction. The residents will be served by Town water and sewer.

5.16.4 Determination, based on the environmental impact analysis, where submitted, that the subdivision as designed will not cause substantial and irreversible damage to the environment, which damage could be avoided or ameliorated through an alternative development plan.

FINDINGS – The site of the subdivision is not within a Priority Habitat area and the wetlands of the site will be protected through action of the Medway Conservation Commission. Stormwater management has been reviewed by the Town’s consulting engineer and is adequately addressed. A portion of the site is within a groundwater protection district but no construction is proposed within that portion and stormwater released in the direction of the groundwater protection district is treated prior to such discharge. There will be an increase of only five single-family houses to be constructed. Significant trees on site that are not within the house footprints or infrastructure elements will be protected and retained. The Board finds that the subdivision will not cause substantial and irreversible damage to the environment.

5.16.5 Determination that the roads and ways leading to and from the subdivision shall be adequate to provide emergency medical, fire and police protection as well as safe travel for the projected volume of traffic. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed access or of any ways adjacent to or providing access to the subdivision.

FINDINGS – The Board finds that the proposed roadway is adequate to provide emergency medical, fire and police protection as well as safe travel for the anticipated volume of traffic generated by five residences. The plans have been reviewed by the Fire Chief, Public Safety Officer and Consulting Engineer. Comments from them have been incorporated into the design. The roadway shown on the plan will be built according to the Board’s construction specifications for Neighborhood Streets. The 20-foot roadway width meets national Fire Code standards while also reducing impervious surfaces and stormwater impacts.

5.16.6 Conformity with all applicable requirements of the Medway Zoning Bylaw including but not limited to minimum area and frontage standards.

FINDINGS – The Board finds that the lots created by this plan conform to all applicable requirements of the Medway Zoning Bylaw, including minimum area and frontage requirements for the Agricultural Residential I zoning district.

5.16.7 Consistency with the purposes of the Subdivision Control Law.

FINDINGS – The Board finds that the proposed subdivision is consistent with the purposes of the Subdivision Control Law because the infrastructure proposed is adequate for the new development and the impacts of the subdivision have been mitigated to a reasonable extent. Reasonable waivers have been granted herein with good cause.

VI. DECISION – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on _____ 2017, a motion was made by _____ and seconded by _____ to _____ the **Paul Revere Estates Definitive Subdivision Plan**, prepared by Merrikin Engineering, LLP, dated June 9, 2017, last revised

August 29, 2017 subject to the Specific and General Conditions as specified herein and with Waivers from the following sections of the *Subdivision Rules and Regulations* dated April 25, 2005.

List approved waivers here

The motion was _____ by a vote of _____ in favor () and ____ opposed ().

VII. CONDITIONS – The following specific and general conditions shall apply to the Applicant, its executors, administrators, devisees, heirs, successors and assigns:

A. Specific Conditions

1. The Paul Revere Estates subdivision is authorized for no more than five residential house lots. As a permanent condition of the approval of this plan, no further subdivision of the property beyond these five lots is allowed.
2. *Completion Schedule* - The Applicant or its Assignee shall construct the roadway and all related infrastructure including the stormwater management system, and install all utilities as shown on the endorsed Paul Revere Estates Definitive Subdivision Plan, to the satisfaction of the Planning and Economic Development Board, within three (3) years of the date of endorsement of the plan.
3. *Plan Revisions* - Prior to plan endorsement, the plans dated August 29, 2017 shall be further revised to include the following:
 - A note shall be added to all plan sheets indicating that the plan is subject to this Certificate of Action which shall be recorded with the Plan at the Norfolk County Registry of Deeds.
 - The cover sheet shall be revised to indicate APPROVED WAIVERS instead of WAIVER REQUESTS.
 - The property addresses, to be provided by the Medway Assessor's office, shall be added to the plan.

The Applicant shall provide such revised plan to the Planning and Economic Development Board and the Town's Consulting Engineer for review and approval prior to plan endorsement. All conditions of this Certificate of Action requiring changes to the definitive subdivision plan must be addressed to the satisfaction of the Town's Consulting Engineer and the Planning and Economic Development Board before the Board will endorse the definitive subdivision plan.

5. *Selective Cut Zones* – The plan shows a “selective cut zone” around the non-street perimeter of each house lot for 15 feet. During construction, the area included in the selective cut zones shall not be disturbed. Future property owners shall maintain the selective cut zone as a landscaped and wooded buffer without intrusion, however, pruning necessary for removal of dead/diseased plant materials and additional landscape planting is permitted.
6. *Tree Preservation* – Sheet ____ of the plan shows ____ trees to be preserved/retained.
 - a. The applicant shall make the fullest possible effort to preserve/retain these trees and prevent their removal, demise or damage during construction.

- b. If any of the above noted trees are removed or damaged during construction, the applicant shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one (1) square inch per two (2) square inch replacement basis within (1) year after the tree removal or damage has occurred. The one (1) square inch per two (2) square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x pi rounded to 3.14). The resulting figure is halved and that square inch total is the amount of required square inches of the replacement tree(s). A 3” caliper tree equals seven (7) sq. ft. The location of the replacement trees shall be recommended by the applicant and approved by the Planning and Economic Development Board and Tree Warden. The restoration shall be verified by the Tree Warden as being fully and skillfully performed. The species of replacement tree(s) shall be reviewed and approved by the Tree Warden, or otherwise will be consistent with the species of the removed tree(s).
7. *Lot Deeds* – Prior to endorsement, the Applicant shall provide the Planning and Economic Development Board with copies of the proposed deeds to convey or transfer each subdivision lot for review, comment, amendment and approval by Town Counsel. Each deed shall specifically refer to any and all easements shown on the plan for that particular lot. The deed text shall include descriptive language specifying all easements, boundary delineations, specific usages and purpose. The deed shall refer to the definitive subdivision plan and the selective cut zone. Each deed shall state that the Applicant shall reserve to itself ownership of the fee in the Revere Road and easements shown on the subdivision plan for future conveyance to the Town for Medway. The deed for Lot #3 shall specify that the owner shall be responsible for the upkeep and maintenance of the landscaped island in the Revere Road cul-de-sac in perpetuity.
8. *Road Deed, Drainage Parcel Deed & Easements* – Prior to endorsement, the Applicant shall provide the Planning and Economic Development Board with a copy of the proposed deed to convey Revere Road, Parcel D (drainage parcel) and all drainage and utility easements shown on the plan to the Town of Medway for review, comment, amendment and approval by Town Counsel and approval of Town Meeting.
9. *Maintenance Responsibility During Construction* – The Applicant shall provide for snow plowing, sanding and full maintenance of Revere Road and all related stormwater management infrastructure throughout the entire construction process until the roadway is determined to be complete by the Board and is subsequently conveyed to the Town of Medway.

B. General Conditions

1. *Expiration of Appeal Period* – Prior to endorsement of the definitive subdivision plan, the Planning and Economic Development Board must receive the statutory notification of the expiration of the twenty day appeal period from the Town Clerk’s office.
2. *Payment of Balance of Fees/Taxes* – Prior to plan endorsement, the Applicant shall pay the balance of any outstanding plan review services by any outside consultants retained by the Planning and Economic Development Board and any other outstanding expenses, obligations, fees or taxes due the Town of Medway. Proof is required from the Medway Town Treasurer/ Collector that all real estate taxes are current for all property owned in Medway by the applicant.
3. *Subdivision Covenant* – Prior to endorsement, the Applicant shall sign a *Subdivision Covenant*, on a form acceptable to the Planning and Economic Development Board, to be reviewed and approved by Town Counsel, to secure construction of the ways and all related infrastructure and installation

of utilities and services as specified in the approved subdivision plan. Reference to the *Subdivision Covenant* shall be noted on the cover sheet of the Definitive Subdivision Plan. The *Covenant* shall specify that the roadway and all relevant infrastructure including the stormwater management system shall be constructed and all utilities and services shall be installed to the satisfaction of the Planning and Economic Development Board within three years of the date of plan endorsement. The Subdivision Covenant shall apply to Lots 1 – 5 as shown on the plan.

4. *Subdivision Surety* – At such time as the Applicant wishes to secure a building permit for any lot within the subdivision, the security provided by the *Subdivision Covenant* shall be replaced by a subdivision surety in compliance with General Laws chapter 41 §81U and the Board's Regulations. Prior to the Planning and Economic Development Board's approval of the *Release of Covenant* for any house lot, the Applicant shall provide suitable performance security to the Town of Medway in an amount equal to 100% of the amount that would be required for the Town of Medway to complete construction improvements and infrastructure maintenance if the Applicant failed to do so. The surety amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer. The applicant shall also enter into a surety agreement with the Planning and Economic Development Board as provided in the Regulations. Any company providing the surety shall be acceptable to the Medway Treasurer/Collector.
5. *Order of Conditions* – Prior to plan endorsement, the Applicant shall provide the Planning and Economic Development Board with a copy of any and all "*Order of Conditions*" as issued by the appropriate agency, and recorded by the Applicant, pursuant to the Massachusetts Wetlands Protection Act. Any changes to the definitive subdivision plan that may be required under the "*Order of Conditions*" shall be presented to the Planning and Economic Development Board by the Applicant, for review and approval as a modification to the definitive subdivision plan. The Planning and Economic Development Board reserves the right to negotiate with the issuing authority any mutually acceptable modifications to the "*Order of Conditions*" that may be deemed appropriate by the Planning and Economic Development Board and the Town's Consulting Engineer and acceptable to the applicant. After the public hearing and acceptance of the modifications to the plan, the Planning and Economic Development Board shall take action on the modified plan, reporting said action to the Town Clerk. The statutory notification of the expiration of the twenty day appeal period must be received from the Town Clerk's office before the Planning and Economic Development Board endorses the plan modification.

Additionally, upon issuance of any "*Order of Conditions*" requiring further individual filings under the Massachusetts Wetlands Protection Act, the Applicant shall prepare an amended plan clearly identifying the lots requiring further action under the Wetlands Protection Act. The Applicant shall provide this plan for endorsement by the Planning and Economic Development Board and shall provide a receipt from the Registry of Deeds indicating that the endorsed amended plan has been duly recorded.

6. *Construction Services* – Inspection of roadway and infrastructure construction by the Town's Consulting Engineer is required. Prior to plan endorsement, a construction services account shall be established with the Medway Planning and Economic Development Board. The Applicant shall pay a construction services fee to the Town of Medway for such inspections. The amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the scope of the project. The Applicant shall provide supplemental payments to the Town of Medway for reasonable additional construction services upon invoice from the Planning and Economic Development Board, until the

road construction and stormwater drainage system and other utilities are completed and the as-built and street acceptance plans have been reviewed and determined to be satisfactory for filing with the Town.

7. *Document/Plan Recording* – This Certificate of Action, the endorsed Definitive Subdivision Plan and the Subdivision Covenant shall be recorded with the Norfolk County Registry of Deeds. Within thirty days of such recording, the Applicant or his assign shall provide the Planning and Economic Development Board with a receipt from the Norfolk County Registry of Deeds indicating that all documents have been duly recorded, or supply another alternative verification that such recording has occurred.
8. *Plan Endorsement* - Within thirty days of plan endorsement, the Applicant shall provide the Town with a set of the approved plan in 24” x 30” paper format. The Applicant shall also provide the approved plan in CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp). The Applicant shall pay any reasonable associated costs, as may be determined by the Board of Selectmen, to update the Medway GIS/Assessor’s maps relative to this subdivision.
9. *Other Permits* – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.
10. *Pre-Construction Meeting* – At least seven days prior to the start of any site preparation or construction, a pre-construction meeting shall take place with the Town’s Consulting Engineer, the Planning and Economic Development Coordinator, the Medway Department of Public Services, the Medway Conservation Agent, the developer and his contractors. The construction schedule shall be reviewed and the procedures for inspections discussed. A copy of the final Stormwater Pollution Prevention Plan (SWPP) as filed DEP shall be provided to the Town.
11. *Proof of Taxes Paid* – Prior to the Planning and Economic Development Board’s approval of the *Release of Covenant* for the first building lot, proof is required from the Medway Town Treasurer/Collector that all real estate taxes and other municipal fees and charges are current for the property included in this subdivision.
12. *Restrictions on Construction Activities* – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.
 - a. *Construction Time* - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
 - b. *Neighborhood Relations* – The applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
 - c. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.

- d. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
 - e. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
 - f. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
 - g. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
 - h. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.
13. *As-Built and Street Acceptance Plans* - The Applicant agrees to prepare and provide an as-built construction plan and a street acceptance plan prepared in accordance with the approved subdivision plan and with the *Subdivision Rules and Regulations* in effect at the time the plans are submitted, to the satisfaction of the Planning and Economic Development Board. The Applicant shall provide the final as-built plan in CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp). The Applicant shall pay any reasonable associated costs, as may be determined by the Board of Selectmen, to update the Medway GIS/Assessor's maps relative to this subdivision.
14. *Compliance with Plan and Decision*
- a. All construction shall be as specified in the approved definitive subdivision plan and any modifications thereto and in full compliance with the *Subdivision Rules and Regulations* and all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act, the NPDES permit requirements, the Massachusetts Department of Environmental Protection Stormwater Management Policy requirements, MEPA requirements, the Massachusetts Wetland Protection Act (Chapter 131, Section 40, M.G.L.) and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
 - b. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with this Decision.
 - c. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

15. *Site Access* - Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time during construction for compliance with the endorsed subdivision plan and the provisions of this Decision.

16. *Modification of Plan and/or Decision*

- a. This approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as a subdivision plan modification.
- b. Any work that deviates from the approved subdivision plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification and such approval is provided in writing by the Planning and Economic Development Board.
- c. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed subdivision plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

17. *Landscape Maintenance*

- a. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
- b. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

###

**PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN
CERTIFICATE OF ACTION
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD**

Date of Action by the Medway Planning and Economic Development Board: _____

AYE:

NAY:

Date Signed: _____

Attest:

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Date

Date Filed with the Town Clerk: _____

Copies To: Paul Newton, Notwen Realty Trust
Dan Merrikin, Merrikin Engineering
Michael Boynton, Town Administrator
David D’Amico, Public Services
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Stephanie Mercandetti, Community and Economic Development
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Town Counsel
Sergeant Jeffrey Watson, Police Safety Officer
Gino Carlucci, PGC Associates
Steve Bouley, Tetra Tech

**TETRA TECH**

Sidewalk Estimate
Paul Revere Estates
Medway, Massachusetts
July 26, 2017

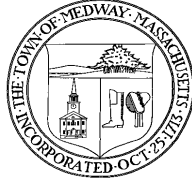
Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

ITEM DESCRIPTION	QUANTITY ²	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
6" Excavation	91	CY	\$33.00	\$3,003
Vertical Granite Curb	656	FT	\$48.50	\$31,816
Gravel Borrow - Type C	98	CY	\$40.00	\$3,920
6' Concrete Sidewalk	437	SY	\$54.50	\$23,817
Loam Borrow	13	CY	\$47.12	\$613
Seed	73	SY	\$2.00	\$146
Subtotal				\$63,314
25% Contingency				\$15,829
Total				\$79,143

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 7/2016 - 7/2017.

²Sidewalk quantities based on length of frontage (approx. 656 ft.) along Lot A and Lot B as detailed on plan titled "39 Main Street A.N.R. Plan of Land in Medway, MA" dated May 4, 2017 by Colonial Engineering, Inc. Sidewalk Dimensions: Excavation Depth/Width=6 in./7.5 ft., Curb Length=656 ft., Gravel Depth/Width=8 in./6 ft., Sidewalk Width=6ft., Loam Depth/Width=6 in./1 ft., Seed Width=1 ft.



September 12, 2017
Medway Planning & Economic Development Board
Meeting

UPDATED – 9/11/17

Plan Review Fee – 143 Village Street
Multifamily Housing Special Permit/Site Plan

- Plan Review fee estimate from PGC Associates
- **Plan Review fee estimate from Tetra Tech**

~~NOTE – The plan review fee estimate from Tetra Tech is forthcoming and will be provided to you Tuesday night.~~
The application was filed with us on 9/6/17.

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

September 8, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: 143 VILLAGE MULTIFAMILY SPECIAL PERMIT/SITE PLAN

Dear Mr. Rodenhiser:

PGC Associates is pleased to present the following cost estimate to review and comment on the proposed multifamily housing special permit and site plan, for 3 townhouse units at 143 Village Street. The applicant is N.E. Premier Properties, LLC of Franklin, Kevin Tuccieri, Manager. The owner is the Estate of Virginia Heavey of Medway.

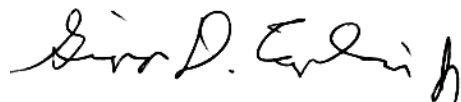
The proposal is to reconfigure an existing pre-existing, nonconforming 4-unit building with a footprint of 1534 square feet on a lot of 5868 square feet into 3 units along with associated parking, drainage, lighting, and landscaping. The plan was prepared by Guerriere and Halnon of Franklin, Robert Constantine (surveyor) of Franklin, and JG Architects (architects) of Holliston. The plan is dated September 6, 2017.

The property is located at 143 Village Street in the VC, Adaptive Overlay and Multifamily Overlay zoning districts. It is also partially within a Groundwater Protection District.

<u>Task</u>	<u>Hours</u>
Technical review and comment on initial submittal in relation to zoning and regulations pertaining to multifamily housing special permits and site plans.	2.5
Attendance at Planning Board meetings/hearings	2.0
Review and comment on revised plans	1.0
Review and comment on draft decision	2.5
Total	8.0
TOTAL ESTIMATE (@\$95)	\$760.00

If there are any questions about this estimate, please call me.

Sincerely,



Gino D. Carlucci, Jr.



September 11, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: 143 Village Street
Multi-Family Housing (Site Plan) Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway (the Client) for professional engineering services associated with the 143 Village Street Multi-Family Housing Plan Review in Medway, Massachusetts (the Project). The objective of our services is to review the site plan package and provide review comments as they relate to applicable Town of Medway Rules and Regulations, Department of Environmental Protection Stormwater Management Standards, and sound engineering practice. We have excluded from our scope, the review of the application package as it relates to the Town of Medway Zoning By-Laws which will be conducted by a separate consultant.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 Site Visit

- A. Perform one (1) site visits to review the site and its surroundings;
- Budget Assumption: 1 Visit
2 hours @ \$140/hr = \$280
Total = \$280

Task 2 Design Review

- A. Review the Multi-Family Housing Special Permit Application, and supporting documentation, and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
1 hour @ \$140/hr = \$140
Total = \$380
- B. Review the proposed Plans and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
3 hours @ \$140/hr = \$420
Total = \$660

- C. Review the Stormwater Report for compliance with the latest Massachusetts Department of Environmental Protection Stormwater Management Standards, applicable town stormwater standards and good engineering practice and incorporate comments into review letter in item D below;
- Budget Assumption: 1 hour @ \$240/hr = \$240
2 hours @ \$140/hr = \$240
 Total = \$480
- D. Prepare a letter summarizing findings for presentation to the Town of Medway Planning and Economic Development Board;
- Budget Assumption: 1 hour @ \$240/hr = \$240
3 hours @ \$140/hr = \$420
 Total = \$660
- E. Coordinate with applicant to address items in review letter and issue an updated letter upon receipt of modifications:
- Budget Assumption: 1 hour @ \$240/hr = \$240
2 hours @ \$140/hr = \$280
 Total = \$520

Task 3 Meeting Attendance

- A. Participate in two (2) hearings/meetings with the Town of Medway Planning and Economic Development Board.
- Budget Assumption: 2 Meetings @ 3 hours per meeting = 6 Hours
6 hours @ \$240/hr = \$1,440
 Total = \$1,440

Cost

Our cost for the above Scope of Services will be on a time and expenses basis in accordance with Tetra Tech's and existing Town of Medway contract rates. Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visit	\$280
Task 2	Design Review	\$2,700
Task 3	Meeting Attendance	\$1,440
	Labor Subtotal	\$4,420
	Expenses (5%)	\$221
Total Fee		\$4,641

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and will put forth our best effort, consistent with accepted professional practice, to comply with the project's needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented.

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

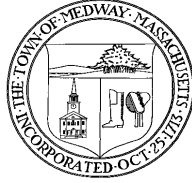
Date Approved by Medway Planning and Economic Development Board_____

Certified by:

Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator

Date

M:\SITE\BOULEY\MEDWAY_PEDB_143 VILLAGE STREET MULTI FAMILY REVIEW_2017-09-11.DOCX



September 12, 2017
Medway Planning & Economic Development Board
Meeting

Millstone ARCPUD – Full Release of Covenant

- Full Release of Covenant

Millstone developer Steve Venincasa has requested a full Release of Covenant for all 80 dwelling units at Millstone. This is FINE. The project is fully bonded in the amount of \$385,510 via a Tri-Party Agreement with Cornerstone Bank.

The Board has previously approved 3 separate Partial Releases of Covenant for various sections of the project. There are 6 remaining dwelling units which are not covered by those previous Releases. This document provides a full release for all units.

I recommend you approve the Release.

Release of Covenant
Planning & Economic Development Board – Town of Medway, MA

We, the undersigned members, being a majority of the Planning & Economic Development Board of the Town of Medway, Norfolk County, Massachusetts, hereby certify on this date that all dwellings to be constructed in the Millstone Village condominium, created by Master Deed dated July 1, 2015, recorded with the Norfolk District Registry of Deeds in Book 33288, Page 396, and being a portion of Parcel A as shown on a plan entitle *Adult Retirement Community Planned Unit Development, Millstone Village, Medway, MA* dated October 15, 2013, last revised July 22, 2014, drawn by GLM Engineering of Holliston, MA which was recorded with the Norfolk County Registry of Deeds on August 7, 2014 as pages 77 – 79 in Plan Book 632 of 2014, to which reference may be made for a more particular description, are hereby released from the terms, provisions and conditions as to sale and building thereon as set forth in an Adult Retirement Community Planned Unit Development Covenant between the Medway Planning and Economic Development Board and Millstone Builders LLC dated July 29, 2014 and recorded on August 7, 2014 with the Norfolk County Registry of Deeds in Book 32460, Pages 326 - 331. This Release of Covenant is a release of the entire covenant and relates to all Units in the above referenced project.

Executed under seal this _____ day of _____, 2017.

Signatures of a majority of the members of the Planning & Economic Development Board of the Town of Medway:

COMMONWEALTH OF MASSACHUSETTS

Norfolk County, SS. _____

On this _____ day of _____, before me, the undersigned notary public, personally appeared _____

_____,

members of the Medway Planning and Economic Development Board, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the persons whose names are signed on the above document, and acknowledged to me that they signed it voluntarily and for its stated purpose.

Notary Public

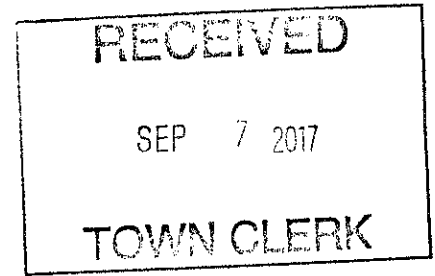
My commission expires:



MILLSTONE VILLAGE

Date 8/24/2017

Michael E. Boynton, Town Administrator
Medway Town Hall
155 Village Street
Medway, MA 02053



Dear Mr. Boynton:

This letter is a formal request to increase the pricing for the last five affordable units at Millstone Estates in Medway. Per the Regulatory Agreement, dated July 29, 2015, the initial sales price is \$174,700. Based on the 2017 HUD Income limits the price would be \$198,300 for households with income at or below eighty percent (80%) of the regional median household income. Attached is the DHCD Price Worksheet.

A price increase is allowed per the Department of Housing and Community Development (DHCD) if the Town of Medway and DHCD agree to the increase through an Addendum to the Regulatory Agreement. Attached is an Addendum for you and the Boards review and, if approved, signature. We will forward the Addendum to DHCD for final approval.

Additionally, we are asking for a change in the location of one affordable housing unit. This is permitted per the Special Permit, Section 5d., page 19 upon direction of DHCD or request of Millstone Builders, LLC. We would like to change Unit 6 for Unit 72.

Please let me know when this request will be placed on the Board of Selectmen's agenda for consideration as I would like to attend.

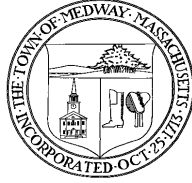
Should you have any questions, please do not hesitate to contact me at 508-560-9440.

Very truly yours,

Steve Venincasa
Millstone Builders, LLC

Enclosure

cc: Rieko Hayashi, Mass Department of Housing and Community Development
Stephanie Mercandetti, Director, Community and Economic Development
Andy Rodenhiser, Chairman, Planning and Economic Development Board
Doug Havens, Community Housing Coordinator
Maureen O'Hagan, MCO Housing Services
Ann Sherry, Chairman, Medway Affordable Housing Trust
Robert Ferrari, Chairman, Medway Affordable Housing Committee



September 12, 2017
Medway Planning & Economic Development Board
Meeting

Construction Reports

- 2 Marc Road/ComCan – Report #30 (8-31-17)
- 2 Marc Road/ComCan – Report #31 (9-1-17)
- 2 Marc Road (ComCan – Report #32 (9-5-17)
- The Haven – Report #8 (8-24-17)
- Wingate Farm Inspection/Punch List/Bond (9-6-17)

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 2 Marc Road	Date 08/31/2017	Report No. 30
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 1 of 2
Contractor Rosenfeld Realty Inc. – Jon Rosenfeld	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS

On Thursday, August 31, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. TT met on-site to inspect completed fine grading and quality of the gravel subbase. Proposed grades appear to have been met during the fine grading. Gravel subbase appears to have been compacted sufficiently on both the site and on Marc Road. TT spoke with Jon Rosenfeld regarding compaction testing of the gravel subbase prior to paving. Paving is scheduled for tomorrow and sieve/proctor results aren't expected to be completed in time for compaction testing prior to paving. TT and Mr. Rosenfeld agreed that paving could commence but compaction testing shall be completed once paving is complete. Holes will be cut in the binder and subbase tested.
- B. It appears the contractor has completed grading the proposed basins and has loamed each basin. The proposed wetland restoration area has also been graded, loamed, seeded and planted.
- C. The contractor is in the process of maintaining the existing swale on the easternmost portion of the site and adding new rip rap check dams. The contractor has left a dam in the swale adjacent to the restoration area so work could commence downstream. Once the work is stabilized the dam will be released and the swale should be in proper working condition.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't	1	Bulldozer	Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe	Asphalt Reclaimer		
Laborers		Loader	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader	1 Static Roller		
Oper. Engr.	2	Bobcat	Vib. Walk Comp.		
Carpenters		Hoeram	Compressor		
Masons		Excavator	1 Jack Hammer		
Iron Workers		Grader	Power Saw		
Electricians		Crane	Conc. Vib.		
Flagpersons		Scraper			
Surveyors		Conc. Mixer			
		Conc. Truck		OFFICIAL VISITORS TO JOB	
		Pickup Truck			
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: None				RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: N/A				Name	Time on-site
				Steven M. Bouley, P.E.	8:30 A.M. – 10:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 2 Marc Road	Date 08/31/2017	Report No. 30
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to pave the site and Marc Road tomorrow.
3. New Action Items
 - A. Contractor shall conduct compaction testing on site and roadway once sieve/proctor results are completed.
4. Previous Open Action Items
 - A. Applicant/contractor to determine cause of standing water in swales and ensure final stabilized swales are clean of all sediment. **TT Update: The contractor is in the process of maintaining the existing swale on the easternmost portion of the site and adding new rip rap check dams. The contractor has left a dam in the swale adjacent to the restoration area so work could commence downstream. Once the work is stabilized the dam will be released and the swale should be in proper working condition.**
 - B. Contractor shall submit sieve/proctor analysis of reclaimed material being used at the 2 Marc Road site.
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 2 Marc Road	Date 09/01/2017	Report No. 31
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 1 of 2
Contractor Rosenfeld Realty Inc. – Jon Rosenfeld	Weather A.M. SUNNY P.M. SUNNY	Temperature A.M. 60° P.M. 80°

FIELD OBSERVATIONS

On Friday, September 1, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. TT on-site for binder paving operations at the site and Marc Road. The contractor is placing approximate 2.5" (loose) bituminous concrete binder to achieve a final compacted depth of 2" across the proposed site parking and drive aisles. The contractor placing approximate 3" (loose) bituminous concrete binder to achieve final compacted depth of 2.5" along Marc Road. Contractor not expected to complete Marc Road paving today, will complete next week.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	(1)	Dept. or Company	Description of Work
Foreman	1(1)	Backhoe		Asphalt Reclaimer		Lazaro Paving (n)	Binder Paving
Laborers	1(4)	Loader		Vib. Roller	(2)		
Drivers		Rubber Tire Backhoe/Loader	1	Static Roller			
Oper. Engr.	1(3)	Bobcat	1	Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper					
Surveyors		Conc. Mixer					
		Conc. Truck				OFFICIAL VISITORS TO JOB	
		Pickup Truck					
		Tri-Axle Dump Truck	(5)				
		Trailer Dump Truck					
Police Details: 1						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 4:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	8:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 2 Marc Road	Date 09/01/2017	Report No. 31
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to pave the site and Marc Road tomorrow.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. Applicant/contractor to determine cause of standing water in swales and ensure final stabilized swales are clean of all sediment. TT Update: The contractor is in the process of maintaining the existing swale on the easternmost portion of the site and adding new rip rap check dams. The contractor has left a dam in the swale adjacent to the restoration area so work could commence downstream. Once the work is stabilized the dam will be released and the swale should be in proper working condition.
 - B. Contractor shall submit sieve/proctor analysis of reclaimed material being used at the 2 Marc Road site.
 - C. Contractor shall conduct compaction testing on site and roadway once sieve/proctor results are completed.
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 2 Marc Road	Date 09/05/2017	Report No. 32
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 1 of 2
Contractor Rosenfeld Realty Inc. – Jon Rosenfeld	Weather A.M. SUNNY P.M.	Temperature A.M. 75° P.M.

FIELD OBSERVATIONS

On Tuesday, September 5, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. TT on-site for binder paving operations on Marc Road. The contractor placing approximate 3" (loose) bituminous concrete binder to achieve final compacted depth of 2.5" along Marc Road. Contractor planning to raise structures later this week.
- B. TT observed low spot adjacent to the eastern side of the eastern driveway to the site at the intersection of Marc Road. TT will contact the contractor/engineer to determine proposed drainage at this location.
- C. Contractor in process of grading loam between wetland restoration area and Infiltration Basin #2. Contractor also in process of grading proposed sediment trap on eastern portion of the site.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver	(1)	Dept. or Company	Description of Work
Foreman	1(1)	Backhoe		Asphalt Reclaimer		Lazaro Paving (n)	Binder Paving
Laborers	(4)	Loader		Vib. Roller	(2)		
Drivers		Rubber Tire Backhoe/Loader	1	Static Roller			
Oper. Engr.	2(3)	Bobcat		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper					
Surveyors		Conc. Mixer					
		Conc. Truck				OFFICIAL VISITORS TO JOB	
		Pickup Truck					
		Tri-Axle Dump Truck	(5)				
		Trailer Dump Truck					
Police Details: 1						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 12:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	7:00 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 2 Marc Road	Date 09/05/2017	Report No. 32
Location 2 Marc Road – Medway, MA 02053	Project No. 143-21583-16009	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to pave the site and Marc Road tomorrow.
3. New Action Items
 - A. Contractor/Engineer to provide drainage for low spot adjacent to eastern side of eastern entrance to the site.
4. Previous Open Action Items
 - A. Applicant/contractor to determine cause of standing water in swales and ensure final stabilized swales are clean of all sediment. TT Update: The contractor is in the process of maintaining the existing swale on the easternmost portion of the site and adding new rip rap check dams. The contractor has left a dam in the swale adjacent to the restoration area so work could commence downstream. Once the work is stabilized the dam will be released and the swale should be in proper working condition.
 - B. Contractor shall submit sieve/proctor analysis of reclaimed material being used at the 2 Marc Road site.
 - C. Contractor shall conduct compaction testing on site and roadway once sieve/proctor results are completed.
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project The Haven, Subdivision - Medway, MA	Date 08/24/2017	Report No. 8
Location 13 & 15A Fisher Street – Medway, MA 02053	Project No. 143-21583-17003	Sheet 1 of 2
Contractor General Excavating Co. – Phil George	Weather A.M. SUNNY P.M.	Temperature A.M. 70° F P.M.

FIELD OBSERVATIONS

On Thursday, August 24, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and construction progress. The following observations were made:

1. Observations
 - A. Contractor not conducting work at time of inspection. Contractor has installed 12" gravel base course along the length of the proposed roadway. Yankee Engineering & Testing, Inc. (Yankee) on-site to test prepared roadway gravel base for compaction. Yankee stated all tests yielded proper compaction.
 - B. TT and the contractor spoke of the proposed crown in the roadway as shown on the Roadway Cross Section detail shown on the approved plans. We determined that the detail is incorrect as there is no proposed curb along the length of the roadway to control stormwater runoff. The contractor graded the cross section flat and followed the proposed profile of the roadway directing all runoff to the catch basins at the rear of the site.
 - C. TT spoke with the contractor regarding the inspection ports for the Infiltration trench. The contractor will install the inspection ports once truck traffic has ceased at the site in order to protect the ports. TT stressed that during installation the ports must be wrapped with filter fabric and the contractor shall make all efforts to protect the crushed stone around the system from sediment during installation.
 - D. TT directed the contractor to sawcut the joint and tack where proposed Sorrento Lane meets Fisher Street.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't	1	Bulldozer	Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe	Asphalt Reclaimer	Yankee Engineering	Compaction Testing
Laborers	2	Loader	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader	Static Roller		
Oper. Engr.		Bobcat	Vib. Walk Comp.		
Carpenters		Hoeram	Compressor		
Masons		Excavator	Jack Hammer		
Iron Workers		Grader	Power Saw		
Electricians		Crane	Conc. Vib.		
Flagpersons		Scraper			
Surveyors		Conc. Mixer			
		Conc. Truck		OFFICIAL VISITORS TO JOB	
		Pickup Truck			
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: None				RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: N/A				Name	Time on-site
				Steven M. Bouley, P.E.	9:A.M. – 10:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project The Haven, Subdivision - Medway, MA	Date 08/24/2017	Report No. 8
Location 13 & 15A Fisher Street – Medway, MA 02053	Project No. 143-21583-17003	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor will pave binder course tomorrow.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. The contractor shall confirm if the 6" inspection ports have been installed on the end CULTEC units per the approved plan details. **TT Update:** See Item C on previous page.
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven M. Bouley, P.E. – Tetra Tech
Frank Guthman III – Tetra Tech



Date: September 6, 2017

Subject: Wingate Farms Punch List

On August 25, 2017 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT) conducted a punch list inspection of the Wingate Farms private subdivision in Medway, MA. The site was inspected and a punch list and bond estimate generated of outstanding items which have not yet been completed by the Applicant. This punch list shall supersede previous punch lists conducted for the site.

The inspection was conducted using the following documents:

- A plan (Plans) set titled "Definitive Subdivision Plan of Wingate Farm, Medway, Mass.", dated November 20, 1997, revised May 25, 2000, PEDB endorsement August 22, 2000, prepared by Desimone Survey Service, Inc. (DSS).
- A Certificate of Approval dated May 23, 2000, PEDB endorsement May 23, 2000.
- A Certificate of Action dated April 28, 2005, PEDB endorsement April 28, 2005.
- VHB Inspection Reports dated December 12, 2006, December 15, 2006, December 19, 2006 and December 27, 2006.

Punch List

1. The existing roadway gravel requires replacement. We recommend removing four inches of material (including any organic matter/roots which may be present) over the entire square footage of the roadway and replacing with clean gravel material. TT does not have access to modified plans but modified decision states the use of T-Base (gravel with millings) as a surface course on the roadway. (See Photo 1-4)
2. Overflow weir has not been installed in the detention basin and the basin is overgrown and requires maintenance. The basin outlet pipes appear to be different than the proposed plans. VHB inspection reports confirm use of three 6" outlet pipes with 6" x 4" reducers placed on the outlet side, this was confirmed in the field. (See Photo 5-7)
3. Segmental Block Retaining walls have not been installed as well as appurtenant wall drainage.
4. A single catch basin grate has been installed at STA 3+75 Left and the plan calls for a double grate at that location. (See Photo 8)
5. Curb has not been installed along the length of the gravel roadway. However, the modified decision approved a waiver to remove curb from the proposed plans. Catch basins exist at the site which would require curb to control and channelize stormwater to be directed to the structures. TT requests clarification on proposed/approval/modified drainage system.

6. The existing drainage system requires cleaning prior to release.
7. The applicant has not installed proposed intersection warning signage on Holliston Street and it does not appear a sufficient sight line exists for vehicles exiting the proposed driveway taking a left onto Holliston Street. A crest in Holliston Street exists approximately 200 feet north of the site driveway limiting sight lines to 200' with a 415' required sight line as shown on the Plans. (See Photo 9-12)

Many items appear to be unclear compared to the Plans/Decisions provided, particularly the drainage design and changes to the roadway and appurtenant infrastructure. We reserve the right to modify this punch list and associated bond estimate as additional documents are/may be provided. These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-17009 (WINGATE FARMS REVIEW)\CONSTRUCTION\PUNCH LIST\MEMO_WINGATE FARMS PUNCH LIST_2017-09-06.DOC

Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



**TETRA TECH**

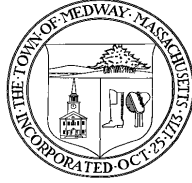
**Bond Estimate
Wingate Farms
Medway, Massachusetts
September 6, 2017**

**Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201**

DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
Remove Existing Gravel (4")	172	CY	\$35.00	\$6,020
Roadway Gravel (Reclaimed Asphalt)	1,555	SY	\$6.00	\$9,330
Detention Basin Overflow Weir	1	LS	\$1,200.00	\$1,200
Detention Basin Maintenance	1	LS	\$2,500.00	\$2,500
Segmental Block Retaining Wall	825	SF	\$20.00	\$16,500
Double Catch Basin Frame/Grate	1	EA	\$800.00	\$800
Clean Drainage System	1	LS	\$2,500.00	\$2,500
Traffic Signage	2	EA	\$200.00	\$400
Stormwater System Observation	1	LS	\$2,500.00	\$2,500
As-Built Plans	505	LF	\$5.00	\$2,525
Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal				\$47,275
25% Contingency				\$11,819
Total				\$59,094

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 9/2016 - 9/2017. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.



September 12, 2017
Medway Planning & Economic Development Board
Meeting

UPDATED – 9/11/17

Country Cottage Children's Center
Minor Site Plan (Exempt Use)
35-37 Summer Street

- Public Notice
- Site Plan Application
- Project Description
- Site Plan
- Architectural Plan
- PGC Plan Review Comments
- **Tetra Tech Review Comments**

~~NOTE – Tetra Tech review comments are forthcoming.~~

NOTE – The DRC is reviewing this project at its meeting on Monday, 9/11



RECEIVED

AUG 25 2017

TOWN CLERK

TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

August 25, 2017

Country Cottage Children's Center Site Plan
35-37 Summer Street
PUBLIC MEETING NOTICE
Tuesday, September 12, 2017

In accordance with the Medway Zoning Bylaw, Section 3.5 Site Plan Review, and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will consider the application of Robin and David Beaudreau of Uxbridge, MA for approval of a minor site plan for the construction of a new facility for the Country Cottage Children's Center at 35-37 Summer Street.*** This will occur during its meeting on Tuesday, September 12, 2017, to be held in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. This matter will be considered at 7:30 p.m.

The subject site is 33,898 square feet and is located on the west side of Summer Street immediately south of Rustic Road. The property is bounded by 33 Summer Street on the south and by 3 Rustic Road on the west. The properties, shown on the Medway Assessors Map as Parcels #56-017 and #56-018, are owned by Robin and David Beaudreau. The property is located in the Agricultural-Residential II Zoning District.

The site plan is titled *Country Cottage Day Care*, is dated August 24, 2017, and was prepared by Engineering Design Consultants of Southborough, MA. The site plan shows the construction of a single story 5,080 sq. ft. building with 22 parking spaces, stormwater drainage facilities, outdoor activity areas, fencing, and landscaping. Site traffic will be managed by a two-way egress at Rustic Road and a one-way exit only egress at Summer Street.

NOTE – All child care facilities are exempt under the Massachusetts Zoning Act, Chapter 40A, Section 3. Therefore, this facility can be constructed at this location, despite its inclusion in the Agricultural-Residential II zoning classification. However, state law also specifies that child care facilities are subject to “reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirement.” Those aforementioned “reasonable regulations” provide the framework for the Board’s review.

The application materials were filed with the Town on August 24, 2017 and are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed Monday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans and application documents will be available for viewing at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the plans, attend the meeting, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. All comments will be entered into the record during the public meeting. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Board of Parks Commissioners, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.

Application for Review and Approval
MINOR SITE PLAN PROJECT
Planning Board – Town of Medway
155 Village Street - Medway, MA 02053
(508) 533-3291



This application for Site Plan Review and Approval is made pursuant to the Medway Zoning By-Law, Section V. USE REGULATIONS, Sub-Section C. SITE PLAN REVIEW & APPROVAL.

Date: 8/24/2017

The undersigned, being the applicant and the owner of all land included within the proposed site shown on the accompanying Site Plan entitled Country Cottage Day Care dated August 24, 2017 prepared by Engineering Design Consultants of Dorchester, Ma herewith submits this application to the Medway Planning Board for Review and Approval of a *Minor Site Plan Project*.

PROPERTY/SITE INFORMATION

1. Property Location Address: 35 Summer St.
2. Assessor=s Information: Map: 56 Parcel: 017+018
3. Zoning District: AR-11
4. The owner's title to the land is derived under a deed from: Exelon West Medway II, LLC dated 6-9-17 and recorded in Norfolk County Registry of Deeds, Book 35175, Page 390 or Land Court Certificate of Title # _____ registered in Norfolk County District Book _____ Page _____.
5. Frontage: 167.37 Ft.
Yard Depth: Front 57.6' Side 27.8' Side _____ Rear 46.2'
6. Is any portion of the site within a flood plain area? _____ Yes X No
If Yes, is it clearly shown on the plan? _____ Yes _____ No
7. Is any portion of the site within a wetland resource area? X Yes _____ No
If Yes, is it clearly shown on the plan? X Yes _____ No
8. Does any portion of the site have frontage on a Scenic Road? _____ Yes X No

CONTACT INFORMATION

9a) Property Owner: Robin & David Beaudreau
 Address: 575 East Hartford Ave.
Weybridge, MA 01569
 Primary Contact: Robin Beaudreau
 Telephone: 508 498-3496 FAX: _____
 E-mail: Rmbeaudreau@gmail.com

9b) Applicant (if other than property owner): Nance
 Address: _____

 Primary Contact: _____
 Telephone: _____ FAX: _____
 E-Mail: _____

_____ Please check here if you are the equitable owner (purchaser on a purchase and sales agreement.)

9c) **NOTE** – If someone other than the property owner or the equitable owner is the applicant or will be representing the applicant, then the property owner or equitable owner must designate an Official Representative below:

Official Representative: Peter Benis
 Address: 32 Turnpike Rd.
Southboro, MA 01772
 Primary Contact: _____
 Telephone: 508 480-0225 Fax: _____
 E-Mail: pbenis@edema.com

10. Engineer: Engineering Design Consultants
 Address: 32 Turnpike Rd.
Southboro, MA 01772
 Primary Contact: Peter Benis
 Telephone: 508 480-0225 FAX: 800 832-5781
 E-Mail: pbenis@edema.com

11. Surveyor: _____
 Address: _____

 Primary Contact: _____
 Telephone: _____ FAX: _____

12. Architect: Cubic Architects LLC
 Address: 33 Bowditch Lane
Plymouth, MA 02360
 Primary Contact: Walter Fuller
 Telephone: 617 314-7330 FAX: _____

PROJECT INFORMATION - Type of Project

13. A Minor Site Plan Project is defined as any construction, alteration, reconstruction or renovation project or change of use (*not included within the definition of a Major Site Plan Project*) which requires a building permit and which involves one or more of the following:

PLEASE CHECK (X) ALL THAT APPLY

_____ *Exterior Alteration* – A change in the outside appearance of an existing building or premises, visible from a public or private street or way.

Building Dimensions: _____ Gross Floor Area _____

_____ *Change in Use* – A change in use of an existing building requiring five (5) or more but less than fifteen (15) parking spaces

Building Dimensions: _____ Gross Floor Area _____

_____ *New Construction* – Construction of a new building or an addition to an existing structure requiring five (5) or more but less than fifteen (15) parking spaces

Building Dimensions: _____ Gross Floor Area _____

_____ *Change in Parking Area* – Construction, expansion, redesign or alteration of a parking area involving the addition of five (5) or more but less than fifteen (15) new parking spaces

_____ *Other* – A site, which through continuous or proposed use, may be detrimental to municipal infrastructure or public safety

Building Dimensions: _____ Gross Floor Area _____

☒ *Other* – Any use or structure, or expansion thereof, exempt under MGL, c. 40A, s. 3, but only if one or more of the above criteria is met

NOTE – Gross Floor Area includes the existing building and proposed addition if any, and/or proposed new building.

14. *Project Description* as specified in the Application Guidelines.
15. *Development Impact Report* as specified in the Application Guidelines.

SIGNATURES

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true and complete to the best of my knowledge and belief.

If applicable, I hereby authorize Peter Bonis
to serve as my OFFICIAL REPRESENTATIVE to represent my interests before the Town of Medway with respect to this application for site plan review and approval.

In submitting this application, I also authorize the Planning Board, its agents, and other Town officials to access the site during the site plan review process.

Robin Beaudreau
Signature of Property Owner

8-24-17
Date

Robin Beaudreau
Signature of Applicant (if other than Property Owner)

8-24-17
Date

[Signature]
Signature of Official Representative

8/24/17
Date

APPLICATION SUBMITTALS - Required

Town Clerk

- ☒ One (1) Minor Site Plan Project Application form with original signatures
- ☒ One (1) copy of the Project Description
- ☒ One (1) full size set of the Site Plan
- ☒ ~~NA~~ One (1) copy of the Development Impact Report
- ☒ One (1) copy of the Stormwater Drainage Evaluation

Planning Board

- ☒ One (1) Minor Site Plan Project Application form with original signatures plus sixteen (16) copies
- ☒ One (1) copy of the Inspector of Building's written determination that the proposed scope of work constitutes a Minor Site Plan.
- ☒ Sixteen (16) copies of the written Project Description as specified in the Application Guidelines.
- ☒ ~~NA~~ Sixteen (16) copies of a written Development Impact Report.
- ☒ Sixteen (16) sets of the Site Plan – 3 full size (24" x 36") and 13 reduced size (11" x 17").
- ☒ One (1) list of requested waivers from the DEVELOPMENT STANDARDS of the Site Plan Rules and Regulations.
- ☒ Three (3) copies of the Stormwater Drainage Evaluation
- ☒ One (1) certified list of all abutters and parties of interest within 300 feet
- ☒ One (1) copy of all relevant approvals received to date from other town boards and commissions
- ☒ Minor Site Plan Project Filing Fee – Made payable to the Town of Medway
\$250 + \$.10/sq. ft. of gross floor area
NOTE – Gross Floor Area includes the existing building and proposed addition if any, and/or the proposed new building
- ☒ Minor Site Plan Project Review Fee - Made payable to the Town of Medway
\$500 deposit

NOTE - 2 separate checks are to be submitted.

August 24, 2017

Planning Board
Town Hall
155 Village Street
Medway MA 02053

Reference: Minor Site Plan Review
Country Cottage Daycare
35 Summer Street, Medway, Massachusetts
EDC Job No.: 3561

Dear Board Members:

On behalf of Robin & David Beaudreau, owner and applicant of the above referenced project, we filing herewith a Minor Site Plan Review for the Country Cottage Daycare Facility proposed for the now vacant 33,898 SF. plot of land identified as Map 56 Parcels 017 and 018 located at 35 Summer Street. A separate filing has been made with the Medway Conservation Commission for the proposed site work as a portion of the site located within the outer limits of the 100-foot buffer zone of a bordering vegetated wetland that is located on the north side of Rustic Road. The proposed Country Cottage Daycare facility consists of constructing a single story 5,080 SF. building with 22 parking spaces with supporting water, sewer, gas, electric, telephone and cable utility services and has been designed in accordance with MDEP Stormwater Management Guidelines that will infiltrate 100% of the storm water generated from the building and parking lot surfaces which will also undergo pre-treatment within ConTech Stormwater units. Although the site is less than one acre in size the construction activities will still be managed by a SWPPP.

Site traffic will be managed through a two-way egress at Rustic Road and a one-way exit only egress at Summer Street. The Rustic Road egress is located over 100-feet from the Summer Street intersection which affords sufficient site distance and queuing for both entering and exiting traffic flow. The exiting traffic from this driveway will be limited to staff traffic as the parking spaces that allow discharge to this driveway are restricted to staff. The Summer Street driveway is intended as an exit-only discharge driveway and affords sufficient site distance and queuing for exiting traffic flow. Along the front of the building the driveway is wide affording a transient drop-off lane that can also support queuing traffic. Existing traffic onto Summer Street will also benefit from the signalized intersection located a short distance away at Milford and Summer Street allowing for preset traffic calming periods.

Project refuse will be managed by a local licensed refuse hauler with an onsite gravity dumpster that will be located within a 6-foot PVC Panel Fence enclosure. The daycare operation will include outdoor activity areas to be located at the rear of the facility. The area provides three separate zones of 2,500 SF. that will be surrounded by a 6-foot PVC Panel Fence enclosure. A monument sign will be located at the Summer Street and Rustic Road intersection. Handicap accessible sidewalks are provided along the building front and along both Rustic Road and Summer Street at each driveway intersection. Internal site identification signs are provided for handicap and staff parking spaces, and do not enter signs. The site plan includes street trees along the abutting roadways and shrubs and perennials along the building.

We believe that the site development plans for the Country Cottage Daycare facility are in compliance with the Medway Site Plan Review Requirements and look forward to the opportunity to present this package at you next available meeting date. Thank you for your consideration and assistance with this project.

Very truly yours,

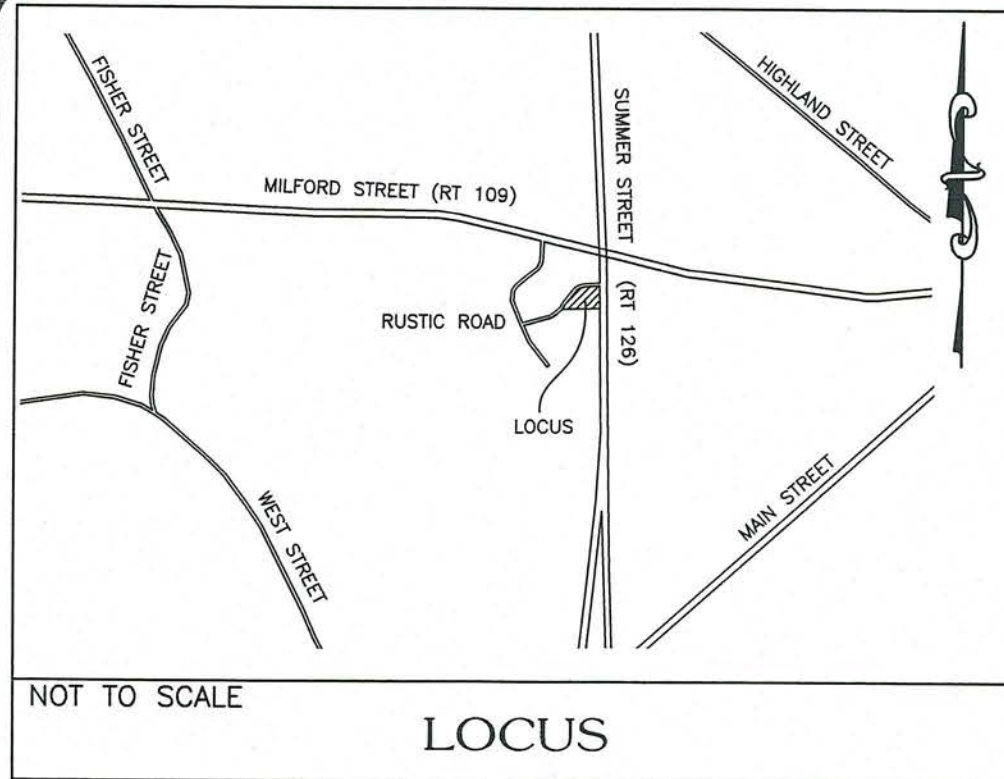
ENGINEERING DESIGN CONSULTANTS, INC.



Peter Bemis

cc. Robin & David Beaudreau

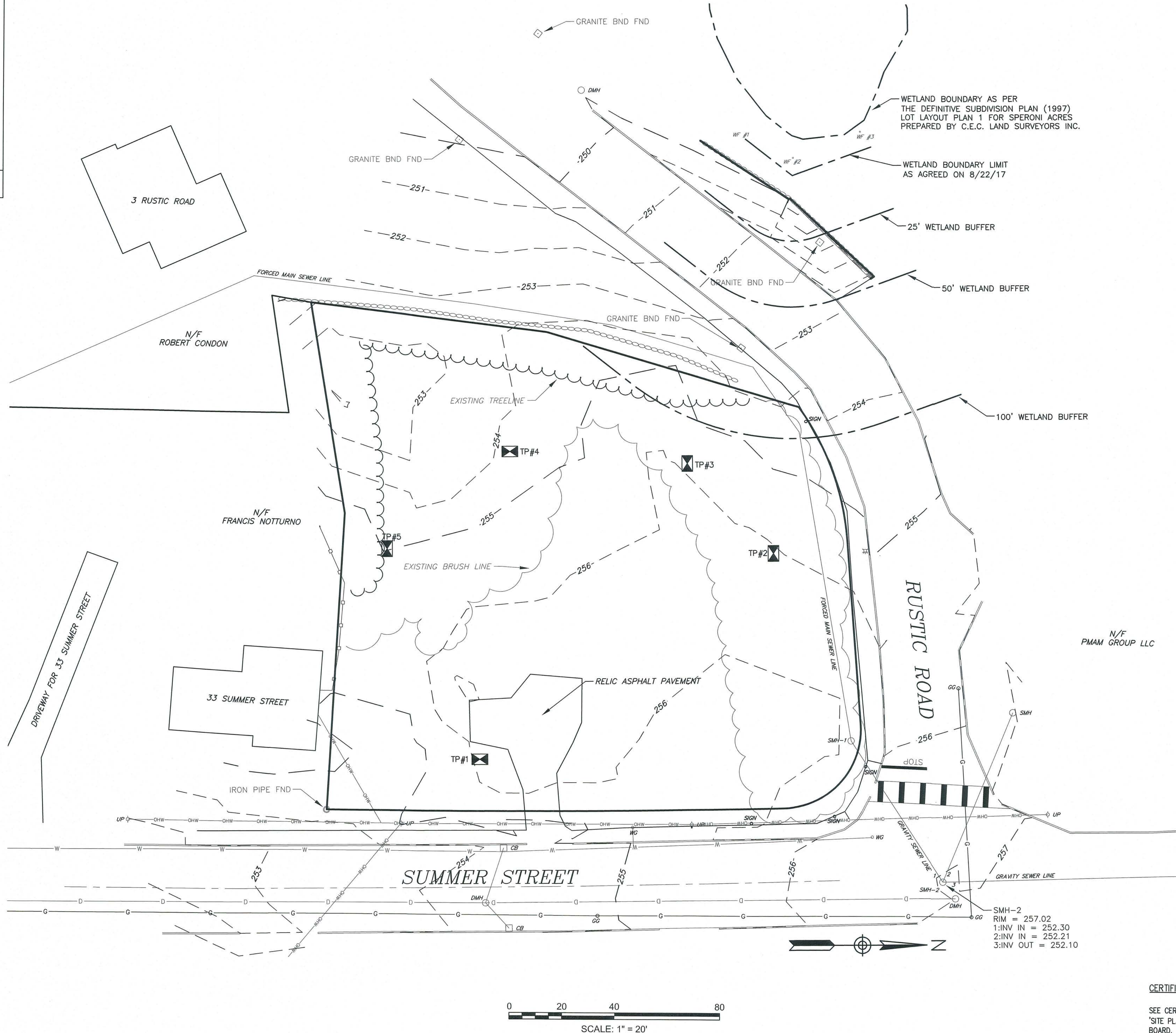
\\SERVER\DC\008\3561\AUTOCAD FILES\DWG\3561 STEP PLAN (ONE-WAY FLOW)



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE
CONTRACTOR TO VERIFY LOCATIONS AND
ELEVATIONS OF EXISTING UTILITIES PRIOR
TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS
HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



PROJECT INFORMATION:

CURRENT OWNER: ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MA 01569

MEDWAY ASSESSORS ID: 56-017 & 56-018
DEED REFERENCE: BOOK 35175 PAGE 390

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY
OF DEEDS IN A 1958 PLAN TITLED "PLAN OF LAND IN MEDWAY, MASS." BY BOWME ENGINEERING CO. AND
IN A 1997 PLAN TITLED "SPERONI ACRES" BY C.E.C. LAND SURVEYORS, INC.

ZONING: AGRICULTURAL RESIDENTIAL II (AR-II) DISTRICT

	REQUIRED	EXISTING
MIN. LOT AREA:	22,500 S.F.	33,898 ±S.F.
MIN. FRONTAGE:	150 FT.	167.37± FT.
SETBACKS:		
FRONT	35 FT.	NA
REAR	15 FT.	NA
SIDE	15 FT.	NA
MAX. BUILDING COVER:	30%	0%
MAX. IMPERVIOUS COVER:	40%	4%
MIN. OPEN SPACE:	NA	32,550 ±S.F.
MAX. BUILDING HEIGHT:	35 FT	NA

LEGEND

BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CO	CATCHBASIN
CLF	CLEAN OUT
CONC	CHAIN LINK FENCE
CW	CONCRETE
DMH	CROSSWALK
D	DRAIN MANHOLE
ELEC	DRAIN LINE
EMH	ELECTRIC
ECB	ELECTRIC MANHOLE
FD	EROSION CONTROL BARRIER
GG	FOUNDATION DRAIN
GC	GAS GATE
GC	GAS LINE
HC	GAS GATE
HYD	HANDICAPPED RAMP
INV	HYDRANT
LP	INVERT
MH	LIGHT POLE
PVC	MANHOLE
RCP	POLY-VINYL-CHLORIDE
RD	REINFORCED CONCRETE PIPE
S	ROOF DRAIN
SMH	SEWER LINE
S	SEWER MANHOLE
SB/DH	SEWER
TELE	STONE BOUND/DRILLHOLE
TMH	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TRANS	TEST PIT
VGC	TRANSFORMER
WG	VERTICAL GRANITE CURB
W	WATER GATE
W	WATER LINE
W	WETLAND FLAG

SITE PLAN REVIEW
MEDWAY PLANNING BOARD

DATE: _____

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, SEPTEMBER XX, 2017 FOR PLAN ENTITLED,
"SITE PLAN, COUNTRY COTTAGE DAYCARE, MEDWAY MASSACHUSETTS," FROM THE MEDWAY PLANNING
BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE
RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS,
TECHNIQUES, OR PROCEDURES UTILIZED BY THE
CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR
CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE
CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE
WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR
THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS
THIRD PARTY COSTS.

DRAWN BY: ZRB
CHECKED BY: PSB
APPROVED BY: WML

REVISIONS:
0 8/24/17 DATE
REV 1

SITE PLAN REVIEW
DESCRIPTION



PREPARED BY:



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

TITLE:

EXISTING CONDITIONS
COUNTRY COTTAGE DAY CARE

OWNER/APPLICANT:

ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO: 3561

EXISTING CONDITIONS

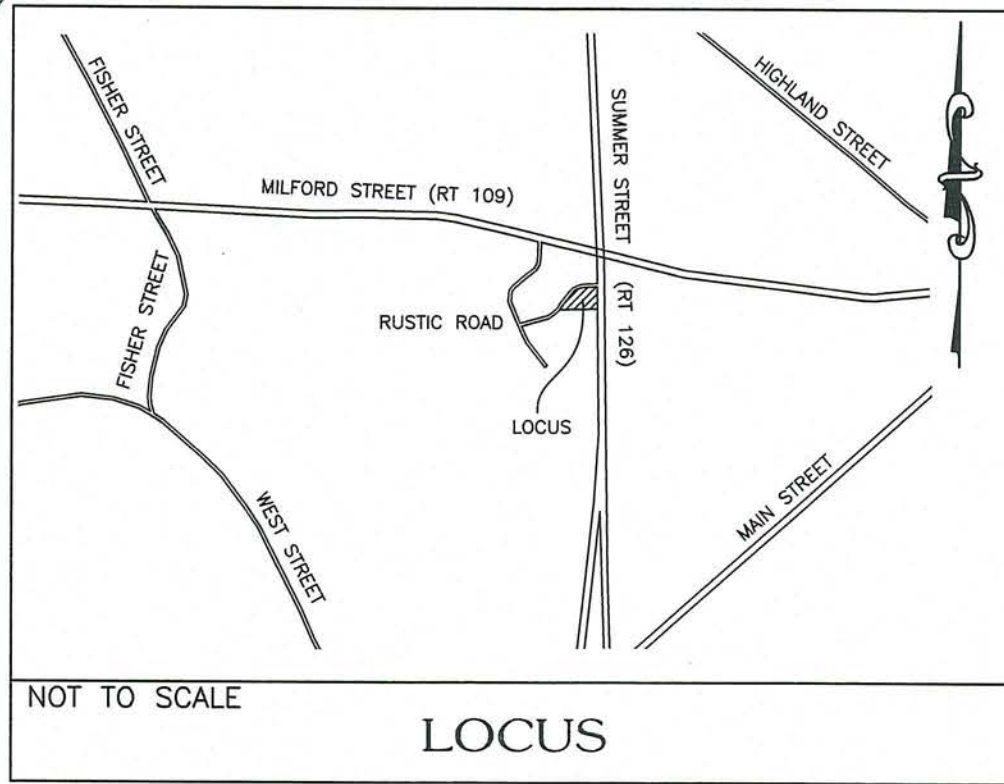
DATE: AUGUST 24, 2017

PLAN NUMBER:

1 of 5

1

\\SERVER001\DESIGN\AUTOCAD FILES\3561 STEP PLAN (ONE-WAY FLOW)



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE
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TO COMMENCEMENT OF ANY CONSTRUCTION

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HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



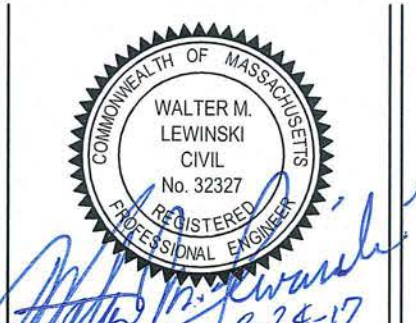
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WITH THE CONTRACT DOCUMENTS.

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THIRD PARTY COSTS.

REVISIONS			
REV	DATE	DESCRIPTION	
0	8/24/17	SITE PLAN REVIEW	
1			
2			

DRAWN BY: ZRB
CHECKED BY: PSB
APPROVED BY: WML



PREPARED BY:
EDC
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph: (508) 480-0225 fax: (800) 832-5781

PROJECT:
COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

TITLE:
**PROPOSED LAYOUT
COUNTRY COTTAGE DAY CARE**

OWNER/APPLICANT:
ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO: 3561
PROPOSED LAYOUT
DATE: AUGUST 1, 2017
PLAN NUMBER:
2 of 5
2

PROJECT INFORMATION:

CURRENT OWNER: ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MA 01569

MEDWAY ASSESSORS ID: 56-017 & 56-018
DEED REFERENCE: BOOK 35175 PAGE 390

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IN A 1997 PLAN TITLED "SPERONI ACRES" BY C.E.C. LAND SURVEYORS, INC.

