

Tuesday September 10, 2019
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	X	X	X

The meeting is being broadcast and recorded by Medway Cable Access.

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Steve Bouley, Tetra Tech
Amy Sutherland, Recording Secretary

The Chairman opened the meeting at 7:00 p.m.

PUBLIC COMMENTS:

There were no Public Comments.

APPOINTMENT TO DESIGN REVIEW COMMITTEE:

The Board is in receipt of the following: **(See Attached)**

- Memo dated 9-5-19 from Susy Affleck-Childs
- Resume of Alex Siekierski

Mr. Siekierski was present to express his interest in serving on the Design Review Committee.

On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted unanimously to appoint Alex Siekierski to the Design Review Committee through June 30, 2021.

MINUTES:

August 27, 2019:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the minutes from the August 27, 2019 PEDB meeting.

OAK GROVE ZONING PRESENTATION:

The Board is in receipt of the following: **(See Attached)**

- Letter dated August 29, 2019 from Oak Grove Task Force Chair Jessica Chabot.

Matt Hayes, member of the Oak Grove Task Force presented a power point presentation of the proposed

Oak Grove Zoning Initiative. The presentation can be found on the town website.

It was communicated that in 2017 the Town approved the Urban Renewal Plan for the Bottle Cap area. The vision was to create a diverse mix of uses, provide business opportunities increase tax base, and minimize environmental and social impacts. The current zoning in this area was explained. The Task Force held 18 public meetings including two community forums. There were over 300 notices sent out to area residents and interested parties. The Concept Plan was created with the assistance of Consultant Ted Brovitz. The concept is to take the Oak Grove area and divide it into three sub-districts: Oak Grove Village Center, Oak Grove Business Park, and Oak Grove Neighborhood. Each of the sub-districts will have a list of allowed used in the Zoning Bylaw Schedule of Uses and a set of standards and regulations. The Form-Based Zoning includes site standards, building standards, street standards, and requirements for outdoor amenity spaces. Each of the specifics of the districts were explained. The projected tax impact was provided. The Oak Grove Task Force is looking for support for this Warrant Article. The Planning and Economic Development Committee will be holding a public hearing on this on Tuesday, October 8, 2019.

MEDWAY GREEN – REQUEST FOR ADDITIONAL OCCUPANCY PERMITS:

The Board was made aware that at the last PEDB meeting on August 27, developer Mark Heavner asked the Board to authorize the Building Department to issue additional occupancy permits for units at Medway Green. The total number of dwelling units is 8. The performance security was reduced to \$47,250.00. The Board authorized release of three units.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to approve the release of occupancy permits for four more units.

MARZILLI SITE PLAN AND GROUNDWATER SPECIAL PERMIT PUBLIC HEARING:

The Board is in receipt of the following: (See Attached):

- Public Hearing Notice
- Site Plan submittal letter
- Site Plan application
- Development Impact Report
- Request for waivers from *Site Plan Rules and Regulations*
- 21 Trotter Drive Site Plan dated 8-6-19
- Proposed elevations for new addition and retrofit of existing building
- Special Permit and Use Variance from 1998
- Groundwater Special Permit Application
- Groundwater Special Permit Narrative
- Groundwater Protection District language from the Medway Zoning Bylaw
- PGC Plan Review Comments dated 9-4-19
- Tetra Tech Plan Review Comments dated 9-4-19
- Tetra Tech Plan Review Comments dated 9-5-19

- Tetra Tech Stormwater Review Comments dated 8-8-19 for Conservation Commission
- Jack Mee Review Comments dated 9-5-19
- Fire Chief Jeff Lynch email dated 9-10-19.

The Chairman provided an overview of how the public hearing will be run.

On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the public hearing notice.

The Chairman opened the public hearing.

The plan was prepared by Peter Bemis from Engineering Design Consultants. He was present along Robert Marzilli. The subject property is located in the West Industrial Zoning District. R. P. Marzilli & Company is a residential landscape contractor. The project includes construction of an approximately 7,944 sq. ft. addition to the existing R.P. Marzilli building and associated site improvements. There will be a paved parking for a total of 129 parking spaces for employees, visitors, and company vehicles. There will be spaces for 7 Tractor-trailers and 18 utility trailers, a new fuel storage facility. There will be site improvements to the management facilities, lighting, and landscaping.

The fuel storage facility already exists on the site and the new facility will include a secondary containment structure and other safety measures. This will be a stand-alone plan and has been removed from original plan.

It was explained that the stormwater runoff from the paved areas will be treated through a proprietary stormwater structure and the runoff will be infiltrated along with the roof runoff into a detention/infiltration basin. This will infiltrate the stormwater generated from the building and parking lot surfaces which will also undergo pre-treatment with ConTech VortSentry Stormwater units. The Construction activities will be managed by a SWPP and a Stormwater Permit Application which has been filed. There will be five pole mounted lights as well as eight mounted lights with no spillage to the abutting property. The existing curb cut at Trotter Drive will continue to serve the site.

Mr. Bemis indicated that the plan has been revised to address the Conservation Commission issues.

The applicant is proposing the following waivers:

Site Plan Contents – c. 3 Existing Landscape Inventory:

The Board would like identification of trees 18 inches and more within the limit of work area.

Parking – G. Parking Spaces/Stalls – 3a. Stalls shall be 10x20, Parking – 3b. Wheelstops:

205-6 The Board would prefer wider sidewalks.

Parking – 4b- Stalls shall not be within 15' of front... property lines.

The Board has no issue with this.

Planning Board Submittal – a. 7. Written Development Impact Statement:

Consultant Carlucci recommended that this is a reasonable waiver since it is an existing site.

The renderings of the building addition were shown. The materials will be brick and insulated panel. There will be a transformer in the front of the building which will be part of the industrial look of the building. The Board would like to get written authorization from Eversource that this is ok to have the transformer that close to facility. The remediation plan for 20 Trotter Drive will have some storage within the buffer. This will be on a separate plan since they are working with the abutters. The permitting of the fuel goes through the Fire Department. The applicant is requesting going from 4,000 to 6,000 gallons. The applicant indicated that the site has been inspected over the last 20 years of him having the business. There may be an issue since this is within the Town of Bellingham's Groundwater Protection Area.

There was a question if the Convex Containers were going to stay on site since they were not noted on the plan. These will need a permit since it is temporary storage. Mr. Bemis will indicate the location of those on the plan.

The applicant informed all that the stone saw will be removed from site since it does not work.

The applicant has also hired Web Engineering and they will be present at the next meeting.

Susy would like the applicant to provide a supplement narrative about the fuel component.

Resident Greg Bliss, 26 Fox Run:

Mr. Bliss is concerned about the drainage and any possible leaks from the fuel.

Resident 2 Lost Hill John Aviza:

Mr. Aviza communicated that Mr. Marzilli has been a great neighbor and did let him know about the happenings. He would like to make sure that there remains separation and a buffer. The other issue is that there is water that comes through under the road and goes into the back area of his property. His last concern is about the speed on the street.

There was a suggestion that there be a 15 miles per hour speed limit sign posted.

Resident Shirley Bliss, 26 Fox Run Road:

This resident wanted to know about the hours of operation and what can be done if they are working outside of the noted hours.

The resident was informed that she can contact the Building Enforcement Officer Jack Mee.

Resident, Bruce Carbone, 24 Fox Run:

This resident wanted to know if there is any provision about the noise from the rock splitting.

There was a recommendation if language could be put in any decision about noise from the site from rock splitting. The applicant responded that they could add more buffer.

The applicant indicated that there is a scheduled meeting with the Conservation Commission on Thursday, September 12, 2019.

Continuation:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted unanimously to continue the public hearing for Marzilli Site Plan and Groundwater Special Permit to Tuesday, October 1, 2019 at 7:00 pm.

WILLIAM WALLACE VILLAGE PUBLIC HEARING CONTINUATION:

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation notice dated 8-28-19
- 7-29-19 email from Dan Merrikin re: scenic Road
- 8-1-19 email from Barbara Saint Andre re: definition of multifamily development
- 8-1-19 PGC Plan review letter of original site plan.
- 8-31-19 Tetra Tech plan review letter of original site plan
- 9-5-19 Dan Merrikin response letter to the PGC and Tetra Tech review letters
- Updated Site Plan dated 9-4-19
- Architectural drawings received 9-4-19
- DRC Review letter dated 9-10-19

Dan Merrikin explained that he took the comments from the last meeting and made revisions to the plans. The site plan has been reviewed by the Medway Fire Chief. The layout was found to be acceptable to him provided that sprinkler systems be added to the units. A fire truck turning plan has also been completed and submitted. The applicant has also added signage throughout the site as recommended.

There is a waiver sought from the requirement for existing trees with a diameter of 1 foot or greater need to be identified on a planting plan. There was a question about Village Street is a Medway Scenic Road. Mr. Merrikin indicated that there are no stone walls at the frontage that would be disturbed and the two trees are not in the street layout. The applicant has provided a photometric plan. This was indicated on sheet C-7. The applicant is working on a new landscaping plan. This will be submitted once completed. The parking in the site has changed and is perpendicular with some parallel spaces. There is also angled parking with the inclusion of some handicap spots. The horizontal sight distances at the intersection of the projects proposed driveway and Village Street have been added.

The applicant will be attending another Design Review Committee meeting on September 23, 2019.

There were concerns about the appearance of the south façade and the exterior elevations. It was suggested that this needs more details and substance. This development lacks character. The letter dated September 10, 2019 from DRC was provided. It was recommended in the letter that the applicant obtain the assistance of an architect to further develop the appearance of the units. It was also recommended that the southern end of the triplex building be developed with more substantial street facing details. The colors of the buildings have not yet been determined. The applicant indicated that he went to Millstone to get color ideas and they will pick three colors which will be applied to the six houses. In regard to the entrance, there will be a semi-circle wall. A member of the DRC wanted the rock wall to extend down the street. The applicant responded that this would be extremely costly. The applicant asked if it would be possible to repair part of the wall as a good will measure.

The applicant was asked to provide Three-D Renderings. Mr. Merrikin explained that is the intent of the applicant to put the electric service underground, but it is the electric company who will determine the final location. The Board was made aware that the driveway connection has been removed. The water main has been revised to show a triple gate valve assembly. There will not be looping. The last water service lies at the end of the main and will ensure regular flow. The location of the hydrant has been revised at the request of the Fire Department. The applicant met with the DPS who agrees that it would be preferable to decouple the existing sewer line from Bedelia Way from the house service at 268 Village Street. There will be a direct connection from the new Bedelia Way sewer to the existing manhole. The sewer system has been revised to accommodate the new site layout. A minimum slope of 1% is provided for all mains. The applicant has asses a sidewalk connection to the mail kiosk and new accessible visitor parking space. The light poles have been moved as requested at the last meeting. There will be light posts 10 ft. at each entrance of each unit. A 6' stockade fence detail has been added. The emergency access has been eliminated since there will be a sprinkler system at each unit.

Resident Wayne Brundage asks that if the sidewalk is torn up, please do not do a patch job make sure it looks good.

The Board was made aware that the applicant is going to the Conservation Commission on Thursday September 12, 2019.

On a motion made by Rich Di Iulio, and seconded by Bob Tucker, the Board voted unanimously to continue the hearing for William Wallace to September 24, 2019 at 7:05 pm.

ARTICLES FOR FALL TOWN MEETING:

The Board is in receipt of the following Articles for Fall Town Meeting: (See Attached)

- Summary List
- Revised Schedule
- Multi-Family Housing
- Outdoor Storage
- Site Plan
- Parking -Electric Vehicle Charging Station
- Combined Special Permit and Site Plan

Revisions for Multi-Family Housing:

The Board reviewed the section Multi-Family Housing. The revisions came from the discussion held at the last meeting. The definition of multifamily dwelling was revised. The term “Apartment House” was removed. There was also language added for the minimum lot size for an Apartment Building. It shall be one acre. A definition for apartment building was added. The apartment dwelling will not exceed 12 dwelling units per whole acre. There was language added to include criteria for the PEDB to adjust the allowed density. It was suggested to define the words pedestrian destination. The look back period was also increased from 2 to 3 years.

Outdoor Storage:

The Article is to revise the definition of Outdoor Storage by adding equipment, machinery, vehicles, and pallets. It will also include cargo storage containers and membrane structures which are located on the premises. There is a new definition of Cargo Storage Containers.

Parking Electric Vehicle Charging Stations:

This Article will be to include for Off-Street Parking and Loading with the requirement for Electrical Charging Stations. The definition was also included.

The Board was fine with the revised recommendations.

CONSTRUCTION REPORTS:

The Board is in receipt of the following: **(See Attached)**

- Medway Community Church – 8-22-19
- Salmon Health – 8-20-19, 8-22-19
- SWPP Site Inspection Report – The Willows – 8-29-19

Salmon Health:

Consultant Bouley explained that there will need to be a drainage field change for Salmon Health. There is currently a redesign. There continues to be filling on the site to achieve the proposed grades. The design engineer needs to provide modified drainage design for the proposed basins located in the structural fill. The developer will be doing the foundation and pad for the pavilion soon. It was suggested that a site walk be done.

This application is for the issuance of a Special Permit under Section 5.4 Table 1.C of the Zoning Bylaw. The applicant wants to construct a two-family house that has the exterior appearance of a single-family dwelling on a lot. The Board does not support this application due to the design being not appropriate for the area.

Medway Community Church:

The Board was made aware that the four Cultec recharger chambers on the northeast corner of the basin was damaged. The repairs to this were done. There is also a difference in the slope. It was explained that the transition of slope needed to be done for the drainage.

Millway:

It was brought up that there has been inactivity at Millway. Susy will follow -up with and will provide a status report at the next meeting.

Applegate:

It was recommended that the Consultant and Board revisit the punch list for Applegate. Since there is only so much money to use to complete. The high priority list items need to be decided.

CORRESPONDENCE:

The Board is in receipt of the following: (**See Attached**)

- Letter dated August 15, 2019 from Medway Community Housing Coordinator Doug Havens about air conditioning in affordable housing units.
- Email dated September 6, 2019 from Paul Yorkis regarding resident complaints about development projects.

ZONING BOARD OF APPEALS PETITIONS:

The Board is in receipt of the following: (**See Attached**)

- 81 Lovering Street Lot 2A – Application
- 81 Lovering Street Lot 3A – Application

The Board reviewed the presented Zoning Board of Appeals petitions.

81 Lovering Street Lot 2A:

This application is for the issuance of a Special Permit under Section 5.4 Table 1.C of the Zoning Bylaw. The applicant wants to construct a two-family house that has the exterior appearance of a single family dwelling on a lot. The Board does not support this application due to the design being not appropriate for the area.

81 Lovering Street Lot 3A:

This application is for the issuance of a Special Permit under Section 5.4 Table 1.C of the Zoning Bylaw. The applicant wants to construct a two-family house that has the exterior appearance of a single-family dwelling on a lot. The Board does not support this application due to the design being not appropriate for the area.

A letter will be sent to the Zoning Board of Appeals from the Planning Board with their comments.

Member Tucker left the meeting at 10:25 pm.

SITE PLAN RULES AND REGULATIONS – PUBLIC HEARING CONTINUATION:

The Board is in receipt of the following: (See Attached)

- Public Hearing Continuation Notice
- Revised Draft Site Plan Rules and Regulations dated September 9, 2019.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to open the public hearing for the Site Plan Rules and Regulations.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to continue the public hearing for the Site Plan Rules and Regulations to September 24, 2019 at 8:00 pm.

OTHER BUSINESS:

NEXT MEETING:

- September 24, 2019

ADJOURN:

On a motion made by Tom Gay and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting.

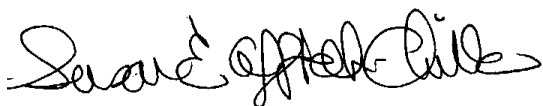
The meeting was adjourned at 10:42 pm.

Respectfully Submitted,



Amy Sutherland
Recording Secretary

Reviewed and edited by,



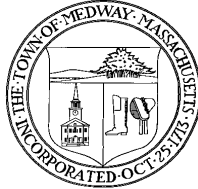
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



September 10, 2019
Medway Planning & Economic Development Board
Meeting

Appointment to the Design Review
Committee

- Memo dated 9-5-19 from Susy Affleck-Childs
- Resume of Alex Siekierski



TOWN OF MEDWAY
Planning & Economic Development
155 Village Street
Medway, Massachusetts 02053

MEMORANDUM

September 5, 2019

TO: Planning and Economic Development Board
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator
RE: Appointment of Alex Siekierski to the Medway Design Review Committee

I am very pleased to recommend the appointment of Alex Siekierski to the Design Review Committee for a term effective immediately through June 30, 2021. Alex is an architect and a relatively new resident of Medway. I have met with him to review the DRC's purpose and activities. He has attended a DRC meeting and is very interested in getting involved. Having an architect on the DRC would be an absolutely wonderful addition to the group. DRC Chairman Matt Buckley is fully supportive of Alex joining the DRC.

Contact

+16178940664 (Mobile)
siekierski.alex@gmail.com

www.linkedin.com/in/alexsiekierski
(LinkedIn)
asiekier.tumblr.com/ (Blog)
www.asiekier.com/ (Portfolio)

Top Skills

Revit
SketchUp
BIM

Certifications

Associate AIA

Honors-Awards

Recipient of the 2012 Designers
Lighting Forum of New England
Scholarship

Publications

Engaging Space

Alex Siekierski

Marketing & Senior Project Manager at JtA
Medway, Massachusetts

Summary

Experienced Project Manager with a demonstrated history of working in the architecture & planning industry. Skilled in Revit, VR, Bluebeam, Construction Administration, Sketching, and Sustainable Design. Strong program and project management professional with a Master's Degree focused in Architecture from Boston Architectural College.

Experience

Joe the Architect
Marketing & Senior Project Manager
January 2019 - Present
Somerville MA

TOWN OF MEDWAY
Voting Member of the Town Energy & Sustainability Committee
June 2018 - Present
Medway, Ma

asiekier
Design Consultant | Realtor
January 2011 - Present
Medway, Ma

I am a sole practitioner focusing on the architectural design of residential and light commercial projects in conjunction with Real Estate Transactions. I thoroughly enjoy working to solve complex problems with unique solutions with help translate the client's goals and meet their budget.

Joe the Architect
BIM Manager
December 2015 - Present
Somerville MA

Gray Puksand

Architectural Staff

September 2016 - February 2017 (6 months)

Melbourne, Australia

National Council of Architectural Registration Boards (NCARB)

Architect Licensing Advisor

July 2015 - February 2016 (8 months)

Massachusetts

Licensing Advisors serve as an information resource on the required components of architecture licensure (education, experience, & examination) for emerging professionals. Assisting candidates with information necessary for the transition from internship to licensure within the context of state regulatory requirements, reciprocity, and NCARB Record application process & certification

Studio G Architects, Inc.

Job Captain/Designer at Studio G Architects, Inc.

January 2014 - December 2015 (2 years)

We are Studio G Architects: a group of designers building sustainable communities, one project at a time with a vibrant, multi-disciplinary capacity and broad client base. Our design services range from planning and pre-design through construction administration. We tackle each project with a fresh and creative approach tailored to each client's agenda. The firm is certified as a woman-owned business by the Commonwealth of Massachusetts and the City of Boston.

IA Interior Architects

Job Captain

August 2013 - December 2013 (5 months)

Interior Architects translates client goals, brand and culture into powerful environments built around people, processes, technologies and business drivers. Our clients in diverse markets worldwide require high-performance, visually compelling and sustainable environments to move their enterprise forward, support their culture, engage their staff, integrate technology and drive efficiency. As architects, designers, workplace strategists and environmental specialists in the largest global architecture firm concentrating exclusively on interiors, we help clients articulate and align their business strategies and core values with the dynamic use of space.

Steffian Bradley Architects

Designer

November 2011 - April 2013 (1 year 6 months)

100 Summer Street, Boston, MA

NELSON

Designer

June 2010 - October 2011 (1 year 5 months)

Division of Capital Asset Management and Maintenance

Architectural Programming Assistant

January 2010 - June 2010 (6 months)

Boston, Massachusetts

Assisting Programming Project Managers in the production of building and master planning studies for the five UMass Campuses. Studies currently include master plans at UMass Amherst, UMass Boston and UMass Lowell as well as building studies for research science buildings and academic classroom buildings. Position requires design and programming sensibilities, reviewing and editing skills, and the ability to compile of study documents.

Education

Boston Architectural College

Master's Degree, Architecture · (2008 - 2012)

The Technical University of Berlin

Semester Abroad, Architecture + Urban Design · (2008 - 2008)

The University of Massachusetts Amherst

B.F.A. Design, Architectural Design Focus · (2006 - 2008)

minnechaug regional highschool



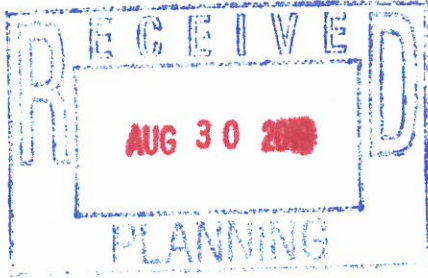
September 10, 2019
Medway Planning & Economic Development Board
Meeting

Oak Grove Zoning Presentation

- Letter dated August 29, 2019 from Oak Grove Zoning Task Force chair Jessica Chabot

Matt Hayes and Jess Chabot will make a presentation to you on the proposed Oak Grove zoning initiative.

Town of Medway
Oak Grove Zoning Task Force
155 Village Street
Medway, MA 02053



Jessica Chabot, Chairperson
Matthew Hayes, P.E., Vice Chairperson
Andy Rodenhiser
Paul Yorkis
Brian Cowan
Matthew Buckley
Anthony Varrichione

August 29, 2019

Andy Rodenhiser, Chairperson
Planning and Economic Development Board
Medway Town Hall
155 Village Street
Medway, MA 02053

Re: Oak Grove Park Proposed Zoning Bylaw Amendments

Dear Mr. Rodenhiser;

The Oak Grove Zoning Task Force is pleased to present its recommendations to the Planning and Economic Development Board for amendments to the Medway Zoning Bylaw for the Oak Grove Urban Renewal Area. A copy of the recommended amendments is being forwarded for the Board's review, and is also available on the Task Force webpage. The Task Force asks that the Board include these zoning amendments among those that the Board submits for the Fall Town Meeting warrant.

The Task Force has been working diligently, with the assistance of its consultant, Ted Brovitz, to fulfill its mission of crafting innovative and appropriate zoning bylaws to govern the Oak Grove Urban Renewal Area. The Task Force held numerous public meetings, including two community forums at which extensive presentations were made, and carefully considered comments from the community in its deliberations. Multiple iterations of the proposed bylaw amendments were prepared, examined, discussed, debated, and edited, until this final proposal was agreed to. The Task Force believes that the proposed zoning presents the right balance between economic development, protection of the surrounding neighborhood and the environment, and promoting an attractive and vibrant community. The Task Force voted on July 1, 2019, to recommend the Zoning Bylaw amendments for consideration at the Fall Town Meeting.

Mr. Andy Rodenhiser
August 29, 2019
Page 2

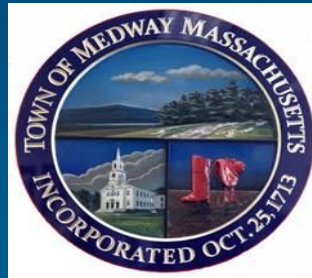
The Task Force will continue its community outreach in support of the proposed zoning, and will consider any and all comments from the community as the proposed zoning is prepared for the Town Meeting. We want to thank the Planning and Economic Development Board for consideration of this bylaw, which presents an opportunity to help shape the future of Medway.

Sincerely,

A handwritten signature in purple ink, appearing to read 'J. Chabot', with a long horizontal flourish extending to the right.

Jessica Chabot, Chairperson

TOWN OF MEDWAY OAK GROVE ZONING TASK FORCE



Proposed Zoning

URBAN RENEWAL PLAN

2017 – After a lengthy community process, the Town approves an Urban Renewal Plan (URP) for the Oak Grove (bottle cap) area.

Oak Grove Urban Renewal Area consists of about 82 acres, including the bottle cap lots and additional parcels along Trotter Drive.

Urban Renewal Plan Vision

- Create a diverse mix of uses
- Provide business opportunities for economic development
- Maintain high quality of life for residents and business
- Increase town tax base
- Minimize environmental and social impacts

Current Zoning

- Oak Grove Area is currently divided into two zoning districts: AR-II and West Industrial
- The area to the west of Trotter Drive, and a small strip along the east side of Trotter Drive, is zoned West Industrial
- Balance is AR-II

Task Force

- The MRA appointed an Oak Grove Zoning Task Force to recommend new zoning
- Task Force has held 18 public meetings, including two community forums, for which over 300 notices were sent out to area residents and interested parties

Concept Plan

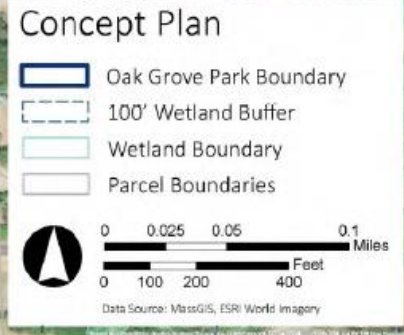
- The Task Force with assistance of consultant Ted Brovitz took the vision of the Urban Renewal Plan and created a concept plan for Oak Grove
- This included creating a new Oak Grove zoning district to replace the current zoning

OAK GROVE OVERALL CONCEPTUAL PLAN DEVELOPMENT PLAN

This Conceptual Plan illustrates a vision for the Oak Grove Park over the coming decades. The drawing is not meant to serve as a guide to construction; in fact, the plan itself does not require the Town of Medway or any landowner to do anything with their property. Rather, the plan provides a favorable development scenario for this Urban Renewal District that provides for existing uses while setting a framework for future reinvestment and civic enhancements.

For the purpose of illustrating this vision, the Oak Grove Park Concept Plan anticipates a balanced and incremental approach to growth. The plan calls for three distinct districts including the Oak Grove Village Center, the Oak Grove Business Park, and the Oak Grove Neighborhood. Each district is enhanced with vibrant open spaces, and linked together through a network of attractive streets, multipurpose paths, and walking trails.

The general goals of Oak Grove Park are to: establish a vibrant gateway for Medway; provide opportunities for business growth and economic development; facilitate reinvestment in vacant and underutilized property; allow for mixed commercial uses and "lifecycle" housing choices for a range of households in all income, age, size, and family type; and create a lively pedestrian environment where people can gather. Oak Grove Park will be a place where people can live, work, and play.



Proposed Zoning

- The Oak Grove area will be divided into three subdistricts: Oak Grove Village Center, Oak Grove Business Park, and Oak Grove Neighborhood
- Each subdistrict will have a list of allowed uses in the Zoning Bylaw Schedule of Uses and a set of standards and regulations

Oak Grove Park Subdistricts

-  Oak Grove Village Center (OGVC)
-  Oak Grove Business Park (OGBP)
-  Oak Grove Neighborhood (OGN)
-  Transitional Buffer Zone

Streets, Pathways, Trails

-  Trotter Drive
-  Village Center Street
-  Neighborhood Street
-  Access Street
-  Multi-Use Pathway
-  Walking Trail

OAK GROVE PARK

Regulating Plan
Version 5.0

June 14-2019



0 290 580 1,160 1,740 2,320 Feet

Map created 7-2-2019 by Fran V Hutton Lee - GIS Coordinator, Town of Medway, MA

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase/IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox India, ©

Form Based Zoning

- ❖ Form based zoning is somewhat different than conventional zoning
- ❖ It includes site standards, building standards, street standards, and requirements for outdoor amenity spaces

Site Standards

- These include parking placement, which encourages parking to the rear of buildings and encourages streetscapes
- Landscaping
- Utilities
- Pedestrian access is emphasized

Building Standards

- Building placement, including setbacks, requiring buildings in the Village to be located closer to the sidewalk
- Building types
- Building height
- Building usage
- Building design standards

Table 2.4.C.1.B. Mixed-Use & Commercial Building Types and Design Standards			
1. Building Types and Definitions			
		Mixed Use Building (MUB)	General Commercial Building (GCB)
1.1 Definition		A building that typically accommodates a variety of ground floor commercial uses and upper floor residential and/or office uses at a scale that is compatible and complimentary to its given district.	A building that typically accommodates a variety of ground floor commercial uses and upper floor office uses, or all office uses, at a scale that is compatible and complimentary to its given district. GC Buildings do not include residential uses.
2. Lot Standards			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Ft. Min.	50 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 20 Ft.	0 Ft. / 20 Ft.
2.4	Side Yard Setback (Min.)	10 Ft. (0 Ft if Common Wall)	10 Ft. (0 Ft if Common Wall)
2.5	Rear Yard Setback (Min.)	20 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. Design Standards			
3.1	Building Height (Max.)	4 Stories /40 Ft.	3 Stories/40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	20,000 SF	20,000 SF
4. Additional Standards			
4.1		One-story buildings must have a minimum street facing façade height of 18 feet.	One-story buildings must have a minimum street facing façade height of 18 feet.
4.2		Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 25 feet to accommodate vehicle access to the side and rear of the property.	Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.

Development Standards

- Development Types: General Commercial, General Industrial, General Residential, Mixed Use, Pocket Neighborhood
- Parking, landscaping, sustainable design, site improvements – based on existing town regulations

Village Center

- ❑ Located along Milford Street
- ❑ Mix of commercial, retail, service, cultural, recreational, and residential
- ❑ Allowed: hotel, multi-family, mixed-use, restaurant, inn, studio, gallery, service, offices, retail, brew pub, florist
- ❑ Prohibited: single and two family, warehouse, industrial, automotive repair

Business Park

- ❖ Located along both sides of Trotter Drive
- ❖ Purpose: to facilitate development for commercial, light industrial, and related
- ❖ Allowed: Retail, office, service, wholesale, manufacturing, research and development, studio, indoor amusement
- ❖ Prohibited: residential, agricultural, inn, funeral home, marijuana facilities

Neighborhood

- For residential development
- Allowed: Multi-family, row houses, cottage colonies, civic, agricultural, home occupations, bed and breakfast
- Prohibited: Commercial, retail, business, industrial, offices

OAK GROVE ZONING OUTLINE

SECTION 5. USE REGULATIONS

AMEND:

Table 1 - Schedule of Uses

- ✓ Oak Grove Village Center
- ✓ Oak Grove Business Park
- ✓ Oak Grove Neighborhood

TABLE 1: SCHEDULE OF USES

	FORM-BASED DISTRICTS		
	OGVC	OGBP	OGN
D. BUSINESS USES			
<i>Retail Trade</i>			
Retail bakery (Added 11/16/15)	Y	Y	N
Retail sales	Y	Y	N
Retail store larger than 20,000 sq. ft.	PB	PB	N
Retail sales, outdoors	N	PB	N
Shopping center/multi-tenant development	PB	PB	N
Auto parts	N	N	N
Florist	Y	Y	N
Indoor sales of motor vehicles, trailers, boats, farm equipment	N	PB	N
<i>Hospitality and Food Services</i>			
Restaurant providing food within a building	Y	Y	N
Restaurant providing live entertainment	Y	Y	N
Brew pub	Y	Y	N
Bed and breakfast	Y	N	PB
Inn	Y	N	N
<i>Cultural and Entertainment Uses</i>			
Studio	Y	Y	N
Museum	Y	PB	N
Movie theatre/cinema	Y	PB	N
Theatre	Y	PB	N
Gallery	Y	PB	N
Commercial indoor amusement	Y	Y	N
<i>Professional Uses and Financial Services</i>			
Financial institution	Y	Y	N
Professional or business office	Y	Y	N
<i>Services</i>			
Personal care service establishments	Y	Y	N
Service establishment (amended 11-13-17)	Y	Y	N
Doggie day care	N	Y	N
Repair shop	Y	Y	N
Furniture Repair	N	Y	N
Educational/instructional facility, commercial	Y	PB	N
Funeral home	N	N	N
Veterinary hospital	N	PB	N
Kennel	N	PB	N
Medical office or clinic	Y	Y	N
Adult day care facility, subject to Section 8.5	N	N	N
<i>Automotive Uses</i>			
Car wash	N	PB	N
Vehicle fuel station with convenience store	PB	N	N
Vehicle repair	N	Y	N
Auto body shop	N	Y	N
<i>Accessory Uses</i>			
Outdoor display	Y	Y	N
Outdoor storage of materials and parking of vehicles	N	PB	N

Street Standards

- Complete streets
- Sidewalk standards and uses
- Streetscapes
- On-street parking and use of parking spaces for “parklets”
- In the Village area, businesses may use public engagement areas

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

A. Purpose

B. Street & Pathway Design Standards

1. Construction Standards
2. Design Standards
3. Vehicle Travel Lanes
4. On-Street Parking Lanes
5. Sidewalks.
6. Parking Lane
7. Curb Extensions (Bulb-Outs)
8. Street Trees.
9. Driveway and Sidewalk Crossings.
10. Multi-Use Pathways and Walking Trails

C. Public Realm Interface

1. Building Frontage Zones
2. Building Interface within ROW
3. Parklets
4. Pedestrian Passages
5. Signs

TABLE 9.7.B.10. – STREET AND PATHWAY DESIGN STANDARDS



Street Component		
	Trotter Drive	Village Center Street
① Street Right-Of-Way	50 Ft. Minimum	50 Ft. Minimum
② Travel Lane	12 Ft.	11 Ft.
③ Parking Lane	Prohibited	8 Ft. (Option on one or both sides of the street)
④ Sidewalks		
4A. Public Frontage Zone	Optional (4' min. if provided)	Optional (4' Min. if Provided)
4B. Walkway Zone	5 Ft. Minimum both sides of street	5 Ft. Minimum both sides of street
4C. Furnishing & Utility Zone	Optional (4' min. if provided)	4 Ft. Minimum both sides of street
⑤ Tree Belt	8 Ft. Minimum	Optional (4' Min. if Provided)
⑥ Multi-Use Pathway	Optional on 60' Min. ROW; 10 Ft. Min. if Provided and 12' Optimal	Prohibited

TABLE 9.7.B.10. – STREET AND PATHWAY DESIGN STANDARDS

Street Component		
	Neighborhood Street	Access Street
① Street Right-Of-Way	40 Ft. Minimum	25 Ft. Minimum
② Travel Lane	11 Ft.	10 Ft.
③ Parking Lane	Not required	Prohibited
④ Sidewalks		
4A. Public Frontage Zone	Prohibited	Prohibited
4B. Walkway Zone	5 Ft. Minimum both sides	1 Side/5 Ft. Minimum
4C. Furnishing & Utility Zone	Prohibited	Prohibited
⑤ Tree Belt	5 Ft. Minimum	Prohibited
⑥ Multi-Use Pathway	Optional	Prohibited

SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

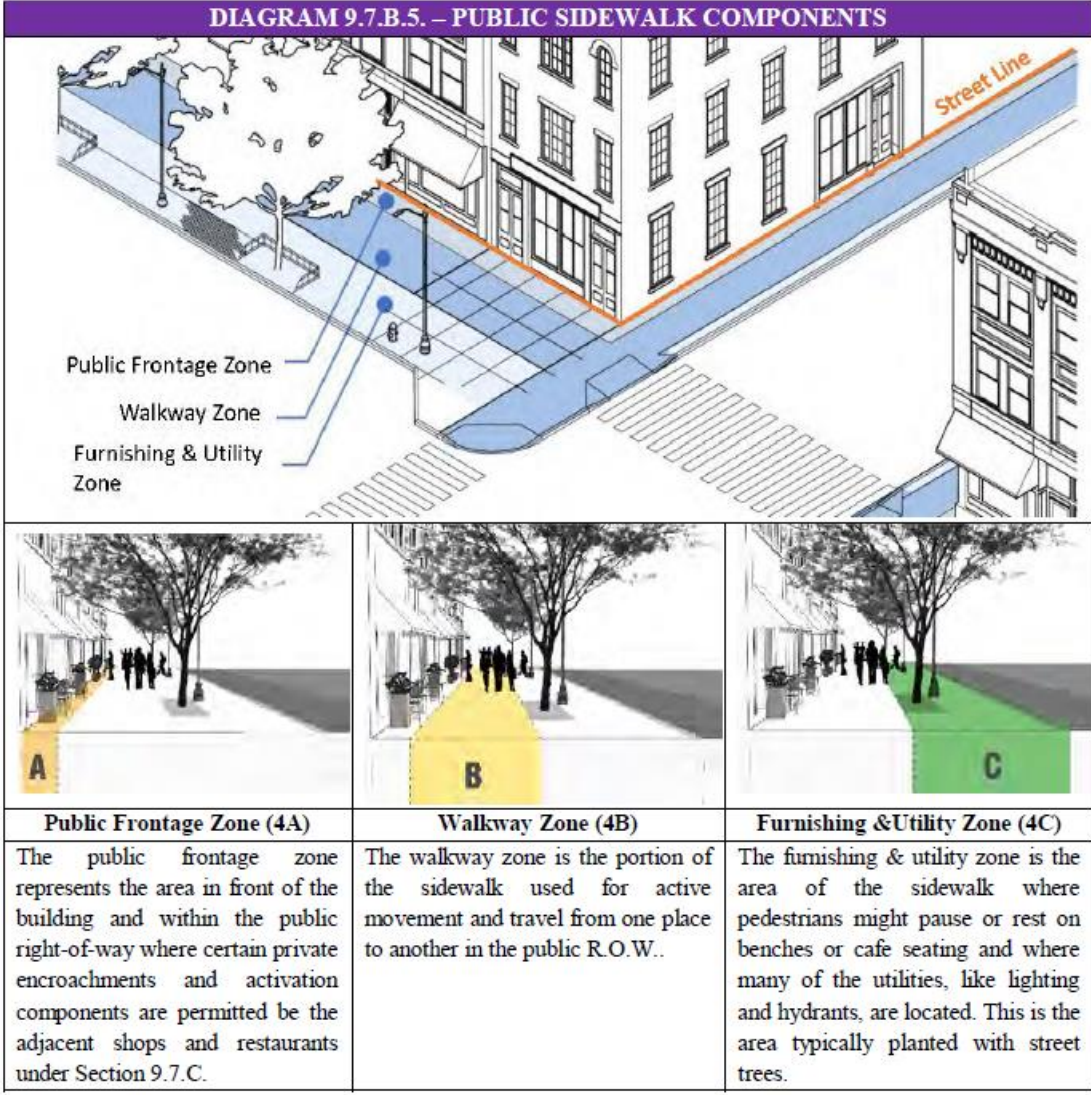
A. Purpose

B. Street & Pathway Design Standards

- 1. Construction Standards
- 2. Design Standards
- 3. Vehicle Travel Lanes
- 4. On-Street Parking Lanes
- 5. Sidewalks.
- 6. Street Enhancement Zones
- 7. Curb Extensions (Bulb-Outs)
- 8. Street Trees.
- 9. Driveway and Sidewalk Crossings.
- 10. Multi-Use Pathways and Walking Trails

C. Public Realm Interface

- 1. Building Frontage Zones
- 2. Building Interface within ROW
- 3. Parklets
- 4. Pedestrian Passages
- 5. Signs



SECTION 9 - OAK GROVE PARK ZONING DISTRICTS

9.7 PUBLIC REALM STANDARDS

A. Purpose

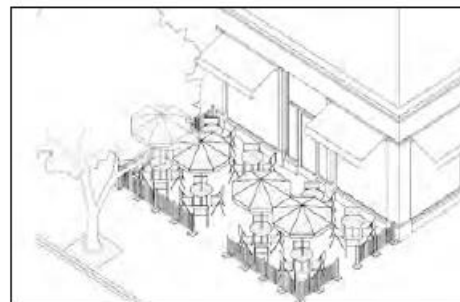
B. Street & Pathway Design Standards

1. Construction Standards
2. Design Standards
3. Vehicle Travel Lanes
4. On-Street Parking Lanes
5. Sidewalks.
6. Street Enhancement Zones
7. Curb Extensions (Bulb-Outs)
8. Street Trees.
9. Driveway and Sidewalk Crossings.
10. Multi-Use Pathways and Walking Trails

C. Public Realm Interface

1. Building Frontage Zones
2. Building Interface within ROW
3. Parklets
4. Pedestrian Passages
5. Signs

DIAGRAM 9.7.C.1. – BUILDING FRONTAGE ZONES



Outdoor Amenity Spaces

- Each building type requires a certain amount of outdoor amenity space
- Three kinds: civic space, publicly oriented private space, or private space
- Outdoor amenity spaces include courtyards, gardens, pathways, pocket parks, playgrounds, rooftop terraces

TABLE 9.10.A.1 - OAK GROVE VILLAGE CENTER DEVELOPMENT STANDARDS						
1. BUILDING TYPES & PROPERTY USES			3. BLDG & PUBLIC FRONTAGE INTERFACE			
Building Types: See Section 9.4, Table 9.4.C.1			See Section 9.7.C.; Table 9.7.C.2			
1.	Cottage	N	1.	Sidewalk Dining	P	
2.	Rowhouse	P	2.	Storefront Display	P	
3.	Multi-Family Building	P	3.	Sidewalk Sign	P	
4.	Hotel	P	4.	Projecting Sign	P	
5.	General Commercial Building	P	5.	Awning	P	
6.	Mixed Use Building	P	6.	Balcony	P	
7.	Fabrication or Flex Building	P	7.	Bay Window	P	
8.	Civic or Community Building	P	8.	Gallery	SP	
9.	Gas Station and Convenience Store	SP				
10.	Other Approved by PEDB	SP				
Property Uses: See Section 5.4, Table 1						
2. OUTDOOR AMENITY SPACES			4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1.			See Section 9.5.B			
1.	Neighborhood Park or Preserve (CS, POPS)	P	1.	Pocket Neighborhood (PN)	N	
2.	Common or Green (CS, POPS)	P	2.	Mixed Use Development (MUD)	P	
3.	Athletic Field or Ball Court (CS, POPS)	P	3.	General Residential Development (GRD)	P	
4.	Pathway (CS)	P	4.	General Industrial Development (GID)	N	
5.	Pedestrian Passage (CS, POPS)	P	5.	General Comm. Development (GCD)	P	
6.	Community Garden (CS, POPS, PS)	P				
7.	Forecourt (POPS, PS)	P				
8.	Courtyard (POPS, PS)	P				
9.	Plaza or Square (CS, POPS)	P	5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT			
10.	Pocket Park or Playground (CS, POPS, PS)	P				
11.	Outdoor Dining (POPS)	P				
12.	Rooftop Terrace (POPS, PS)	P				
13.	Private Yard (PS)	P				
14.	Dooryard	P				
15.	Other Approved by PEDB	SP				
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB						

TABLE 9.10.A.1 - OAK GROVE VILLAGE CENTER DEVELOPMENT STANDARDS						
1. BUILDING TYPES & PROPERTY USES			3. BLDG & PUBLIC FRONTAGE INTERFACE			
Building Types: See Section 9.4, Table 9.4.C.1			See Section 9.7.C.; Table 9.7.C.2			
1.	Cottage	N	1.	Sidewalk Dining	P	
2.	Rowhouse	P	2.	Storefront Display	P	
3.	Multi-Family Building	P	3.	Sidewalk Sign	P	
4.	Hotel	P	4.	Projecting Sign	P	
5.	General Commercial Building	P	5.	Awning	P	
6.	Mixed Use Building	P	6.	Balcony	P	
7.	Fabrication or Flex Building	P	7.	Bay Window	P	
8.	Civic or Community Building	P	8.	Gallery	SP	
9.	Gas Station and Convenience Store	SP				
10.	Other Approved by PEDB	SP				
Property Uses: See Section 5.4, Table 1						
2. OUTDOOR AMENITY SPACES			4. DEVELOPMENT TYPES			
See Section 9.6.; Table 9.6.B.1.			See Section 9.5.B			
1.	Neighborhood Park or Preserve (CS, POPS)	P	1.	Pocket Neighborhood (PN)	N	
2.	Common or Green (CS, POPS)	P	2.	Mixed Use Development (MUD)	P	
3.	Athletic Field or Ball Court (CS, POPS)	P	3.	General Residential Development (GRD)	P	
4.	Pathway (CS)	P	4.	General Industrial Development (GID)	N	
5.	Pedestrian Passage (CS, POPS)	P	5.	General Comm. Development (GCD)	P	
6.	Community Garden (CS, POPS, PS)	P				
7.	Forecourt (POPS, PS)	P				
8.	Courtyard (POPS, PS)	P				
9.	Plaza or Square (CS, POPS)	P	5. OTHER DESIGN STANDARDS SPECIFIC TO THE DISTRICT			
10.	Pocket Park or Playground (CS, POPS, PS)	P				
11.	Outdoor Dining (POPS)	P				
12.	Rooftop Terrace (POPS, PS)	P				
13.	Private Yard (PS)	P				
14.	Dooryard	P				
15.	Other Approved by PEDB	SP				
N - Prohibited; P - Permitted by Right; SP - Special permit required from PEDB						

OAK GROVE URBAN RENEWAL PROJECTED DEVELOPMENT

■ Total Development By Type

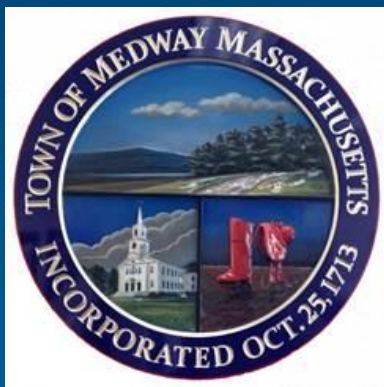
Proposed Use	Square Footage	# of Parking Spaces	Lot Size (Acres)
Commercial/Restaurant	12,000	40	2.04
Commercial/Hotel	60,000	250	3.24
Commercial Office and/or Retail	207,000	647	6.41
Commercial/Day Care	20,000	66	2.31
Flex Space/Office/Retail	97,000	370	8.3
Research and Development	36,000	135	3.55
Industrial	35,000	120	11.7
Multi-family Residential ¹	110 DU	240	9.63
Total	467,000	1,868	47.18

1. Multi-family Residential is expressed in terms of Dwelling Units (DU) rather than square footage.

Projected Tax Impact

Assessed Value	Use	Square Footage
\$1,921,600	Restaurant	
\$6,000,000	Hotel	
\$10,000,000	Commercial, Office and/or Retail	207,000SF
\$5,000,000	Commercial, Office and/or Retail	90,000SF
\$2,000,000	Research/Development	
\$49,500,000	Multifamily Residential	
\$74,421,600	Total Value	
0.01697	Tax Rate	
\$1,262,934.00	Potential Tax Dollars	

Questions?





September 10, 2019
Medway Planning & Economic Development Board
Meeting

Marzilli Site Plan and Groundwater
Special Permit Public Hearing

- Public Hearing Notice
- Site Plan submittal letter
- Site Plan application
- Development Impact Report
- Requests for Waivers from *Site Plan Rules and Regs*
- 21 Trotter Drive Site Plan dated 8-6-19
- Proposed elevations for new addition and retrofit of existing building
- Special Permit and Use Variance from 1998
- Groundwater Special Permit Application
- Groundwater Special Permit Narrative
- Groundwater Protection District language from the Medway Zoning Bylaw
- PGC Plan Review Comments dated 9-4-19
- Tetra Tech Plan Review Comments dated 9-5-19
- Tetra Tech Stormwater Review Comments dated 8-8-19 for the Conservation Commission
- Jack Mee Review Comments dated 9-5-19

This is the first night of the public hearing. Lots to deal with here. ConCom is handling the stormwater.



TOWN OF MEDWAY

Planning & Economic Development Board

155 Village Street
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

August 19, 2019

PUBLIC HEARING NOTICE

R.P. Marzilli & Company Building Expansion Project Site Plan & Groundwater Special Permit 21 Trotter Drive Tuesday, September 10, 2019

In accordance with the Medway *Zoning Bylaw*, Section 3.5 Site Plan Review and Section 5.6.3 Groundwater Protection District and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will conduct a public hearing on the applications of 21 Trotter Drive, LLC of Medway, MA for approval of a major site plan and a groundwater protection district special permit for the construction of an addition to the existing building and associated site improvements for R.P. Marzilli & Company at 21 Trotter Drive.*** The hearing will begin at 7:30 p.m. on Tuesday, September 10, 2019 in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities.

The subject property, shown on the Medway Assessors Map 64 as Parcel 3, is 11.03 acres in size. It is located in the West Industrial zoning district. R.P. Marzilli & Company is a residential landscape contractor. 21 Trotter Drive is bounded by properties owned by Medway Trotter LLC, Boston Edison/NSTAR, John and Eileen Aviza, and Marie Fortune. The site includes wetlands resources under the jurisdiction of the Medway Conservation Commission. The project must also secure a land disturbance permit from the Conservation Commission. The Commission has already begun its public hearing for this site.

The proposed project includes construction of an approximately 7,944 sq. ft. addition to the existing R.P. Marzilli building and associated site improvements. The site's access from the existing curb cut at the end of Trotter Drive will remain. The building is set back approximately 320' feet from Trotter Drive. The project includes paved parking for a total of 129 parking spaces for employees, visitors, and company vehicles. Other site improvements include stormwater management facilities, lighting, landscaping, a materials storage area, and a vehicle refueling facility. The planned improvements are shown on *21 Trotter Drive Site Plan dated August 6, 2019 prepared by Engineering Design Consultants, Inc. of Southborough, MA.*

The application materials are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular office hours. The proposed site plan and associated application documents will be posted to the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the site plan, attend the hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. All comments will be entered into the record during the public hearing. Any questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Board of Parks Commissioners, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.

To be advertised in the *Milford Daily News*:

Monday, August 26, 2019

Tuesday, September 3, 2019

August 15, 2019

Planning Board
Town Hall
Medway, Massachusetts

RE: 21 Trotter Drive
Medway, Massachusetts
EDC Job No.: 3588

Dear Board Members:

The proposed project is located at the southerly end of Trotter Drive, south of the Alder Street intersection. The existing lot is 480,528 square feet, or 11.03 Acres and was developed many years ago for use by the R.P. Marzilli Landscape Construction Company. The firm continues to enjoy good growth and needs more space to conduct operations.

The project consists of constructing a 7,944 square foot building addition as well as redeveloping the site and expanding the parking area. There will be 129 parking spaces of which 5 will be accessible spaces, 7 tractor trailer spaces, and 18 utility trailer spaces.

Stormwater runoff from the paved areas will be treated through a proprietary stormwater structure and the runoff will be infiltrated along with the roof runoff into a detention/infiltration basin and has been designed in accordance with MDEP Stormwater Management Guidelines that will infiltrate the storm water generated from the building and parking lot surfaces which will also undergo pre-treatment within ConTech VortSentry Stormwater units. Construction activities will be managed by a SWPPP and a Stormwater Permit Application has also been filed. Five pole mounted lights as well as eight wall mounted lights are proposed, with no light spilling onto abutting property. The existing curb cut at Trotter Drive will continue to serve the site.

We believe that the site development plans for the 21 Trotter Drive facility are in compliance with the Medway Site Plan Review Requirements and look forward to the opportunity to present this package at you next available meeting date. Thank you for your consideration and assistance with this project.

Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.



Walter M. Lewinski, P.E.



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and
The Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed
Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the
Board meetings at which your Application will be considered to answer any questions and/or
submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

AUGUST 15 ~~April 8~~, 2019

APPLICANT INFORMATION

Applicant's Name: 21 Trotter Drive, LLC

Mailing Address: 21A Trotter Drive
Medway, MA 02053

Name of Primary Contact: Robert Marzilli

Telephone:
Office: 508-533-8700
Cell: _____

Email address: _____

☐ Please check here if the Applicant is the equitable owner (*purchaser on a purchase and sales agreement*.)

MAJOR SITE PLAN INFORMATION

Development Name: 21 Trotter Drive

Plan Title: 21 Trotter Drive A Site Plan In Medway, Massachusetts

Plan Date: April 8, 2019 REV. THROUGH 8/6/19

Prepared by: Peter Bemis
Name: _____
Firm: Engineering Design Consultants, Inc.
Phone #: 508-480-0225
Email: pbemis@edcma.com

PROPERTY INFORMATION

Location Address: 21 Trotter Drive

The land shown on the plan is shown on Medway Assessor's Map # 64 as Parcel # 3

Total Acreage of Land Area: 480,528 s.f.

General Description of Property: The property has an existing building with parking and pavement on the northern portion of the site, and has a wetland and is wooded on the southern portion of the site.

Medway Zoning District Classification: WI

Current Use of Property: Landscaping business

Length of Existing Frontage: 100 ft. On what street? Trotter Drive

Setbacks for Existing Structure (if applicable)

Front: 323.9 ft.

Back: 1,166.3 ft.

Side: 45.9 ft.Side: 128.7ft.

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

 Yes X No If yes, please name street: _____

Historic District

Is any portion of this property located within a Medway National Register Historic District?

Yes - Rabbit Hill

☐ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? X Yes No

Flood Plain

Is any portion of the property within a Designated Flood Plain? Yes X No

Zoning Board of Appeals

Will this project require a variance or special permit?

Yes ☐ X No ☐

Explanation:

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: 21 Trotter Drive

A Major Site Plan is any commercial, industrial, institutional, multi-family, or municipal project which involves:

- a. New construction; or
- b. Alteration, reconstruction, or renovation work that will result in a change in the outside appearance of an existing building or premises, visible from a public or private street or way; or
- c. A change of use of a building or buildings or premises:

AND which includes one or more the following: (Please check all that apply.)

- ☒ New Construction - 2,500 or more sq. ft. of "gross floor area"
- ☒ New Construction - Construction of a new building or addition requiring 15 or more parking spaces
- ☐ Change in Use requiring the construction of 15 or more parking spaces
- ☒ Change in Parking Area - The construction, expansion, redesign or alteration of an existing parking area involving the addition of 15 or more new parking spaces
- ☐ Other – Any use or structure, or expansion thereof, exempt under MGL, c. 40A, s.3, but only if one or more of the above criteria is met.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: 21 Trotter Drive LLC

Mailing Address: 21A Trotter Drive
Medway, MA 02053

Primary Contact: Peter Bemis

Telephone: Office: 508-480-0225 Cell: _____

Email address: _____

The owner's title to the land that is the subject matter of this application is derived under deed from: Robert P. Marzilli, Trustee, Trotter Dr. Nom. Tst. to 21 Trotter Drive, LLC
dated _____ and recorded in Norfolk County Registry of Deeds,
Book 25503 Page 584 or Land Court Certificate of Title Number _____,
Land Court Case Number _____, registered in the Norfolk County Land Registry District
Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Engineering Design Consultants, Inc.

Mailing Address: 32 Turnpike Road
Southborough, MA 01772

Primary Contact: Peter Bemis

Telephone: Office: 508-480-0225 Cell: _____

Email address: pbemis@edcma.com

Registered P.E. License #: Walter M. Lewinski - 32327

SURVEYOR:

Mailing Address:

Primary Contact:

Telephone:

Office: Cell:

Email Address:

Registered P.L.S. License #:

ARCHITECT:

Mailing Address:

Primary Contact:

Telephone:

Office:

Cell:

Email address:

Registered Architect License #:

LANDSCAPE ARCHITECT/DESIGNER:

Mailing Address:

Primary Contact:

Telephone:

Office:

Cell:

Email address:

Registered Landscape Architect License #:

ATTORNEY:

Mailing Address:

Primary Contact:

Telephone:

Office: Cell:

Email address:

OFFICIAL REPRESENTATIVE INFORMATION

Name: Peter Bemis
Address: Engineering Design Consultants, Inc.
32 Turnpike Road, Southborough, MA 01772
Telephone: 508-480-0225 Office: _____ Cell: _____
Email address: pbemis@edcma.com

SIGNATURES

The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize Peter Bemis to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.



Signature of Property Owner

8-15-19

Date

Signature of Applicant (if other than Property Owner)

Date



Signature of Agent/Official Representative

8-15-19

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft./gross floor area = \$ 750 plus \$.25/sq. ft.
For projects of 5,000 – 9,999 sq. ft./gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 – 14,999 sq. ft./gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft./gross floor area = \$1,000 deposit
For projects of 5,000 – 9,999 sq. ft./gross floor area = \$1,500 deposit
For projects of 10,000 – 14,999 sq. ft./gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN **APPLICATION CHECKLIST**

- ☒ Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- ☒ Ten (10) full size copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations*
- ☒ One (1) ledger size (11" x 17") copy of the Site Plan
- ☒ Electronic Version of the Site Plan and all associated application documents. Provide disk or flash drive or email.
- ☒ Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- ☒ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include narrative on how the proposed project meets the requirements of the Medway Zoning Bylaw for parking (V. H) and exterior lighting (V. B. 6)
- ☒ One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- ☒ Request for Waivers from the *Medway Site Plan Rules and Regulations* - Form Q.
- ☒ Two (2) copies of the *Stormwater Drainage Calculations/Report* prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations*
- ☒ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- ☒ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- ☒ Proof of present or pending ownership of all land within the proposed development.
- ☒ Major Site Plan Filing Fee – Payable to Town of Medway
- ☒ Advance of Plan Review Fee – Payable to Town of Medway

21 Trotter Drive

Development Impact Statement

Traffic:

The proposed building addition is only 7,944 S.F. and is expected to not have any impact on Trotter Drive. The existing driveway serving the facility is located at the cul-de-sac terminus of the roadway and has good sight distances for entering and exiting traffic movements and does not impede the traffic movements of abutting businesses and uses.

Average Daily Vehicle Trips and Peak Hour Trips for the project are calculated using data published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition

Existing Condition:

The existing use at the facility is best classified by ITE Land Use Code (LUC) 180 – Specialty Trade Contractor: A specialty trade contractor is a business primarily involved in providing contract repairs and services to meet industrial or residential needs. Estimated Trip Generation rates for the existing 9,200± square foot (sf.) facility use are summarized in Table, below.

Trip Generation: LUC 180 – Specialty Trade Contractor Vehicle Trip:

Weekday Daily 94

Weekday AM Peak Hour 18

Weekday PM Peak Hour 19

Saturday Daily Not Published

Based on 9,200± sf of floor area

Proposed Condition:

The with the planned building addition the total building area will increase to a 17,144 square foot (sf.) facility use as summarized in Table, below.

Trip Generation: LUC 180 – Specialty Trade Contractor Vehicle Trip:

Weekday Daily 163

Weekday AM Peak Hour 31

Weekday PM Peak Hour 33

Saturday Daily Not Published

Based on 17,144± sf of floor area

In light of the minimal traffic volume generated by the proposed project and considering the width of Trotter Drive and safe sight distance, along with Trotter Drive being used generally by the businesses along the street, the proposed project has a minimal impact on traffic.

Environmental Impact:

The existing 9,200 S.F. building includes a paved parking lot and driveway serving the front office area and access to the gated rear storage area, however the remainder of the facility has a compacted gravel base. The building addition of 7,944 S.F. is proposed as well as paving and demarcating the existing gravel parking lot. This will not only allow a more efficient use of the property for managing materials and parking vehicles it will more importantly provide an efficient means to control and collect stormwater runoff that will now observe MassDEP's Best Management Practices (BMP's) for managing stormwater that will include using a structural stormwater treatment structure (CDS UNIT), as well as, deep sump catch basins and an infiltration detention basin. With the aforementioned improvements, stormwater quality is greatly improved since it is currently flowing untreated to the receiving wetland areas on site. There will be a total suspended solids removal (TSS) rate of 95% with the proposed stormwater treatment design and peak stormwater flows will now be managed for all peak storm events.

Community Impact:

The existing 9,200 S.F. building and 7,944 S.F. building addition are planned within the industrial zone of the Town of Medway and this use does harmonize with the current masterplan for the community. The facility is well off the public way and does not afford any visibility to or from Trotter Drive as such there is no change on visual or historical impact. There are residential abutters to the northeast and we believe that the proposal does enhance the existing landscape buffer to these properties. R.P. Marzilli has strived to be a good neighbor and will continue to work with its neighbors in order to provide a complete sense of community along Trotter Drive.

Parking Impact:

Presently the existing parking lot is partially paved and is mostly gravel. It is proposed to pave the entire gravel parking area and the parking spaces will be demarcated. Proposed are 129 parking spaces including 5 accessible spaces and 7 tractor trailer spaces as well as 18 utility trailer spaces. The project is in an industrial zoned area and is well screened with landscaping from the street, additional landscaping is proposed.

Complete List of Waivers Forms follows this section:

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	21 Trotter drive
Property Location:	21 Trotter Drive, Medway, MA
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-5 Site Plan Contents
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	C.3. Existing Landscape Inventory
What aspect of the Regulation do you propose be waived?	Existing Landscape Inventory
What do you propose instead?	Existing conditions as presented
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Site is partially wooded with no significant or redeeming vegetation needing identification or protection.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Nominal Value
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Trees are retained at work limit.
What is the impact on the development if this waiver is denied?	No change
What are the design alternatives to granting this waiver?	No change
Why is granting this waiver in the Town's best interest?	No negative impact from waiver
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	No cost
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Supplemental plantings at street
What is the estimated value of the proposed mitigation measures?	\$15k
Other Information?	
Waiver Request Prepared By:	<i>[Signature]</i>
Date:	4-22-19

Questions?? - Please contact the Medway PED office at 508-533-3291.

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	21 Trotter drive
Property Location:	21 Trotter Drive, Medway, MA
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	G. Parking Spaces/Stalls
What aspect of the Regulation do you propose be waived?	3a) Stalls shall be 10'x20'
What do you propose instead?	9'x18' stalls
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	With 24' two-way traffic Isles parking spaces are sufficiently sized to accommodate development.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Nominal Cost
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Less Asphalt Required
What is the impact on the development if this waiver is denied?	Additional Asphalt
What are the design alternatives to granting this waiver?	Reconfiguration of parking areas
Why is granting this waiver in the Town's best interest?	Equal design with less impervious areas
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Nominal savings
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Added open land
What is the estimated value of the proposed mitigation measures?	Nominal Value
Other Information?	
Waiver Request Prepared By:	Matthew L. Linn 4-28-19
Date:	
Questions?? - Please contact the Medway PED office at 508-533-3291.	


Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	21 Trotter drive
Property Location:	21 Trotter Drive, Medway, MA
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	G. Parking Space/Stralls
What aspect of the Regulation do you propose be waived?	36. Wheelstops
What do you propose instead?	Cape Cod berm & Integral Conc. Walk & Curb.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Wheel stops impose obstructions within the parking area.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$ 2,500
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Eliminates obstructions, provides better snow removal and site management.
What is the impact on the development if this waiver is denied?	Less desirable site conditions
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	No adverse impact to Town.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	None
Other Information?	
Waiver Request Prepared By:	<i>Matthew Wimali</i>
Date:	4-22-19
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	21 Trotter drive
Property Location:	21 Trotter Drive, Medway, MA
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	205-6 Parking G. Parking Spaces/Stalls
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	
What aspect of the Regulation do you propose be waived?	46. The stalls shall not be within 15' of front, side + rear property lines.
What do you propose instead?	10' minimum to side property line.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Screening provided at lot line.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Nominal Cost
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Add more impervious area
What is the impact on the development if this waiver is denied?	Increase Asphalt
What are the design alternatives to granting this waiver?	Increase Asphalt + layout of parking spaces
Why is granting this waiver in the Town's best interest?	Reduces Impervious limits
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	No Cost
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Screening along lot line.
What is the estimated value of the proposed mitigation measures?	\$7k
Other Information?	
Waiver Request Prepared By:	Matthew Lewis
Date:	4-22-19
Questions?? - Please contact the Medway PED office at 508-533-3291.	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	21 Trotter drive
Property Location:	21 Trotter Drive, Medway, MA
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	204-3 Planning Board Submittals
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	A7. A written Development Impact Statement
What aspect of the Regulation do you propose be waived?	All sections except traffic.
What do you propose instead?	Address traffic with narrative
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Project scale + scope is small. Only 6,900 s.f. building addition and paving an existing lot for an existing business.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$2,500
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	No adverse impacts from not addressing remaining sections of A7.
What is the impact on the development if this waiver is denied?	No impact to project
What are the design alternatives to granting this waiver?	Design will not change as a result.
Why is granting this waiver in the Town's best interest?	Project has nominal impact.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	No Cost
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Design unchanged
What is the estimated value of the proposed mitigation measures?	No Value
Other Information?	
Waiver Request Prepared By:	
Date:	4-22-19
Questions?? - Please contact the Medway PED office at 508-533-3291.	

21 TROTTER DRIVE

A SITE PLAN

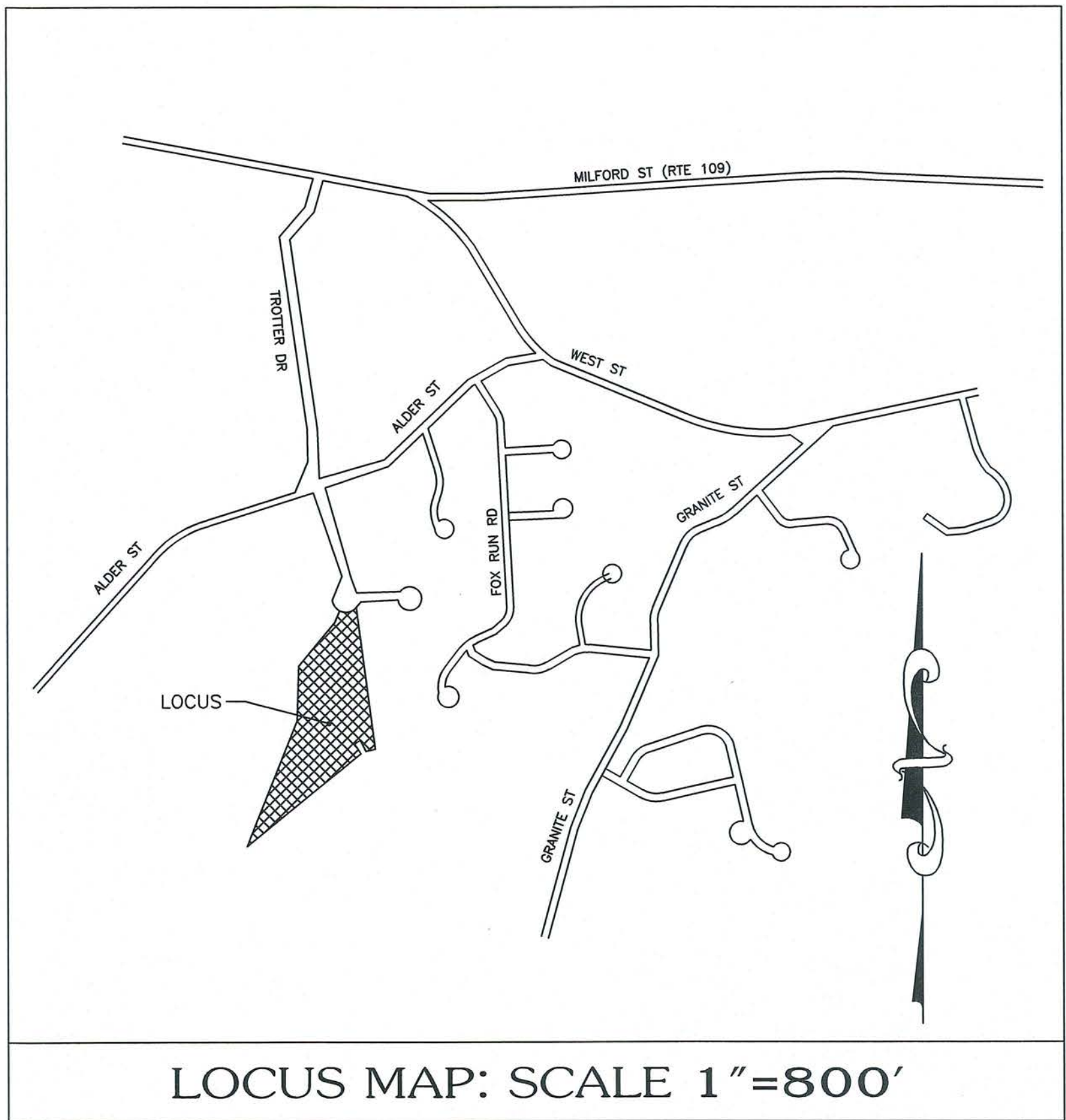
IN

MEDWAY, MASSACHUSETTS

(NORFOLK COUNTY)

OWNER/APPLICANT:
21 TROTTER DRIVE LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

ENGINEER:
ENGINEERING DESIGN
CONSULTANTS, INC.
32 TURNPIKE ROAD
SOUTHBOROUGH, MASSACHUSETTS 01772



APRIL 8, 2019
REV.: JULY 25, 2019
REV.: AUGUST 6, 2019

LEGEND	
BIT CONC	BITUMINOUS CONCRETE
CB	BORING
CB/PLUG	CATCHBASIN
CC	CONCRETE BOUND/PLUG
CCB	CONCRETE CURB
CO	CAPE COD BERM
CONC	CLEAN OUT
CONC	CONCRETE
CS	CONCRETE
CW	CURB STOP
D	CROSSWALK
DCB	RAINLINE
DI	DOUBLE CATCH BASIN
DMH	DUCTILE IRON
E	DRAIN MANHOLE
ECB	ELECTRIC
EMH	EROSION CONTROL BARRIER
FD	ELECTRIC MANHOLE
FE	FOUNDATION DRAIN
G	FLARED END
GC	GAS LINE
GV	GAS GATE
HC	GATE VALVE
HCC	HANDICAPPED RAMP
HYD	HAUNCHED CONCRETE CURB
ID	HYDRANT
INV	INTERCEPTOR DRAIN
LP	INVERT
MI	LIGHT POLE
PIV	MANHOLE
PPVC	POST INDICATOR VALVE
PVC	PERFORATED POLY-VINYL-CHLORIDE
RCP	POLY-VINYL-CHLORIDE
RD	REINFORCED CONCRETE PIPE
S	ROOF DRAIN
SB	SEWER LINE
SB/DH	SIGN
SB/DH(TBS)	SPEED BUMP
SOC	STONE BOUND/DRILLHOLE
SMH	STONE BOUND/DRILLHOLE(TO BE SET)
SWBL	SLOPED GRANITE CURB
SWSL	SEWER MANHOLE
SWSL	SINGLE WHITE BROKEN LINE
SWSL	SINGLE WHITE SOLID LINE
T24	TEST PIT
TD	24" TREE
TELE	TRENCH DRAIN
TMH	TELEPHONE LINE
TRANS	TELEPHONE MANHOLE
TS	TRANSFORMER
UD	TRANSITION STONE
VGC	UNDERDRAIN
W	VERTICAL GRANITE CURB
WG	WATER LINE
WF #A-50	WATER GATE
	WETLAND FLAG