ZONING: AGRICULTURAL RESIDENTIAL II (AR-II) DISTRICT

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	22,500 S.F.	33,898 ±S.F.	
MIN. FRONTAGE:	150 FT.	167.37± FT.	
SETBACKS:			
FRONT	35 FT.	NA	57.6± FT.
REAR	15 FT.	NA	46.2± FT.
SIDE	15 FT.	NA	27.8± FT.
MAX. BUILDING COVER:	30%	0%	15%
MAX. IMPERVIOUS COVER:	40%	4%	50%
MIN. OPEN SPACE:	NA	32,550 ±S.F.	50%
MAX. BUILDING HEIGHT:	35 FT	NA	

LEGEND

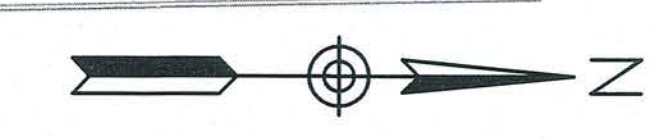
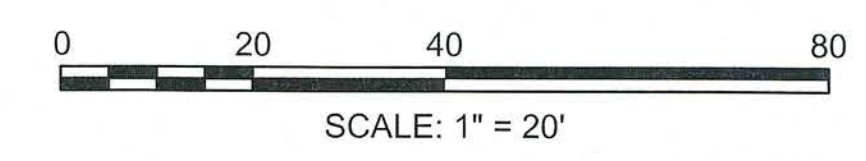
BIT CONC	BITUMINOUS CONCRETE
CB	CATCHBASIN
CO	CLEAN OUT
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CW	CROSSWALK
DMH	DRAIN MANHOLE
D	DRAIN LINE
ELEC	ELECTRIC
EMH	ELECTRIC MANHOLE
ECB	EROSION CONTROL BARRIER
FD	FOUNDATION DRAIN
GC	GAS GATE
GAS	GAS LINE
GG	GAS GATE
HC	HANDICAPPED RAMP
HYD	HYDRANT
INV	INVERT
LP	LIGHT POLE
MH	MANHOLE
PVC	POLY-VINYL-CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
S	SEWER LINE
SMH	SEWER MANHOLE
S	SIGN
SB/DH	STONE BOUND/DRILLHOLE
TELE	TELEPHONE LINE
TMH	TELEPHONE MANHOLE
TP	TEST PIT
TRANS	TRANSFORMER
VGC	VERTICAL GRANITE CURB
WG	WATER GATE
W	WATER LINE
W-5	WETLAND FLAG

SITE PLAN REVIEW
MEDWAY PLANNING BOARD

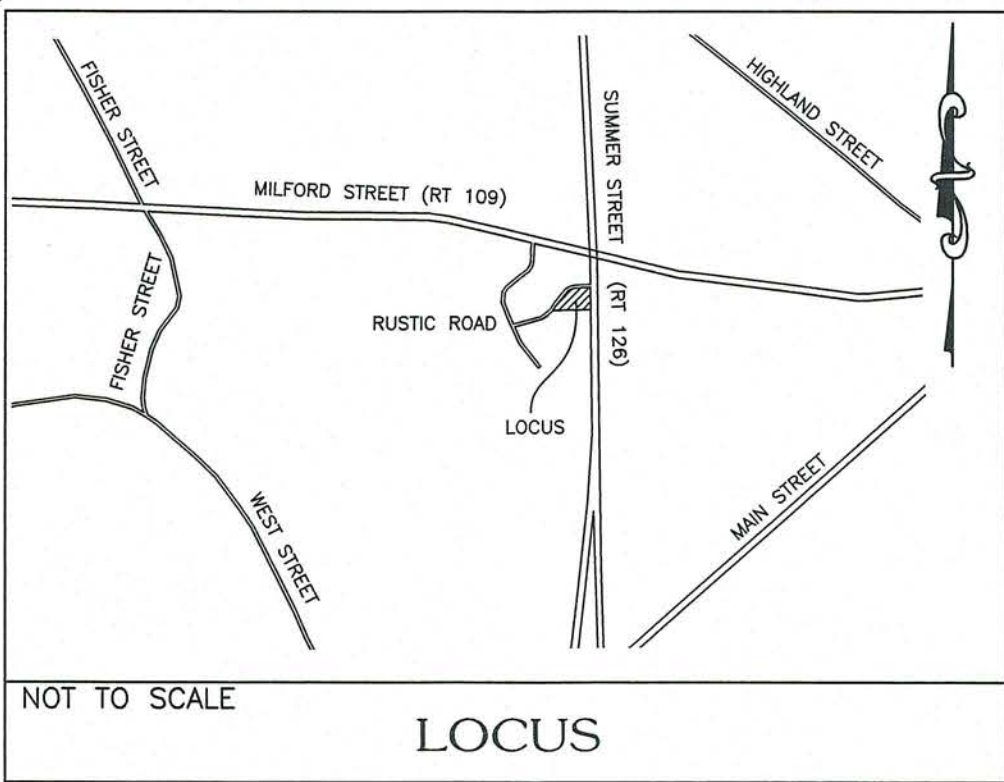
DATE: _____

CERTIFICATE OF VOTE

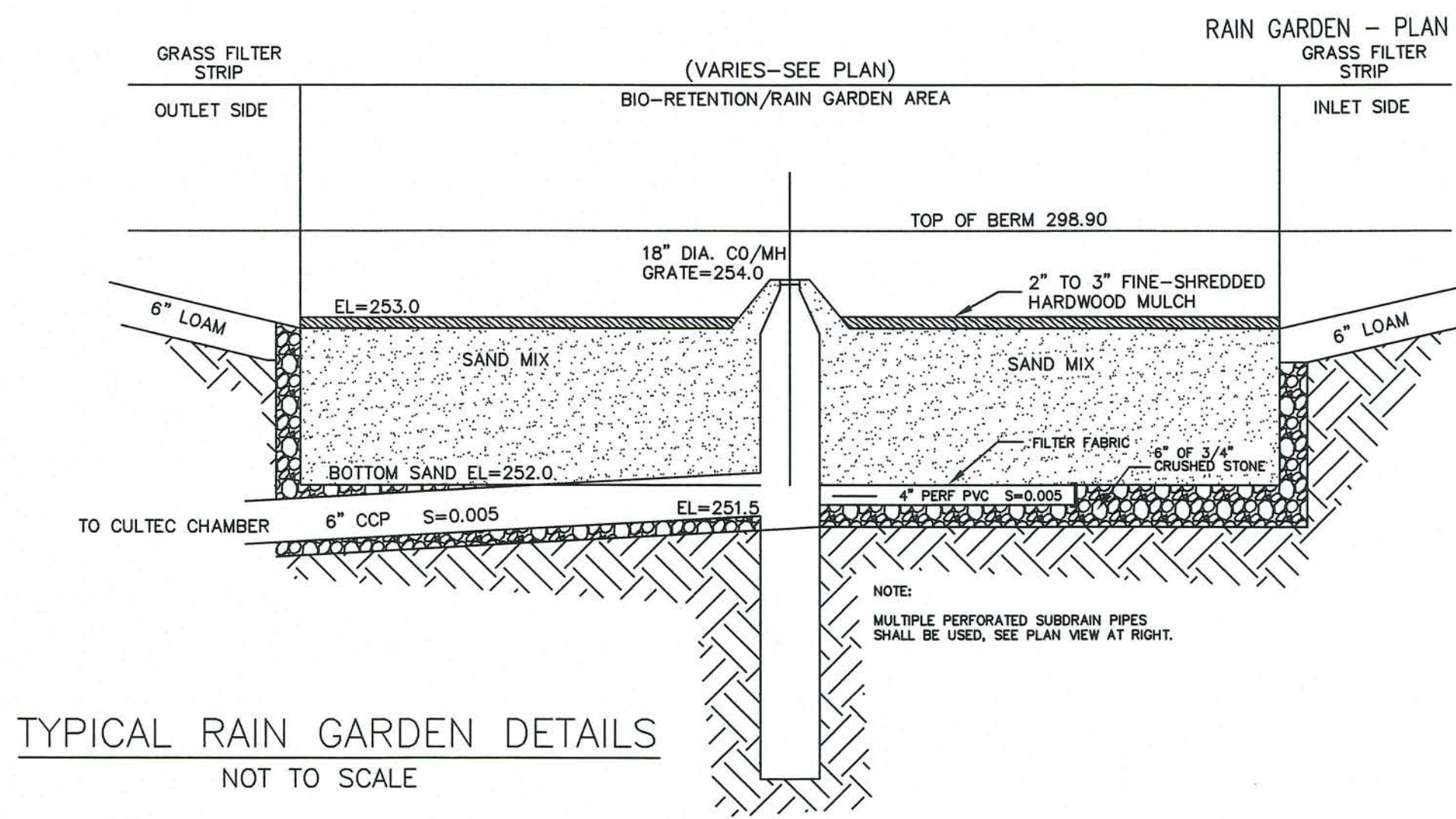
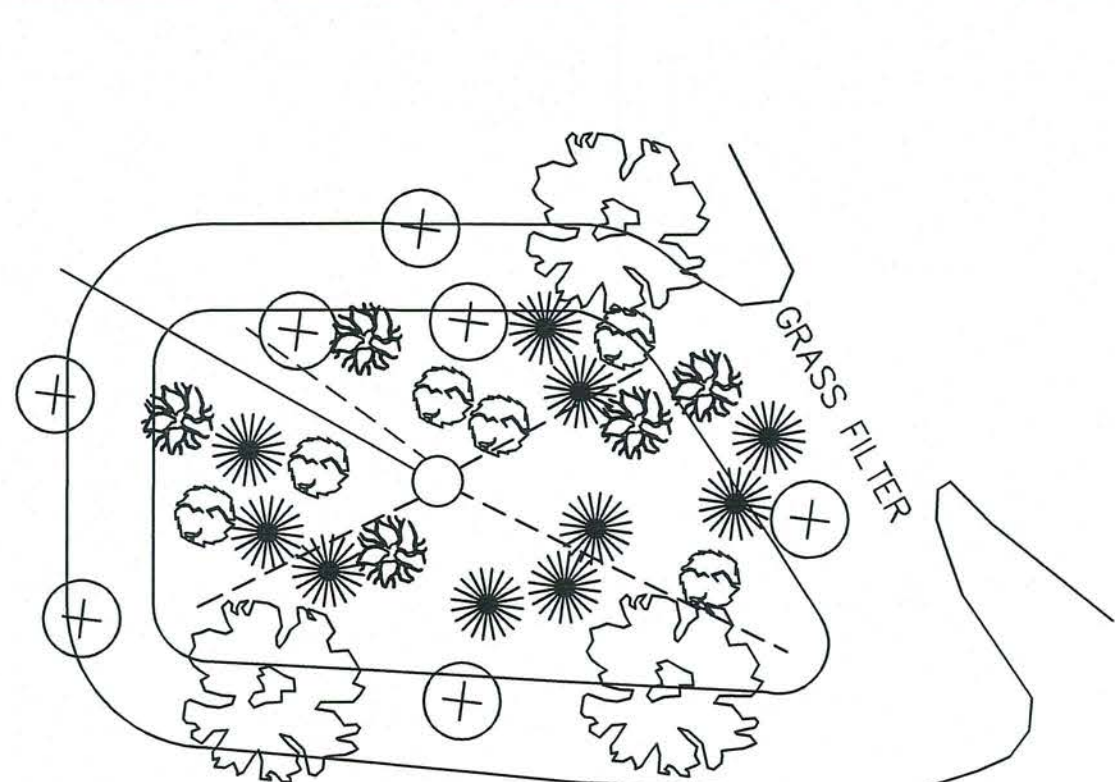
SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, SEPTEMBER XX, 2017 FOR PLAN ENTITLED,
"SITE PLAN, COUNTRY COTTAGE DAYCARE, MEDWAY MASSACHUSETTS," FROM THE MEDWAY PLANNING
BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.



UNRECORDED JOBS: 1581 AUTOCAD FILES (NO. 381) SITE PLAN (ONE-WAY FLOW)

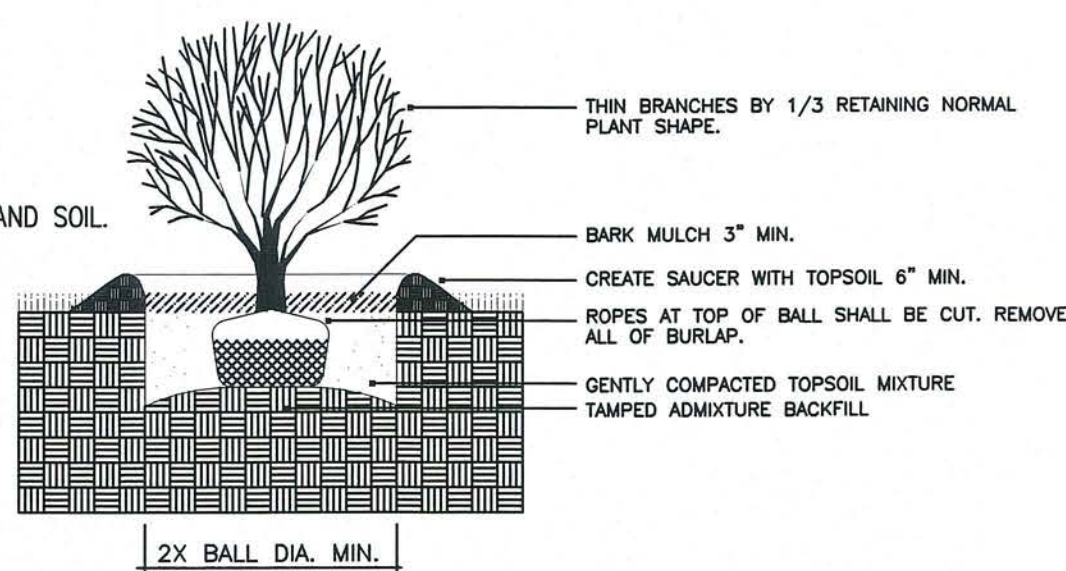
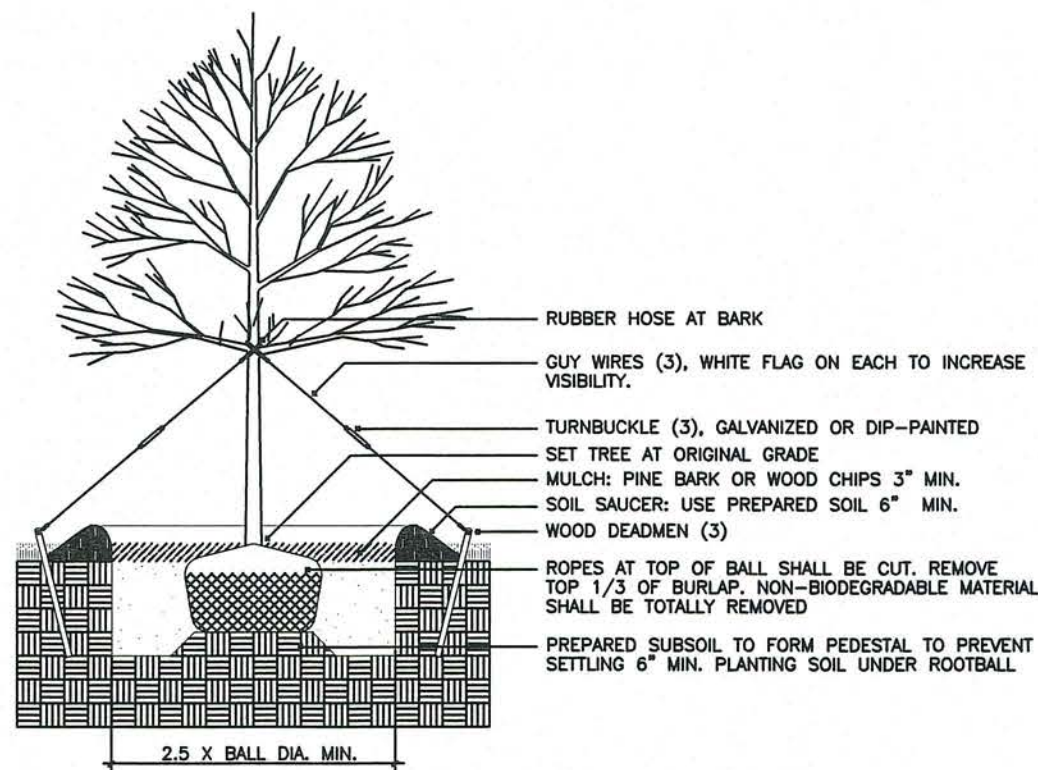


LOCUS



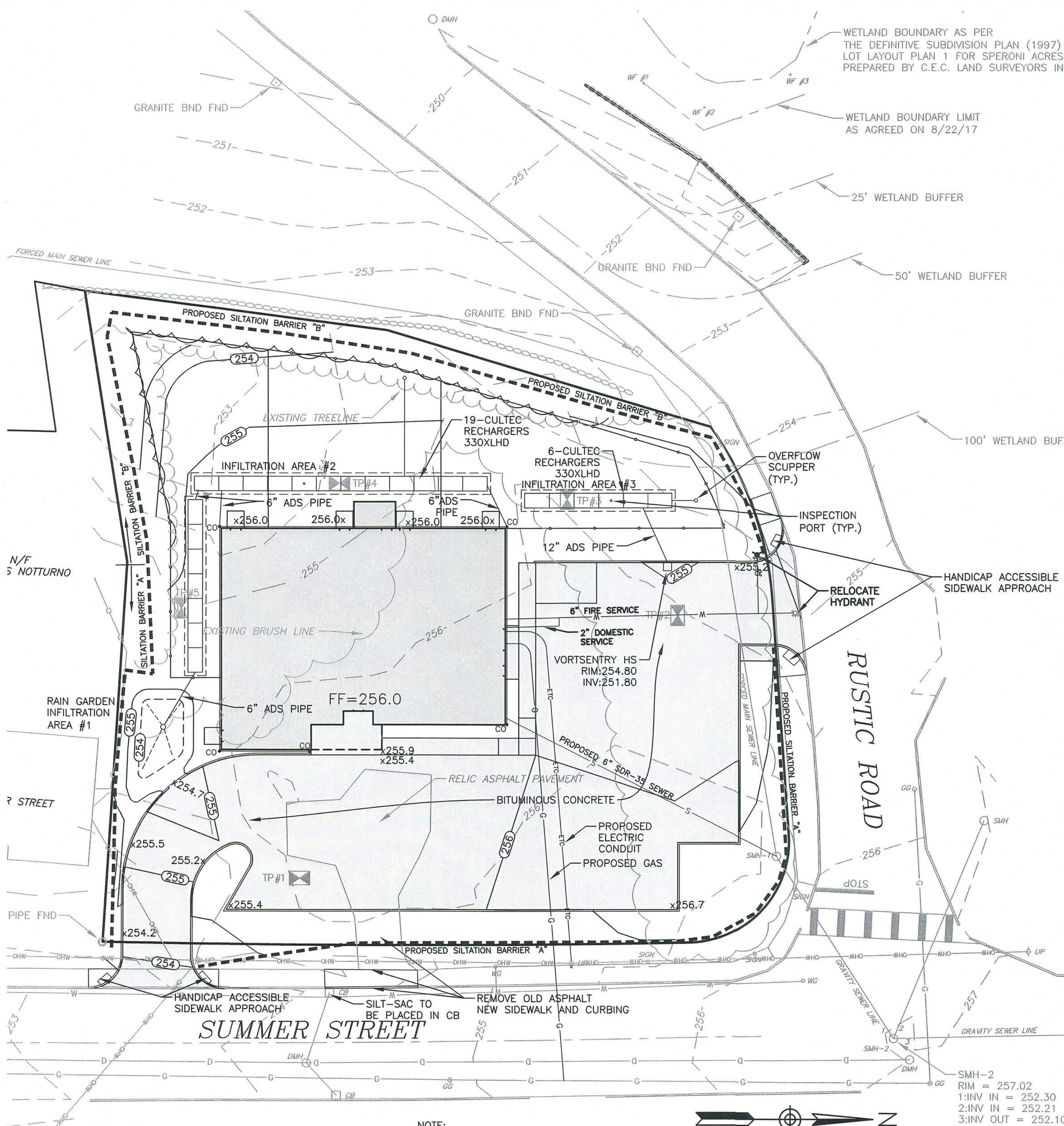
PLANTING KEY

- Carex Vulpinoidea Fox Sedge (2-3' Hght)
- Cornus Amomum Silky Dogwood (4-6' Hght)
- Ilex Verticillata Winterberry (2-3' Hght)
- Cornus Stolonifera Red Osier Dogwood (2-3' Hght)
- Andropogon Gerardi Bluejoint (2-3' Hght)



BALL AND BURLAP SHRUB PLANTING

DEEP HOLE # TP-1	ELEV.	DEEP HOLE # TP-2	ELEV.	DEEP HOLE # TP-3	ELEV.	DEEP HOLE # TP-4	ELEV.	DEEP HOLE # TP-5	ELEV.
GROUND	256.00	GROUND	256.00	GROUND	256.10	GROUND	254.50	GROUND	255.00
6\" A	255.50	6\" A	255.50	6\" A	255.60	6\" A	254.00	6\" A	254.50
24\" Bw	254.00	24\" Bw	254.00	24\" Bw	254.10	24\" Bw	254.10	24\" Bw	253.00
60\" C	251.00	108\" C	247.00	78\" C	249.60	78\" C	248.00	72\" C	249.00
MOTTLING: NONE		MOTTLING: NONE		MOTTLING: NONE		MOTTLING: NONE		MOTTLING: NONE	
PERCOLATION TEST: N.A.		PERCOLATION TEST: N.A.		PERCOLATION TEST: N.A.		PERCOLATION TEST: N.A.		PERCOLATION TEST: N.A.	
SOIL CLASS: CLASS II		SOIL CLASS: CLASS II		SOIL CLASS: CLASS II		SOIL CLASS: CLASS II		SOIL CLASS: CLASS II	



NOTE: UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



CERTIFICATE OF VOTE

DATE: _____

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, SEPTEMBER XX, 2017 FOR PLAN ENTITLED, 'SITE PLAN, COUNTRY COTTAGE DAYCARE, MEDWAY MASSACHUSETTS', FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

PROJECT INFORMATION:

CURRENT OWNER: ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MA 01569

MEDWAY ASSESSORS ID: 56-017 & 56-018
DEED REFERENCE: BOOK 35175 PAGE 390

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 1958 PLAN TITLED 'PLAN OF LAND IN MEDWAY, MASS.' BY BOWME ENGINEERING CO. AND IN A 1997 PLAN TITLED 'SPERONI ACRES' BY C.E.C. LAND SURVEYORS, INC.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAILS.
- THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
- AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
- AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS. SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- ALL REINFORCED CONCRETE PIPE IS TO BE CLASS III WHEN GREATER THAN 36\"/>

TYPE OF SEED	% BY WEIGHT
CREeping RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10

SEED AT THE RATE OF 2#/2,000 SF
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND
WITH 1/2 BUSH/ACRE OF WINTER RYE

- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDDED WITH A MINIMUM OF 4\"/>
- ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

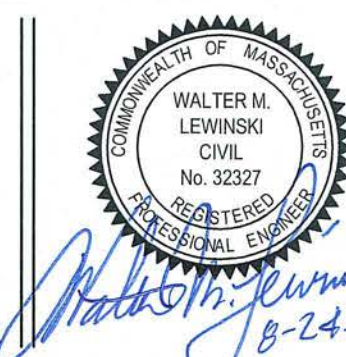
ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DESIGN BY: ZRB
CHECKED BY: PSB
APPROVED BY: VML

REVISIONS
0 8/24/17
REV # DATE

SITE PLAN REVIEW
DESCRIPTION



PREPARED BY:



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

TITLE:

GRADING & UTILITIES
COUNTRY COTTAGE DAY CARE

OWNER/APPLICANT:

ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO: 3561

GRADING & UTILITIES

DATE: AUGUST 24, 2017

PLAN NUMBER:

3 of 5

3



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
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IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811

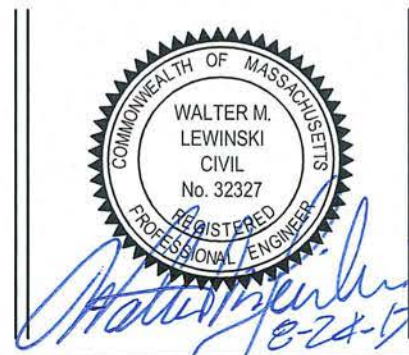


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DRWN BY:	ZRB
CHK'D BY:	PSB
APRVD BY:	WML

REVISIONS:		
REV #	DATE	DESCRIPTION
0	8/24/17	SITE PLAN REVIEW



PREPARED BY

EDC Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053



PLANT LIST			
QUANTITY	COMMON NAME	LATIN NAME	SIZE
TREES			
4	CLEAVELAND PEAR	PYRUS CALLERYANA	2-2.5" CAL.
SHRUBS			
15	GOLD MOUND SPIREA	SPIREA JAPONICA 'GOLD MOUND'	3 GALLON
PERENNIALS			
48	STELLA D'ORO SPRUCE	HEMEROCALLIS 'STELLA D'ORO'	2 GALLON

SITE PLAN REVIEW
MEDWAY PLANNING BOARD

DATE:

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED,
SEPTEMBER XX, 2017 FOR PLAN ENTITLED, 'SITE PLAN, COUNTRY
COTTAGE DAYCARE, MEDWAY MASSACHUSETTS,' FROM THE
MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD
CONDITIONS.

|| TITLE:

LIGHTING & LANDSCAPING
COUNTRY COTTAGE DAY CARE

OWNER/APPLICANT:

ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO.: 3561

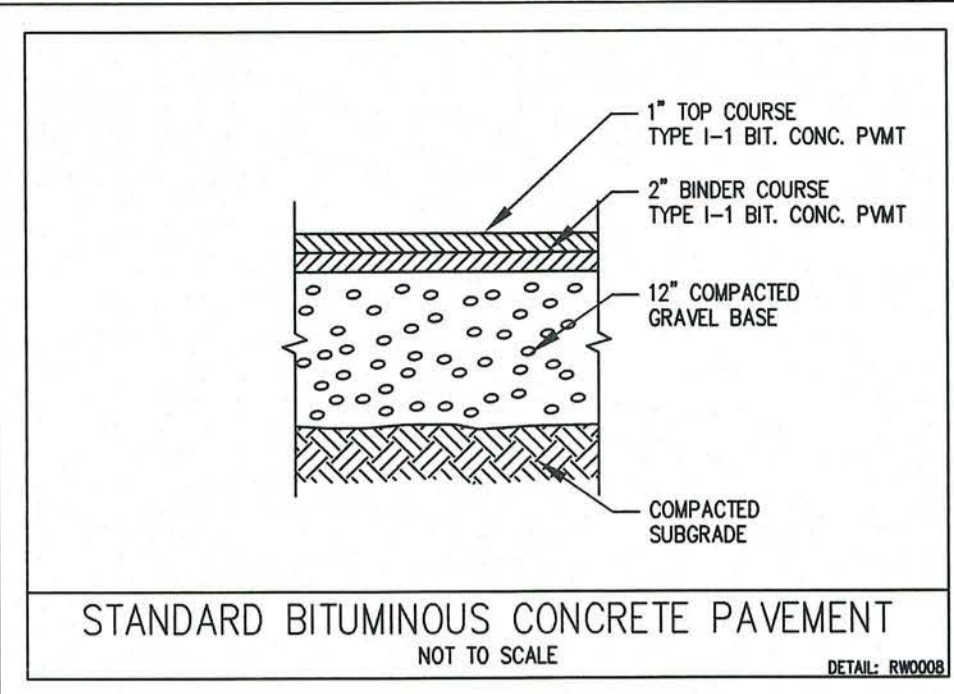
DATE: AUGUST 24, 2017

PLAN NUMBER: 1 E

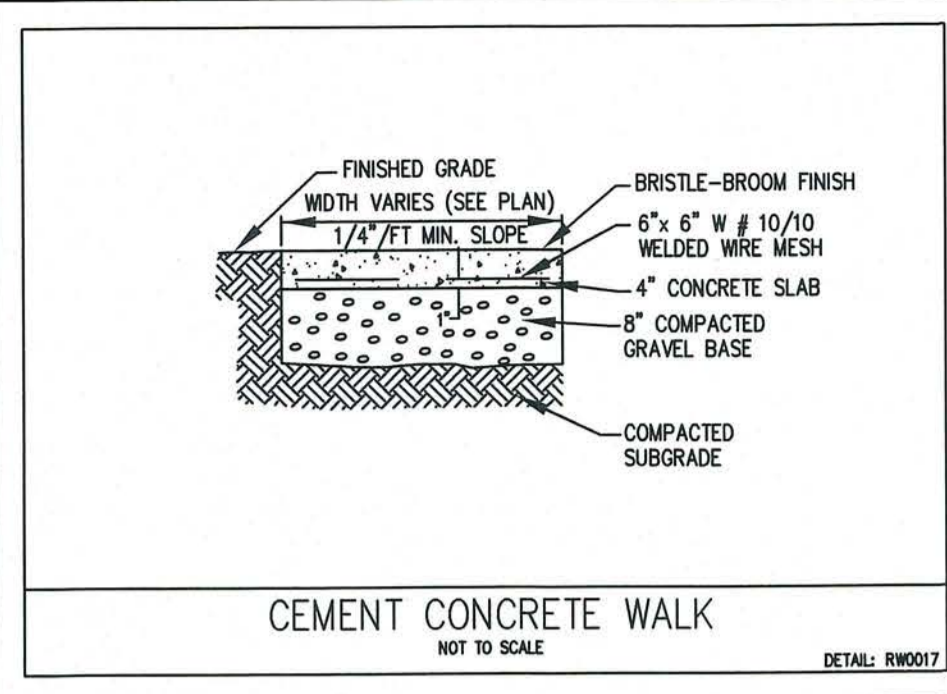
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\\SERVER01\EDC\JOBS\3561\AUTOCAD FILES\3561 STD PLAN (ONE-WAY FLOW)

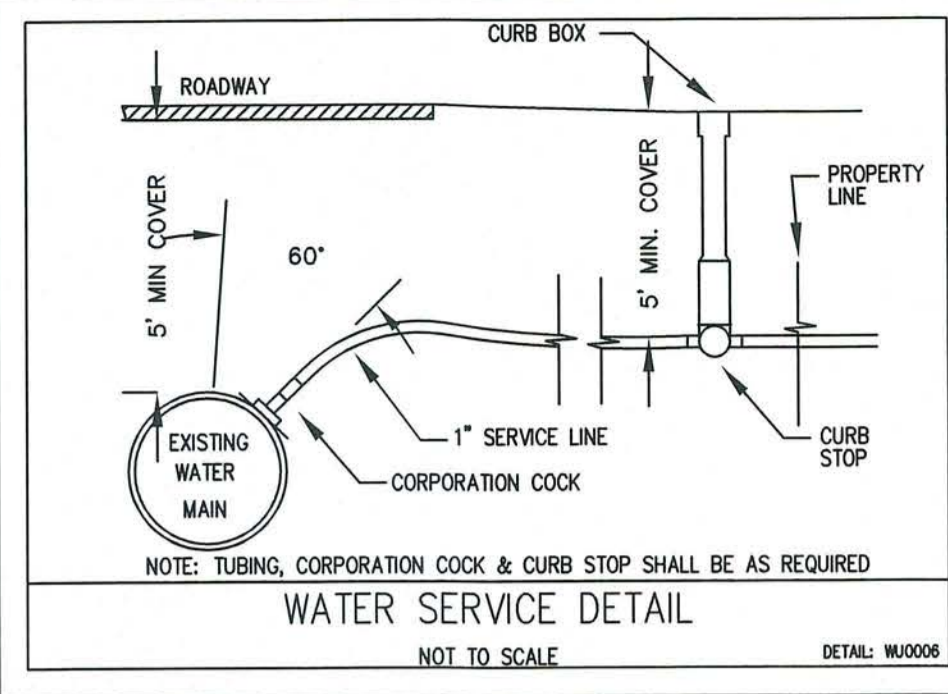
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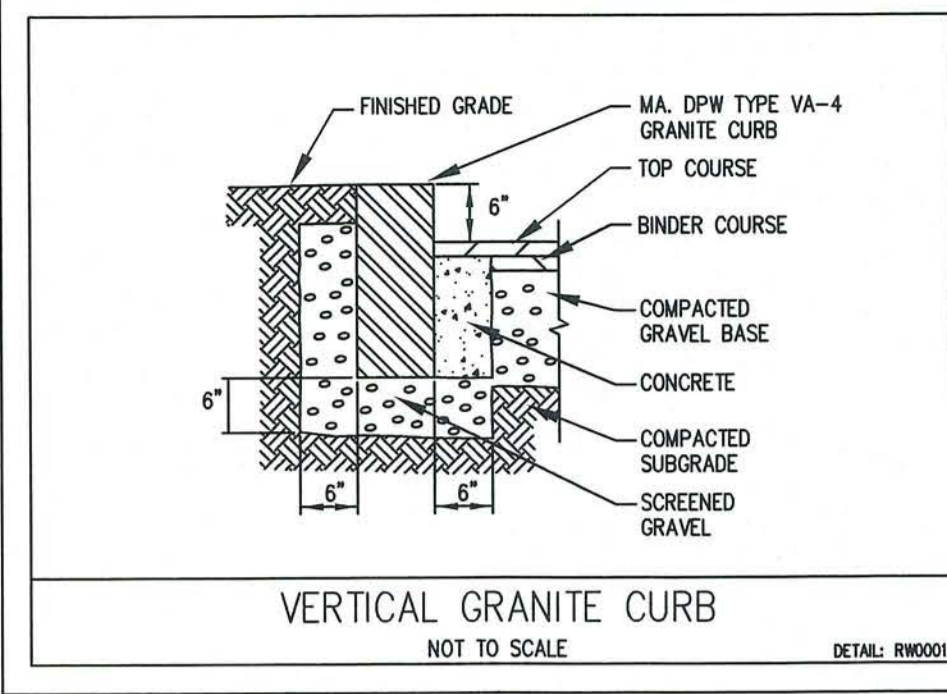
STANDARD BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE
DETAIL: RW0008



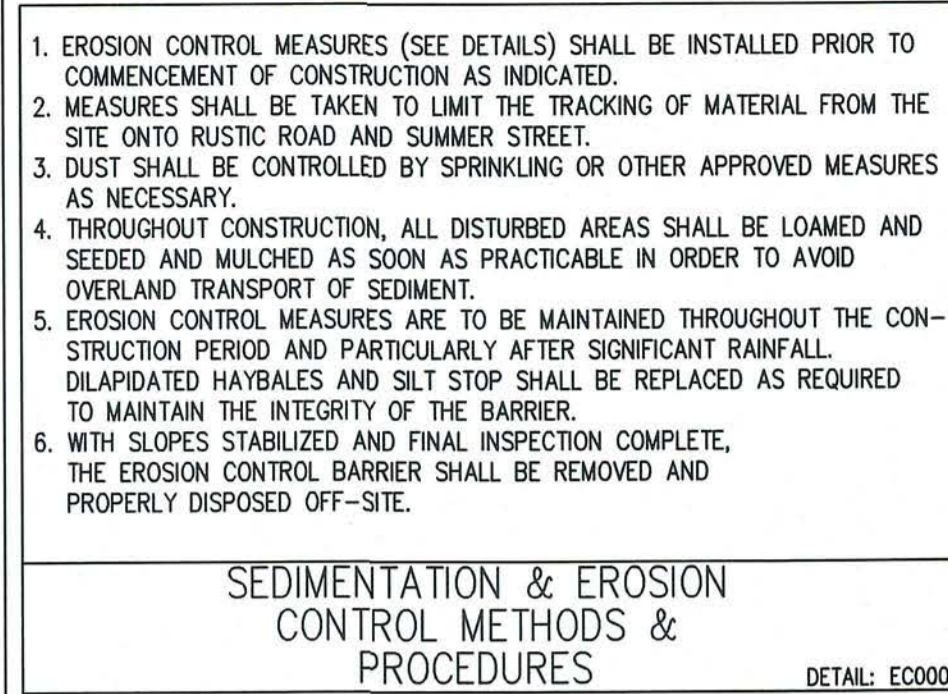
CEMENT CONCRETE WALK
NOT TO SCALE
DETAIL: RW0017



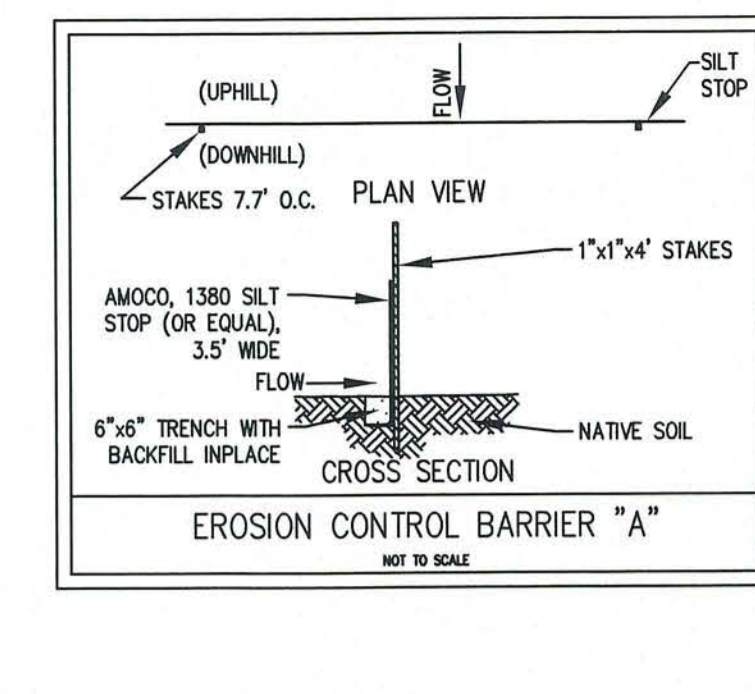
WATER SERVICE DETAIL
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DETAIL: RW0009



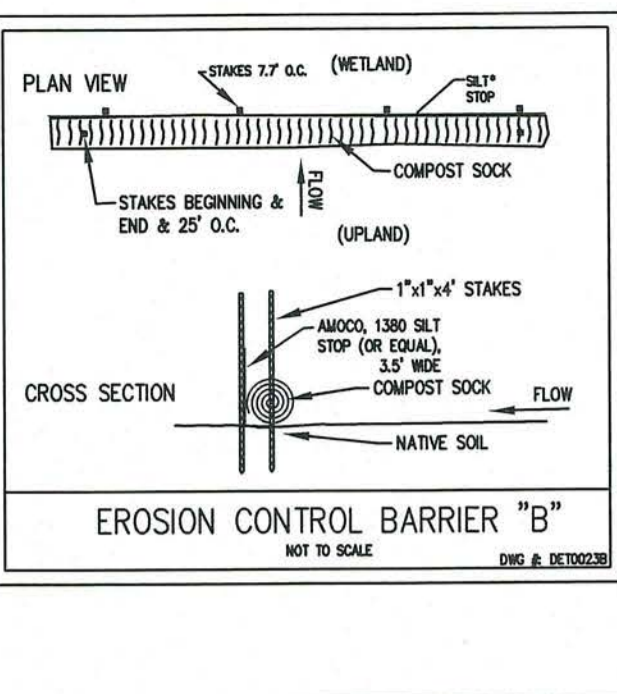
VERTICAL GRANITE CURB
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DETAIL: RW0001



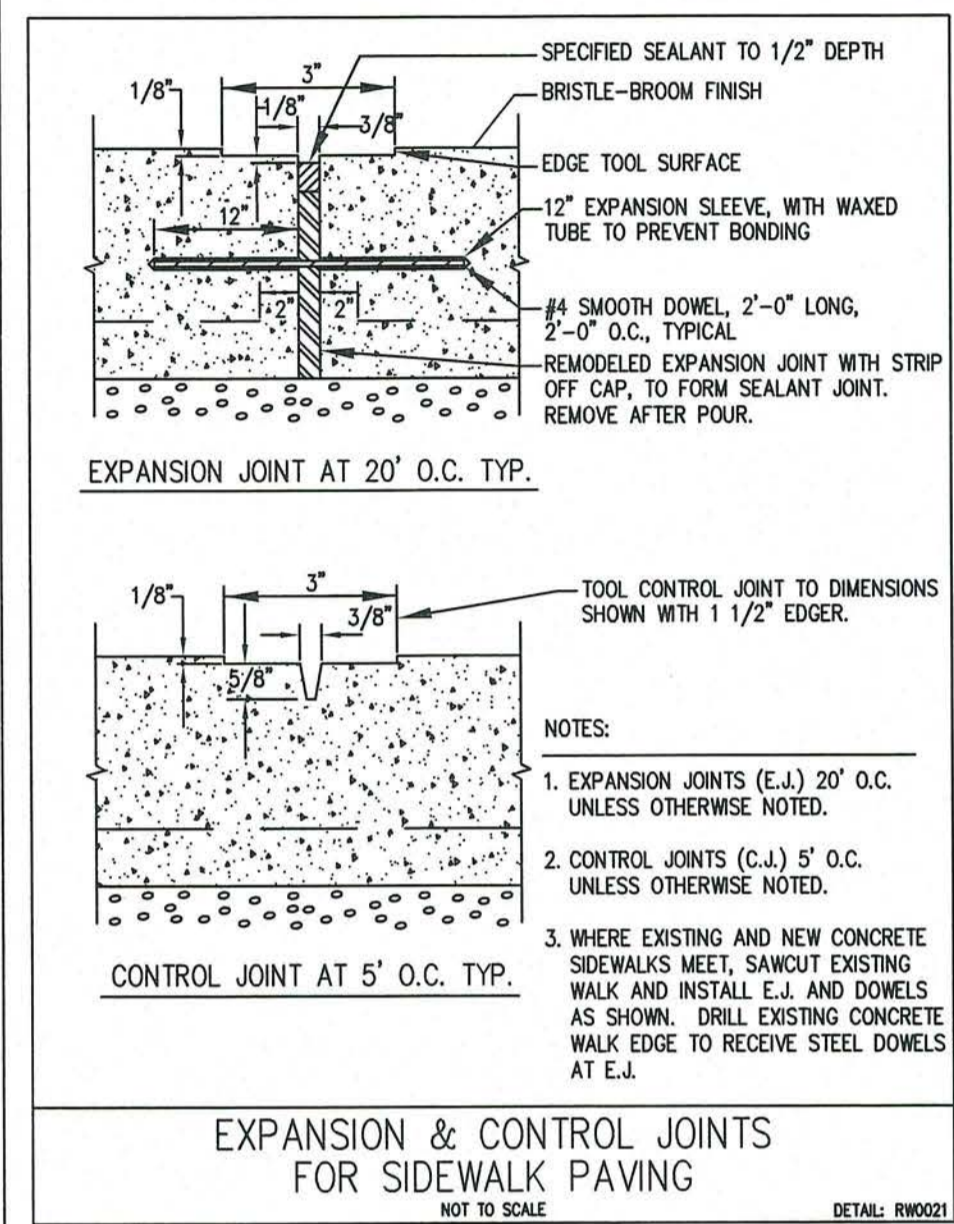
SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES
DETAIL: EC0002



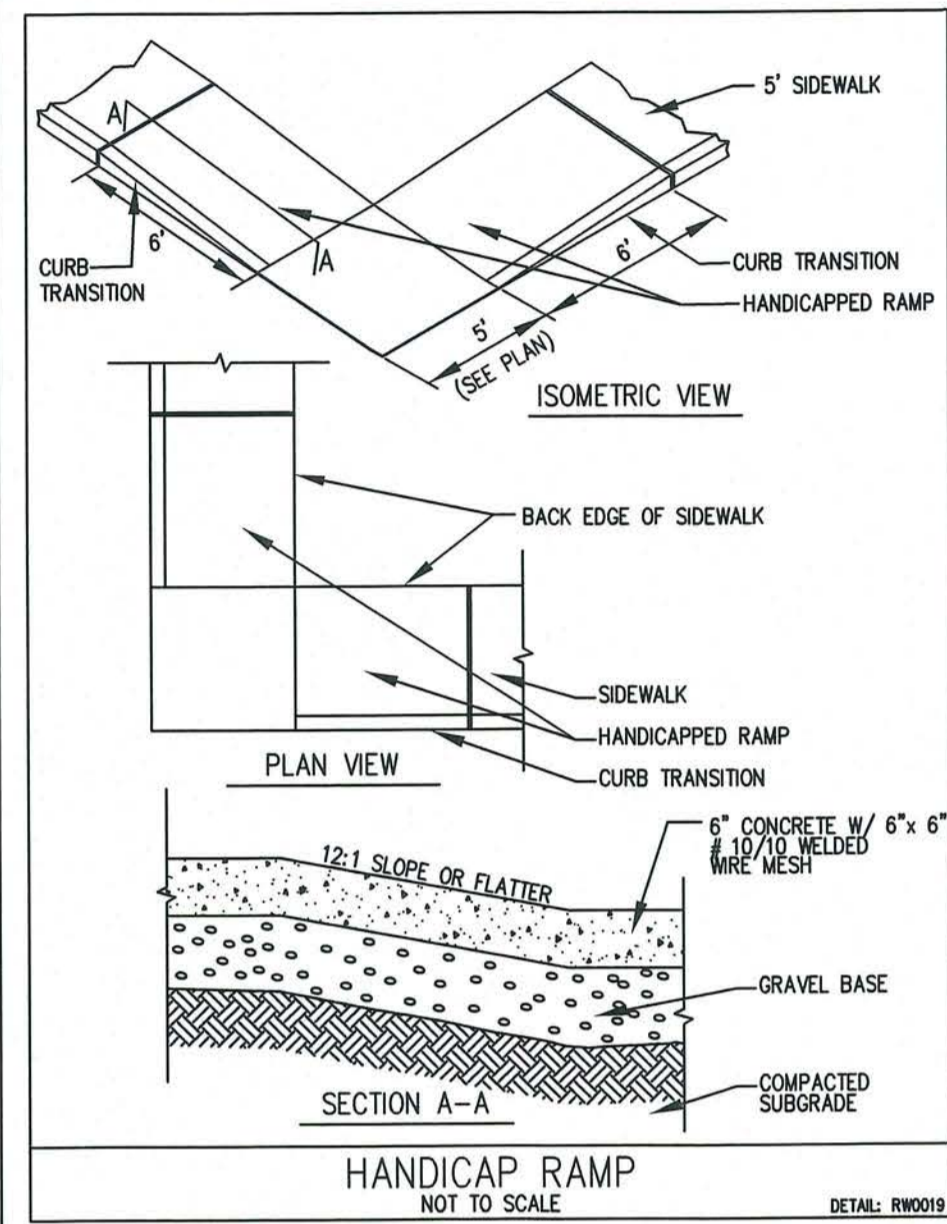
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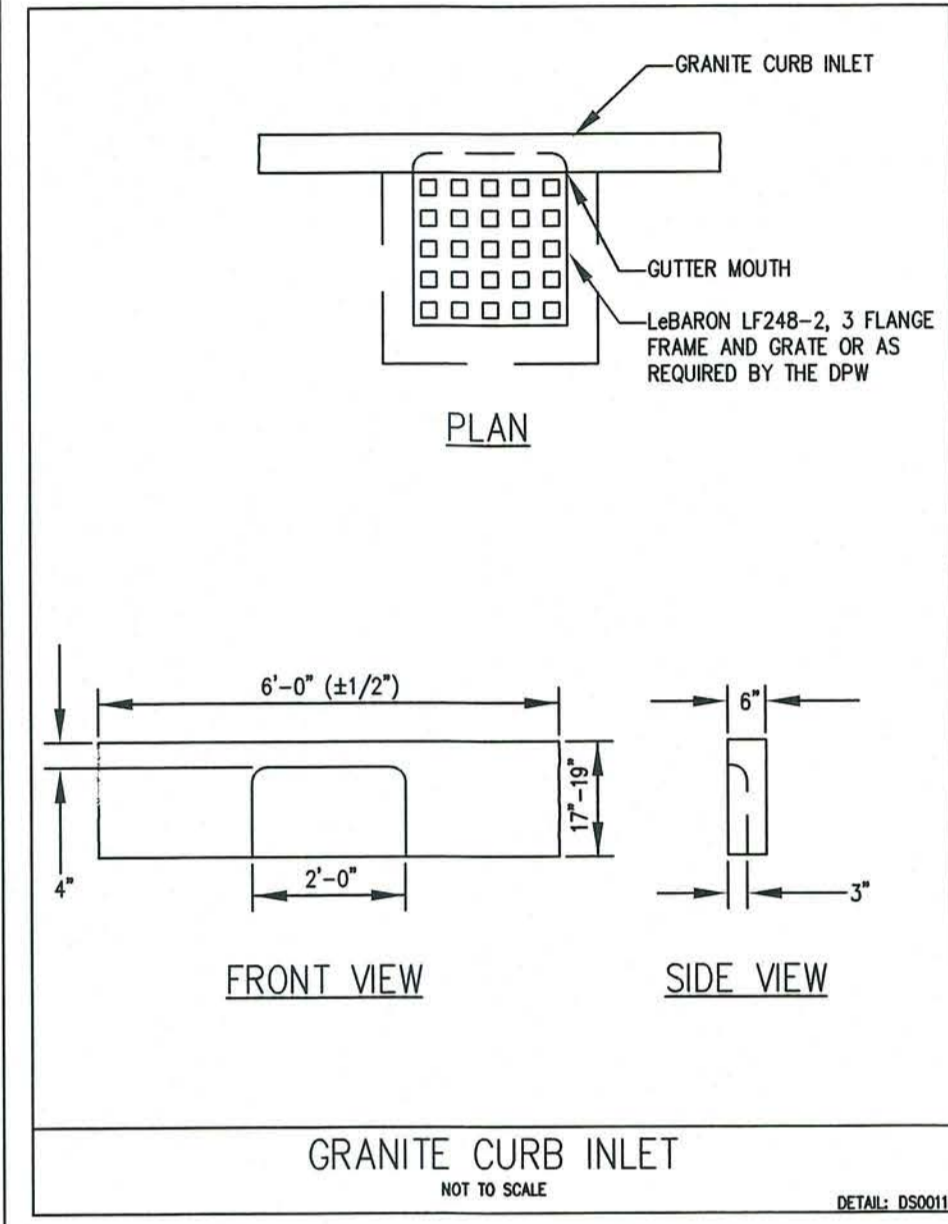
EROSION CONTROL BARRIER "B"
NOT TO SCALE
DET. & REV. 0003



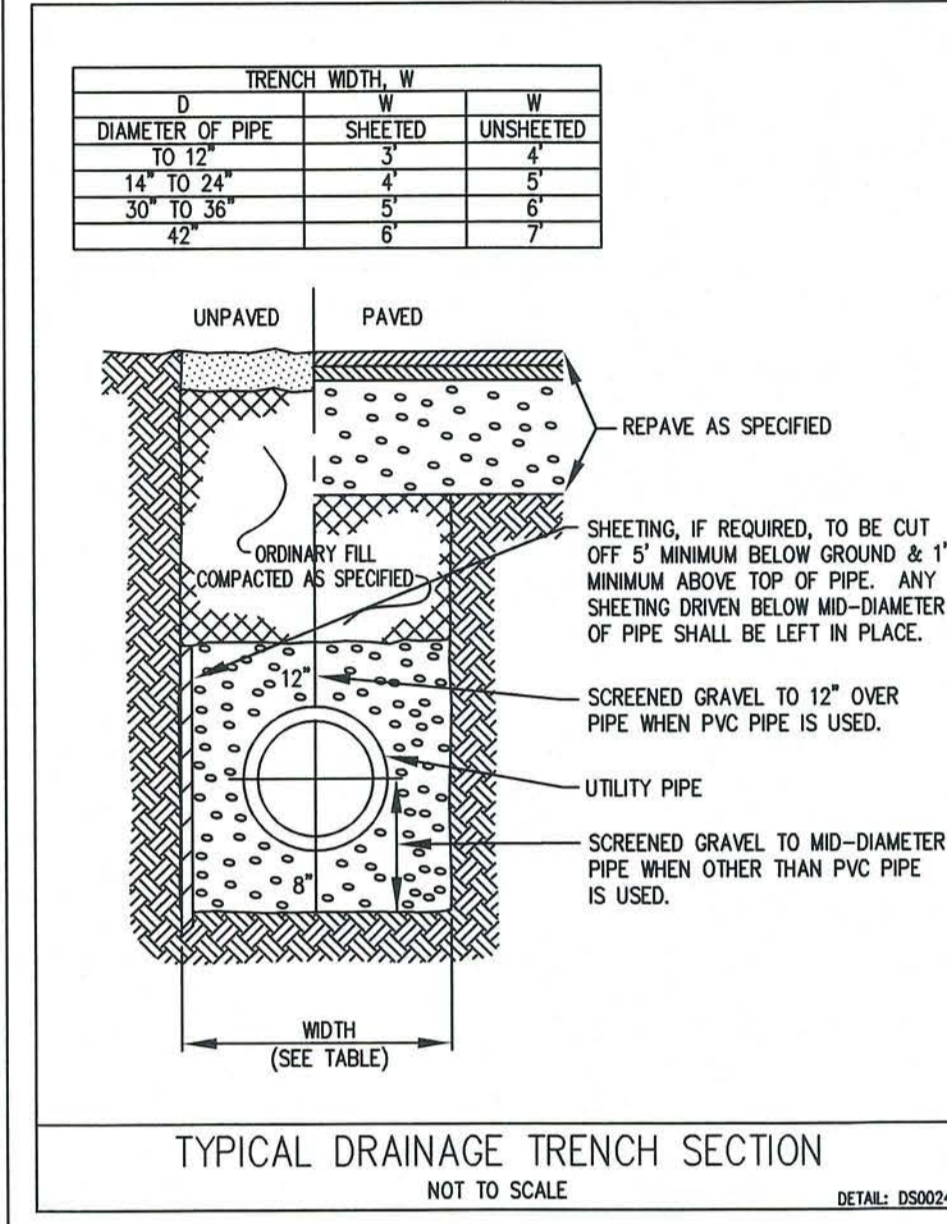
EXPANSION & CONTROL JOINTS FOR SIDEWALK PAVING
NOT TO SCALE
DETAIL: RW0021



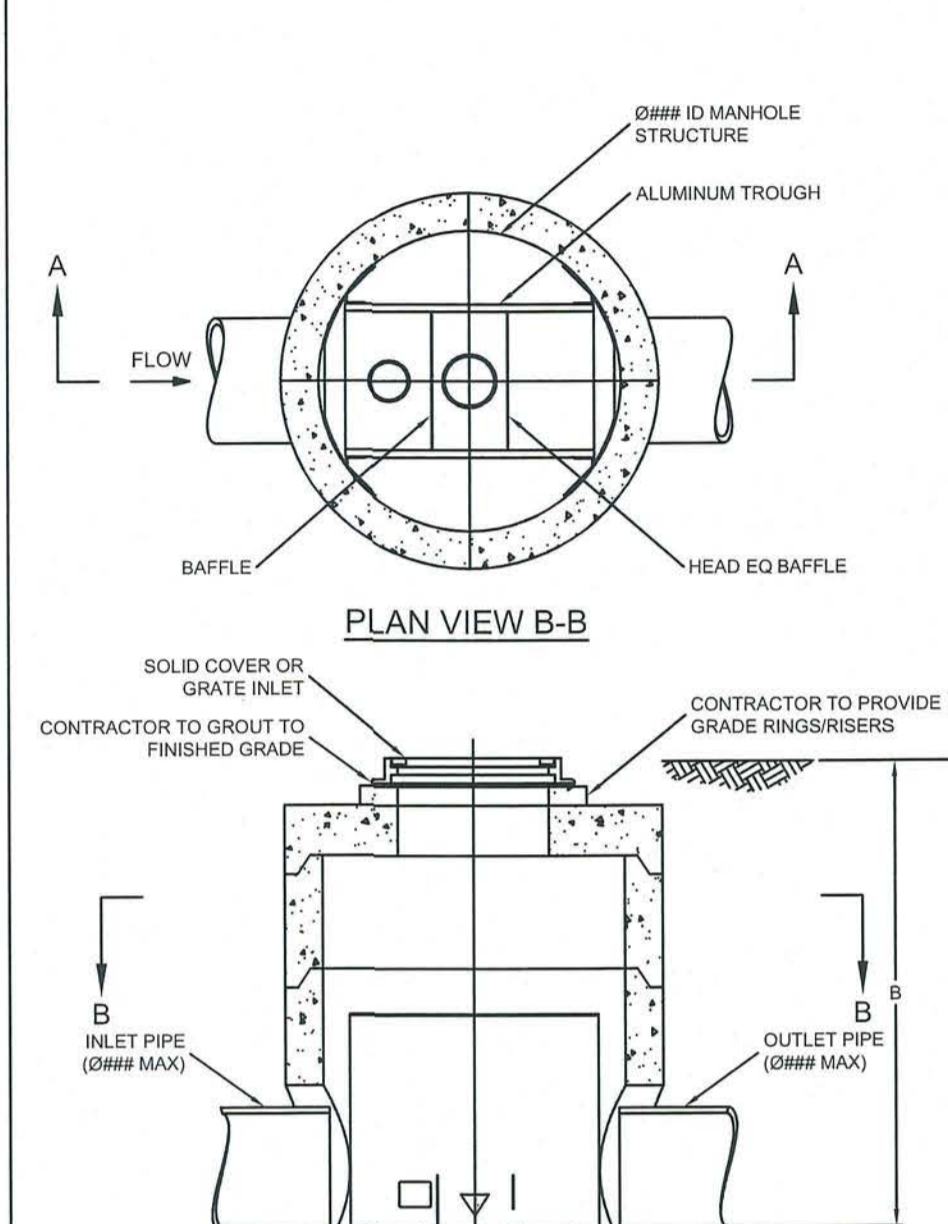
HANDICAP RAMP
NOT TO SCALE
DETAIL: RW0019



GRANITE CURB INLET
NOT TO SCALE
DETAIL: DS0011



TYPICAL DRAINAGE TRENCH SECTION
NOT TO SCALE
DETAIL: DS0024



PLAN VIEW B-B
SECTION A-A

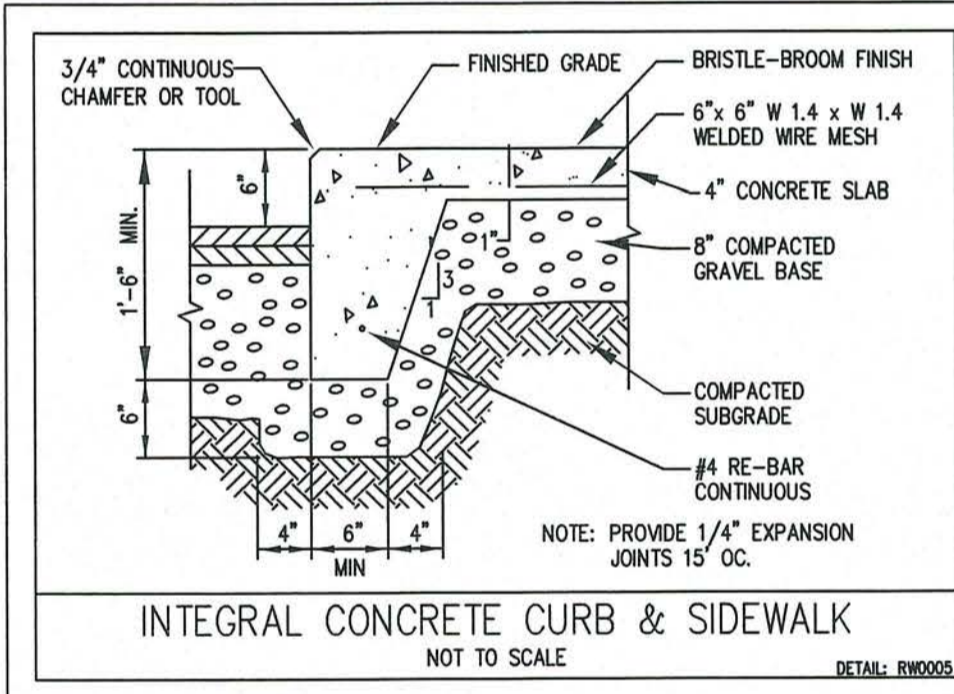
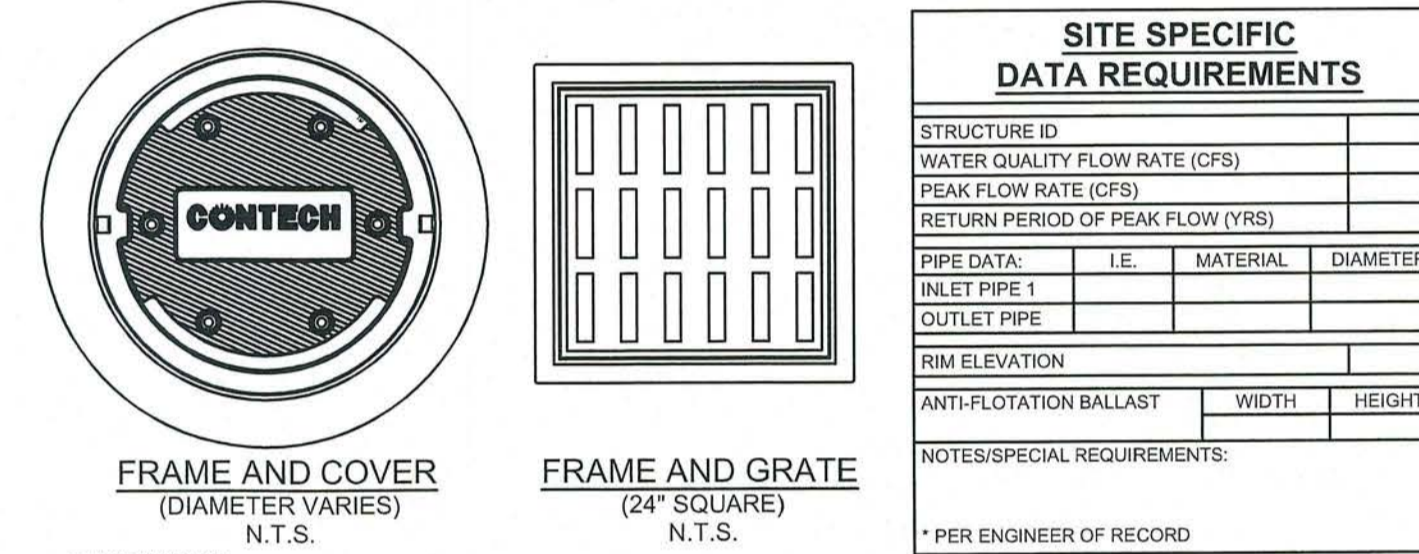
VORTSENTRY HS DESIGN NOTES

RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTECH REPRESENTATIVE FOR ADDITIONAL INFORMATION.

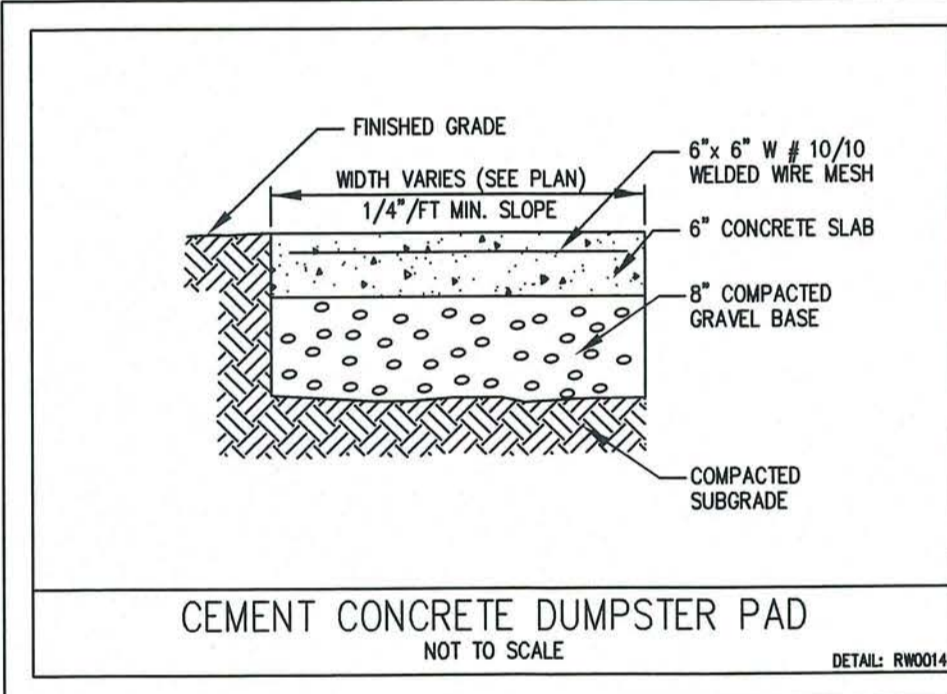
THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

CONFIGURATION OPTION DESCRIPTION											
GRATE INLET (NO INLET PIPE)											
GRATE INLET WITH INLET PIPE											

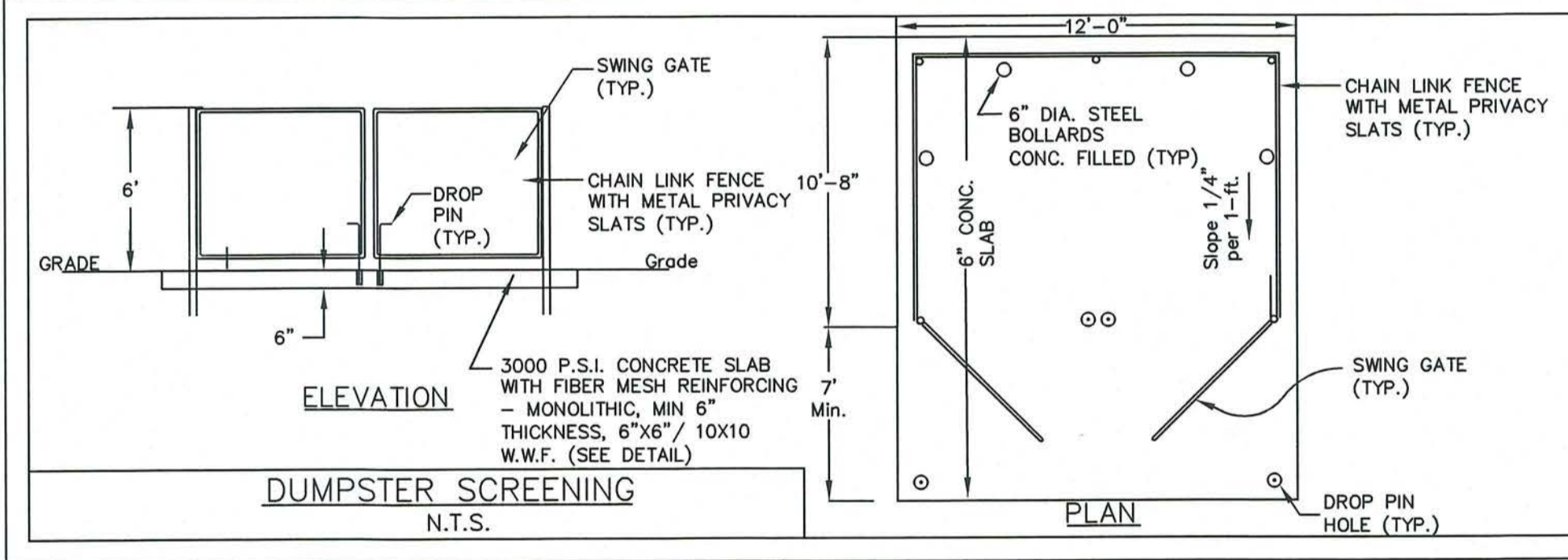
VORTSENTRY HS GENERAL INFORMATION														
Model	Manhole Diameter (ID)	Total Treatment Flow Rate	Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert B		Typical Depth Below Invert (inside C)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)			
			FT	M	FT	M	FT	m/m	FT	M	IN	mm		
HS36	3	900	0.55	15.6	10.16	3.10	4.08	1.24	5.58	1702	3.00	0.91	18	450
HS48	4	1200	1.20	34.0	13.25	4.04	6.00	1.83	8.75	2057	4.00	1.22	24	600
HS60	5	1500	2.20	62.3	15.13	4.61	6.50	1.98	7.96	2426	4.82	1.47	30	750
HS72	6	1800	3.70	104.8	16.56	5.05	6.75	2.06	9.15	2788	5.59	1.70	36	900
HS84	7	2100	5.60	158.6	18.85	5.75	7.75	2.36	10.35	3156	5.00	1.52	42	1050
HS96	8	2400	8.10	229.4	20.87	6.36	8.50	2.59	11.54	3518	6.91	2.11	48	1200



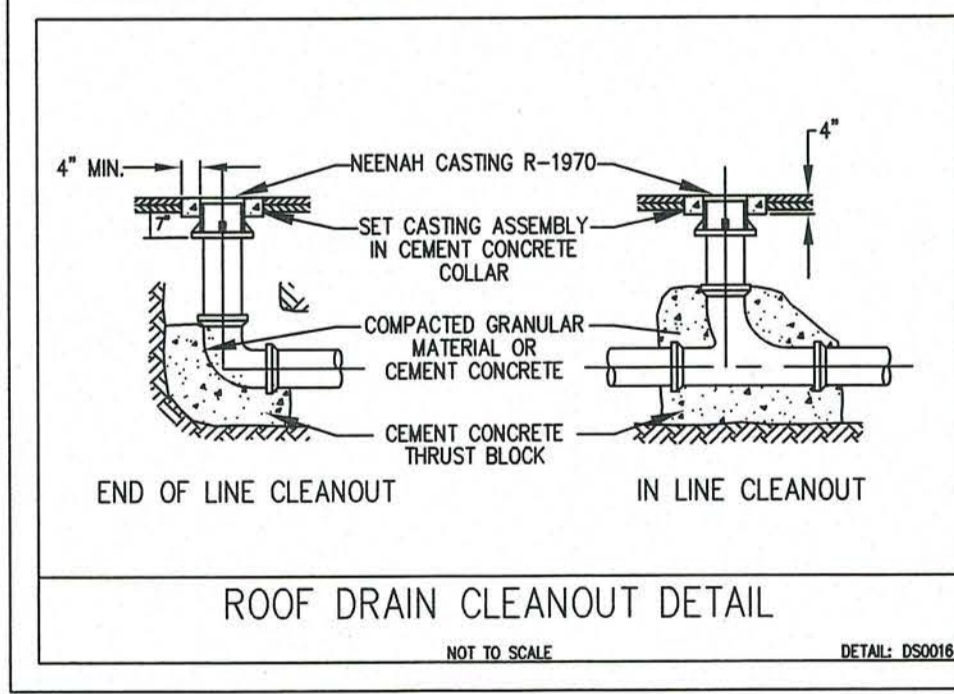
INTEGRAL CONCRETE CURB & SIDEWALK
NOT TO SCALE
DETAIL: RW0005



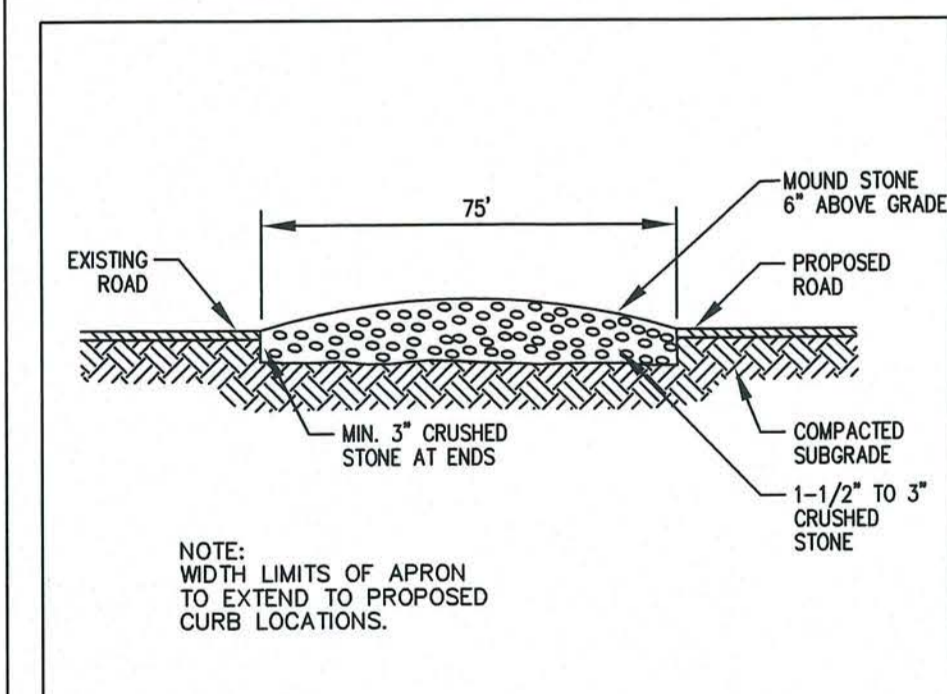
CEMENT CONCRETE DUMPSTER PAD
NOT TO SCALE
DETAIL: RW0014



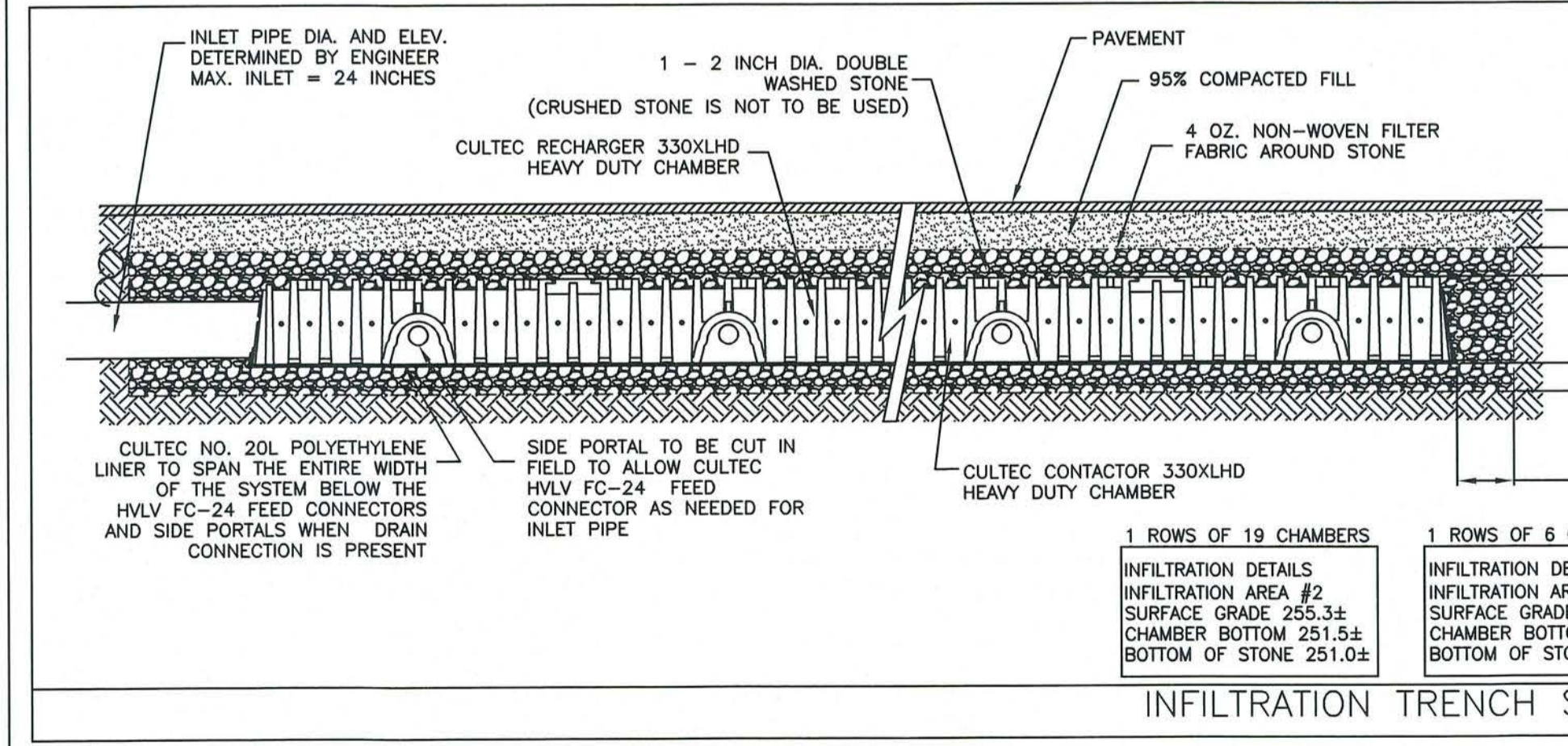
DUMPSTER SCREENING
N.T.S.