SHEET LIST:

SITE PLANS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 PROPOSED LAYOUT
- 4 GRADING & UTILITIES
- 5 LIGHTING & LANDSCAPING
- 6 DETAILS

STORMWATER PLANS

- 1 STORMWATER (SWPPP) PLAN

APPROVED BY:
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

DATE: _____

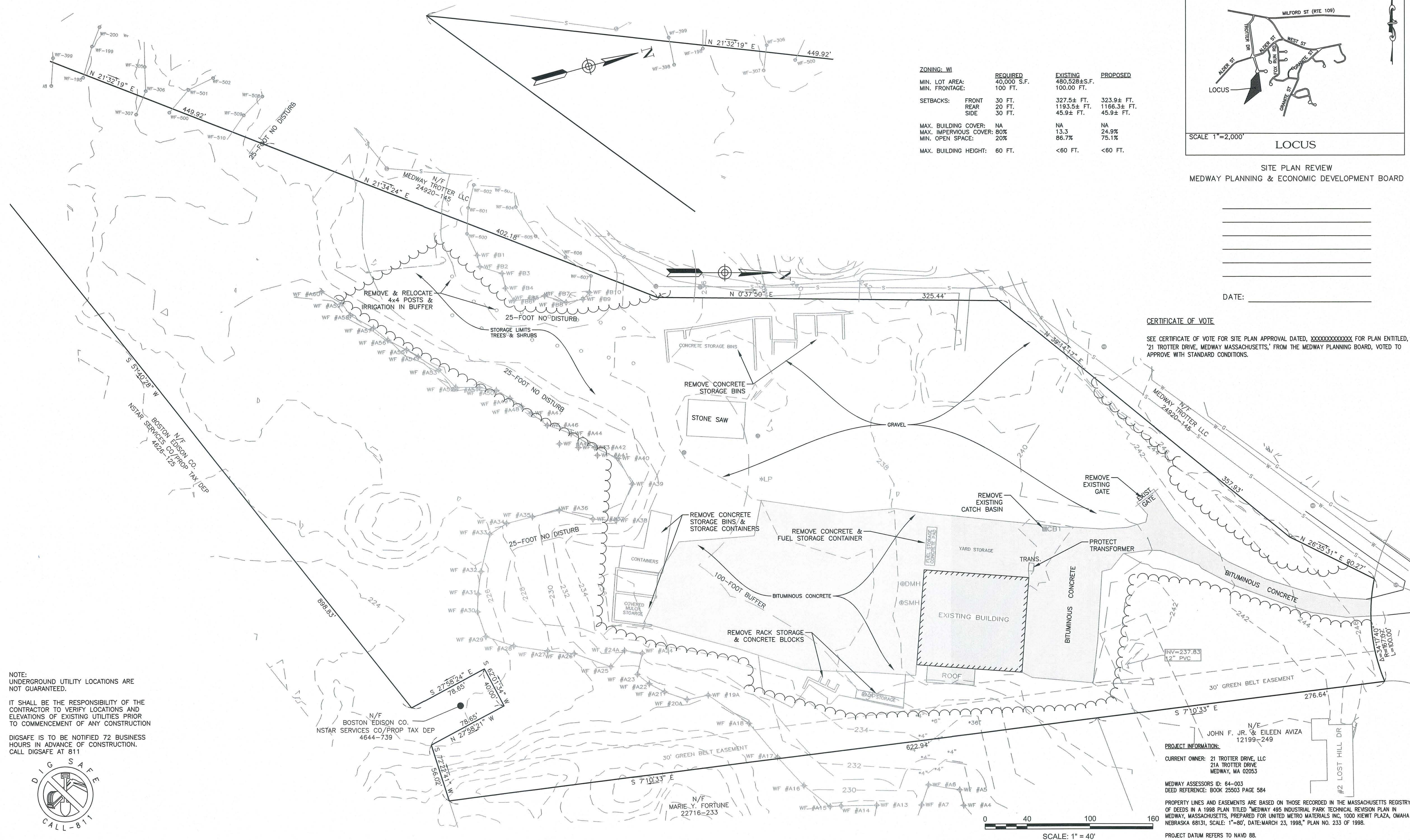
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CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, XXXXXXXXXXXX FOR PLAN ENTITLED, '21 TROTTER DRIVE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

ORDER OF CONDITIONS

SEE ORDER OF CONDITIONS FROM MEDWAY CONSERVATION COMMISSION DATED, XXXXXXXXXXXX FOR DEP FILE NO. 216-0937.



ALL RIGHTS RESERVED

ENGINEERING DESIGN CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTORS EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

		REVISIONS:	
DRWN BY:	ZRB	2	8/6/19
CHKD BY:	PSB	1	7/25/19
APPRD BY:	WML	0	4/8/19
		REVISED	INFILTRATION/DETENTION BASIN
			ADDRESS CONCOM COMMENTS
			SITE PLAN REVIEW
			DISSENTING



PREPARED BY:

EDC

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT

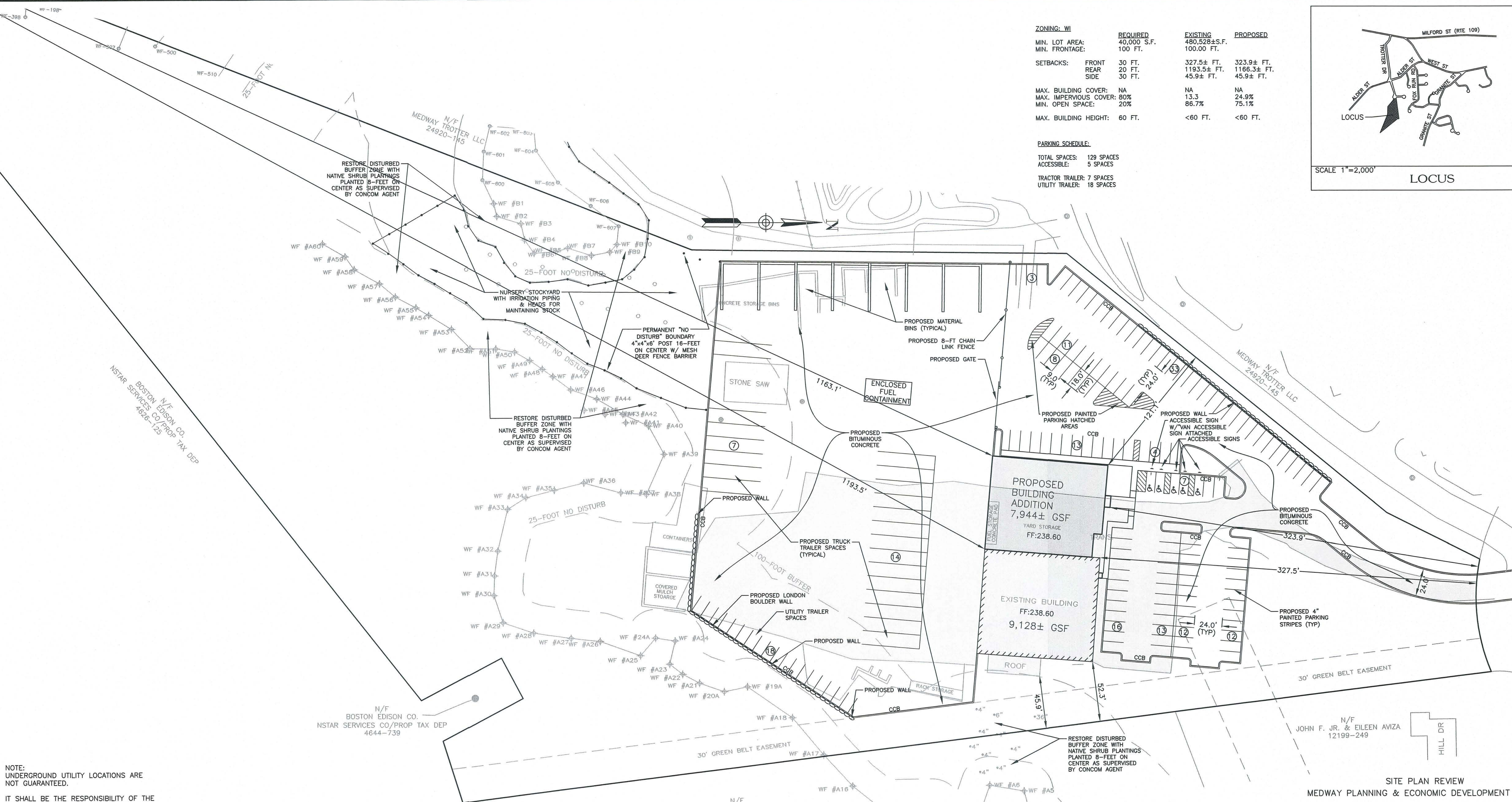
SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

|| TITLE:

EXISTING CONDITIONS
21 TROTTER DRIVE
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

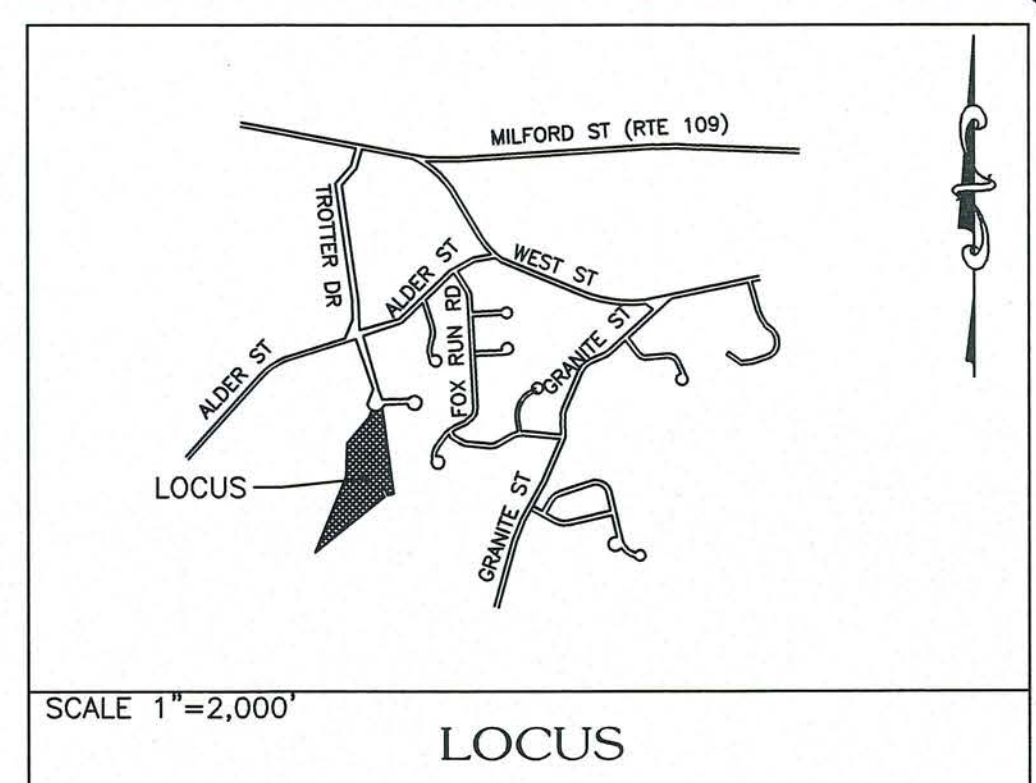
FILE NO.: 3588
EXISTING CONDITIONS
DATE: APRIL 8, 2019
PLAN NUMBER:
2 of 6
2

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ZONING: W1		REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	46,000 S.F.	46,000 S.F.	480,528± S.F.	480,528± S.F.
MIN. FRONTAGE:	100 FT.	100 FT.	100.00 FT.	100.00 FT.
SETBACKS:	FRONT	30 FT.	327.5± FT.	323.9± FT.
	REAR	20 FT.	1193.5± FT.	1166.3± FT.
MAX. BUILDING COVER:	NA	NA	NA	NA
	MAX. IMPERVIOUS COVER:	80%	13.3	24.9%
MIN. OPEN SPACE:	20%	20%	86.7%	75.1%
	MAX. BUILDING HEIGHT:	60 FT.	<60 FT.	<60 FT.

PARKING SCHEDULE:	
TOTAL SPACES:	129 SPACES
ACCESSIBLE:	5 SPACES
TRACTOR TRAILER:	7 SPACES
UTILITY TRAILER:	18 SPACES



NOTE:
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811



PROJECT INFORMATION:

CURRENT OWNER: 21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MA 02053

MEDWAY ASSESSORS ID: 64-003
DEED REFERENCE: BOOK 25503 PAGE 584

PROPERTY LINES AND EASEMENTS ARE BASED ON THOSE RECORDED IN THE MASSACHUSETTS REGISTRY OF DEEDS IN A 1998 PLAN TITLED "MEDWAY 495 INDUSTRIAL PARK TECHNICAL REVISION PLAN IN MEDWAY, MASSACHUSETTS, PREPARED FOR UNITED METRO MATERIALS INC, 1000 KIEWIT PLAZA, OMAHA NEBRASKA 68131, SCALE: 1"=80', DATE: MARCH 23, 1998, PLAN NO. 233 OF 1998.

PROJECT DATUM REFERS TO NAVD 88.

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, XXXXXXXXXXXX FOR PLAN ENTITLED, '21 TROTTER DRIVE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

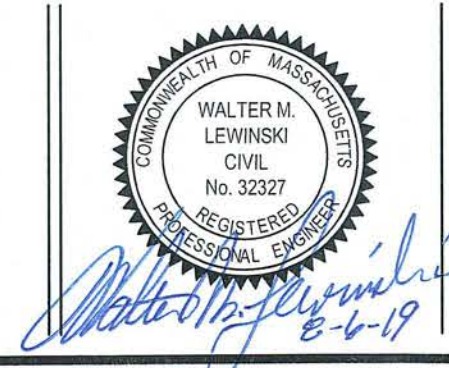
SITE PLAN REVIEW
MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE: _____

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ENGINEERING DESIGN CONSULTANTS, INC.'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COSTS.

DESIGN BY:	ZRB
CHECK BY:	PSB
APPROV BY:	WML
DATE:	8/6/19
REVISION:	2
DESCRIPTION:	REVISED INFILTRATION/RETENTION BASIN ADDRESS CONCOM COMMENTS SITE PLAN REVIEW



Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(508) 832-5781

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

PROPOSED LAYOUT
21 TROTTER DRIVE
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

FILE NO:	3588
PROPOSED LAYOUT	
DATE:	APRIL 8, 2019
PLAN NUMBER:	3 of 6

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CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE RELEVANT TOWN DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE DETAIL.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXPOSURE OF THE EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE HAY BALE DIKES ALONG THE PERIMETER OF CUTS AND FILLS, MULCHING, AND PLANTING OF DISTURBED AREAS AS SOON AS PRACTICABLE.
6. AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERIMETER IS TO BE MADE AND ALL DISCARDED MATERIALS, BLOWN OR WATER CARRIED DEBRIS, SHALL BE COLLECTED AND REMOVED.
7. AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN.
8. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR IS TO CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 811.
9. THE CONTRACTOR IS TO VERIFY THE LOCATION, SIZE, AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPING INTO, CROSSING OR EXTENDING THEM. IF THE PROPOSED WORK POSES A CONFLICT WITH THE EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
10. ALL REINFORCED CONCRETE PIPE IS TO BE CLASS 33 WHEN GREATER THAN 36" OF COVER EXIST. LESS THAN 36" SHALL BE CLASS V RCP. ALL PVC SANITARY SEWER IS TO BE SDR 35 WITH RUBBER JOINT. ALL PVC STORM DRAIN (PERFORATED OR SMOOTH) SHALL BE SDR 35. ADS TYPE II POLYETHYLENE PIPE (OR EQUIVALENT) SHALL BE SDR 35. ROOF DRAINS WHICH SHALL BE DUCTILE IRON. WATER MAIN IS TO BE CLASS 52 CEMENT LINED DUCTILE IRON.
11. THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS IS TO BE NOTIFIED PRIOR TO THE START OF WORK ON TROTTER DRIVE.
12. STANDARD PAVEMENT AREAS SHALL HAVE 12 INCHES OF GOOD, CLEAN BANK-RUN GRAVEL, CONFORMING TO MOW M10.3.1, WITH NO STONES LARGER THAN 3" IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
13. STANDARD PAVEMENT AREAS SHALL BE PAVED TO A THICKNESS OF 3" MEASURED AFTER COMPACTION, WITH A 2" BINDER COURSE AND 1" TOP COURSE OF CLASS 1 BITUMINOUS CONCRETE PAVEMENT, TYPE 1-1.
14. THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES", 1888 EDITION SECTION 400 FOR CEMENT CONCRETE AND 400.20 FOR AGGREGATE, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.

15. ANY EXISTING PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OUTSIDE "LIMIT OF WORK" AREAS OR OTHERWISE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED WITH A FULL DEPTH OF PAVEMENT SECTION AS SHOWN ON THE TRENCH PATCHING DETAIL INDICATED HEREON.
16. EROSION CONTROL GRASS MIXTURE (SIDE SLOPE GREATER THAN 4:1 HORIZONTAL TO 1 VERTICAL) FOLLOWING COMPLETION OF GRADING. THE FOLLOWING SEED MIX SHALL BE APPLIED:

TYPE OF SEED	% BY WEIGHT
30 CREEPING RED FESCUE	
30 TALL FESCUE	30
30 WHITE DUTCH CLOVER	30
RED TOP	10
- SEED AT THE RATE OF 2#/2,000 SF
USE THE ABOVE MIX AT THE RATE OF 50#/ACRE AND
WITH 1/2 BUSHEL/ACRE OF WINTER RYE
17. ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDDED WITH A MINIMUM OF 4" OF TOP SOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED.
18. ALL STUMPS, TOP SOIL, SUB SOIL AND OTHER DELETERIOUS MATERIALS ARE TO BE REMOVED FROM THE PROPOSED BUILDING AND PAVING AREAS.

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REVISIONS
3
2
1
0

3	8/6/19	REVISED INFILTRATION/DETENTION BASIN
2	7/25/19	ADDRESS CONCOM COMMENTS
1	2/7/19	MODIFY WETLAND DELINEATION
0	4/8/19	SITE PLAN REVIEW

PREPARED BY:

EEC

Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

TITLE

OWNER/APPLICANT

GRADING & UTILITIES
21 TROTTER DRIVE
21 TROTTER DRIVE, LLC
21A TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

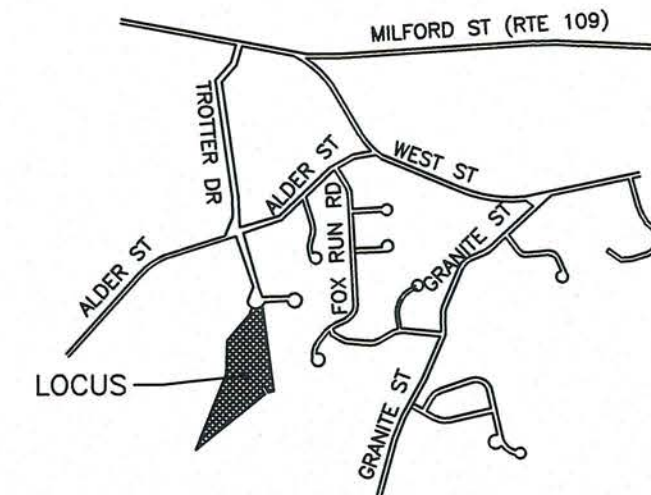
FILE NO: 752

GRADING & UTILITIES

DATE: APRIL 8, 201

PLAN NUMBER: 4 OF 6

4



SCALE 1"=2,000

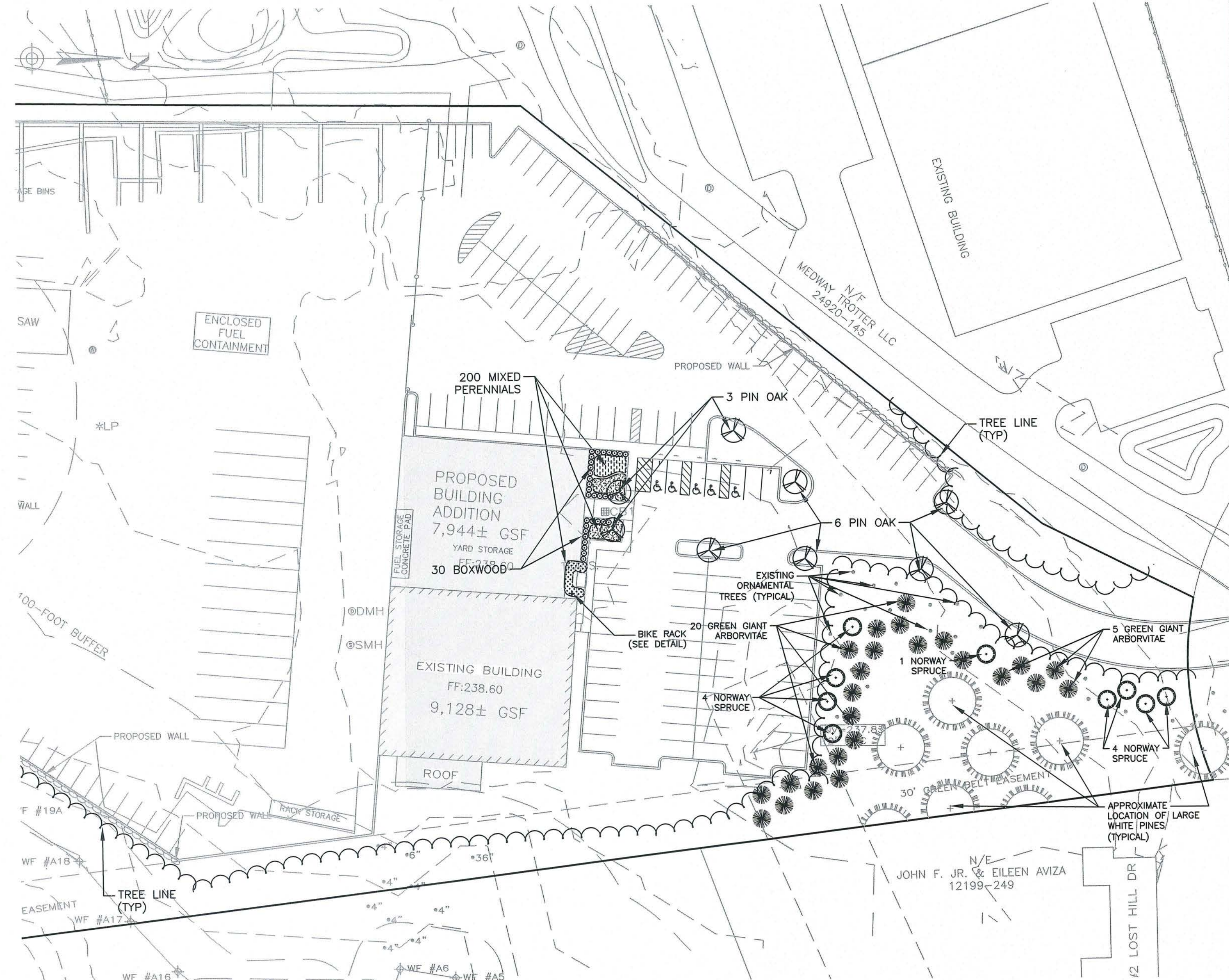
LOCUS

NOTE:
UNDERGROUND UTILITY LOCATIONS ARE
NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

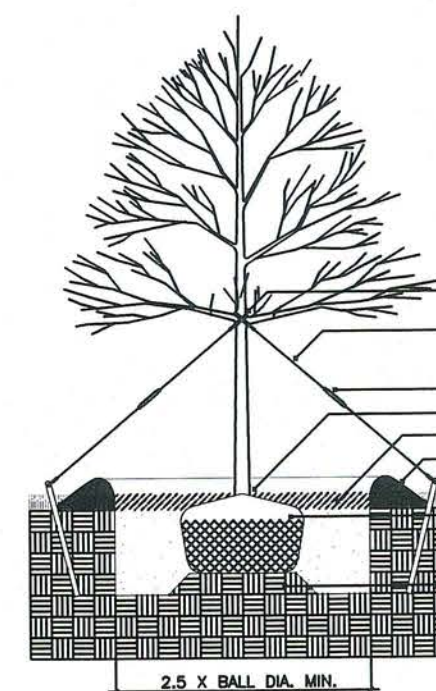
DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



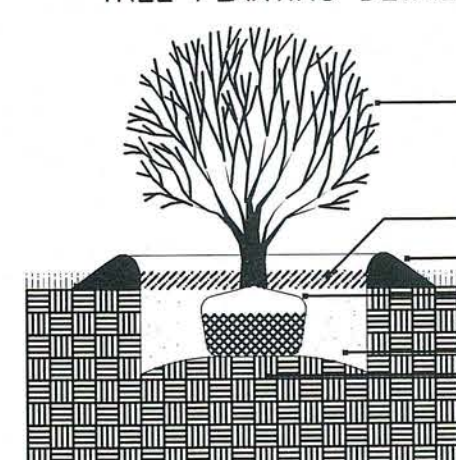


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	+	1.5 fc	3.0 fc	0.5 fc	6.0:1	3.0:1
Spill	+	0.1 fc	2.9 fc	0.0 fc	N/A	N/A

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION.
CALL DIGSAFE AT 811



TREE PLANTING DETAIL



BALE AND BURLAP SHRUB PLANTING

PLANT LIST			
QUANTITY	COMMON NAME	LATIN NAME	SIZE
TREES			
9	PIN OAK	QUERCUS PALUSTRIS	2-2.5" CAL.
15	GREEN GIANT ARBOVITAE	THUJA PLICATA	16"-22'
9	NORWAY SPRUCE	PICEA ABIES	16"-22'
SHRUBS			
30	BOXWOOD	BUXUS SEMPERVIRENS	18"-24" B/B
PERENNIALS			
200	MIXED PERENNIAL		2 GALLON

SAND COMPONENT
Sieve Size
2-Inch
3/4-in.
1/4-in.
U.S. No. 40
U.S. No. 200

Percent Passing
100
70-80
50-80
15-40
0-3

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, OCTOBER 24, 2017 FOR PLAN ENTITLED, 'SITE PLAN, COUNTRY COTTAGE CHILDREN'S CENTER, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD. VOTED TO APPROVE WITH STANDARD CONDITIONS.

DATE: _____

HITCH BIKE RACK

DRWN BY:	ZRB
CHK'D BY:	PSB
APPROV BY:	WMI

2	8/6/19
1	7/25/19
0	4/8/19

9	REVISED INFILTRATION/DETENTION BASIN ADDRESS CONCOM COMMENTS SITE PLAN REVIEW
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EDC

Engineering Design Consultar
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

SITE PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

USE:	LIGHTING & LANDSCAPING 21 TROTTER DRIVE
OWNER/APPLICANT:	21 TROTTER DRIVE, LLC 21A TROTTER DRIVE MEDWAY, MASSACHUSETTS 02053

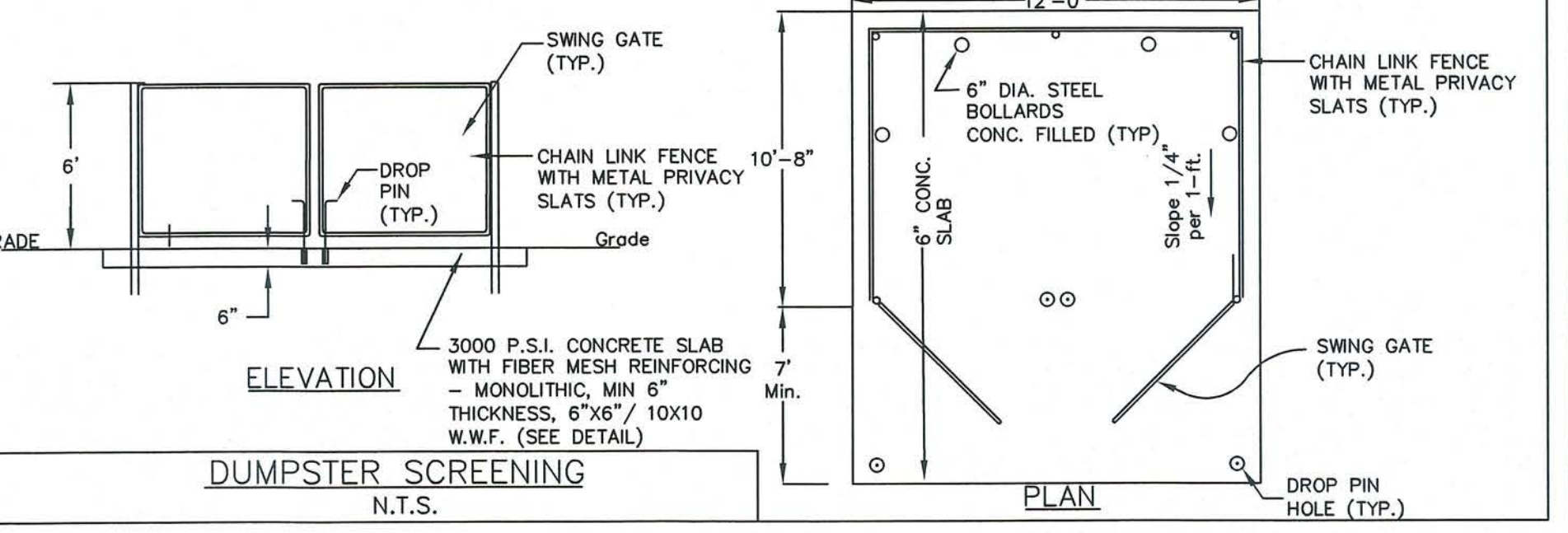
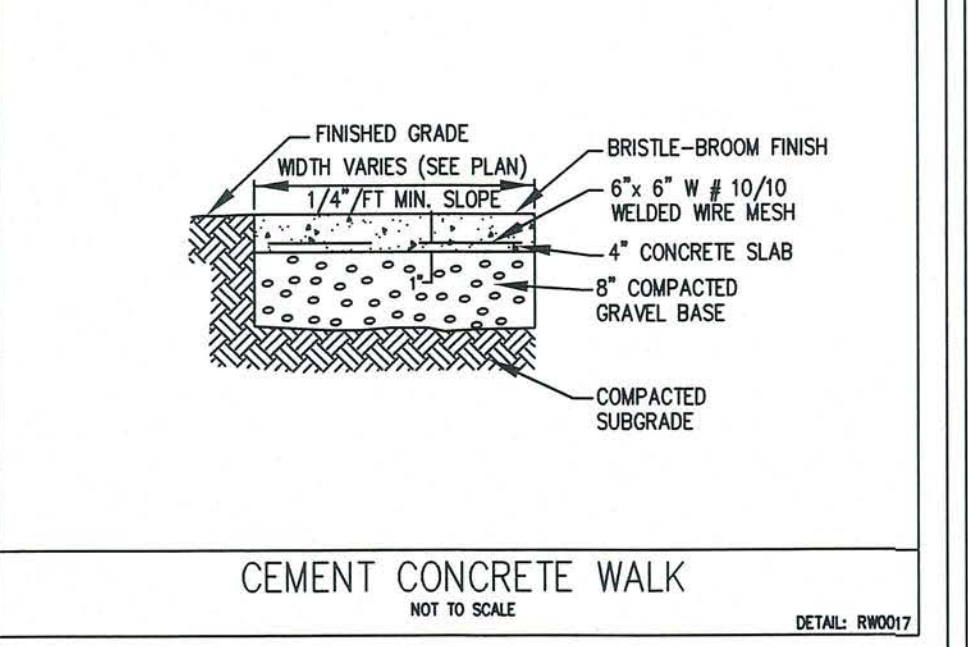
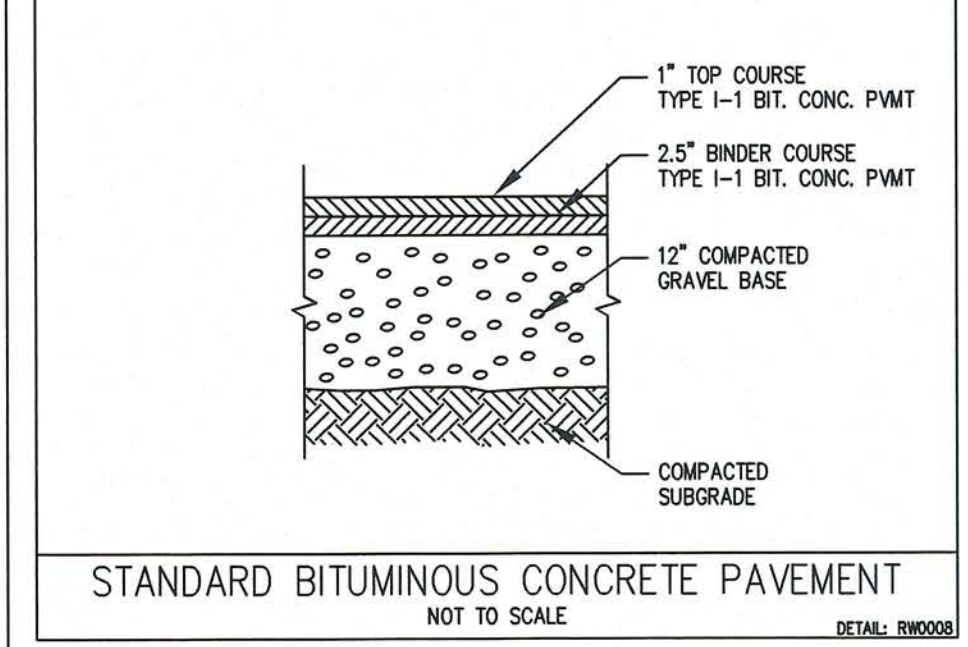
FILE NO.: 3588
LIGHTING & LANDSCAPING
DATE: APRIL 8, 2019
PLAN NUMBER:
5 OF 6
5

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DATE: _____



1. EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.

2. MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO TROTTER DRIVE.

3. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.