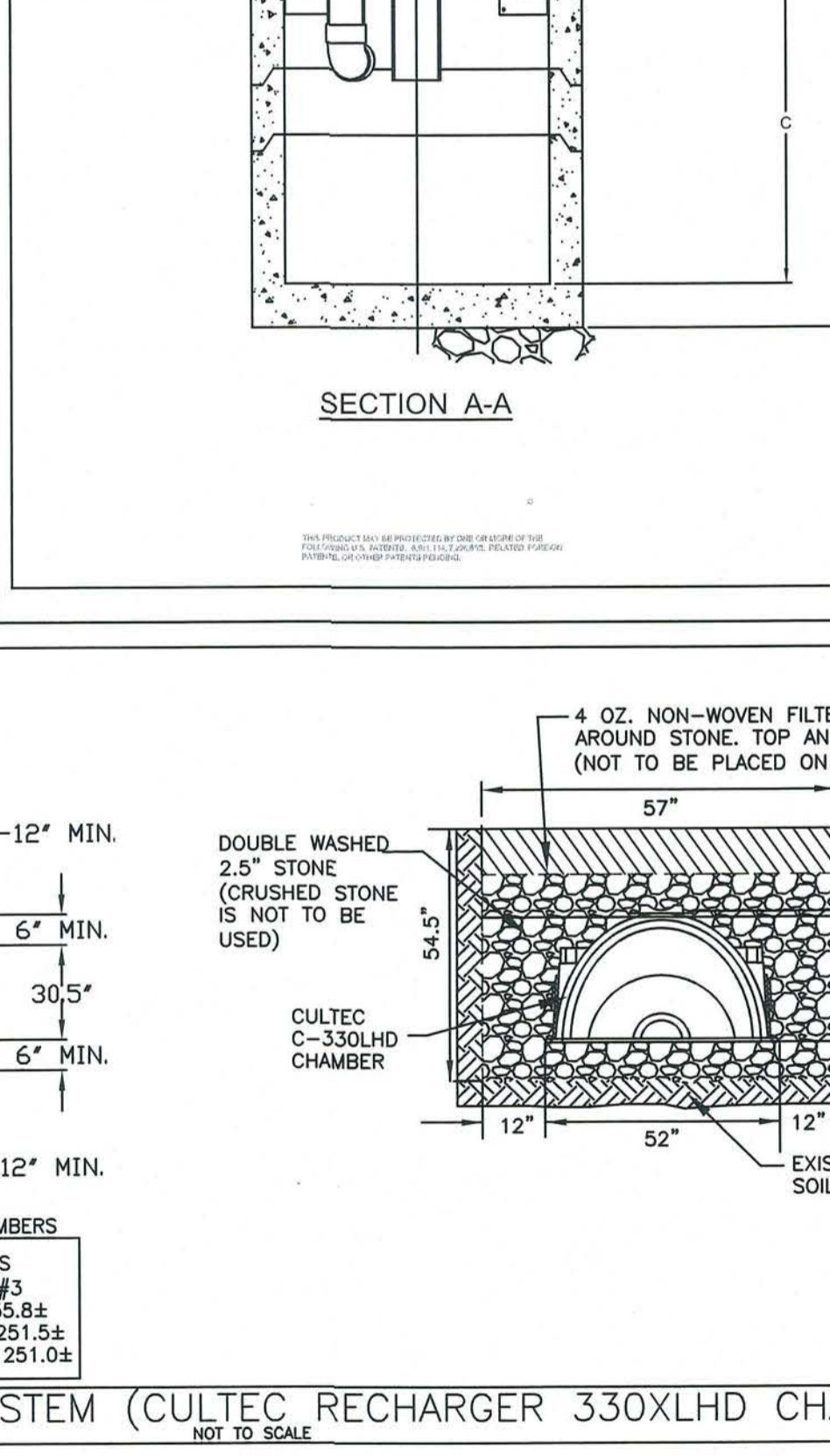
ROOF DRAIN CLEANOUT DETAIL
NOT TO SCALE
DETAIL: RW0016



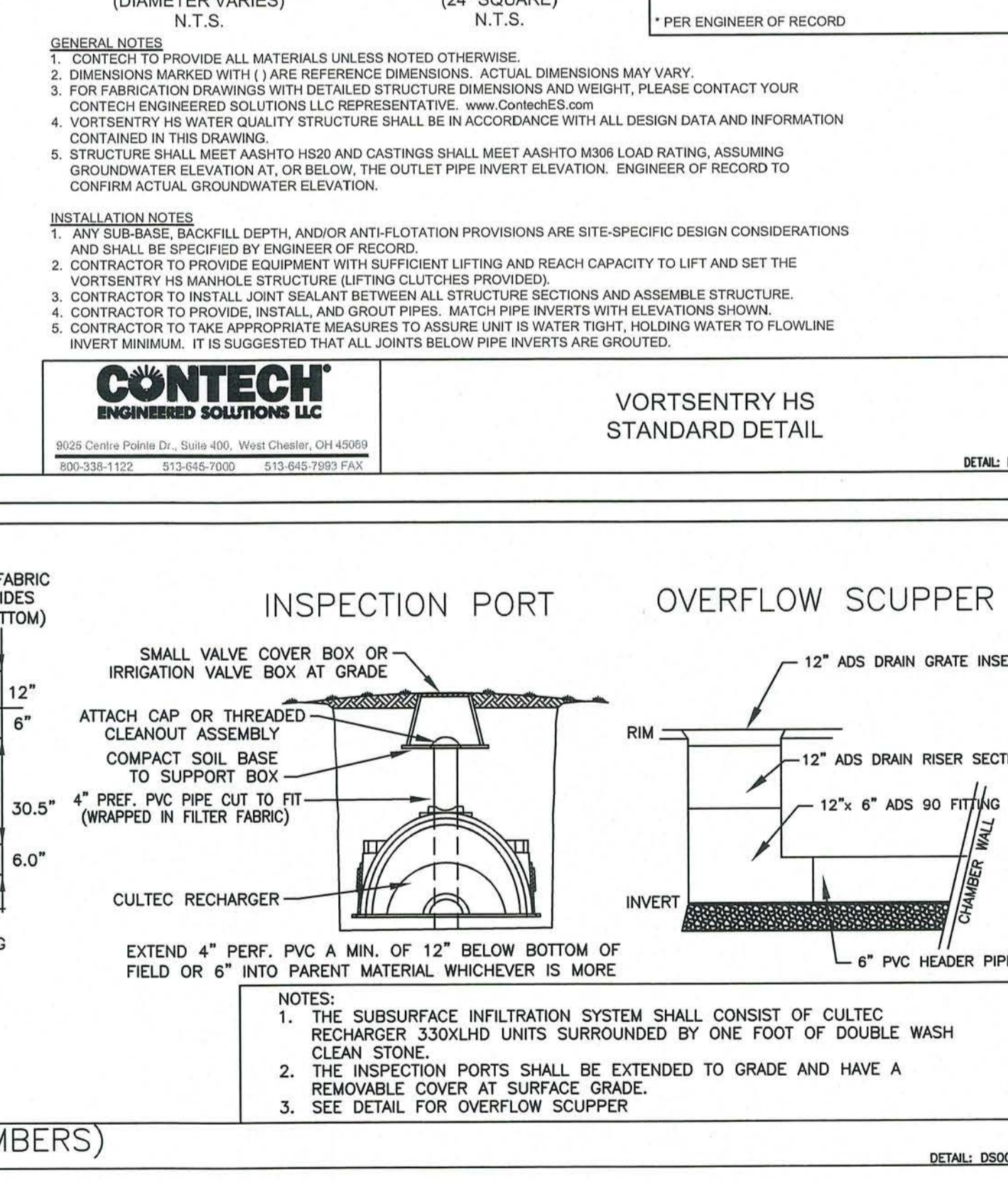
CONSTRUCTION ENTRANCE APRON
NOT TO SCALE
DETAIL: EC0009



INFILTRATION TRENCH SYSTEM (CULTEC RECHARGER 330XLHD CHAMBERS)
NOT TO SCALE



INSPECTION PORT
OVERFLOW SCUPPER



VORTSENTRY HS STANDARD DETAIL
DETAIL: DS0048

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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

REVISIONS:

NO.	DATE	DESCRIPTION
0	8/24/17	SITE PLAN REVIEW

DRWN BY: ZRB
CHK'D BY: PSB
APPROV BY: VML

PREPARED BY:

WALTER M. LEWINSKI
CIVIL
No. 20227
REGISTERED PROFESSIONAL ENGINEER

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph: (508) 480-0225 fax: (800) 832-5781

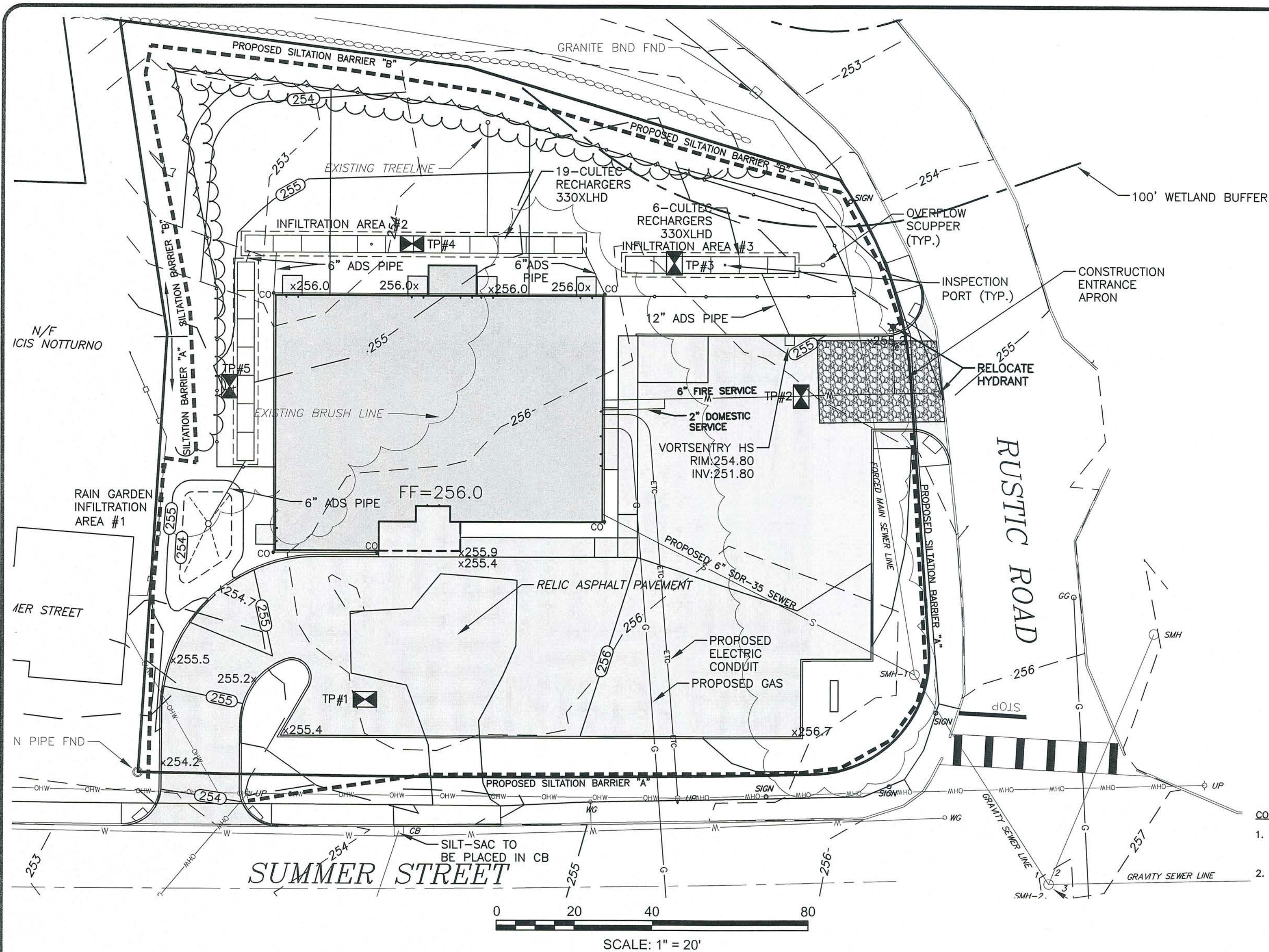
COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

OWNER/APPLICANT:

ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

DETAILS
COUNTRY COTTAGE DAY CARE

FILE NO: 3561
DATE: AUGUST 24, 2017
PLAN NUMBER: 5 of 5



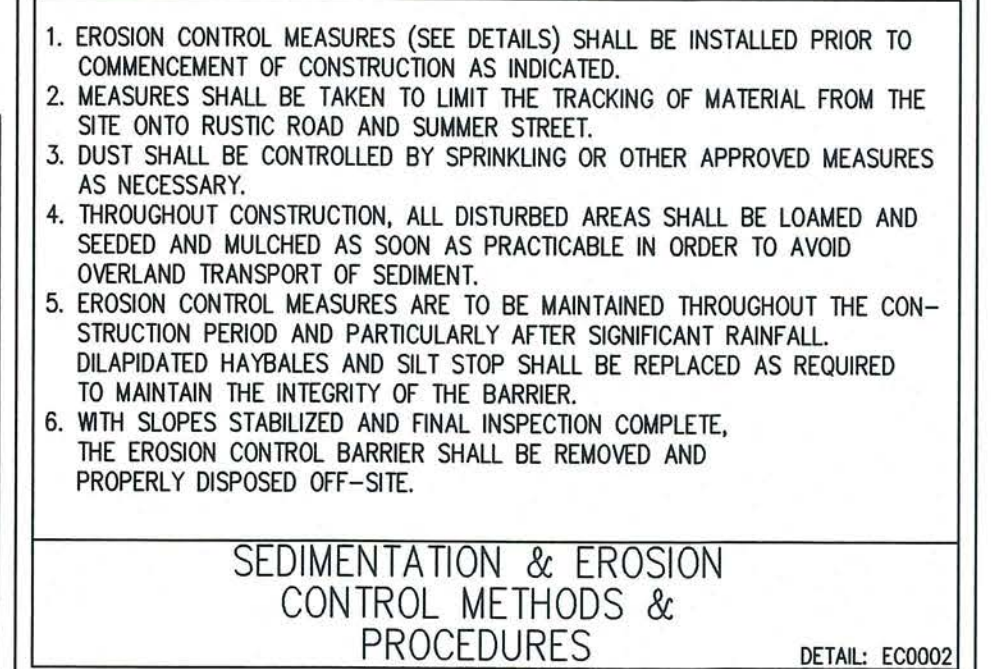
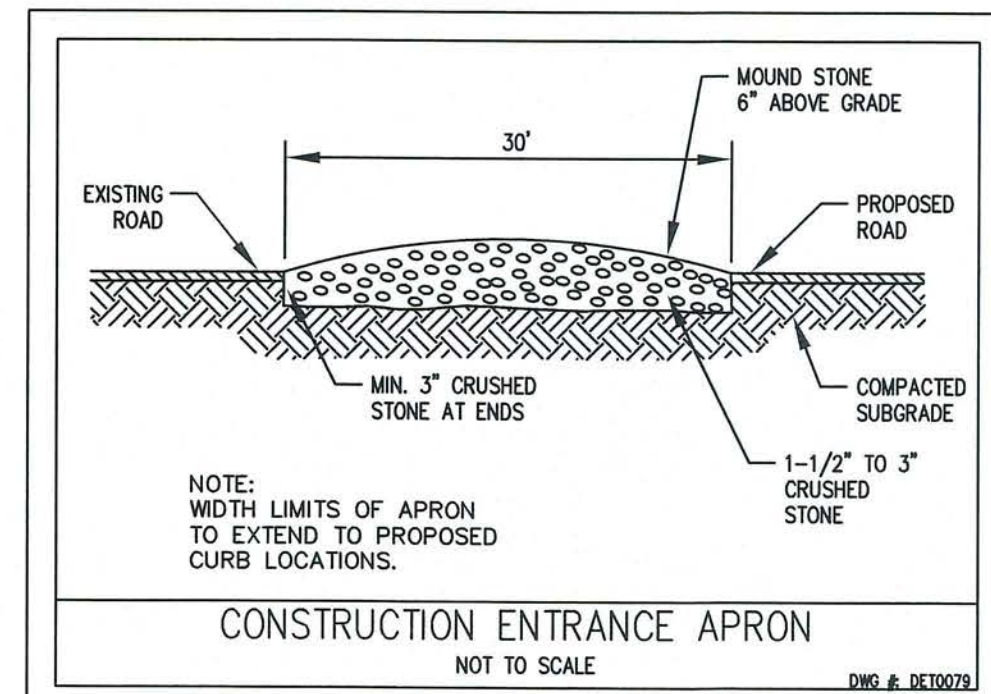
CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: _____
- PROJECT MANAGER OF COUNTRY COTTAGE DAY CARE CONSTRUCTION IS THE CONTACT PERSON. CONTACT NUMBER IS _____
- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS.
- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.
- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILTATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING AND GRASSED AREAS (REFER TO SEQUENCING BELOW).
- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.
- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
 - ANTI-TRACKING STONE CONSTRUCTION ENTRANCE.
 - CLEAR AND GRUB.
 - STRIP AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE, PLACE SILTATION BARRIER AROUND STOCKPILE AND PLACE TARPS OVER THE STOCKPILE IF NECESSARY.
 - ROUGH GRADE PROPOSED SITE.
 - EXCAVATE AND CONSTRUCT UTILITIES SYSTEMS. REMOVE UNUSABLE MATERIAL FROM SITE.
 - INSTALL WATER PIPE, DRAINAGE, VORTSENTRY UNITS, AND OTHER UTILITIES.
 - EROSION CONTROL MEASURES AT NEW DRAINAGE INLETS.
 - PLACE BASE PAVING.
 - CONSTRUCT BUILDING.
 - FINAL GRADING.
 - LOAM AND SEED ALL DISTURBED AREAS AND LANDSCAPE YARDS.
 - FINAL TOP SOIL PAVING.
 - REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION BY APPROVING A THORITY.
- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION:
 - INSPECTIONS SHALL TAKE PLACE AT LEAST EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25" OF RAIN OR GREATER.
 - INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE ENTIRE SITE IS TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR EXTREMELY DRY CONDITIONS.
 - INSPECTIONS MUST BE CONDUCTED BY A PROPERLY AUTHORIZED QUALIFIED PERSONNEL.
 - INSPECTIONS SHALL INCLUDE ALL AREAS OF THE SITE DISTURBED BY CONSTRUCTION ACTIVITIES. INSPECTIONS MUST LOOK FOR EVIDENCE OF POLLUTANTS OR POTENTIAL POLLUTANTS ENTERING THE STORM WATER SYSTEM. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED TO ENSURE PROPER OPERATION. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.
- MAINTENANCE SCHEDULE: REPORTS OF SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
 - INSPECTION DATE;
 - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
 - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEST ESTIMATE OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;

CONSTRUCTION NOTES

- EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:

TYPE OF SEED	% BY WEIGHT
CREeping RED FESCUE	30
TALL FESCUE	30
WHITE DUTCH CLOVER	30
RED TOP	10
- SEED AT THE RATE OF 2#/2,000 SF
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND WITH 1/2 BUSH/ACRE OF WINTER RYE
- ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED WITH A MINIMUM OF 6" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.

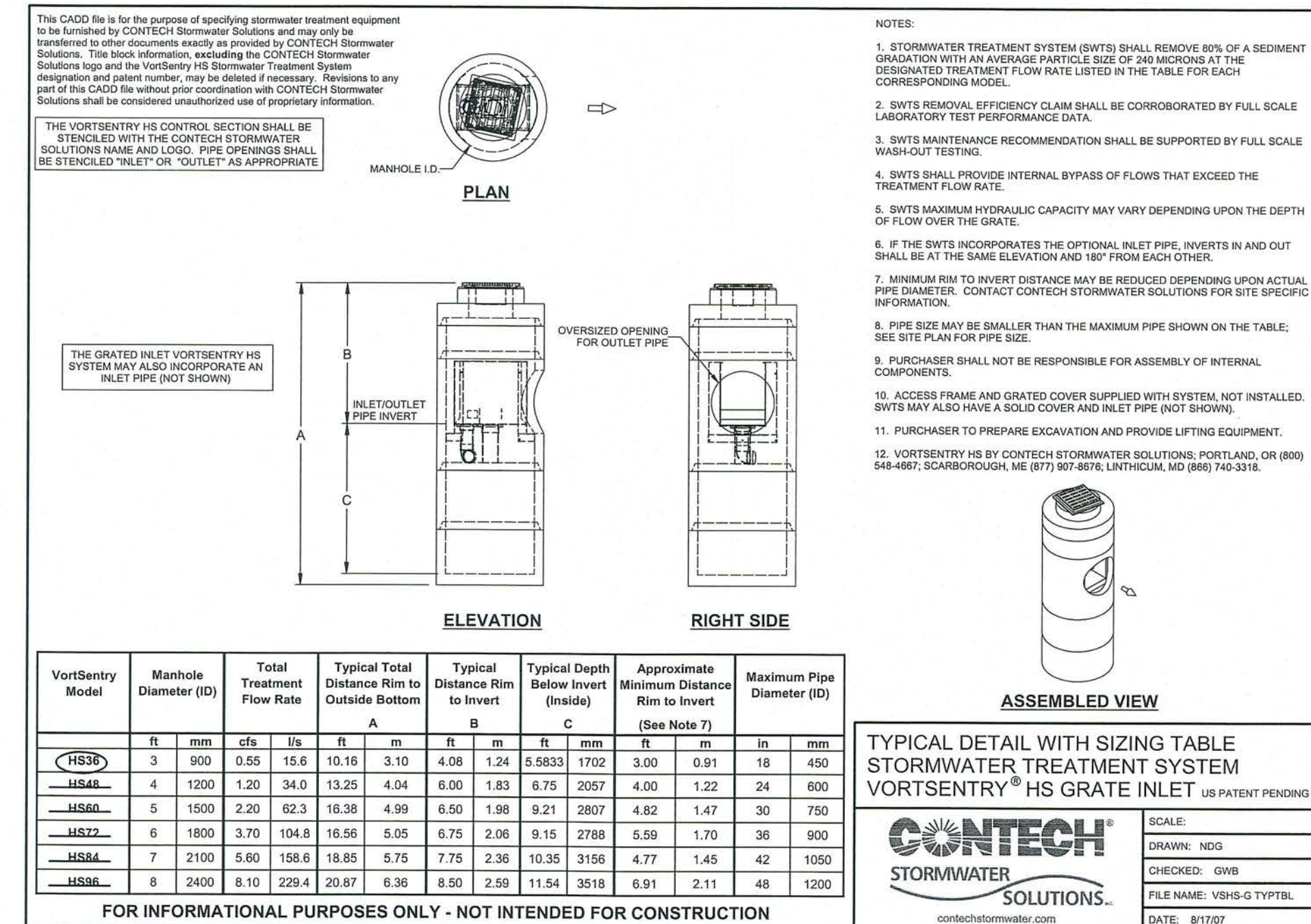
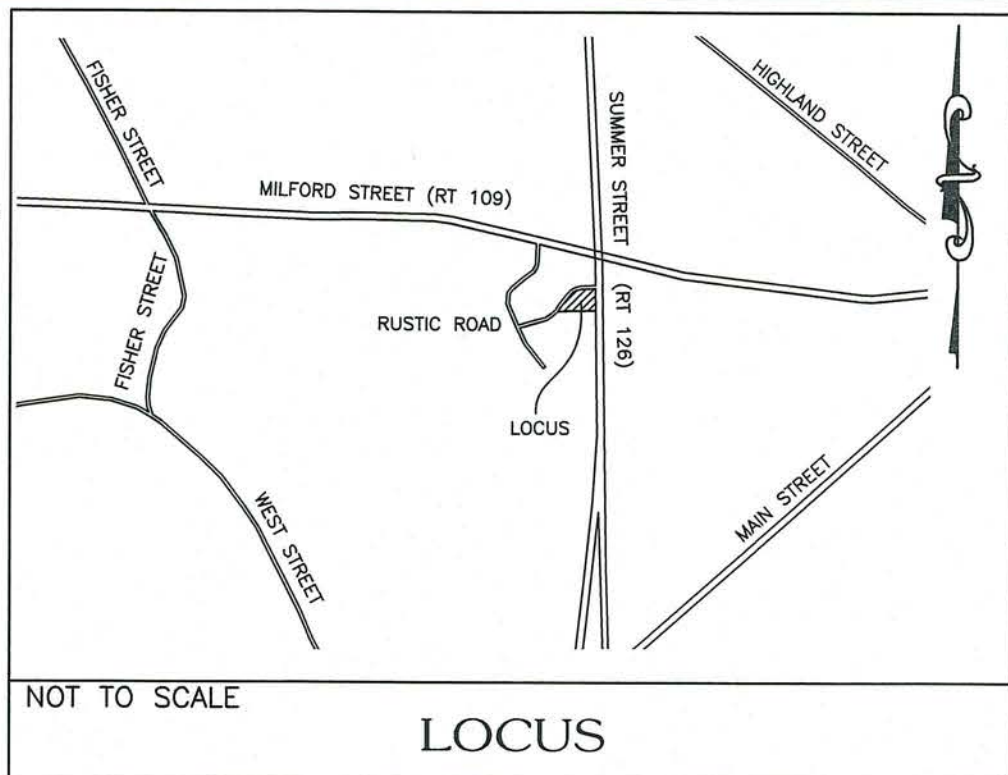


- DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
 - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
 - LOCATION OF "BMPs" THAT NEED TO BE MAINTAINED;
 - LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
 - LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
 - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
- ALL REPORTS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS SUPERINTENDENT ON A WHEN REQUESTED DURING THE CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.

NOTE:
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

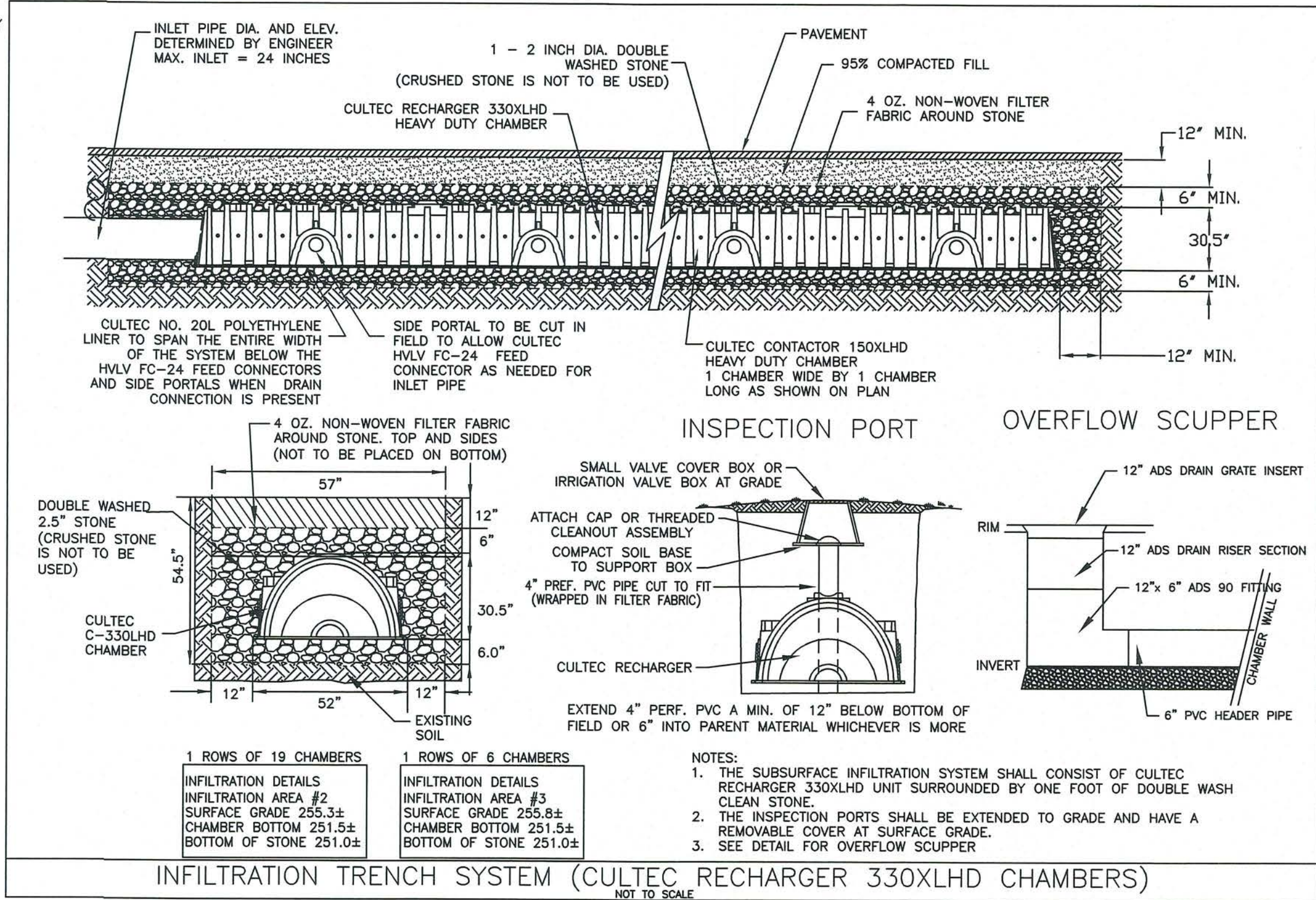
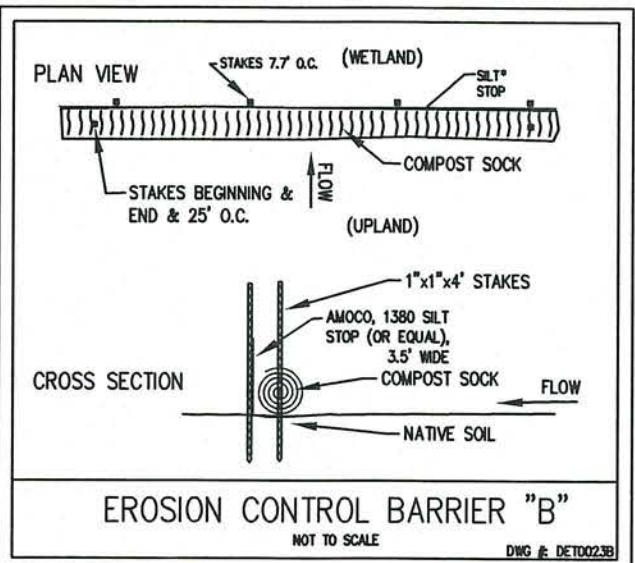
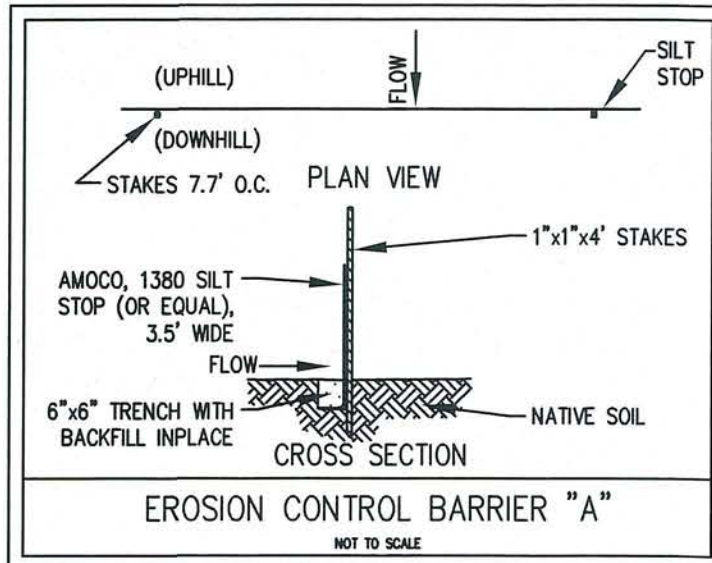
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



COUNTRY COTTAGE DAY CARE - OPERATION AND MAINTENANCE PLAN:

- SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):
 - EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY, PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMEDIATED AS NECESSARY TO PREVENT EROSION.
 - CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.
- MAINTENANCE AGREEMENT/SCHEDULE FOR LONG-TERM OPERATION AND MAINTENANCE (POST CONSTRUCTION)
 - OWNER OF THE STORMWATER SYSTEM:
OWNERS SIGNATURE: _____ DATE: _____
 - PERSON/ENTITY RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: _____
 - VORTSENTRY UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS CLEANED OUT AT THE APPROPRIATE TIME.
AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED FOUR TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO IDENTIFY ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TAPE MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER)
 - CLEANING OF THE VORTSENTRY SYSTEM SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT OF THE CDS WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. SIMPLY REMOVE THE MANHOLE COVERS AND INSERT THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.
 - BUILDING GUTTERS: THE PROPOSEDBUILDING WILL CONTAIN GUTTERS. ALL STORMWATER FROM ROOF RUNOFF IS DIRECTED TOWARD INFILTRATION TRENCH SYSTEMS LOCATED AT THE REAR OF THE BUILDING. THE DOWNSPOUTS WILL BE DIRECTED TO THE INFILTRATION TRENCHES THROUGH ROOF LEADER PIPES. GUTTERS SHALL BE CLEANED PERIODICALLY AS NEEDED AND/OR AT LEAST TWICE PER YEAR, AFTER LEAVES HAVE FALLEN IN THE FALL SEASON AND IN THE SPRING SEASON AFTER NEW LEAF GROWTH. IT MAY BE DETERMINED UPON INSPECTION THAT CLEANING MORE OFTEN MAY BE NECESSARY. DOWNSPOUT STRAINERS SHALL BE USED AT DOWNSPOUT LOCATIONS WITHIN THE GUTTERS.
 - INFILTRATION SYSTEMS: MAINTENANCE OF THE INFILTRATIVE SYSTEMS WILL NOT BE REQUIRED WITH THE PROPER MAINTENANCE OF BUILDING GUTTERS AND VORTSENTRY UNITS. INSPECTION FOR EACH THE SYSTEMS SHALL BE PROVIDED ONCE A YEAR THROUGH THE INSPECTION PORT. VERIFY THAT THE SYSTEMS ARE NOT CLOGGED AND ARE DRAINING.
 - RAIN GARDEN:INSPECT & REMOVE TRASH YEAR ROUND MONTHLY
MULCH SPRING ANNUALLY
REMOVE DEAD VEGETATION FALL OR SPRING ANNUALLY
REPLACE DEAD VEGETATION SPRING ANNUALLY
PRUNE SPRING OR FALL ANNUALLY
 - THE ESTIMATED ANNUAL MAINTENANCE COST OF THIS STORMWATER MANAGEMENT SYSTEM IS \$500/UNIT.
- MAINTENANCE REPORTS SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS OPERATION & MAINTENANCE PLAN AND CONSTRUCTION PHASE. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
 - INSPECTION DATE;
 - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
 - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
 - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
 - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
 - LOCATION OF BEST MANAGEMENT PRACTICES (STRUCTURE), "BMPs" THAT NEED TO BE MAINTAINED;
 - LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
 - LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
 - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
 - ALL REPORTS SHALL BE SUBMITTED TO THE PUBLIC WORKS SUPERINTENDENT ON A MONTHLY BASIS DURING CONSTRUCTION PERIOD.
 - REPORTS AFTER CONSTRUCTION SHALL BE RETAINED FOR TEN YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE AND SUBMITTED TO THE CONSERVATION COMMISSION UPON REQUEST.
- ILLICIT DISCHARGES: ALL ILLICIT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED. IF AN ACCIDENTAL SPILL OCCURS (OIL AND/OR CHEMICAL SPILLS, RADIATION EMERGENCIES, AND BIOLOGICAL DISCHARGES) THE NATIONAL RESPONSE CENTER MUST BE CALLED AT 1-800-424-8802



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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

REVISIONS:	DATE	DESCRIPTION
0	8/24/17	SITE PLAN REVIEW
1	8/24/17	DATE
2	8/24/17	DATE
3	8/24/17	DATE
4	8/24/17	DATE
5	8/24/17	DATE
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100	8/24/17	DATE



PREPARED BY:



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(508)832-5781

PROJECT:

COUNTRY COTTAGE DAYCARE
35 SUMMER STREET
MEDWAY, MASSACHUSETTS 02053

TITLE:

STORMWATER POLLUTION PREVENTION PLAN
COUNTRY COTTAGE DAY CARE

OWNER/APPLICANT:

ROBIN & DAVID BEAUDREAU
575 EAST HARTFORD AVENUE
UXBRIDGE, MASSACHUSETTS 01569

FILE NO: 3561

STORMWATER POLLUTION PREVENTION PLAN

DATE: AUGUST 24, 2017

DEFINITIVE PLAN NO:

1 of 1

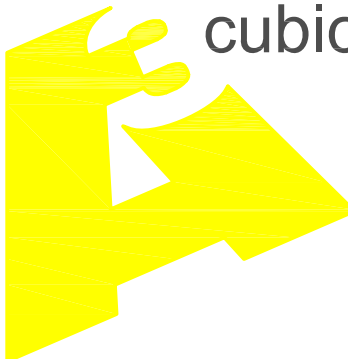
1



RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

08/25/17 Planning Board Submission

REVISIONS



cubic architects, inc

33 Bowsprit Lane
Plymouth, Massachusetts 02360
TEL: 617-314-7330
FAX: 781-658-2381
wfuller@cubicarchitects.com

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Country Cottage Children's Ctr
New Facility

35 Summer Street Medway, Massachusetts

Building Perspective from
Front Parking Lot

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

PS90 1

Sheet
1
A9.01

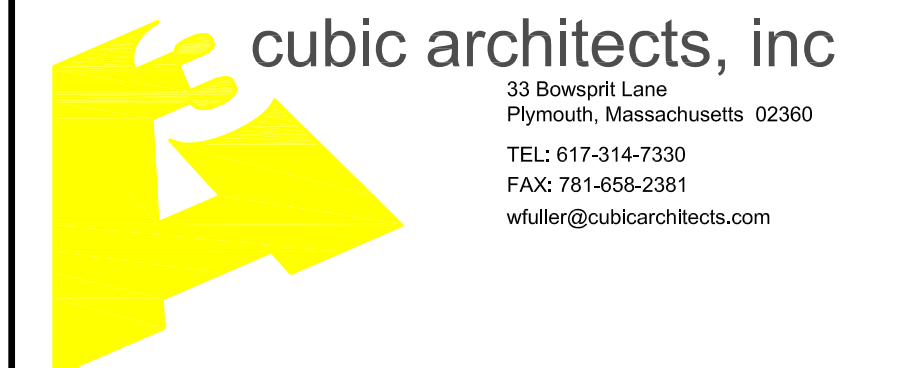
Front Perspective

NTS



RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



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Country Cottage Children's Ctr New Facility

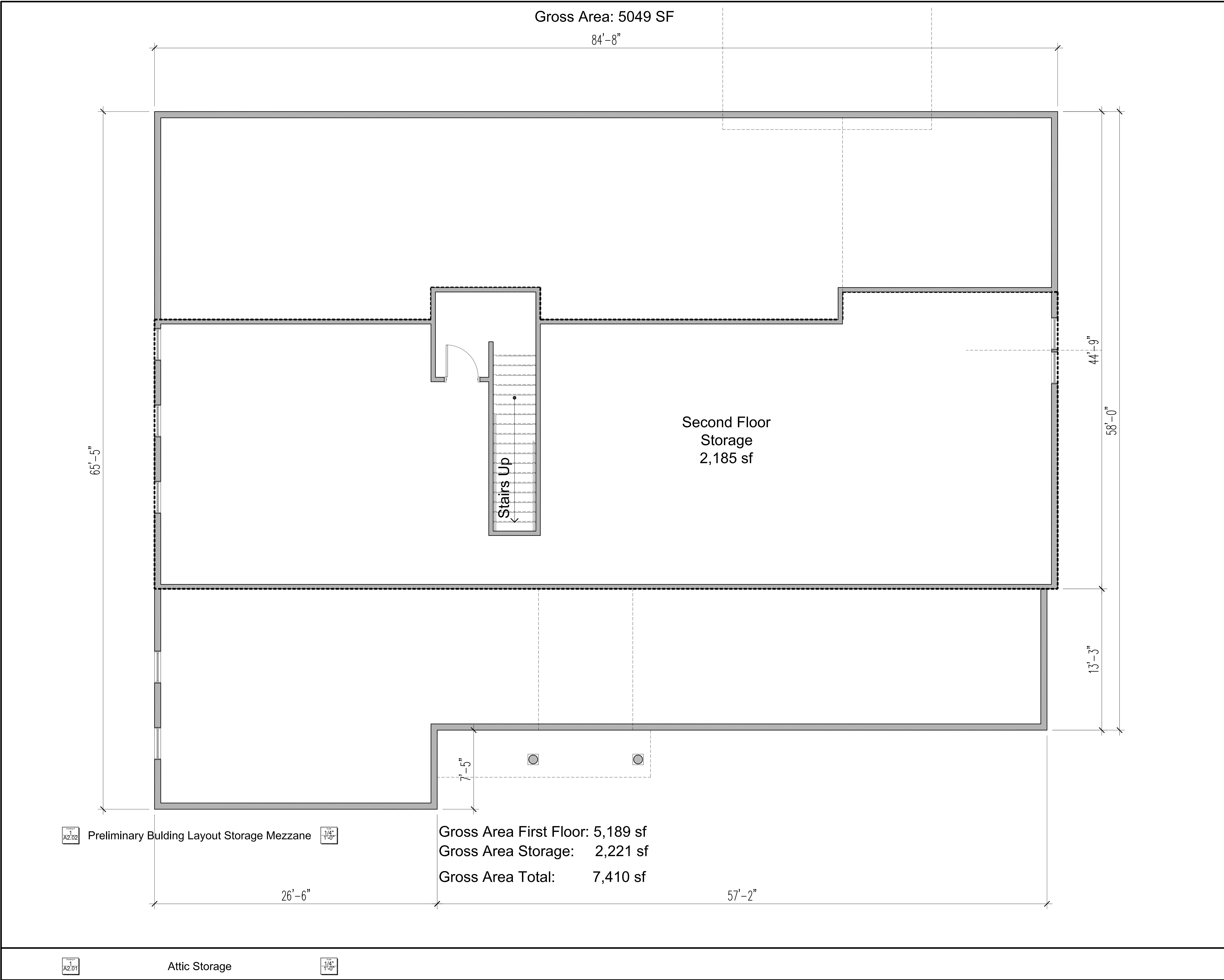
35 Summer Street Medway, Massachusetts

First Floor Plan

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A2.01

08/25/17 Planning Board Submission



2

RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION

1

RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

08/25/17 Planning Board Submission

REVISIONS



cubic architects, inc

33 Bowsprit Lane
Plymouth, Massachusetts 02360
TEL: 617-314-7330
FAX: 781-658-2381
wfuller@cubicarchitects.com

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Country Cottage Children's Ctr
New Facility

35 Summer Street
Medway, Massachusetts

Attic Storage Area

DATE: 07/30/17

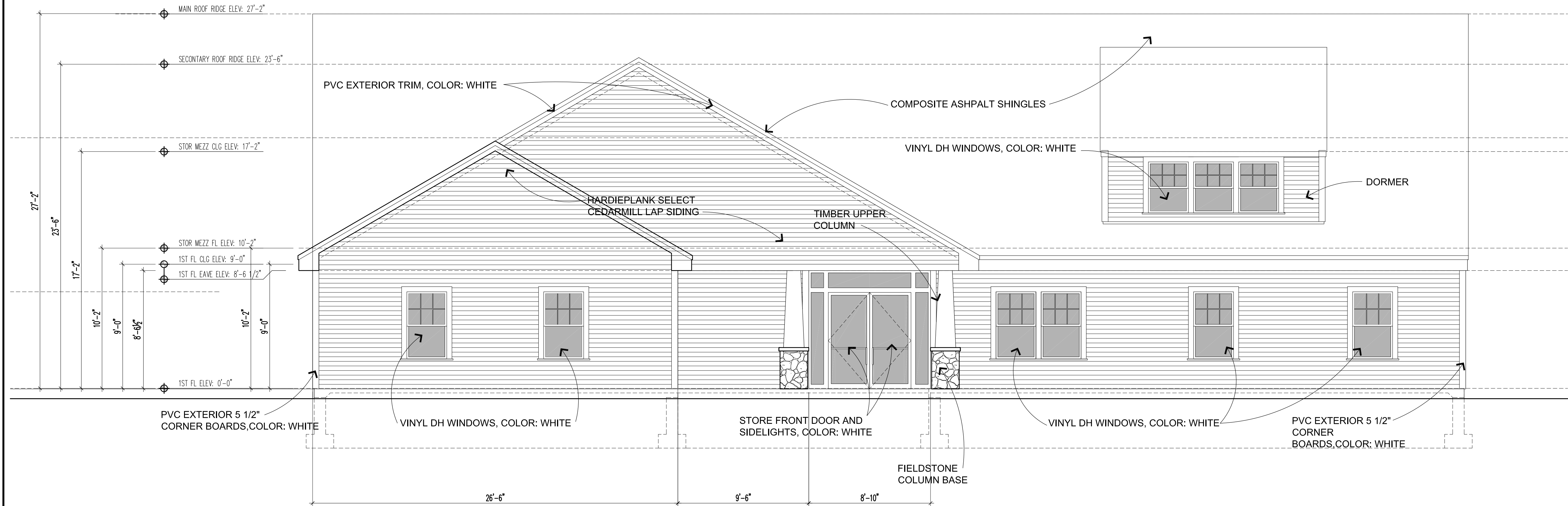
BY: WAF

CA JOB NO: 2015-022

A2.01

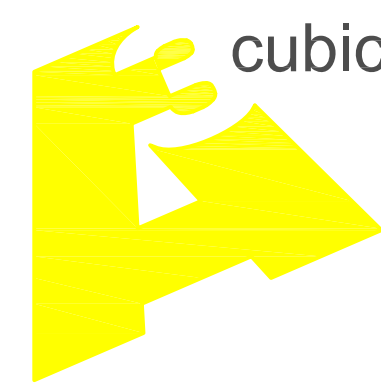
Attic Storage

A2.02



RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS

 **cubic architects, inc**
33 Bowsprit Lane
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Country Cottage Children's Ctr
New Facility

35 Summer Street Medway, Massachusetts

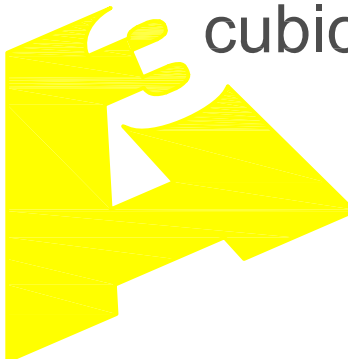
Front Elevation

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A3.01

RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



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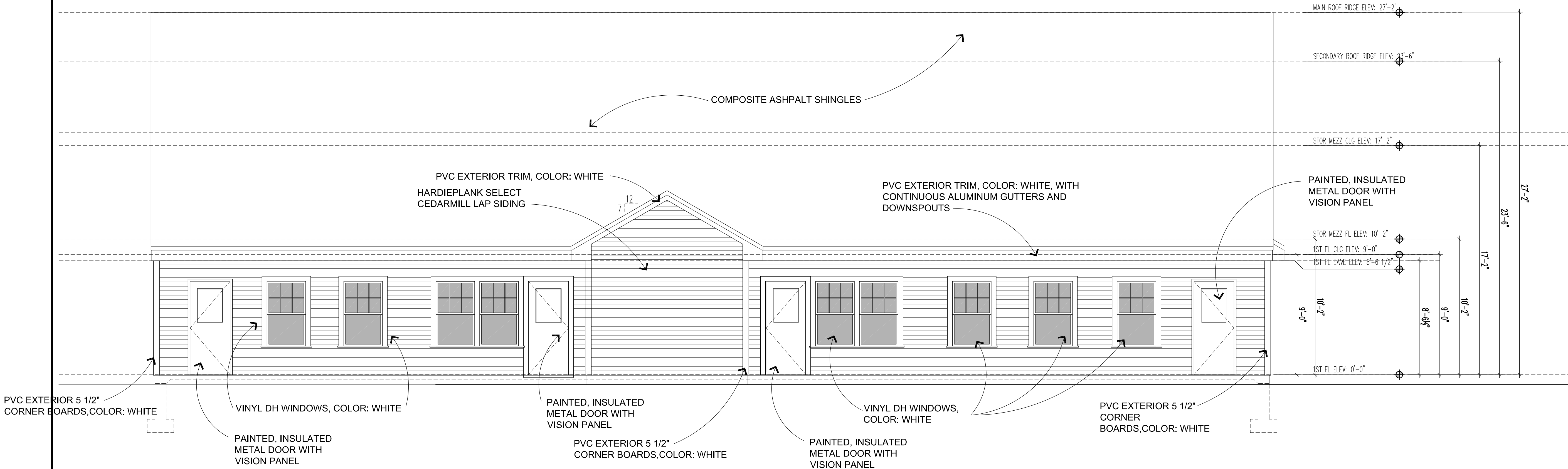
Country Cottage Children's Ctr
New Facility

35 Summer Street Medway, Massachusetts

Rear Elevation

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A3.02



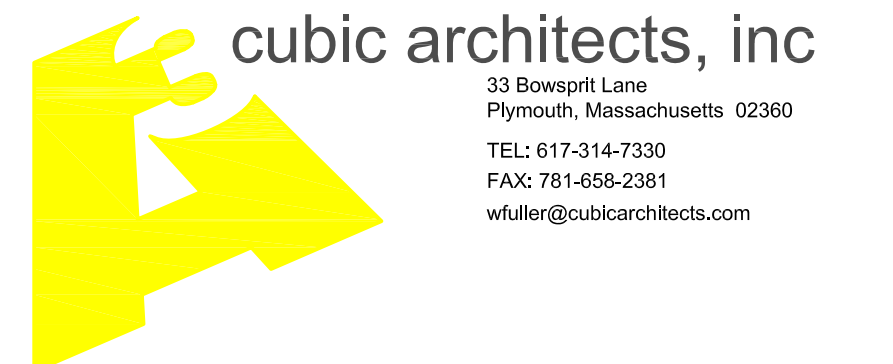
Rear Elevation

Sheet
1
A3.02

1/4\"/>

RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



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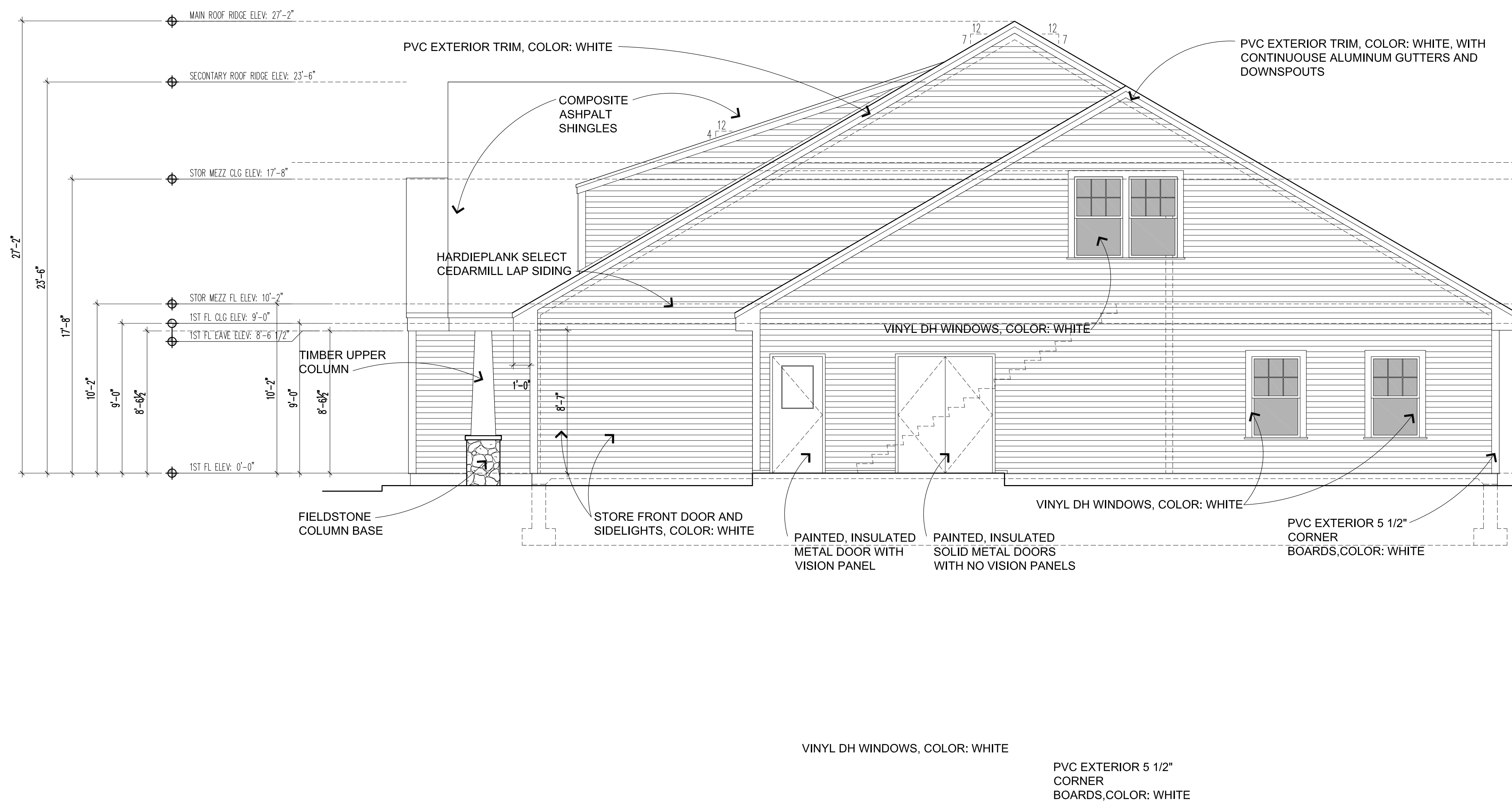
Country Cottage Children's Ctr
New Facility

35 Summer Street Medway, Massachusetts

Right Side Elevation

DATE: 07/30/17 BY: WAF CA JOB NO: 2015-022

A3.03



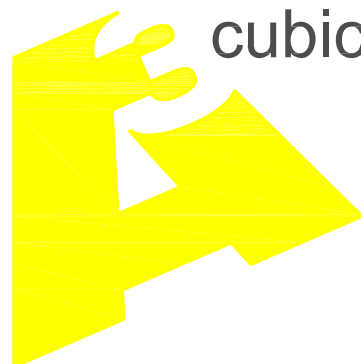
Right Side Elevation

A3.03

1/4" = 1'-0"

RELEASE 2: 08/25/17 PLANNING BOARD SUBMISSION
RELEASE 1: 08/08/17 PRELIMINARY DESIGN RELEASE

REVISIONS



cubic architects, inc

33 Bowsprit Lane
Plymouth, Massachusetts 02360
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wfuller@cubicarchitects.com

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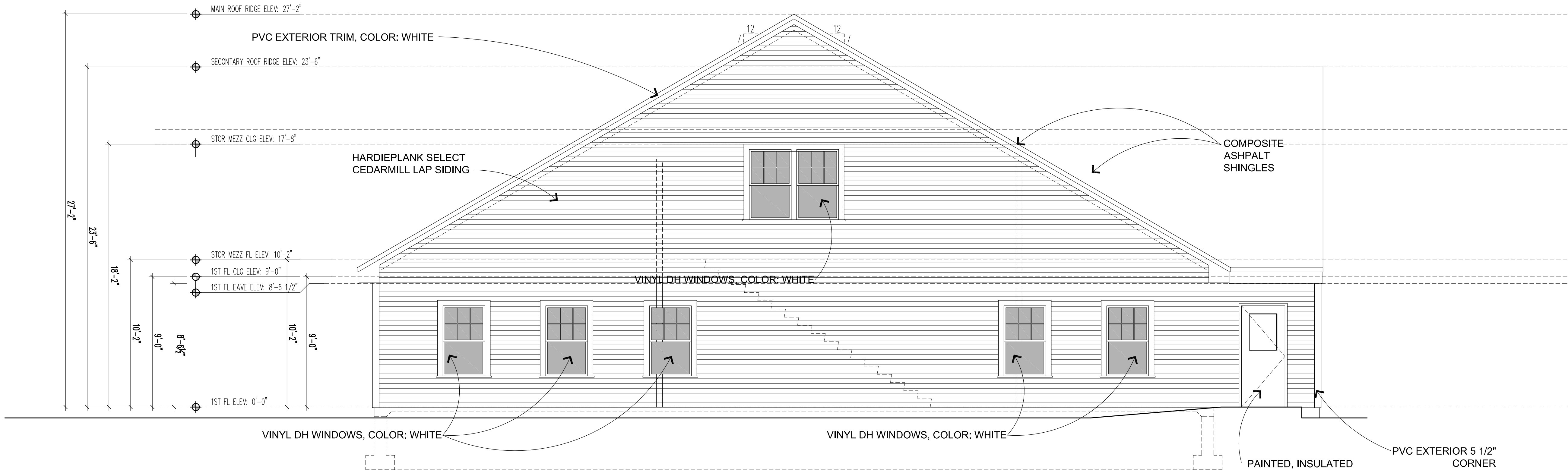
Country Cottage Children's Ctr
New Facility

35 Summer Street
Medway, Massachusetts

Left Side Elevation

DATE: 07/30/17
BY: WAF
CA JOB NO: 2015-022

A3.04



PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

September 5, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

Dear Mr. Rodenhiser:

I have reviewed the proposed site plan submitted by Robin and David Beaudreau of Uxbridge. The proposal is to construct a 5,080 square foot child care center on a vacant lot of 33,898 square feet including associated parking, drainage, landscaping, etc. The plan was prepared by Engineering Design Consultants of Southborough. The plan is dated August 24, 2017.

I have comments as follows:

Zoning

1. The proposed use is exempt under the Dover amendment and is allowed by right in all districts, subject to reasonable regulations.
2. The plan proposes 22 parking spaces, including 1 handicapped space. There is no specific number of spaces for the proposed use in the Zoning Bylaw. The bylaw says that industry standards should apply. For perspective, a retail facility of this size would require 17 spaces.
3. Section 7.1.1.I requires a bicycle rack spot for each 20 parking spaces. Under that standard, at least 1 bicycle rack spot would be required.
4. Section 7.1.2 E.1 states that light trespass onto any abutting street or lot beyond .01 foot-candles is not permitted. A photometric plan was provided and it indicates that the foot-candle level at the property lines is no greater than .01 except that it reaches .02 along the Summer Street frontage. However, a larger issue is that the foot-candle levels within the site on the front and side sidewalks and driveways reaches 41 foot-candles with several other instances in the 30's, 20's and teens. This seems excessive. The Zoning Bylaw does not specify a maximum, but a range of common maximums is 5 to 7.5 so the proposed level far exceeds this and is more appropriate for indoor task lighting.
5. A free-standing sign is proposed near the corner of Summer Street and Rustic Road. No details are provided.
6. The proposed site plan meets maximum building coverage (15% proposed vs. maximum of 30%) but it exceeds the maximum lot coverage requirement (50% vs. maximum of 40%). While the exempt use is subject to building coverage requirements, lot coverage is not among the "reasonable regulations" listed in Chapter 40A, Section 3.

General Comments

7. Currently, there is some heavy vegetation along the lot line with 33 Summer Street. The Landscape Plan does not show this vegetation. It is unclear if that is on the subject lot or on the property of 33 Summer Street. The house at 33 Summer is very close to the lot line and it is directly in the path of vehicles exiting the day care facility so it would be important to retain or replace that screening with vegetation or fencing.
8. As noted in the pre-application meeting, cut-through traffic on Little Tree and Rustic Roads has been an issue for residents there. The applicant should consider a policy of instructing employees and parents to enter the site from the Summer Street end of Rustic Road only, and for employees to also exit the same way.

If there are any questions please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



September 11, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Country Cottage Children's Center
Site Plan Review
35-37 Summer Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 35-37 Summer Street in Medway, MA. Proposed Project includes construction of a single story 5,080 sf building with 22 parking spaces, appurtenant utilities and drain infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Country Cottage Daycare, 35 Summer Street, Medway, Massachusetts 02053", dated August 24, 2017, prepared by Engineering Design Consultants (EDC).
- An architectural plan (Plans) set titled "Country Cottage Children's Ctr, New Facility", dated August 25, 2017, prepared by Cubic Architects, Inc. (CAI).
- A stormwater management report (Stormwater Report) titled "Stormwater Calculations for Country Cottage Day Care a Site Development located at 35 Summer Street, Medway, Massachusetts 02053" dated August 2, 2017, prepared by EDC.
- A cover letter referencing Minor Site Plan Review Country Cottage Daycare, dated August 24, 2017, prepared by EDC.
- An Application for Review and Approval Minor Site Plan Project, dated August 24, 2017, prepared by EDC.

The Plans, Stormwater Report and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations), MA DEP Stormwater Management Standards (Standards), additional applicable town standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

The following items were found to be inconsistent with current Town of Medway PEDB Site Plan Review Regulations (Chapter 200). Reference to applicable regulation requirement is given in parentheses following each comment.

- 1) The applicant has not supplied a written Development Impact Statement. We have no objection to a waiver from this regulation. (Ch. 200 §204-3.A.7)
- 2) The Plans are drawn at a scale of 1"=20' which does not meet the 1"=40' from the regulation. However, the scale at which the plans have been drawn are sufficient to adequately represent the proposed work. (Ch. 200 §204-4.B)

- 3) The applicant shall confirm that all existing and proposed elevations refer to NAVD 88 datum and reference to the datum must be shown on the Plans. (Ch. 200 §204-4.D)
- 4) The applicant has not supplied a cover sheet with the Plans. (Ch. 200 §204-5.A)
- 5) Locus plan shall be shown to scale to show all surrounding roadways and scenic roads must be labeled. (Ch. 200 §204-5.B.1)
- 6) Metes and bounds shall be provided for lot lines at the property. (Ch. 200 §204-5.B.3)
- 7) Existing utilities shall be shown on the Plans. (Ch. 200 §204-5.C.1)
- 8) The applicant has not supplied an existing landscape inventory. However, based on the current condition of the site we would not object to a waiver request. (Ch. 200 §204-5.C.3)
- 9) The applicant shall show setback lines on the Layout Plan for reference. (Ch. 200 §204-5.D.2)
- 10) The applicant has not supplied a signage detail with the Plans. (Ch. 200 §204-5.D.12)
- 11) Details of proposed light fixtures and appurtenances have not been provided. (Ch. 200 §204-5.D.13)
- 12) Horizontal sight distances shall be provided for both site entrance/exits. (Ch. 200 §204-5.D.14)
- 13) Asphalt surfaces shall be a minimum of 3 ½" in depth. (Ch. 200 §205-6.D)
- 14) The applicant should provide truck turning template acceptable to the Fire Chief to show emergency access throughout the site. (Ch. 200 §205-6.E)
- 15) The applicant shall provide required vs. proposed parking counts. (Ch. 200 §205-6.G.2)
- 16) The applicant is proposing 9' x 18' standard parking stalls which do not comply with the Regulations. TT does not object to a 9' width for proposed spaces but recommend 20' length stalls along areas bounded by sidewalk to limit bumper overhang into the sidewalk area. We recommend a waiver be requested. (Ch. 200 §205-6.G.3(a))
- 17) Wheel stops are required in parking stalls abutting sidewalks. We recommend extending the length of parking stalls and eliminating wheel stops as they tend to cause issues during snow plowing operations. We recommend a waiver be requested. (Ch. 200 §205-6.G.3(b))
- 18) Proposed parking is located within the 15' setback from the front and side lot lines. (Ch. 200 §205-6.G.4(b))
- 19) Areas for snow storage have not been shown on the Plans. (Ch. 200 §205-7)
- 20) Applicant shall provide height of proposed lighting. (see comment 11) (Ch. 200 §205-8.C)
- 21) Proposed Landscape Plan has not been provided. (Ch. 200 §205-9)

The following items were found to not be in conformance with MA DEP Storm Water Management Standards and/or Town stormwater standards.

MA DEP Stormwater Management Standards

- 22) Test pit information is required to confirm soil types and associated infiltration rates below the proposed Infiltration Systems. (Standard 3)

Town Stormwater Regulations (Ch. 200 §205-4)

- 23) Test pit information shall be submitted to confirm infiltration bmp exfiltration rates. (Ch. 200 §205-4.B)
- 24) Pipe and catch basin grate sizing calculations shall be provided for the 25-year storm event. (Ch. 200 §205-4.E.1)

General Stormwater Comments

- 25) We recommend combining proposed Infiltration Area #2 and #3 for ease of construction and future inspections. The individual systems have been designed with the same chamber size, invert elevations and proper pre-treatment to facilitate combining the structures.

The following is a list of general items that TT recommends the applicant take into consideration prior to the next submission:

- 26) It appears the Project boundary is comprised of two properties (56-017 and 56-018) as shown on Town of Medway GIS. Please reflect correct property information on the Plans.
- 27) A private sewer force main runs through the site. We recommend the applicant show location of any permanent sewer easement on the Plans.
- 28) We recommend the applicant provide detail of proposed fire/domestic connection. Existing water main not shown in Rustic Road. Furthermore, applicant proposes relocating publicly owned hydrant to private site. The hydrant should be relocated to an area within its current parcel or an easement will be required.
- 29) We recommend the applicant provide detail of the water/sewer (force main) crossing and proposed fence.
- 30) The applicant should provide Inverts for existing SMH-1.
- 31) The applicant should show proposed radii at each curb radius on the layout plan. Furthermore, we recommend the applicant provide radius curb instead of angle points at external curb corners to reduce tire puncture and snow plow damage.
- 32) The northernmost proposed bollard at Summer Street exit is shown in the paved portion of the driveway
- 33) The endorsement signature block shall read "Planning and Economic Development Board" not "Planning Board".
- 34) We recommend the applicant include construction fence protect site during construction.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Sean P. Reardon, P.E.
Vice President



Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-17012 (COUNTRY COTTAGE CHILDRENS CTR)\DOCS\COUNTRYCOTTAGE-PEDBREV(2017-09-11).DOCX



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street
Medway MA 02053
508-533-3291
drc@townofmedway.org

September 12, 2017

TO: Medway Planning and Economic Development Board

RE: Country Cottage Children's Center – 35 Summer Street

Dear Mr. Chairman,

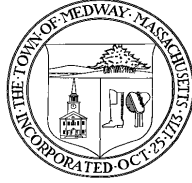
The Medway Design Review Committee previously met on August 21, 2017 with the representatives of Country Cottage Children's Center including their Architect, Walter Fuller, on an informal, pre-application basis regarding their proposed new building to be located at 35-37 Summer Street. At that time, the DRC offered several building design recommendations which included reducing the size of the gables ends of the building facing on Summer Street and Rustic Road, adding a dormer on the south side of the roof line facing Summer Street, making the entrance columns more architecturally interesting, and using the supplied Hardi board siding in a sage green color.

On September 11, 2017, Walter Fuller supplied the DRC with updated exterior elevations as included in the site plan application materials before the Board. All of the DRC's previous building design recommendations were reflected in the updated design plans for the building façade.

The DRC looks forward to seeing the sign plan, detailed landscaping plan, site lighting plan and fencing materials at a future date.

Sincerely,

Matthew J. Buckley
Chairman



September 12, 2017
Medway Planning & Economic Development Board
Meeting

UPDATED
Village Estates Definitive Subdivision Plan
Modification

- Public Notice
- Application
- Letter dated 8/29/17 from engineer Dan Merrikin with a description of the proposed modification
- Revised subdivision plan
- Emails between SAC and Barry Smith, DPS Deputy Director
- **Tetra Tech review letter dated 9/11/17**
- **Tetra Tech inspection report dated 7/12/17 re: video inspection of sewer line**
- **Email from Mackenzie Leahy dated 8/31/17**

NOTE – This filing of a modified subdivision plan was made by the applicant pursuant to direction provided to him by the Board. This pertains to the location of the sewer line on the property, whether it connects to the new house via Bedalia Lane vs. running along the eastern boundary of the 272 Village Street property.

NOTE – DPS Deputy Director Barry Smith will attend the meeting to be available for any questions you may have.



TOWN OF MEDWAY

Planning & Economic Development Board

155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

Proposed Modification

Village Estates Definitive Subdivision Plan – 272 Village ST/Bedalia Lane Public Meeting Notice - Tuesday, September 12, 2017

In accordance with the provisions of Chapter 41, Section 81A – 81GG, Massachusetts General Laws and the Medway Planning Board's *Rules and Regulations for the Review and Approval of Land Subdivisions*, notice is given that ***the Medway Planning & Economic Development Board will review a proposed modification to the previously approved Village Estates Definitive Subdivision Plan during its meeting on Tuesday, September 12, 2017 at 8:15 p.m. in the Sanford Room of Town Hall, 155 Village Street, Medway, MA.*** The applicants are property owners Russell and Dorothy Santoro, of Medway, MA. The revised plan is dated August 11, 2017 and was prepared by Colonial Engineering, Inc. of Medway, MA and Merrikin Engineering LLP of Mills, MA.

In 2011, Planning and Economic Development Board approved the Village Estates subdivision, a 2-lot, private way residential subdivision on a 2.026 acre parcel located at 272 Village Street (*Medway Assessors Map 1C /Parcel 114*) in the Agricultural Residential II zoning district. The land was divided into two residential lots – Lot 1 containing an existing dwelling at 272 Village Street and Lot 2 for new residential construction. The development would include the construction of an approximately 219 foot long, 18' wide permanent private roadway (Bedalia Lane), a stormwater drainage system, and the installation of municipal water and sewer services. Most of the site work has been completed.

The proposed plan revision pertains to changing the location of the sewer line to be installed connecting Lot 2 to the Town's sewer line in Village Street. As originally approved, the sewer line was to run westerly along Village Street and then northerly up through Bedalia Lane to Lot 2. The applicant's proposed alternative routing is to extend the current sewer line servicing 272 Village Street (Lot 1) which presently runs northerly from Village Street for approximately 47' along the eastern side of the existing house. The existing 6" sewer line is followed by approximately 50' of existing 4" sewer line which would be replaced with a new 6" line. This would then be followed by the installation of a new 6" sewer line extending approximately 160' northerly and northwesterly from the northeast corner of the existing house to the new dwelling on Lot 2.

The revised *Village Estates Definitive Subdivision Plan* is on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected Monday through Thursday from 8:00 a.m. to 4:00 p.m. and Fridays from 8:00 am to 1:00 p.m. The plan revision is also posted at: <https://www.townofmedway.org/planning-economic-development-board/pages/pedb-recent-development-applications>. Interested persons or parties are invited to review the plan, attend the public meeting, and express their views at the designated time and place. Written comments are encouraged and may be sent to planningboard@townofmedway.org.

Andy Rodenhiser, Chairman

Telephone: 508-533-3291 Fax: 508-533-3252
planningboard@townofmedway.org

LAND SUBDIVISION – FORM C-4

**Application/Petition to Revise a Previously Approved
Definitive Subdivision Plan**

Planning & Economic Development Board - Town of Medway, MA

INSTRUCTIONS TO APPLICANT/PETITIONER

*This Application/Petition is made pursuant to the Medway Planning Board's Subdivision Rules and Regulations.
Please complete this entire Application/Petition.*

1. Submit two (2) signed originals of the Application/Petition and one (1) copy of the proposed Revised Definitive Subdivision Plan to the Town Clerk who will date stamp both original Applications.
2. Provide one (1) original Application/Petition date stamped by the Town Clerk, ten (10) copies of the proposed Revised Definitive Subdivision Plan, the appropriate Filing Fee, and an advance of the Plan Review Fee to the Medway Planning & Economic Development Board.

The Town's Planning and Engineering Consultants will review the Application/Petition and the proposed Revised Definitive Subdivision Plan. You or your duly authorized Agent/Official Representative will be expected to attend the Planning & Economic Development Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request. Your absence may result in a delay in its review.

August 11, 2017

TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned herewith petitions the Town of Medway Planning & Economic Development Board to *REVISE* a previously approved Definitive Subdivision Plan of property located in the Town of Medway.

ORIGINAL DEFINITIVE SUBDIVISION PLAN INFORMATION

Plan Title: Village Estates Definitive Subdivision Permanent Private Way

Prepared by: Paul Desimone of Colonial Engineering, Inc. and

Of: Daniel Merrikin of Merrikin Engineering, LLP

Plan Date (and revision dates): May 19, 2011, Revised through June 10, 2015

Approved by the Planning Board on: 11/29/2011

OR/Constructively approved by Town Clerk's certificate on: n/a

Approval endorsed by the Planning Board on: 6/23/2015

Recording information: Date: 7/10/2015

Plan #: n/a Book: 640 Page: 6

Certificate of Action: Book: 33297 Page: 11

Total Acreage of Land: 2.0 acres

Original Zoning Classification: AR-II

The original definitive subdivision plan showed the division of land into 2 building lots numbered 1 & 2 and 1 parcels not intended for building thereon to be used as:
a private way

Was the original plan for the proposed street (s) to be?

☒ Permanently privately owned
☐ Publicly accepted

Approved Street Names: Bedelia Lane

Utilities:

☒ Town water ☐ Private well
☒ Town sewer ☐ Private septic

PETITIONER INFORMATION

Petitioner's Name: Russell Santoro

Petitioner's Address: 372 Village Street

Medway, MA 02053

Name of Primary Contact: Russell Santoro

Telephone: 508-509-8623

FAX: n/a

Email address: russ@advantage.com

Describe Petitioner's Interest in subdivision: Owner

Official Representative's Name: Daniel Merrikin

Address: 730 Main Street, Suite 2C

Millis, MA 02054

Telephone: 508-376-8883

FAX: n/a

Email address: dan@me-llp.com

ORIGINAL APPLICANT INFORMATION

Applicant's Name: Russell & Dorothy Santoro

Applicant's Address: 372 Village Street

Medway, MA 02053

Name of Primary Contact: Russell Santoro

Telephone: 508-509-8623

FAX: n/a

PRESENT SUBDIVISION OWNER INFORMATION

Please complete only if the original applicant and present owner are not the same person or entity.

Present Owner's Name: _____

Address: _____

Name of Primary Contact: _____

Telephone: _____ FAX: _____

CONSULTANT INFORMATION

Engineer: Merrikin Engineering, LLP

Address: 730 Main Street, Suite 2C

Millis, MA 02054

Primary Contact: Daniel Merrikin, P.E.

Telephone: 508-376-8883 Fax: n/a Email: dan@me-llp.com

Surveyor: Colonial Engineering, Inc.

Address: 11 Awl Street

Medway, MA 02053

Primary Contact: Paul Desimone

Telephone: 508-533-1644 Fax: n/a Email: colonial.eng@verizon.net

CURRENT INFORMATION

This is a petition/motion to **REVISE** a previously approved definitive subdivision plan.

How will the plan be changed?

Revising the route of the proposed sewer connection for Lot 2

What sheets in the original plan set are to be changed? 4 & 5

Does the proposed **REVISION**:

Change the roadway layout/right of way? _____ Yes ☒ No

Change any lot lines? _____ Yes ☒ No

Attach a letter/detailed explanation/justification as to WHY the plan needs to be revised.

Title of Revised Plan: Village Estates Definitive Subdivision Permanent Private Way

Prepared by: Paul Desimone of Colonial Engineering, Inc. and

Of: Daniel Merrikin of Merrikin Engineering, LLP

Plan Revision Date: August 11, 2017

Current Medway Zoning District Classification: AR-II
Frontage Requirement: 150' Area Requirement: 22,500 S.F.

Scenic Road

Does any portion of the subdivision have frontage on a Medway Scenic Road?
☒ Yes ☐ No If yes, please name: Village Street

Wetlands

Is any portion of the site within a Wetland Resource Area?
☒ Yes ☐ No

Groundwater Protection

Is any portion of the site within the Groundwater Protection Overlay District?
☐ Yes ☒ No

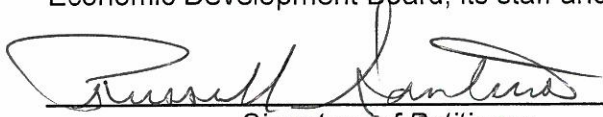
Flood Plain/Wetland Protection District

Is any portion of the site within the Flood Plain/Wetland Protection Overlay District?
☐ Yes ☒ No

SIGNATURES

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. If applicable, I hereby authorize Daniel Merrikin to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application/petition to Revise a Previously Approved Definitive Subdivision Plan.

I agree to abide by the current Medway Planning Board's *Rules and Regulations for the Review and Approval of Land Subdivisions*. In submitting this application, I authorize the Planning & Economic Development Board, its staff and agents, to access the site during the plan review process



Signature of Petitioner

8-11-17

Date



Signature of Property Owner

8-11-17

Date



Signature of Agent/Official Representative

2017-08-11

Date

FEES

Filing Fee - \$250

Advance on Plan Review Fee - \$500

Please submit 2 separate checks each made payable to: Town of Medway

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883
FAX (508) 376-8823

August 29, 2017

Mr. Andy Rodenheiser, Chairman
Medway Planning and Economic Development Board
Town Hall
155 Village Street
Medway, MA 02053

Ref: 272 Village Street
Village Estates Definitive Subdivision
Modification Request

Dear Members of the Board:

Please accept this letter as a summary of the history of the proposed sewer modification as follows:

- The original subdivision plan called for the sewer to be run along Village Street and then up through Bedelia Lane to provide sewer service to the new two-family dwelling.
- The existing single-family dwelling at 272 Village Street is already connected to the sewer via a combination 6”/4” sewer service line running along the right side of the house. The existing sewer line to 272 Village Street includes a manhole in the front left corner of the lot near the street layout.
- At the time of construction of the subdivision infrastructure, the applicant’s contractor approached DPS about the possibility of re-routing the sewer through the existing sewer to 272 Village Street. The impetus for this proposal is unclear. The contractor recalls that the Town expressed concern about the sewer moratorium, while DPS recalls that it was the contractor’s own initiative to make the change. Regardless, after some discussion, it is our understanding that DPS approved the alternate sewer route.
- In order to assess the exact condition of the sewer line to 272 Village Street, the applicant performed a TV inspection (with TetraTech present) on July 12, 2017, and concluded that the existing service is comprised of approximately 47 feet of 6” sewer pipe followed by 4” sewer pipe to the right side of the house at 272 Village.
- The applicant proposes to replace the 4” portion of the sewer line and then extend it beyond the house at 272 Village Street to the rear, where the new dwelling will be located. A new sewer manhole will be installed as part of this work.

Town of Medway
August 29, 2017
Page 2 of 2

Please do not hesitate to contact me with any questions or comments you may have.

Sincerely,

MERRIKIN ENGINEERING, LLP

Daniel J. Merrikin P.E.

cc: File

VILLAGE ESTATES

DEFINITIVE SUBDIVISION

PERMANENT PRIVATE WAY

REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S
DATED: JUNE 23, 2011

REVISED DATE: SEPTEMBER 12, 2011
MOVE ROAD LAYOUT 2 FT.

REVISED DATE: OCTOBER 6, 2011
ADD WAIVER REQUESTS & REPLACE WATER MAIN
WITH TWO WATER SERVICE LINES

REVISED DATE: OCTOBER 21, 2011
DRAINAGE SWALE

REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

REVISED DATE: AUGUST 11, 2017
SEWER MODIFICATION

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS

DATE: _____

DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

APPROVED _____, SUBJECT TO
COVENANT CONDITIONS SET FORTH
IN A COVENANT EXECUTED BY

DATED _____, AND TO BE
RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE
ELAPSED SINCE PLANNING BOARD
APPROVAL, AND NO APPEAL HAS
BEEN FILED IN THIS OFFICE.

DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION

PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011
SCALE 1" = 200'

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



COVER SHEET
SHEET 1 OF 8

GENERAL NOTES

- 1.) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS DOT HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
- 2.) VERTICAL GRANITE CURBING SHALL BE INSTALLED AT THE THE STREET INTERSECTION ROUNDINGS.
- 3.) THE PROPOSED LOCATIONS FOR THE ELECTRIC, TELEPHONE, AND CABLE CONDUIT'S SHALL BE DETERMINED BY THE UTILITIES SERVICE PROVIDER.
- 4.) REPAIRS MAKE TO EXISTING SIDEWALK ALONG VILLAGE STREET SHALL COMPLY WITH THE DPW CONDITIONS FOR THEIR ROAD OPENING PERMIT.

SUBDIVISION AREA CHART

TOTAL AREA OF EXIST. LAND = 88,271 SQ. FT.
TOTAL NUMBER OF LOTS & PARCELS = 3
TOTAL AREA OF LOTS & PARCELS = 88,271 SQ. FT.
TOTAL AREA DEDICATED TO STREET PURPOSES = 17,847 SQ. FT.
TOTAL AREA DEDICATED TO EASEMENTS = 0
TOTAL AREA DEDICATED TO OPEN SPACE = 0
TOTAL SUM OF ABOVE 194,392 = TO 88,271 SQ. FT.

ABUTTING STREET INFORMATION

VILLAGE STREET	50 FT COUNTY LAYOUT	27 FT WIDE PAVEMENT (SCENIC ROAD)
SAMOSSET CIRCLE	40 FT PUBLIC WAY	23.5 FT WIDE PAVEMENT
BROOKSIDE ROAD	33 FT PRIVATE WAY	19 FT. WIDE PAVEMENT
FOREST ROAD	45 FT PUBLIC WAY	24 FT. WIDE PAVEMENT

WAIVER REQUEST LIST

7.6.2 B) WATER FACILITIES INSTALLATION
REQUEST WAIVER FROM INSTALLATION OF WATER MAIN, HYDRANT
AND VALVES AND OTHER FITTINGS REQUIRE FOR WATER MAIN TIE IN.

7.7.2 P) STORM WATER
REQUEST WAIVER FROM REQUIRED 30 FT SETBACK
FROM PROPERTY LINES

7.9.1 D) STREET AND ROADWAY LOCATION
REQUEST WAIVER FOR 2 FT. RESERVE STRIP OF LAND
ALONG ROAD LAYOUT.

7.9.2 ALIGNMENT
REQUEST WAIVER FROM REQUIRED CURB RADIUS
OF 40 FT TO 24 FT @ ROAD WAY ENTRANCE
LOCATED ON NORTH WEST SIDE OF ROAD.

7.9.7 (H) ROADWAY CONSTRUCTION
REQUEST WAIVER FROM REQUIRED INSTALLATION OF
HOT MIX ASPHALT ROAD PAVEMENT.

7.10.2 CURBS AND BERMS
REQUEST WAIVER FROM REQUIRED INSTALLATION OF
HOT MIX ASPHALT CAPE COD BERM.

7.17.1 FIRE PREVENTION
REQUEST WAIVER FROM REQUIRED INSTALLATION OF
FIRE ALARM SYSTEM.

7.21 STREET LIGHTS
REQUEST WAIVER FROM REQUIRED INSTALLATION OF
STREET LIGHTS.

NOTE:

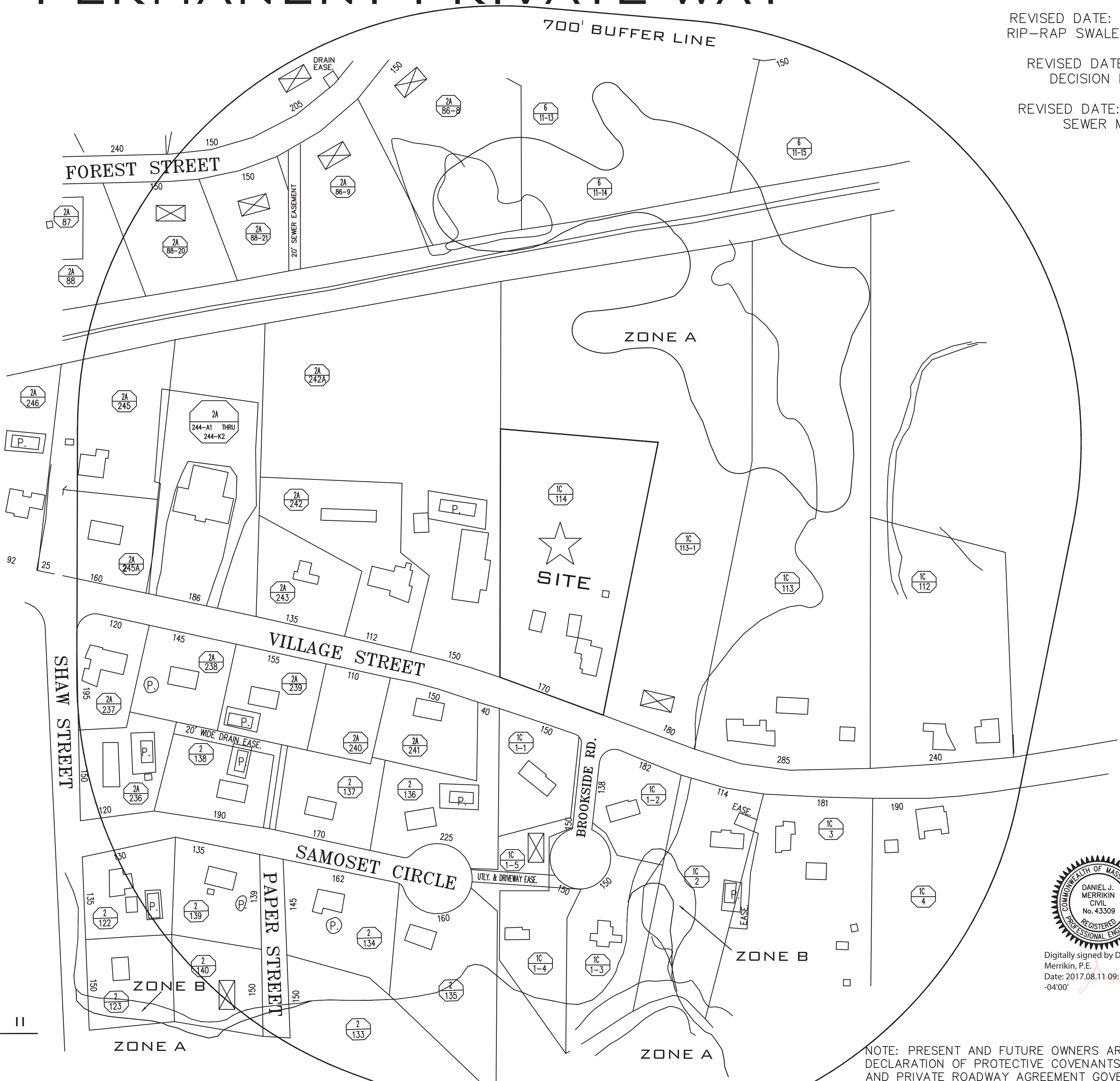
THE SUBJECT PROPERTY IS NOT
CLASSIFIED AS CHAPTER 61A OR 61B.
THE SUBJECT PROPERTY DOES NOT
LIE WITHIN THE FLOOD PLAIN.
VILLAGE STREET IS AN SCENIC ROAD
HOUSE # 272 IS PRE-EXISTING
AND NON CONFORMING.

LEGAL REFERENCE

DEED BK 25456 PG 529
PL. BK. 339 PL # 886
PL. BK. 377 PL # 58
NORFOLK COUNTY LAYOUT 1922

MEDWAY ZONE AR - II

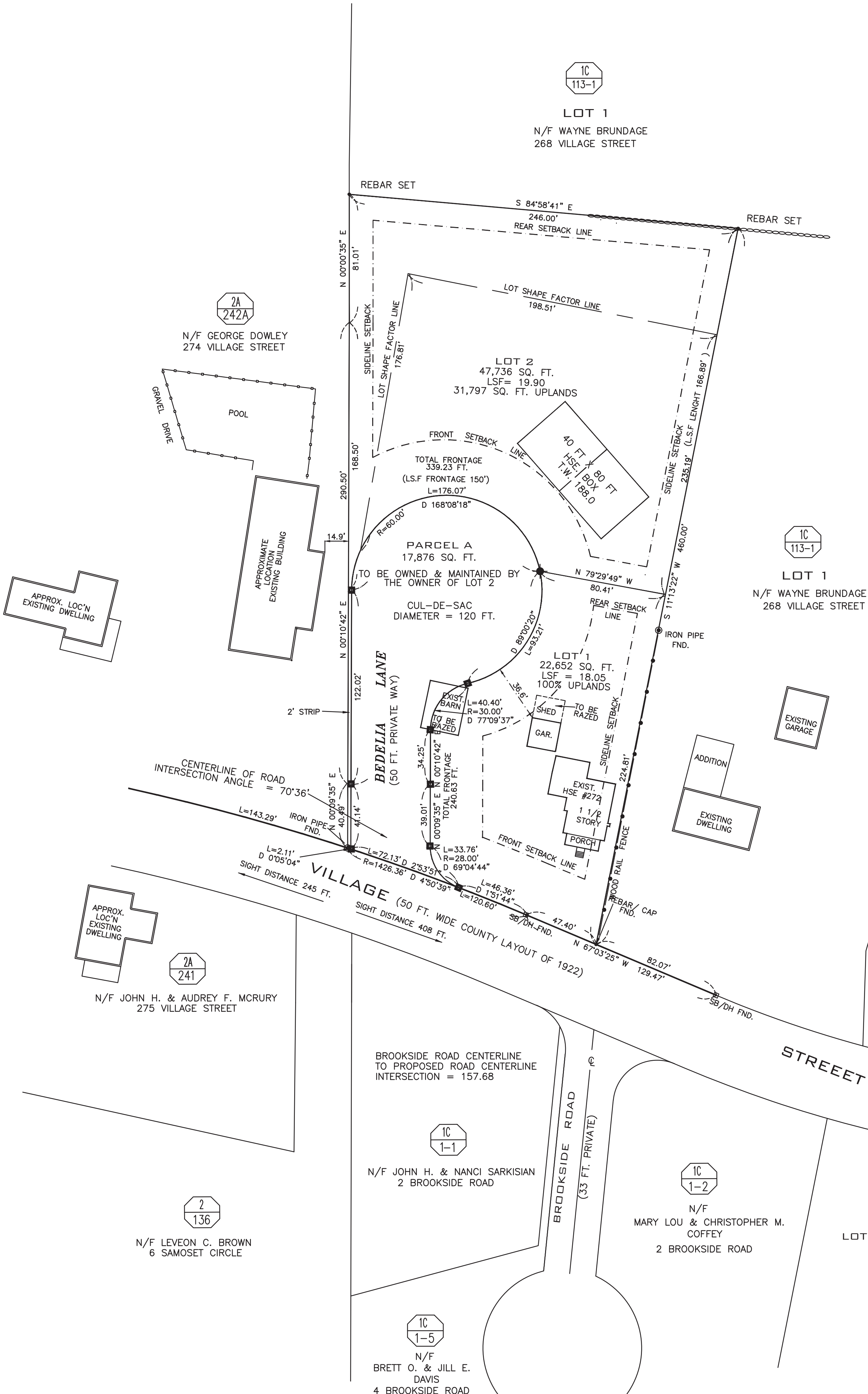
MIN. FRONTAGE 150 FT.
FRONT SETBACK 35 FT.
SIDE SETBACK 15 FT.
REAR SETBACK 15 FT
MIN. LOT AREA 22,500 SQ. FT.



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.08.11 09:10:48
-04'00'

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO
DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS
AND PRIVATE ROADWAY AGREEMENT GOVERNING THE
VILLAGE ESTATES SUBDIVISION.

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.



MEDWAY ZONE AR - II

MIN. FRONTAGE	150 FT.
FRONT SETBACK	35 FT.
SIDE SETBACK	15 FT.
REAR SETBACK	15 FT.
MIN. LOT AREA	22,500 SQ. FT.

LEGAL REFERENCE

DEED BK 25456 PG 529
PL. BK. 339 PL # 886
PL. BK. 377 PL # 58
NORFOLK COUNTY LAYOUT 1922

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REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY

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I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND

IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011
SCALE 1" = 40'

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



LEGAL SHEET
SHEET 2 OF 8

LEGEND

These standard symbols will be found in the drawing.

- ★ REBAR TO BE SET
- CONCRETE MONUMENTS TO BE SET

LOT SHAPE FACTOR CALCULATIONS

LOT 1
PERIMETER = 639.6 LINEAL FT
SQUARED = 409088.1600
DIVIDED BY AREA OF 22,659 SQ. FT.
EQUALS A LOT SHAPE FACTOR OF 18.05

LOT 2
PERIMETER = 772.61 LINEAL FT
SQUARED = 596926.2121
DIVIDED BY AREA OF 30,000 SQ. FT.
EQUALS A LOT SHAPE FACTOR OF 19.90

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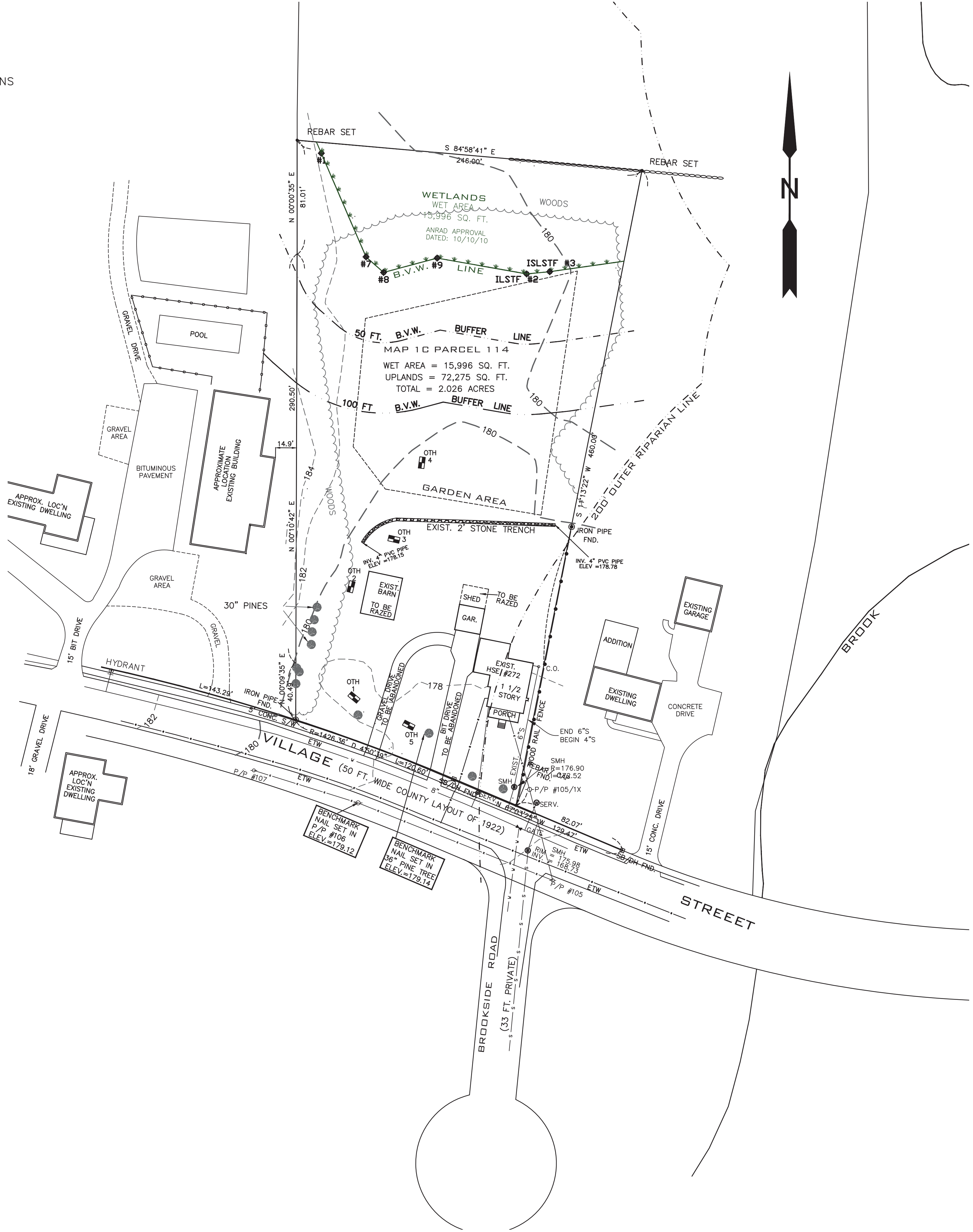
EXISTING CONDITIONS NOTES:

1. EXISTING UTILITY INFORMATION IS BASED ON AVAILABLE INFORMATION AND IS NOT WARRANTY TO BE ACCURATE WHERE FEATURES ARE BURIED. CONTRACTOR CONTACT DIGSAFE PRIOR TO ANY EXCAVATION ACTIVITY AND SHALL CONFIRM ALL UTILITY LOCATIONS WITH APPLICABLE UTILITY COMPANIES.

2. EXISTING CONDITIONS INFORMATION FOR OFF-SITE PROPERTIES ARE NOT BASED ON FIELD SURVEY AND ARE TAKEN FROM MASSGIS AERIAL PHOTOGRAPHY.

NOTE:

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DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

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DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011
SCALE 1" = 40'

COLONIAL ENGINEERING, INC.

11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP

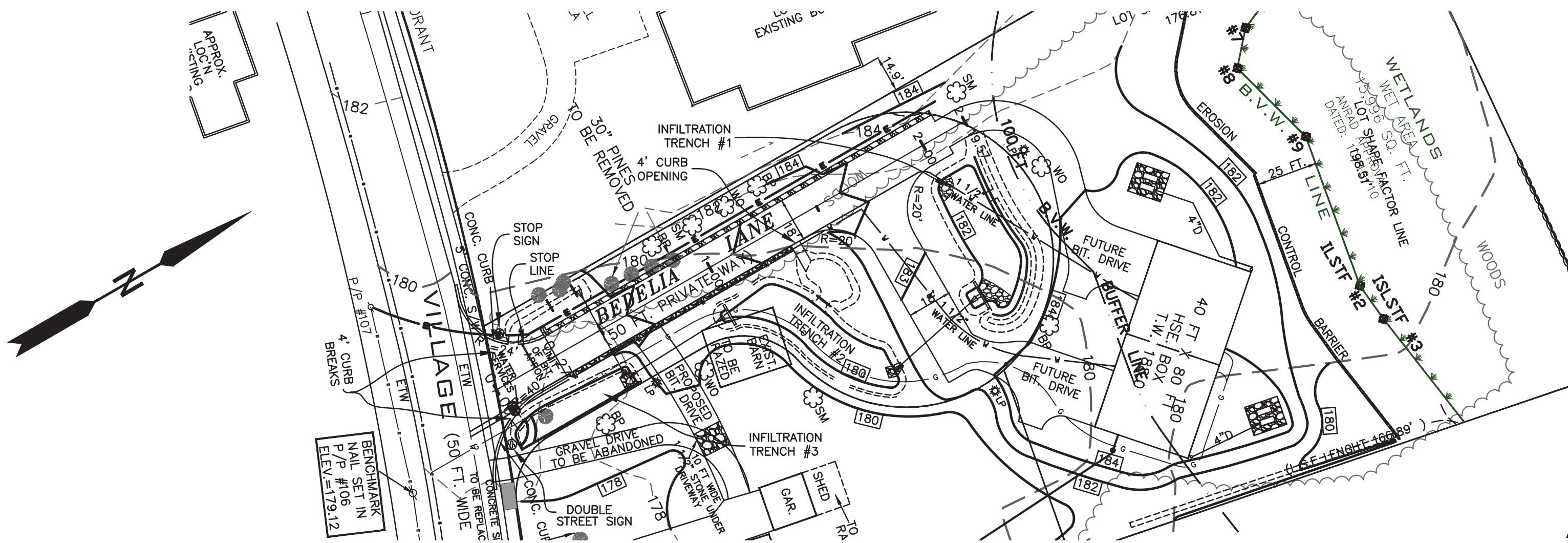
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



EXISTING CONDITIONS
SHEET 3 OF 8



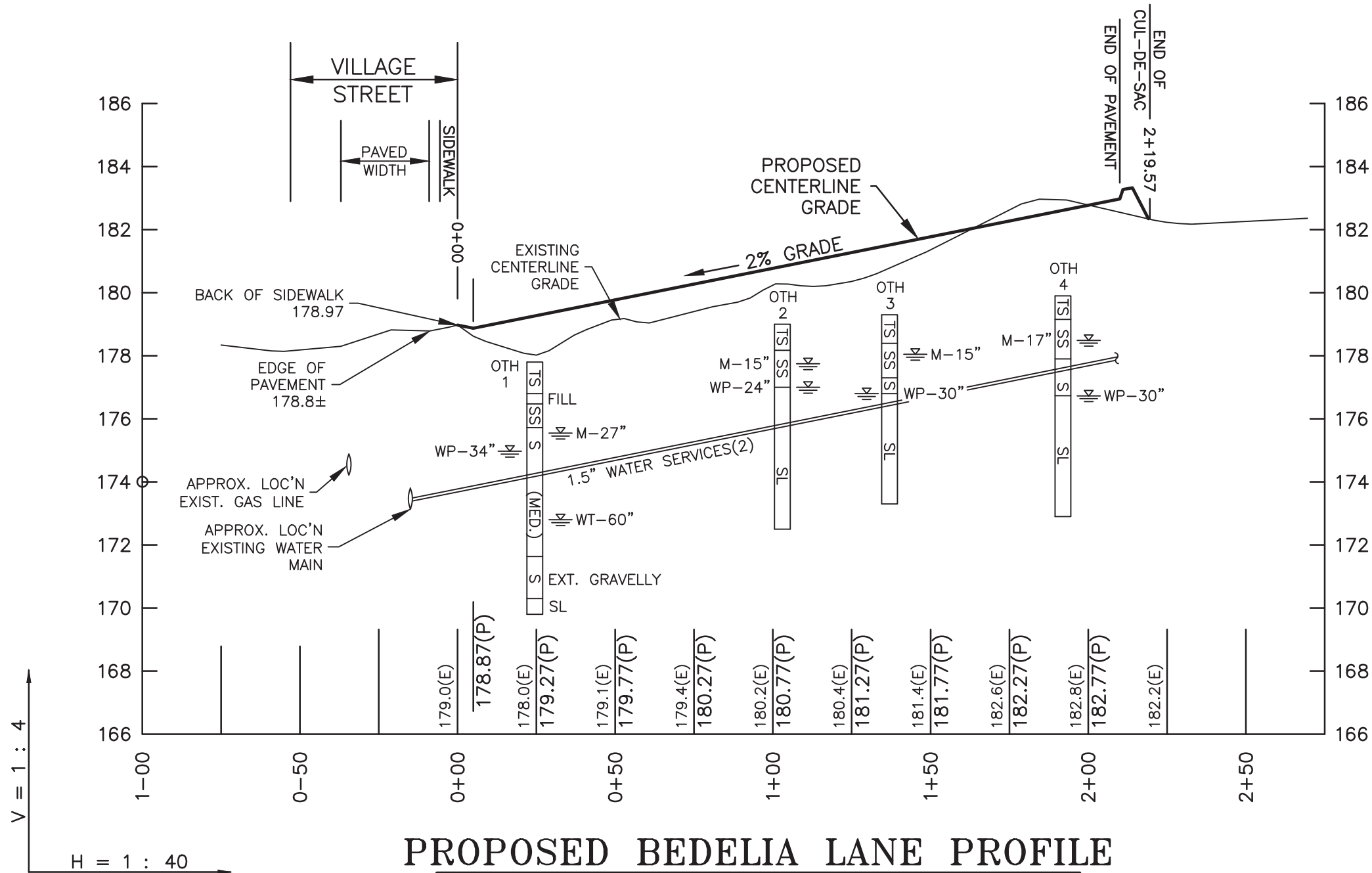
Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:10:22 -04'00'



PLAN VIEW – BEDELIA LANE
SCALE: 1"=40'

PROFILE LEGEND

ABBREV./SYMBOL	DESCRIPTION
M-XX"	MOTTLES AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEEPING WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
B-XX"	ESTIMATED SEASONAL-HIGH GROUNDWATER FROM GROUNDWATER MONITORING PROGRAM IN WALPOLE PARK SOUTH
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM



PROPOSED BEDELIA LANE PROFILE

SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.

NAVD 1988 DATUM

REVISED DATE: JULY 25, 2011
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RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

REVISED DATE: AUGUST 11, 2017
SEWER MODIFICATION

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DATE: _____

DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

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DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 10 PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

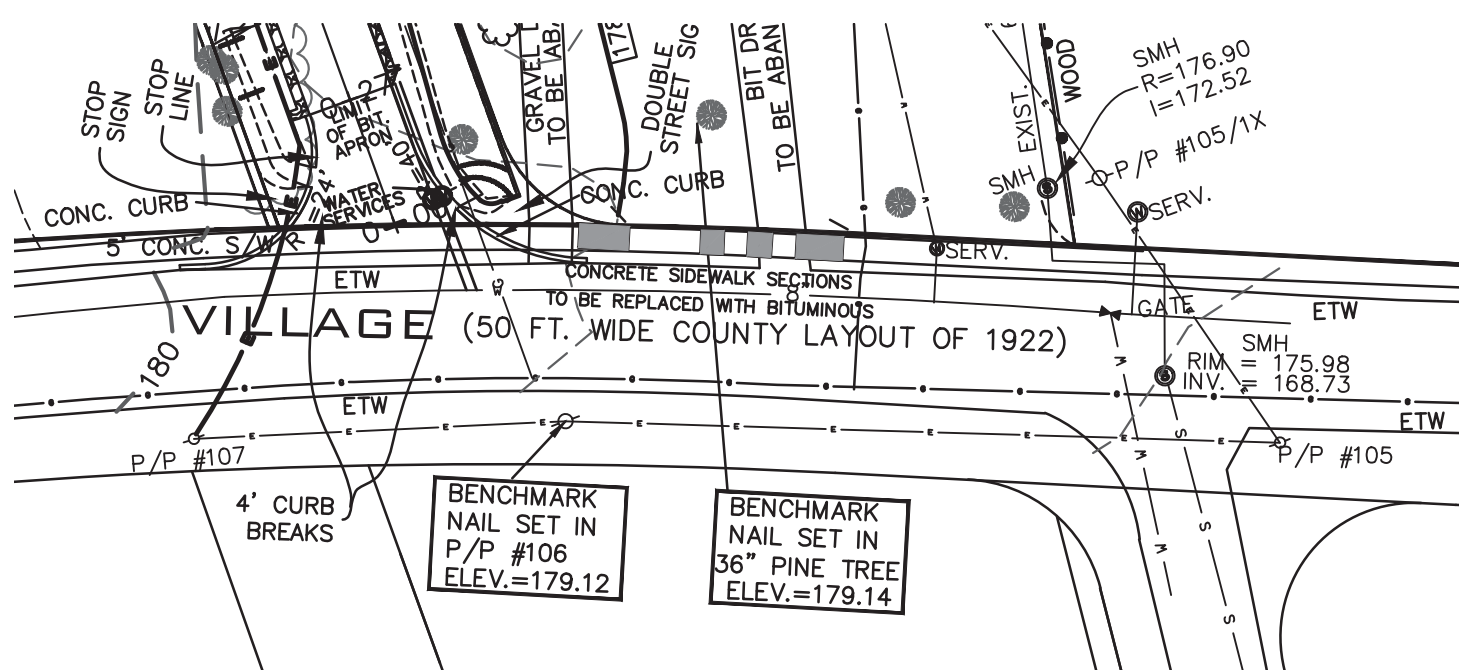
DATE: MAY 19, 2011
SCALE AS NOTED

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
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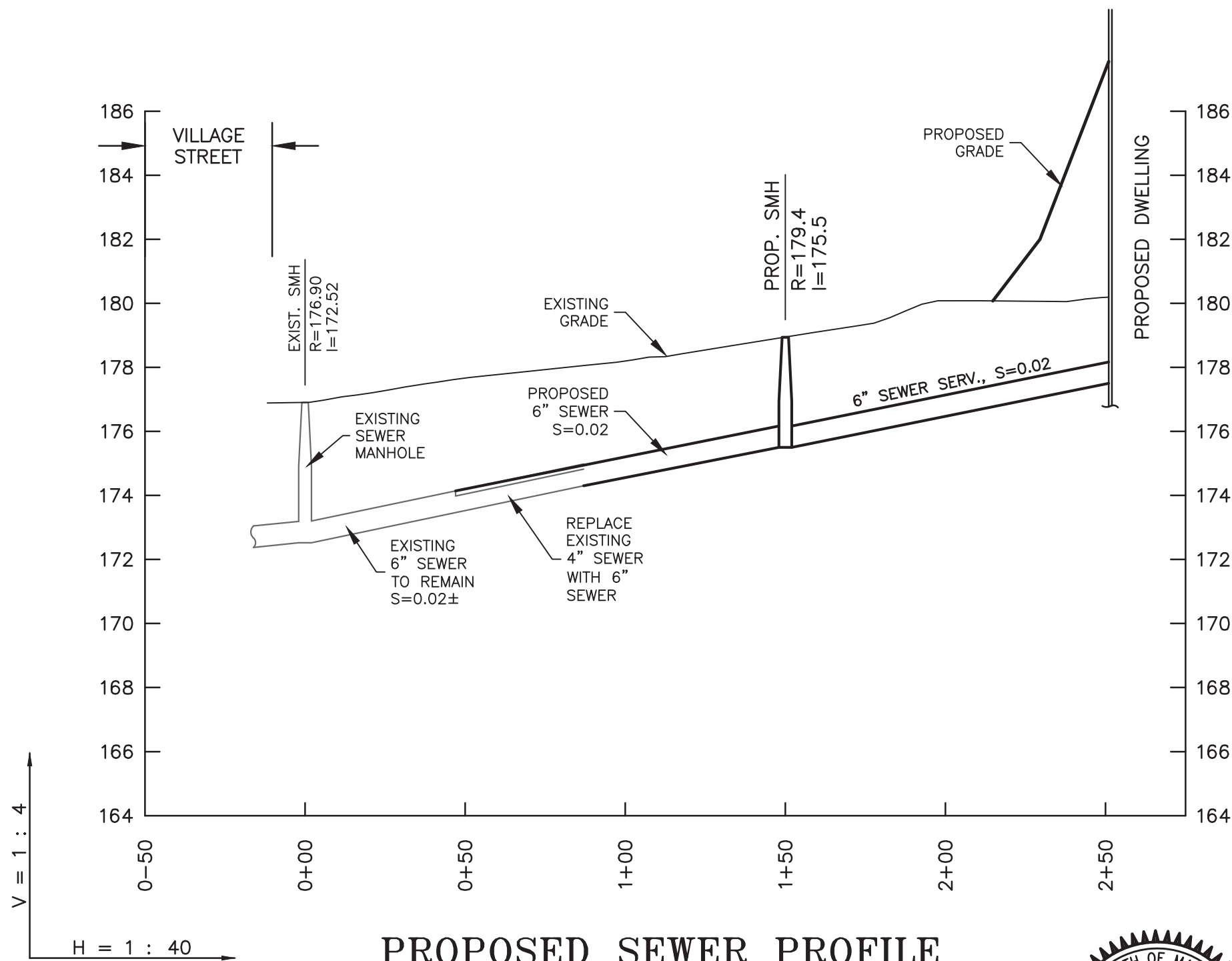


Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:09:50 -0400



PLAN VIEW – VILLAGE STREET

SCALE: 1"=40'



PROPOSED SEWER PROFILE

SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

NOTE: ROAD INTERSECTION SIGNS TO BE PLACED 250 FT IN BOTH DIRECTIONS FROM ROAD ENTRANCE.

PLAN & PROFILE
SHEET 4 OF 8

NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIG SAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIG SAFE 1-888-DIG-SAFE

NOTES:

1. THE PROPOSED DWELLING, DRIVEWAYS, ROOF RUNOFF LEACHING FIELDS, AND ASSOCIATED GRADING, ARE NOT PART OF THE INFRASTRUCTURE CONSTRUCTION AND WOULD ONLY BE PROVIDED IF AND WHEN THE LOT IS DEVELOPED.

2. ROOF RUNOFF LEACHING FIELDS SHALL BE PROVIDED AS SHOWN TO CAPTURE RUNOFF FROM THE REAR PORTION OF THE PROPOSED DWELLING.

3. INFILTRATION TRENCHES #1, #2 & #3 SHALL BE CONSTRUCTED AS PART OF THE SUBDIVISION INFRASTRUCTURE.

4. ALL PROPOSED DRAIN PIPING FOR THE ROADWAY SYSTEMS SHALL BE CLASS IV RCP.

STORMWATER PLANTING LEGEND

- JAPANESE HOLLY (ILEX CR. COMPACTA) 18"-24"
- PJM RHODODENDRON, 18"-24"
- LITTLE PRINCESS SPIREA, 18-24"
- GREY OWL JUNIPER, 18-24"
- BLUE MAID HOLLY (ILEX M. BLUE MAID) 2.5-3.5'
- MAIDEN GRASS (MISCANTHUS SINESIS) 1-2 GAL.
- HYBRID DAYLILLIES (HEMEROCALLIS HYBRID) 1 GAL.

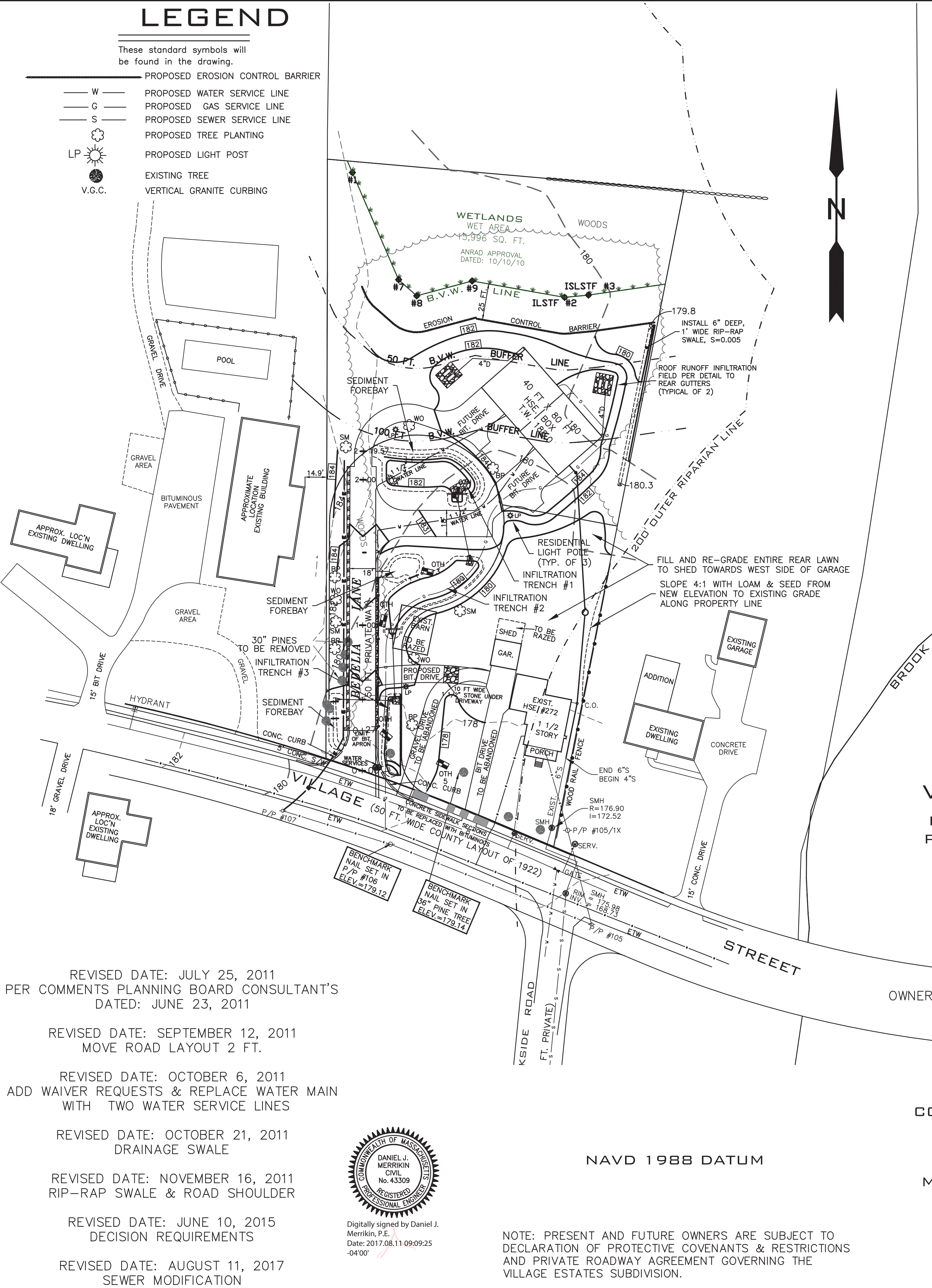
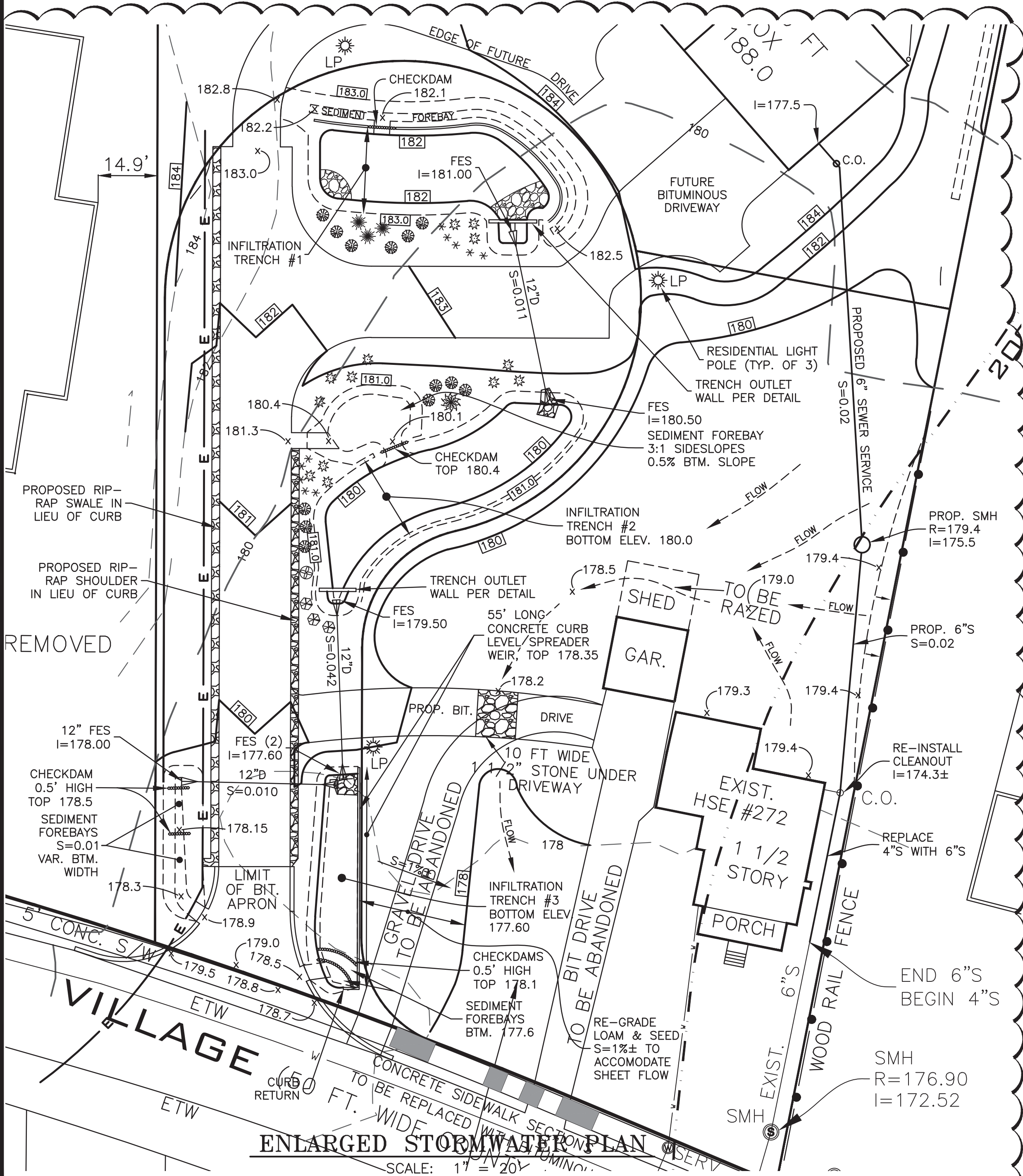
PLANTING NOTES:

1. SHRUBS SHALL BE INSTALLED IN AT LEAST THE SAME QUANTITIES AS SHOWN. SHRUB SPECIES SUBSTITUTION IS ALLOWED, DEPENDING ON NURSERY AVAILABILITY.

LEGEND

These standard symbols will be found in the drawing.

- PROPOSED EROSION CONTROL BARRIER
- PROPOSED WATER SERVICE LINE
- PROPOSED GAS SERVICE LINE
- PROPOSED SEWER SERVICE LINE
- PROPOSED TREE PLANTING
- PROPOSED LIGHT POST
- EXISTING TREE
- VERTICAL GRANITE CURBING



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

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TOWN CLERK

VILLAGE ESTATES
DEFINITIVE SUBDIVISION
PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA
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MILLIS, MA 02054
508-376-8883



PROPOSED GRADING
SHEET 5 OF 8

REVISED DATE: JULY 25, 2011
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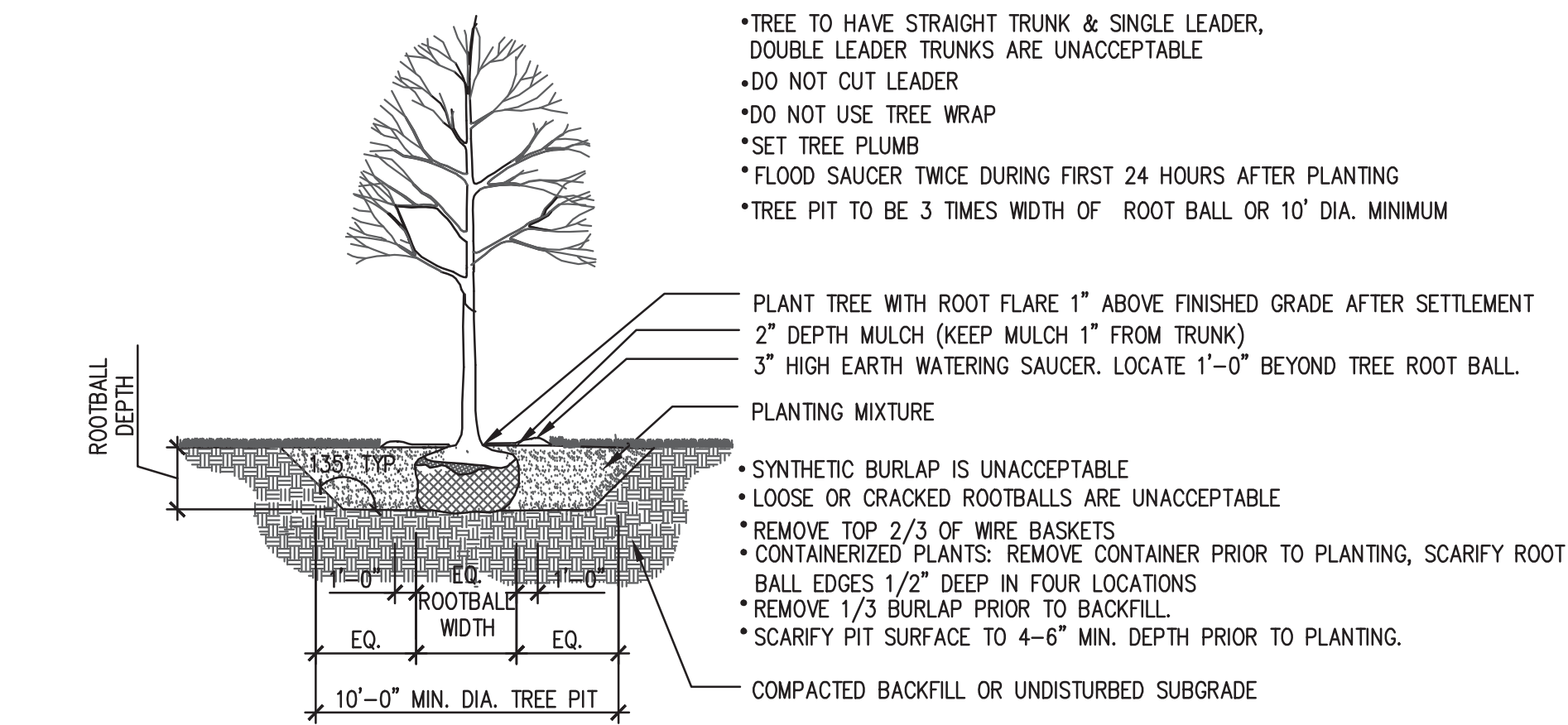
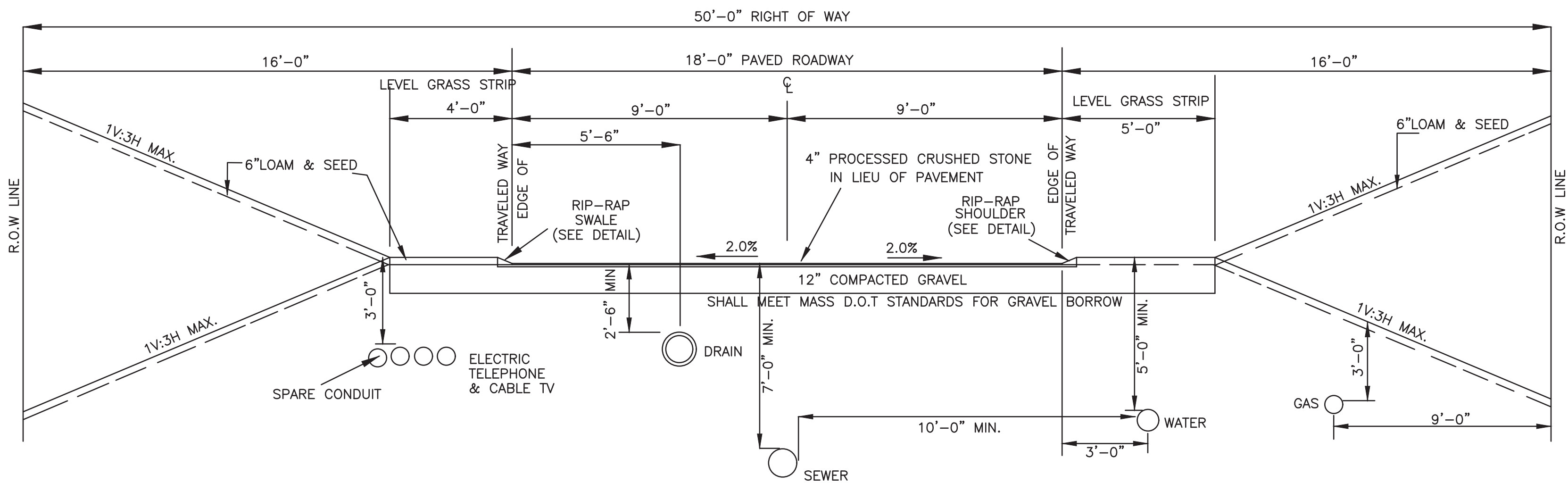
REVISED DATE: AUGUST 11, 2017
SEWER MODIFICATION



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:09:25 -0400

NAVD 1988 DATUM

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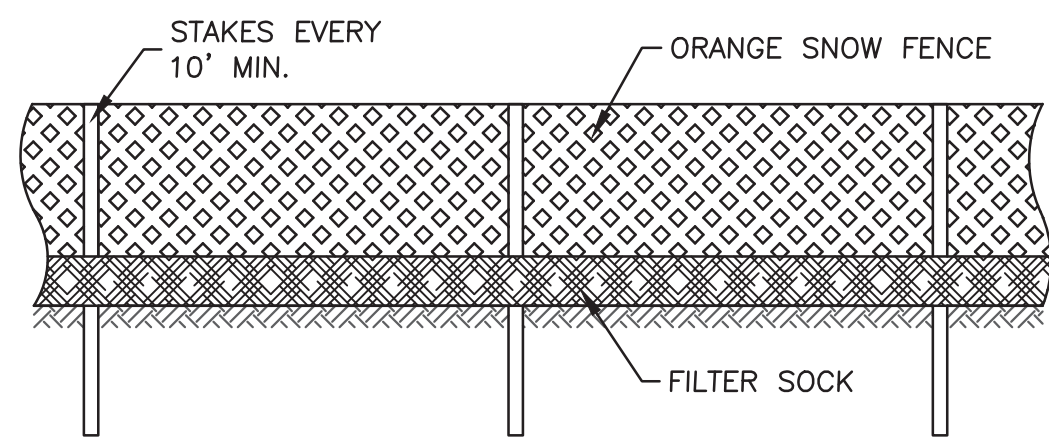


Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:09:03 -04'00'

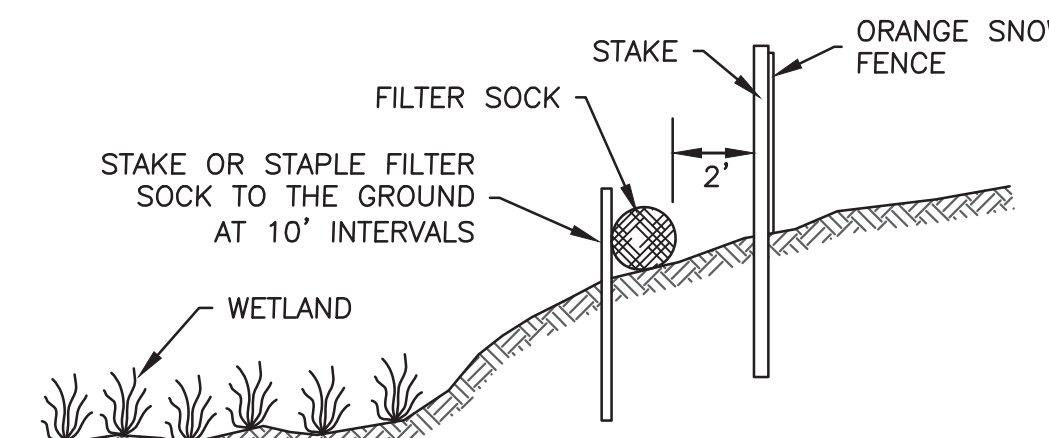
PERMANENT PRIVATE ROADWAY TYPICAL SECTION

NOT TO SCALE

NOTE: BEDELIA LANE SHALL BE CONSTRUCTED OF DENSE-GRADED CRUSHED STONE, CONFORMING TO MASS DOT SPECIFICATIONS, TO A DEPTH OF AT LEAST 4".