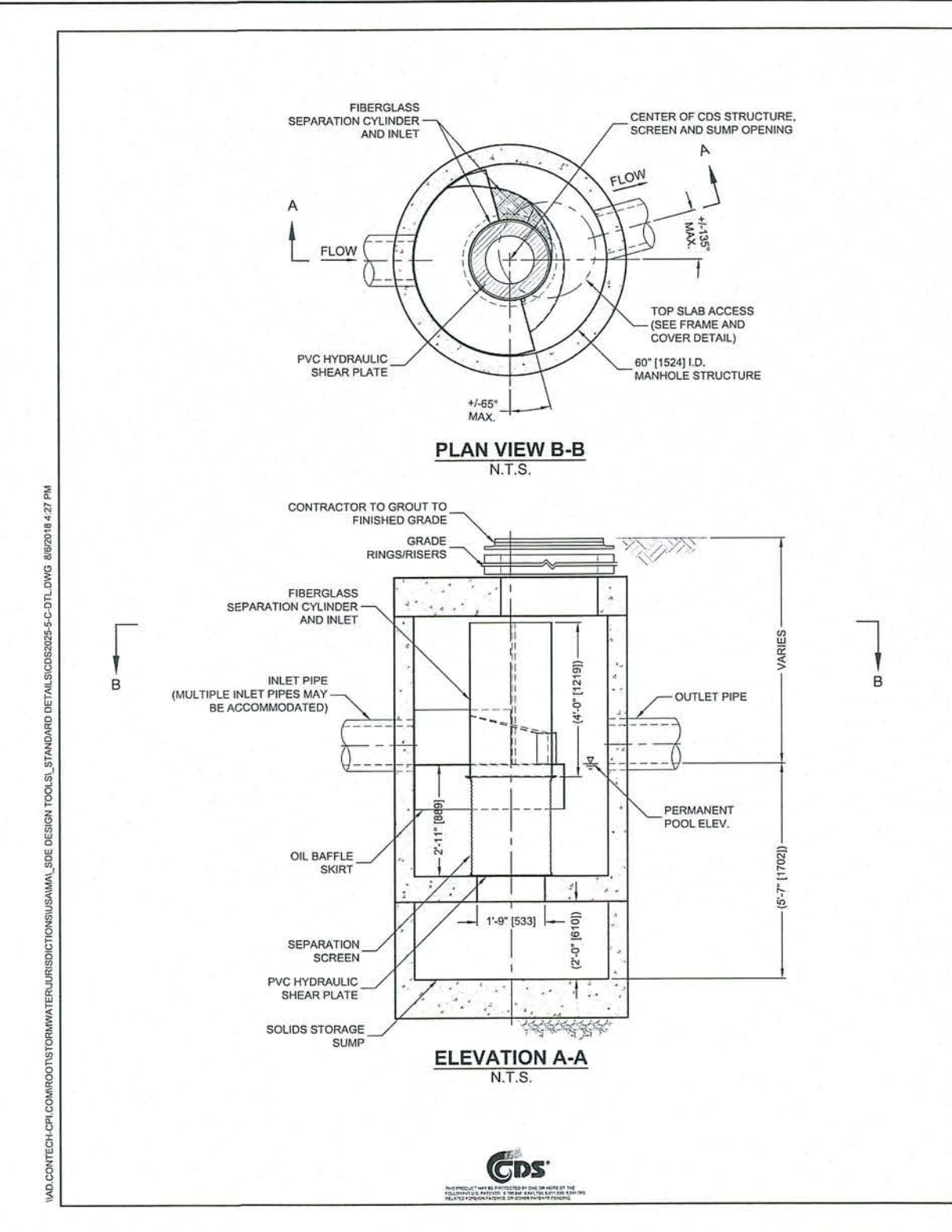
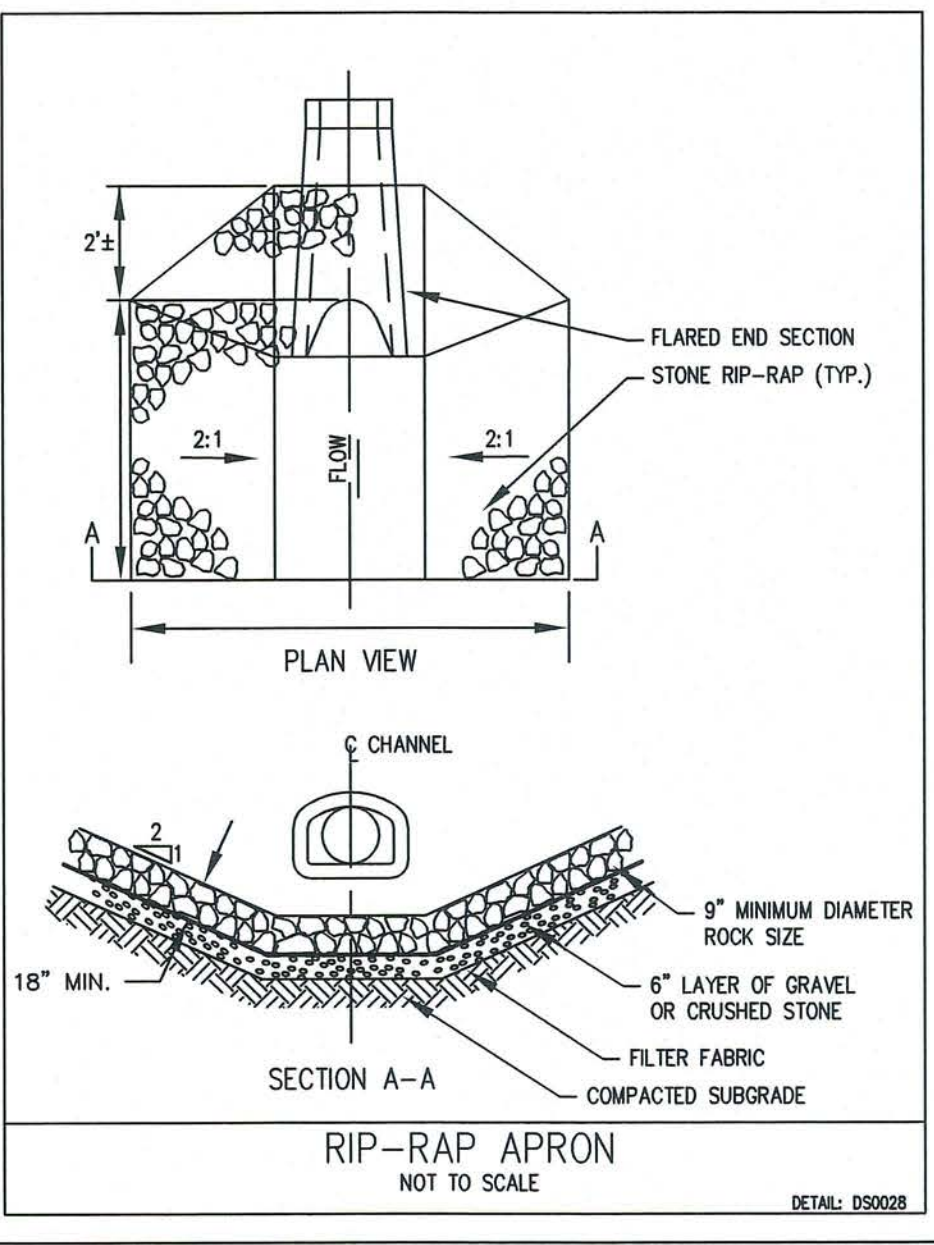
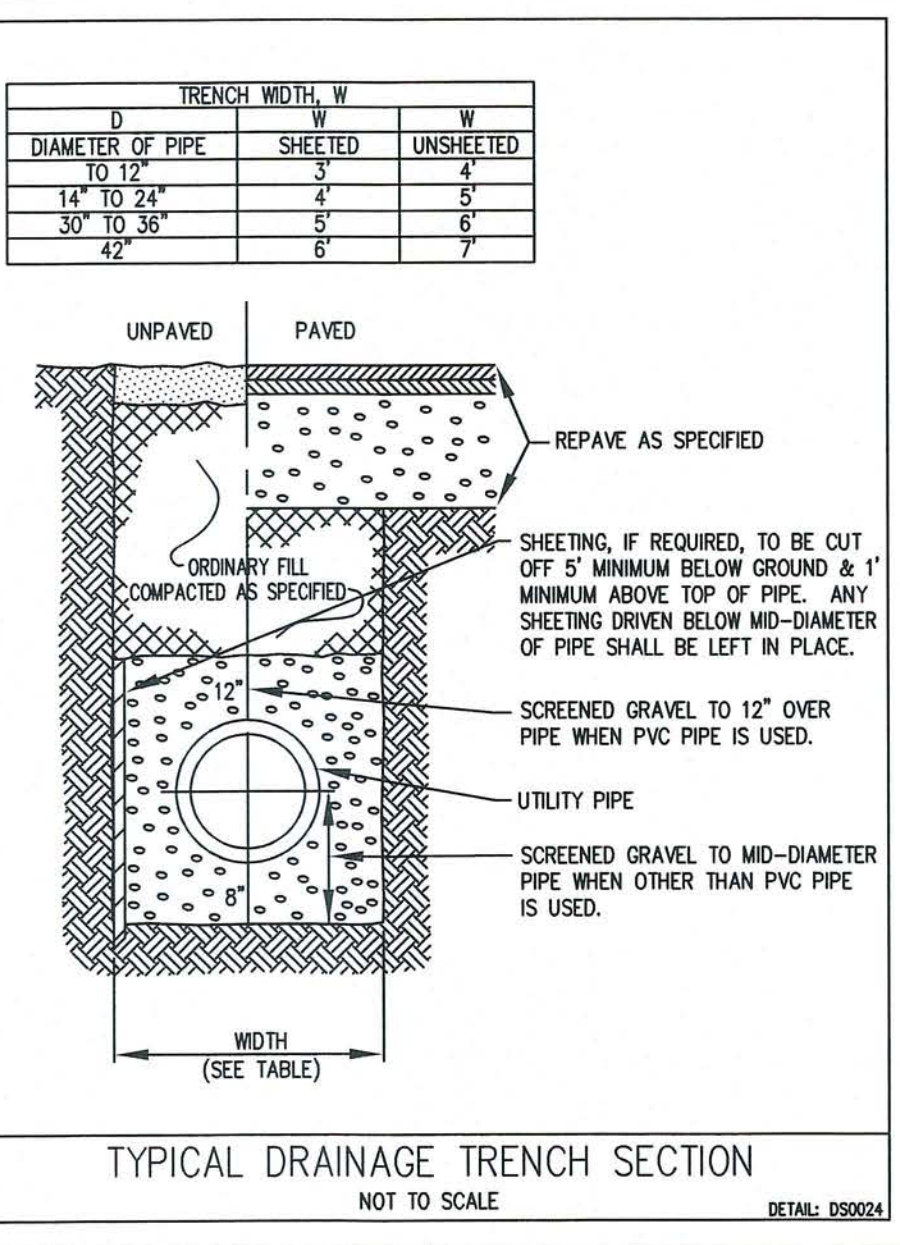
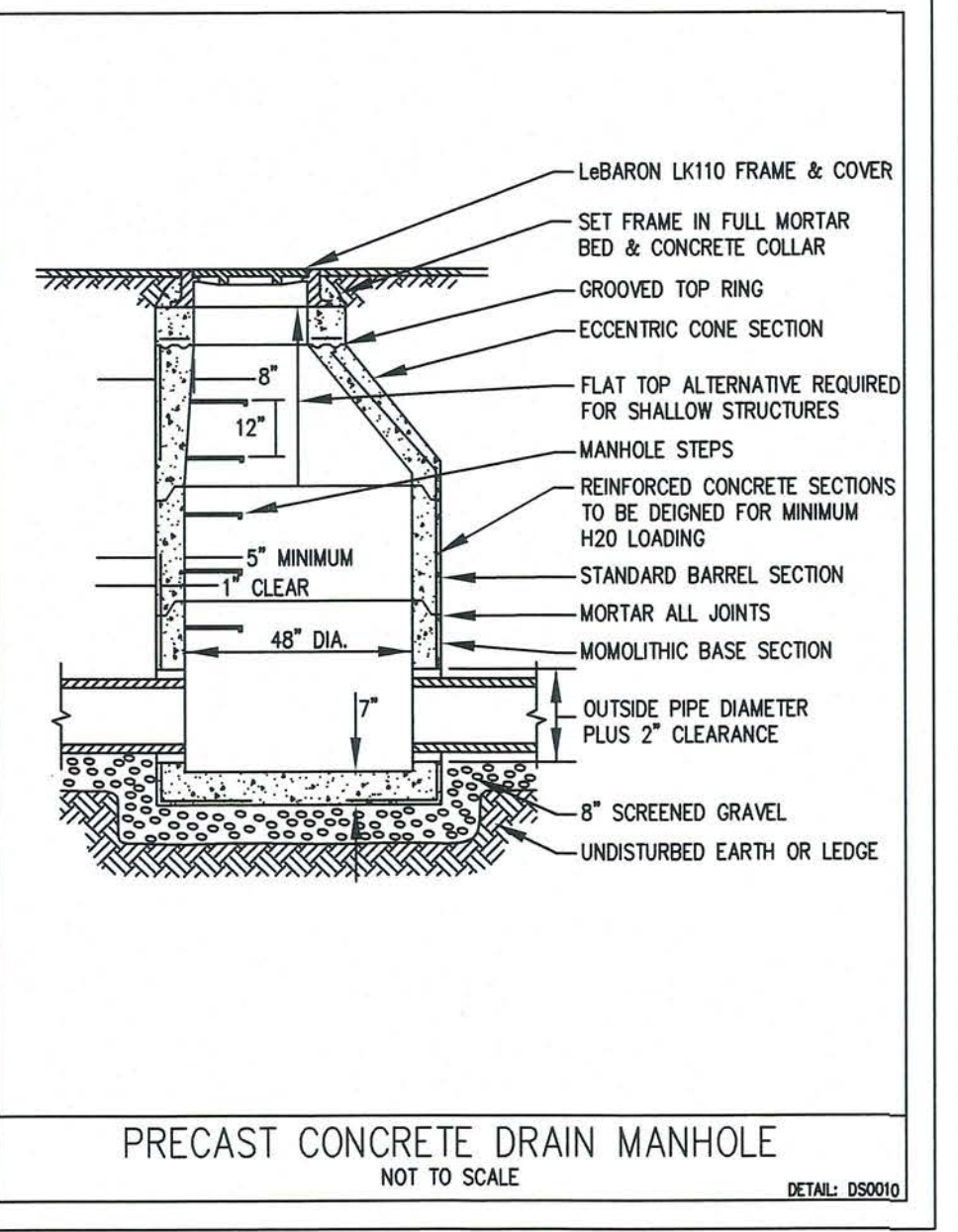
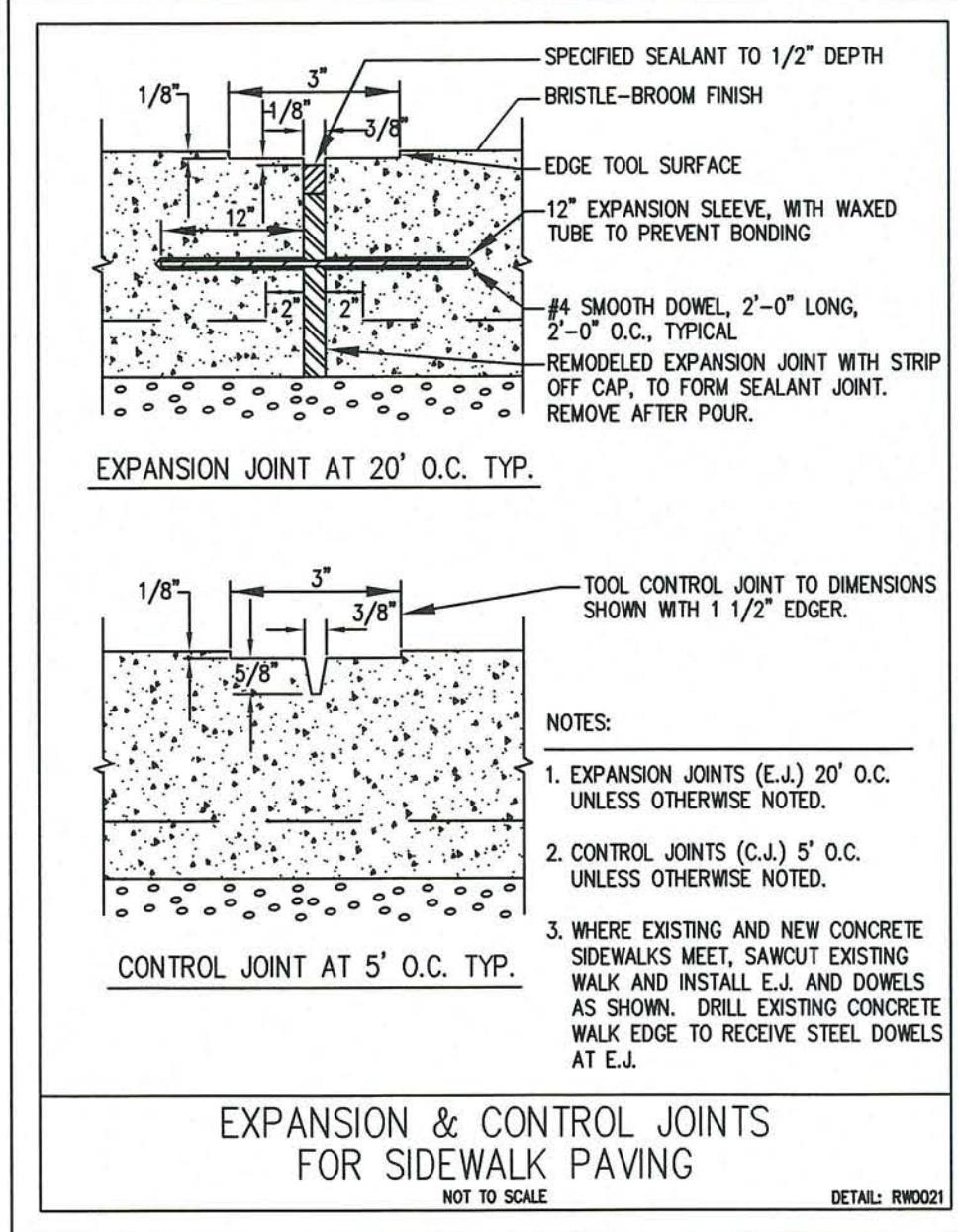
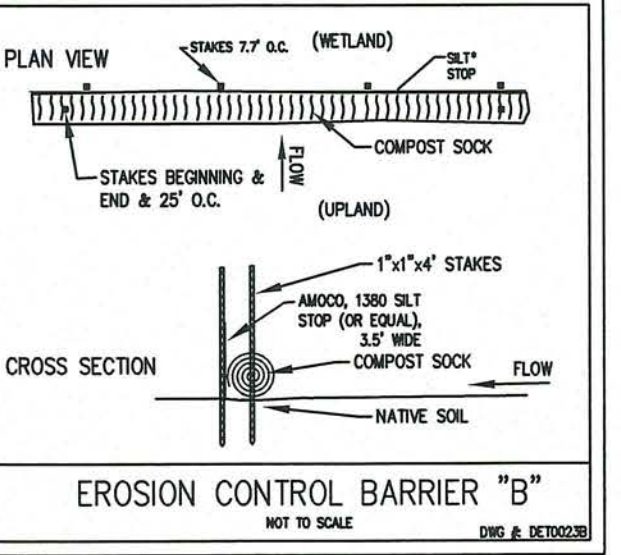
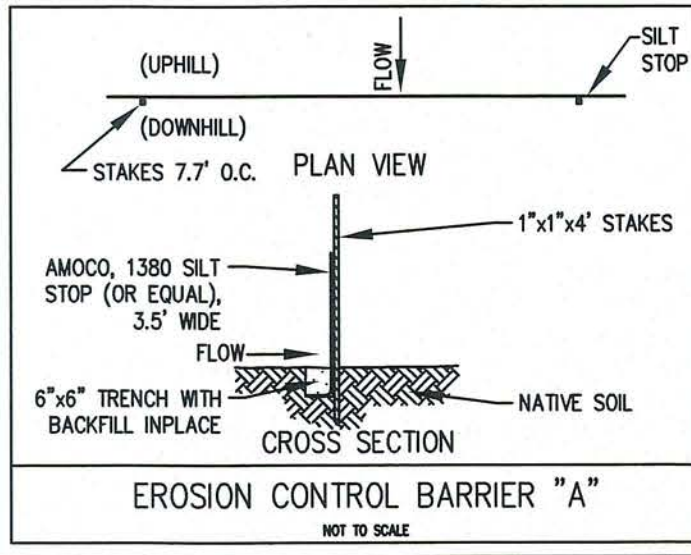
4. THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.

5. EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DILAPIDATED HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.

6. WITH SLOPES STABILIZED AND FINAL INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.

SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES

DETAIL: EC0002



CDS2025-5-C DESIGN NOTES

1. CDS2025-5-C RATED TREATMENT CAPACITY IS 3.0 CFS, OR PER LOCAL REGULATIONS.

2. THE STANDARD CDS2025-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

CONFIGURATION	INLET ONLY (NO INLET PIPE)	INLET ONLY WITH INLET PIPE OR PIPES	INLET ONLY WITH INLET PIPE OR PIPES	INLET ONLY WITH INLET PIPE OR PIPES
GRATED INLET ONLY (NO INLET PIPE)				
GRATED INLET ONLY WITH INLET PIPE OR PIPES				
CURB INLET ONLY (NO INLET PIPE)				
CURB INLET ONLY WITH INLET PIPE OR PIPES				

GENERAL NOTES

1. CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.

2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHSOL.COM

3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.

4. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.

5. STRUCTURE SHALL MEET ASHITO HSD LOAD RATING, ASSUMING EARTH COVER OF 0'-2" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHITO M&B AND BE CAST WITH THE CONTECH LOGO.

6. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

7. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASHITO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

A. ANY SUBMERSE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.

C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.

D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.

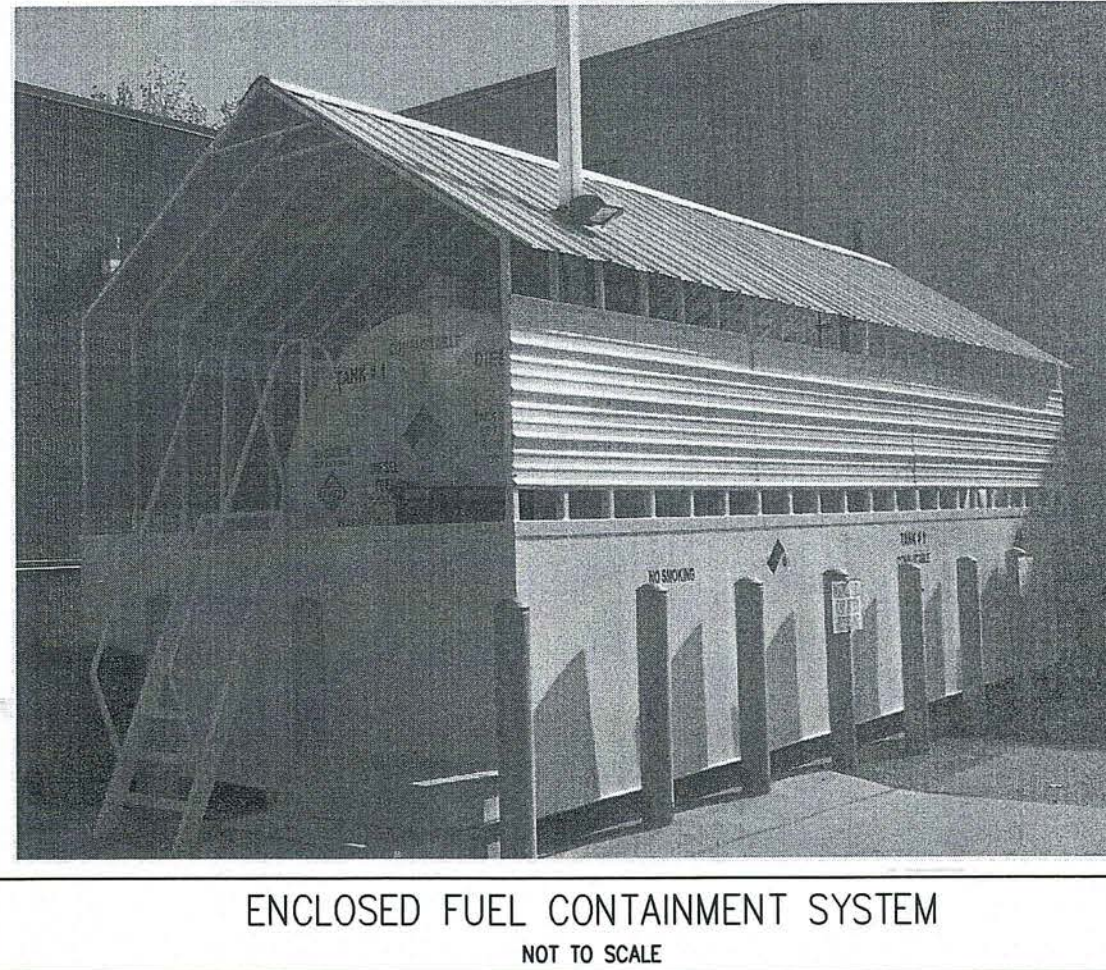
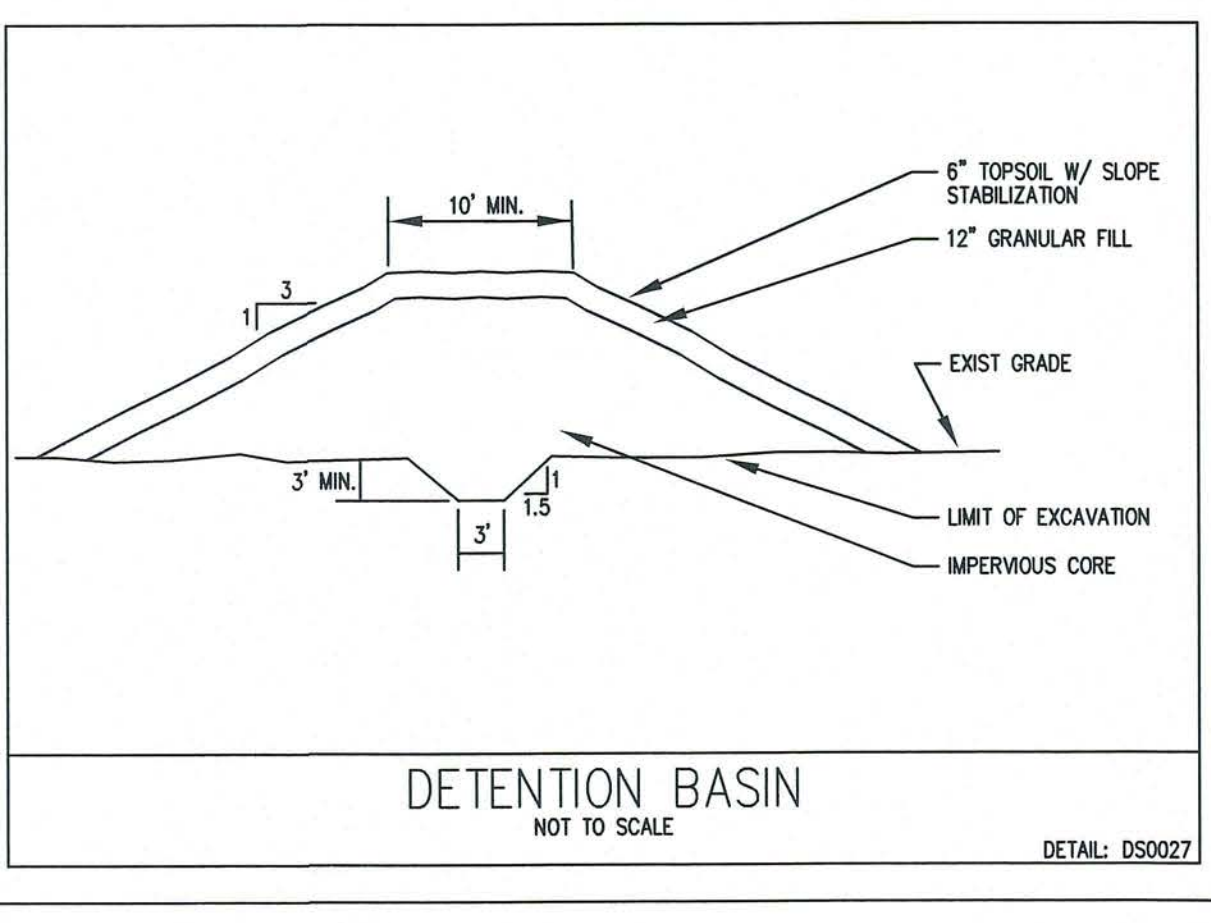
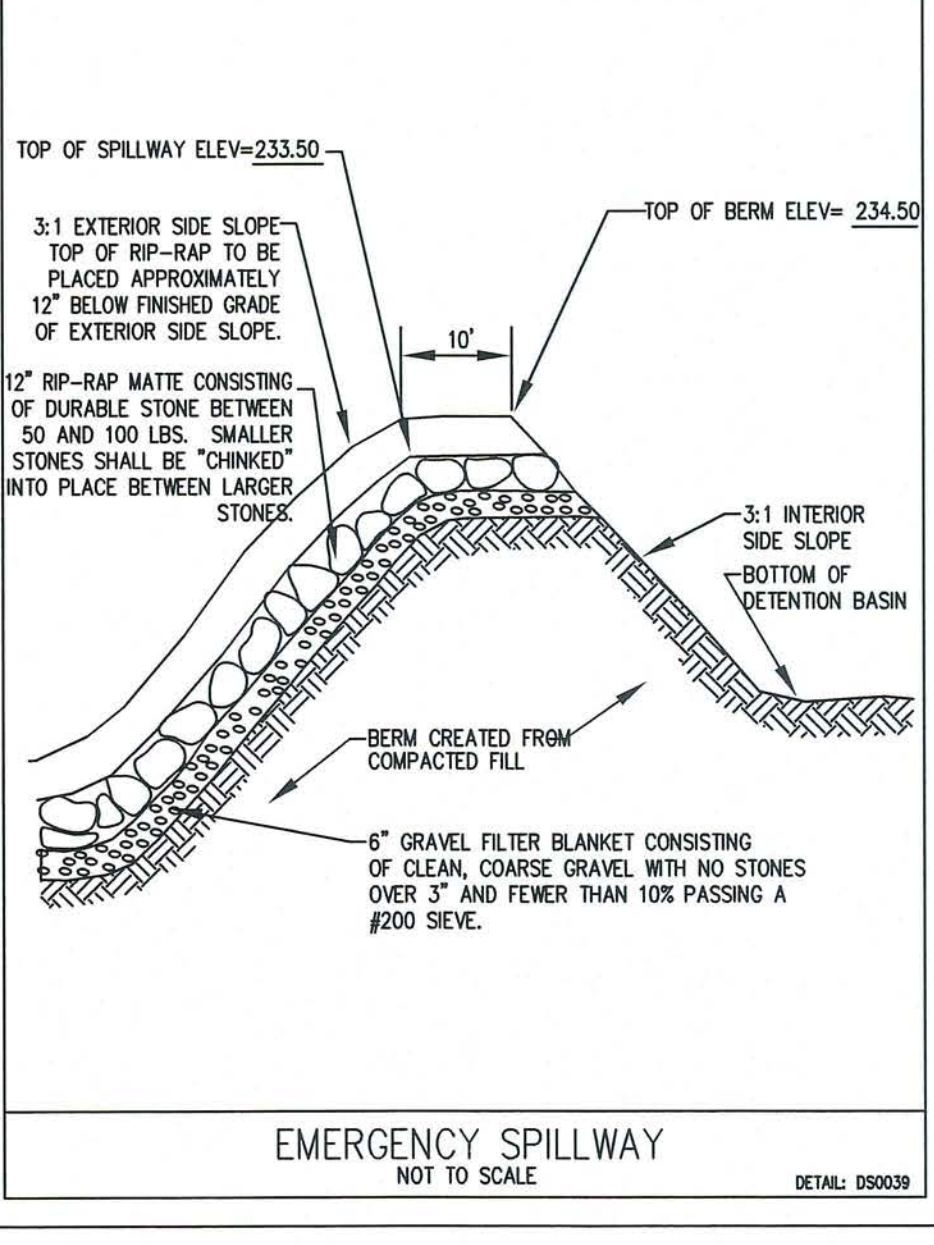
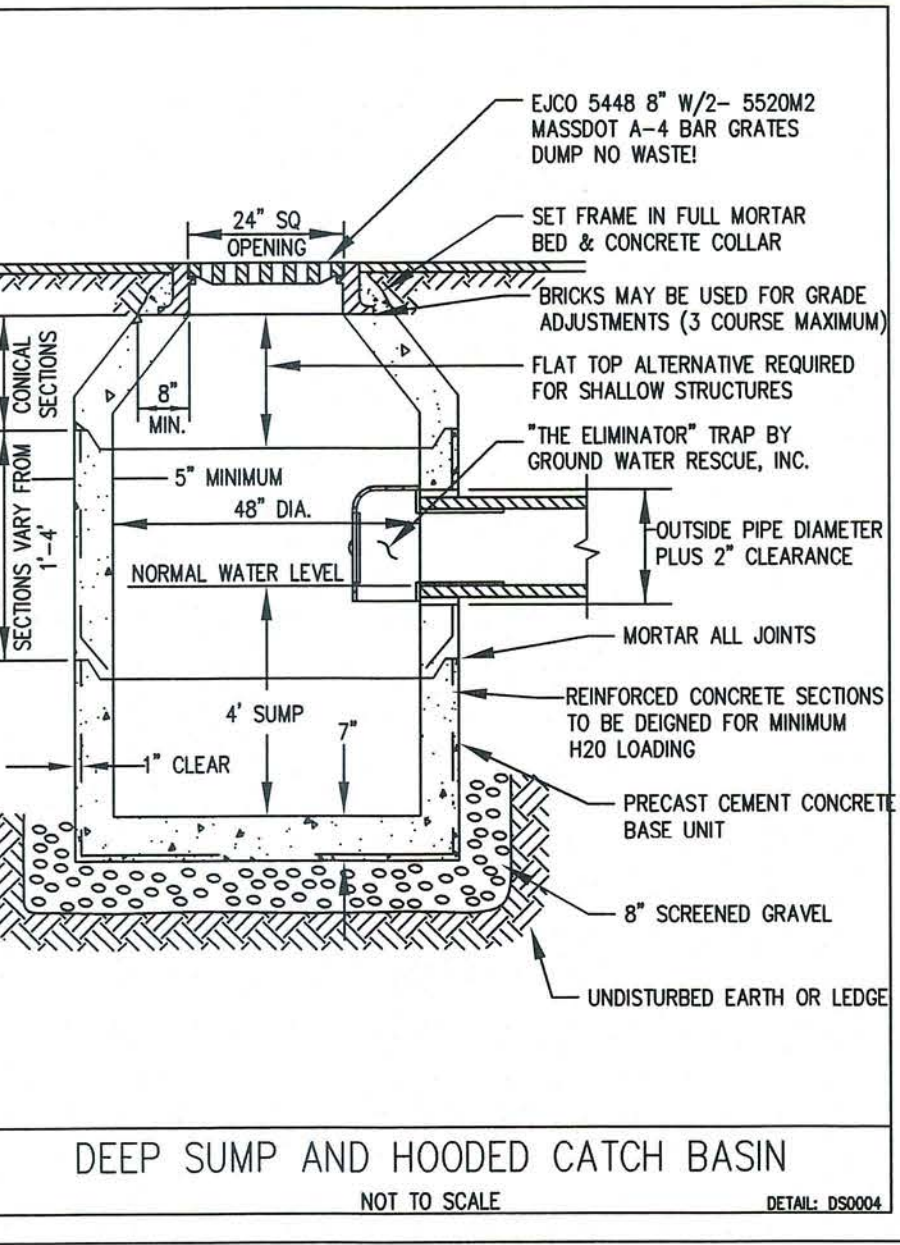
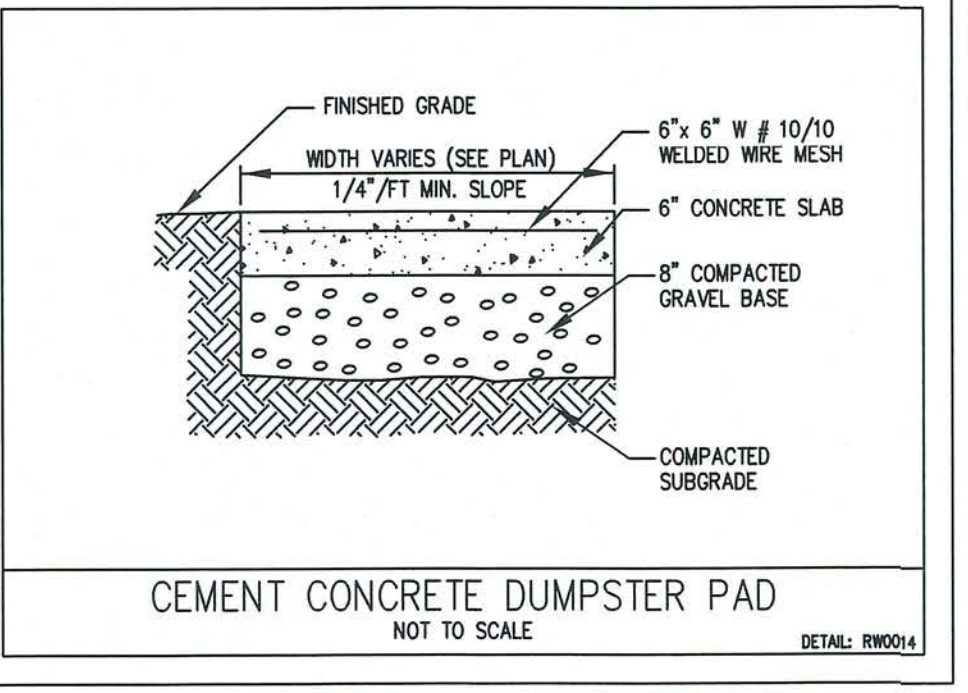
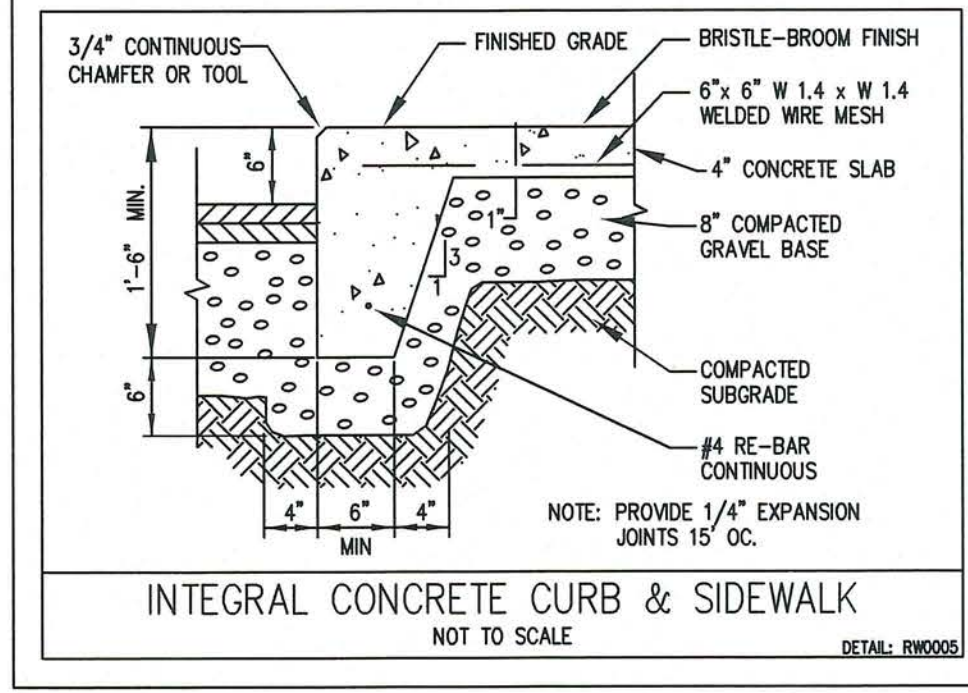
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE URBAN WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MANHOLE. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS2025-5-C ONLINE CDS STANDARD DETAIL

CONTECH ENGINEERED SOLUTIONS LLC

2025 Centre Pointe Dr., Suite 400, West Chester, OH 45380

800-338-1122 610-644-7955 610-644-7957 FAX



SITE PLAN REVIEW

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

DATE: _____

CONSTRUCTION ENTRANCE APRON

NOT TO SCALE

DETAIL: EC0009

CERTIFICATE OF VOTE

SEE CERTIFICATE OF VOTE FOR SITE PLAN APPROVAL DATED, XXXXXXXXXX FOR PLAN ENTITLED, '21 TROTTER DRIVE, MEDWAY MASSACHUSETTS,' FROM THE MEDWAY PLANNING BOARD, VOTED TO APPROVE WITH STANDARD CONDITIONS.

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DRWN BY: ZRB

CHKD BY: PSB

APPROV BY: VML

REVISIONS:

NO.	DATE	DESCRIPTION
2	8/6/19	REVISED INFILTRATION/DETENTION BASIN ADDRESS CONCOM COMMENTS
0	7/25/19	4/5/19 SITE PLAN REVIEW

REV

ENGINEERING DESIGN CONSULTANTS, INC.

32 Turnpike Road

Southborough, Massachusetts

ph:(508) 480-0225 fax:(800)832-5781

PROJECT:

SITE PLAN

21 TROTTER DRIVE

MEDWAY, MASSACHUSETTS 02053

TITLE:

OWNER/APPLICANT:

21 TROTTER DRIVE, LLC

21A TROTTER DRIVE

MEDWAY, MASSACHUSETTS 02053

DETAILS

21 TROTTER DRIVE

21 TROTTER DRIVE, LLC

21A TROTTER DRIVE

MEDWAY, MASSACHUSETTS 02053

FILE NO: 3588

DETAILS

DATE: APRIL 8, 2019

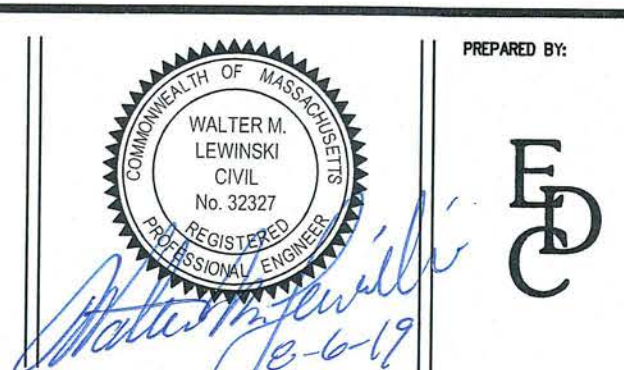
PLAN NUMBER: 6 of 6

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REVISIONS		DATE		DESCRIPTION	
DRWN BY:	ZRB	8/6/19	2	REVISED INFILTRATION/RETENTION BASIN	
CHKD BY:	PSB	7/25/19	1	ADDRESS CONCOM COMMENTS	
APPR BY:	WML	4/8/19	0	SITE PLAN REVIEW	
REV #		DATE			



ENGINEERING DESIGN CONSULTANTS, Inc.
32 Turnpike Road
Southborough, Massachusetts
ph:(508) 480-0225 fax:(800)832-5781

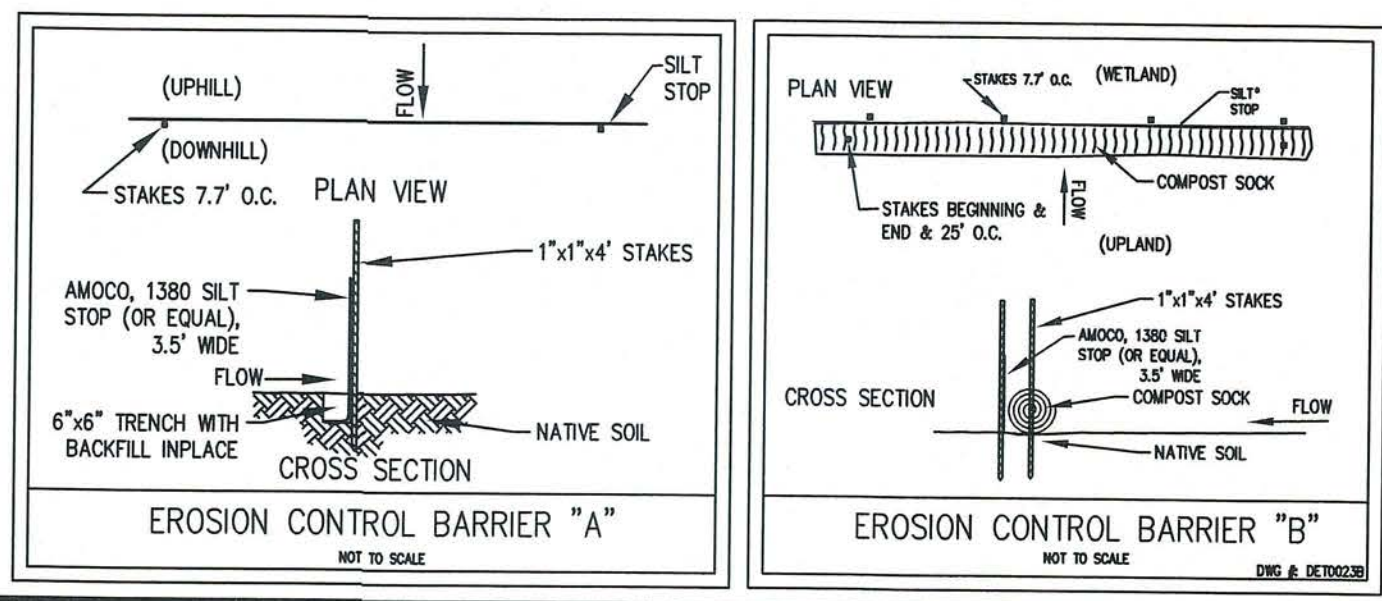
PROJECT: STORMWATER POLLUTION PREVENTION PLAN
21 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

OWNER/APPLICANT: 21A TROTTER DRIVE, LLC
MEDWAY, MASSACHUSETTS 02053

21 TROTTER DRIVE -- OPERATION AND MAINTENANCE PLAN:

- SCHEDULE OF SHORT-TERM OPERATION AND MAINTENANCE (DURING CONSTRUCTION):
 - EROSION CONTROL BARRIER: THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE INSPECTED WEEKLY, PRIOR TO STORM EVENTS AND IMMEDIATELY AFTER STORM EVENTS TO ENSURE ITS INTEGRITY. PORTIONS OF THE EROSION CONTROL BARRIER SHALL BE REMEDIATED AS NECESSARY TO PREVENT EROSION.
 - CONSTRUCTION COMPLETION: THE ENTIRE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED UPON COMPLETION OF CONSTRUCTION. PORTIONS OF THE SYSTEM CONTAINING SEDIMENTATION SHALL BE PROPERLY CLEANED AND THE SILT REMOVED.
- MAINTENANCE AGREEMENT/SCHEDULE FOR LONG-TERM OPERATION AND MAINTENANCE (POST CONSTRUCTION)
 - OWNER OF THE STORMWATER SYSTEM:
OWNERS SIGNATURE: _____ DATE: _____
 - PERSON/ENTITY RESPONSIBLE FOR FINANCING MAINTENANCE AND EMERGENCY REPAIRS: _____
 - CDS UNIT INSPECTIONS: INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE AND IS EASILY PERFORMED. POLLUTANT DEPOSITION AND TRANSPORT MAY VARY FROM YEAR TO YEAR, AND REGULAR INSPECTIONS WILL HELP INSURE THAT THE SYSTEM IS CLEANED OUT AT THE APPROPRIATE TIME.
AT A MINIMUM, INSPECTIONS SHOULD BE PERFORMED FOUR TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES OR OBSTRUCTIONS TO INLET AND/OR SEPARATION SCREEN. THE INSPECTION SHOULD ALSO IDENTIFY ACCUMULATIONS OF HYDROCARBONS, TRASH, AND SEDIMENT IN THE SYSTEM. MEASURING POLLUTANT ACCUMULATION CAN BE DONE WITH A CALIBRATED DIPSTICK, TAPE MEASURE OR OTHER MEASURING INSTRUMENT. IT IS USEFUL AND OFTEN REQUIRED AS PART OF A PERMIT TO KEEP A RECORD OF EACH INSPECTION. (SEE THE INSPECTION AND MAINTENANCE GUIDE PROVIDED BY THE MANUFACTURER AND INCLUDED IN THE STORMWATER REPORT)
 - CLEANING OF THE CDS SYSTEM SHOULD BE DONE WHEN SEDIMENT ACCUMULATES AT A DEPTH OF TWO FEET WITHIN THE UNIT AND SHOULD BE DONE DURING DRY WEATHER CONDITIONS WHEN NO FLOW IS ENTERING THE SYSTEM. CLEANOUT OF THE CDS WITH A VACUUM TRUCK IS GENERALLY THE MOST EFFECTIVE AND CONVENIENT METHOD OF EXCAVATING POLLUTANTS FROM THE SYSTEM. SIMPLY REMOVE THE MANHOLE COVERS AND INSERT THE VACUUM HOSE INTO THE SUMP. THE SYSTEM SHOULD BE COMPLETELY DRAINED DOWN AND THE SUMP FULLY EVACUATED OF SEDIMENT. THE AREA OUTSIDE THE SCREEN SHOULD BE PUMPED OUT ALSO IF POLLUTANT BUILD-UP EXISTS IN THIS AREA.
 - CATCH BASINS INSPECTIONS AND CLEANINGS AT A MINIMUM, SHOULD BE PERFORMED TWO TIMES PER YEAR, HOWEVER MORE OR LESS FREQUENT INSPECTIONS MAY BE NECESSARY WHERE FREQUENT WINTER SANDING OPERATIONS MAY LEAD TO RAPID ACCUMULATIONS. THE VISUAL INSPECTION SHOULD ASCERTAIN THAT THE SYSTEM COMPONENTS ARE IN WORKING ORDER AND THAT THERE ARE NO BLOCKAGES.
 - BUILDING GUTTERS: THE PROPOSED BUILDING WILL CONTAIN GUTTERS. THE DOWNSPOUTS WILL BE DIRECTED TO THE MANHOLES THROUGH ROOF LEADER PIPES. GUTTERS SHALL BE CLEANED PERIODICALLY AS NEEDED AND/OR AT LEAST TWICE PER YEAR, AFTER LEAVES HAVE FALLEN IN THE FALL SEASON AND IN THE SPRING SEASON AFTER NEW LEAF GROWTH. IT MAY BE DETERMINED UPON INSPECTION THAT CLEANING MORE OFTEN MAY BE NECESSARY. DOWNSPOUT STRAINERS SHALL BE USED AT DOWNSPOUT LOCATIONS WITHIN THE GUTTERS.
 - INFILTRATION/RETENTION BASIN: INSPECTIONS SHOULD BE DONE AFTER EVERY MAJOR STORM DURING THE FIRST 3 MONTHS OF OPERATION AND NORMALLY TWICE A YEAR. MOW THE SIDE SLOPES AND RAKE THE BOTTOM TO REMOVE TRASH, DEBRIS, GRASS CLIPPINGS AND ACCUMULATED ORGANIC MATERIAL TWICE A YEAR.
 - THE ESTIMATED ANNUAL MAINTENANCE COST OF THIS STORMWATER MANAGEMENT SYSTEM IS \$1,500.

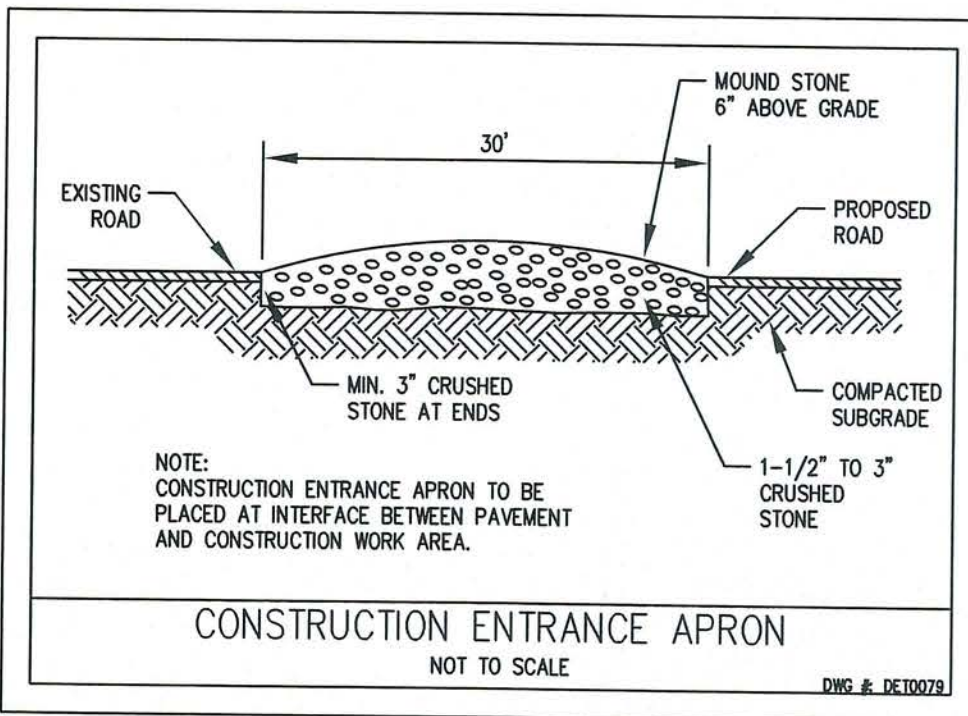
- MAINTENANCE REPORTS SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS OPERATION & MAINTENANCE PLAN AND CONSTRUCTION PHASE. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
 - INSPECTION DATE;
 - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
 - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
 - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
 - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
 - LOCATION OF BEST MANAGEMENT PRACTICES (STRUCTURES), "BMPs" THAT NEED TO BE MAINTAINED;
 - LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
 - LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
 - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
- ALL REPORTS SHALL BE SUBMITTED TO THE PUBLIC WORKS SUPERINTENDENT ON A MONTHLY BASIS DURING CONSTRUCTION PERIOD.
- REPORTS AFTER CONSTRUCTION SHALL BE RETAINED FOR TEN YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE AND SUBMITTED TO THE CONSERVATION COMMISSION UPON REQUEST.
- ILLUOT DISCHARGES: ALL ILLUOT DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED. IF AN ACCIDENTAL SPILL OCCURS (OIL AND/OR CHEMICAL SPILLS, RADIATION EMERGENCIES, AND BIOLOGICAL DISCHARGES) THE NATIONAL RESPONSE CENTER MUST BE CALLED AT 1-800-424-8802



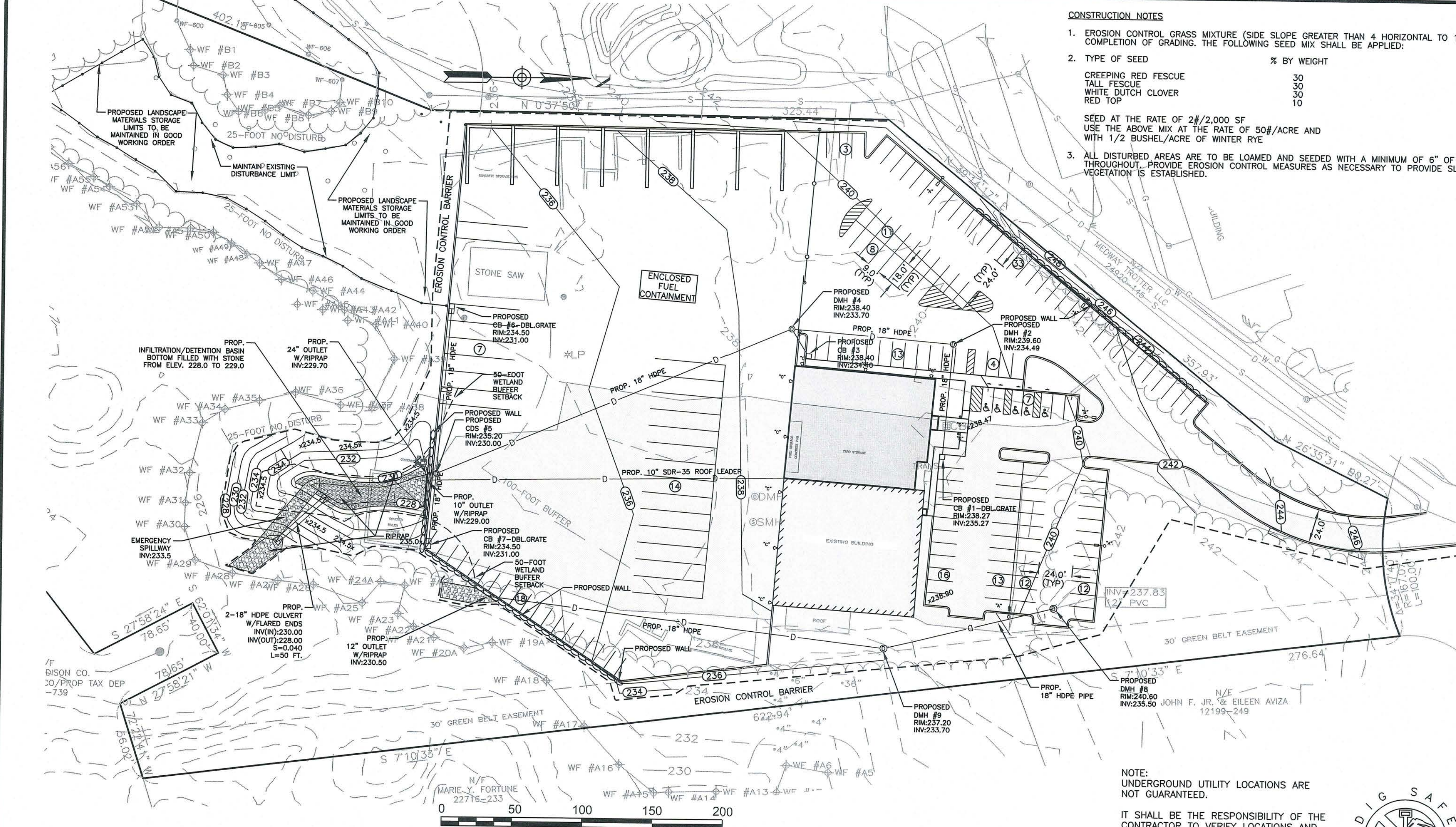
NOTE:
UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION

DIGSAFE IS TO BE NOTIFIED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION. CALL DIGSAFE AT 811

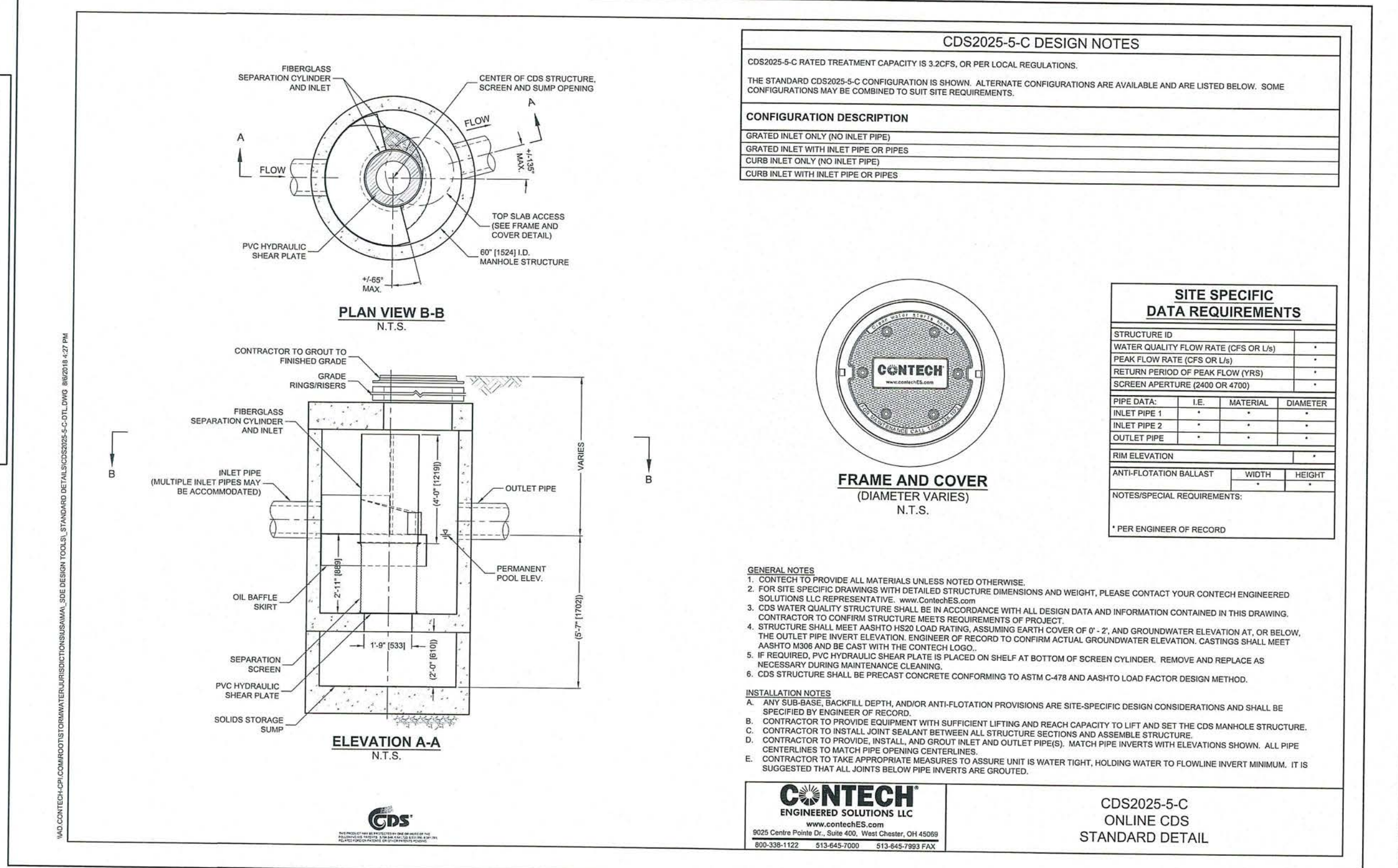
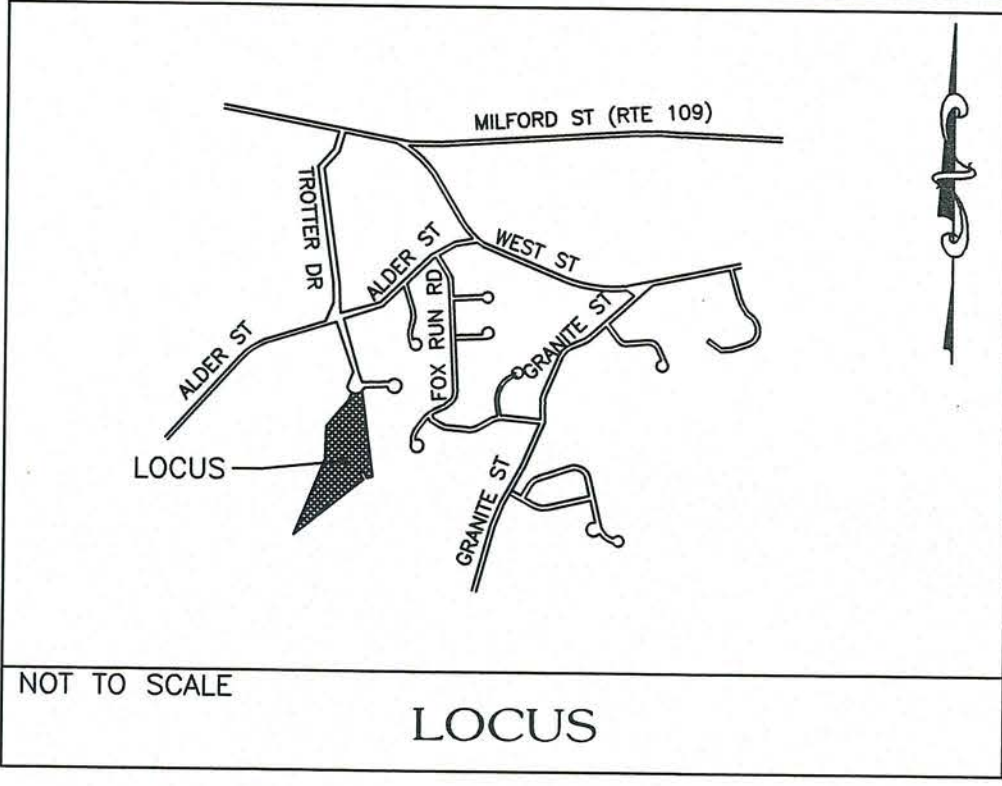


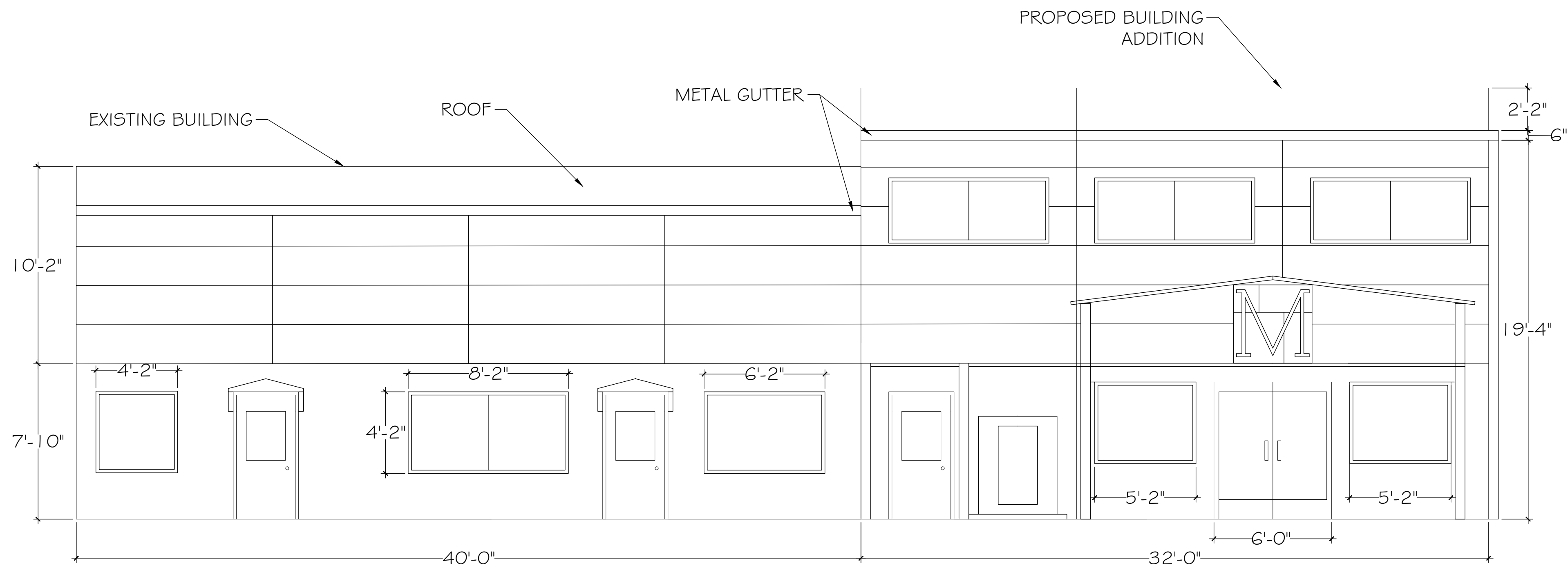
- ### SEDIMENTATION & EROSION CONTROL METHODS & PROCEDURES
- DETAIL: EC0002
- EROSION CONTROL MEASURES (SEE DETAILS) SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AS INDICATED.
 - MEASURES SHALL BE TAKEN TO LIMIT THE TRACKING OF MATERIAL FROM THE SITE ONTO TROTTER DRIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED MEASURES AS NECESSARY.
 - THROUGHOUT CONSTRUCTION, ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED AND MULCHED AS SOON AS PRACTICABLE IN ORDER TO AVOID OVERLAND TRANSPORT OF SEDIMENT.
 - EROSION CONTROL MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND PARTICULARLY AFTER SIGNIFICANT RAINFALL. DIAPHRAGM HAYBALES AND SILT STOP SHALL BE REPLACED AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE BARRIER.
 - WITH SLOPES STABILIZED AND FINAL INSPECTION COMPLETE, THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OFF-SITE.



CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION AND SEDIMENTATION CONTROL PLAN:

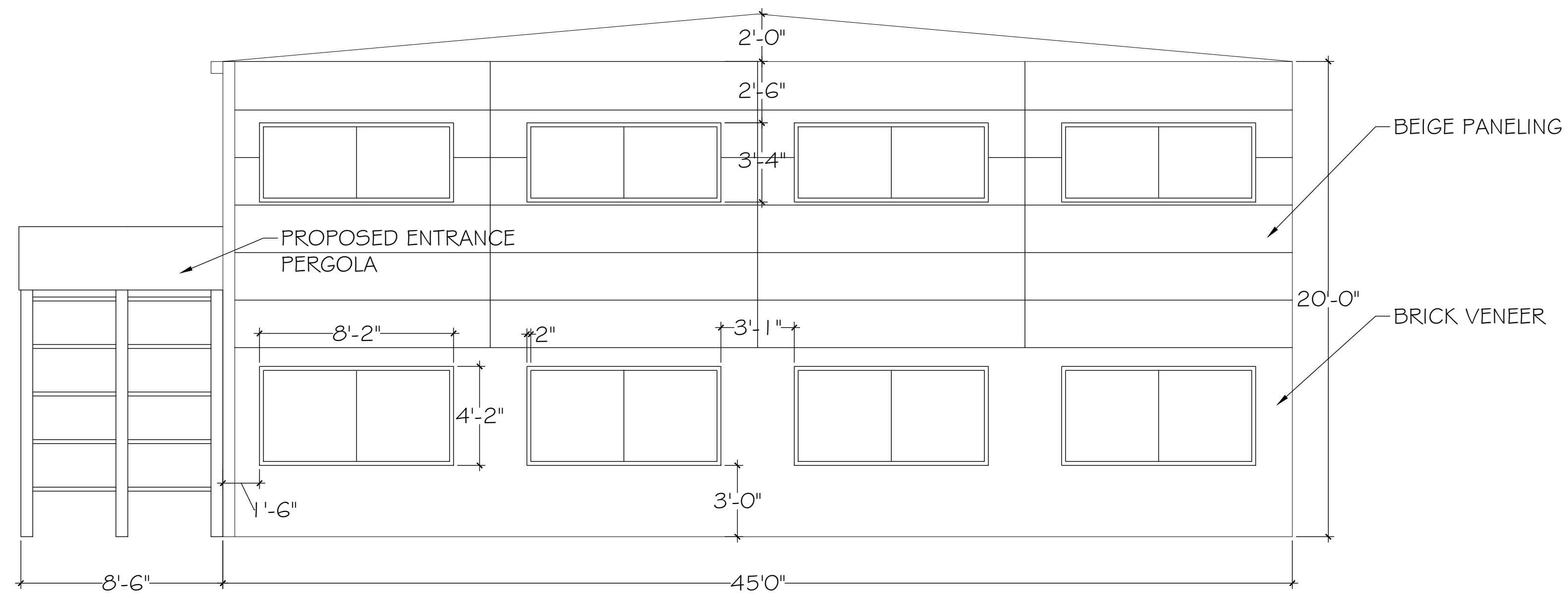
- NAME OF PERSON AND ENTITY RESPONSIBLE FOR PLAN COMPLIANCE: _____
- PROJECT MANAGER OF 21 TROTTER DRIVE CONSTRUCTION IS THE CONTACT PERSON. CONTACT NUMBER IS _____
- CONSTRUCTION PERIOD POLLUTION PREVENTION MEASURES: AS DEFINED WITHIN.
- EROSION AND SEDIMENTATION CONTROL PLAN DRAWINGS: REFER TO PLAN VIEW FOR EROSION CONTROL MEASURE LOCATIONS.
- DETAIL DRAWINGS AND SPECIFICATIONS FOR EROSION CONTROL: REFER TO INDIVIDUAL DETAILS FOR INSTALLATION OF EROSION CONTROL MEASURES.
- VEGETATION PLANNING: THE PROPOSED CONSTRUCTION ACTIVITIES WILL BE PERFORMED WITHIN THE LIMITS OF WORK AREA (SILTATION BARRIER BEING THE LIMIT OF WORK). THE FINAL PROPOSED SURFACE WILL CONSIST OF PAVING AND GRASSED AREAS (REFER TO SEQUENCING BELOW).
- SITE DEVELOPMENT PLAN: REFER TO PLAN VIEW & APPROVED SITE PLANS.
- CONSTRUCTION SEQUENCING PLAN: THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED:
 - EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
 - ANTI-TRACKING STONE CONSTRUCTION ENTRANCE.
 - CLEAR AND GRUB.
 - STRIP AND STOCKPILE TOPSOIL. PROVIDE TEMPORARY SEEDING OF STOCKPILE. PLACE SILTATION BARRIER AROUND STOCKPILE AND PLACE TARPS OVER THE STOCKPILE IF NECESSARY.
 - ROUGH GRADE PROPOSED SITE.
 - EXCAVATE AND CONSTRUCT UTILITIES SYSTEMS. REMOVE UNUSABLE MATERIAL FROM SITE.
 - INSTALL WATER PIPE, DRAINAGE, CDS UNITS, AND OTHER UTILITIES.
 - EROSION CONTROL MEASURES AT NEW DRAINAGE INLETS.
 - PLACE BASE PAVING.
 - CONSTRUCT BUILDING.
 - FINAL GRADING.
 - LOAM AND SEED ALL DISTURBED AREAS AND LANDSCAPE YARDS.
 - FINAL TOP COURSE PAVING.
 - REMOVE EROSION CONTROL PROVISIONS UPON STABILIZATION AND FINAL SITE INSPECTION BY APPROVING AUTHORITY.
- SEQUENCING OF EROSION AND SEDIMENTATION CONTROLS: EROSION CONTROL PROVISIONS IN PLACE AND INSPECTED PRIOR TO ANY AND ALL CONSTRUCTION.
- OPERATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS: THE CONTRACTOR/OPERATOR IS RESPONSIBLE FOR MAINTAINING A STABLE SITE. THE OPERATOR SHALL EMPLOY EROSION AND SEDIMENTATION CONTROLS TO PREVENT EROSION AND SEDIMENT RELEASES BEYOND THE SEDIMENT BARRIER. THE EROSION CONTROL MEASURES INDICATED ARE THE MINIMUM THAT SHOULD BE EMPLOYED. THE CONTRACTOR/OPERATOR SHALL EMPLOY ADDITIONAL CONTROLS AS THE ON-SITE CONSTRUCTION EXPERIENCE DICTATES.
- INSPECTION SCHEDULE:
 - INSPECTIONS SHALL TAKE PLACE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.25\"/>
- MAINTENANCE SCHEDULE: REPORTS OF SUMMARIZING THE INSPECTIONS SHOULD BE KEPT AS PART OF THIS CONSTRUCTION PERIOD POLLUTION PREVENTION AND SOIL EROSION AND SEDIMENTATION CONTROL PLAN. AT A MINIMUM THE INSPECTION REPORTS SHALL INCLUDE:
 - INSPECTION DATE;
 - NAME, TITLE AND QUALIFICATIONS OF THE PERSONNEL MAKING THE INSPECTION;
 - WEATHER CONDITIONS AT THE TIME OF INSPECTION AND SINCE THE PREVIOUS INSPECTION, INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT THAT OCCURRED, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT, AND WHETHER ANY DISCHARGES HAVE OCCURRED;
 - DISCHARGES THAT OCCUR AT THE TIME OF INSPECTION;
 - LOCATION OF DISCHARGES OR SEDIMENTATION FROM THE SITE;
 - LOCATION OF "BMPs" THAT NEED TO BE MAINTAINED;
 - LOCATION OF "BMPs" THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
 - LOCATIONS WHERE ADDITIONAL "BMPs" ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
 - CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THIS PLAN.
- ALL REPORTS SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS SUPERINTENDENT ON A WHEN REQUESTED DURING THE CONSTRUCTION PERIOD, AND MAINTAINED FOR THREE YEARS AFTER FINAL CONSTRUCTION PROJECT CLOSEOUT IS COMPLETE.





SOUTH ELEVATION SECTION

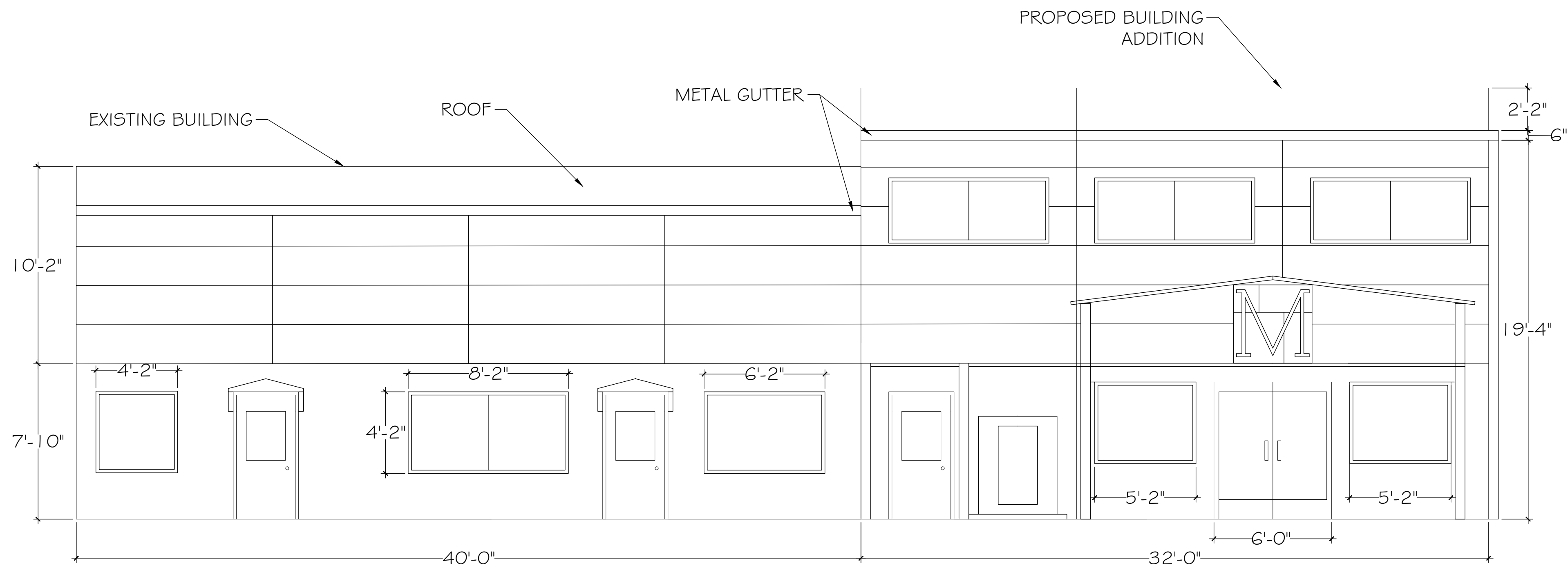
SCALE: 1" = 4' - 0"



EAST ELEVATION SECTION

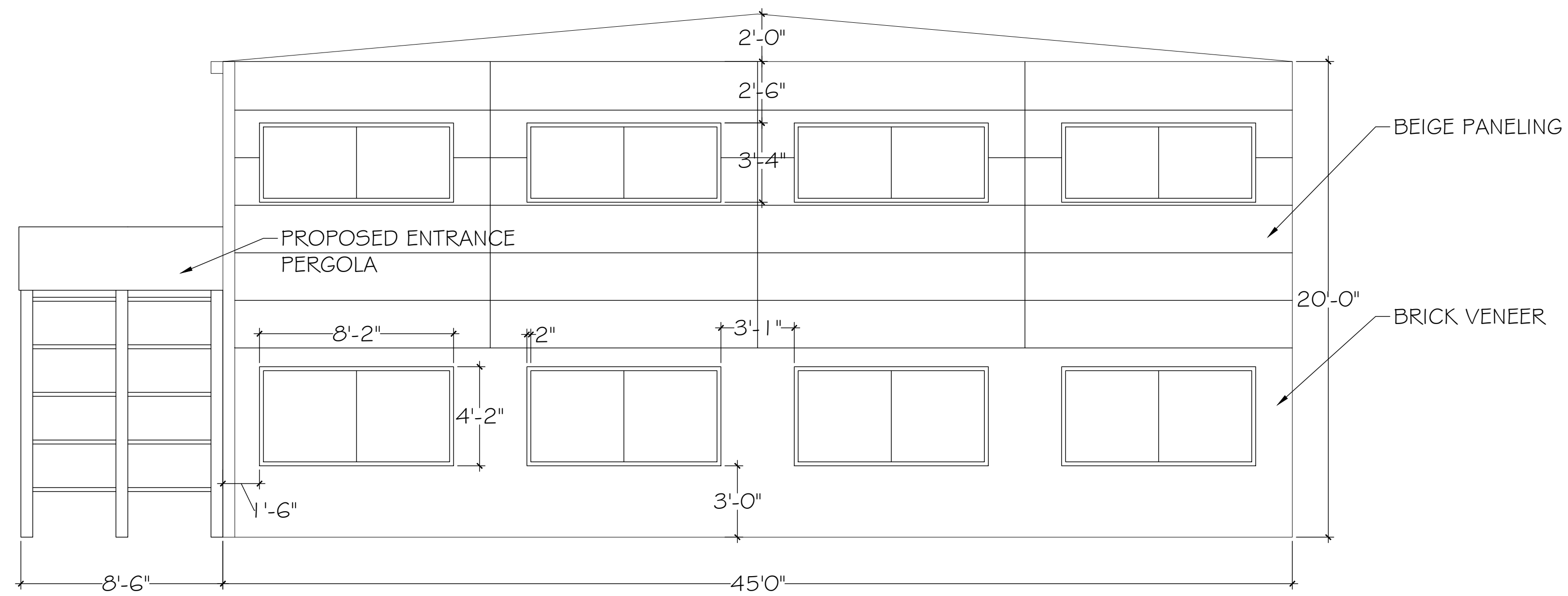
SCALE: 1" = 4' - 0"





SOUTH ELEVATION SECTION

SCALE: 1" = 4' - 0"



EAST ELEVATION SECTION

SCALE: 1" = 4' - 0"



COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

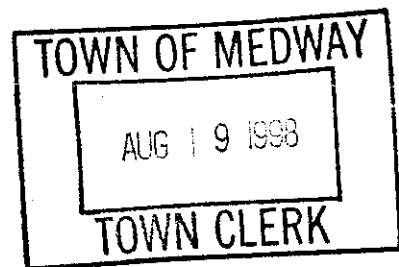
IN THE MATTER OF: R. P. Marzilli & Co., Inc.
Petitioner

OPINION OF THE BOARD

REQUEST FOR SPECIAL PERMIT & VARIANCE

HEARING: June 17, 1998
DECISION: August 13, 1998

MEMBERS PRESENT: David J. Cole, Chairman
David E. D'Amico, Clerk
Jan V. Morris
Stephen J. Reding
Bonnie L. Tetrault



*20 day
Appeal date
Sept 08, 1998*

THE WRITTEN OPINION WAS DELIVERED ON AUGUST 14, 1998

OPINION OF THE BOARD

This is a proceeding of the Zoning Board of Appeals of the Town of Medway, MA (hereinafter the Board) acting under the Zoning By-Laws of the Town of Medway, MA 02053 and the Massachusetts General Law C40A, as amended, in which the petitioner, R. P. Marzilli & Co., Inc. requests a Special Permit and Variance to construct a building for storage of trees and shrubs, equipment, garage and administration offices at Lot 7A-2, Trotter Drive, Medway, MA 02053.

Following the giving of notice as required by law, a public hearing was held on June 17, 1998, in the Fire Station Meeting Room, Village St., MA 02053.

The hearing opened with the Chairman reading the application into the record.

Mr. Robert Marzilli, President of R.P. Marzilli & Co., Inc., Mr. Joseph Hanlon of ESP Associates, an engineering firm, and Mr. Paul Yorkis, Realtor, appeared before the Board to request relief from sections V, N, 1, (e) and V, P, 4 of the by-law. Mr. Marzilli wishes to construct a 12,000 square foot building from which he will operate a landscape construction business. The subject 11.3 acre parcel known as Lot 7A-2 Trotter Drive is located in the Industrial III zoning district and borders Stall Brook which protected under the rules and regulations of the Flood Plain/Wetland Protection District. There is a Purchase & Sale Agreement in place between the owner, Union Rock & Materials Corp., and Mr. Marzilli. The new building will house the offices, equipment, garage, and the temporary storage of trees and shrubs. The primary focus of the business is landscape construction which includes all phases of landscaping and site development, i.e., design, estimating, plant material installation, site work, landscape maintenance, stone masonry, curb setting, carpentry and hardscapes. The company is fully bonded and insured. The company owns trucks, backhoes, bobcats, trailers and other equipment for use in daily operations. Plant material, mulch and stone products are stored on-site until delivered to projects for installation. During the winter months, outdoor activities slow down, however, the company is busy with design and bid work and equipment maintenance. Mr. Marzilli employs approximately 20 people, including a bookkeeper, office manager, project manager, landscape architect, project foremen and laborers. The hours of operation are 6:30 AM to 5:00 PM, Monday through Saturday. There will be some deliveries, one to three per week, however, much less than the normal daily industrial type trucking. The plan presented details the proposed single story, 12,000 sf building, the 100' wetland buffer zone, parking area, utilities, residential setback, etc. All are proposed in conformance with all dimensional regulations and requirements of the District. Of the 11 acre parcel, over 5 acres will remain in its natural state. The petitioner stated that this type of low-impact business is far less intrusive than the allowable uses in the district and that the town would benefit.

At the hearing, Mr. Paul DeSimone, Chairman of the Industrial Development Commission, stated his memberships approval of the proposed plan. Four area residents spoke in favor of the proposed plan. No one spoke in opposition.

The motion was made to close the hearing, seconded and the vote was unanimous to close. The secretary was instructed, pursuant to Section P, Paragraph 6 of the Zoning By-Law, to request recommendations and approvals of the proposed plan from the Board of Health, Conservation Commission and Planning Board.

On August 13, 1998, the Board opened deliberations. The Board noted no objections to the proposed plan by either the Planning Board or Board of Health, and no comments were received from the Conservation Commission within the grace period. The Board found the proposed use or structure will not interfere with the general purposes, and will not be detrimental to the public health, safety and/or welfare. The Board determined the utilities for the proposed plan to be located, elevated and constructed so as to minimize or eliminate flood damage and the methods of disposal of sewage, refuse and other wastes and methods of providing drainage to be adequate. The Board determined a hardship exists due to the topography and proximity to the wetlands and residential area, and that the proposed use to be of a level of activity which is far more conducive to the area than that of the customarily allowed uses. The Board also noted the lack of opposition to the proposed plan, in particular, the owners of neighboring residential lots.

In a unanimous decision of the five members, the Board voted to grant to Robert P. Marzilli a Special Permit pursuant to Section V, P, 4 and a Variance to Section V, N, 1, (e) to allow for the construction of a single story building to be used as the offices, garage, and the storage of equipment, trees and shrubs of R. P. Marzilli & Co., Inc., a landscape architectural firm, at Lot 7A-2, Trotter Drive, Medway, MA 02053. The Special Permit and Variance are subject to Site Plan Review. The hours of operation shall be 6:30 AM to 5:00 PM, Monday through Saturday.

The Board hereby makes a detailed record of its findings and proceedings relative to this petition, sets forth its reasons for its findings and decision, incorporates by reference any plan or diagram received by it, directs that this decision be filed in the office of the Town Clerk and be made a public record and that notice and copies of its decision be made forthwith to all parties or persons interested.

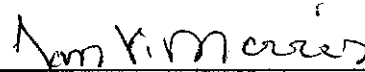
IN ACCORDANCE WITH MASSACHUSETTS GENERAL LAW, CHAPTER 40A, SECTION 11 NO VARIANCE, SPECIAL PERMIT OR CONSTRUCTIVE GRANT OF A VARIANCE TAKES EFFECT UNTIL RECORDED IN THE REGISTRY OF DEEDS.



David J. Cole, Chairman



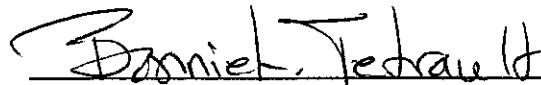
David E. D'Amico, Clerk



Jan V. Morris



Stephen J. Reding



Bonnie L. Tetrault

May 11, 1998

Town of Medway
155 Village Street
Medway, MA 02053

To Whom It May Concern:

The purpose of this letter is to introduce my company, R. P. Marzilli & Co., Inc. and provide a description of its operations.

I have a degree in Landscape Architecture from the University of Massachusetts at Amherst. I founded R. P. Marzilli & Co., Inc. in 1985. The company was located in Newton, MA until 1990. Since 1990 the company has leased space at 229 Lowland Street in Holliston, MA.

The primary focus of the business is landscape construction. All phases of landscaping and site development are part of our daily operations. This includes design, estimating, plant material installation, site work, landscape maintenance, stone masonry, curb setting, carpentry and hardscapes. We have a client base that includes landscape architects, general contractors, property developers, municipalities, and homeowners. The company is fully bonded and insured. We own trucks, backhoes, bobcats, trailers and other equipment for use in our daily operations. Plant material, mulch and stone products are stored on-site until delivered to projects for installation. During the winter months (January through March) our outdoor activities slow down due to typical New England weather. However, we are still kept busy by design and bid work and maintenance on our equipment.

We employ approximately 20 people. They include a full-time bookkeeper, an office manager, project manager, landscape architect, project foremen and laborers. We offer our employees a full benefit package including health insurance, dental expense coverage, and a 401K retirement plan.

I take great pride in the quality of work that we provide for our clients. I have built this company on the merit of that work. I am dedicated to leading a respected and successful company. The result is secure employment for our employees and satisfied customers.

Please contact me with any questions you may have.

Sincerely,

Robert P. Marzilli
President

TOWN OF MEDWAY BUILDING DEPARTMENT
APPLICATION FOR BUILDING PERMIT FOR NEW HOMES

ADDRESS-LOT# _____ HOUSE# 21 STREET Trotter Drive
HOUSE NUMBER MUST BE OBTAINED FROM THE ASSESSOR'S OFFICE PRIOR TO FILING APPLICATION

DIMENSIONS

MAIN HOUSE 90 x 100 FAMILY ROOM _____ x _____ GARAGE _____ x _____ DECK _____ x _____

Nominee

PROPERTY OWNER: Trotter Drive Trust ADDRESS 229 Lowland St.

CITY Holliston PHONE# 429-5480 ESTIMATED COST OF CONST. \$ 230,000.00

BUILDER Priggen Steel Building Co. ADDRESS 133 Franklin St.

(508)

CITY Wrentham, MA PHONE# 384-7795 CONST. SUPERVISORS LICENSE # 054278

MAP 3 PARCEL 7A-2 VARIANCE GRANTED?, IF YES, GIVE DATE August 13, 1998

TYPE OF HEATING FUEL Gas TOWN WATER X WELL WATER _____ TOWN SEWER _____ SEPTIC _____

Main to be installed **WATER DEPARTMENT**
TOWN WATER OK TOWN SEWER NA SIGNED [Signature] DATE 10/19/98

BOARD OF HEALTH
WELL WATER Na SEPTIC SYSTEM ✓ SIGNED [Signature] DATE 10-19-98

HIGHWAY DEPARTMENT
APPROVED X DISAPPROVED _____ SIGNED [Signature] DATE 10/19/98

CONSERVATION COMMISSION
APPROVED X DISAPPROVED _____ SIGNED [Signature] DATE 10/19/98

ORDER OF CONDITIONS NUMBER, IF APPLICABLE NA

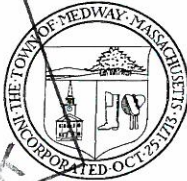
A STAMPED PLOT PLAN SIGNED BY A REGISTERED LAND SURVEYOR AND THREE SETS OF THE BUILDING PLANS MUST BE SUBMITTED WITH THIS APPLICATION

[Signature]
SIGNATURE OF PROPERTY OWNER

10/20/98
DATE

BUILDING PERMIT NUMBER _____ DATE _____ COST \$ _____ FEE \$ _____

RECEIVED
AUG 19 2019
TOWN CLERK



RECEIVED
AUG 19 2019
PLANNING

**Planning & Economic Development Board
Town of Medway, MA**

Application for Approval of Special Permit

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw.

The Town's Planning and Engineering Consultants will review the Application and associated submittals and provide review letters to the Planning and Economic Development Board. A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the special permit application.

August 16, 2019

APPLICANT INFORMATION

Applicant's Name: 21 Trotter Drive, LLC

Mailing Address: 21A Trotter Drive, Medway, MA 02053

Name of Primary Contact: Robert Marzilli

Telephone:
Office: (508) 533-8700 Cell: (508) 958-0739

Email address: bob@rparzilli.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY INFORMATION

Location Address: 21 Trotter Drive, Medway, MA 02053

The land shown on the plan is shown on Medway Assessor's Map # 64 as Parcel # 003

Size of Development Parcel(s): 480,528 sq. ft.

Development Name: 21 Trotter Drive

General Description of Property: The subject property is located in an Industrial III zoning district and predates Medway's Wetlands Bylaw. The property was originally developed in the 1990s for the operation of a landscaping construction business. The subject property is now located entirely with the Stall Brook Groundwater Protection District, which was enacted after the site was developed.

Medway Zoning District Classification: Industrial III and Groundwater Overlay District

TYPE OF SPECIAL PERMIT

As provided in the following Section(s) of the Medway Zoning Bylaw. List all that apply.

Groundwater Protection District Special Permit under Bylaw Section 5 6 3

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Same as applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

OFFICIAL REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

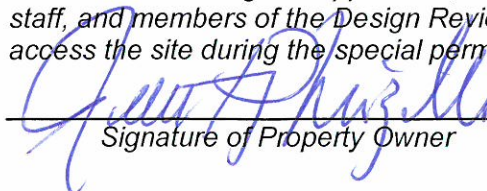
SIGNATURES

The undersigned, being the Applicant, herewith submits this application for a special permit(s) to the Medway Planning and Economic Development Board for review and action.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and other Town boards and committees to access the site during the special permit review process.



Signature of Property Owner

8.15.19

Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

SPECIAL PERMIT APPLICATION/FILING FEES

There is no separate special permit application fee when the project also requires site plan review.

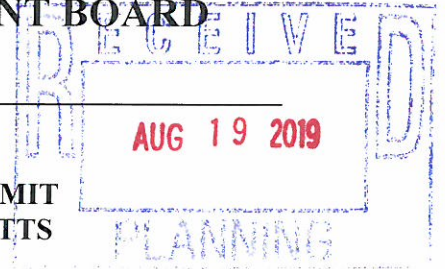
SPECIAL PERMIT APPLICATION CHECKLIST

It is understood that the applicant shall also file a corresponding application for Site Plan Review and Approval with all required submittals.

- ✓ Complete and detailed narrative on how the proposed development project meets the special permit criteria included in the Medway Zoning Bylaw, SECTION 3.4 Special Permit Criteria AND any specific criteria included in the particular section(s) of the Zoning Bylaw for which a special permit is sought.

**PLANNING AND ECONOMIC DEVELOPMENT BOARD
MEDWAY, MASSACHUSETTS**

**21 TROTTER DRIVE, LLC'S
MEMORANDUM IN SUPPORT OF SPECIAL PERMIT
21 TROTTER DRIVE, MEDWAY, MASSACHUSETTS**



INTRODUCTION

The Applicant 21 Trotter Drive, LLC (“Applicant”) submits this Memorandum in support of its Application for Special Permit under Section 5.6.3 of the Medway Zoning Bylaw (the “Bylaw”) to allow the construction of a 7,944 +/- g.s.f. addition (the “Addition”) to an existing structure located at 21 Trotter Drive, Medway, Massachusetts (the “Property”).¹ The Applicant’s related entity, R.P. Marzilli & Company, Inc. (“R.P. Marzilli”), has operated a full-service landscape business on the Property since the 1990s. R.P. Marzilli has grown over the years and requires additional operational space to accommodate that growth. The Applicant and R.P. Marzilli desire to remain in Medway and believe that the proposed expansion will be in the best interests of, not only the Applicant, but also the Town of Medway.

The Property is located in an Industrial III zoning district and the existing structure was built in accordance with the allowance of a Special Permit and Variance, both granted by a decision dated August 13, 1998. Since the 1990s, however, the Town of Medway has enacted its Wetlands Bylaw and the Property now falls within the Stall Brook Groundwater Protection District. Because the Property and the proposed expansion fall within a Groundwater Protection District, a Special Permit is required. The Special Permit should be granted because the Applicant has met all the criteria under Section 3.4 of the Bylaw, as well as the additional specific criteria required in a groundwater protection district under Section 5.6.3, all discussed in more detail below.

SPECIAL PERMIT STANDARD

In order to obtain a Special Permit under Section 5.6.3, the Bylaw requires the Applicant to establish that the adverse effects of the proposed use will not outweigh its beneficial impacts to the town or the neighborhood. To that end, the Applicant must establish the special permit

¹ Where, as here, the Applicant also requires site plan approval, the Bylaw provides that the Planning and Economic Development Board shall serve as the special permit granting authority.

criteria under Section 3.4 and the additional groundwater protection criteria under Section 5.6.3, which requires that the proposed use must:

- (a) In no way, during construction or thereafter, adversely affect the existing or potential quality or quantity of water that is available in the Groundwater Protection District, and
- (b) Be designed to avoid substantial disturbance of the soils, topography, drainage, vegetation, and other water-related natural characteristics of the site to be developed.

In addition to this Memorandum, the Applicant relies up its Stormwater Calculations and supporting materials attached thereto, all of which was submitted in support of its Site Plan Applications. In information submitted by the Applicant in support of this Application and the previously filed application for Site Plan approval includes “detailed, definite, and credible information to support positive findings in relations to the standards given” under the Bylaw. The Board should grant the requested Special Permit.

DISCUSSION

A. The Applicant Has Met the Special Permit Criteria under Section 5.6.3

The Applicant contends that the construction of the proposed Addition will have a positive effect on quality and quantity of water available in this Groundwater Protection District. As an initial matter, the plan for development includes the reduction of total suspended soils (“TSS”) off of the paved areas through the use of a structural treatment best management practices (“BMPs”) and infiltration of these treated paved areas, as well as the roof areas. (*See Stormwater Calculations, p. 3 and Site Plan: Post-Development Runoff Plan, attached thereto.*) Specifically, paved areas will runoff into deep sump catch basins, which will pass paved areas and pass through a “Contech CDS-2025-5-C” unit for TSS treatment and then into an infiltration-detention basin and out to the wetland to the south. The roof runoff will flow by a leader pipe into the infiltration-detention basin and out to the wetland to the south. The stormwater management plan for the Property meets or exceeds the DEP standards, with the goal of minimizing soil disturbance. (*Stormwater Calculations, p. 5.*)

The Applicant further contends that the Addition has also been designed to avoid disturbance to the soils and water-related characteristics of the Property and surrounding area. As an initial matter, the Addition itself will be located to the west of the existing structure on the Property in an area that has historically been used primarily for yard storage. (*Site Plan: Pre-*

Development Runoff Plan.) The Addition therefore will have only minimal impact on the water characteristics of the Property. It should also be noted that the physical size of the Addition is modest and does not exceed the square footage necessary to meet the business needs of R.P. Marzilli's growing business.

In further efforts to avoid disturbance to the soils and the surrounding area, the Applicant has also designed an emergency spillway for the infiltration basin. The infiltration-detention basin is designed to infiltrate from elevation 229.0 and below as is shown on the proposed site plans with a stone bottom. (*See Site Plans.*) The offsite runoff that enters through a 12-inch pipe on the northeast part of the Property will be piped to a swale on the southeast part of the site using an 18-inch pipe, which will also minimize soil disturbance.

The Applicant finally contends that the post-construction impacts on the water characteristics of the Property have also been study and support the granting of the requested Special Permit. Under proposed conditions set forth in the Stormwater Calculations, the same design points were analyzed for peak flow discharge for the 2-year, 10-year, 25-year and 100-year storm events. The hydrological conditions for each watershed are detailed in the Stormwater Calculations, which in summary show that the peak runoff discharge for of these events is predominately maintained. (*Stormwater Calculations, pp. 3-4.*)

In short, the Applicant has provided sufficiently detailed, definite, and credible information to support positive findings by the Planning Board in relations to the standards set forth in Section 5.6.3 of the Bylaw. The Special Permit should be granted.

B. The Applicant Has Met the Special Permit Criteria under Section 3.4

The Applicant contends that it has meet all of the criteria under Section 3.4 of the Bylaw. As an initial matter, the proposed use of the Property contemplated by the Applicant after completion of construction of the Addition will not change if the Special Permit is granted – R.P. Marzilli intends to continue to operate its landscaping business as it has for twenty (20) years. Additionally, the Bylaw express provides that “maintenance, repair, and enlargement of any existing structure” is a permitted use - such an enlargement is exactly the what the Applicant seeks by way the requested Special Permit. (*Bylaw, §§5.6.3(E)(1)(e).*) Additionally, that the Property is an appropriate location for this landscaping use is established by R.P. Marzilli's continued and successful operations in the Town of Medway over the last 20 years in this very location. The impact of the proposed Addition will be negligible and, in fact, will provide more

appropriate facilities for R.P. Marzilli's growing business operations than the existing building is able to provide. It will allow R.P. Marzilli additional interior space to store its existing tools and equipment, avoid exposing those tools and equipment to the elements through outside storage, increase onsite parking and minimize any on-street parking, and manage their existing working force. (*Bylaw § 3.4(C)(2).*)

The Applicant also contends that the Addition will not create any hazards, traffic congestion or determinants of any kind. Based on R.P. Marzilli's business model, the Property has been and will continue to be used primarily for the storage of tools and equipment with some space utilized for office and management operations. The Property is also used for organizing R.P. Marzilli employees throughout the day, who provide offsite services at customers' homes and businesses throughout Massachusetts. The larger space will allow for more efficient operations, but not result in larger work force. Therefore, the number of trips to the Property by customers will not increase. And, since there is no present intention to increase the number of its management personnel or other employees who primarily work off-site, trips from these categories of employee will be similarly unaffected. The number of remaining employees who provide off-site services is also not expected to increase because their numbers are driven by customer demand, not square footage. As a result, the Addition is not expected to create a detriment. Nothing about the Applicant's design will negatively impact lighting, create additional dust or noise, or otherwise create other undesirable attributes on the Property. To the contrary, the project contemplates an upgraded fuel storage design and a reduction of on-street parking. There will be no detriment to any adjoining properties resulting from the Addition. (*Bylaw § 3.4(C)(3-5).*)

For the same reasons, the Addition will not adversely affect the surrounding neighborhood or alter the zoning district. As is set forth above, the Property is located within an Industrial III zoning district. Moreover, by the Addition, there will be no change in the use of the Property, which will continue to be utilized by R.P. Marzilli for landscaping in the same way it has been used for the last twenty (20) years. The proposal will also benefit the surrounding neighborhood because it contemplates additional onsite parking which will minimize the amount of on street parking by R.P. Marzilli employees and upgraded fuel storage. R.P. Marzilli has been operating harmoniously with its neighbors for a very long time and nothing about the Addition will impact that harmonious relationship. (*Bylaw, § 3.4(6).*)

The proposed Addition is also in harmony with the general purpose and intent of this Zoning Bylaw and the consistent with the goals of the Medway Master Plan. Both the Zoning Bylaw and the Master Plan recognize the important role the commercial and industrial uses play in a town such as Medway. In fact, the planners of Medway expressly recognized this when they wrote:

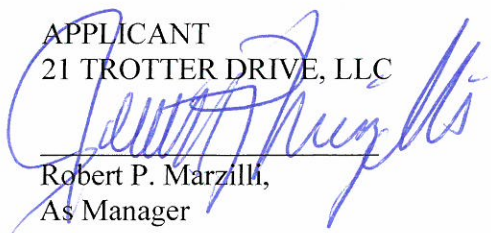
One clear way to reduce the residential tax burden at this time is to increase the amount of commercial/industrial property. In order to compete with neighboring communities, Medway should have more land zoned for commercial/industrial land uses. Figure 3 shows how Medway's developable commercial/industrial properties compare with other local towns. It is clear that we are at the lower end of the spectrum and should strive to enable commercial/industrial development.