FRONT VIEW



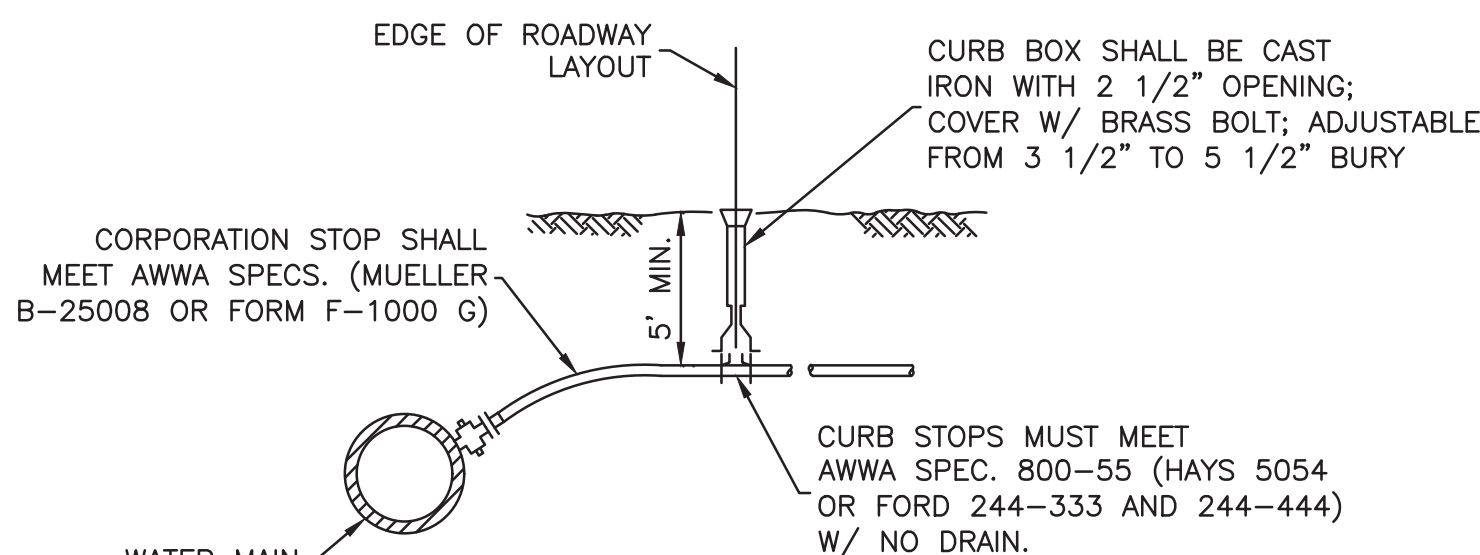
SIDE VIEW

NOTE: FILTER SOCK TO BE CONSTRUCTED OF A NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). FILTER SOCKS CAN BE FILLED ON-SITE OR PRE-FILLED. IF PRE-FILLED, JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET.

FILTER SOCK WITH SNOW FENCE DETAIL

NOT TO SCALE

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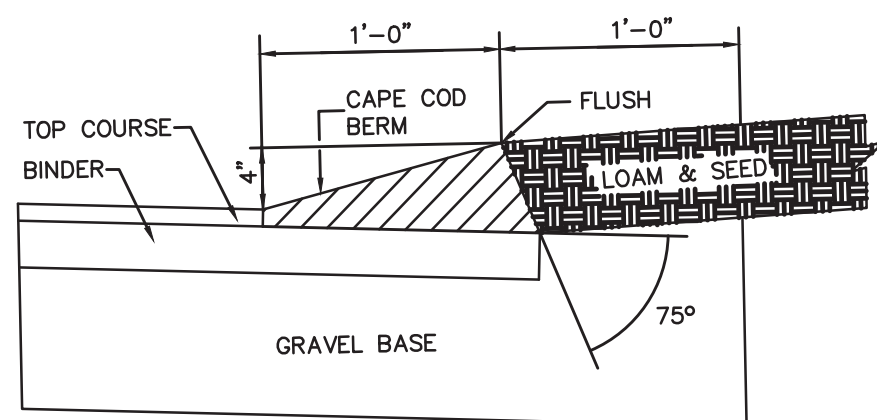
NOTES:

COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.

1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

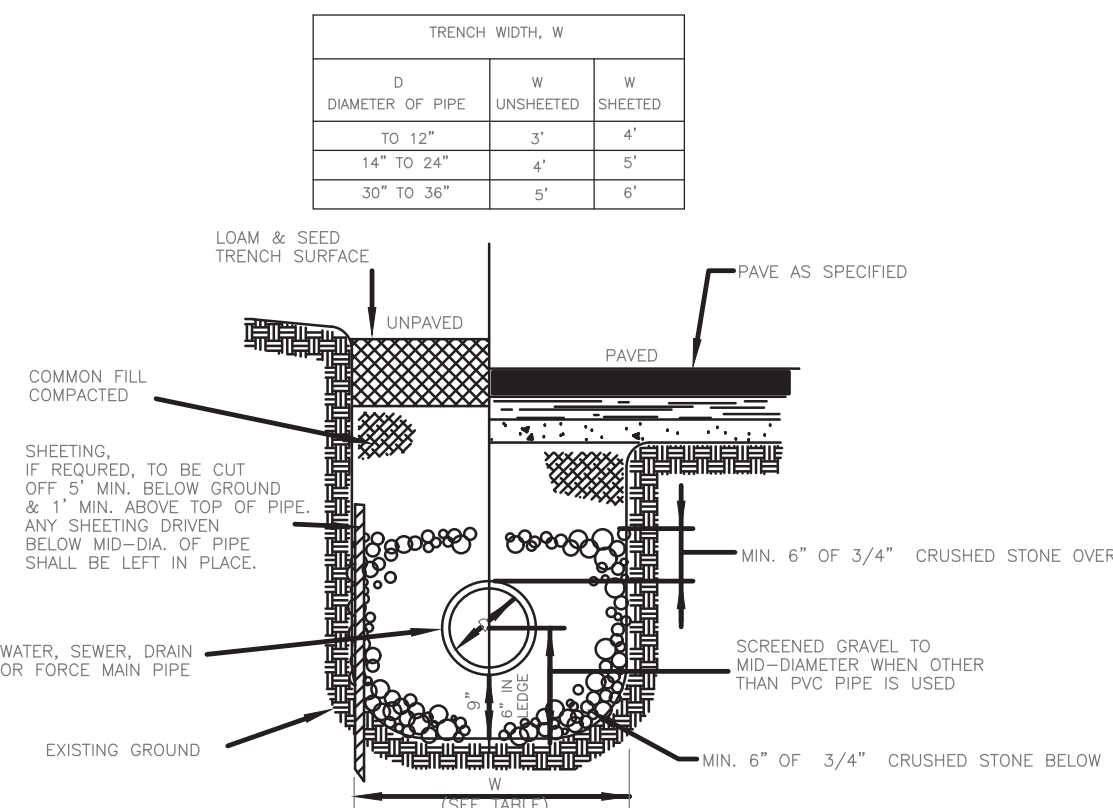
WATER SERVICE CONNECTION

NOT TO SCALE



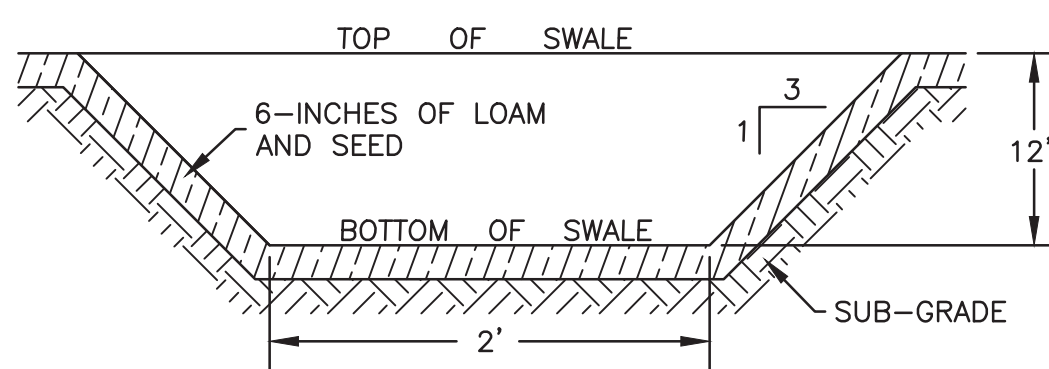
CAPE COD BERM

(NOT TO SCALE)



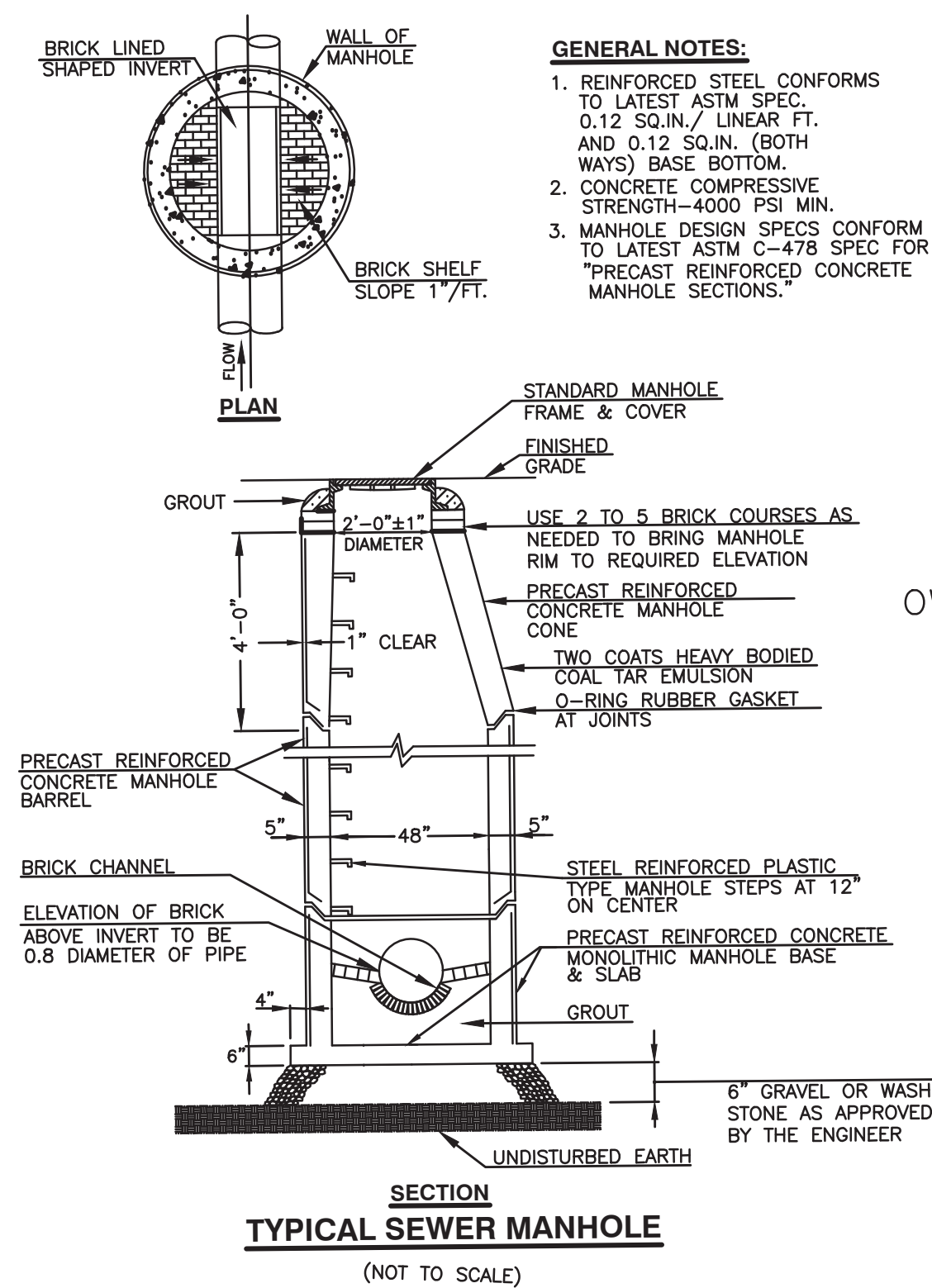
TYPICAL TRENCH SECTION

(NOT TO SCALE)



SWALE DETAIL

NOT TO SCALE



SECTION

TYPICAL SEWER MANHOLE

(NOT TO SCALE)

REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S
DATED: JUNE 23, 2011

REVISED DATE: SEPTEMBER 12, 2011
MOVE ROAD LAYOUT 2 FT.

REVISED DATE: OCTOBER 6, 2011
ADD WAIVER REQUESTS & REPLACE WATER MAIN
WITH TWO WATER SERVICE LINES

REVISED DATE: OCTOBER 21, 2011
DRAINAGE SWALE

REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER

REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

VILLAGE ESTATES

DEFINITIVE SUBDIVISION PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

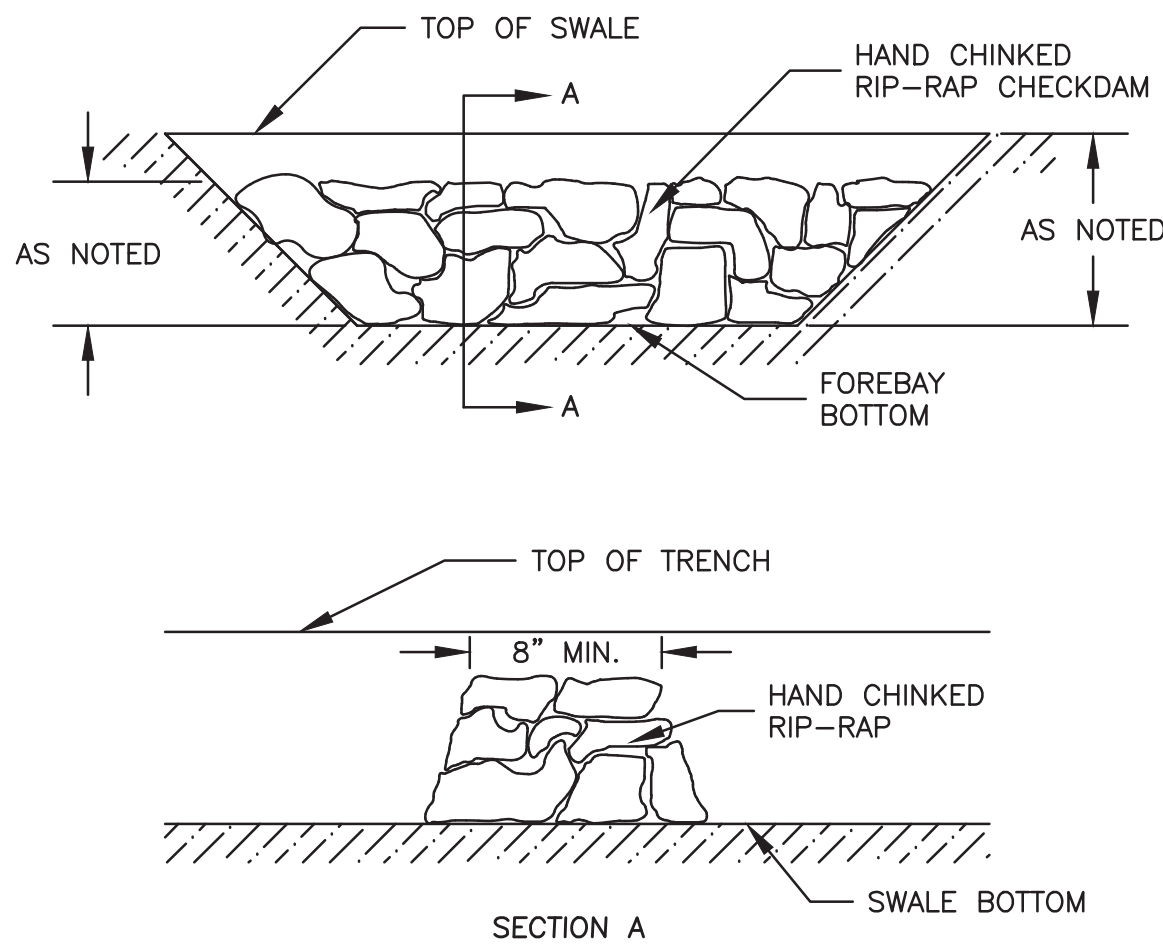
OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011

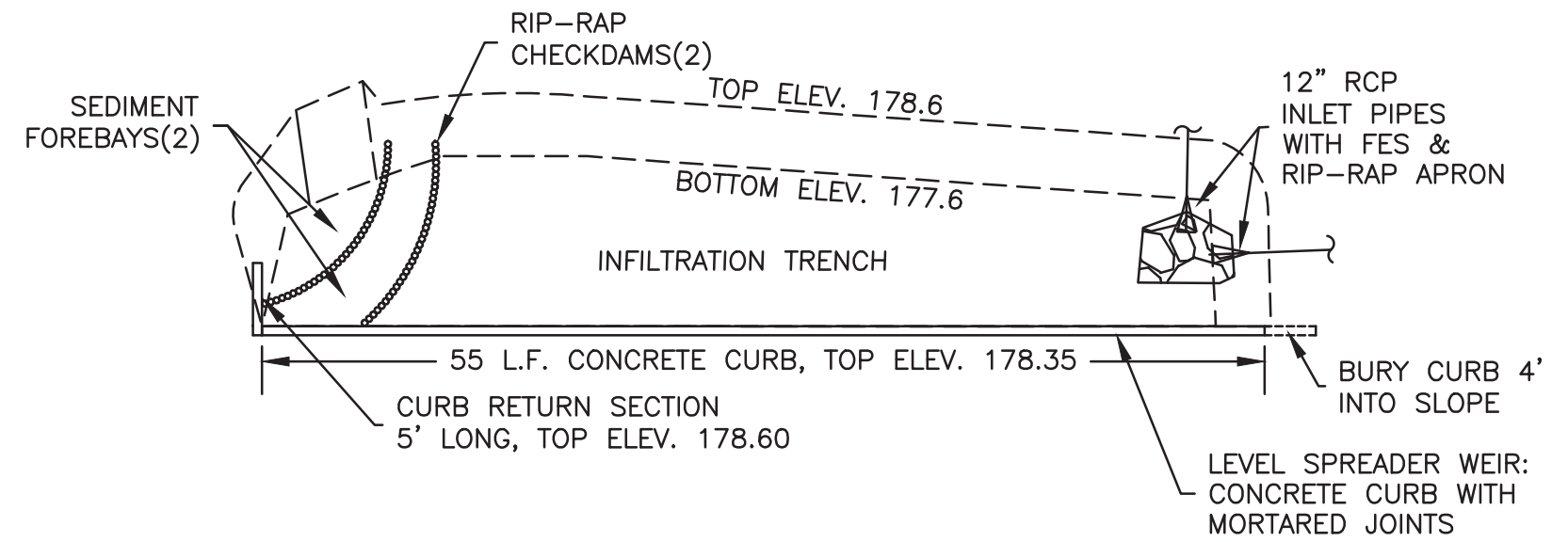
COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883

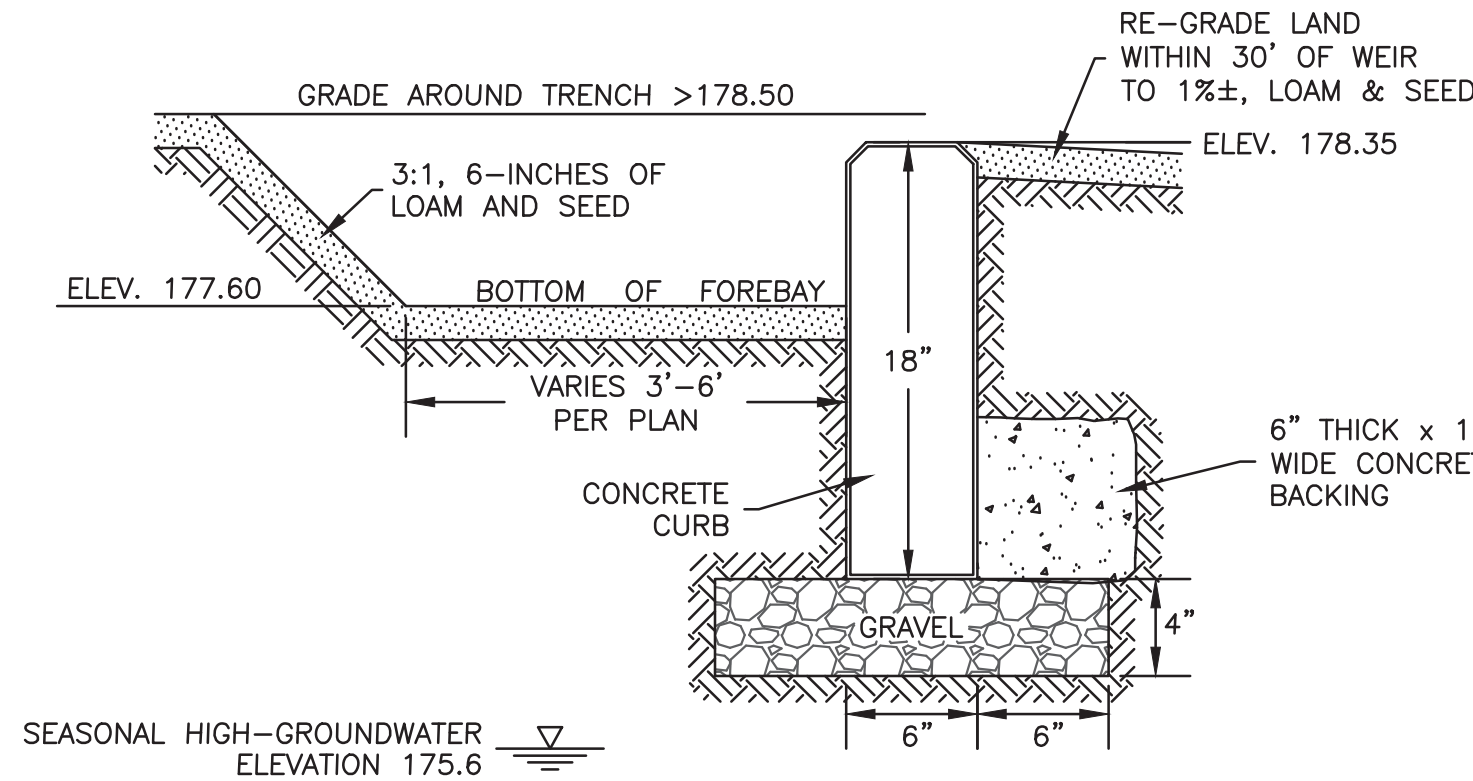
SCALE AS NOTED
DETAIL SHEET
SHEET 6 OF 8



RIP-RAP CHECK DAM DETAIL
NOT TO SCALE

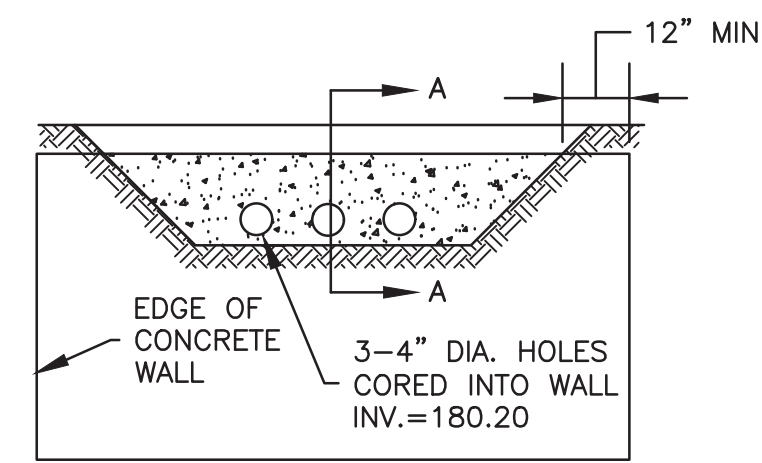


PLAN VIEW

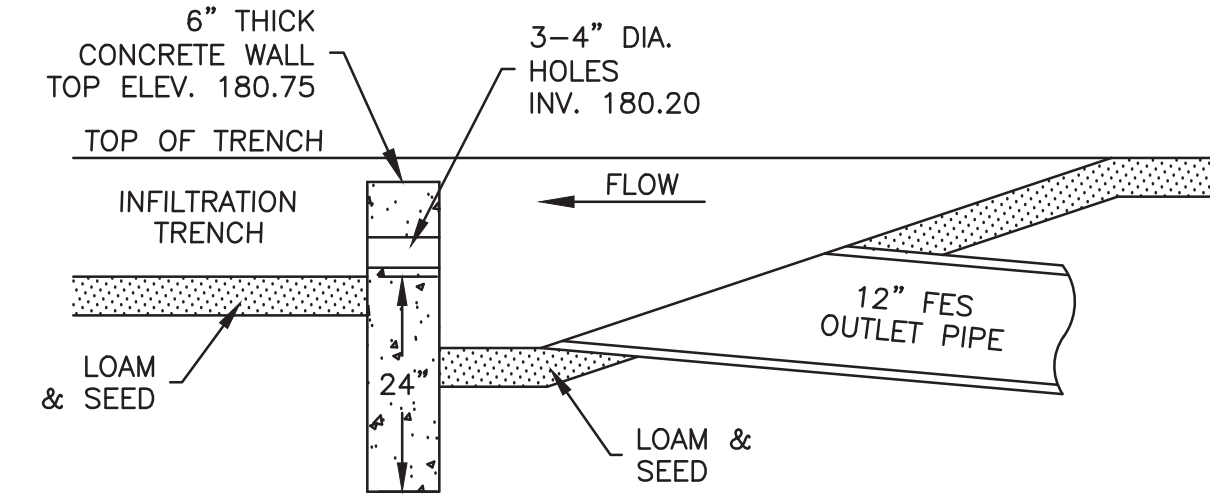


TRENCH CROSS-SECTION

INFILTRATION TRENCH #3 DETAIL
NOT TO SCALE

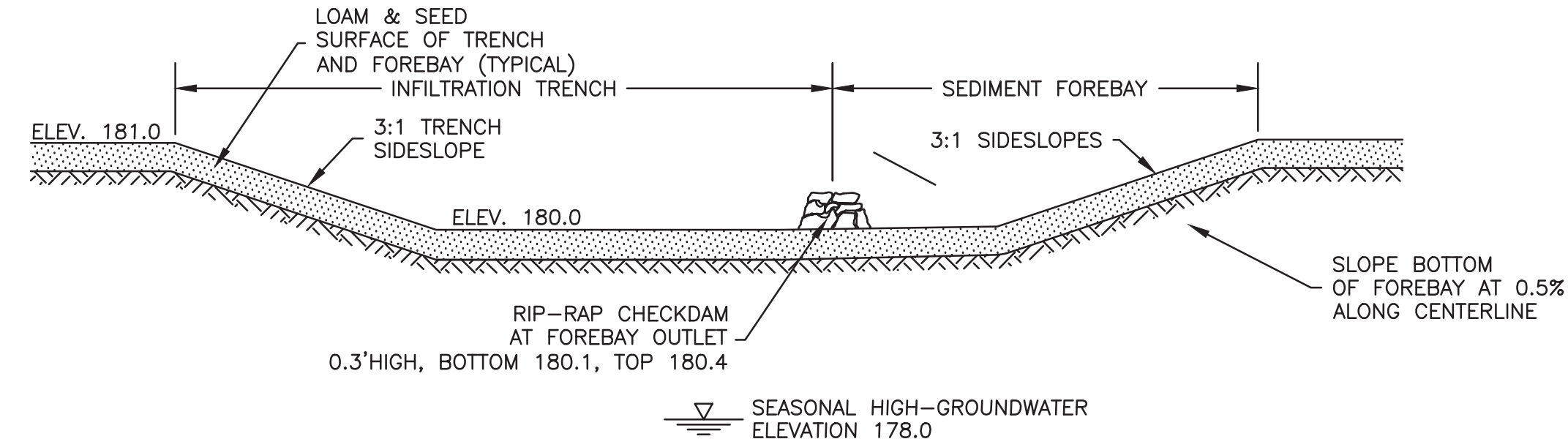


CROSS-SECTION THROUGH TRENCH



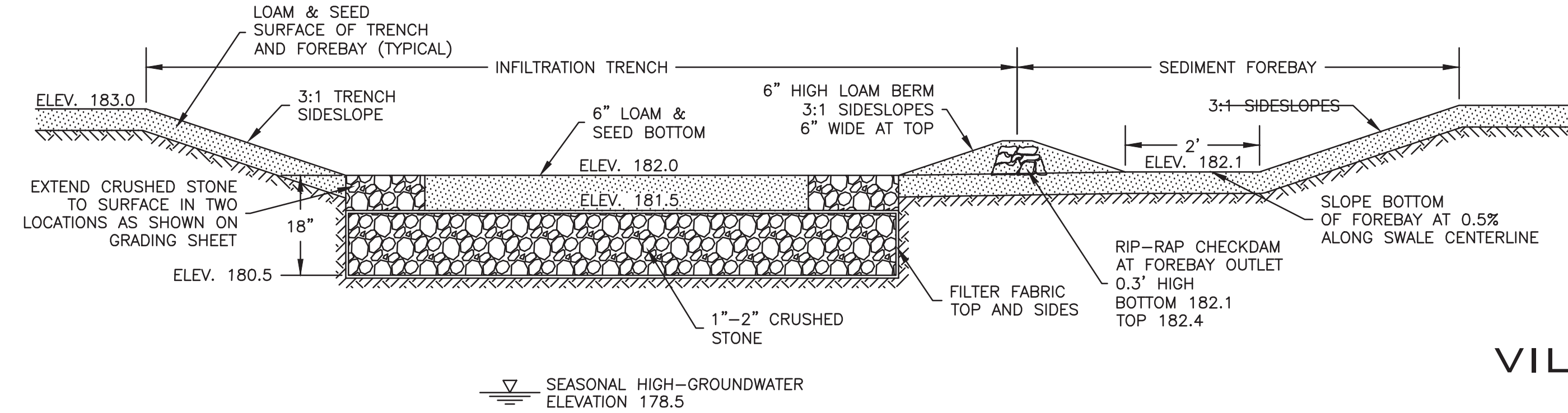
SECTION A - THROUGH OUTLET WALL

OUTLET HEADWALL



TRENCH CROSS-SECTION

INFILTRATION TRENCH #2 DETAIL
NOT TO SCALE



TRENCH CROSS-SECTION

INFILTRATION TRENCH #1 DETAIL
NOT TO SCALE

NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.

REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S DATED: JUNE 23, 2011

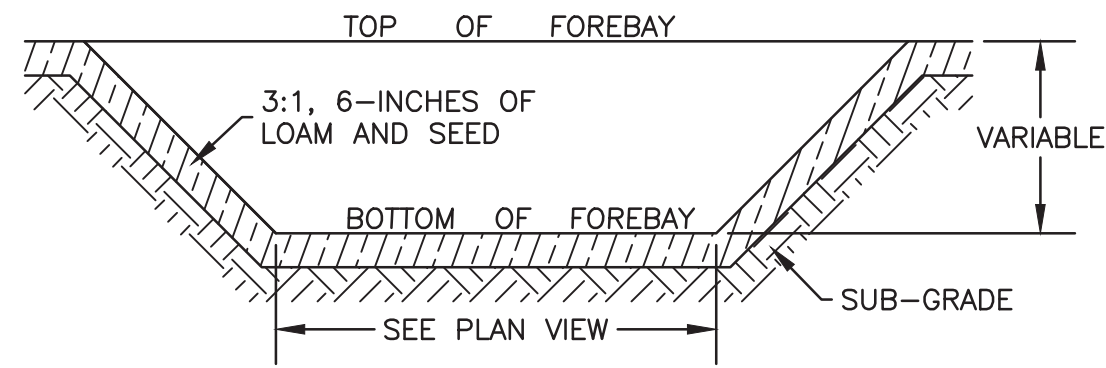
REVISED DATE: SEPTEMBER 12, 2011
MOVE ROAD LAYOUT 2 FT.

REVISED DATE: OCTOBER 6, 2011
ADD WAIVER REQUESTS & REPLACE WATER MAIN WITH TWO WATER SERVICE LINES

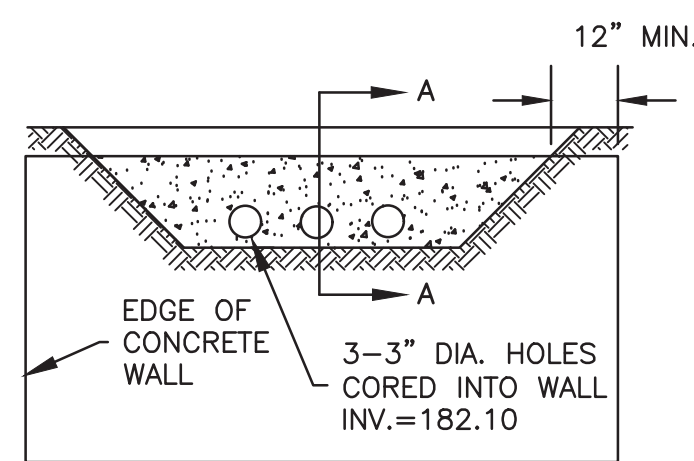
REVISED DATE: OCTOBER 21, 2011
DRAINAGE SWALE

REVISED DATE: NOVEMBER 16, 2011
RIP-RAP SWALE & ROAD SHOULDER

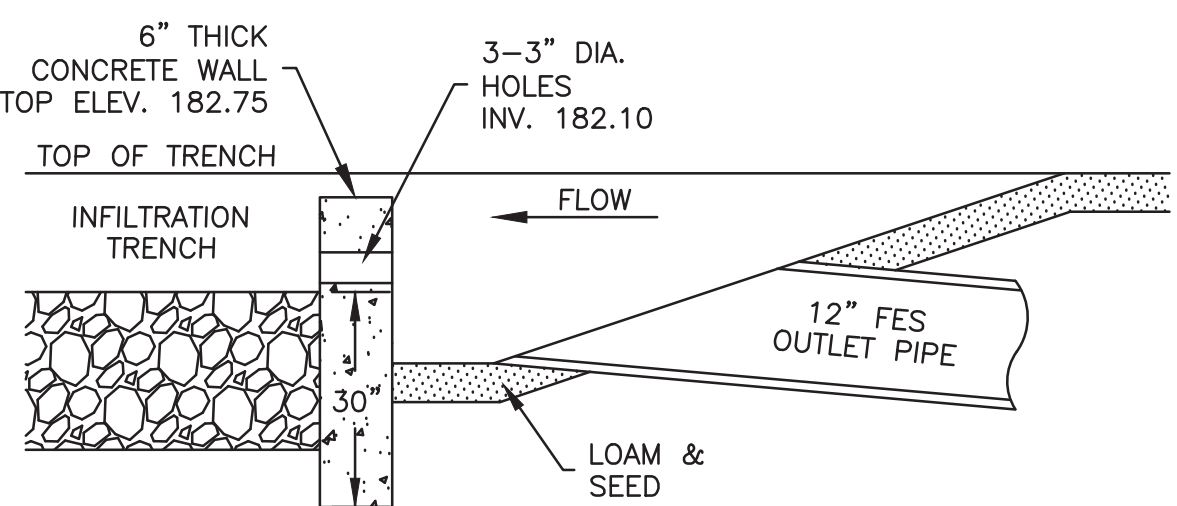
REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS



SEDIMENT FOREBAY SECTION
NOT TO SCALE

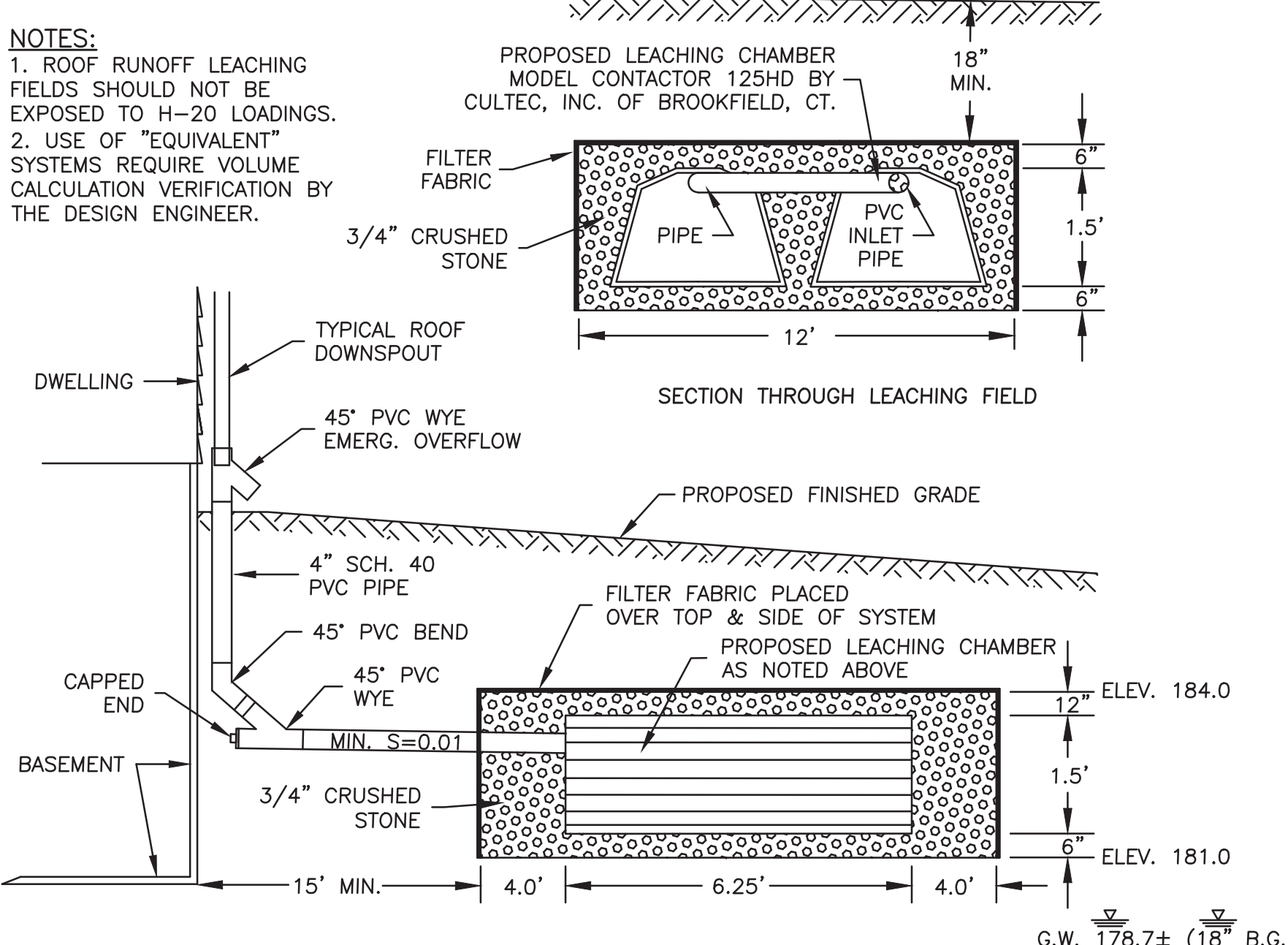


CROSS-SECTION THROUGH TRENCH



SECTION A - THROUGH OUTLET WALL

OUTLET HEADWALL



ROOF RUNOFF INFILTRATION FIELD
NOT TO SCALE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY

DATED _____, AND TO BE RECORDED HEREWITH.

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA

MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



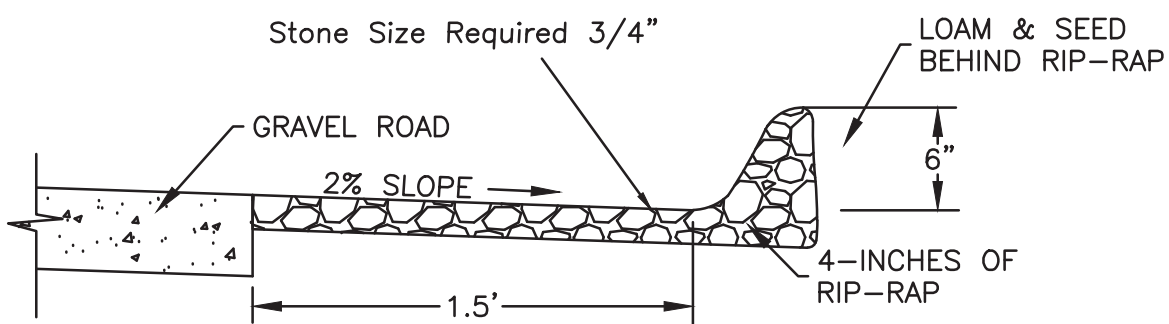
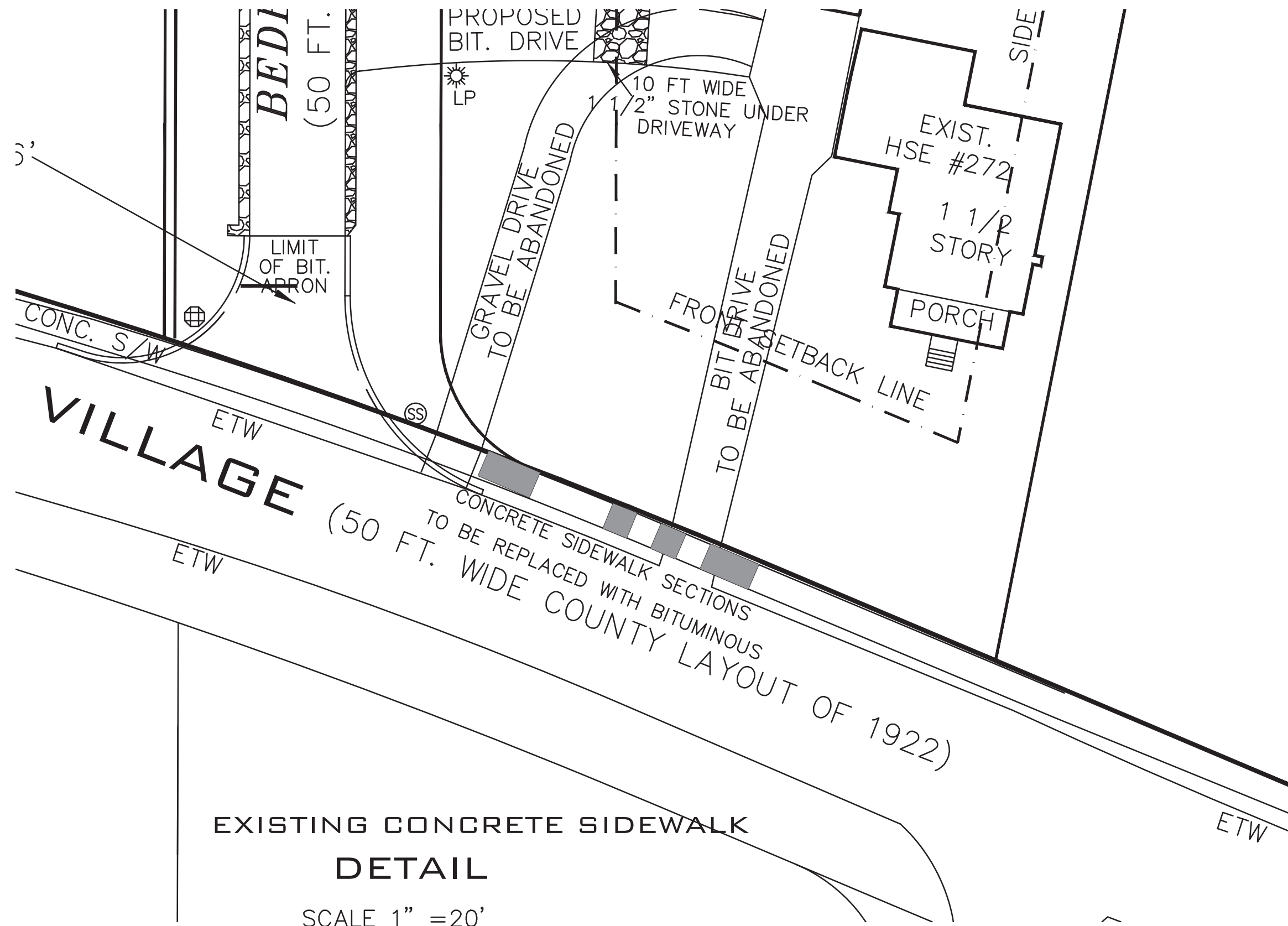
Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:08:43 -04'00'

SCALE AS NOTED

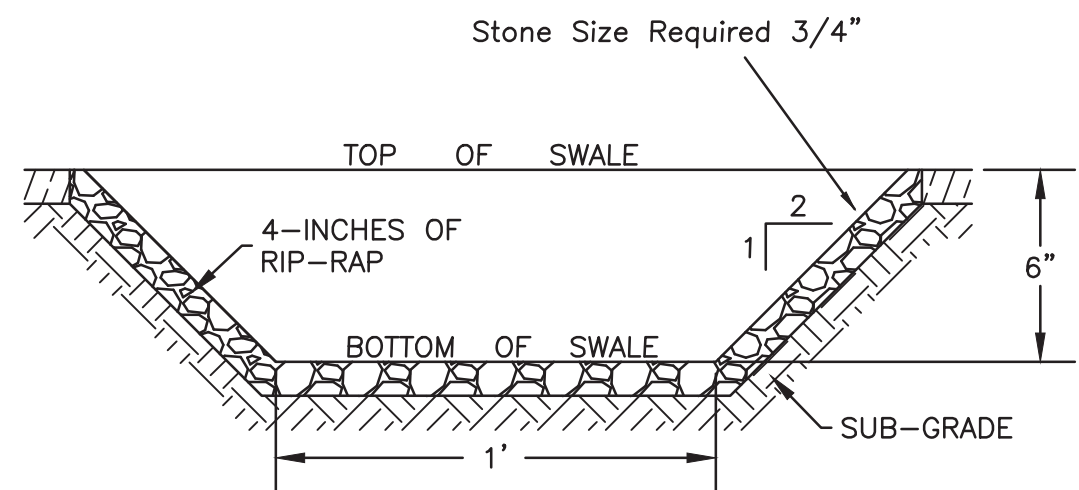
DETAIL SHEET

SHEET 7 OF 8

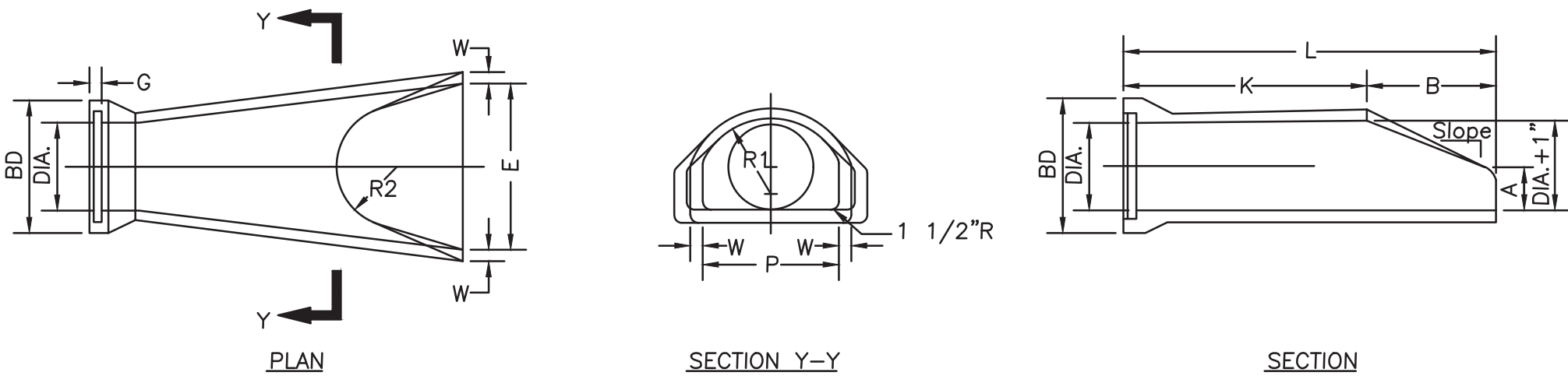
NOTE: PRESENT AND FUTURE OWNERS ARE SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT GOVERNING THE VILLAGE ESTATES SUBDIVISION.



RIP-RAP SHOULDER DETAIL
NOT TO SCALE



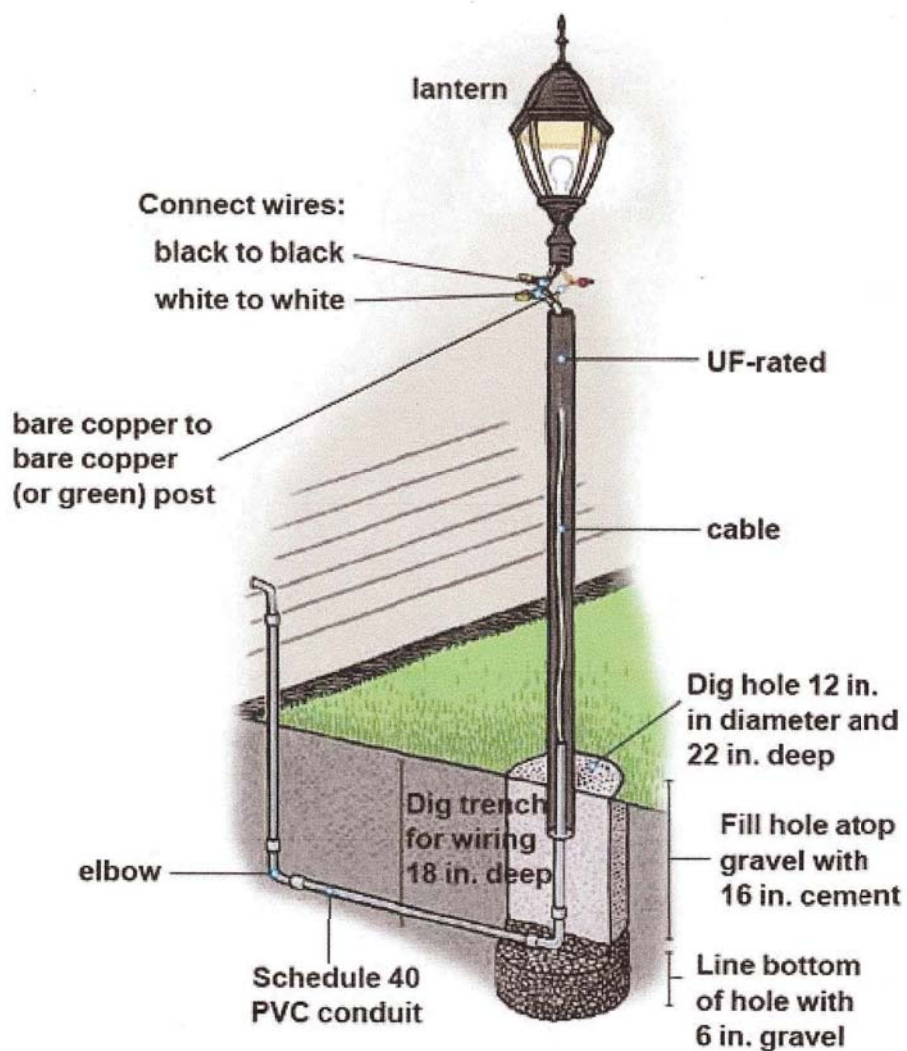
RIP-RAP SWALE
NOT TO SCALE



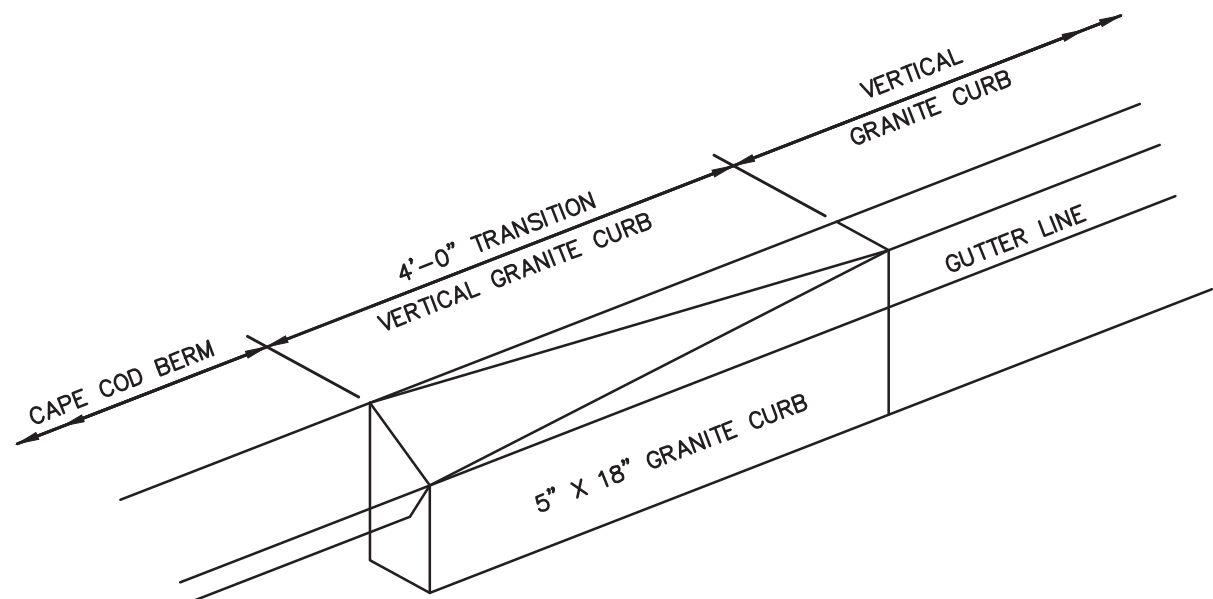
DIA.	W	A	B	C	D	E	BD	K	L	P	DIA _A	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-8 1/8"	6'-6 1/8"	19 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10 1/2"	6'-1 1/2"	2'-6"	24"	4'-3 11/16"	6'-4 11/16"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-6 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	3'-4 5/16"	6'-7 3/16"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	3'-0 1/2"	6'-8"	33 3/16"	25"	16 13/16"	14"	4"	3"	3:1

R.C.P. FLARED END SECTION DETAILS
NOT TO SCALE

NOTES:
ALTERNATE DETAIL IS AN HDPE PIPE CUT AT 4:1 SLOPE ACTING AS A FLARED END SECTION.

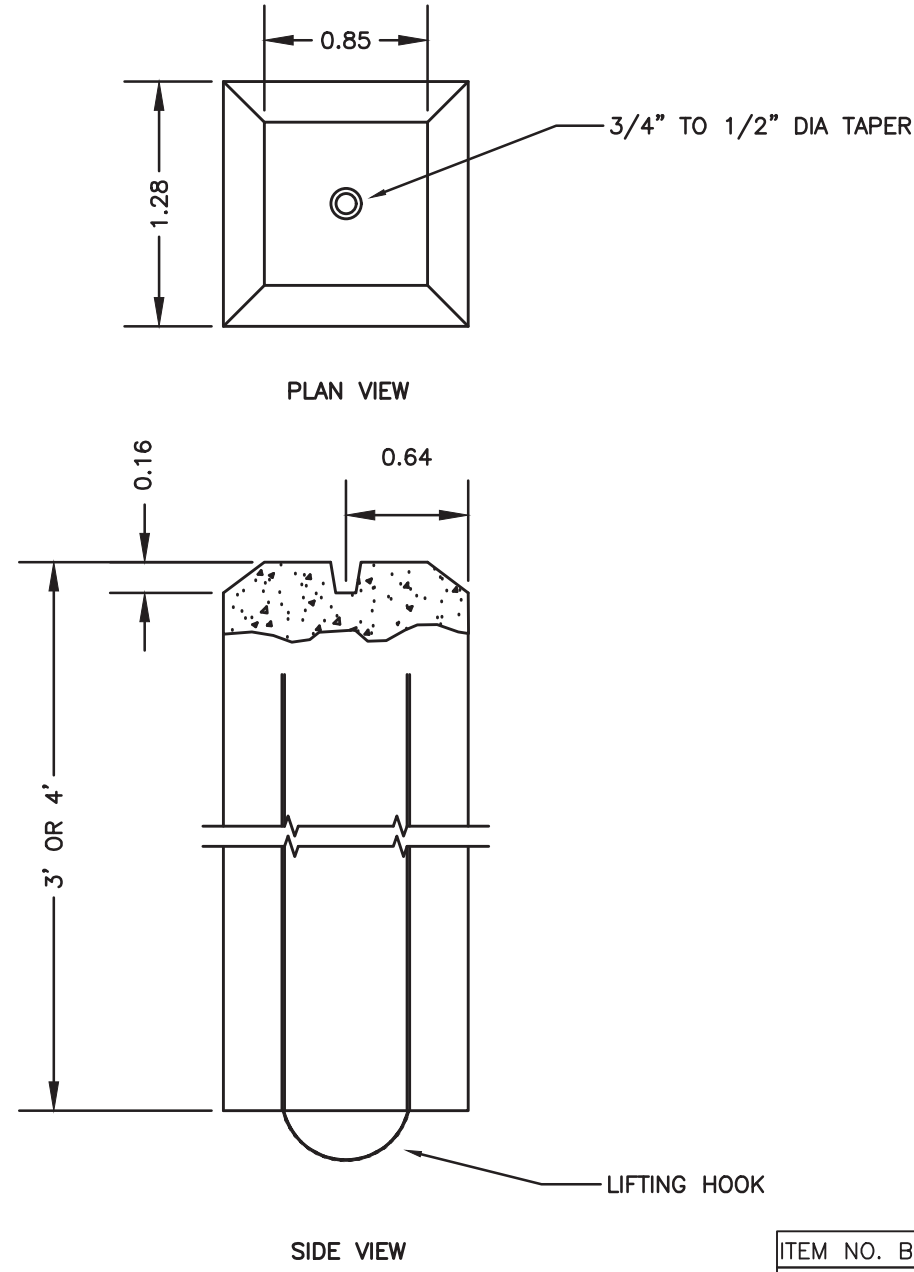


RESIDENTIAL LIGHT POST DETAIL



CURB TRANSITION
(NOT TO SCALE)

boundary.dwg 1/15/08 9:29 AM



NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS

BOUNDARY MARKERS

M2

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE: _____

DATE APPROVED: _____

MEDWAY PLANNING BOARD

DATE ENDORSED _____

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY

DATED _____, AND TO BE RECORDED HEREWITH.

DATE: _____

TOWN CLERK

VILLAGE ESTATES

DEFINITIVE SUBDIVISION PERMANENT PRIVATE WAY

PLAN OF LAND
IN
MEDWAY, MA
MAP 1C PARCEL 114

ZONING AR II DISTRICT

OWNER: RUSSELL S. & DOROTHY P. SANTORO
372 VILLAGE STREET
MEDWAY, MA 02053

DATE: MAY 19, 2011

COLONIAL ENGINEERING, INC.
11 AWL STREET
MEDWAY, MA 02053
508-533-1644

MERRIKIN ENGINEERING LLP
730 MAIN STREET (SUITE 2)
MILLIS, MA 02054
508-376-8883



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.08.11 09:08:25 -0400

REVISED DATE: JULY 25, 2011
PER COMMENTS PLANNING BOARD CONSULTANT'S
DATED: JUNE 23, 2011

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REVISED DATE: JUNE 10, 2015
DECISION REQUIREMENTS

SCALE AS NOTED

DETAIL SHEET

SHEET 8 OF 8

Susan Affleck-Childs

From: Barry Smith
Sent: Tuesday, September 05, 2017 3:19 PM
To: Susan Affleck-Childs
Subject: RE: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

Yes I can attend that meeting if you would like me too. The modification that they made regarding the manhole is what is required in our rules and regs

Thanks,

Barry Smith
DPS Deputy Director
45b Holliston Street
Medway, MA 02053
O 508-321-4930 M 774-285-0482 F 508-321-4985



www.townofmedway.org

[Facebook](#) [Twitter](#)

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From: Susan Affleck-Childs
Sent: Tuesday, September 05, 2017 2:49 PM
To: Barry Smith
Subject: RE: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

Thanks.

Would you be able to attend the Planning Board meeting next Tuesday night about this. This project is on the agenda for 8:15 p.m.

I expect the Board may ask what the advantages are to the original vs. the new proposed layout. From the Town's perspective, is there any compelling reason for other approach?

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Barry Smith
Sent: Tuesday, September 05, 2017 2:44 PM
To: Susan Affleck-Childs
Subject: Re: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

No it does not conflict

Barry Smith
DPS Deputy Director
45b Holliston Street
Medway, MA 02053
508-321-4890 O
774-285-0482 C
508-321-4985 F
www.townofmedway.org

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On Sep 5, 2017, at 2:01 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Thanks, Barry.

Question . . does the original layout of the sewer line conflict with the sewer moratorium? See attached originally approved plan . . sheets 4 & 5.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org<<mailto:sachilds@townofmedway.org>>

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From: Barry Smith
Sent: Tuesday, September 05, 2017 1:49 PM
To: Susan Affleck-Childs
Subject: RE: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

This looks fine with us!

Thanks,

Barry Smith
DPS Deputy Director
45b Holliston Street
Medway, MA 02053
O 508-321-4930 M 774-285-0482 F 508-321-4985

[TownSealColorNew1]
www.townofmedway.org<<http://www.townofmedway.org>>
Facebook<<https://www.facebook.com/Town-of-Medway-MA-official-217289981694481/>> Twitter<https://twitter.com/intent/follow?original_referer=http%3A%2F%2Fwww.townofmedway.org%2FPages%2Findex&ref_src=twsrc%5Etfw&screen_name=TownofMedway&tw_p=followbutton>

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communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Susan Affleck-Childs

Sent: Wednesday, August 30, 2017 11:03 AM

To: Alison Slack ; Chief Tingley; Allison Potter; Andy Rodenhiser ; Ann Sherry ; ArmandPires; Barbara Saint Andre ; Barry Smith; Beth Hallal; Board of Selectmen; Bob Ferrari; Bridget Graziano; Chris Gavin; David Damico; David Travalini ; Design Review Committee; Design Review Committee; DonaldAicardi; Donna Greenwood; Doug Havens ; Fran Hutton Lee; Gino Carlucci; Jack Mee; Jeanne Johnson; Jeff Lynch; Jeff Watson; Jim Wickis ; Joanne Russo; Judi LaPan; Liz Langley; Mackenzie Leahy; Mark Cerel ; Mary Becotte; Matt Buckley; Michael Boynton; Mike Gleason ; Paul Yorkis; Shelley Wieler; Stephanie Mercandetti; Steve Bouley ; Sue Rorke; Tina Wright ; Zoning Board

Subject: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

Good morning,

The Planning and Economic Board has received an application to modify the previously approved subdivision plan for Village Estates, a 2-lot private way subdivision at 272 Village Street/Bedalia Lane. The proposed plan modification pertains to changing the location of the sewer line connecting the newly established house lot on Bedalia Lane to the Town's sewer line in Village Street.

The Board will begin its review of this proposed modification at its meeting on September 12th.

Attached is the public notice, revised site plan and application. The project is being reviewed by the Board's engineering consultant (Tetra Tech).

The Board invites you to review this proposed revision to the subdivision plan. Please forward comments to us at your earliest convenience so they can be entered into the record during the September 12 meeting.

Please contact me if you have any questions.

Cheers.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org<<mailto:sachilds@townofmedway.org>>

Town of Medway – A Massachusetts Green Community

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<2015-06-10 Village Est Subdivision Plan (Endorsed 6-23-15).pdf>

<image001.jpg>



September 11, 2017

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Village Estates
Subdivision Plan Modification Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed modification to the approved subdivision plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed modification includes relocation of the proposed sewer to the eastern side of the existing dwelling located at 272 Village Street in Medway, MA.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Village Estates, Definitive Subdivision, Permanent Private Way", dated August 17, 2017, prepared by CBA Landscape Architects (CBA).
- A project description dated August 29, 2017, prepared by ME.
- A Land Subdivision – Form C-4 "Application to Revise a Previously Approved Definitive Subdivision Plan" dated August 11, 2017, prepared by ME.

The Plans and accompanying materials were reviewed for conformance with Chapter 100 of the Town of Medway PEDB Rules and Regulations (Regulations), applicable town standards and good engineering practice. Review of the project for zoning and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

- 1) The applicant has not provided a sewer easement for the proposed sewer re-alignment. Proposed sewer alignment crosses property at #272 Village Street and will require easement for access by the home owners of the proposed development in the event repairs are required to the main.
- 2) The width (approximately 8 feet) of the area from east side of existing house #272 to the east property line appears to be sufficient for access since proposed depth to the pipe is approximately ± 4 feet.

These comments are offered as guides for use during the Town's review and additional comments are likely to be generated during the course of review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,

A blue ink signature of Sean P. Reardon, written in a cursive style.

Sean P. Reardon, P.E.
Vice President

A blue ink signature of Steven M. Bouley, written in a cursive style.