(See Master Plan, p. 19.) The Applicant has been contributing the tax base of the Town of Medway and the granting of the Special Permit will be of further financial benefit to the Town. Simply stated, the proposed use will not be detrimental to the public good, but instead a benefit.

CONCLUSION

For the foregoing reasons, the Applicant respectfully requests that the Board grant the Special Permit subject to conditions it deems necessary and appropriate.

APPLICANT
21 TROTTER DRIVE, LLC


Robert P. Marzilli,
As Manager

Dated: August 16, 2019

5.6.3. Groundwater Protection District

- A. **Purposes.** The purposes of the Groundwater Protection District are to promote the health, safety, and general welfare of the community by ensuring an adequate quality and quantity of drinking water for the residents, institutions, and businesses of the Town of Medway; to preserve and protect existing and potential sources of drinking water supplies; to conserve the natural resources of the Town; and to prevent temporary and permanent contamination of the environment.
- B. **Overlay District.** The Groundwater Protection District is an overlay district superimposed on the zoning districts. This overlay district shall apply to all new construction, reconstruction or expansion of existing buildings and new or expanded uses. Applicable activities or uses in a portion of one of the underlying zoning districts which fall within the Groundwater Protection District must additionally comply with the requirements of this district. Uses that are prohibited in the underlying zoning districts shall not be permitted in the Groundwater Protection District.
- C. **Establishment and Delineation of Groundwater Protection District:** For the purposes of this district, there are hereby established within the Town certain groundwater protection areas consisting of all Department of Environmental Protection approved Zone II recharge areas located within the Town of Medway's boundaries, which are delineated on four maps, all on file with the Town Clerk. The maps are entitled:
1. "Medway, MA Zone II and Zone III Delineation", prepared by D.L. Maher Co., and approved by the Department of Environmental Protection in October 1998 (Well #2);
 2. "Zone II Delineation, Well #1 and Well #3, Medway Water Department, Medway, MA", prepared by Tighe & Bond, Inc., and approved by the Department of Environmental Protection in August 2001.
 3. "Bellingham, MA Conceptual Zone II – Wells #7 & #8, Zone II and Zone III Delineation", prepared by Anderson-Nichols & Co., Inc. and approved by the Department of Environmental Protection in November 1992;
 4. "Wellhead Protection Zones – Medway Production Well No. 4", prepared by Haley and Ward Inc., dated February 25, 2004 and approved by the Department of Environmental Protection on May 31, 2005.
- D. **District Boundary Disputes:** If the location of the District boundary in relation to a particular parcel is in doubt, resolution of boundary ambiguities shall be through a special permit application to the Board of Appeals. Any application for a special permit for this purpose shall be accompanied by adequate documentation.

The burden of proof shall be upon the owner of the land in question to show where the bounds should properly be located. At the request of the owner, the Town may engage a professional engineer (civil or sanitary), hydrologist, geologist, or soil scientist to determine more accurately the boundaries of the district with respect to individuals parcels of land and may charge the owner for all or part of the cost of the investigation.

E. Use Regulations: In the Groundwater Protection District, the following regulations shall apply.

1. **Permitted Uses.** The following uses are permitted within the Groundwater Protection District, provided that all necessary permits, orders, or approvals required by local, state, or federal law are also obtained, and subject to sub-sections E.2 and E.3 herein:
 - a. Conservation of soil, water, plants, and wildlife;
 - b. Outdoor recreation, nature study, boating, fishing, and hunting where otherwise legally permitted;
 - c. Foot, bicycle and/or horse paths, and bridges;
 - d. Normal operation and maintenance of existing water bodies and dams, splash boards, and other water control, supply and conservation devices;
 - e. Maintenance, repair, and enlargement of any existing structure;
 - f. New construction;
 - g. Farming, gardening, nursery, conservation, forestry, harvesting, and grazing;
 - h. Construction, maintenance, repair, and enlargement of drinking water supply related facilities such as, but not limited to, wells, pipelines, aqueducts, and tunnels;
 - i. Underground storage tanks related to these activities are not categorically permitted.
2. **Prohibited Uses.** The following uses are prohibited:
 - a. Landfills and open dumps as defined in 310 CMR19.006;
 - b. Storage of liquid petroleum products, except the following: normal household use, outdoor maintenance, and heating of a structure; waste oil retention facilities required by statute, rule or regulation; emergency generators required by statute, rule, or regulation; treatment works approved under 314 CMR 5.00 for treatment of ground or surface waters; provided that such storage is in free-standing containers within buildings or above ground with secondary containment adequate to contain a spill the size of the container's total storage capacity;
 - c. Landfills receiving only wastewater residuals and/or septage;
 - d. Storage of sludge, and septage, unless such storage is in compliance with 310 CMR 32.30 and 310 CMR 32.31;
 - e. Storage of deicing chemicals unless such storage, including loading areas, is within a structure designed to prevent the generation and escape of contaminated runoff or leachate;
 - f. Storage of animal manure unless stored within a structure designed to prevent the generation and escape of contaminated runoff or leachate;

- g. Earth removal, consisting of the removal of soil, loam, sand, gravel, or any other earth material (including mining activities) to within 6 feet of historical high groundwater as determined from monitoring wells and historical water table fluctuation data compiled by the United States Geological Survey, except for excavations for building foundations, roads, or utility works;
- h. Facilities that generate, treat, store or dispose of hazardous waste subject to G.L. c. 21C and 310 CMR 30.000, except the following:
 - i. Very small quantity generators as defined under 310 CMR 30.000;
 - ii. Household hazardous waste centers and events under 310 CMR 30.390;
 - iii. Waste oil retention facilities required by G.L. c. 21, § 52A;
 - iv. Water remediation treatment works approved by DEP for the treatment of contaminated ground or surface waters;
- i. Automobile graveyards and junkyards, as defined in G.L. c. 140B, § 1;
- j. Treatment or disposal works subject to 314 CMR 5.00, for wastewater other than sanitary sewage. This prohibition includes, but is not limited to, treatment or disposal works related to activities under the Standard Industrial Classification (SIC) Codes set forth in 310 CMR 15.004(6) (Title 5), except the following:
 - i. The replacement or repair of existing system that will not result in a design capacity greater than the design capacity of existing system;
 - ii. Treatment works approved by the Department of Environmental Protection designed for treatment of contaminated ground or surface waters and operated in compliance with 314 CMR 5.05(3) or 5.05(13); and
 - iii. Publicly owned treatment works.
- k. Storage of hazardous materials, as defined in G.L. c. 21E, unless in a free standing container within a building or above ground with adequate secondary containment adequate to contain a spill the size of the container's total storage capacity;
- l. Industrial and commercial uses which discharge process wastewater on-site;
- m. Stockpiling and disposal of snow and ice containing deicing chemicals if brought in from outside the district;
- n. Storage of commercial fertilizers, as defined in G.L. c. 128, § 64, unless such storage is within a structure designated to prevent the generation and escape of contaminated runoff or leachate;
- o. The use of septic system cleaners which contain toxic or hazardous chemicals.

3. **Uses and Activities Requiring a Special Permit.** The following uses and activities are permitted only upon the issuance of a special permit by the Board of Appeals under such conditions as the Board may require.
- a. Enlargement or alteration of existing uses that do not conform to the Groundwater Protection District;
 - b. The application of fertilizers for non-domestic or non-agricultural uses. Such application shall be made in a manner so as to minimize adverse impacts on groundwater due to nutrient transport, deposition, and sedimentation;
 - c. Those activities that involve the handling of toxic or hazardous materials in quantities greater than those associated with normal household use, permitted in the underlying zone (except as prohibited under sub-section E.2). Such activities shall require a special permit to prevent contamination of groundwater;
 - d. The construction of dams or other water control devices, ponds, pools or other changes in water bodies or courses, created for swimming, fishing, or other recreational uses, agricultural uses, or drainage improvements. Such activities shall not adversely affect water quality or quantity;
 - e. Any use that will render impervious more than 15 percent or 2,500 square feet of any lot, whichever is greater. A system for groundwater recharge must be provided which does not degrade groundwater quantity. For non-residential uses, recharge shall be by stormwater infiltration basins or similar system covered with natural vegetation, and dry wells shall be used only where other methods are infeasible. For all non-residential uses, all such basins and wells shall be preceded by oil, grease, and sediment traps to facilitate removal of contamination. Any and all recharge areas shall be permanently maintained in full working order by the owner.

F. Special Permits.

1. The Board of Appeals may grant a special permit in the Groundwater Protection District if it determines, in consultation with the Board of Health, the Conservation Commission, the Water and Sewer Commission, the Department of Public Services, and the Planning and Economic Development Board, that the special permit addresses the purposes and requirements of Section 3.4 and this Section 5.6.3. Specifically, the proposed use must:
 - a. In no way, during construction or thereafter, adversely affect the existing or potential quality or quantity of water that is available in the Groundwater Protection District, and
 - b. Be designed to avoid substantial disturbance of the soils, topography, drainage, vegetation, and other water-related natural characteristics of the site to be developed.
2. The Board of Appeals shall not grant a special permit under this Section 5.6.3 unless the applicant's submission includes, in the Board's opinion, sufficiently detailed, definite, and credible information to support positive findings in relations to the standards given herein. The Board of Appeals shall document the basis for any departures from the recommendations of the other town boards or agencies in its decision.

3. Submission requirements and hearing procedures shall be in accordance with the rules and regulations of the Board of Appeals and Section 3.4 of this Zoning Bylaw. Any agency to which the special permit application is referred for review shall provide written comments to the Board of Appeals within 35 days. Failure to respond in writing within 35 days of receipt by the Board shall be deemed lack of opposition thereto. The necessary number of copies of the application shall be furnished by the applicant.
- G. The Board of Appeals may adopt regulations to govern design features of projects. Such regulations shall be consistent with the Planning and Economic Development Board's subdivision rules and regulations.

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

September 5, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: R.P. Marzilli Site Plan

Dear Mr. Rodenhiser:

I have reviewed the site plan submitted by owner/applicant 21 Trotter Drive LLC of Medway. The proposed work is to construct a 7,944 square-foot addition as well as redeveloping the site with added parking including spaces for 7 tractor-trailers and 18 utility trailers, a new fuel storage facility and associated drainage, landscaping, lighting, etc. The plan was prepared by Engineering Design Consultants, Inc. of Southborough of and is dated April 8, 2019 with revision dates of July 25 and August 6, 2019. I have comments as follows:

Zoning

1. The use is an expansion of an existing use as a professional office along with accessory outdoor storage of materials and parking of vehicles and equipment associated with a business operated on the premises. This is allowed in the West Industrial zoning district, and the proposed development appears to comply with the Zoning Bylaw.
2. The plan proposes 129 parking spaces, including 5 van-accessible handicapped spaces. The breakdown of the building space is not provided. Also, it is not clear if the addition is 2 stories or a single story with a high ceiling. If it is 2 stories, the total area would be 25,016. At 1 space per 300 square feet (for professional offices), that would require 84 spaces. The proposed parking exceeds the minimum. Consideration should be given to reducing it.
3. Section V. B. 7. (e) (1) states that light trespass onto any abutting street or lot is not permitted. A photometric plan has been provided that indicates compliance with this requirement.
4. The plans do not include any signage. It is not clear if any building sign is proposed. A freestanding sign currently exists at the entrance.
5. The site is within the Groundwater Protection District. The proposed project would increase the impervious surface from 13.3% to 24.9%, thus triggering a Groundwater Protection special permit.
 - a. Section 5.6.3 E.1 permits enlargement of an existing structure as well as new construction subject to the requirements of the bylaw.

- b. Storage of liquid petroleum products is prohibited and such a fuel storage facility is proposed. However, a fuel storage facility already exists on the site and Section 5.6.3 E.3.a provides for alteration or expansion of existing uses that do not conform to the Groundwater Protection District. The new facility includes a secondary containment structure and other safety measures that represent an improvement over the current situation.
- c. Storage of fertilizers and other hazardous materials are allowed, but must be in a free-standing container within a building, have adequate secondary storage capacity or, in the case of fertilizers, be within a facility designed to prevent the generation and escape of contaminated runoff or leachate.
- d. Application of fertilizers on site must be done in a manner to minimize adverse impacts on groundwater.
- e. Construction of water control devices must also not adversely affect water quality or quantity. The stormwater management plan should address this requirement.
- f. Facilities must be designed to avoid substantial disturbance of soils, topography, drainage, vegetation and other water-related natural characteristics of the site. It should be noted that a significant portion of the site will remain in its natural state.

Site Plan Rules and Regulations

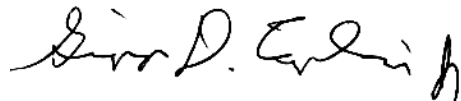
- 6. Section 204-5 B. requires a Site Context Sheet. This was not provided.
- 7. Section 204-5 C. (3). The Existing Conditions Sheet also does not include an Existing Landscape Inventory prepared by a Landscape Architect. A waiver is requested. The site is already disturbed.
- 8. Section 204-5 D. (7) requires that a landscape architect prepare the landscape plan. A planting plan was prepared but there is no indication that it was prepared by a landscape architect
- 9. Section 204-5 D. (12) requires a signage plan indicating the design, location, materials, dimensions and lighting. As stated above, there is an existing freestanding sign that is not shown on the plan. There is no indication of a building sign.
- 10. Section 204-5 D. (13) requires a lighting plan. The photometric plan shows compliance.
- 11. Section 204-5 (14) requires horizontal sight distances be show on the plan. This information was not provided but the entrance already exists and is at the end of a cul-de-sac.
- 12. Section 204-5 (16) requires information about fire prevention and suppression.
- 13. Section 205-6 (A) states that parking “should” be located to the side and rear of the building. This is not an absolute requirement and it also states that if parking is located close to the street, then it should be screened. Most of the parking is in front of the building. The parking and building are barely visible from the street under current conditions. While additional screening is proposed in the landscape plan, it appears that it will replace the existing natural vegetation which may increase visibility from the street.
- 14. Section 205-6 (H) requires vertical granite curbing around the perimeter of a parking lot. It appears that the plan proposes Cape Cod berm but no waiver is requested. It also appears that

the entire driveway entrance will be replaced but it is not clear if granite curb is proposed for the entrance roundings.

15. Section 205-9 C requires that there be substantial landscaped islands within parking lots to reduce the “sea of asphalt” effect. More specifically, Section 209-6 C requires at least 1 deciduous tree per 6 spaces and only trees that provide shade to the parking area are to count toward this requirement. With 129 spaces, 21 trees are required. There are 13 trees around the main parking area in front of the building that could provide shade to the parking spaces. There are just 2 trees proposed for the parking areas to the side of the building.
16. There are 5 waiver requests. These include a waiver from providing a landscape inventory, parking space size (to match zoning), curb stops, performing a traffic study, and locating parking less than 15 feet from a lot line. These generally appear to be reasonable, though the waiver request for parking spaces only 10 feet from the lot line indicates that screening would be provided but no such screening is shown on the landscape plan.

If there are any questions about these comments, please call or e-mail me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



September 5, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 21 Trotter Drive
Site Plan Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 21 Trotter Drive in Medway, MA. Proposed Project includes construction of an approximate 8,000 square foot building addition, new parking lot and appurtenant drainage infrastructure. A fueling station is also proposed as part of the plan as well as rehabilitation of adjacent wetland buffer zones.

TT is in receipt of the following materials:

- A plan (Plans) set titled "21 Trotter Drive, A Site Plan in Medway, Massachusetts", dated April 8, 2019, revised August 6, 2019, prepared by Engineering Design Consultants, Inc.
- An Application for Major Site Plan Approval, dated August 15, 2019 including a Development Impact Statement and Waiver Requests.
- A Groundwater Protection District Special Permit Application, dated August 16, 2019.
- Architectural renderings of building elevation dated August 18, 2019.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate consultants/town permitting authorities.

SITE PLAN REVIEW

1. A Site Context Sheet has not been provided in the Plans. A waiver has been requested from this Regulation. (Ch. 200 §204-4.B)
2. The Applicant has not supplied existing subsurface utilities information. This information is required to determine extent of any conflicts and potential utilities relocation on the site. (Ch. 200 §204-4.C.1)
3. The Applicant has not supplied an Existing Landscape Inventory. A waiver has been requested from this Regulation. (Ch. 200 §204-5.C.3)
4. Setback lines have not been included on the Plans. (Ch. 200 §204-5.D.2)
5. Curb radii have not been included on the Plans. (Ch. 200 §204-5.D.2)
6. Provision for trash receptacles have not been provided on the Plans. (Ch. 200 §204-5.D.3)

7. A Landscape Architectural Plan has not been provided. (Ch. 200 §204-5.D.7)
8. The Applicant has not provided color renderings of the Project. However, color renderings of potential building elevations have been provided. (Ch. 200 §204-5.D.9)
9. The Applicant has not supplied a building layout and floor plan for the proposed addition. (Ch. 200 §204-5.D.10)
10. A Signage Plan has not been provided in the submission. (Ch. 200 §204-5.D.12)
11. A Lighting/Photometric Plan has been provided in the submission, however it is difficult to read. We anticipate light trespass along the western edge of the property. (Ch. 200 §204-5.D.13)
12. The Applicant has not provided horizontal sight distances at the intersection of the Project's driveway and Trotter Drive. (Ch. 200 §204-5.D.14)
13. We recommend the Applicant to include the required and provided amount of parking in the "Parking Data" table. (Ch. 200 §204-5.D.15)
14. Hydrants have not been proposed for the Project. We recommend the Applicant coordinate with Medway Fire Department to confirm if hydrants are required and if so where they shall be located. (Ch. 200 §204-5.D.16)
15. It appears the proposed driveway connection to the cul-de-sac at Trotter Drive is not 90 degrees. (Ch. 200 §205-3.B.3)
16. The proposed driveway and parking area is not bounded by granite curb. (Ch. 200 §205-3.B.6)
17. Proposed edge treatment at the connection to Trotter Drive is not shown. Entrance radii shall be granite curb as required by the Regulations. (Ch. 200 §205-3.C.1)
18. The Applicant shall confirm that all utilities are to be located underground. No overhead utilities will be permitted. (Ch. 200 §205-5)
19. Proposed parking spaces are standard 9' x 18' dimensions which are not in compliance with the sizing requirements from the Regulations. However, the 9' x 18' spaces proposed are standard amongst the industry and are sufficient to serve the proposed site. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.a)
20. The Applicant has not proposed wheel stops at parking spaces abutting the walkways. In lieu of wheel stops we recommend the Applicant provide wider sidewalks to account for potential bumper overhang over the sidewalks. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.b)
21. Parking is proposed within 15 feet of a property line along the western portion of the site. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.4.b)
22. The Applicant has not supplied proposed snow storages are on the Plans. (Ch. 200 §205-7)
23. Landscape buffering has not been proposed along the western property line with 20 Trotter Drive. (Ch. 200 §205-9.B)
24. The Applicant has not supplied sufficient number of deciduous trees for parking shading. (Ch. 200 §205-9.C)
25. The Applicant has not supplied an inventory of existing 10-inch diameter trees to be cleared at the site. This inventory is necessary for proposed tree replacement calculation. (Ch. 200 §205-9.F)

GENERAL COMMENTS

26. We recommend the Applicant provide greater detail on proposed fueling area including size of proposed tank and dispensing. The site is located within the Medway Groundwater Protection District and the MA DEP Wellhead Protection Area (Zone II). The fuel tank may trigger the threshold for requiring US EPA Spill Prevention, Control and Countermeasure (SPCC) Rule and associated Plan.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

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August 8, 2019

Ms. Bridget Graziano
Medway Conservation Agent
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: 21 Trotter Drive
Stormwater & Land Disturbance Review
Medway, Massachusetts**

Dear Ms. Graziano:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Conservation Commission (Commission). The proposed Project is located at existing developed site at 21 Street in Medway, MA. Proposed Project includes construction of an approximate 8,000 sf building addition, buffer zone restoration, parking lot improvements and appurtenant stormwater infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "21 Trotter Drive, A Site Plan in Medway, Massachusetts", dated April 8, 2019, revised August 6, 2019, prepared by Engineering Design Consultants, Inc. (EDC).
- A Notice of Intent (NOI) titled "Notice of Intent for #21 Trotter Drive", dated April 8, 2019, prepared by EDC.
- A stormwater management report (Stormwater Report) titled "Stormwater Calculations for 21 Trotter Drive", dated April 8, 2019, revised August 6, 2019, prepared by EDC.
- A Remediation Site Plan for neighboring 20 Trotter Drive, dated July 25, 2019, prepared by EDC.
- A Land Disturbance Permit Application, dated April 9, 2019, prepared by EDC.

The Plans and accompanying materials were reviewed for conformance with the Massachusetts Department of Environmental Protection's (MA DEP) Stormwater Standards (Standards) and appurtenant Stormwater Handbook (Handbook), Town of Medway Article 26 – Stormwater and Land Disturbance Bylaw (Stormwater Bylaw), applicable Town Stormwater Regulations (Regulations) and good engineering practice. Review of the project for zoning and site related issues was not completed as these reviews are conducted by separate town agencies.

STORMWATER REVIEW

MA DEP Stormwater Standards

1. The Applicant should provide additional information regarding the existing 12" pvc outlet. The existing condition may provide some level of treatment to the discharge prior to entering the wetland system, however, extending the pipe to the wetland to the south may negate this. Furthermore, the proposed outlet is shown at 230.50 at an existing grade of approximately 233, please provide proposed grading in that area to determine extent of disturbance. We recommend proposing a level spreader or plunge pool to ensure flow does not channelize from the outlet and short circuit the rip-rap causing erosion of the downhill slope into the wetland. (Standard 1)
2. The Applicant should provide third-party testing of the proposed CDS proprietary separator unit to reflect tested TSS removal efficiencies to confirm 65% removal rate. Tested efficiency shall be used in the TSS removal calculations. (Standard 4)

3. A list of outdoor stored materials and exterior fleet storage areas should be provided to determine if the site meets the LUHPPL designation and potentially meeting the requirements of the NPDES Multi-Sector General Permit (MSGP). Furthermore, the site contains a fuel storage area which MA DEP considers an unsuitable use within a Zone II. (Standard 5)
4. The Project site is located within the Zone II but the Stormwater Report states the Project is not located within a critical area. The Applicant shall provide a Long-Term Pollution Prevention Plan (LTPPP) with source control and pollution prevention measures identified in the plan. Furthermore, the Applicant should provide material for the existing and proposed roofs located at the site. Metal roofs require specific treatment if located with a Zone II. (Standard 6)
5. The site will require coverage under the NPDES General Permit for Discharges from Construction Activities (CGP) which we anticipate will be filed for prior to construction. The applicant has provided a draft form of the SWPPP but will need to provide confirmation of eNOI and proof of coverage prior to construction. (Standard 8)
6. The Illicit Discharge Statement has not been submitted, this will be required prior to discharge to post-construction best management practices (BMP's). (Standard 10)

Town Stormwater Regulations (Ch. 200 §205-4)

7. The project meets the Regulations.

Stormwater Bylaw Review (Article 26)

8. It does not appear the applicant has addressed items required under the Town's Stormwater Bylaw nor is it mentioned in the Stormwater Report. We recommend the applicant provide narrative and calculations as required by the Bylaw. Additionally, we suggest the Applicant provide greater detail of construction term phasing since we expect the site to remain operational during construction where space may be limited for existing/proposed stockpiles, temporary sediment basins, etc.

GENERAL STORMWATER COMMENTS

9. We recommend the applicant show proposed 227 contour as it appears off-grading at the southern toe of slope of the infiltration basin may extend into the 25-foot no disturb zone.
10. Proposed buffer restoration is shown off-site to the south and work is shown on abutting property to the north. We recommend the Applicant provide abutter confirmation in writing of proposed activities on neighboring property.
11. Runoff and volumes in the post condition are approximately half of existing conditions. We recommend the Commission confirm the decrease in flow will not negatively affect the adjacent wetland system.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



**TOWN OF MEDWAY
BUILDING DEPARTMENT
155 VILLAGE STREET
MEDWAY MASSACHUSETTS
PHONE 508-533-3253
FAX-508-321-4983**

Jack Mee
Building Commissioner &
Zoning Enforcement
jmee@townofmedway.org

Rindo Barese
Building Inspector
rbarese@townofmedway.org

September 5, 2019

Susy Affleck-Childs
Planning & Economic Development
Town of Medway

RE: 21 TROTTER DRIVE, MARZILLI

Dear Susy,

On Friday August 30, 2019 Erika Robertson (Compliance Officer), Bridget Graziano and I walked the property at 21 Trotter Drive as required ZBL 3.5.4.F.

During this site visit we viewed a very active landscape / contractor yard. Bob Marzilli (owner) joined us for a few minutes at the back of the property. As we walked Bridget pointed out many areas of concern within the Conservations jurisdiction that are being actively discussed with the Commission. It is quite apparent that the business has grown over the last 20 years and the operations on the ground have also expanded as is evident with the storage of materials on the neighboring property (Merrimack Building Supply, 20 Trotter Drive). Our current bylaws 5.4 Table of Uses E. Accessory Uses, does not allow outdoor storage of materials and parking of vehicles and equipment on anything other than the same property that the business is operated on. I have been told that an easement is being worked out for this area of land.

I did take notice of the fuel storage tank at the rear of the building and have been told that this has been permitted by the Fire Department approximately 20 years ago. I believe that the intent is to relocate and upgrade this fuel storage as part of the new project.

Sincerely,

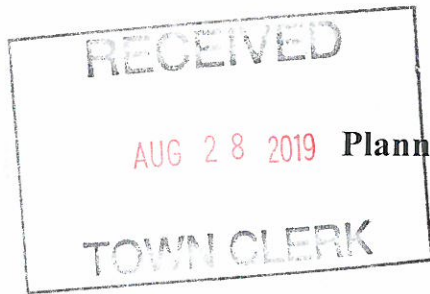
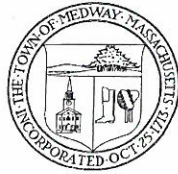
Jack Mee



September 10, 2019
Medway Planning & Economic Development Board
Meeting

William Wallace Village – Public Hearing
Continuation

- Public Hearing Continuation notice dated 8-28-19
- 7-29-19 email from Dan Merrikin re: Scenic Road
- 8-1-19 email from Barbara Saint Andre re: definition of multifamily development
- 8-1-19 PGC plan review letter of original site plan
- 8-31-19 Tetra Tech plan review letter of original site plan
- 9-5-19 Dan Merrikin response letter to the PGC and Tetra Tech review letters
- UPDATED site plan dated 9-4-19
- Architectural drawings received 9-4-19




TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio*

MEMORANDUM

August 28, 2019

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator 

RE: **Public Hearing Continuation:** **William Wallace Village Multifamily Development**
(274-276 Village Street)

CONTINUATION DATE: **Tuesday, September 10, 2019 at 8:30 pm**

LOCATION: **Medway Town Hall – Sanford Hall, 155 Village Street**

At its meeting on August 27, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of DTRT, LLC of Medway, MA for a multifamily housing special permit and major site plan approval for William Wallace Village, a fourteen unit townhouse condominium community and associated site improvements at 274 & a portion of 276 Village Street, to the regular PEDB meeting to be held on Tuesday, September 10, 2019 at 8:30 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street. The meeting room is accessible via elevator to persons with physical disabilities.

The proposed development will include construction of seven, 2-unit, 2 story townhouse buildings; each building will have 3 bedrooms. Two affordable dwelling units will be included within the development. Access will be from Village Street. A total of 63 off-street parking spaces will be provided. Sub-surface stormwater management facilities will be installed on site as will landscaping, lighting, and an open space area. Connections will be made to the existing Town sewer and water services. The existing house on the premises will be demolished. The site plan entitled *William Wallace Village*, dated July 1, 2019 was prepared by Legacy Engineering LLC of Millis, MA.

The applications, site plan and associated documents for the proposed William Wallace Village are on file with the Medway Town Clerk and at the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's page at the Town's web site at <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

If Town staff, boards and committees wish to provide comments on the proposed development and site plan, please do so by September 4, 2019 so that I can share them with the project engineer before the September 10th hearing.

Please contact me if you have any questions. Thanks.

Susan Affleck-Childs

From: Daniel Merrikin <dan@legacy-ce.com>
Sent: Monday, July 29, 2019 10:04 AM
To: Susan Affleck-Childs
Subject: Re: William Wallace Village

Hi Susy,

there are no stone walls at the frontage that would be disturbed and the two trees are not in the street layout.

Dan

We've changed our name. As of January 1, 2019 Merrikin Engineering, LLP is now Legacy Engineering LLC.

Daniel J. Merrikin, P.E.
President



Legacy Engineering LLC
730 Main Street
Suite 2C
Millis, MA 02054

www.legacy-ce.com

dan@legacy-ce.com
508-376-8883(c)
508-868-8353(c)

On Mon, Jul 29, 2019 at 9:18 AM Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi,

Village Street is a Medway Scenic Road.

Is there any proposed work in the Town's right of way on Village Street that will entail removal of stone walls or trees?

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

Susan Affleck-Childs

From: Barbara Saint Andre
Sent: Thursday, August 01, 2019 2:37 PM
To: Susan Affleck-Childs
Cc: Michael Boynton; Jack Mee
Subject: William Wallace multifamily development application

Susy, I have reviewed the special permit application for William Wallace Village at 274 Village Street and am providing my comments for the Planning and Economic Development Board's consideration.

The application is filed under Section 5.6.4 of the Zoning Bylaw, Multifamily Housing. The plan shows 7 proposed two-family dwellings for the site, with the existing buildings to be removed.

This proposed development does not appear to comply with the requirements for Section 5.6.4. Under Section 5.6.4.B.1, "the Planning and Economic Development Board may grant a Multifamily Housing special permit for a **Multifamily Dwelling or Apartment House**, and/or a **Multifamily Development**". Both of these are defined terms.

"Multifamily Dwelling or Apartment House" is defined as: "A building intended and designed to be occupied by more than two families living independently in separate dwelling units." (emphasis added). The proposed development does not contain any building that meets this definition.

"Multifamily Development" is defined as: "A residential development of more than one building comprised of multifamily dwellings and which may also include one single family house and one or more two family houses." (emphasis added). This definition requires that a Multifamily Development include "multifamily dwellings", a requirement that the proposed William Wallace development does not meet. A Multifamily Development may also include one single-family house, and one or more two-family houses, but only if it qualifies as a Multifamily Development by including Multifamily Dwellings.

If you have any questions on this, please let me know.

Barbara J. Saint Andre
Director, Community and Economic Development
Town of Medway
155 Village Street
Medway, MA 02053
(508) 321-4918

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

August 1, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

**RE: WILLIAM WALLACE VILLAGE MULTIFAMILY SPECIAL
PERMIT/SITE PLAN**

Dear Mr. Rodenhiser:

I have reviewed the proposed multifamily housing special permit and site plan, for 14 townhouse units on Village Street. The applicant is DTRT, LLC of Truro. The owners are DTRT, LLC, and Keith and Judith Spinney of Medway.

The proposal is to construct 14 townhouse units in seven duplex buildings on 3.49 acres with an existing house and other buildings (to be razed) including associated parking, drainage, landscaping, etc. The plan was prepared by Legacy Engineering of Millis. The plan is dated June 25, 2019.

The property is located at 274 and 276 Village Street in the AR-II, and Multifamily Overlay zoning districts.

ZONING

Multifamily Housing (Section 5.6.4)

1. The site is within the Multifamily Housing Overlay District (Section 5.6.4) and thus eligible for a project.
2. The site has more than 50 feet of frontage on Village Street, which has sufficient capacity to handle the additional traffic flow from 14 units. At 3.49 acres, it also meets the minimum area requirement of 22,500 square feet
3. The plan shows a minimum setback of 58.8' from Village Street. The front setback for the AR-II district is 35 feet. The minimum side and rear setbacks are 18.7' and 54' respectively, so in excess of the required 15 feet.
4. The building heights are not shown specifically but the plans indicate they will be under the maximum height limit of 40 feet.
5. The maximum density for multifamily projects is 12 units per acre. With 3.49 acres, the site is eligible for 41.88 units. At 14, the project is under the maximum.
6. The plans indicate that the plans comply with building coverage (18% vs. 30% allowed), impervious surface (37% vs. 40% allowed), open space or yard area (51% vs. minimum required of 15%) and parking (63 spaces vs 28 required).

7. At 14 units, 12% (1.68 rounded up to 2) of the units must be affordable. Two affordable units are proposed.
8. “Multifamily developments” are for “multifamily dwellings,” which include buildings designed for **more than** 2 families. The proposal for all 2-family buildings does not qualify as a multifamily development. Multifamily developments **may** include “one single family house or one or more two family houses.” The proposed development could comply by replacing 3 of the duplexes with 2 triplexes.

Other

9. No photometric plan for lighting has been provided to document that the project complies with the Section 7.1.2 (Outdoor Lighting) of the Bylaw.
10. No signage is shown on the plans. Any project development or other signs must be shown on the plan.

SITE PLAN REGULATIONS

(Note: Site plan issues that have been addressed above are not repeated in this section).

11. Section 204-5 B.1 requires a Site Context sheet indicating features within 2000 feet of the perimeter of the site. This was not provided and no waiver was requested.
12. Section 204-5 C (3) requires an Existing Landscape Inventory. This was not provided and no waiver was requested.
13. Section 204-5 D (14) requires horizontal sight distances at entrances to be shown. This was not done, and no waiver was requested. However, the sight distances are indicated in the Development Impact Report.
14. Section 205-2 G & H require that ground floor facades have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along 60% of their length and architectural features that provide visual interest at the pedestrian scale and detailing to avoid “massive aesthetic effects.” The most prominent and dominant architectural feature of the proposed buildings are blank garage doors which extend forward of the façade of the living area of the buildings. Recessing the garages to behind the living area facades and perhaps adding some architectural interest to them would at least downplay their significance. No pedestrian entrances are shown on the front façade and the architectural drawings do not match the site plan footprints.
15. Section 205-6 H requires vertical granite curbing “or similar type of edge treatment to delineate the parking lot.” The plan indicates Cape Cod berm. No waiver was requested.
16. Section 205-9 provides standards for trees and landscaping. Parking lots are required to have 1 tree per 6 spaces, and only trees that shade parking spaces are counted for this requirement. No trees are shown in the area of the 7-space visitor parking area. No waiver was requested.