Steven M. Bouley, P.E.
Senior Project Engineer

P:\21583\143-21583-15009 (PEDB VILLAGE ESTATES CS)\DOCS\VILLAGEESTATES-PEDBREV(2017-09-11)_SUBDVPLAN MOD.DOCX

Tetra Tech 100 Nickerson Road Marlborough, MA 01752						
Project				Date		Report No.
Village Estates				07-12-2017		10
Location				Project No.		Sheet 1 of
Village Street				143-21583-15009		2
Contractor				Weather		Temperature
Russel Santoro				A.M. P.M. RAIN/CLEAR		A.M. P.M. 70°
FIELD OBSERVATIONS						
<p>On Wednesday, July 12, 2017 Frank Guthman from Tetra Tech (TT) visited the project site to witness a video inspection of the existing sewer line of 272 Village Street. The following observations were made:</p> <p>1. <u>Observations</u></p> <p>A. TT arrived at 272 Village Street to meet with the applicant of Village Estates, Russel Santoro, and his contractor, P L Trufant & Sons, to witness a video inspection of the existing sewer pipe located along the eastern side of the existing house (See Photo 1 for location).</p> <p>B. The contractor opened the sewer manhole located in the southeast corner of the front yard, adjacent to Village Street. TT observed a 6" sewer pipe at the bottom of the manhole (See Photo 2), leading north to the east side of house 272 Village Street. The contractor fed the video line into the pipe towards the house as TT, Mr. Santoro, and the contractor observed the live video from a monitor inside the pickup truck. TT observed on the monitor what appeared to be a smaller diameter pipe inside the 6" pipe. The contractor pushed the video line right up against this smaller pipe and marked the video line at the entrance to the 6" pipe inside the manhole. After pulling the video line out from the sewer pipe and laying it on the ground parallel to the pipe, TT observed the 6" pipe to be approximately 46'-9" (See Photo 3). TT painted a line on the ground at the approximate end of the 6" sewer pipe and measured 38' from the end of the 6" pipe to a cleanout, located 4 feet off the northeast corner of the house (See Photo 4/5).</p> <p>C. Mr. Santoro and TT entered the basement of house 272 Village Street, to the location of the sewer cleanout in the northeast corner. TT observed a 4" SCH40 PVC pipe coming through the foundation into the basement of the building (See Photo 6).</p> <p>2. <u>Schedule</u></p> <p>A. Applicant in the process of generating plan for sewer realignment.</p>						
CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS		
Sup't		Bulldozer		Asphalt Paver		Dept. or Company
Foreman		Backhoe		Asphalt Reclaimer		P L Trufant & Sons
Laborers		Loader		Vib. Roller		
Drivers		Rubber Tire backhoe/Loader		Static Roller		
Oper. Engr.		Bobcat		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator		Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flag persons		Scraper		Rock Crusher		
Surveyors		Articulating Dump Truck		Chipper		
Driller		Conc. Truck		Screener		
Blast Crew		Pickup Truck		Drill Rig		
Sewer/Water Tester		Dump Truck 6 Whl		Boom Lift		
		Dump Truck 10 Whl		Water Truck		
		Dump Truck 14 Whl		Lull		
		Dump Truck 18 Whl		Gradall		
Police Details:				RESIDENT REPRESENTATIVE FORCE		
Time on site: 12:50 P.M. – 1:45 P.M.				Name		Name
CONTRACTOR'S Hours of Work:						
						Resident Representative: Frank Guthman

Project Village Estates	Date 07-12-2017	Report No. 10
Location Village Street	Project No. 143-21583-15009	Sheet 2 of 2
Contractor Russel Santoro	Weather A.M. P.M. RAIN/CLEAR	Temperature A.M. P.M. 70°

FIELD OBSERVATIONS CONTINUED

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



3. New Action Items

A. N/A

4. Previous Open Action Items

A. N/A

5. Materials Delivered to Site Since Last Inspection:

A. N/A

Susan Affleck-Childs

From: Mackenzie Leahy
Sent: Thursday, August 31, 2017 10:32 AM
To: Susan Affleck-Childs
Subject: RE: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification
Attachments: 272 Village St - Jack Mee Determination.pdf

Susy,

I do not have any comments regarding the proposed modification to the plans, however I would like to provide the following document which Jack had provided to the applicant when Russ was going to apply for an extension with our Board. It's my understanding, based on previous conversations with Russ, that he plans to move the two family to a different location than what's currently shown on the plans. I would think that if Russ intends to move the dwelling location, the Board might want that change shown on the plans as well, seeing as there is a possibility that a change in location could affect the number of bends in the sewer line, roof runoff infiltration locations, erosion controls needed, etc... And that the conservation commission may also need to review such changes.

Thanks,
Mackenzie

From: Susan Affleck-Childs
Sent: Wednesday, August 30, 2017 11:03 AM
To: Alison Slack ; Chief Tingley; Allison Potter; Andy Rodenhiser ; Ann Sherry ; ArmandPires; Barbara Saint Andre ; Barry Smith; Beth Hallal; Board of Selectmen; Bob Ferrari; Bridget Graziano; Chris Gavin; David Damico; David Travalini ; Design Review Committee; Design Review Committee; DonaldAicardi; Donna Greenwood; Doug Havens ; Fran Hutton Lee; Gino Carlucci; Jack Mee; jeanne Johnson; Jeff Lynch; Jeff Watson; Jim Wickis ; Joanne Russo; Judi LaPan; Liz Langley; Mackenzie Leahy; Mark Cerel ; Mary Becotte; Matt Buckley; Michael Boynton; Mike Gleason ; Paul Yorkis; Shelley Wieler; Stephanie Mercandetti; Steve Bouley ; Sue Rorke; Tina Wright ; Zoning Board
Subject: Village Estates Subdivision Plan (272 Village Street/Bedalia Lane) - Proposed modification

Good morning,

The Planning and Economic Board has received an application to modify the previously approved subdivision plan for Village Estates, a 2-lot private way subdivision at 272 Village Street/Bedalia Lane. The proposed plan modification pertains to changing the location of the sewer line connecting the newly established house lot on Bedalia Lane to the Town's sewer line in Village Street.

The Board will begin its review of this proposed modification at its meeting on September 12th.

Attached is the public notice, revised site plan and application. The project is being reviewed by the Board's engineering consultant (Tetra Tech).

The Board invites you to review this proposed revision to the subdivision plan. Please forward comments to us at your earliest convenience so they can be entered into the record during the September 12 meeting.

Please contact me if you have any questions.

Cheers.

Susy

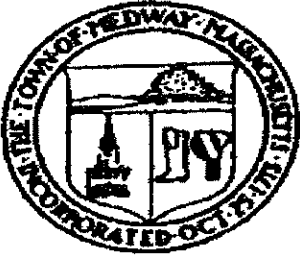
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.



*Jack Mee C.B.O.
Building Commissioner
Town of Medway
155 Village Street
Medway, MA.02053
Phone: 508-533-3253
jmee@townofmedway.org*

June 15, 2017

Russell Santoro
372 Village Street
Medway, MA 02053

RE: LOCATION OF STRUCTURE ON PROPERTY 272 VILLAGE STREET

Dear Mr. Santoro,

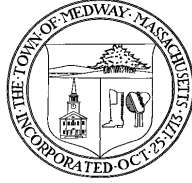
This note is a follow up of our meeting earlier today. You had asked if your new structure must fit within the rectangle shown on your plan. It is my understanding that this rectangle was shown as scale for the Boards approval of the size of structure that you are allowed.

After reviewing this area with you, I do not believe that there are any restrictions of the actual location as long as you comply with the size limitations (3,200 square feet, granted by the board) and you meet all zoning setbacks. This is also assuming that no other jurisdictions have any other restrictions that I am not aware of.

I hope that this note helps you with the planning / layout of the new home

Regards,

Jack Mee



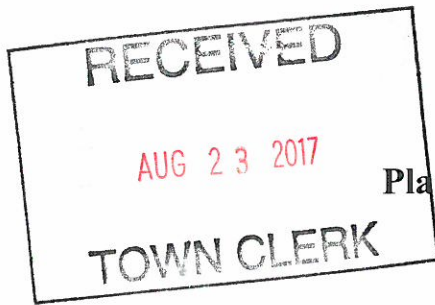
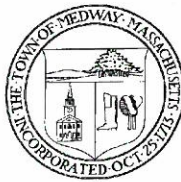
September 12, 2017
Medway Planning & Economic Development Board
Meeting

Paul Revere Estates
Definitive Subdivision Plan

- Public Hearing Continuation Notice
- Letter dated 9/6/17 from Dan Merrikin re: revised subdivision plan
- Additional waiver request re: curb material
- Revised subdivision plan dated 8/29/17
- Draft decision dated 9/8/17
- Email note dated 9/7/17 from Dave D'Amico re: monolithic curb

NOTE – The letter and revised plan were received 9/7/17 and were forwarded to Tetra Tech for review.

NOTE – Action deadline is 9/30/17.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

MEMORANDUM

August 23, 2017

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator

RE: **Public Hearing Continuation: Paul Revere Estates Definitive Subdivision Plan**
Continuation Date: Tuesday, September 12, 2017 at 7:00 p.m.
Location: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on August 22, 2017, the Planning and Economic Development Board voted to continue the public hearing on the application of Notwen Realty Trust of Norfolk, MA for approval of a definitive subdivision plan for a proposed five lot residential subdivision at 33 Main Street. **The continued public hearing will take place on Tuesday, September 12, 2017 at 7:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street.**

The subject property is an 11.31 acre parcel located off the south side of Main Street/Route 109 in the Agricultural Residential I zoning district. The plan shows the division of land into five residential lots and one drainage parcel, the construction of an approximately 571' roadway intended to be an accepted Medway street, the installation of municipal water and sewer service, and the construction of stormwater management facilities. A portion of this site is in a Wetlands Resource Area and the Groundwater Protection District. This proposal is for a "by right" use in this zoning district.

The application, subdivision plan, stormwater report, and other documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The applications, plan, report and other documents are also posted at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/paul-revere-estates>

The Board will begin its review of a decision at this next meeting. Please contact me if you have any questions. Thanks.

Merrikin Engineering, LLP

Consulting Engineers

730 MAIN STREET
SUITE 2C

MILLIS, MA 02054

TELEPHONE (508) 376-8883

September 6, 2017

Planning & Economic Development Board
Town Offices
155 Village Street
Medway, MA 02053

Conservation Commission
Town Offices
155 Village Street
Medway, MA 02053

Ref: Definitive Subdivision Application
Paul Revere Estates
39 Main Street

Dear Members of the Board:

Please find enclosed the following:

- Two full-size and one 11"x17" copies of a revised subdivision plan,
- One copy of a revised O&M plan; and
- One copy of a revised SWPPP.

Plan revisions are summarized as follows:

- As requested by the Conservation Commission, a 15' wide access way and access gate has been added to the stormwater basin design on the grading and road profile sheets. A detail for the access gate has also been added to sheet 10.
- As requested by the Conservation Commission, a note has been added to the layout sheet indicating that healthy trees larger than 4" in diameter shall be preserved in the selective cut zone.
- As requested by the fire chief, the cul-de-sac pavement diameter has been returned to 50'.
- As requested by the police department, the street sign note on the plan view of sheet 7 has been changed to include both road name signs.
- As requested by the Police Department, a "Caution Children" sign at the entrance to the subdivision has been added to sheet 7.
- As requested by the Police Department, the plan view of sheet 7 has been revised to include "Crosswalk Ahead" signs along both direction of Main Street.
- As requested by the DPS, a third isolation gate valve has been added to the Main Street intersection; and

- As discussed with the Board, sloped granite curb has been replaced with monolithic cape cod berm within the subdivision and a detail for monolithic cape cod berm has been added to sheet 9. A waiver request has been added to the cover sheet and a waiver request form is attached to this letter.

O&M revisions are summarized as follows as requested by the Conservation Commission:

- All discussion of septic systems has been eliminated from the O&M plan.
- Note #2 has been added to the catch basin operation and maintenance tasks calling for the installation of silt sacks during construction. Note #1 has been altered to call for daily inspections as opposed to monthly inspections during construction.
- Note #4 has been added to the sediment forebay operation and maintenance tasks calling for the removal of woody vegetation, leaves, and other materials that would affect the life of the system or its operations.

SWPPP revisions are summarized as follows as requested by the Conservation Commission:

- Section 2.16.2 of the SWPPP now excludes fueling locations from being designated within the 100' buffer zone.
- Section 2.16.11 of the SWPPP now includes a note that fertilizers are not to be applied within buffer zones or the Zone II.
- All references to hay bales in Section 3.2 of the SWPPP have been changed to straw bales.

Do not hesitate to contact me if you have any questions or comments.

Sincerely,



Digitally signed by Daniel J.
Merrikin, P.E.
Date: 2017.09.07 08:30:29 -04'00'

Daniel J. Merrikin P.E.

cc: File

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Paul Revere Estates
Property Location:	39 Main Street
Type of Project/Permit:	Definitive Subdivision
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	7.10.2 - Curbs and Berms
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Curbing shall be Sloped Granite Edging (Type S-A) for the full length of Neighborhood Streets.
What aspect of the Regulation do you propose be waived?	Sloped Granite Edging
What do you propose instead?	Monolithic Cape Cod Berm
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Sloped granite edging is costly.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Approximately \$20,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Monolithic Cape Cod Berm is more resilient to snowplow damage and is easier to maintain and replace.
What is the impact on the development if this waiver is denied?	Cost implications
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	The applicant is proposing to donate a drain easement at no cost to the town to resolve a long-standing discharge of municipal runoff through the applicant's land.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	The cost of an eminent domain taking for the easement.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	The granting of a drainage easement to the town.
What is the estimated value of the proposed mitigation measures?	The cost of an eminent domain taking for the easement.
Other Information?	None
Waiver Request Prepared By:	Merrikin Engineering, LLP
Date:	6-Sep-17
Questions?? - Please contact the Medway PED office at 508-533-3291.	

PAUL REVERE ESTATES

DEFINITIVE SUBDIVISION

PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

PLAN
JUNE 9, 2017
LATEST REVISION: AUGUST 29, 2017

PREPARED FOR:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

FOR REGISTRY USE

SUBDIVISION STATISTICS

TOTAL LAND AREA: 492,621 S.F. ±
NUMBER OF LOTS: 5
NUMBER OF PARCELS: 2
TOTAL LOT/PARCEL AREA: 459,670 S.F. ±
LOT 1: 47,121 S.F. ±
LOT 2: 53,534 S.F. ±
LOT 3: 49,933 S.F. ±
LOT 4: 47,965 S.F. ±
LOT 5: 44,128 S.F. ±
PARCEL C: 216,988 S.F. ±
PARCEL E: 32,950 S.F. ±
TOTAL WETLAND AREA: 195,933 S.F. ±
TOTAL UPLAND AREA: 296,688 S.F. ±
TOTAL STREET AREA: 32,951 S.F. ±
TOTAL OPEN SPACE: 0 S.F.

SUBDIVISION NOTES:

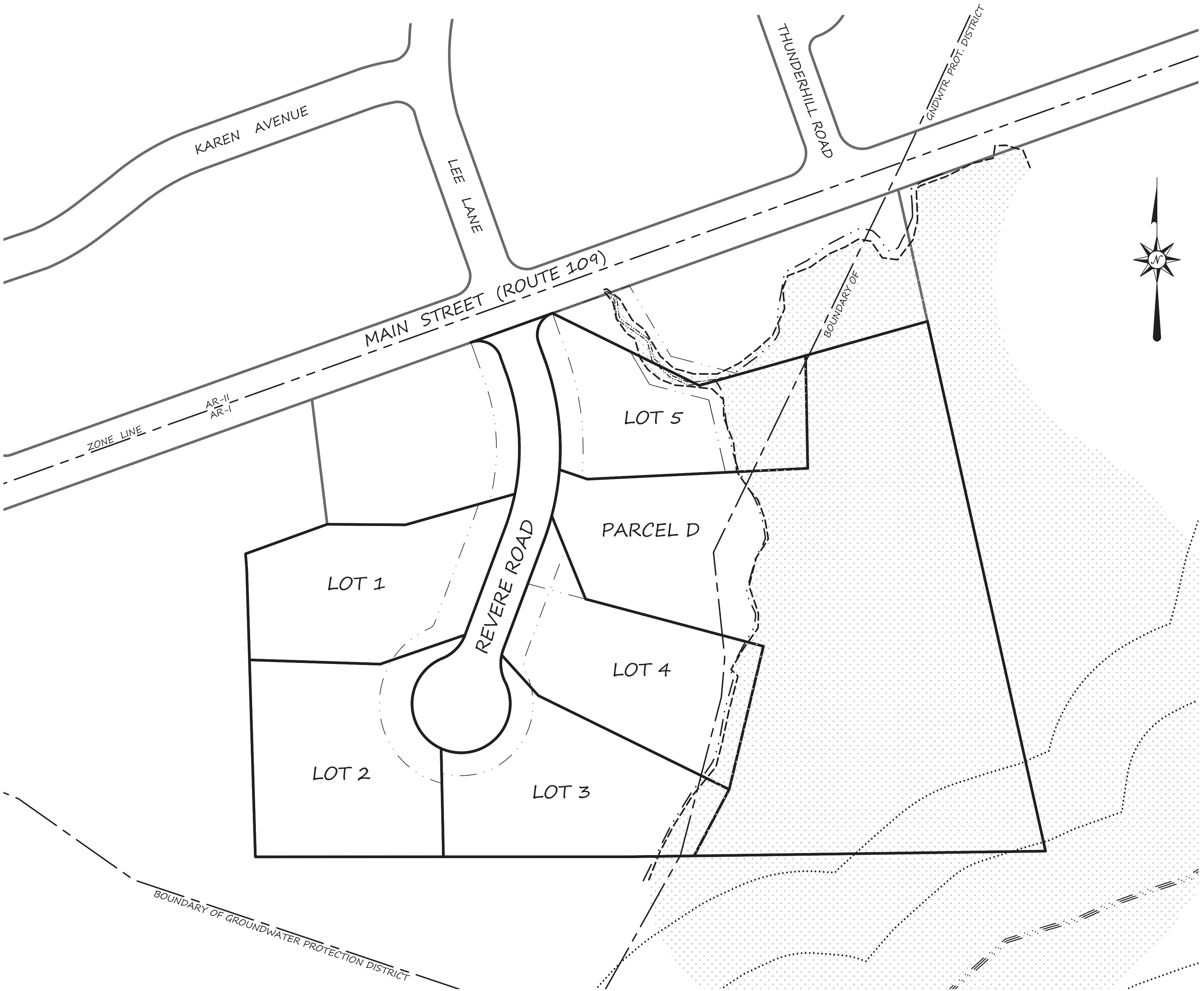
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MASS HIGHWAY HANDICAP REQUIREMENTS AND THE CURRENT ADA/AAB REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.

WAIVER REQUESTS:

- 5.7.6 CONTENTS OF DEFINITIVE SUBDIVISION PLAN SET TO EXCLUDE THE LOCATIONS OF EXISTING TREES WITH A DIAMETER OF ONE FOOT (1") OR GREATER AT TWENTY-FOUR INCHES (24") ABOVE GRADE, EXCEPT HARDWOOD TREES OF TWENTY FOUR INCHES (24") OR GREATER DIAMETER AT FOUR FEET (4') ABOVE GRADE WITHIN THE AREA OF CONSTRUCTION.
- 7.7.2.p STORMWATER MANAGEMENT: TO REDUCE THE SETBACK LIMIT OF STORMWATER BASINS FROM THIRTY FEET (30') TO TWENTY FEET (20').
- 7.10.2 CURBS AND BERMS: TO USE MONOLITHIC CAPE COD BERM INSTEAD OF VERTICAL GRANITE CURB EXCEPT AT THE CUL-DE-SAC PLANTING ISLAND AND AT THE MAIN STREET CORNER ROUNDINGS.

PAYMENTS TO BE MADE:

- 7.13.3 SIDEWALKS
A PAYMENT WILL BE MADE TO THE TOWN OF MEDWAY IN LIEU OF SIDEWALK CONSTRUCTION ALONG EXISTING TOWN WAYS.



LOCUS
SCALE: 1" = 80'

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: 1"=80'



PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	DJM
REVISIONS PER TOWN COMMENTS	8/24/2017	DJM

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
COVER SHEET
PLAN OF LAND IN
MEDWAY, MA



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2017.09.06
15:47:17 -04'00'

MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 1 OF 12

GENERAL NOTES:

- SURVEY & PLAN REFERENCES:
 - PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
 - REGISTRY REFERENCES:
 - PLAN REFERENCES:
PLAN BOOK 599, NO. 13
 - DEED REFERENCES:
BOOK 9237, PAGE 439
 - DATUM: NAVD88
 - A.N.R. PLAN DATED MAY 4, 2017 BY COLONIAL ENGINEERING, INC.
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SUBDIVISION SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.
- THE DEVELOPER SHALL RETAIN FEE INTEREST IN THE ROADWAY RIGHT-OF-WAY AND WILL GRANT TO THE TOWN THE FEE IN SUCH ROADWAY RIGHT-OF-WAY AND DRAINAGE EASEMENTS.
- THE NAME OF THE PROPOSED ROADWAY, REVERE ROAD, IS SUBJECT TO TOWN APPROVAL.
- PARCEL D SHALL BE CONVEYED TO THE TOWN OF MEDWAY AT THE TIME OF STREET ACCEPTANCE.

CONSERVATION NOTES:

- WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON AND HAVE NOT BEEN APPROVED BY THE CONSERVATION COMMISSION AS OF THE DATE OF THIS PLAN.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE DEVELOPER SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWN OF MEDWAY, IF REQUIRED.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED STREET NAME AND STOP SIGNS IN ACCORDANCE WITH TOWN STANDARDS.
- UNLESS OTHERWISE WAIVED IN THE DEFINITIVE SUBDIVISION APPROVAL, ALL CONSTRUCTION SHALL CONFORM TO THE SUBDIVISION REGULATIONS.
- GRANITE THROAT STONES SHALL BE INSTALLED WITH ALL CATCH BASINS AGAINST A ROADWAY CUTTER/CURB LINE.
- GRANITE TRANSITION STONES SHALL BE PROVIDED BETWEEN ALL VERTICAL GRANITE (INCLUDING THROAT STONES) AND SLOPED BERM.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

CONSTRUCTION SEQUENCE AND SCHEDULE:

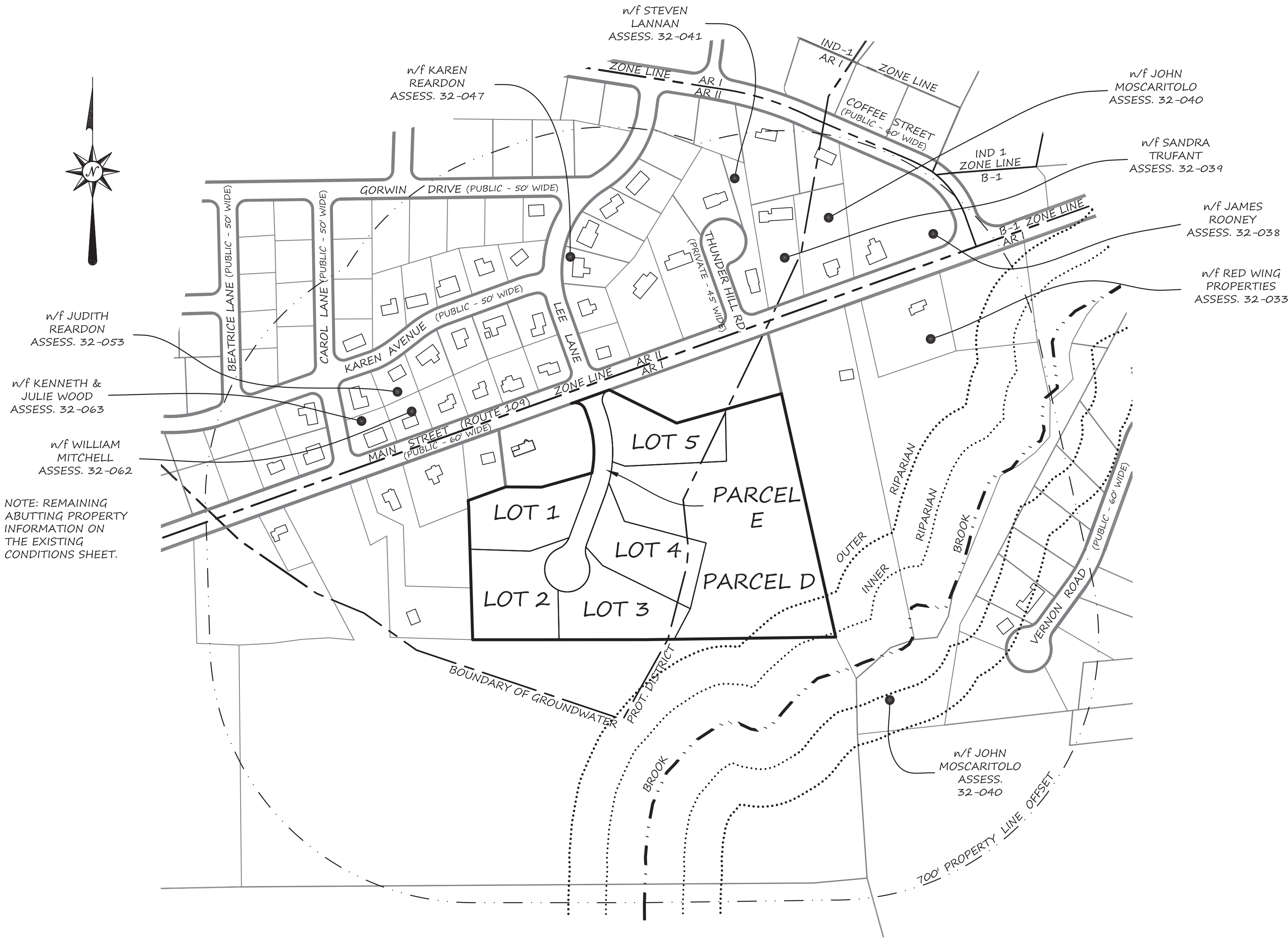
- DEPENDING ON FINANCING AND OTHER MARKET CONDITION ISSUES, CONSTRUCTION IS EXPECTED TO COMMENCE IN THE FALL OF 2017 WITH ROADWAY CONSTRUCTION COMPLETED TO BINDER COURSE BY THE SPRING OF 2018. HOUSE CONSTRUCTION IS EXPECTED TO OCCUR FROM THE SPRING OF 2018 THROUGH THE SPRING OF 2020, WITH FINAL ROADWAY CONSTRUCTION OCCURRING IN 2020-2021.
- REFER TO THE NPDES SWPPP FOR A MORE DETAILED CONSTRUCTION SEQUENCE, WHICH IS GENERALLY AS FOLLOWS:
 - INSTALLATION OF EROSION CONTROLS
 - FLAGGING OF TREES FOR REMOVAL
 - TREE CLEARING AND GRUBBING
 - TOPSOIL STRIP AND STOCKPILE
 - CUTS AND FILLS TO SUBGRADE
 - INSTALLATION OF STORMWATER SYSTEM AND INFILTRATION BASIN
 - INSTALLATION OF ROADWAY UTILITIES
 - SUBGRADE AND INSTALL ROADWAY AND SIDEWALK GRAVEL
 - INSTALL BINDER COURSE PAVEMENT, LOAM AND SEED SHOULDERS
 - COMMENCE HOUSE CONSTRUCTION
 - INSTALL TOP COURSE PAVEMENT

UTILITY NOTES:

- ALL PIPELINE LINEAR FOOTAGES REFERENCED IN THESE PLANS ARE HORIZONTAL DISTANCES AND DO NOT REFLECT THE SLOPED DISTANCE OF THE PIPELINE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL UNDERGROUND FIRE ALARM, GAS, ELECTRICAL, TELEPHONE, AND CABLE DISTRIBUTION SYSTEMS WITHIN THE ROADWAY RIGHT-OF-WAY. DESIGN SHALL INCLUDE THE APPROPRIATE CONDUIT RUNS AND JUNCTION BOX LOCATIONS. JUNCTION BOXES HAVE BEEN APPROXIMATELY SHOWN ON THE LOT CORNERS BUT SUCH LOCATIONS MAY BE CHANGED BY THE ELECTRIC COMPANY AT THE TIME OF CONSTRUCTION.
- WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL BRASS GOODS FOR POTABLE WATER SYSTEMS TO BE LEAD FREE.
- UNLESS OTHERWISE NOTED, DRAIN PIPING WITHIN THE RIGHT-OF-WAY SHALL BE CLASS IV REINFORCED CONCRETE PIPE (RCP) WITH O-RING SEAL JOINTS.
- SEWER MAIN TO BE SDR35.
- ALL WATER MAIN AND SERVICE COMPONENTS TO BE IN ACCORDANCE WITH THE TYPICAL REQUIREMENTS OF THE MEDWAY DPW.

LOG OF STREET ROADWAY WIDTHS:

- LEE LANE - 22'
- KAREN AVENUE - 24'
- CAROL LANE - 26'
- GORWIN DRIVE - 26'
- BEATRICE LANE - 26'
- COFFEE STREET - 24'
- THUNDER HILL ROAD - 20'
- MAIN STREET - 30'
- VERNON ROAD - 22'



LOCUS PLAN
SCALE: 1" = 200'

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC xxx: STORMCEPTOR TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR, DR: TRENCH DRAIN
- INFL, TR: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- OC/D: SEWER SERVICE CLEANNOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- L.P.: LIGHT POLE
- U.P.: UTILITY POLE
- G.Y.: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P: EDGE OF PAVEMENT
- C.C.B: INTEGRAL SLOPED BIT. BERM
- V.B.B: VERTICAL BITUMINOUS BERM
- S.G.C: SLOPED GRANITE CURB
- V.G.C: VERTICAL GRANITE CURB
- V.C.C: VERTICAL CONCRETE CURB
- E.C.S: EDGE CONCRETE SLAB
- G.V: GATE VALVE
- C.L.F: CHAIN LINK FENCE
- W.S.F: WOOD STOCKADE FENCE
- P.P.F: PVC PICKET FENCE
- G.R: GUARD RAIL
- C.C: HANDICAP CURB CUT

DRAWING INDEX:

- SHEET 1 - COVER SHEET
- SHEET 2 - NOTES, LOCUS, LEGEND
- SHEET 3 - O&M PLAN
- SHEET 4 - EXISTING CONDITIONS PLAN
- SHEET 5 - LAYOUT PLAN
- SHEET 6 - GRADING PLAN
- SHEET 7 - ROAD PLAN & PROFILE
- SHEET 8 - STORMWATER BASIN
- SHEET 9 - DETAILS
- SHEET 10 - DETAILS
- SHEET 11 - DETAIL
- SHEET 12 - DETAIL

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41A, SECTION 81U, BY DECISION DATED 8/10/2017, AND FILED WITH TOWN CLERK ON 8/10/2017, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/10/2017 TO BE RECORDED HEREWITH.

DATE APPROVED: 8/10/2017

DATE ENDORSED: 8/10/2017

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 15:48:24 -0400

MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 2 OF 12

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
NOTES, LOCUS, LEGEND
PLAN OF LAND IN
MEDWAY, MA

PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PLAN SCALE: 1" = 200'



FOR REGISTRY USE

OPERATION AND MAINTENANCE PLAN

THIS OPERATIONS AND MAINTENANCE PLAN (HEREINAFTER REFERRED TO "O&M PLAN") IS PROVIDED TO ENSURE THE LONG-TERM MONITORING AND MAINTENANCE OF VARIOUS COMPONENTS OF THE PAUL REVERE ESTATES INFRASTRUCTURE. THIS O&M PLAN INCLUDES THE FOLLOWING PROVISIONS:

1.STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

2.MISCELLANEOUS PROVISIONS

3.ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

THE "DEVELOPMENT" AND THE VARIOUS COMPONENTS WHICH ARE REFERENCED IN THIS O&M PLAN ARE DESCRIBED ON THE SITE PLAN REFERENCED BELOW.

REFERENCES

THIS O&M PLAN REFERENCES OTHER DOCUMENTS AS FOLLOWS:

SITE PLAN – PLANS ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN" WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED), AND PREPARED BY MERRIKIN ENGINEERING, LLP, HEREINAFTER REFERRED TO AS THE "SITE PLAN".

STORMWATER REPORT – REPORT ENTITLED "PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN, 39 MAIN ST. MEDWAY, MA 02053" PREPARED BY MERRIKIN ENGINEERING, LLP WITH AN ORIGINAL DATE OF JUNE 9, 2017 (AS MAY BE AMENDED).

SITE DESCRIPTION

THE SITE CONSISTS OF FIVE PROPOSED RESIDENTIAL BUILDINGS LOCATED ON 11.31 ACRES OF LAND ON MAIN STREET IN MEDWAY AND INCLUDES ALL APPURTENANT UTILITY SYSTEMS, LANDSCAPE AREAS, AND STORMWATER MANAGEMENT SYSTEMS. THOSE LAND AREAS ARE COLLECTIVELY REFERRED TO HEREIN AS THE "DEVELOPMENT."

SITE USAGE AND ACTIVITIES

SINGLE FAMILY RESIDENTIAL BUILDINGS AND ASSOCIATED APPURTENANCES.

PART 1: STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMP'S FOR PAUL REVERE ESTATES, THE FOLLOWING OPERATION AND MAINTENANCE REQUIREMENTS APPLY TO ALL STORMWATER FACILITIES WITHIN THE EXTENTS OF THE DEVELOPMENT. THE STORMWATER FACILITIES ARE DEPICTED ON THE SITE PLAN AND ARE HEREINAFTER REFERRED TO AS THE "STORMWATER FACILITIES."

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OPERATOR OR ITS DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL OPERATIONS AND MAINTENANCE (O&M) RESPONSIBILITIES.

EASEMENT AREAS

THE DEVELOPMENT CONTAINS A STORMWATER EASEMENT ON LOTS 4 AND 5, AND AN OFF-SITE EASEMENT ON LOT B. THESE WILL BE CONVEYED TO THE TOWN OF MEDWAY.

COMMENCEMENT OF OPERATIONS AND MAINTENANCE RESPONSIBILITIES

OPERATIONS AND MAINTENANCE TASKS SHALL BE COMMENCED ONCE EACH RESPECTIVE STORMWATER FACILITY IS FULLY CONSTRUCTED AND IS RECEIVING RUNOFF FROM THE DEVELOPMENT.

OPERATIONS AND MAINTENANCE TASKS

DEEP SUMP CATCH BASINS:

1. DEEP SUMP CATCH BASINS SHALL BE INSPECTED DAILY DURING CONSTRUCTION ACTIVITIES AND ALL SEDIMENTS AND DEBRIS SHALL BE REMOVED FOUR TIMES PER YEAR UNLESS THE OWNER CAN DETERMINE THROUGH RECORDED OBSERVATIONS THAT SEDIMENT ACCUMULATION DOES NOT WARRANT SUCH FREQUENT CLEANINGS. IF DEEP SUMP CATCH BASIN CLEANING OCCURS LESS THAN FOUR TIMES PER YEAR, CLEANING SHALL OCCUR WHEN TWO FEET OF SEDIMENTS HAVE ACCUMULATED IN THE SUMP AND AT LEAST ONCE PER YEAR.
2. SILT SACKS SHALL BE INSTALLED ON ALL CATCH BASINS THROUGHOUT THE TIME OF CONSTRUCTION.
3. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

SEDIMENT FOREBAYS:

1. SEDIMENT FOREBAYS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. SEDIMENT FOREBAYS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
3. SEDIMENT SHOULD BE REMOVED WHEN 3-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.
4. REMOVE WOODY VEGETATION, LEAVES, AND OTHER MATERIALS THAT WOULD AFFECT THE LIFE OF THE SYSTEM OR ITS OPERATIONS.

STORMWATER INFILTRATION BASIN:

1. STORMWATER BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-RAP APRONS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BMPs ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
4. INSPECTIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING PER THE SITE PLAN DESIGN SPECIFICATIONS.
5. INSPECTIONS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED, STRUCTURALLY SOUND AND NOT ERODED. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
6. STORMWATER BASINS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS. IF WETLAND VEGETATION GROWS AT THE BOTTOM OF THE STORMWATER BASIN, IT SHALL ONLY BE MOWED ONCE PER YEAR AT THE BEGINNING OF THE WINTER SEASON.
7. SEDIMENT SHOULD BE REMOVED AT LEAST ONCE EVERY 5 YEARS OR WHEN 2-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE BASIN AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. TWO SEDIMENTATION MARKERS SHALL BE INSTALLED IN THE BASIN BY A REGISTERED LAND SURVEYORS WITH A CLEAR MARKING OF THE 2-INCH ACCUMULATION LINE. IT IS RECOMMENDED THAT STONE BOUNDS BE INSTALLED WITH CHISELED MARKS INDICATING THE LIMIT OF ACCUMULATION, ALTHOUGH OTHER SIMILARLY PERMANENT MARKING METHODS MAY BE UTILIZED.

STORMWATER PIPES, INLETS AND OUTFALLS:

1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR.
2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

THE VARIOUS OPERATIONS AND MAINTENANCE SCHEDULE REQUIREMENTS LISTED ABOVE MAY BE REDUCED IN FREQUENCY BY APPROVAL FROM THE TOWN. SHOULD SUCH PERMISSION BE DESIRED, THE OPERATOR SHALL PROVIDE DOCUMENTATION OF ACTUAL ON-SITE MAINTENANCE OBSERVATIONS BY A QUALIFIED SOURCE (ENGINEER OR OTHER QUALIFIED PERSON MEETING THE APPROVAL OF THE TOWN) DEMONSTRATING THAT THE PARTICULAR STORMWATER BMP IN QUESTION DOES NOT WARRANT THE SPECIFIED FREQUENCY OF INSPECTION OR MAINTENANCE ACTIVITIES.

ROOF RUNOFF INFILTRATION SYSTEMS:

ROOF RUNOFF INFILTRATION SYSTEMS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES BY EACH LOT OWNER. ANY SELLER WITHIN THE SUBDIVISION SHALL PROVIDE THE NEW OWNER WITH A BRIEF WRITTEN DESCRIPTION OF THE SYSTEM AND THE MAINTENANCE REQUIREMENTS OF THIS SECTION. GUTTERS AND DOWNSPOUTS SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE LOT OWNER SHALL INSPECT THE ROOF RUNOFF LEACHING SYSTEM ONCE PER CALENDAR YEAR SHORTLY AFTER A SMALL RAINSTORM EVENT TO ENSURE THAT WATER ACCUMULATION WITHIN THE ROOF RUNOFF LEACHING SYSTEM IS NOT EXCESSIVE. IT SHOULD BE NOTED THAT THESE SYSTEMS ARE GENERALLY DESIGNED TO OVERFLOW DURING STORM EVENTS LARGER THAN APPROXIMATELY 1.5-INCHES OF RAINFALL. DURING SMALL STORM EVENTS, THERE SHOULD BE NO OVERFLOW. OVERFLOW DURING SMALL STORM EVENTS IS LIKELY AN INDICATION OF A FAILED SYSTEM DUE TO CLOGGING OF THE SOILS AROUND THE SYSTEM OR MAY BE INDICATIVE OF A BLOCKED PIPE. IF THIS HAPPENS, THE LOT OWNER SHALL REPLACE THE SYSTEM IN ACCORDANCE WITH THE ORIGINAL DESIGN OR EFFECT AN APPROPRIATE REPAIR, IF IT IS DETERMINED THAT THIS REPAIR WILL ALLEVIATE THE PROBLEM.

REPORTING REQUIREMENTS

THE FOLLOWING DOCUMENTATION SHALL BE SUBMITTED NO LATER THAN DECEMBER 31ST OF EACH CALENDAR YEAR TO THE TOWN:

1. A STATEMENT, SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE OPERATOR INDICATING THAT THE REQUIREMENTS OF THIS O&M PLAN WERE PERFORMED DURING THE PREVIOUS CALENDAR YEAR. WHERE REQUIREMENTS WERE NOT MET, A SCHEDULE FOR THEIR COMPLETION SHALL BE PROVIDED AND A FOLLOW-UP STATEMENT SUBMITTED WHEN COMPLETE.
2. A LIST OF THE MAINTENANCE ACTIVITIES PERFORMED ALONG WITH THE APPROXIMATE DATE OF THE WORK.
3. A LIST OF THE INSPECTIONS PERFORMED ALONG WITH A STATEMENT BY EACH INSPECTOR SUMMARIZING THE RESULTS OF THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THIS O&M PLAN.
4. COPIES OF APPURTENANT DOCUMENTATION SUPPORTING THE COMPLETION OF THE O&M RESPONSIBILITIES SUCH AS COPIES OF CONTRACTS AND/OR RECEIPTS WITH PARTIES ENGAGED TO PERFORM MAINTENANCE AND INSPECTION SERVICES.

5. A NOTATION REGARDING WHETHER THERE HAS BEEN ANY CHANGE IN THE NAME AND OR CONTACT INFORMATION FOR THE OPERATOR.

PUBLIC SAFETY FEATURES

THE STORMWATER SYSTEM HAS BEEN DESIGNED TO SAFELY COLLECT SURFACE RUNOFF FROM DEVELOPED AREAS (AS DESCRIBED ON THE SITE PLAN AND STORMWATER REPORT) BY PROVIDING COLLECTIONS SYSTEMS AT REGULAR INTERVALS TO PREVENT SURFACE FLOODING AND TO TREAT THAT RUNOFF IN ACCORDANCE WITH THE PROVISIONS OF THE MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS AND HANDBOOK.

PART 2: MISCELLANEOUS PROVISIONS

GOOD HOUSEKEEPING CONTROLS

- THE FOLLOWING GOOD HOUSEKEEPING MEASURES WILL BE IMPLEMENTED IN THE DAY-TO-DAY OPERATION OF THE DEVELOPMENT:
1. THE SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY MANNER.
2. FERTILIZERS AND PESTICIDE APPLICATION ON THE LOTS SHALL BE IN ACCORDANCE WITH THIS PLAN.
3. ALL WASTE MATERIALS FROM THE DEVELOPMENT WILL BE COLLECTED IN DUMPSTERS AND REMOVED FROM THE SITE BY PROPERLY LICENSED DISPOSAL COMPANIES.

MANAGEMENT OF DEICING CHEMICALS AND SNOW

- MANAGEMENT OF ON-SITE SNOW WILL BE AS FOLLOWS:
1. THE SITE SHALL BE PLOWED AS NEEDED TO MAINTAIN SAFE DRIVING CONDITIONS. SNOW WILL BE STORED IN WINDROWS ALONG PAVEMENT EDGES AND SHALL BE PILED IN LANDSCAPE STRIPS AS NEEDED.
2. SNOW WILL NOT BE PLOWED INTO PILES WHICH BLOCK OR OBSTRUCT STORMWATER MANAGEMENT FACILITIES.
3. SNOW WILL NOT BE PLOWED INTO PILES AT ROADWAY INTERSECTIONS SUCH THAT IT WOULD OBSTRUCT VISIBILITY FOR ENTERING OR EXITING VEHICLES.
4. DEICING CHEMICALS APPLICATION WILL BE AS LITTLE AS POSSIBLE WHILE PROVIDE A SAFE ENVIRONMENT FOR VEHICULAR OPERATION AND FUNCTION.

OPERATOR TRAINING

THE OPERATOR IS RESPONSIBLE FOR PROVIDING TRAINING FOR THE STAFF THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS O&M PLAN. SUCH TRAINING SHALL OCCUR AT LEAST ONCE ANNUALLY.

ILLICIT DISCHARGES

THE OPERATOR SHALL NOT ALLOW NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM. ANY DISCOVERED NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM SHALL BE IMMEDIATELY DISCONNECTED.

ESTIMATED OPERATIONS AND MAINTENANCE BUDGET

IT IS ESTIMATED THAT THE REGULAR ANNUAL MAINTENANCE TASKS DESCRIBED HEREIN WILL COST \$2,000 PER YEAR (2017 VALUE).

PART 3: ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

IN THE EVENT OF AN ACCIDENT WITHIN THE BOUNDARIES OF THE SITE, WHERE SIGNIFICANT GASOLINE OR OTHER PETROLEUM PRODUCTS OR OTHER HAZARDOUS MATERIALS ARE RELEASED, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED IN THE ORDER NOTED:

1. AS QUICKLY AS POSSIBLE, ATTEMPT TO BLOCK THE NEAREST STORMWATER CATCH BASINS IF ON A ROADWAY, OR IF IN PROXIMITY TO WETLANDS, CREATE A BERM OF SOIL DOWNSLOPE OF THE SPILL.
2. IMMEDIATELY, AND WHILE THE CONTAINMENT MEASURES ARE IMPLEMENTED AS DESCRIBED ABOVE, NOTIFY THE FOLLOWING GOVERNMENTAL ENTITIES AND INFORM THEM OF THE TYPE OF SPILL THAT OCCURRED:
- o MEDWAY FIRE DEPARTMENT AT 911,
 - o MEDWAY BOARD OF HEALTH AT 508-533-3206,
 - o MEDWAY CONSERVATION COMMISSION AT 508-533-3292,
 - o MASS. DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CENTRAL REGION AT (508) 792-7650 (ADDRESS IS 20 RIVERSIDE DRIVE, LAKEVILLE, MA 02347),
 - o NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 (FOR SPILLS THAT REQUIRE SUCH NOTIFICATION PURSUANT TO 40 CFR PART 110, 40 CFR PART 117, AND 40 CR PART 302).
3. ONCE THE VARIOUS EMERGENCY RESPONSE TEAMS HAVE ARRIVED AT THE SITE AND IF THE SPILL OCCURS ON A LOT, THE OWNER SHALL FOLLOW THE INSTRUCTIONS OF THE VARIOUS GOVERNMENTAL ENTITIES, WHICH MAY INCLUDE THE FOLLOWING:
- A CLEAN UP FIRM MAY NEED TO BE IMMEDIATELY CONTACTED.
 - IF THE HAZARDOUS MATERIALS HAVE ENTERED THE STORMWATER SYSTEM, PORTIONS OF IT MAY NEED TO BE CLEANED AND RESTORED PER THE DEP. ALL SUCH ACTIVITIES SHALL BE AS SPECIFIED BY THE DEP.

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41A, SECTION 81U, BY DECISION DATED 8/10/2017, AND FILED WITH TOWN CLERK ON 8/24/2017, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/24/2017 TO BE RECORDED HEREWITH.

DATE APPROVED: 8/10/2017

DATE ENDORSED: 8/10/2017

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

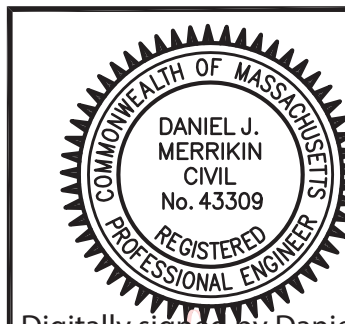
FOR REGISTRY USE

PLAN SCALE: N.T.S.


PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
O&M
PLAN OF LAND IN
MEDWAY, MA



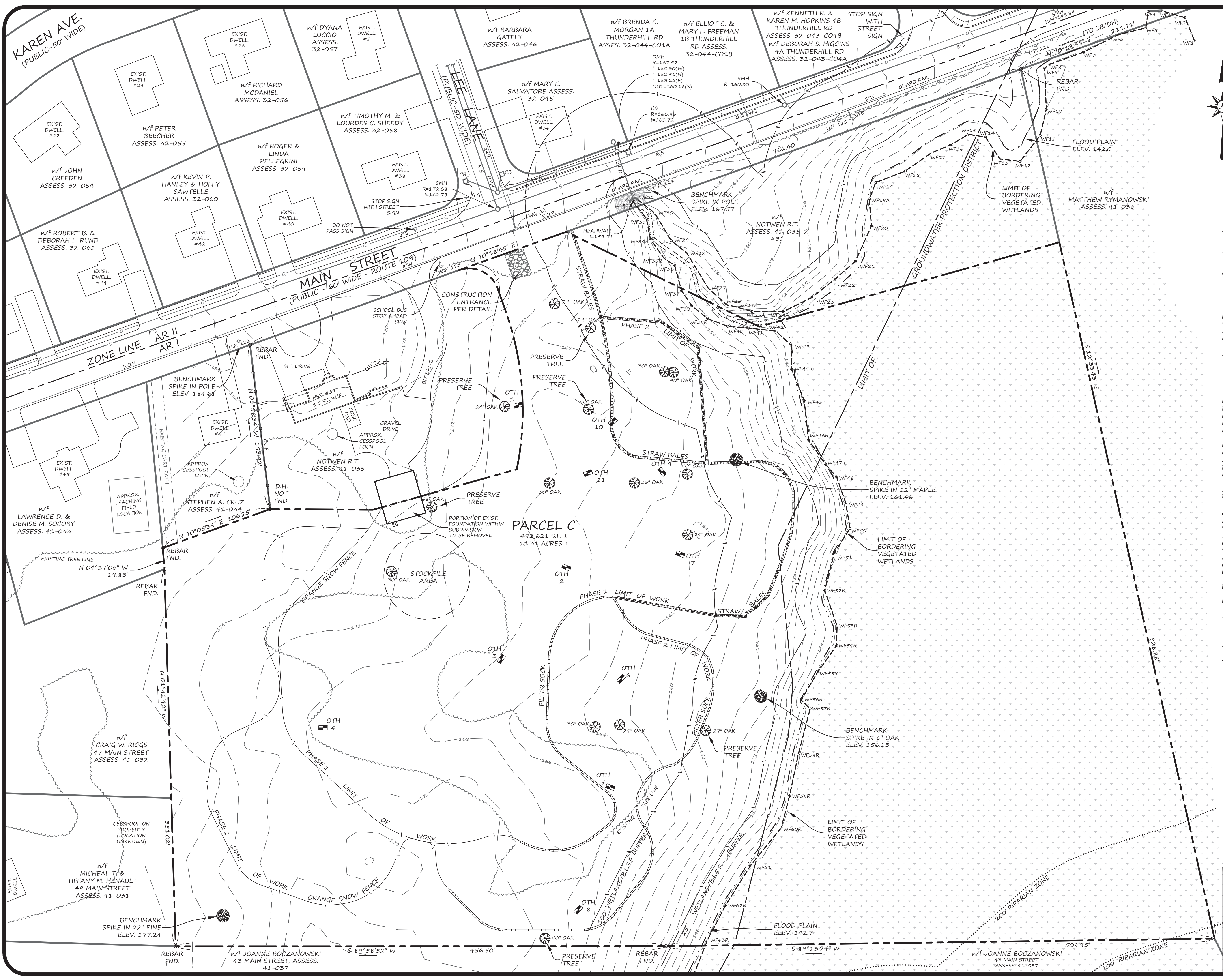
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Date: 2017.09.06 15:50:20 -04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 3 OF 12



ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
_____, AND FILED WITH TOWN
CLERK ON _____, AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HERewith.

DATE APPROVED: _____

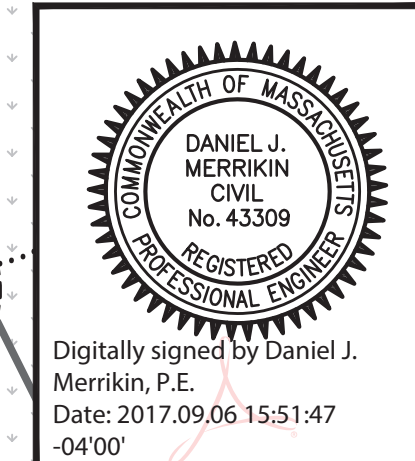
DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PHASING NOTES:

PHASE 1 CONSTRUCTION CONSISTS
OF THE CONSTRUCTION OF THE
PROPOSED ROADWAY,
STORMWATER FACILITIES, AND ALL
APPURTENANT INFRASTRUCTURE
WORK.

PHASE 2 CONSTRUCTION CONSISTS
OF THE CONSTRUCTION OF THE
RESIDENTIAL DWELLINGS AND ALL
APPURTENANT WORK.



MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

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Merrikin, P.E.
Date: 2017.09.06 15:51:47
-0400

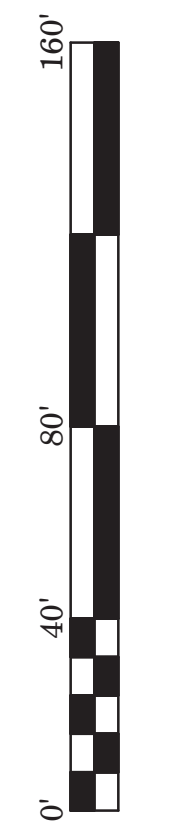
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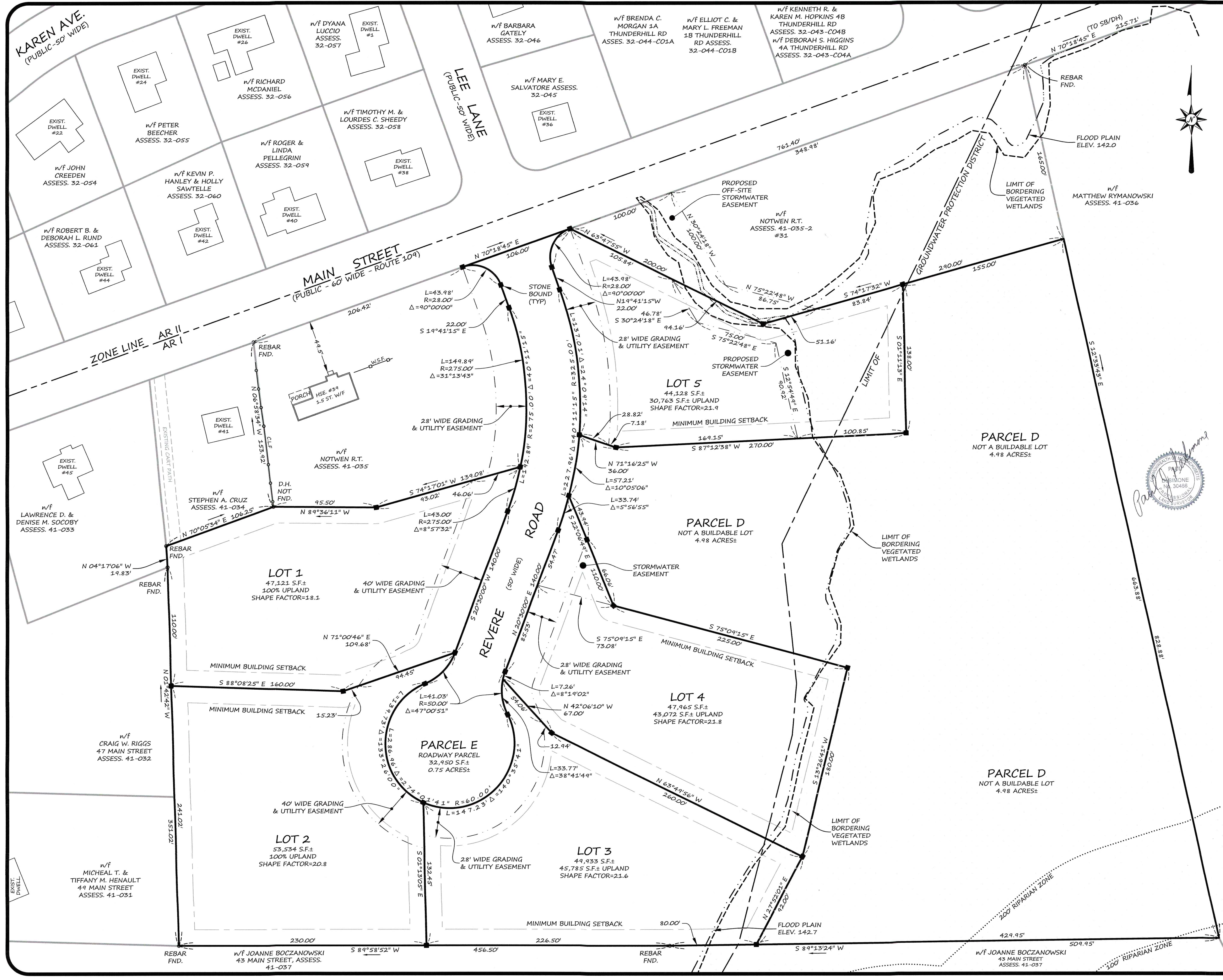
PLAN DATE: JUNE 9, 2017	
REVISION	DATE
CHANGES PER BOARD CONSULTANTS	8/8/2017
REVISIONS PER TOWN COMMENTS	8/24/2017

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
EXISTING COND. &
EROSION PLAN OF LAND
IN MEDWAY, MA

FOR REGISTRY USE

PLAN SCALE: 1" = 40'





ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 30 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK _____

DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

Paul J. J. J.
PROFESSIONAL LAND SURVEYOR

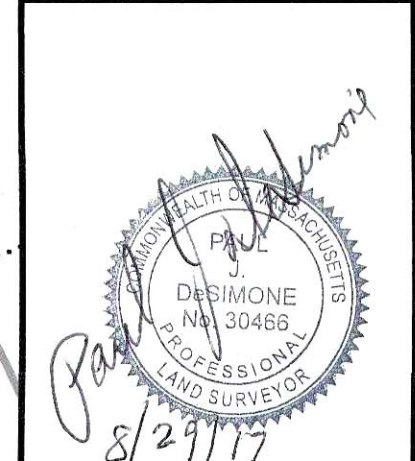
CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
_____, AND FILED WITH TOWN
CLERK ON _____, AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HEREWITH.

DATE APPROVED: _____

DATE ENDORSED: _____

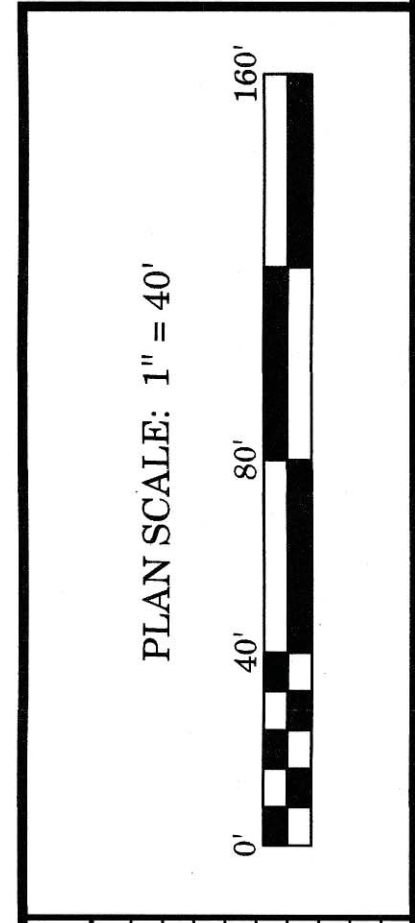
TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

- LAYOUT NOTES:
1. THE OWNER OF 39 MAIN ST. MAY
INSTALL DRIVEWAY TO NEW ROAD ON
CONDITION THAT ALL EXISTING CURB
CUTS ON MAIN ST. BE ELIMINATED.
 2. THE OWNER OF LOT 3 IS TO
MAINTAIN THE ISLAND ON REVERE
ROAD IN PERPETUITY (INCLUDE IN
DEED).
 3. THE DEED FOR EACH LOT SHALL
REFER TO THE SELECTIVE CUT ZONES
ON THE SUBDIVISION PLAN. HEALTHY
EXISTING TREES LARGER THAN
4-INCHES D.B.H. MAY NOT BE CUT.



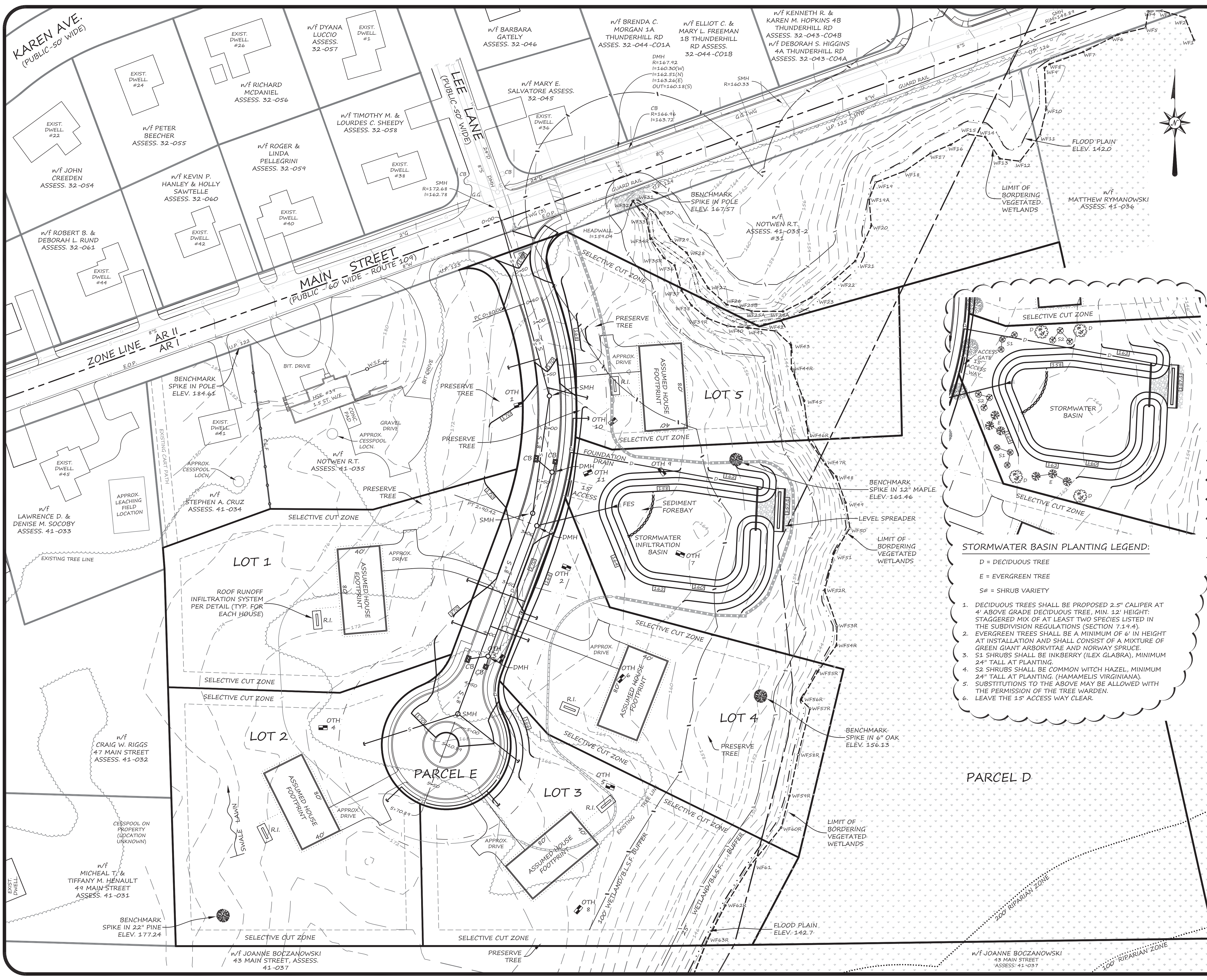
MERRIKIN
ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823



REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
LAYOUT
PLAN OF LAND IN
MEDWAY, MA



ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK _____

DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
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AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 45A,
SECTION 81U, BY DECISION DATED
_____, AND FILED WITH TOWN
CLERK ON _____ AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED _____ TO BE
RECORDED HEREWITH.

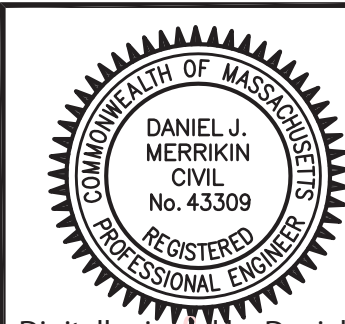
DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

STORMWATER BASIN PLANTING LEGEND:

- D = DECIDUOUS TREE
E = EVERGREEN TREE
S# = SHRUB VARIETY
1. DECIDUOUS TREES SHALL BE PROPOSED 2.5" CALIPER AT 4' ABOVE GRADE DECIDUOUS TREE, MIN. 12' HEIGHT: STAGGERED MIX OF AT LEAST TWO SPECIES LISTED IN THE SUBDIVISION REGULATIONS (SECTION 7.1.9.4).
 2. EVERGREEN TREES SHALL BE A MINIMUM OF 6' IN HEIGHT AT INSTALLATION AND SHALL CONSIST OF A MIXTURE OF GREEN GIANT ARBORVITAE AND NORWAY SPRUCE.
 3. S1 SHRUBS SHALL BE INKBERRY (ILEX GLABRA), MINIMUM 24" TALL AT PLANTING.
 4. S2 SHRUBS SHALL BE COMMON WITCH HAZEL, MINIMUM 24" TALL AT PLANTING. (HAMAMELIS VIRGINIANA).
 5. SUBSTITUTIONS TO THE ABOVE MAY BE ALLOWED WITH THE PERMISSION OF THE TREE WARDEN.
 6. LEAVE THE 15' ACCESS WAY CLEAR.



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Merrikin, P.E.
Date: 2017.09.06 15:54:29
-04'00'



730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01 SHEET 6 OF 12

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
GRADING
PLAN OF LAND IN
MEDWAY, MA

PLAN DATE: JUNE 9, 2017

REVISION	DATE	BY
CHANGES PER BOARD CONSULTANTS	8/8/2017	D.J.M.
REVISIONS PER TOWN COMMENTS	8/24/2017	D.J.M.

PLAN SCALE: 1" = 40'



FOR REGISTRY USE

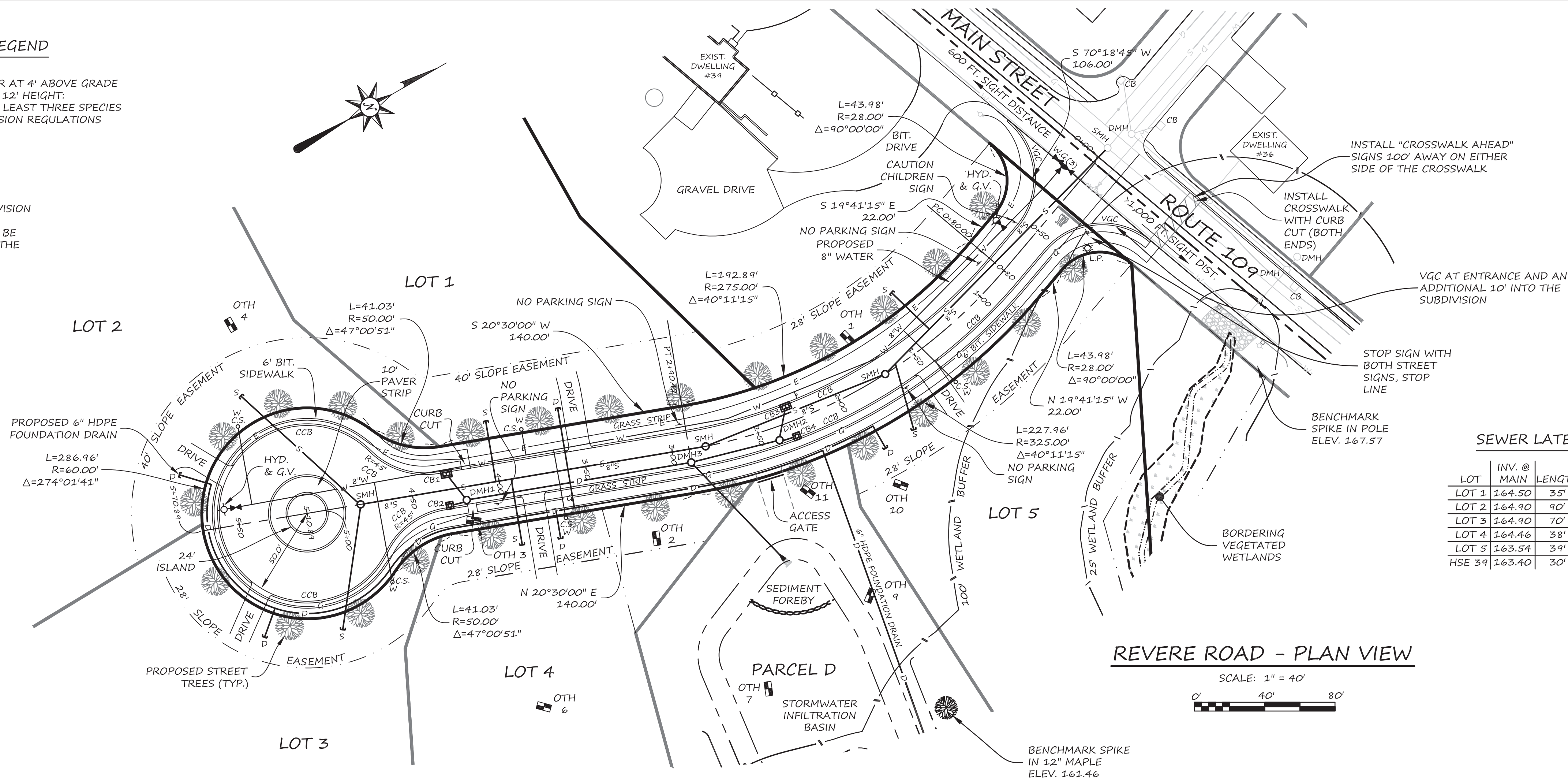
LANDSCAPE LEGEND



PROPOSED 2.5" CALIPER AT 4' ABOVE GRADE
DECIDUOUS TREE, MIN. 12' HEIGHT;
STAGGERED MIX OF AT LEAST THREE SPECIES
LISTED IN THE SUBDIVISION REGULATIONS
(SECTION 7.1.9.4).

LANDSCAPE NOTES:

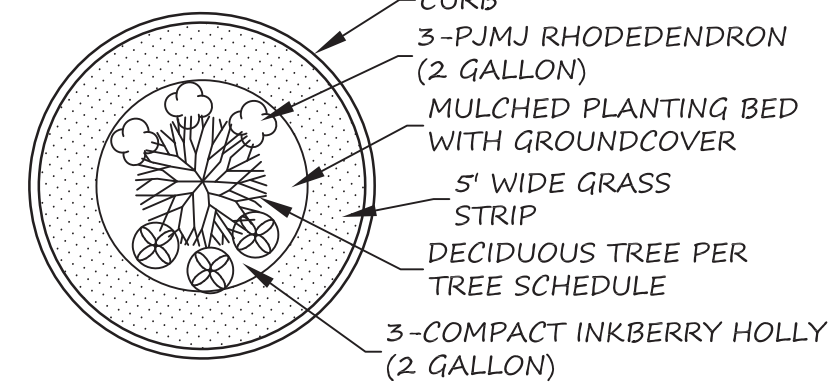
- TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS.
- ALTERNATE TREE SPECIES MAY BE SUBSTITUTED IF APPROVED BY THE TREE WARDEN.



REVERE ROAD - PLAN VIEW

SCALE: 1" = 40'
0' 40' 80'

CUL-DE-SAC ISLAND PLANTINGS:



FOR REGISTRY USE

SEWER LATERALS

LOT	INV. @ MAIN	LENGTH	INV. @ LOT
LOT 1	164.50	35'	165.20
LOT 2	164.90	90'	166.70
LOT 3	164.90	70'	166.30
LOT 4	164.46	38'	165.22
LOT 5	163.54	39'	164.32
HSE 39	163.40	30'	164.00

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED
SINCE THE PLANNING BOARD APPROVAL
AND NO APPEAL HAS BEEN FILED IN THIS
OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN
PREPARED IN CONFORMITY WITH THE
RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN
CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN
ACCORDANCE WITH M.G.L. CHAPTER 41,
SECTION 81U, BY DECISION DATED
AND FILED WITH TOWN
CLERK ON , AND
SUBJECT TO COVENANTS, CONDITIONS
AND RESTRICTIONS SET FORTH IN A
COVENANT DATED TO BE
RECORDED HERewith.

DATE APPROVED:

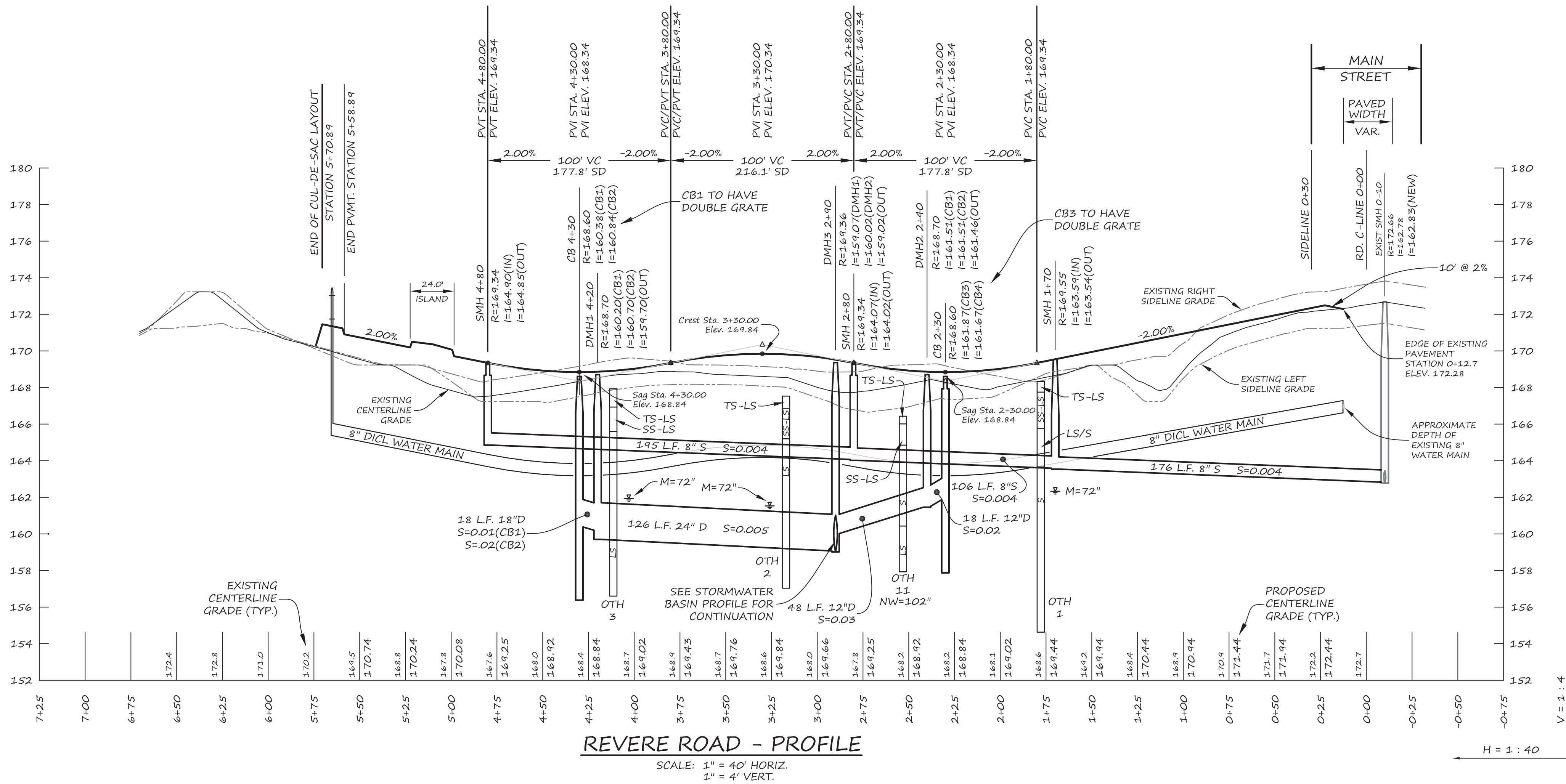
DATE ENDORSED:

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: AS NOTED

PLAN DATE: JUNE 9, 2017

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
ROAD PLAN & PROFILE
PLAN OF LAND IN
MEDWAY, MA



REVERE ROAD - PROFILE

SCALE: 1" = 40' HORIZ.
1" = 4' VERT.

PROFILE LEGEND

ABBREV.

M-XX"
WT-XX"
WP-XX"
NW-XX"
R-XX"
TS
SS
S
LS
SL

DESCRIPTION

REDOX (MOTTLES) AT XX-INCHES
STANDING WATER AT XX-INCHES
WEEPING WATER AT XX-INCHES
NO GROUNDWATER INDICATORS
REFUSAL AT XX-INCHES
TOPSOIL
SUBSOIL
SAND
LOAMY SAND
SANDY LOAM

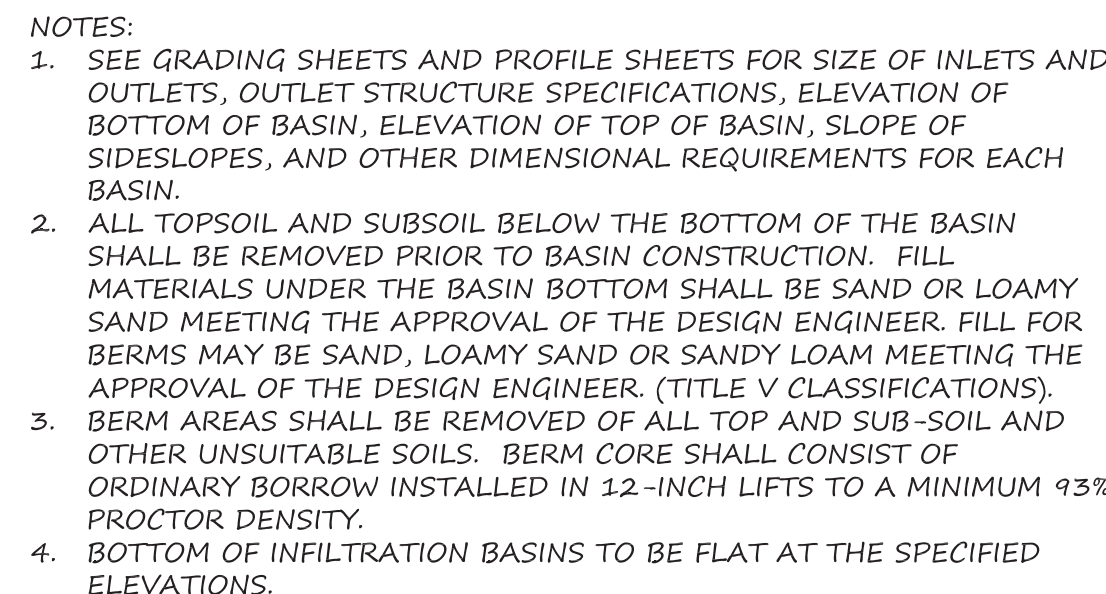


Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2017.09.06 15:58:53
-04'00'

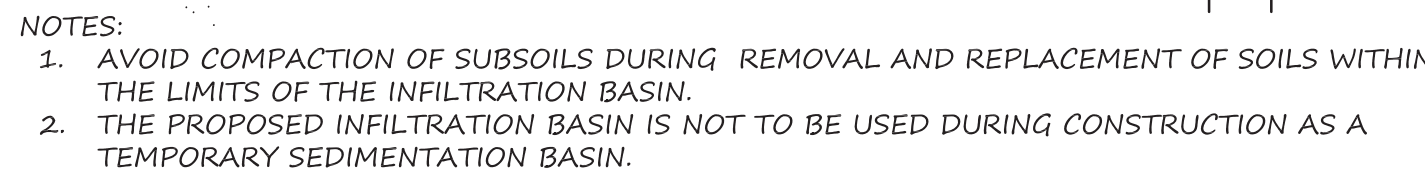


730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

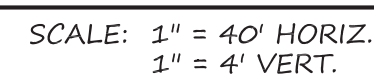
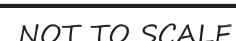
D104-01 SHEET 7 OF 12



NOT TO SCALE



NOT TO SCALE

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: AS NOTED

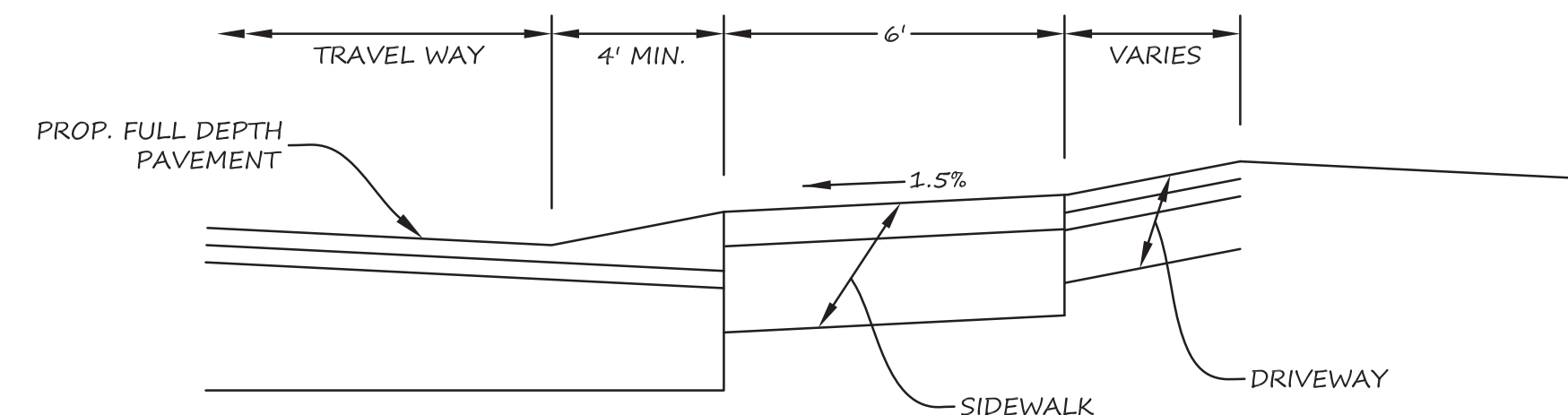
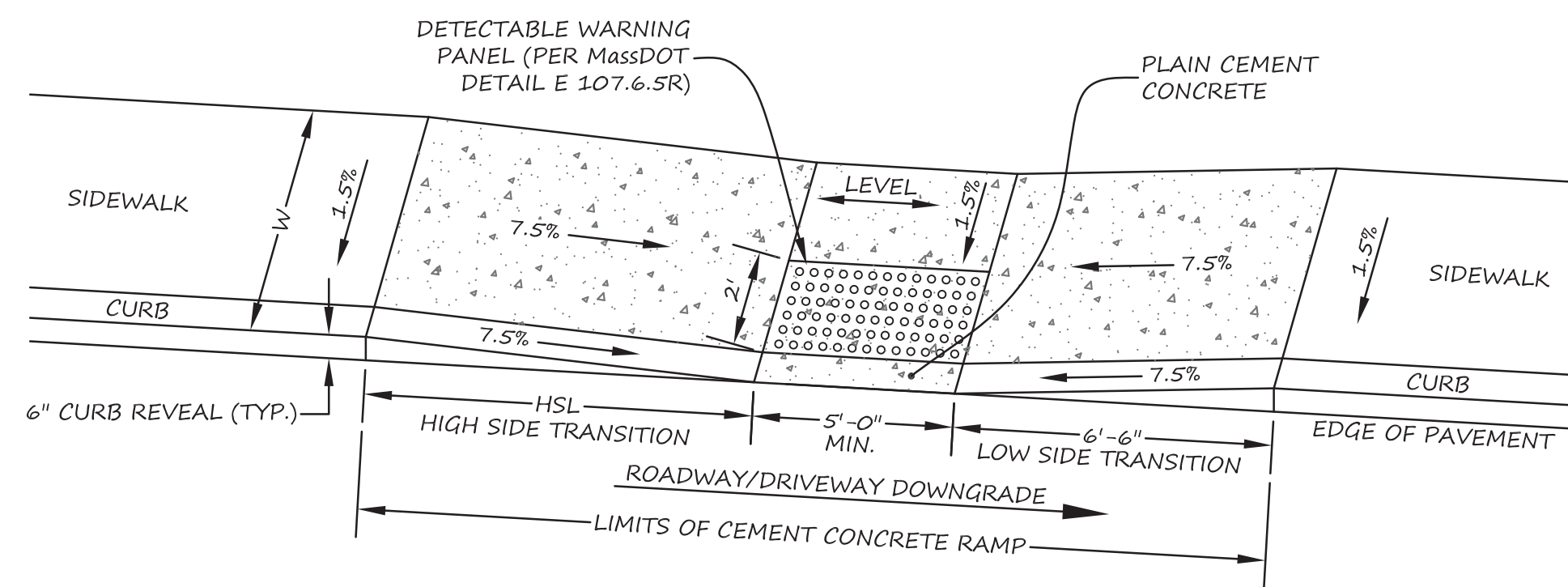
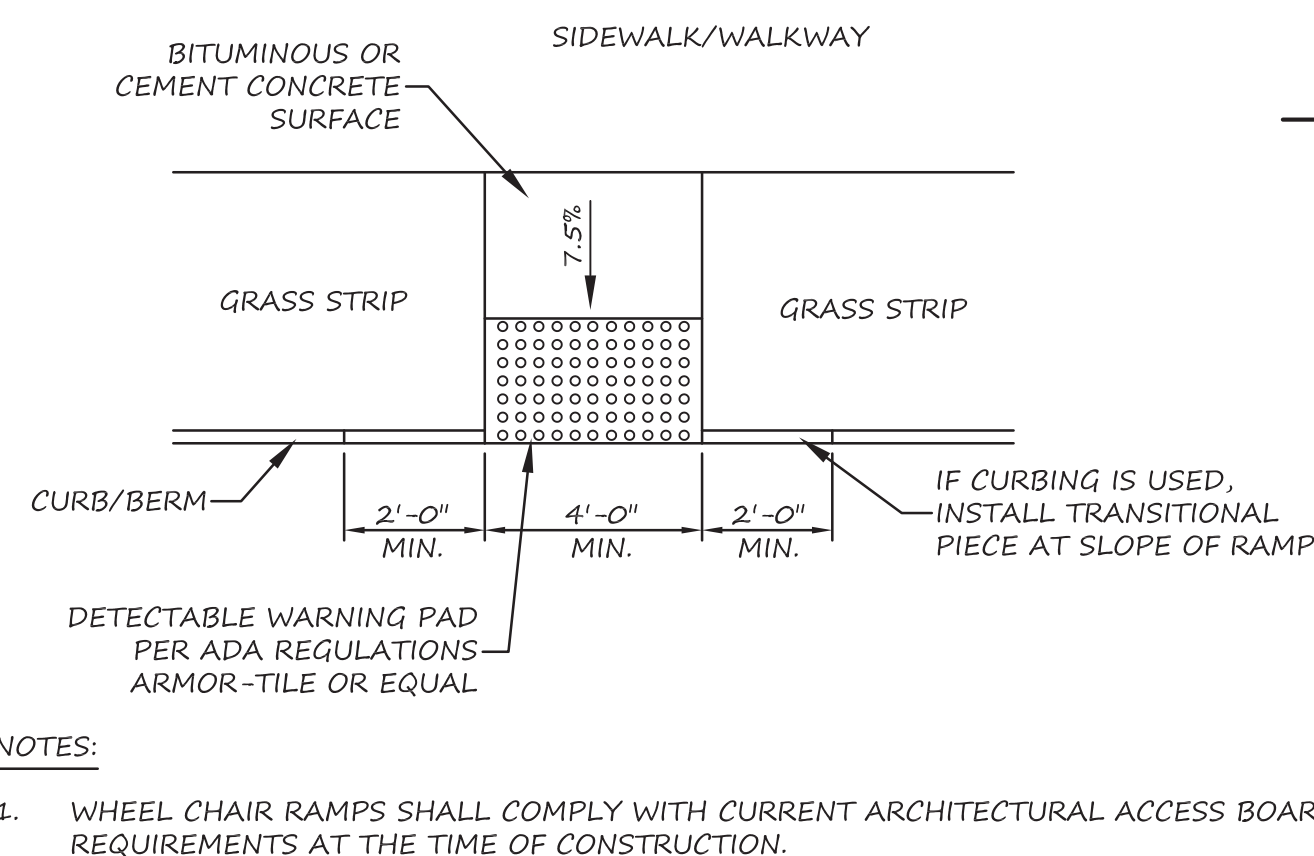
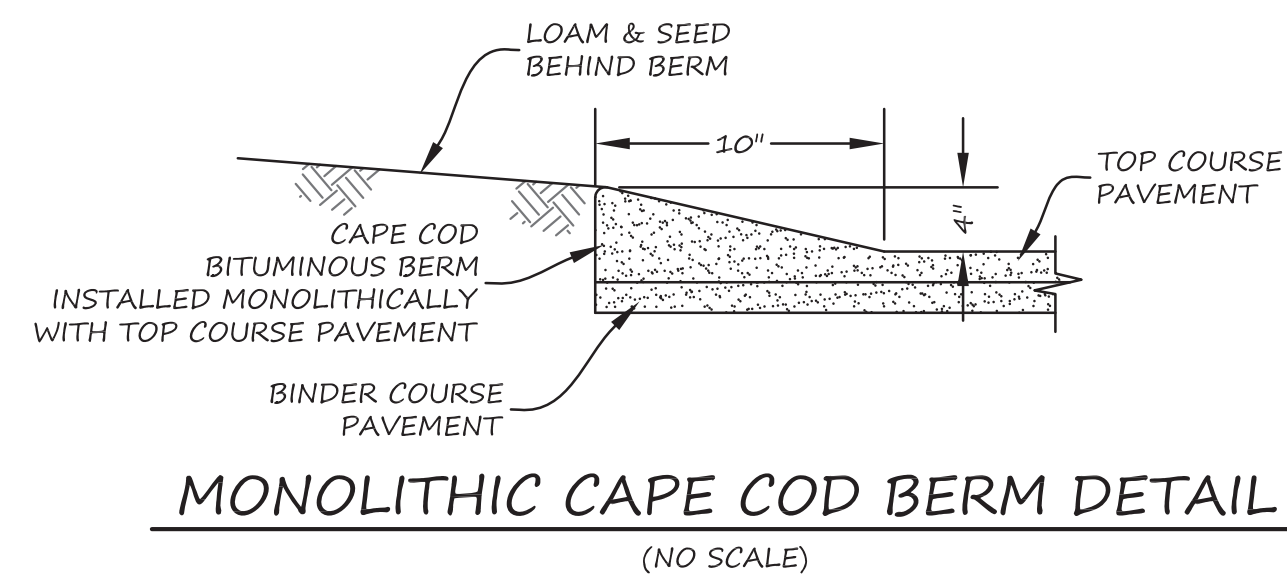
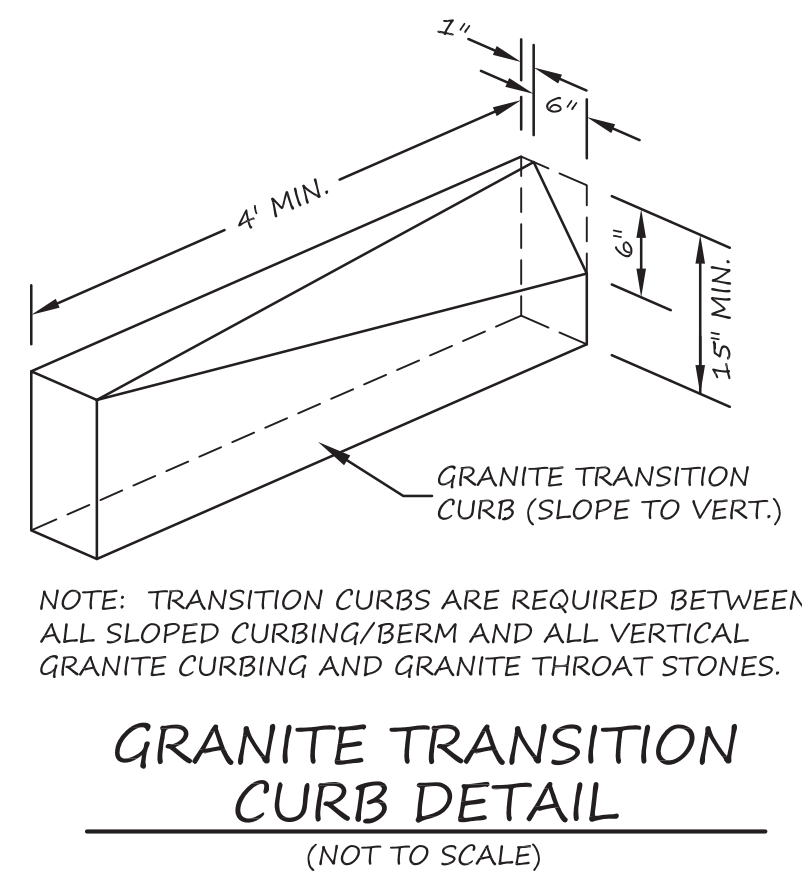
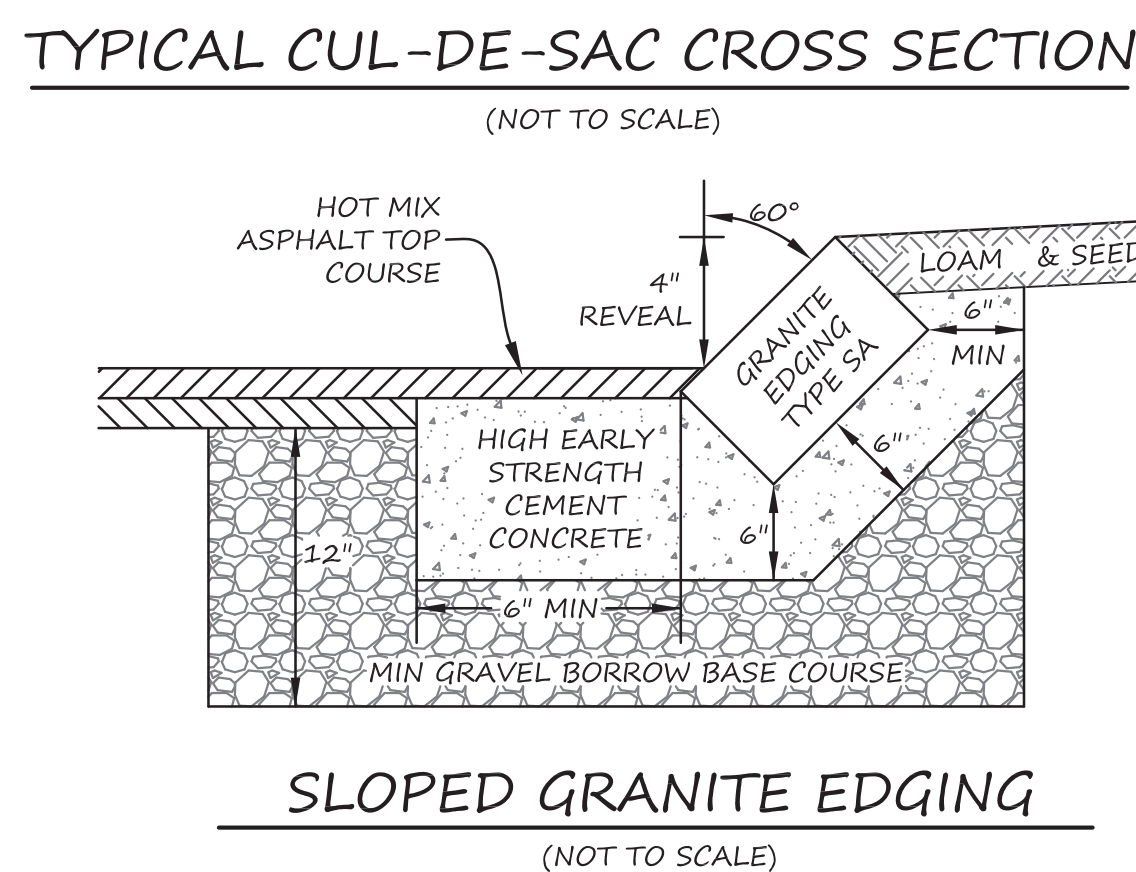
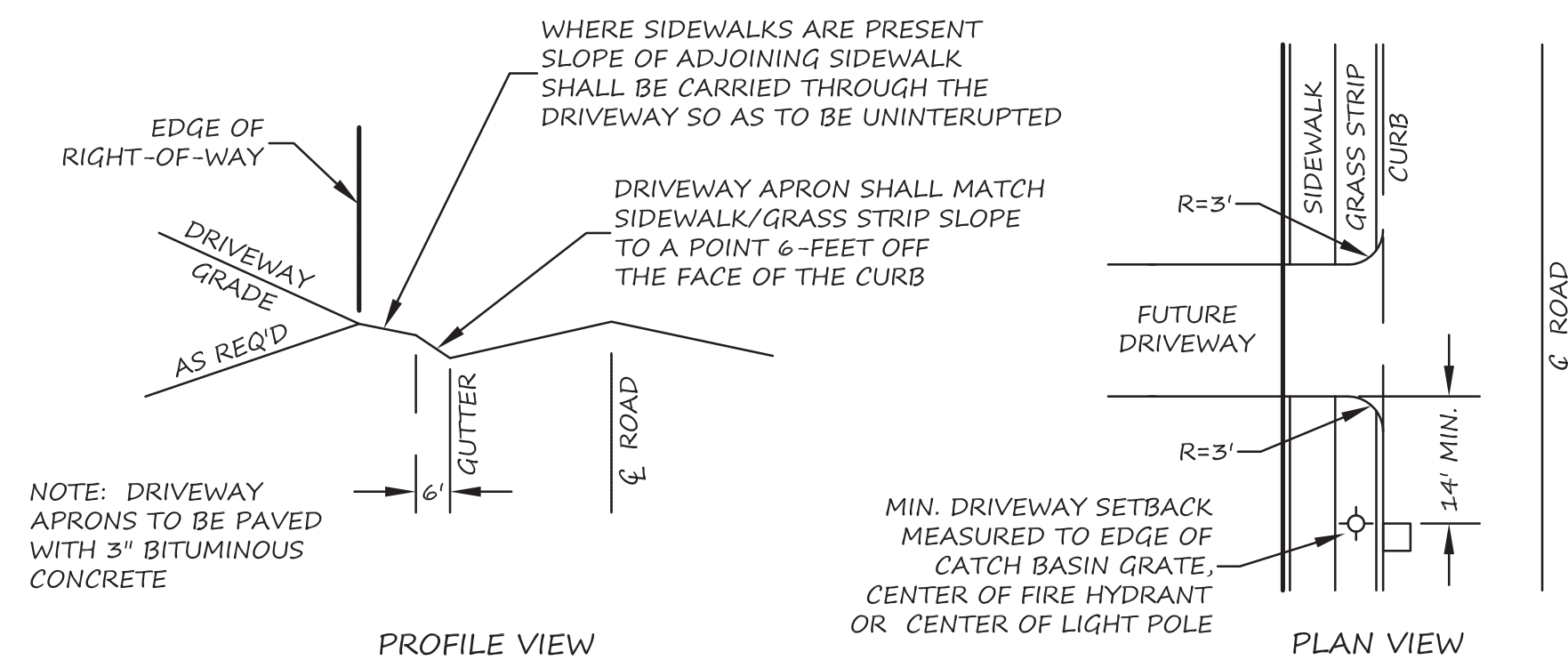
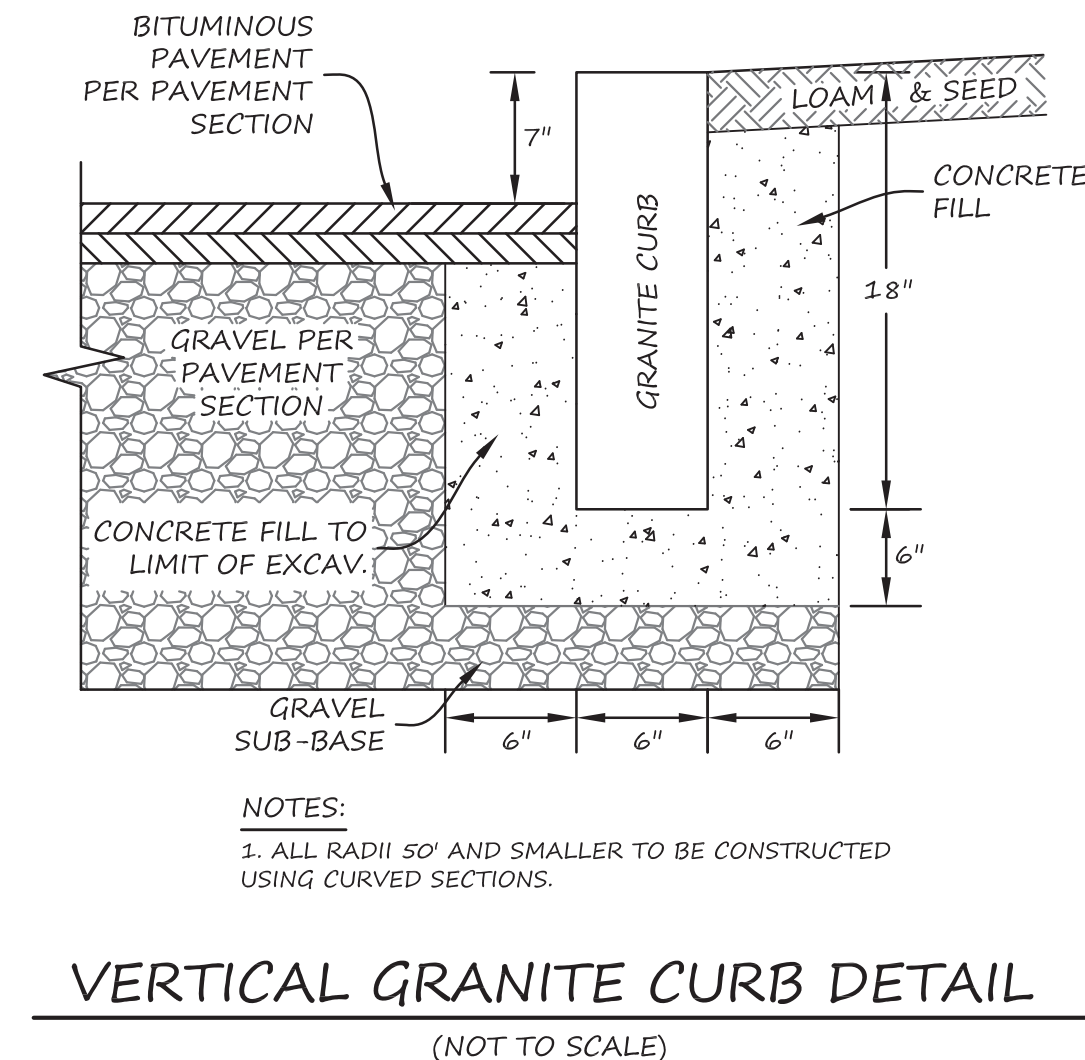
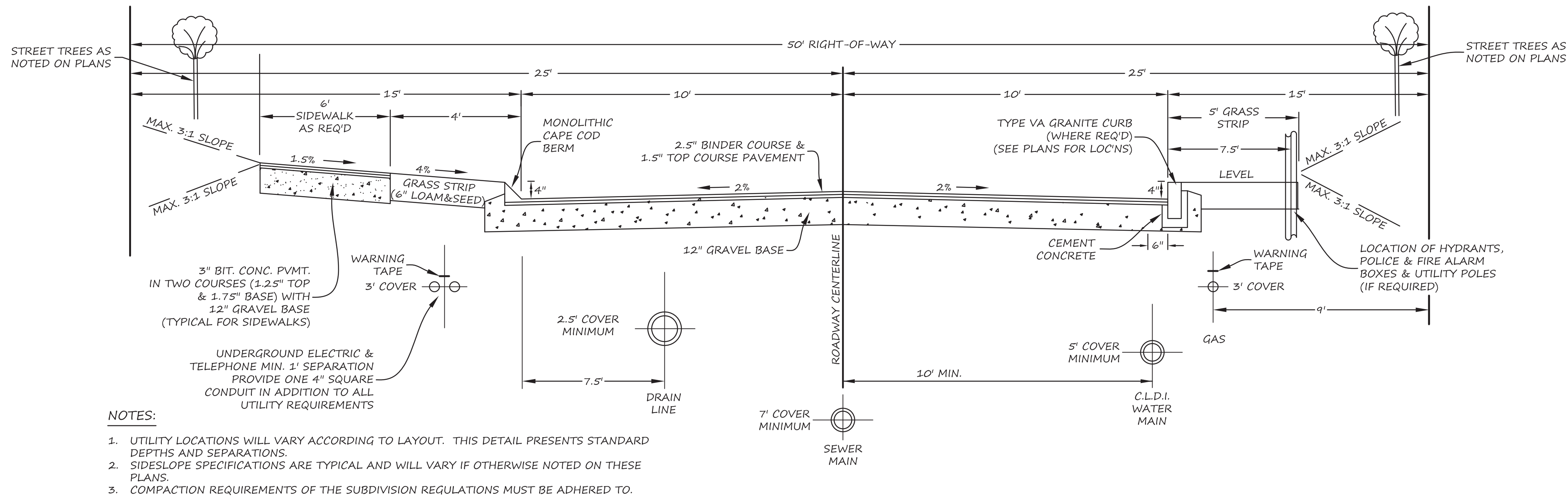
PLAN DATE: JUNE 9, 2017

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
STORMWATER BASIN
PLAN OF LAND IN
MEDWAY, MA



D104-01

SHEET 8 OF 12



ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

TOWN CLERK

DATE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED 8/24/2017 AND FILED WITH TOWN CLERK ON 8/24/2017 AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED 8/24/2017 TO BE RECORDED HEREWITH.

DATE APPROVED: _____

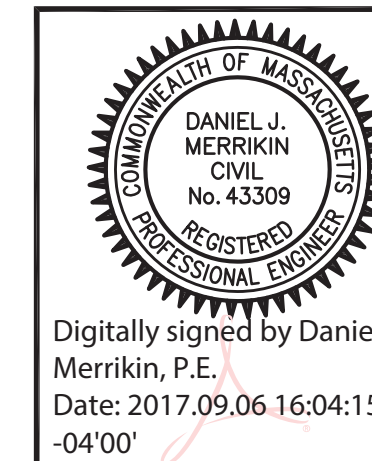
DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: N.T.S.

DATE	BY
8/8/2017	D.J.M.
8/24/2017	D.J.M.

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

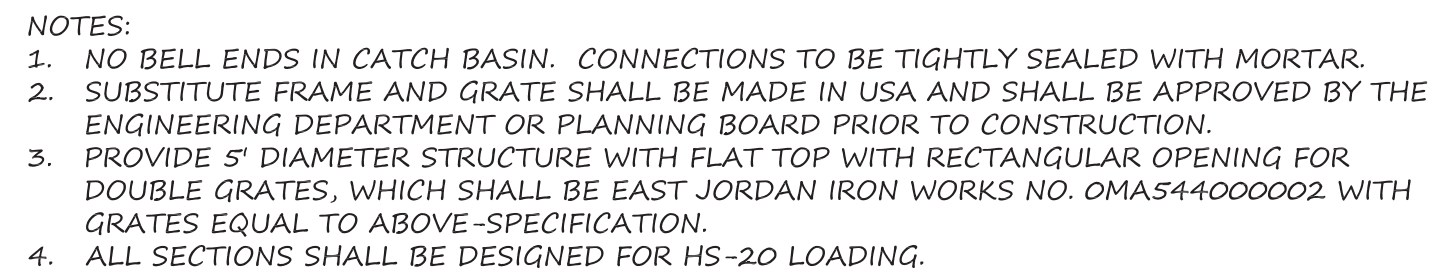


MERRIKIN ENGINEERING, LLP

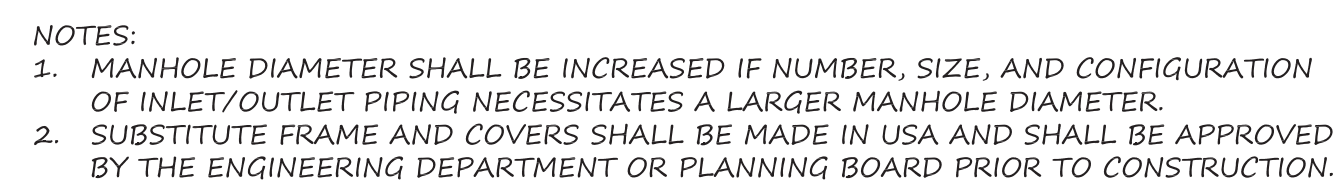
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 16:04:15 -04'00'

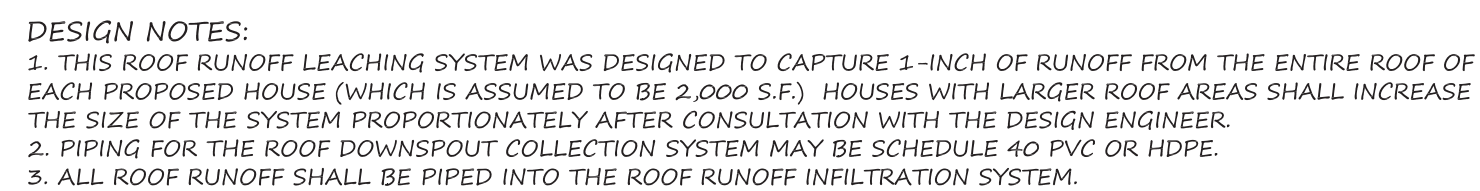
D104-01 SHEET 9 OF 12



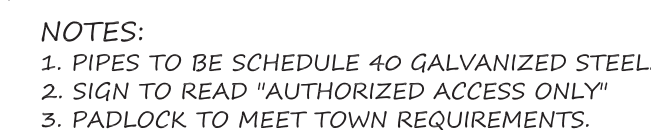
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

DATE _____

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CONFORMS TO THE ETHICAL, PROCEDURAL
AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.

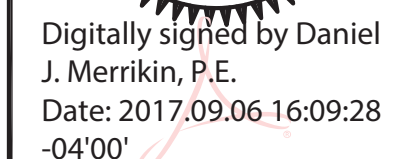
DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

PLAN SCALE: N.T.S.

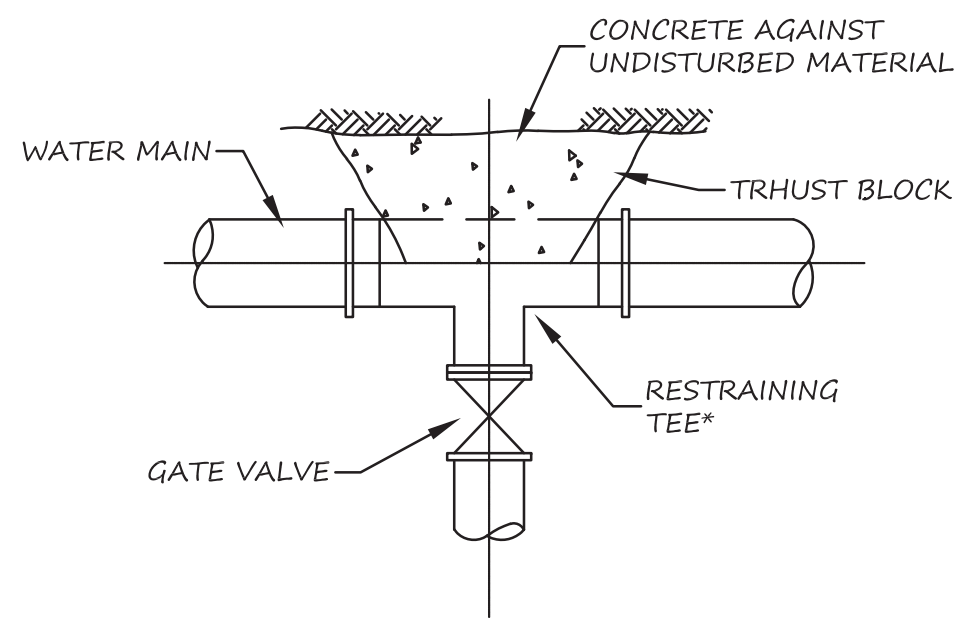
PLAN DATE: JUNE 9, 2017

PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA



D104-01

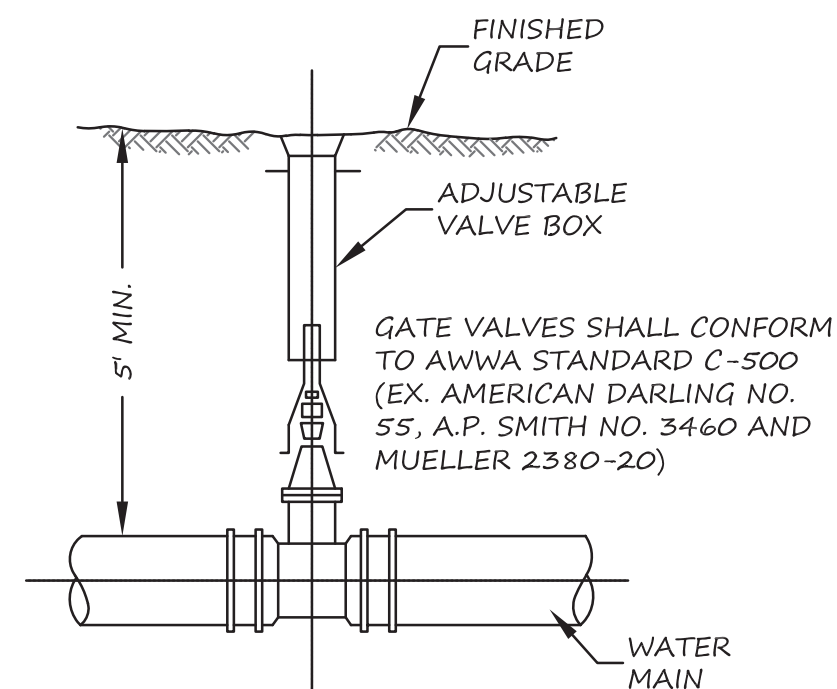
SHEET 10 OF 12



NOTE: MECHANICAL JOINT RESTRAINT SYSTEMS SUCH AS "MEGALUG" MAY BE USED SUBJECT TO APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS/ENGINEERING DEPT.

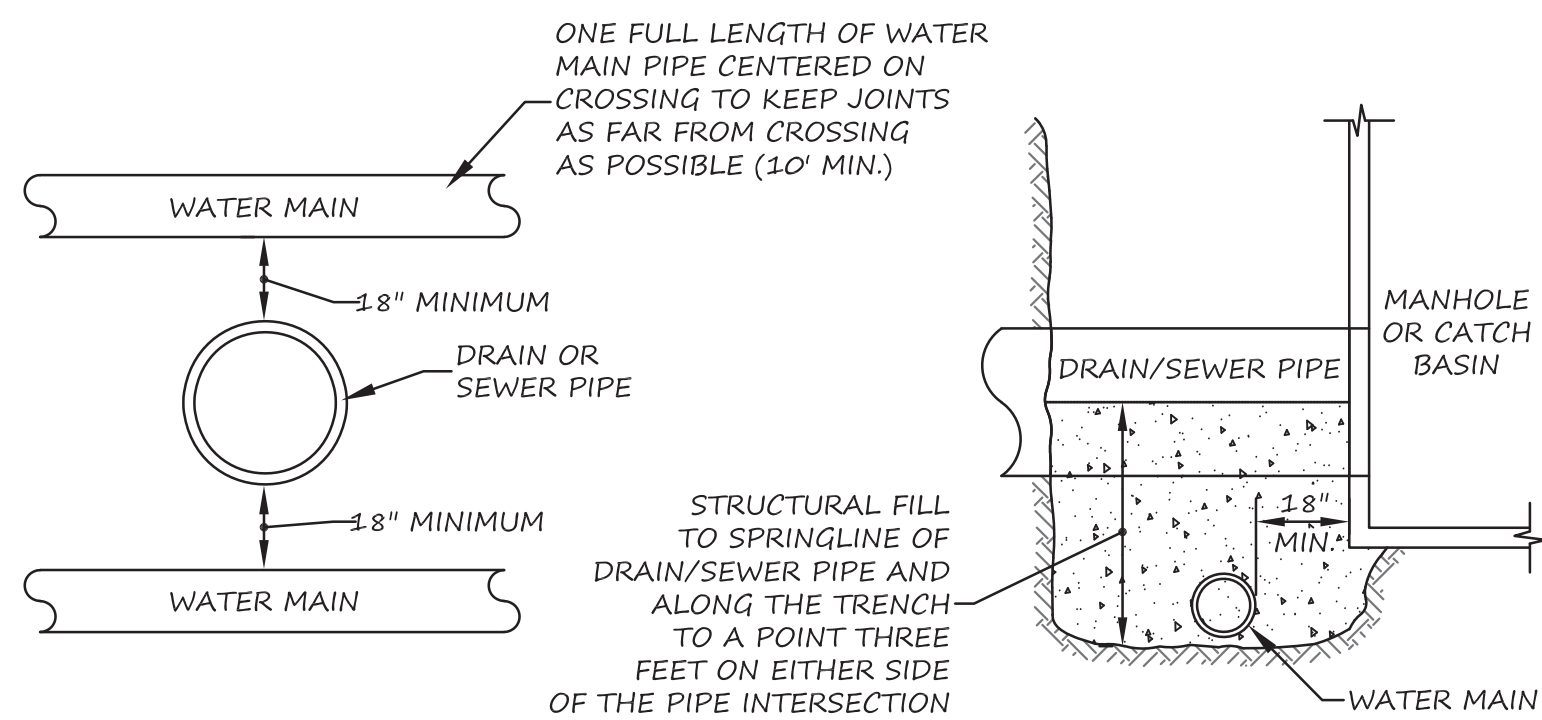
TYPICAL LATERAL GATE VALVE CONNECTION DETAILS

NOT TO SCALE



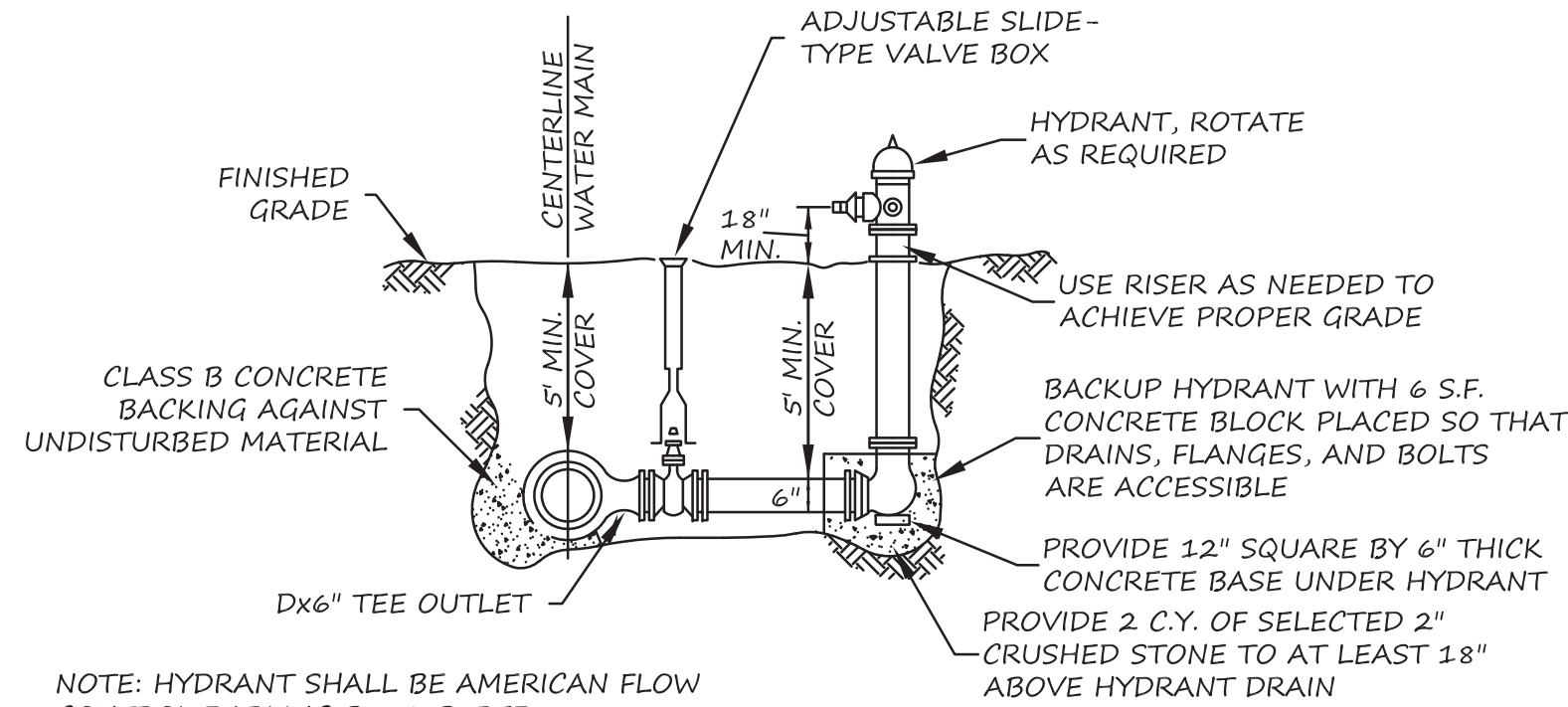
TYPICAL GATE VALVE

NOT TO SCALE



WATER MAIN CROSSING DETAIL

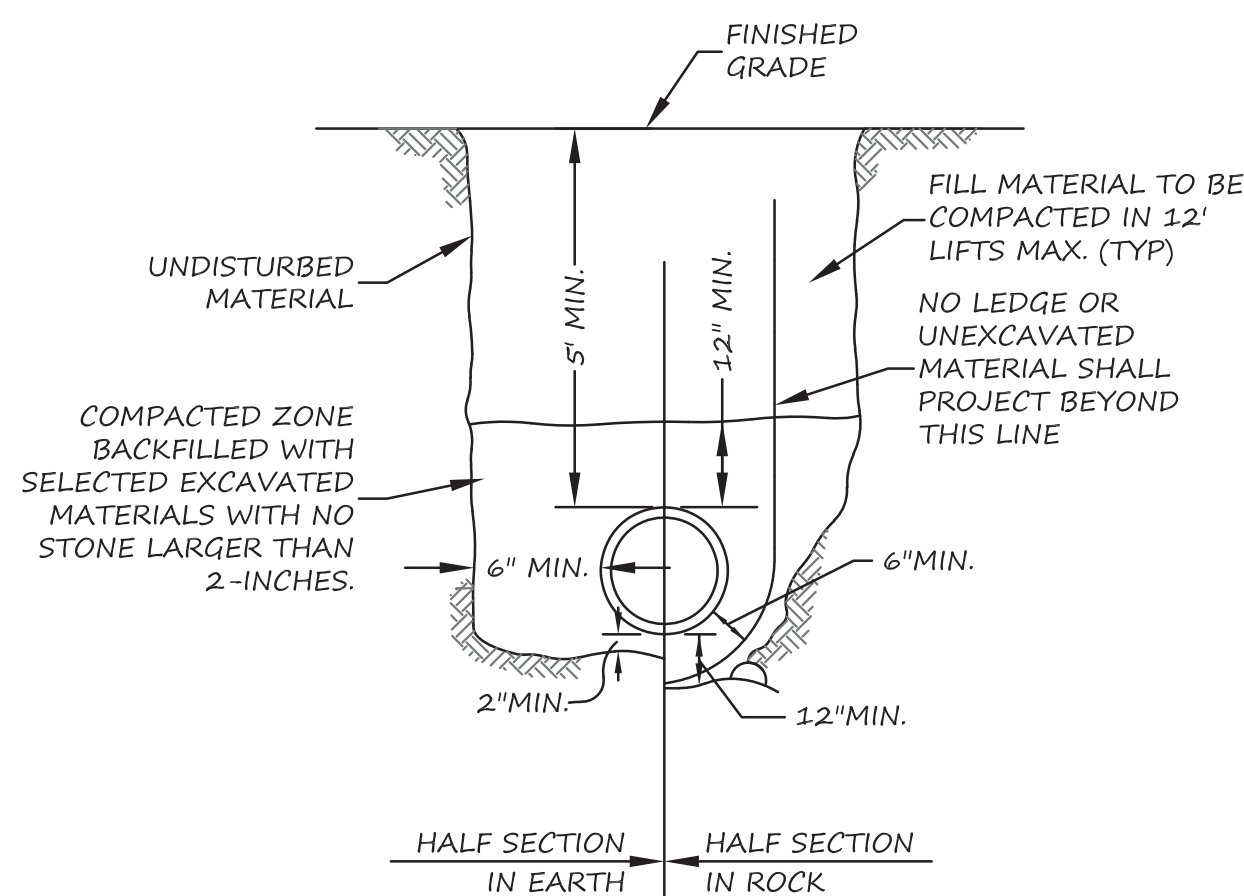
NOT TO SCALE



NOTE: HYDRANT SHALL BE AMERICAN FLOW CONTROL DARLING B-84-B, RED

TYPICAL HYDRANT ASSEMBLY DETAIL

NOT TO SCALE

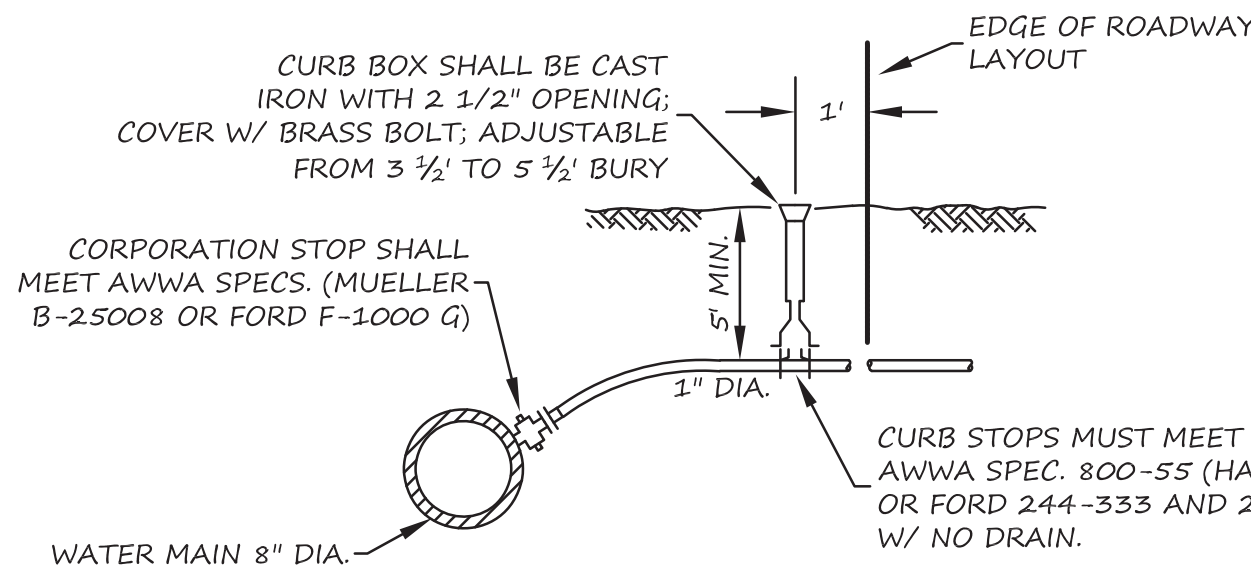


WATER MAIN TRENCH DETAIL

NOT TO SCALE

NOTES:

- FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTANT WITH AWWA GUIDELINES.
- FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MINIMUM OF 12" THICK UNDER PIPE.
- FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

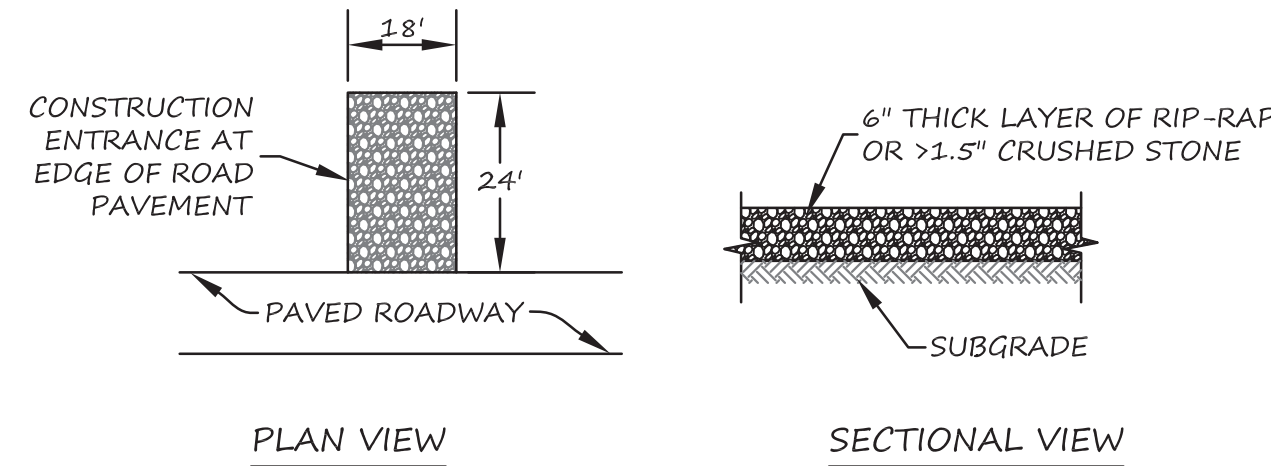


NOTES:

- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K AND BE THICKNESS CLASS 52.
- 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.
- POLYETHYLENE PLASTIC PIPE ALLOWED BETWEEN HOUSE AND CURB STOP.

TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE

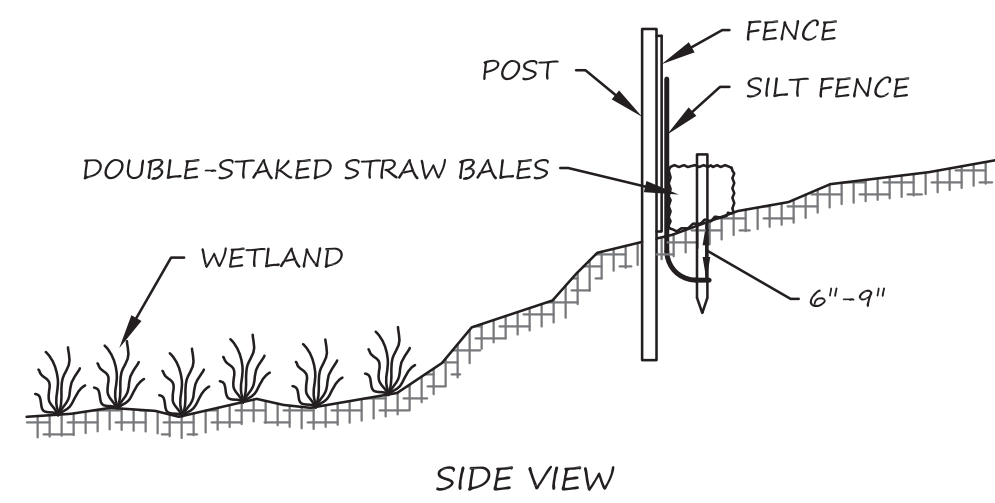
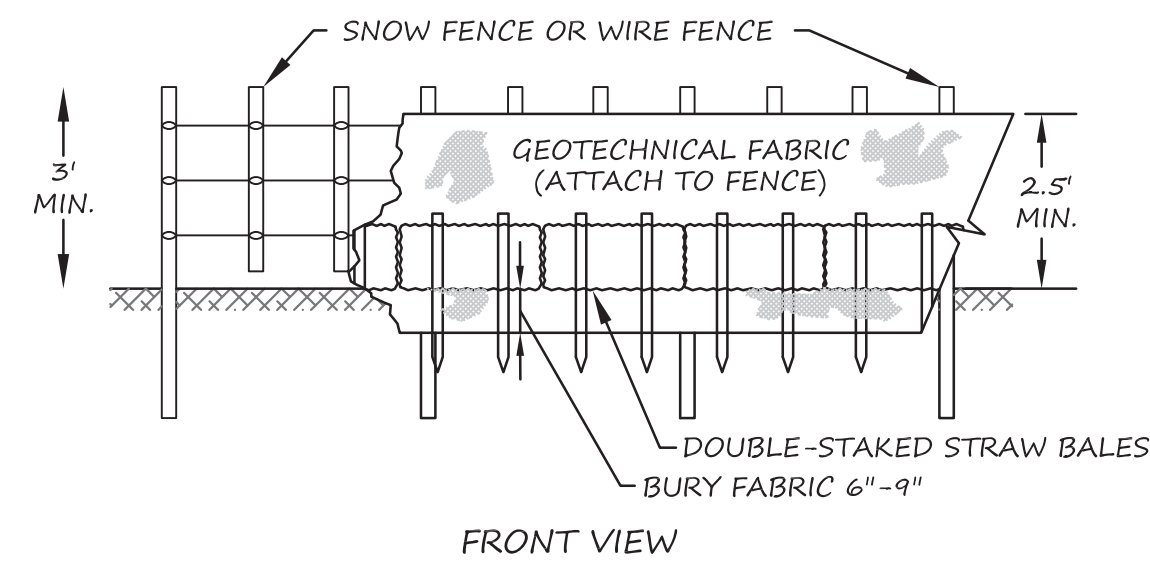


NOTES:

- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
- ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

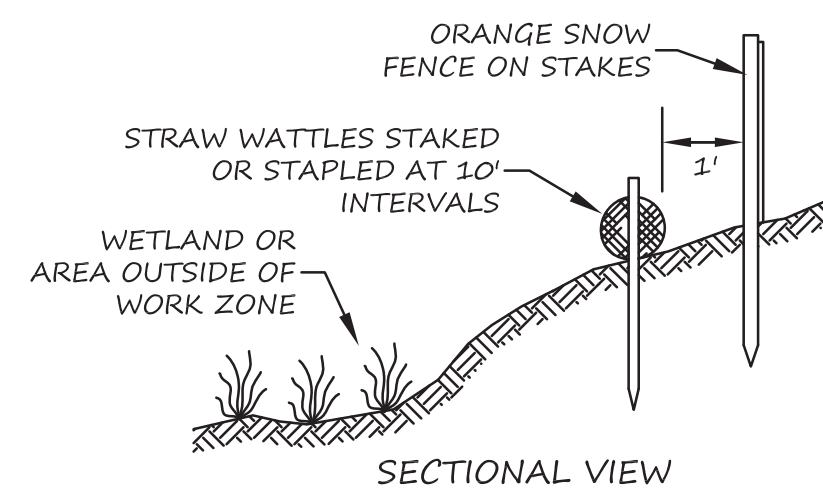
CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SILT FENCE & STRAW-BALES DETAIL

NOT TO SCALE



NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH FILTER MEDIA (BIODEGRADABLE OR OTHERWISE). JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL DETAIL (COMPOST SOCK)

NOT TO SCALE

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

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TOWN CLERK

DATE

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PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED AND FILED WITH TOWN CLERK ON AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED TO BE RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 16:14:53 -04'00'

MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

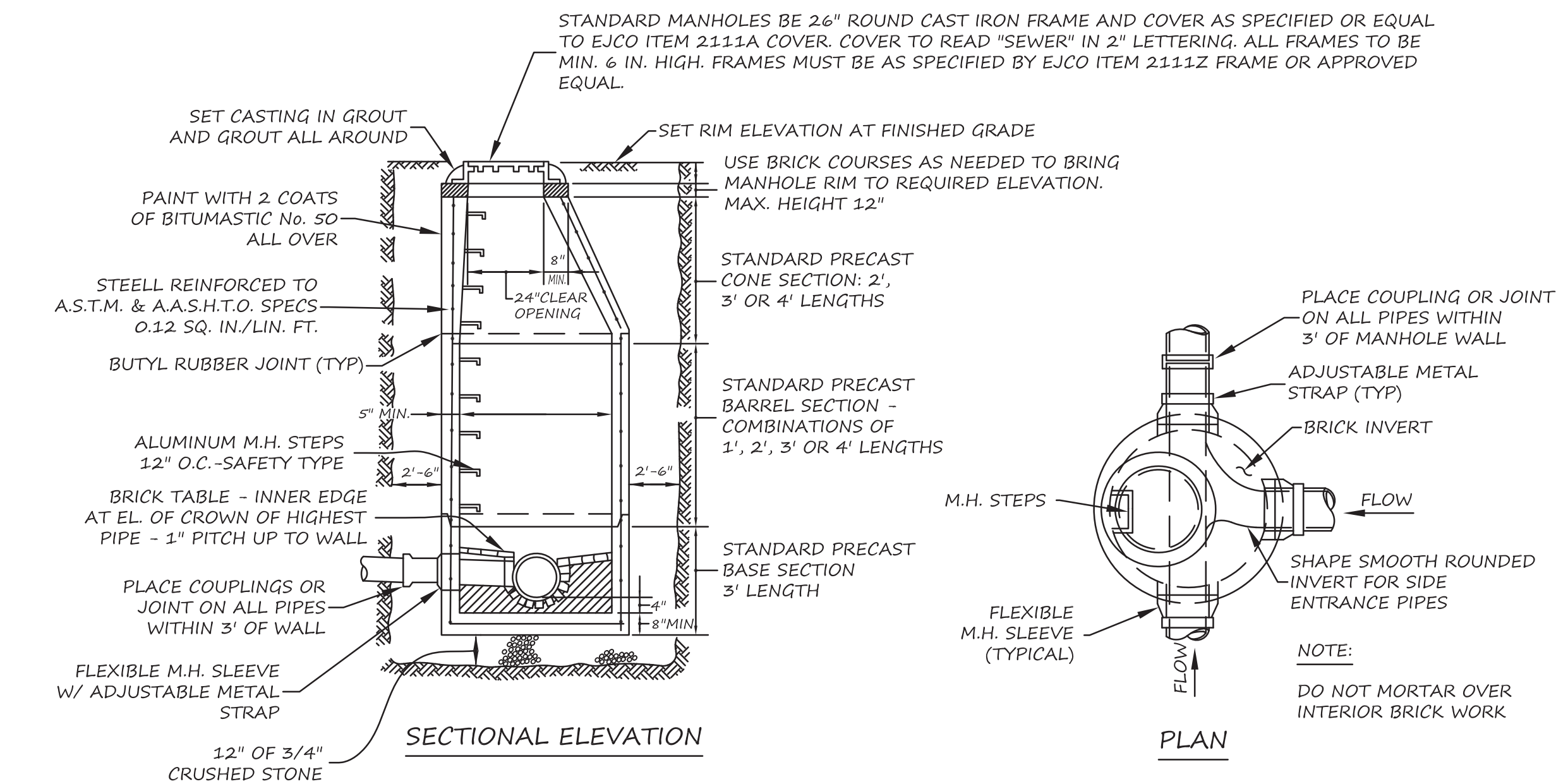
D104-01

SHEET 11 OF 12

PLAN SCALE: N.T.S.



PAUL REVERE ESTATES
DEFINITIVE SUBDIVISION
DETAILS
PLAN OF LAND IN
MEDWAY, MA

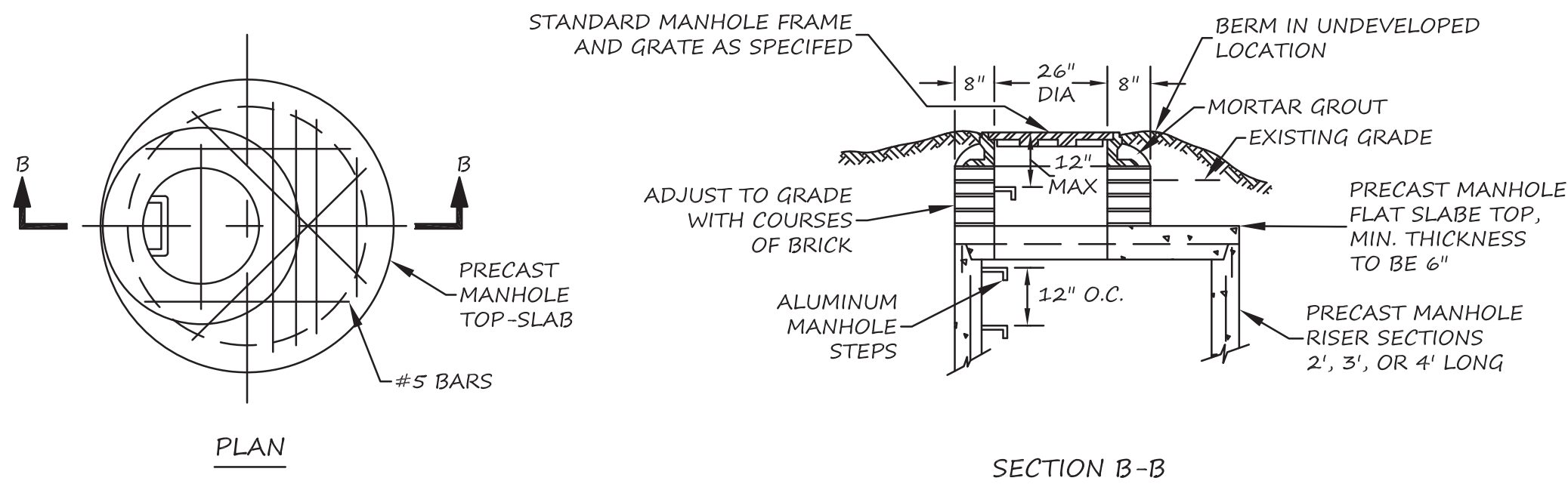


TYPICAL PRECAST CONCRETE MANHOLE DETAILS

NOT TO SCALE

NOTES:

1. TYPICAL SANITARY MANHOLE TO BE 4' IN DIAMETER.
2. 5'-0" DIA. FOR ALL MANHOLE DEPTHS GREATER THAN 12' OR WHEN ORDERED BY THE ENGINEER.
3. 6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS WITH 5'-0" DIA. MANHOLES.
4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
5. DESIGN LOAD - HS20.
6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
7. INVERTS SHALL NOT BE BUILT ABOVE GRADE. ALL INVERTS SHALL BE BUILT IN PLACE WITH ALL PIPES INSTALLED.

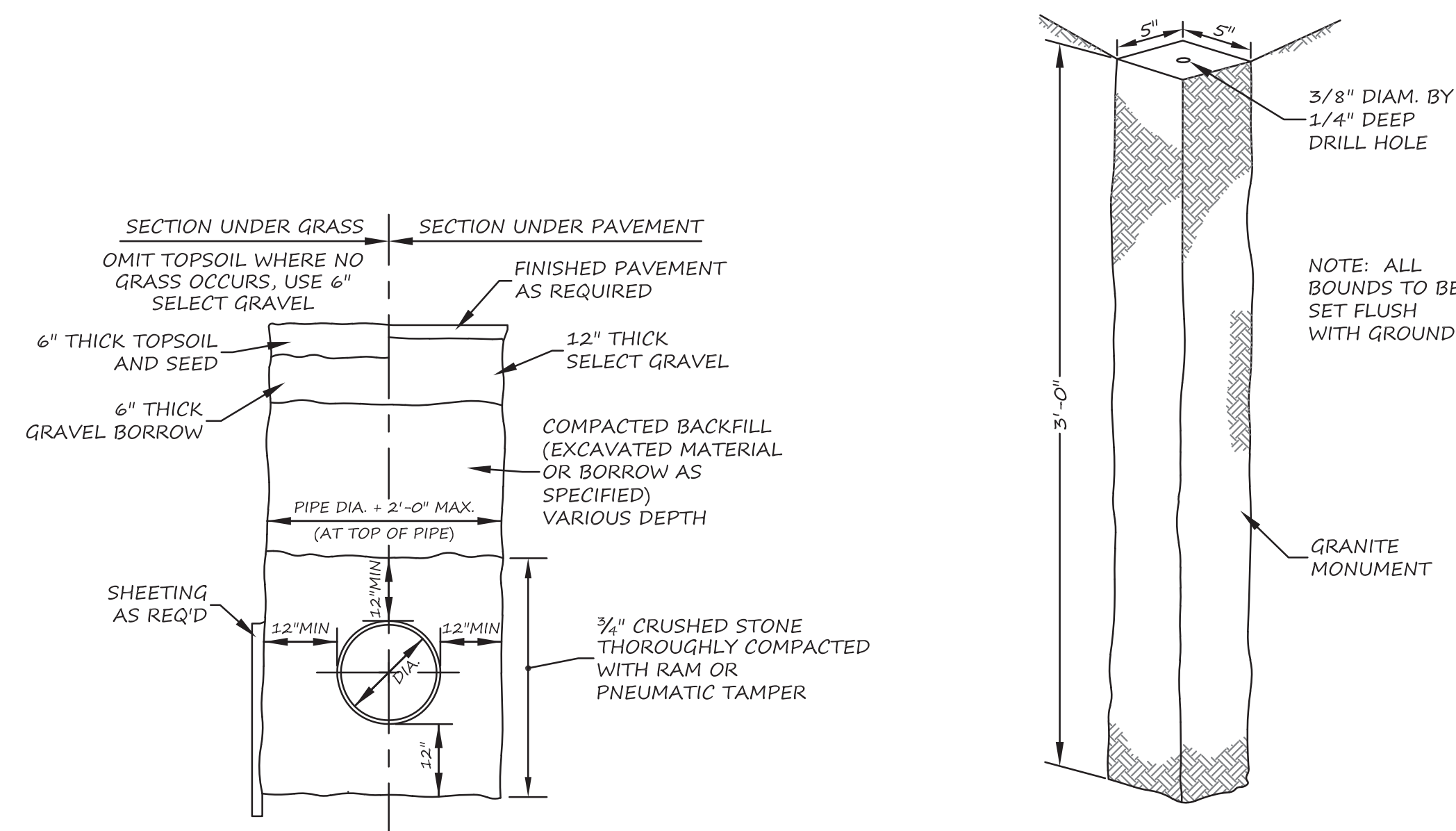


NOTE:

FOR ALL USE WHERE SHALLOW INSTALLATION DOES NOT PERMIT THE USE OF A CONE TYPE SECTION OR AS DIRECTED.

PRECAST MANHOLE FLAT TOP SECTION

NOT TO SCALE

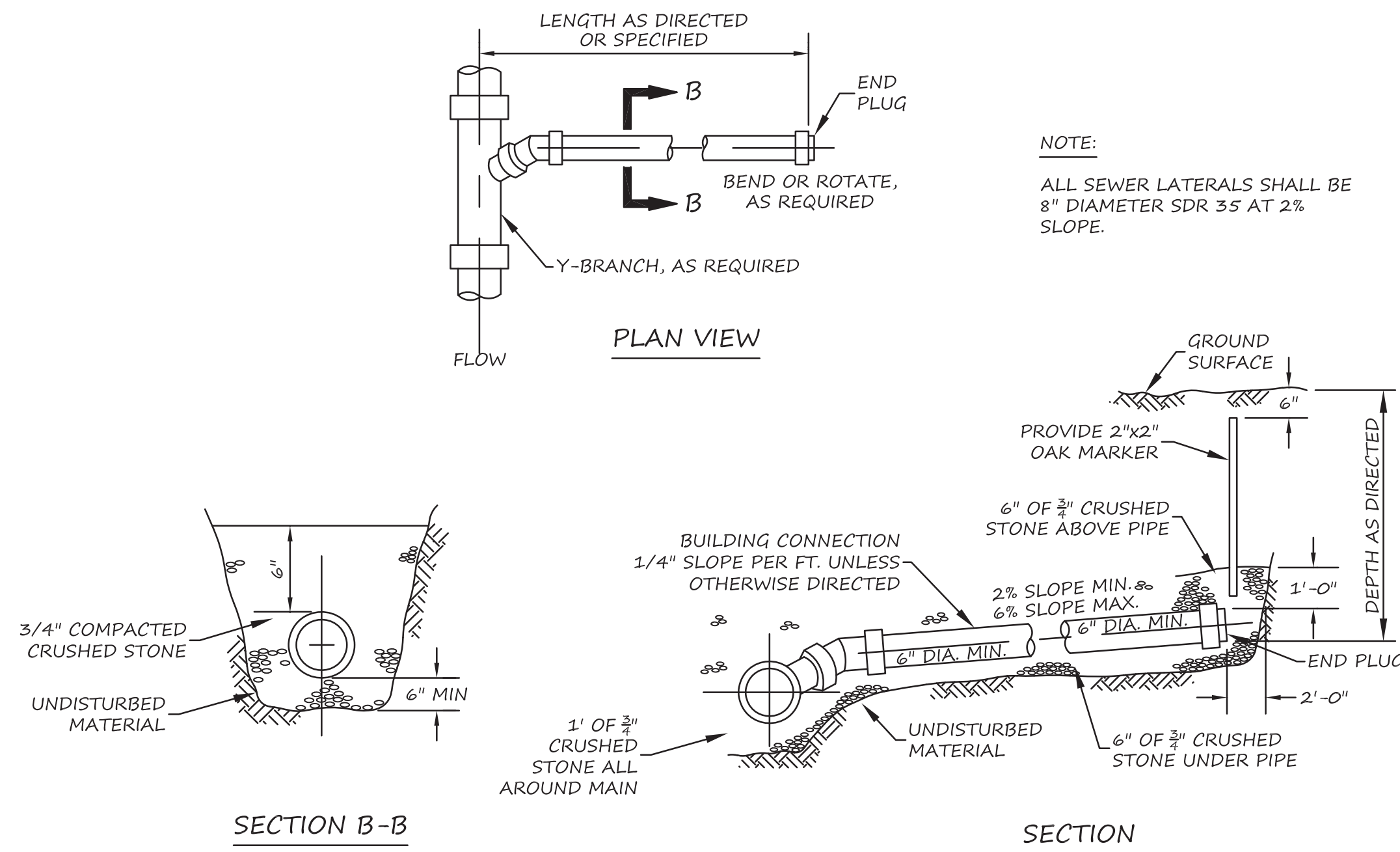


TYPICAL SEWER TRENCH

NOT TO SCALE

GRANITE MONUMENT DETAIL

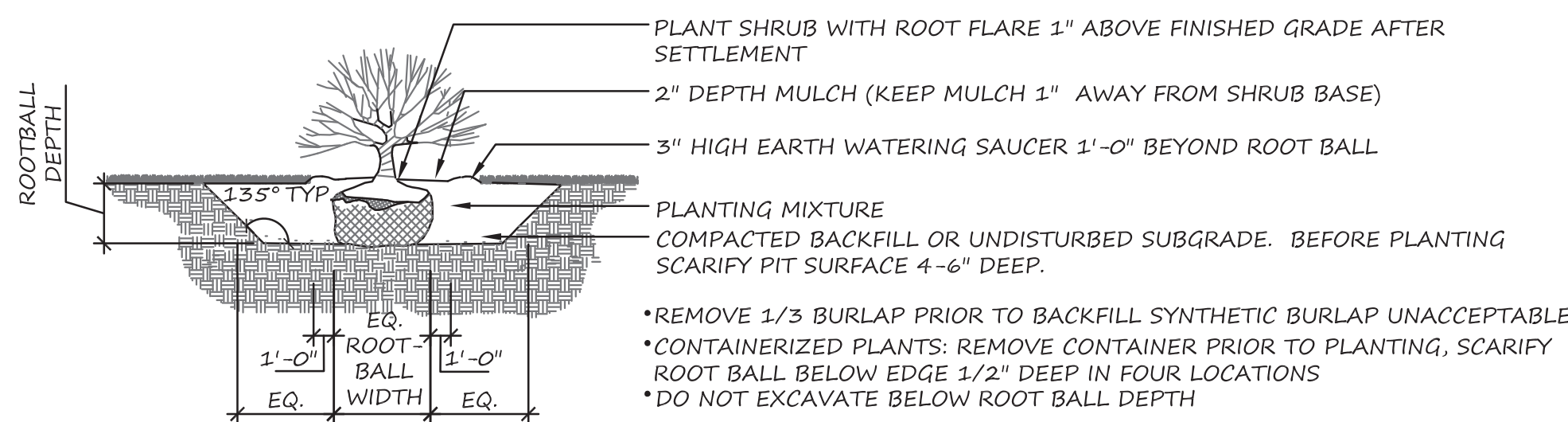
NOT TO SCALE



TYPICAL BUILDING SEWER SERVICE CONNECTION

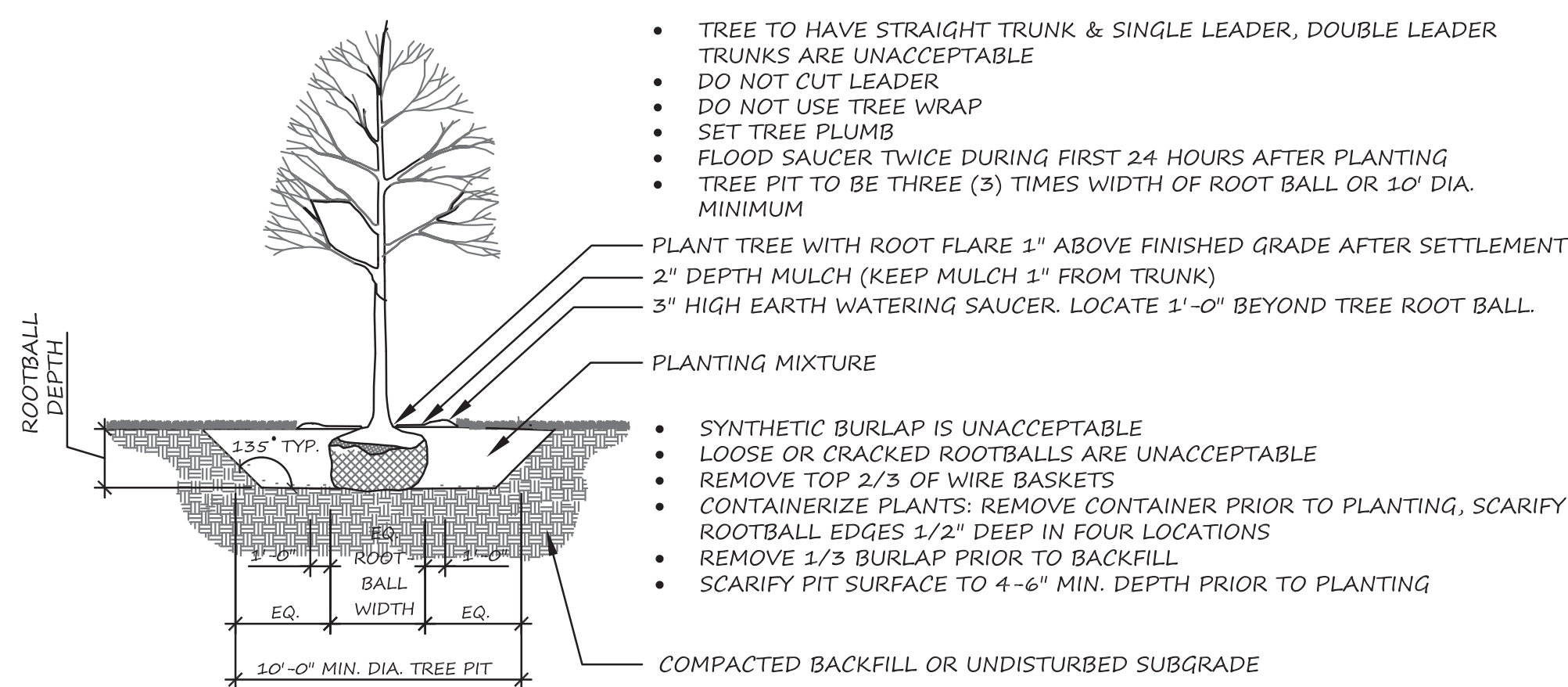
NOT TO SCALE

- LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE
- PLACE ROOT BALL ON UNDISTURBED SUBGRADE
- EXCAVATE TO REQUIRED DEPTH AND BACKFILL WITH PLANTING MIX
- RAISE AND REPLANT SHRUBS THAT SETTLE AFTER PLANTING & WATERING
- SET SHRUBS PLUMB
- FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.



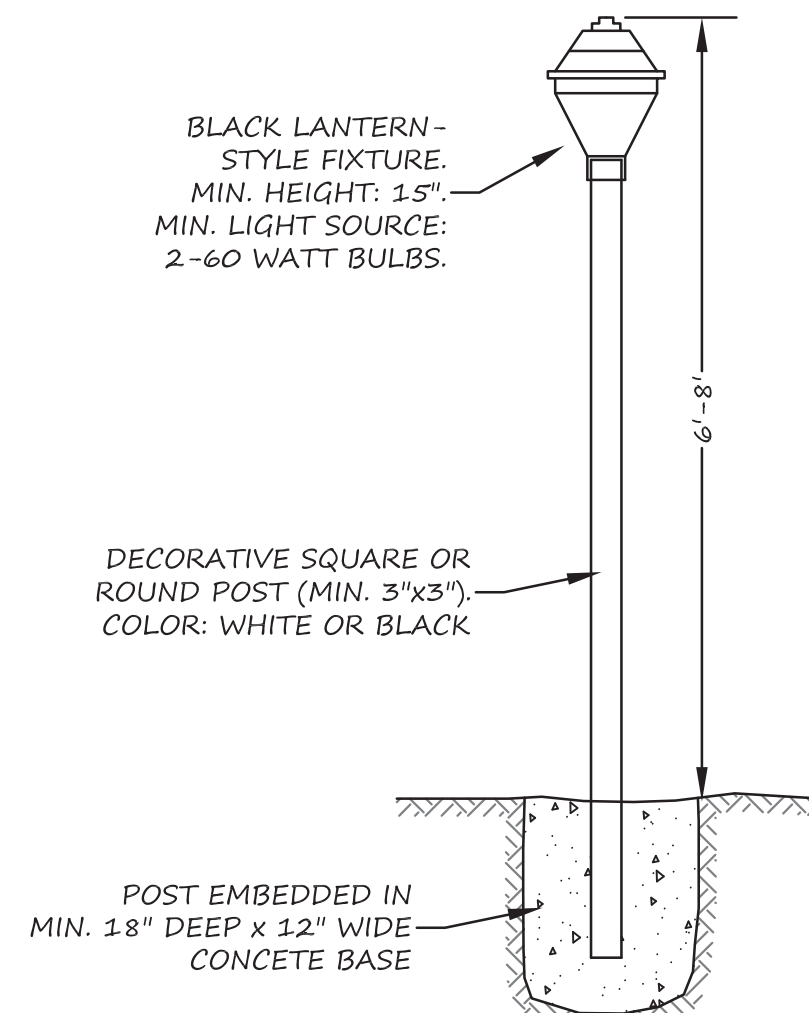
SHRUB PLANTING

NOT TO SCALE



DECIDUOUS TREE PLANTING

NOT TO SCALE



DRIVEWAY LIGHT POLE DETAIL

NOT TO SCALE

NOTE: EACH LOT TO MAINTAIN ONE LIGHT POLE WITHIN 10 FEET OF THE STREET LAYOUT ADJACENT TO ITS DRIVEWAY.

ZONING DISTRICT:
AGRICULTURAL RESIDENTIAL I

ASSESSORS PARCEL:
MAP 41, PARCEL 35-1

OWNER/APPLICANT:
NOTWEN REALTY TRUST
33 FRUIT STREET
NORFOLK, MA 02056

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TOWN CLERK

DATE

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PROFESSIONAL LAND SURVEYOR

CONDITIONALLY APPROVED IN ACCORDANCE WITH M.G.L. CHAPTER 41, SECTION 81U, BY DECISION DATED _____ AND FILED WITH TOWN CLERK ON _____, AND SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN A COVENANT DATED _____ TO BE RECORDED HERewith.

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2017.09.06 16:17:26 -04'00'

MERRIKIN ENGINEERING, LLP

730 MAIN STREET, SUITE 2C
MILLIS, MA 02054
ph. 508-376-8883 fax 508-376-8823

D104-01

SHEET 12 OF 12

PLAN SCALE: N.T.S.



Susan Affleck-Childs

From: David Damico
Sent: Friday, September 08, 2017 12:06 PM
To: Susan Affleck-Childs
Subject: FW: Paul Revere Estates

Susy,

See Dan's note below. I'm not opposed to a change from sloped granite to monolithic cape cod berm. However, since it is a cost saver, I would presume that we get something in return for these changes.

Thanks,

Dave
DPS Director
Check us out on-line at www.townofmedway.org

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Daniel Merrikin [mailto:dan@merrikinengineering.com]
Sent: Friday, September 08, 2017 8:13 AM
To: David Damico
Subject: Paul Revere Estates

Hi Dave,

Susy was wondering if you could send her a quick email confirming our discussion that you would not object to the Planning Board changing the curbing requirement for Paul Revere Estates from sloped granite edging to monolithic cape cod berm.

Thanks

Dan

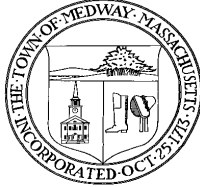
Yours Truly,

Daniel J. Merrikin, P.E.
Partner

Merrikin Engineering LLP

730 Main Street
Suite 2C
Millis, MA 02054

Office: 508-376-8883
Mobile: 508-868-8353



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village ST
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

DRAFT – September 8, 2017

CERTIFICATE OF ACTION
Paul Revere Estates
DEFINITIVE SUBDIVISION PLAN
(APPROVED with Waivers and Conditions)

Location: 33 Main Street
Assessors' Reference: Map 41 – Parcel 035-001
Parcel Size: 11.31 acres
Name/Address of Applicant: Notwen Realty Trust
33 Fruit Street
Norfolk, MA 02056
Name/Address of Property Owner: Notwen Realty Trust
33 Fruit Street
Norfolk, MA 02056
Engineer: Daniel J. Merrikin, P.E.
Merrikin Engineering, LLP
730 Main Street, Suite 2C
Millis, MA 02054
Land Surveyor: Colonial Engineering
11 Awl Street
Medway, MA 02053
Plan Dated: June 9, 2017, last revised August 29, 2017
Zoning District: Agricultural Residential I
Street Name: Revere Road

- I. PROJECT DESCRIPTION:** The *Paul Revere Estates Definitive Subdivision Plan* dated June 9, 2017, last revised August 29, 2017 shows the division of the 11.31 acre parcel of land located at 33 Main Street (*Medway Assessor's Map 41, Parcel 35-0001*), a recently divided portion of 39 Main Street (*Medway Assessor's Map 41, Parcel 35*), in the Agricultural Residential I zoning district.

The plan shows the division of land into five residential lots and one drainage parcel, the construction of an approximately 571' roadway (Revere Road) intended to be an accepted Medway street, and the installation of stormwater management facilities and municipal water and sewer service. A portion of this site is in a Wetlands Resource Area and the Groundwater Protection District. This proposal is for a "by right" use in this zoning district. The property will be accessed from Main Street.

II. PROCEDURAL SUMMARY:

1. On June 15, 2017, the Planning and Economic Development Board received an application for approval of the *Paul Revere Estates Definitive Subdivision Plan*, dated June 9, 2017 prepared by Merrikin Engineering, LLC of Millis, MA.
2. On June 29, 2017 the Board informed various Town boards and departments, including the Board of Health, of the public hearing on the proposed *Paul Revere Estates Definitive Subdivision Plan*, provided copies of the plans and requested review comments.
3. On July 11, 2017, the Board commenced a public hearing. The public hearing was duly noticed in the *Milford Daily News* on June 26 and July 3, 2017. Notice was posted with the Medway Town Clerk on June 19, 2017 and was sent by *Certified Sent* mail on June 20, 2017 to abutters in Medway within 300 feet of the subject property and to parties of interest. The public hearing was continued to August 22, September 12 and September __, 2017 when it was closed. During the course of the public hearing, the applicant submitted two revision to the Paul Revere Estates Definitive Subdivision Plan, one dated August 8, 2017 and the second one dated August 29, 2017.
4. All members voting on this Certificate of Action were present at all sessions of the public hearing or have provided a certification pursuant to General Laws c. 39 section 23D.

III. PUBLIC HEARING SUMMARY: The public hearing and the Board's review of the *Paul Review Estates Definitive Subdivision Plan* were conducted over the course of four Planning and Economic Development Board meetings during which substantive information was presented and evaluated. The plan and its submitted revisions were reviewed for compliance with the *Subdivision Rules and Regulations* dated April 26, 2005 which were in effect at the time the applicant submitted a preliminary subdivision plan to the Board in July 2011.

Specified below is a list of plan documents and support materials, public comments, consultant and town departmental board review documents, and supplemental information which have been provided by the Applicant or placed on the record by the Planning and Economic Development Board. All information is on file in the Medway Planning and Economic Development office and is available for public review (except for confidential communications from Town Counsel).

Paul Revere Estates Definitive Subdivision Plan Application Materials

Form C – Definitive Plan Application – received June 15, 2017
Form D – Designer’s Certificate (with deed) – dated June 9, 2017
Form E – Certified Abutters’ List - dated April 3, 2017
Form F – Development Impact Report – dated June 9, 2017

Paul Revere Estates Definitive Subdivision Plan – Merrikin Engineering, LLP.

June 9, 2017
Revised – August 8, 2017
Revised – August 29, 2017

Stormwater Report for Paul Revere Estates – Merrikin Engineering, LLP.

June 9, 2017

Requests for Waivers from Subdivision Rules and Regulations – Prepared by Merrikin Engineering,
June 15, 2017

Town Engineering Consultant Reviews – Steven Bouley, P.E. and Sean Reardon, P.E. Tetra Tech

July 6, 2017 letter
August 14, 2017 letter

Town Planning Consultant Review Letters – Gino Carlucci, AICP, PGC Associates

June 22, 2012 letter
August 23, 2012

Supplemental Information Provided by Applicant’s Consultants

Letter from Daniel Merrikin, Merrikin Engineering dated August 9, 2017 including a Revere Road Fire Access Sketch Plan dated (8-8-17) in response to plan review comments from Tetra Tech dated July 6, 2017 and PGC Associates dated July 5, 2017.

Letter from Daniel Merrikin, Merrikin Engineering, dated August 9, 2017, submitting the revised Paul Revere Estates Definitive Subdivision Plan dated August 8, 2017 and summarizing the plan changes.

Letter from Daniel Merrikin, Merrikin Engineering dated September 6, 2017 submitting the revised Paul Revere Estates Definitive Subdivision Plan dated August 29, 2017, a summary of plan changes, an additional request for waiver from the *Subdivision Rules and Regulations*, a revised Stormwater Operations and Maintenance Plan dated September 6, 2017 and a revised Stormwater Pollution Prevention Plan (SWPPP) dated September 6, 2017.

Supplemental Information Entered into the Record by the Medway Planning and Economic Development Board

Mullins Rule certifications from Matthew Hayes and Thomas Gas re: the hearing on July 21, 2017 PEDB

Citizen/Resident Letters/Communications

Email communication dated August 18, 2017 from Bruce Hamblin, 17 Crestview Avenue

Citizen/Resident Testimony

Matthew Rymanowski, 29 Main Street

Professional Testimony

Gino Carlucci, AICP, PGC Associates, Inc. – Franklin, MA

Sean Reardon, P.E., Tetra Tech – Marlborough, MA

Steven Bouley, P.E., Tetra Tech – Marlborough, MA

Daniel Merrikin, P.E. Merrikin Engineering – Millis, MA

Medway Departmental/Board Review Comments

Email communication dated July 17, 2017 from Jeff Lynch, Medway Fire Chief

Email communication dated July 28, 2017 from Barry Smith, Deputy Director, Medway Department of Public Services

Memorandum dated August 14, 2017 from Sergeant Jeffrey Watson, Medway Police

IV. ACTION ON REQUEST FOR WAIVERS OF SUBDIVISION RULES & REGULATIONS –

The Applicant has requested and the Board has identified needed waivers from the following sections of the *Subdivision Rules and Regulations*, dated April 26, 2005.

SECTION 5.7.6 CONTENTS OF SUBDIVISION PLAN – *The existing conditions sheet shall include locations of single free-standing trees with a diameter of one foot (1') or greater at twenty-four inches (24") above grade.*

FINDINGS – The applicant has asked that this requirement be waived due the cost of conducting a tree survey on the entire 11 acre site. Instead, the applicant has proposed to locate and map all hardwood trees larger than 24" that are growing within the proposed construction area. Those trees not interfering with the proposed roadway layout and stormwater basin location and which are away from the reasonably expected house locations have been tagged in the field and mapped on the plan. The applicant has agreed to preserve those trees - See Condition # ____.

SECTION 7.7.2 STORMWATER MANAGEMENT – *(p) Detention and retention basins and underground infiltration systems and any related drainage structures shall be located on separate parcels and shall not be included on individual house/building lots. Stormwater basins are to be no closer than thirty feet from lot/parcel lines and any right-of-way.*

FINDINGS – The applicant has proposed to have the northern edge of the stormwater basin on Parcel D set back 20 feet from the property line with Lot 5. To meet the State and Town stormwater design standards and due to the location of adjacent wetlands to the east, the location and size of the stormwater basin results in it needing to have a lesser setback from the property line than the 30 feet specified in the *Subdivision Rules and Regulations*. The 20 foot setback is a reasonable alternative given the site characteristics.

SECTION 7.10.2 CURBS and BERMS – Curbing shall be sloped granite edging (Type S-A) for the full length of Neighborhood Streets.

FINDINGS – The applicant has proposed to NOT install sloped granite edging along the length of Revere Road and to use monolithic Cape Cod berm instead. This type of curbing is

more resilient to snowplow damage and is easier to maintain and replace. The Department of Public Services is in agreement that this type of curbing is suitable as it will be maintaining Revere Road once it is conveyed to the Town.

MITIGATION PLAN

ACTION ON WAIVERS – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on September 12, 2017, a motion was made by _____ and seconded by _____ to _____ the above noted waiver requests from the *Subdivision Rules and Regulations*. The motion was approved by a vote of ____ in favor () and ____ opposed ().

V. PROJECT EVALUATION CRITERIA – Before taking action on a definitive subdivision plan, the Board shall evaluate the proposed subdivision according to the criteria as specified in Section 5.16 of the *Subdivision Rules and Regulations*. At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on September 12, 2017, a motion was made by _____ and seconded by _____ to approve the Project Evaluation Findings noted below. The motion was _____ by a vote of ____ in favor () and ____ opposed.

5.16.1 Completeness and technical accuracy of all submissions.

FINDINGS – All submissions were reviewed by Town staff and/or the Town's Consulting Engineer and Consulting Planner and no significant missing or technical inaccuracies were identified.

5.16.2 Determination that the street pattern is safe and convenient and that proper provision is made for street extension. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed ways within the subdivision.

FINDINGS – The Board finds that the proposed street pattern within the new subdivision is safe and convenient. The layout has been reviewed by the Town's Fire Chief, Public Safety Office and Consulting Engineer. Comments from them have been incorporated into the design. Future roadway extension to adjacent property is not feasible so provisions to do so are not required.

5.16.3 Determination that development at this location does not entail unwarranted hazard to the safety, health and convenience of future residents of the development or of others because of possible natural disaster, traffic hazard or other environmental degradation.

FINDINGS – The Board finds that the location of the development does not entail unwarranted hazard. A drainage plan has been designed to handle anticipated stormwater runoff and the sight distances from the proposed roadway's intersection with Main Street are adequate. Erosion controls will be in place during construction. The residents will be served by Town water and sewer.

5.16.4 Determination, based on the environmental impact analysis, where submitted, that the subdivision as designed will not cause substantial and irreversible damage to the environment, which damage could be avoided or ameliorated through an alternative development plan.

FINDINGS – The site of the subdivision is not within a Priority Habitat area and the wetlands of the site will be protected through action of the Medway Conservation Commission. Stormwater management has been reviewed by the Town’s consulting engineer and is adequately addressed. A portion of the site is within a groundwater protection district but no construction is proposed within that portion and stormwater released in the direction of the groundwater protection district is treated prior to such discharge. There will be an increase of only five single-family houses to be constructed. Significant trees on site that are not within the house footprints or infrastructure elements will be protected and retained. The Board finds that the subdivision will not cause substantial and irreversible damage to the environment.

5.16.5 Determination that the roads and ways leading to and from the subdivision shall be adequate to provide emergency medical, fire and police protection as well as safe travel for the projected volume of traffic. The Board may disapprove a plan where it determines that dangerous traffic or unsafe conditions may result from the inadequacy of the proposed access or of any ways adjacent to or providing access to the subdivision.

FINDINGS – The Board finds that the proposed roadway is adequate to provide emergency medical, fire and police protection as well as safe travel for the anticipated volume of traffic generated by five residences. The plans have been reviewed by the Fire Chief, Public Safety Officer and Consulting Engineer. Comments from them have been incorporated into the design. The roadway shown on the plan will be built according to the Board’s construction specifications for Neighborhood Streets. The 20-foot roadway width meets national Fire Code standards while also reducing impervious surfaces and stormwater impacts.

5.16.6 Conformity with all applicable requirements of the Medway Zoning Bylaw including but not limited to minimum area and frontage standards.

FINDINGS – The Board finds that the lots created by this plan conform to all applicable requirements of the Medway Zoning Bylaw, including minimum area and frontage requirements for the Agricultural Residential I zoning district.

5.16.7 Consistency with the purposes of the Subdivision Control Law.

FINDINGS – The Board finds that the proposed subdivision is consistent with the purposes of the Subdivision Control Law because the infrastructure proposed is adequate for the new development and the impacts of the subdivision have been mitigated to a reasonable extent. Reasonable waivers have been granted herein with good cause.

VI. DECISION – At a duly called and properly posted meeting of the Medway Planning and Economic Development Board held on _____ 2017, a motion was made by _____ and seconded by _____ to _____ the **Paul Revere Estates Definitive Subdivision Plan**, prepared by Merrikin Engineering, LLP, dated June 9, 2017, last revised

August 29, 2017 subject to the Specific and General Conditions as specified herein and with Waivers from the following sections of the *Subdivision Rules and Regulations* dated April 25, 2005.

List approved waivers here

The motion was _____ by a vote of _____ in favor () and ____ opposed ().

VII. CONDITIONS – The following specific and general conditions shall apply to the Applicant, its executors, administrators, devisees, heirs, successors and assigns:

A. Specific Conditions

1. The Paul Revere Estates subdivision is authorized for no more than five residential house lots. As a permanent condition of the approval of this plan, no further subdivision of the property beyond these five lots is allowed.
2. *Completion Schedule* - The Applicant or its Assignee shall construct the roadway and all related infrastructure including the stormwater management system, and install all utilities as shown on the endorsed Paul Revere Estates Definitive Subdivision Plan, to the satisfaction of the Planning and Economic Development Board, within three (3) years of the date of endorsement of the plan.
3. *Plan Revisions* - Prior to plan endorsement, the plans dated August 29, 2017 shall be further revised to include the following:
 - A note shall be added to all plan sheets indicating that the plan is subject to this Certificate of Action which shall be recorded with the Plan at the Norfolk County Registry of Deeds.
 - The cover sheet shall be revised to indicate APPROVED WAIVERS instead of WAIVER REQUESTS.
 - The property addresses, to be provided by the Medway Assessor's office, shall be added to the plan.

The Applicant shall provide such revised plan to the Planning and Economic Development Board and the Town's Consulting Engineer for review and approval prior to plan endorsement. All conditions of this Certificate of Action requiring changes to the definitive subdivision plan must be addressed to the satisfaction of the Town's Consulting Engineer and the Planning and Economic Development Board before the Board will endorse the definitive subdivision plan.

5. *Selective Cut Zones* – The plan shows a “selective cut zone” around the non-street perimeter of each house lot for 15 feet. During construction, the area included in the selective cut zones shall not be disturbed. Future property owners shall maintain the selective cut zone as a landscaped and wooded buffer without intrusion, however, pruning necessary for removal of dead/diseased plant materials and additional landscape planting is permitted.
6. *Tree Preservation* – Sheet ____ of the plan shows ____ trees to be preserved/retained.
 - a. The applicant shall make the fullest possible effort to preserve/retain these trees and prevent their removal, demise or damage during construction.

- b. If any of the above noted trees are removed or damaged during construction, the applicant shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one (1) square inch per two (2) square inch replacement basis within (1) year after the tree removal or damage has occurred. The one (1) square inch per two (2) square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x pi rounded to 3.14). The resulting figure is halved and that square inch total is the amount of required square inches of the replacement tree(s). A 3” caliper tree equals seven (7) sq. ft. The location of the replacement trees shall be recommended by the applicant and approved by the Planning and Economic Development Board and Tree Warden. The restoration shall be verified by the Tree Warden as being fully and skillfully performed. The species of replacement tree(s) shall be reviewed and approved by the Tree Warden, or otherwise will be consistent with the species of the removed tree(s).
7. *Lot Deeds* – Prior to endorsement, the Applicant shall provide the Planning and Economic Development Board with copies of the proposed deeds to convey or transfer each subdivision lot for review, comment, amendment and approval by Town Counsel. Each deed shall specifically refer to any and all easements shown on the plan for that particular lot. The deed text shall include descriptive language specifying all easements, boundary delineations, specific usages and purpose. The deed shall refer to the definitive subdivision plan and the selective cut zone. Each deed shall state that the Applicant shall reserve to itself ownership of the fee in the Revere Road and easements shown on the subdivision plan for future conveyance to the Town for Medway. The deed for Lot #3 shall specify that the owner shall be responsible for the upkeep and maintenance of the landscaped island in the Revere Road cul-de-sac in perpetuity.
8. *Road Deed, Drainage Parcel Deed & Easements* – Prior to endorsement, the Applicant shall provide the Planning and Economic Development Board with a copy of the proposed deed to convey Revere Road, Parcel D (drainage parcel) and all drainage and utility easements shown on the plan to the Town of Medway for review, comment, amendment and approval by Town Counsel and approval of Town Meeting.
9. *Maintenance Responsibility During Construction* – The Applicant shall provide for snow plowing, sanding and full maintenance of Revere Road and all related stormwater management infrastructure throughout the entire construction process until the roadway is determined to be complete by the Board and is subsequently conveyed to the Town of Medway.

B. General Conditions

1. *Expiration of Appeal Period* – Prior to endorsement of the definitive subdivision plan, the Planning and Economic Development Board must receive the statutory notification of the expiration of the twenty day appeal period from the Town Clerk’s office.
2. *Payment of Balance of Fees/Taxes* – Prior to plan endorsement, the Applicant shall pay the balance of any outstanding plan review services by any outside consultants retained by the Planning and Economic Development Board and any other outstanding expenses, obligations, fees or taxes due the Town of Medway. Proof is required from the Medway Town Treasurer/ Collector that all real estate taxes are current for all property owned in Medway by the applicant.
3. *Subdivision Covenant* – Prior to endorsement, the Applicant shall sign a *Subdivision Covenant*, on a form acceptable to the Planning and Economic Development Board, to be reviewed and approved by Town Counsel, to secure construction of the ways and all related infrastructure and installation

of utilities and services as specified in the approved subdivision plan. Reference to the *Subdivision Covenant* shall be noted on the cover sheet of the Definitive Subdivision Plan. The *Covenant* shall specify that the roadway and all relevant infrastructure including the stormwater management system shall be constructed and all utilities and services shall be installed to the satisfaction of the Planning and Economic Development Board within three years of the date of plan endorsement. The Subdivision Covenant shall apply to Lots 1 – 5 as shown on the plan.

4. *Subdivision Surety* – At such time as the Applicant wishes to secure a building permit for any lot within the subdivision, the security provided by the *Subdivision Covenant* shall be replaced by a subdivision surety in compliance with General Laws chapter 41 §81U and the Board's Regulations. Prior to the Planning and Economic Development Board's approval of the *Release of Covenant* for any house lot, the Applicant shall provide suitable performance security to the Town of Medway in an amount equal to 100% of the amount that would be required for the Town of Medway to complete construction improvements and infrastructure maintenance if the Applicant failed to do so. The surety amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer. The applicant shall also enter into a surety agreement with the Planning and Economic Development Board as provided in the Regulations. Any company providing the surety shall be acceptable to the Medway Treasurer/Collector.
5. *Order of Conditions* – Prior to plan endorsement, the Applicant shall provide the Planning and Economic Development Board with a copy of any and all "*Order of Conditions*" as issued by the appropriate agency, and recorded by the Applicant, pursuant to the Massachusetts Wetlands Protection Act. Any changes to the definitive subdivision plan that may be required under the "*Order of Conditions*" shall be presented to the Planning and Economic Development Board by the Applicant, for review and approval as a modification to the definitive subdivision plan. The Planning and Economic Development Board reserves the right to negotiate with the issuing authority any mutually acceptable modifications to the "*Order of Conditions*" that may be deemed appropriate by the Planning and Economic Development Board and the Town's Consulting Engineer and acceptable to the applicant. After the public hearing and acceptance of the modifications to the plan, the Planning and Economic Development Board shall take action on the modified plan, reporting said action to the Town Clerk. The statutory notification of the expiration of the twenty day appeal period must be received from the Town Clerk's office before the Planning and Economic Development Board endorses the plan modification.

Additionally, upon issuance of any "*Order of Conditions*" requiring further individual filings under the Massachusetts Wetlands Protection Act, the Applicant shall prepare an amended plan clearly identifying the lots requiring further action under the Wetlands Protection Act. The Applicant shall provide this plan for endorsement by the Planning and Economic Development Board and shall provide a receipt from the Registry of Deeds indicating that the endorsed amended plan has been duly recorded.

6. *Construction Services* – Inspection of roadway and infrastructure construction by the Town's Consulting Engineer is required. Prior to plan endorsement, a construction services account shall be established with the Medway Planning and Economic Development Board. The Applicant shall pay a construction services fee to the Town of Medway for such inspections. The amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the scope of the project. The Applicant shall provide supplemental payments to the Town of Medway for reasonable additional construction services upon invoice from the Planning and Economic Development Board, until the

road construction and stormwater drainage system and other utilities are completed and the as-built and street acceptance plans have been reviewed and determined to be satisfactory for filing with the Town.

7. *Document/Plan Recording* – This Certificate of Action, the endorsed Definitive Subdivision Plan and the Subdivision Covenant shall be recorded with the Norfolk County Registry of Deeds. Within thirty days of such recording, the Applicant or his assign shall provide the Planning and Economic Development Board with a receipt from the Norfolk County Registry of Deeds indicating that all documents have been duly recorded, or supply another alternative verification that such recording has occurred.
8. *Plan Endorsement* - Within thirty days of plan endorsement, the Applicant shall provide the Town with a set of the approved plan in 24” x 30” paper format. The Applicant shall also provide the approved plan in CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp). The Applicant shall pay any reasonable associated costs, as may be determined by the Board of Selectmen, to update the Medway GIS/Assessor’s maps relative to this subdivision.
9. *Other Permits* – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.
10. *Pre-Construction Meeting* – At least seven days prior to the start of any site preparation or construction, a pre-construction meeting shall take place with the Town’s Consulting Engineer, the Planning and Economic Development Coordinator, the Medway Department of Public Services, the Medway Conservation Agent, the developer and his contractors. The construction schedule shall be reviewed and the procedures for inspections discussed. A copy of the final Stormwater Pollution Prevention Plan (SWPP) as filed DEP shall be provided to the Town.
11. *Proof of Taxes Paid* – Prior to the Planning and Economic Development Board’s approval of the *Release of Covenant* for the first building lot, proof is required from the Medway Town Treasurer/Collector that all real estate taxes and other municipal fees and charges are current for the property included in this subdivision.
12. *Restrictions on Construction Activities* – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.
 - a. *Construction Time* - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
 - b. *Neighborhood Relations* – The applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
 - c. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.

- d. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
 - e. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
 - f. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
 - g. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
 - h. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.
13. *As-Built and Street Acceptance Plans* - The Applicant agrees to prepare and provide an as-built construction plan and a street acceptance plan prepared in accordance with the approved subdivision plan and with the *Subdivision Rules and Regulations* in effect at the time the plans are submitted, to the satisfaction of the Planning and Economic Development Board. The Applicant shall provide the final as-built plan in CAD format compatible with the Medway GIS and acceptable to the Medway Board of Assessors (ArcInfo shape file - .shp). The Applicant shall pay any reasonable associated costs, as may be determined by the Board of Selectmen, to update the Medway GIS/Assessor's maps relative to this subdivision.
14. *Compliance with Plan and Decision*
- a. All construction shall be as specified in the approved definitive subdivision plan and any modifications thereto and in full compliance with the *Subdivision Rules and Regulations* and all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act, the NPDES permit requirements, the Massachusetts Department of Environmental Protection Stormwater Management Policy requirements, MEPA requirements, the Massachusetts Wetland Protection Act (Chapter 131, Section 40, M.G.L.) and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
 - b. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with this Decision.
 - c. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

15. *Site Access* - Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time during construction for compliance with the endorsed subdivision plan and the provisions of this Decision.

16. *Modification of Plan and/or Decision*

- a. This approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as a subdivision plan modification.
- b. Any work that deviates from the approved subdivision plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification and such approval is provided in writing by the Planning and Economic Development Board.
- c. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed subdivision plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

17. *Landscape Maintenance*

- a. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
- b. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

###

**PAUL REVERE ESTATES DEFINITIVE SUBDIVISION PLAN
CERTIFICATE OF ACTION
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD**

Date of Action by the Medway Planning and Economic Development Board: _____

AYE:

NAY:

Date Signed: _____

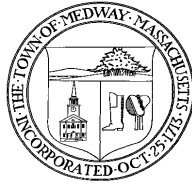
Attest:

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Date

Date Filed with the Town Clerk: _____

Copies To: Paul Newton, Notwen Realty Trust
Dan Merrikin, Merrikin Engineering
Michael Boynton, Town Administrator
David D’Amico, Public Services
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner
Stephanie Mercandetti, Community and Economic Development
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Town Counsel
Sergeant Jeffrey Watson, Police Safety Officer
Gino Carlucci, PGC Associates
Steve Bouley, Tetra Tech



September 12, 2017

**Medway Planning & Economic Development Board
Meeting**

UPDATED

Williamsburg OSRD – Project Status

- Tetra Tech inspection report/punch list and updated bond estimate 9/6/2017
- Tetra Tech bond estimate from 11/10/2010
- **Email dated 9/11/17 from Ray Newby, Williamsburg resident with comments on TT inspection report/bond estimate**

The above noted Tetra Tech report was forwarded to Paul Yorkis on 9/6/17. He disagrees with a couple of items and plans to discuss those with Steve Bouley before Tuesday night.

NOTE – The newly updated bond estimate is for \$145,356. The last bond adjustment was approved in November 2010 and \$133,169 is being held via a Tri-Party Agreement with Walpole Cooperative Bank. You need to decide whether you will require Mr. Yorkis to provide additional security in the amount of \$12,187.

NOTE – I expect that some of the Williamsburg neighbors will attend the meeting.

NOTE – I forwarded Ray Newby's email note to Paul Yorkis on 9/11/17.

To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven M. Bouley, P.E. – Tetra Tech
Frank Guthman III – Tetra Tech



Date: September 6, 2017

Subject: Williamsburg Way Punch List

On August 25, 2017 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT) conducted a punch list inspection of the Williamsburg Way private subdivision in Medway, MA. The site was inspected and a punch list and bond estimate generated of outstanding items which have not yet been completed by the Applicant. This punch list shall supersede previous punch lists conducted for the site.

The inspection was conducted using the following documents:

- A plan (Plans) set titled "Williamsburg Condominium Definitive Plans, Open Space Residential Development", dated August 31, 2009, latest revision January 28, 2010, PEDB endorsement February 23, 2010, prepared by Faist Engineering, Inc. (FEI).
- A revised plan titled "Plan of Land, Williamsburg Way, Definitive OSRD Development Plan in Medway Massachusetts, Sheet 2 of 17", dated August 31, 2009, latest revision February 6, 2013, PEDB endorsement July 23, 2013, prepared by Faist Engineering, Inc. (FEI).
- A revised plan titled "OSRD-Concept, 18 Unit Site Plan Modification, Williamsburg Condominiums, West Street, Medway, Massachusetts", dated August 20, 2008, latest revision April 23, 2013, PEDB endorsement July 23, 2013, prepared by Faist Engineering, Inc. (FEI).
- A PEDB Decision dated March 10, 2009, PEDB endorsement.
- A Certificate of Action dated January 19, 2010, PEDB endorsement January 19, 2010.
- A Special Permit Modification Decision dated June 25, 2013, PEDB endorsed June 25, 2013.
- A Certificate of Action Modification Dated June 25, 2013, PEDB Endorsed June 25, 2013.

Punch List

1. Roadway adjacent to CB-1 requires leveling course as settling has occurred. Contractor shall ensure berm is not buried during leveling. If leveling course is expected to bury the berm, berm shall be removed and replaced after leveling course is installed in order to maintain proper drainage patterns. (See Photo 1-2)
2. Berm is required to be installed amounting to approximately 275 feet. Furthermore, approximately 80 feet of berm is damaged and requires replacement. (See Photo 3-5)
3. All structures (including water gates) that are currently buried/paved over shall be raised to proposed top course grade prior to top course paving. (See Photo 6)
4. Drainage system requires cleaning after structures are raised. (See Photo 7)

5. Roadway requires top course paving.
6. Bituminous sidewalk ends immediately south of the driveway at Unit 12. The existing sidewalk should be sawcut to provide a clean joint, subbase prepared and sidewalk extended to meet existing at this location. Existing sidewalk shall also be patched adjacent to missing light pole. Existing sidewalk located along the entrance driveway from STA 2+15 to STA 4+50 appears to have a key cut into it along the edge of the berm, contractor should overlay this length of sidewalk to ensure consistent surface. (See Photo 8-9)
7. Ramp B adjacent to the Open Space parking area requires installation.
8. Reconstruct stone wall adjacent to exit of the development. (See Photo 10)
9. Open Space Bench requires installation.
10. Mowing of Open Space trail shall be conducted. Furthermore, erosion controls located throughout the site and Open Space shall be removed at the direction of the Conservation Commission per the Project Order of Conditions. (See Photo 11)
11. Open Space parking stall striping shall be painted after top course paving.
12. Stop line and word "STOP" at existing stop sign location shall be painted after top course paving.
13. Two light poles adjacent to Unit 5 and Unit 9 require installation/replacement. (See Photo 12-13)
14. "Do Not Enter" sign is missing from exit. "One Way" sign missing at STA 5+50.
15. Outlet from roof drain recharge/infiltration trench could not be located.
16. Cracked sewer manhole casting observed adjacent to exit of the development. (See Photo 14)
17. Cracked concrete mailbox pad observed adjacent to the openspace parking area. (See Photo 15)
18. The island located adjacent to the openspace parking area requires planting. Asphalt should be removed within the island to support plant/tree growth. Furthermore, temporary electrical panel shall also be removed or relocated. (See Photo 16)
19. Landscaping throughout the site is inconsistent with the original Landscape Plan and 30+ trees appear to be missing. Several trees that have been planted appear unhealthy and appear to be defoliating. Landscaping shall be installed per the approved plan. (See Photo 17-22)

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\127-21583-10002 (WILLIAMSBURG WAY CONSTRUCTION SERVICES)\CONSTRUCTION\PUNCH LIST\MEMO_WILLIAMSBURG WAY PUNCH LIST_2017-09-06.DOC

Photograph 1



Photograph 2



Photograph 3



Photograph 4



Photograph 5



Photograph 6



Photograph 7



Photograph 8



Photograph 9



Photograph 10



Photograph 11



Photograph 12



Photograph 13



Photograph 14



Photograph 15



Photograph 16



Photograph 17



Photograph 18



Photograph 19



Photograph 20



Photograph 21



Photograph 22





Bond Estimate
Williamsburg Condominiums
Medway, Massachusetts
September 6, 2017

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
HMA Leveling Course (500 sf)	5	TON	\$110.00	\$550
HMA Berm - Modified	275	FT	\$6.00	\$1,650
HMA Berm - Rem. & Replace	80	FT	\$12.00	\$960
Water Gate Adjustments	4	EA	\$200.00	\$800
Drain Structure Adjustments	7	EA	\$375.00	\$2,625
Sanitary Structure Adjustments	5	EA	\$370.00	\$1,850
Clean Drainage System	1	LS	\$5,000.00	\$5,000
HMA Top Course-1 1/2" Depth (Roadway)	180	TON	\$110.00	\$19,800
Extend/Repair Sidewalk	1	LS	\$3,000.00	\$3,000
Overlay Sidewalk	6	TON	\$110.00	\$660
Install Ramp B	1	LS	\$3,000.00	\$3,000
Reconstruct Stone Wall	11	CY	\$750.00	\$8,250
Openspace Bench	1	LS	\$1,000.00	\$1,000
Openspace Mowing	1	LS	\$1,000.00	\$1,000
Stop Line/Openspace Parking Striping/Signage	1	LS	\$1,200.00	\$1,200
Repair/Replace Light Poles	2	EA	\$2,500.00	\$5,000
Roof Infiltration Outlet	1	LS	\$2,500.00	\$2,500
Replace SMH Casting	1	EA	\$750.00	\$750
Replace Concrete Mailbox Pad	1	LS	\$800.00	\$800
Prep Island for Planting	1	LS	\$1,500.00	\$1,500
Landscaping/Street Trees	80	EA	\$500.00	\$40,000
Remove Erosion Controls	1	LS	\$500.00	\$500
Stormwater System Observation	1	LS	\$5,000.00	\$5,000
As-Built Plans	1,178	FT	\$5.00	\$5,890
Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal				\$116,285
25% Contingency				\$29,071
Total				\$145,356

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 9/2016 - 9/2017. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

**TETRA TECH RIZZO**

**Bond Value Estimate
Williamsburg Way
Definitive Subdivision
Medway, Massachusetts
September 20, 2010 (Revised 11/11/10)**

One Grant Street
Frammingham, MA 01701
Tel 508.903.2000 Fax 508.903.2001

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course - 1 1/2" Depth (Roadway)	180	TON	\$100.00	\$18,000
HMA Top Course - 1 1/2" Depth (Sidewalk)	30	TON	\$100.00	\$3,000
HMA Binder Course - 1 1/4" Depth (Sidewalk)	42	TON	\$90.00	\$3,780
HMA Berm - Modified	1,020	LF	\$5.00	\$5,100
HMA Curb	405	LF	\$6.00	\$2,430
Rip-Rap	5	CY	\$90.00	\$450
Loam	220	CY	\$40.00	\$8,800
Seeding	854	SY	\$1.50	\$1,281
Water Gate Adjustments	4	EA	\$125.00	\$500
Drain Structure Adjustments	7	EA	\$300.00	\$2,100
Sanitary Structure Adjustments	5	EA	\$300.00	\$1,500
24" HDPE Pipe (Roof Runoff Recharge Trench)	232	LF	\$60.00	\$13,920
8" HDPE Pipe (Roof Runoff Recharge Trench)	140	LF	\$40.00	\$5,600
Additional Signs	5	EA	\$100.00	\$500
Street Trees ³	36	EA	\$420.00	\$15,120
Pavement Markings	1	LS	\$250.00	\$250
2 year Snow Plowing	1,178	LF/YR	\$2.50	\$5,890
2 year Road Maintenance	1,178	LF/YR	\$2.00	\$4,712
2 year Drainage Maintenance	1,178	LF/YR	\$2.00	\$4,712
As-built Plans	1,178	LF	\$5.00	\$5,890
Legal Services	1	LS	\$3,000.00	\$3,000
				\$106,535

Subtotal	\$106,535
Contingency (25%)	\$26,634
Recommended Bond Value	\$133,169

Notes:

1. Unit prices are taken from the latest information provided on the Mass DOT website. They utilize the Mass DOT weighted bid prices (Combined - All Districts) for the time period 9/2009 - 9/2010.
2. All proposed light poles have been installed and have been removed from the bond estimate.
3. Approximately 20 street trees have been planted within the right of way. However, we will hold 25% to guarantee growth through the life of the project. Therefore, we will release 15 trees as part of this estimate.

Susan Affleck-Childs

From: Ray Newby <ray@psui.com>
Sent: Monday, September 11, 2017 12:43 PM
To: rtweedy@frsqm.com; Susan Affleck-Childs
Cc: rlsconstruction@yahoo.com; rchambers50@hotmail.com; bpmet1106@aol.com; kulmeen.goindi@gmail.com; raygnewby@gmail.com; newbyplex@comcast.net
Subject: Fw: Williamsburg inspection report
Attachments: TT Memo_Williamsburg Way Punch List & bond estimate_2017-09-06.pdf
Importance: High

Hi Susan,

I reviewed this inspection report this past weekend.

The list of items was well done, However a few items were missing and some items cost's not costed out per my punch list dated 2/9/2016 as well as additional items found since that time.

The latest Tetra Tech report has an additional \$12,187.00 added to the Bond Value Estimate dated 11/11/2010.

Items not listed as well as costs needed to be added to Tetra Tech - Williamsburg Way Punch List dated 9/6/2017 are as follows:

- Drainage of Williamsburg Way exit to West Street LH Side when facing West Street needs to be pitched so that water drains off properly,

- After all paving of road ,berms and side walks are completed and all drains cleaned the road and side walks should be flooded to insure that all water drains off roadway and side walks.

- Removal of Erosion Controls shows \$500.00 , this amount is low. There is apprx. 776 feet of straw waffle in non biodegradable plastic mesh and apprx. 1,500 feet of orange plastic barrier fencing and wooden stakes through out the property. The erosion controls are embedded in deep grass and brush through out condo complex. An additional **\$1,000.00** should be added to this cost as it will take several days to remove and dispose of properly.

- Open Space Mowing shows \$1,000.00. I agree with the mowing cost, however there is a lot of work that needs to be done before mowing of the upper and lower fields can occur.

Area behind condos that back up to the field, field has hundreds of rocks of various sizes 20-30 feet way from edge of field scattered through out and buried / embedded into thick grass and some brush. They are basically invisible to the naked eye and will have to be removed using a back hoe and manual labor to remove them before someone can mow the field safely.

There are many invasive and non-invasive plants and brush that have taken over the fields. These will need to be brush hogged out and debris removed before mowing can begin.

There are many low hanging limbs encroaching on the fields and these will have to be removed and disposed of along with a large dead pine tree in the upper field that will need to be removed.

Bridget Graziano - Conservation Agent and I spoke about this in March of this year. Along with many 70+ plastic dog poop bags stuck in and below briar bushes at bottom of lower field.

These fields have been neglected for 6-8 years.

Estimate I got verbally from a land scaper friend of mine was apprx \$2,400.00.

So an additional **\$2,400.00** should be added to mowing / field preparation for mowing and trail system.

Total cost should be \$3,400.00

- Broken Verizon Fiber Glass Utility Box base and top right hand side of Condo #12 = **\$325.00**

- 4" white pvc drain pipe to left of driveway of Condo #2 needs to be lowered 3-4" so that it drains properly = **\$250.00**

- two white 4" pvc drain pipes used to drain down spouts in rear of Condo # 2 & 4 need to be lowered 1- 1 1/2 " so they drain properly = \$250.00 x 2 = **\$500.00**.

- Each lamp post that is not broken is not straight they are 1/2" to 3/4" and need to be straightened = **\$500.00**

- Cap vertical plastic pipe RH side entrance 20 feet down from large rock in invasive plants needs to be capped = **\$25.00**

- Asphalt crack sealing :

Side walks to drive ways apprx. 4' x 2" x 18' = 144 feet

Walkways to berm / curb 4'x18' = 72 feet

Driveways to berm / curb street = 324 feet

Entrance and exit of Williamsburgway to West Street = 64 feet

Total 604 feet apprx x \$1.25 = **\$ 755.00**

Cost Adders:

Erosion Controls = \$1,000.00

Mowing / field clearing prior to mowing and trail system = \$2,400.00

Replace Verizon utility box = \$325.00

4" drain pipe fix = \$250.00 x 3 = \$750.00

Cap vertical plastic pipe = \$25.00

Straight lamp posts = \$500.00

Asphalt crack sealing = \$755.00

Total = \$5,755.00

So, Tetra tech Punch list = \$145,356.00 + Williamsburg way Condo Association punch list = \$5,755.00

Grand Total as of yesterday should reflect \$151,111.00 that should be reflected in a revised Tetra Tech punch list and discussion tomorrow evening @ 8:30PM with Paul Yorkis.

I will make 12+copied of this email and bring to the meeting at 7AM so everyone has a copy.

Thank you for all your hard work and continued support so that we can get our condo complex completed as soon as possible.

Regards,

Ray

Side

Here is report I have not had time to review will look at this Sunday morning and compare to past lists provided.

Regards,

Ray

Ray Newby
President & Founder

Power Sources Unlimited, Inc.
ISO 9001 : 2008 Registered
200 Stonewall Blvd., Ste, 4
Wrentham, MA 02093

800-966-**PSUI** (7784) x 101
508-384-1419 Outside U.S.
508-384-1896 (fax)
508-361-5905 (cell)
Skype: raypsui10
<http://www.psui.com/>



----- Forwarded by Ray Newby/OEM on 09/08/2017 04:34 PM -----

From: Susan Affleck-Childs <sachilds@townofmedway.org>
To: Ray Newby <ray@psui.com>,
Date: 09/08/2017 01:15 PM
Subject: Williamsburg inspection report

Hi Ray,

Per your request, attached is the inspection report, punch list and bond estimate for Williamsburg.

This matter is on the agenda for next Tuesday's meeting at 8:30 p.m.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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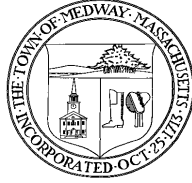
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

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September 12, 2017
Medway Planning & Economic Development Board
Meeting

Williamsburg OSRD – Construction
Observation Fee

- Tetra Tech estimate
- SAC email to Paul Yorkis 9/8/17

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Friday, September 08, 2017 1:12 PM
To: Paul Yorkis
Subject: Status of Williamsburg Construction Account
Attachments: TT CO services - CO 001_Medway Williamsburg Way_2017-07-28.pdf

Paul,

We need you to provide some additional funds for the Williamsburg construction account. The balance is \$1,954.29, but we haven't received the invoice from Tetra Tech for the site inspection, punch list, letter and bond estimate.

See attached estimate for \$5,045 from Tetra Tech. This is on the 9/12 meeting agenda for the Board to review and vote.

Best,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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Date:	July 28, 2017	Amendment No.:	001
Project:	Williamsburg Way	Project No.:	127-21583-10002
To:	Ms. Susan Affleck-Childs	Amendment 001 Cost Estimate	
Co./Dept.:	Medway PEDB	Fee:	\$ 4,805.00
Address:	155 Village Street Medway, MA 02053	Expenses:	\$ 240.00
		Total:	\$ 5,045.00
		Revised Total Project Cost Estimate	
		Fee:	\$ 20,586.50
		Expenses:	\$ 914.00
		Total:	\$ 21,500.50
			Estimated Date of Completion 2018

SCOPE OF SERVICES

Scope Change Descriptions

Task 2 Additional Construction Services: TT will provide continued construction services for the project which include additional public hearings, site inspections, punch lists, bond reductions and plan review. The attached budget and below table represent the effort required to complete the project. Items not specifically listed in the attached budget will require additional funding.

Task	Task Description	Initial Contract	Revision 1	Project Total
1	Inspectional Services	\$15,781.50	-	\$15,781.50
2	Additional Construction Services	-	\$4,805.00	\$4,805.00
	<i>Sub-Total</i>	\$15,781.50	\$4,805.00	\$20,586.50
	<i>Expenses</i>	\$674.00	\$240.00	\$914.00
	Total Fee	\$16,455.50	\$5,045.00	\$21,500.50

Please execute this change order to our existing Contract Agreement authorizing us to proceed with the above scope of service at the stated estimated cost. No work will be performed under this change order until it is signed and returned to Tetra Tech. Upon execution by both parties, this change order becomes part of our original Contract Agreement dated January 8, 2010.

Tetra Tech Authorization		Client Authorization (please sign and return)	
By:	Sean Reardon, P.E. 	By:	
Title:	Vice President	Title:	
Date:	July 28, 2017	Date:	

P:\21583\127-21583-10002 (WILLIAMSBURG WAY CONSTRUCTION SERVICES)\PROJMGMT\CONTRACTS\COS\CO 001_MEDWAY WILLIAMSBURG WAY_2017-07-27.DOCX

**TETRA TECH**

**Williamsburg Way
Construction Administration Budget
July 28, 2017**

Item No. ¹	Inspection	Site Visits	Hrs/Inspection ²	Rate ²	Total
1	Raise Castings	1	3	\$95	\$285
2	Roadway Top Course Paving	1	10	\$95	\$950
3	Openspace Trail Walk/Inspection	1	4	\$95	\$380
4	Punch List Inspections ³	2	4	\$140	\$1,120
5	As-Built Plans ⁴	2	3	\$140	\$840
6	PEDB Meetings/Hearings	2	3	\$140	\$840
7	Admin	3	2	\$65	\$390
	Subtotal				\$4,805
	Expenses			5.0%	\$240
	TOTAL				\$5,045

Notes:

¹ Each item includes site visit, inspection and written report.

² If installation schedule is longer than that assumed by engineer for any item above, or if additional inspections are required due to issues with the contract work, additional compensation may be required. Hourly rates listed are sufficient through June 30, 2018 at which time a revision to this estimate will be required.

³ Punch List Inspections include one (1) substantial completion inspection and punch list memo provided to the town. It also includes one (1) final inspection to verify that comments from the initial punch list have been addressed and one (1) revision to the Punch List if required.

⁴ This item includes review of As-Built Plans, review letter and coordination with the applicant to address any issues on the plans.