GENERAL COMMENTS

17. As already discussed, the connection between the abutting residence's driveway and the project driveway will be eliminated and an easement to use the project driveway to access the back yard of the abutters will be granted. This removes a potential conflict and helps justify the waiver request for locating the project driveway less than 15 feet from the lot line.
18. The landscape plan appears to be preliminary at this point as it just shows a few trees. I assume more details will be provided. The center of the loop provides an opportunity for an attractive design to serve as a focal point of the development. A detention basin is shown in this location but that should not preclude an attractive design.
19. Consideration should be given to revising the 7 visitor parking spaces from a row of perpendicular spaces to parallel spaces around the inner loop. It would contribute to a more attractive design while also distributing the spaces so that they are more evenly available to future residents.

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



July 31, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: William Wallace Village
Multi-Family Special Permit Site Plan Review
274 and Portion of 276 Village Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 274 and 276 Village Street in Medway, MA. Proposed Project includes construction of seven two-family dwelling units with associated driveways, visitor parking, utilities and drain infrastructure.

TT is in receipt of the following materials:

- A plan (Plans) set titled "William Wallace Village, Medway, MA, Site Plan", dated June 25, 2019, prepared by Legacy Engineering, LLC (LEL).
- Architectural Plans showing front, back, and side elevations of proposed dwelling units.
- An Application for Approval of Special Permit, dated July 1, 2019, prepared by LEL.
- An Application for Major Site Plan Approval, dated July 1, 2019, prepared by LEL.
- An Application Package for Major Site Plan Review, dated July 1, 2019, prepared by LEL.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

Site Plan Review

1. The applicant has not supplied a written Traffic Impact Assessment (TIA). However, the Applicant has provided a general traffic impact analysis and based on the information provided we do not anticipate the need for a full TIA. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.A.7)
2. The applicant has not supplied a written Environmental Impact Assessment (EIA). However, based on the current developed condition of the site we do not anticipate the need for a full EIA. As stated in the submission, the Applicant is currently in the process of permitting the site with the Medway Conservation Commission where environmental impacts will be sufficiently reviewed. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.A.7)
3. The Plans do not contain the Planning and Economic Development Board signature block. (Ch. 200 §204-4.F)

4. List of requested waivers are not shown on the cover sheet. (Ch. 200 §204-5.A)
5. The applicant has not supplied an Existing Landscape Inventory. A waiver has been requested from this Regulation. (Ch. 200 §204-5.C.3)
6. Existing trees with a diameter of one (1) foot or greater at four (4) feet above grade have not been identified on the Planting Plan. (Ch. 200 §204-5.D.7)
7. Color renderings of the project have not been provided in the submission. (Ch. 200 §204-5.D.9)
8. A Lighting/Photometric Plan has not been provided in the submission. (Ch. 200 §204-5.D.13)
9. The Applicant shall provide horizontal sight distances at the intersection of the project's proposed driveway and Village Street. (Ch. 200 §204-5.D.14)
10. Location of fire alarm boxes and fire truck turning movements are not provided on the Plans. Confirmation of review of plan from Medway Fire Chief recommended. (Ch. 200 §204-5.D.16)
11. Although the Applicant has proposed pavement arrows for traffic control, we anticipate additional signage may be required to ensure vehicles maintain proper movement throughout the site due to the inclusion of the proposed one-way. We recommend the Applicant propose "Do Not Enter" signage adjacent to the mail Kiosk location and one-way signage throughout the circle. Additionally, stop signage and pavement markings should be proposed adjacent to the mail Kiosk as well as the intersection of the site roadway with Village Street consistent with other private driveways in Town. (Ch. 200 §205-3.A.3)
12. Proposed driveway is within 15' of a side property line which does not comply with the Regulations. A waiver has been requested from this Regulation. (Ch. 200 §205-3.B.2)
13. The Applicant has not specified proposed electric connection from the site to the source located on the south side of Village Street. It must be noted that all connections are to be located underground and this requirement should be clearly noted on the plans. (Ch. 200 §205-5)
14. The applicant is proposing 9' x 18' standard parking stalls which do not comply with the Regulations. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.a)
15. The applicant has not provided existing tree inventory of the site and thus cannot determine if tree replacement is necessary or how many trees will be required to be replaced. (Ch. 200 §205-9.F)

General Comments

16. The Applicant is proposing a driveway connection with #276 Village Street and the site access road. We do not support this connection as we anticipate vehicles exiting the proposed development may use both driveways to do so. Additionally, we anticipate the northern tip of the island created by the connection will be consistently damaged by snow plows and will provide for a nuisance to the residents of the development.
17. We recommend the Applicant confirm connection of the proposed site water main to the existing main in Village Street and whether the existing service to the site is to be removed. Three valves are required at every roadway intersection per Town of Medway Water Regulations Furthermore, we recommend looping the water main around the driveway circle area and back to the main site drive to maintain flow and water quality.
18. We recommend the Applicant coordinate with the Medway Water/Fire Department regarding proposed colors of hydrant.

19. The proposed sewer main alignment has many bends and is connected into a system that was meant to serve the houses on Bedelia Lane. We recommend the Applicant provide analysis of the existing system with the proposed connection and investigate an alternate alignment with less bends.
20. Portions of the proposed sewer system have been designed with shallow slopes (0.6%) which may promote blockages in the system and limit active cleaning. Please provide analysis of the proposed system.
21. Proposed sidewalk ends at Unit 14 which may cause pedestrians using the sidewalk to enter the roadway to return to the main portion of the sidewalk along the main site drive. We recommend the Applicant consider looping the sidewalk around the entire circle area and provide a crossing to allow residents a complete loop of the development on designated sidewalk. Pedestrian access to the mail kiosk should also be investigated.
22. Snow removal areas do not appear to be sufficient. Additionally, the proposed areas conflict with landscaping and the proposed lantern lights which may be damaged. We recommend the applicant consider relocating the lantern lights away from the roadway to prevent damage.
23. The Applicant should provide details of proposed 6' stockade fence and emergency access driveway section. Additionally, a retaining wall detail has been included but does not appear to be proposed in the Plans.
24. Please provide proposed location for irrigation well. Town water shall not be used to irrigate the site.
25. Locations of proposed trash receptacles have not been provided on the Plans.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

P:\21583\143-21583-19012 (WILLIAM WALLACE VILLAGE)\DOCS\WILLIAM WALLACE-PEDBREV(2019-07-31).DOCX



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

September 5, 2019

Planning & Economic Development Board

Town Offices

155 Village Street

Medway, MA 02053

Ref: William Wallace Village
Special Permit and Site Plan Review

Dear Members of the Board:

I am writing to respond to comments from the Town's consultants Tetra Tech dated July 31, 2019, and PGC Associates, Inc. dated August 1, 2019. Please find enclosed the following;

- Two full-size and one 11x17 copies of a revised site plan;
- One copy of a revised stormwater report;
- A fire truck circulation exhibit;
- 4 additional waiver request; and
- A sewer pipe sizing analysis.

Note that based on discussions with the Fire Department, sprinklers are now proposed for all buildings (see Note 7 on Sheet C-6). In order to offset the added cost of these systems, one additional unit has been added to the development, bringing the total unit count to 15, which is still well below the maximum possible under the bylaw. Also as noted below, the unit configuration has been revised to incorporate a three- and four-unit building in order to meet the definition of a multifamily development under the Bylaw



We offer the following responses to Tetra Tech's comments for the Board's consideration.

SITE PLAN REVIEW:

1. *Comment: The applicant has not supplied a written Traffic Impact Assessment (TIA). However, the Applicant has provided a general traffic impact analysis and based on the information provided we do not anticipate the need for a full TIA. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.A.7)*

Response: No response required.

2. *Comment: The applicant has not supplied a written Environmental Impact Assessment (EIA). However, based on the current developed condition of the site we do not anticipate the need for a full EIA. As stated in the submission, the Applicant is currently in the process of permitting the site with the Medway Conservation Commission where environmental impacts will be sufficiently reviewed. A waiver has been requested from this Regulation by the Applicant. (Ch. 200 §204-3.A.7)*

Response: No response required.

3. *Comment: The Plans do not contain the Planning and Economic Development Board signature block. (Ch. 200 § 204-4.F)*

Response: A signature block has been added to the plans.

4. *Comment: List of requested waivers are not shown on the cover sheet. (Ch. 200 §204-5.A)*

Response: A list of waivers has been added to the cover sheet.

5. *Comment: The applicant has not supplied an Existing Landscape Inventory. A waiver has been requested from this Regulation. (Ch. 200 §204-5.C.3)*

Response: No response required.

6. *Comment: Existing trees with a diameter of one (1) foot or greater at four (4) feet above grade have not been identified on the Planting Plan. (Ch. 200 §204-5.D.7)*





Response: A waiver is being sought from this requirement. There will not be any opportunity to save existing trees along the interior of the site given the scope of the proposed redevelopment.

7. *Comment: Color renderings of the project have not been provided in the submission. (Ch. 200 §204-5.D.9)*

Response: A waiver request has been added for this item. Renderings of this nature are costly and a significant undertaking for a small development like this.

8. *Comment: A Lighting/Photometric Plan has not been provided in the submission. (Ch. 200 §204-5.D.13)*

Response: A photometric plan has been completed and can be found on sheet C-7.

9. *Comment: The Applicant shall provide horizontal sight distances at the intersection of the project's proposed driveway and Village Street. (Ch. 200 §204-5.D.14)*

Response: Sight distances have been added to sheet C-4.

10. *Comment: Location of fire alarm boxes and fire truck turning movements are not provided on the Plans. Confirmation of review of plan from Medway Fire Chief recommended. (Ch. 200 §204-5.D.16)*

Response: The site plan has been reviewed by the Medway Fire Chief. The layout was found to be acceptable provided that sprinkler systems be added to the units. A firetruck turning plan has also been completed and is attached to this letter.

11. *Comment: Although the Applicant has proposed pavement arrows for traffic control, we anticipate additional signage may be required to ensure vehicles maintain proper movement throughout the site due to the inclusion of the proposed one-way. We recommend the Applicant propose "Do Not Enter" signage adjacent to the mail Kiosk location and one-way signage throughout the circle. Additionally, stop signage and pavement markings should be proposed adjacent to the mail Kiosk as well as the intersection of the site roadway with Village Street consistent with other private driveways in Town.(Ch. 200 §205-3.A.3)*

Response: Signage has been added throughout the site as recommended.



12. *Comment: Proposed driveway is within 15' of a side property line which does not comply with the Regulations. A waiver has been requested from this Regulation. (Ch. 200 §205-3.B.2)*

Response: No response required.

13. *Comment: The Applicant has not specified proposed electric connection from the site to the source located on the south side of Village Street. It must be noted that all connections are to be located underground and this requirement should be clearly noted on the plans. (Ch. 200 §205-5)*

Response: Sheet C-6 depicts a general plan for electrical system layout, however, the electric company will determine the final location and design of the electric service at the time of construction. A connection to the nearest utility pole has been added and note 6 has been added to specify that all on-site electrical systems are to be underground.

14. *Comment: The applicant is proposing 9' x 18' standard parking stalls which do not comply with the Regulations. A waiver has been requested from this Regulation. (Ch. 200 §205-6.G.3.a)*

Response: No response required.

15. *Comment: The applicant has not provided existing tree inventory of the site and thus cannot determine if tree replacement is necessary or how many trees will be required to be replaced. (Ch. 200 §205-9.F)*

Response: A formal landscaping plan has been submitted but is in the process of being revised to reflect the new layout. A general tree inventory performed by our office found that the approximate total diameter of existing trees over 10" is 620". Approximately 84" of these trees will be replaced with new deciduous trees, and an additional 21 evergreen trees not measured by caliper will also be planted on the site. It would not be economically practicable to replace all of the removed tree caliper-inches on or off the site. A waiver is therefore requested from this requirement.



GENERAL COMMENTS

16. *Comment: The Applicant is proposing a driveway connection with #276 Village Street and the site access road. We do not support this connection as we anticipate vehicles exiting the proposed development may use both driveways to do so. Additionally, we anticipate the northern tip of the island created by the connection will be consistently damaged by snow plows and will provide for a nuisance to the residents of the development.*

Response: The driveway connection has been removed.

17. *Comment: We recommend the Applicant confirm connection of the proposed site water main to the existing main in Village Street and whether the existing service to the site is to be removed. Three valves are required at every roadway intersection per Town of Medway Water Regulations Furthermore, we recommend looping the water main around the driveway circle area and back to the main site drive to maintain flow and water quality.*

Response: Sheet C-6 has been revised to show a triple gate valve assembly. We do not believe that looping the water main on-site will provide any benefit to the project as water circulation around the circle is unlikely to be significant. The last water service lies at the end of the main and will ensure regular flow through the pipe to avoid stagnant water conditions. Note that the hydrant location has been revised at the request of the Fire Department and that a fire hydrant maintenance plan has been included in the revised O&M Plan.

18. *Comment: We recommend the Applicant coordinate with the Medway Water/Fire Department regarding proposed colors of hydrant.*

Response: We have made an inquiry with the Fire Department but have not yet received a response.

19. *Comment: The proposed sewer main alignment has many bends and is connected into a system that was meant to serve the houses on Bedelia Lane. We recommend the Applicant provide analysis of the existing system with the proposed connection and investigate an alternate alignment with less bends.*

Response: An analysis has been completed and is attached to this letter. While the short length of existing 4" piping is technically adequate for sewer flows from the proposed development, we have met with the Department of Public Works who agrees that it would be preferable to decouple the existing sewer line for Bedelia Way from the house service



at 268 Village Street. Sheet C-6 has therefore been revised to propose a direct connection from the new Bedelia Way sewer to the existing street manhole. The Department of Public works has indicated that this approach is acceptable to them.

20. *Comment: Portions of the proposed sewer system have been designed with shallow slopes (0.6%) which may promote blockages in the system and limit active cleaning. Please provide analysis of the proposed system.*

Response: The sewer system has been revised to accommodate the new site layout. A minimum slope of 1% is provided for all mains.

21. *Comment: Proposed sidewalk ends at Unit 14 which may cause pedestrians using the sidewalk to enter the roadway to return to the main portion of the sidewalk along the main site drive. We recommend the Applicant consider looping the sidewalk around the entire circle area and provide a crossing to allow residents a complete loop of the development on designated sidewalk. Pedestrian access to the mail kiosk should also be investigated.*

Response: Extending the sidewalk would add too much impervious coverage to the site as well as constrain the size and design of the stormwater basin, which has been configured with shallow sideslopes to better integrate with the landscape. The traffic is expected to be very light and at very slow speeds. It is our view that the proposed sidewalk configuration is appropriate for the site. A sidewalk connection has been added to the mail kiosk and new accessible visitor parking space.

22. *Comment: Snow removal areas do not appear to be sufficient. Additionally, the proposed areas conflict with landscaping and the proposed lantern lights which may be damaged. We recommend the applicant consider relocating the lantern lights away from the roadway to prevent damage.*

Response: The driveway area totals approximately 17,350 s.f., and the snow storage areas total approximately 9,600 s.f. It is not unreasonable to assume a snow storage area can store snow from twice its own area. The proposed landscaping in the snow areas consists of trees large enough to withstand snow being pushed around them. The light poles have been moved as requested.



23. *Comment: The Applicant should provide details of proposed 6' stockade fence and emergency access driveway section. Additionally, a retaining wall detail has been included but does not appear to be proposed in the Plans.*

Response: A 6' stockade fence detail has been added. Based on discussions with the Fire Department and the implementation of sprinkler systems throughout the site, the emergency access driveway has been eliminated. Retaining walls have been added to the site and the details have been updated accordingly.

24. *Comment: Please provide proposed location for irrigation well. Town water shall not be used to irrigate the site.*

Response: An irrigation well has been added to sheet C-6 (adjacent to the mail kiosk).

25. *Comment: Locations of proposed trash receptacles have not been provided on the Plans.*

Response: Trash will be collected by private curbside pickup within the development. A note has been added to sheet C-4 accordingly.

We offer the following responses to PGC's comments for the Board's consideration:

ZONING

1. *Comment: The site is within the Multifamily Housing Overlay District (Section 5.6.4) and thus eligible for a project.*

Response: No response required.

2. *Comment: The site has more than 50 feet of frontage on Village Street, which has sufficient capacity to handle the additional traffic flow from 14 units. At 3.49 acres, it also meets the minimum area requirement of 22,500 square feet*

Response: No response required.

3. *Comment: The plan shows a minimum setback of 58.8' from Village Street. The front setback for the AR-II district is 35 feet. The minimum side and rear setbacks are 18.7' and 54' respectively, so in excess of the required 15 feet.*

Response: No response required.



4. *Comment: The building heights are not shown specifically but the plans indicate they will be under the maximum height limit of 40 feet.*

Response: No response required.

5. *Comment: The maximum density for multifamily projects is 12 units per acre. With 3.49 acres, the site is eligible for 41.88 units. At 14, the project is under the maximum.*

Response: As noted above, to mitigate the expense of sprinkler systems in every building, one unit has been added to the design for a total of 15.

6. *Comment: The plans indicate that the plans comply with building coverage (18% vs. 30% allowed), impervious surface (37% vs. 40% allowed), open space or yard area (51% vs. minimum required of 15%) and parking (63 spaces vs 28 required).*

Response: These values have changed as shown on the site plan and are still within the allowed limits. PGC recommended that an alternative parking scheme be considered around the rear island. As such, three spaces have been moved to the north side of the island in a parallel configuration and the remaining spaces have been changed to angled spaces. The Board also requested that one of the spaces be accessible.

7. *Comment: At 14 units, 12% (1.68 rounded up to 2) of the units must be affordable. Two affordable units are proposed.*

Response: At the new proposed 15 units, 12% (1.80 rounded up to 2) of the units are proposed to be affordable.

8. *Comment: "Multifamily developments" are for "multifamily dwellings," which include buildings designed for more than 2 families. The proposal for all 2-family buildings does not qualify as a multifamily development. Multifamily developments may include "one single family house or one or more two family houses." The proposed development could comply by replacing 3 of the duplexes with 2 triplexes.*

Response: The new layout includes one quadplex, one triplex, and four duplexes.



9. *Comment: No photometric plan for lighting has been provided to document that the project complies with the Section 7.1.2 (Outdoor Lighting) of the Bylaw.*

Response: A lighting plan is included in the revised site plan on sheet C-7.

10. *Comment: No signage is shown on the plans. Any project development or other signs must be shown on the plan.*

Response: The applicant only seeks to include site name placards at the entrance. A detail has been added to depict these placards on the newly added decorative stone walls along the entrance roundings.

SITE PLAN REGULATIONS

11. *Comment: Section 204-5 B.1 requires a Site Context sheet indicating features within 2000 feet of the perimeter of the site. This was not provided and no waiver was requested.*

Response: Sheet C-1 has been added to provide a wider locus at a larger scale. That new locus in combination with the information shown on sheet C-2 provide all required site context sheet information.

12. *Comment: Section 204-5 C (3) requires an Existing Landscape Inventory. This was not provided and no waiver was requested.*

Response: The site is previously developed with vestiges of former farm buildings. Given the proposed development plans, existing trees will not be able to be saved in the interior of the site although some will be saved along the property line and wetlands.

13. *Comment: Section 204-5 D (14) requires horizontal sight distances at entrances to be shown. This was not done, and no waiver was requested. However, the sight distances are indicated in the Development Impact Report.*

Response: Sight distances have been added to sheet C-4.

14. *Comment: Section 205-2 G & H require that ground floor facades have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along 60% of their length and architectural features that provide visual interest at the pedestrian scale and detailing to avoid "massive aesthetic effects." The most prominent and dominant architectural feature of the proposed buildings are blank garage doors which extend forward*



of the façade of the living area of the buildings. Recessing the garages to behind the living area facades and perhaps adding some architectural interest to them would at least downplay their significance. No pedestrian entrances are shown on the front façade and the architectural drawings do not match the site plan footprints.

Response: Revised architectural plans have been submitted to the Board. Variation will be provided in unit colors and the roof elements have been modified on several units to provide some variation. Pedestrian entrances to the garage and the main house are provided at either side of the front porch, which is why the garages are positioned a few feet forward. However, the porch structure and entrance for each unit sits forward of the garage, which breaks up the front facades.

15. Comment: Section 205-6 H requires vertical granite curbing “or similar type of edge treatment to delineate the parking lot.” The plan indicates Cape Cod berm. No waiver was requested.

Response: A waiver is being sought from this requirement.

16. Comment: Section 205-9 provides standards for trees and landscaping. Parking lots are required to have 1 tree per 6 spaces, and only trees that shade parking spaces are counted for this requirement. No trees are shown in the area of the 7-space visitor parking area. No waiver was requested.

Response: A revised landscape plan is being prepared based on the new layout and will include shade trees in the center island area.

GENERAL COMMENTS

17. Comment: As already discussed, the connection between the abutting residence’s driveway and the project driveway will be eliminated and an easement to use the project driveway to access the back yard of the abutters will be granted. This removes a potential conflict and helps justify the waiver request for locating the project driveway less than 15 feet from the lot line.

Response: No response required.

18. Comment: The landscape plan appears to be preliminary at this point as it just shows a few trees. I assume more details will be provided. The center of the loop provides an opportunity for an attractive design to serve as a focal point of the development. A detention basin is shown in this location but that should not preclude an attractive design.



Response: An in-depth landscape plan has been provided. The infiltration basin cannot be relocated due to site constraints. In order to increase its appeal, the side slopes have been reduced from 3:1 to 5:1 so that it will integrate with the surrounding landscape.

19. Comment: Consideration should be given to revising the 7 visitor parking spaces from a row of perpendicular spaces to parallel spaces around the inner loop. It would contribute to a more attractive design while also distributing the spaces so that they are more evenly available to future residents.

Response: The parking area has been split up into two groups of three and now includes an accessible space.

In addition, based on discussions with the Town, the following changes were made:

- ✓ The cape cod berm detail has been modified to be monolithic.
- ✓ The light poles have been moved back to protect them from plows.

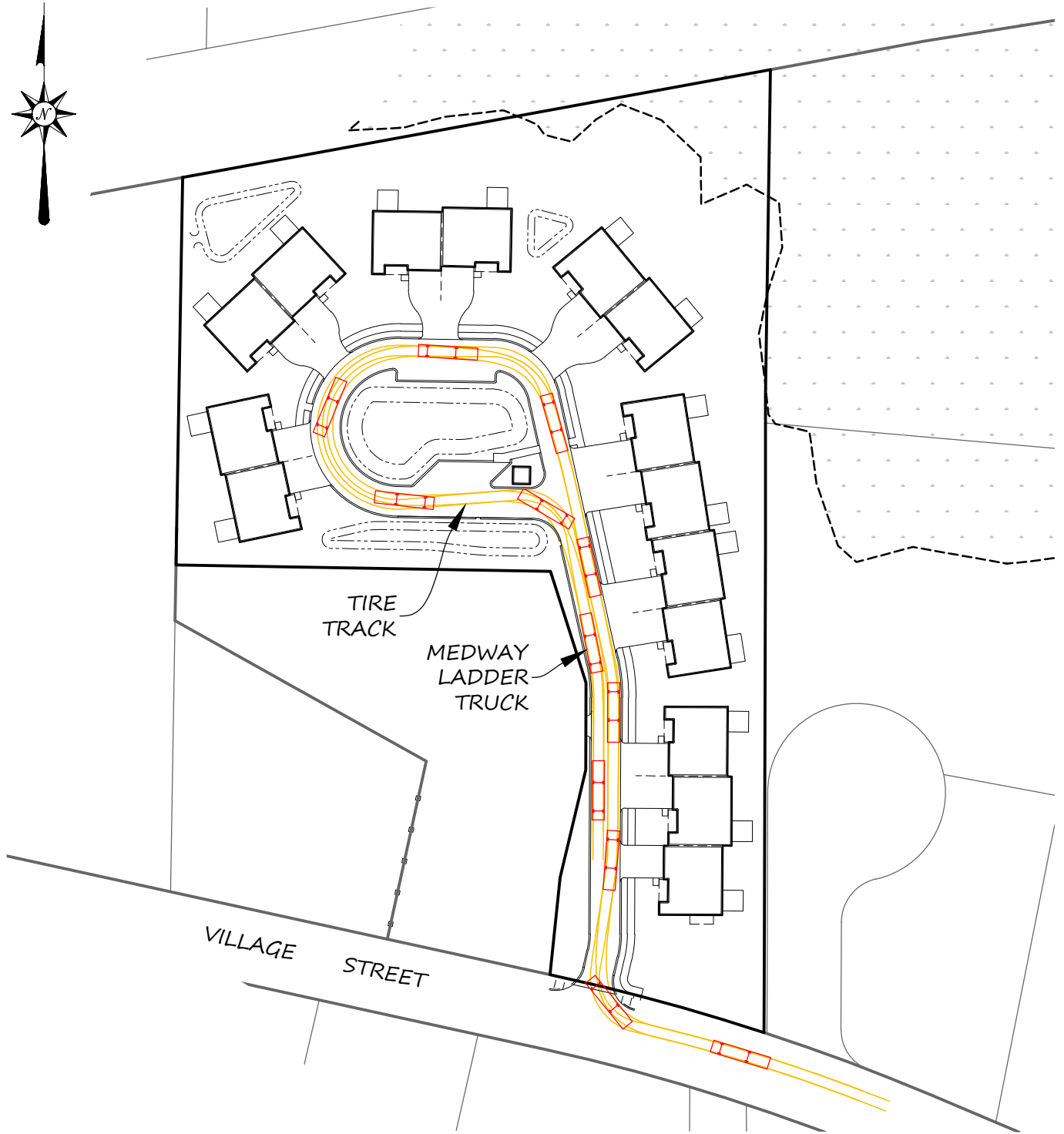
Note further that the Applicant would be amenable to a condition of approval requiring them to grant an easement to the Town over whatever interest they may have in the adjacent railroad easement.

Yours Truly,

LEGACY ENGINEERING LLC

Daniel J. Merrikin, P.E.
President

cc: File



730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

SHEET 1 OF 1

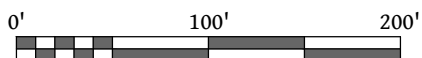


LEGACY
ENGINEERING

WILLIAM WALLACE
VILLAGE
FIRE CIRCULATION
PLAN OF LAND
IN MEDWAY, MA

PLAN DATE: 9/4/19

PLAN SCALE: 1"=100'



REVISION

DATE

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	William Wallace Village
Property Location:	274 Main Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	205-6.H Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Parking lots shall be bounded by vertical granite curb or similar edge treatment.
What aspect of the Regulation do you propose be waived?	Vertical granite curb
What do you propose instead?	Cape Cod berm
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Granite curbing is expensive, and would be out of place when the remainder of the site uses Cape Cod berm.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$2,700
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Consistent curbing is better for plows, reducing the risk of damaging both the plows and the curb.
What is the impact on the development if this waiver is denied?	Monetary and less consistent aesthetics.
What are the design alternatives to granting this waiver?	Other berm types
Why is granting this waiver in the Town's best interest?	It provides a better design.
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	None
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	2-Sep-19

Questions?? - Please contact the Medway PED office at 508-533-3291.

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	William Wallace Village
Property Location:	274 Main Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	204-5.D.9 Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	The applicant is to provide color renderings of the site.
What aspect of the Regulation do you propose be waived?	Providing renderings.
What do you propose instead?	To not require renderings of the site.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Renderings of this nature are costly and a significant undertaking for a small development like this.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Several thousand dollars to have a consultant generate a 3D rendering of the site.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	There would be no impact on the development.
What is the impact on the development if this waiver is denied?	Additional costs.
What are the design alternatives to granting this waiver?	Providing architectural and site drawings
Why is granting this waiver in the Town's best interest?	The expense is unnecessary to understand a small project of this nature
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Additional architectural drawings if requested by the board.
What is the estimated value of the proposed mitigation measures?	Unknown
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	4-Sep-19

Questions?? - Please contact the Medway PED office at 508-533-3291.

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	William Wallace Village
Property Location:	274 Main Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	204-5.C.3 & D.7 Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Plans are to include existing trees over 1' in diameter.
What aspect of the Regulation do you propose be waived?	Locations of existing trees.
What do you propose instead?	To not require the locations of existing trees.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Locating existing trees would be an unnecessary additional cost, as there will be no opportunity to save existing trees along the interior of the site given the scope of the proposed development.
What is the estimated value/cost savings to the applicant if the waiver is granted?	Several thousand dollars
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	There would be no impact on the development as the trees need to be removed to accommodate the proposed redevelopment
What is the impact on the development if this waiver is denied?	Additional cost.
What are the design alternatives to granting this waiver?	None
Why is granting this waiver in the Town's best interest?	The work is unnecessary and will not bring value to the project
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	New trees will be planted throughout the site as noted on the landscape plan
What is the estimated value of the proposed mitigation measures?	\$500 per tree
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	4-Sep-19

Questions?? - Please contact the Medway PED office at 508-533-3291.

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	William Wallace Village
Property Location:	274 Main Street
Type of Project/Permit:	Major Site Plan
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	205-9.F Planning Board Rules and Regulations
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	The total tree diameter of all trees over 10" in diameter are to be replaced.
What aspect of the Regulation do you propose be waived?	Replacement of trees.
What do you propose instead?	To not require full replacement of the trees.
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The number of trees that would be required to be replaced is excessive, and would result in overcrowding on the site. The cost of replacing these trees offsite would significantly increase construction costs.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$500 per tree installed.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The development would not be overcrowded with trees.
What is the impact on the development if this waiver is denied?	A very significant construction cost.
What are the design alternatives to granting this waiver?	Adding a lesser number of trees than the regulation calls for
Why is granting this waiver in the Town's best interest?	Promoting redevelopment of the community
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	An appropriate number of new replacement trees will be replaced as described on the landscape plan.
What is the estimated value of the proposed mitigation measures?	\$500 per tree installed
Other Information?	None
Waiver Request Prepared By:	Legacy Engineering LLC
Date:	4-Sep-19

Questions?? - Please contact the Medway PED office at 508-533-3291.

274 Village Street
Medway, MA

Sewer Calculations
August 21, 2019

Total Unit Count	19	15 New condos, two existing condos, two ex. Single fam	
Title V Flow Rate per Unit	440	Conservatively assumes max of 4 bedrooms per unit	
Max. Day Flow Rate	8360 gpd 8.71 gpm 0.02 cfs	Based on Title V = max. day flow rate Assumes a 16-hour discharge period	
Ave. Day Flow Rate	4180 gpd 4.35 gpm 0.01 cfs	Assumes a 16-hour discharge period	
Peak Flow Rate	26.13 gpm 0.06 cfs	6 times average daily flow Assumes a 16-hour discharge period	
Pipe Sizing Calculations			
Size	4 inch	6 inch	8 inch
Slope	1%	1%	1%
Mannings "n" value for PVC	0.011	0.011	0.011
Full Capacity (cfs)	0.22 cfs	0.66 cfs	1.43 cfs
Full Velocity (fps)	2.58 fps	3.38 fps	4.09 fps

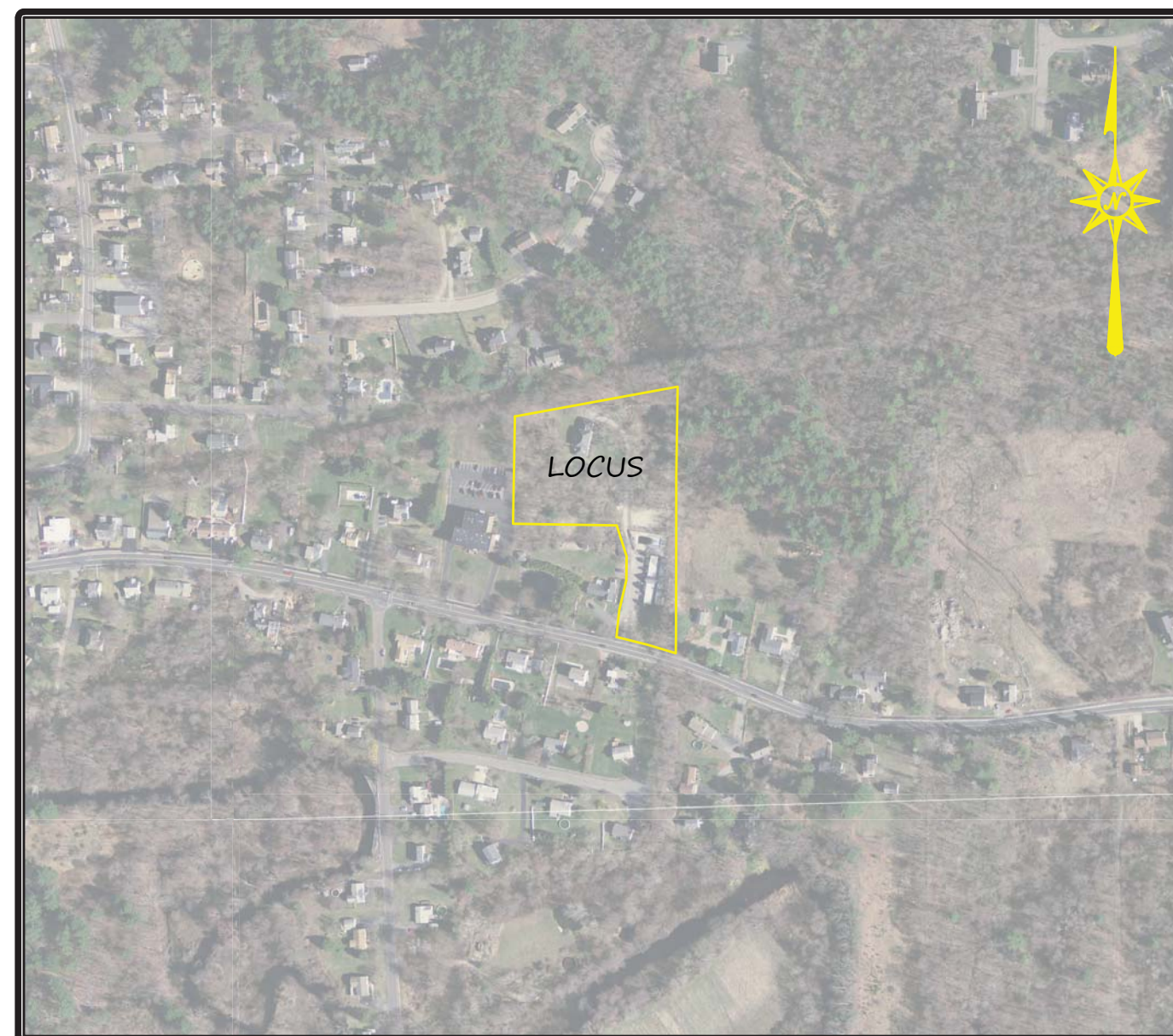
MEDWAY, MA

SITE PLAN

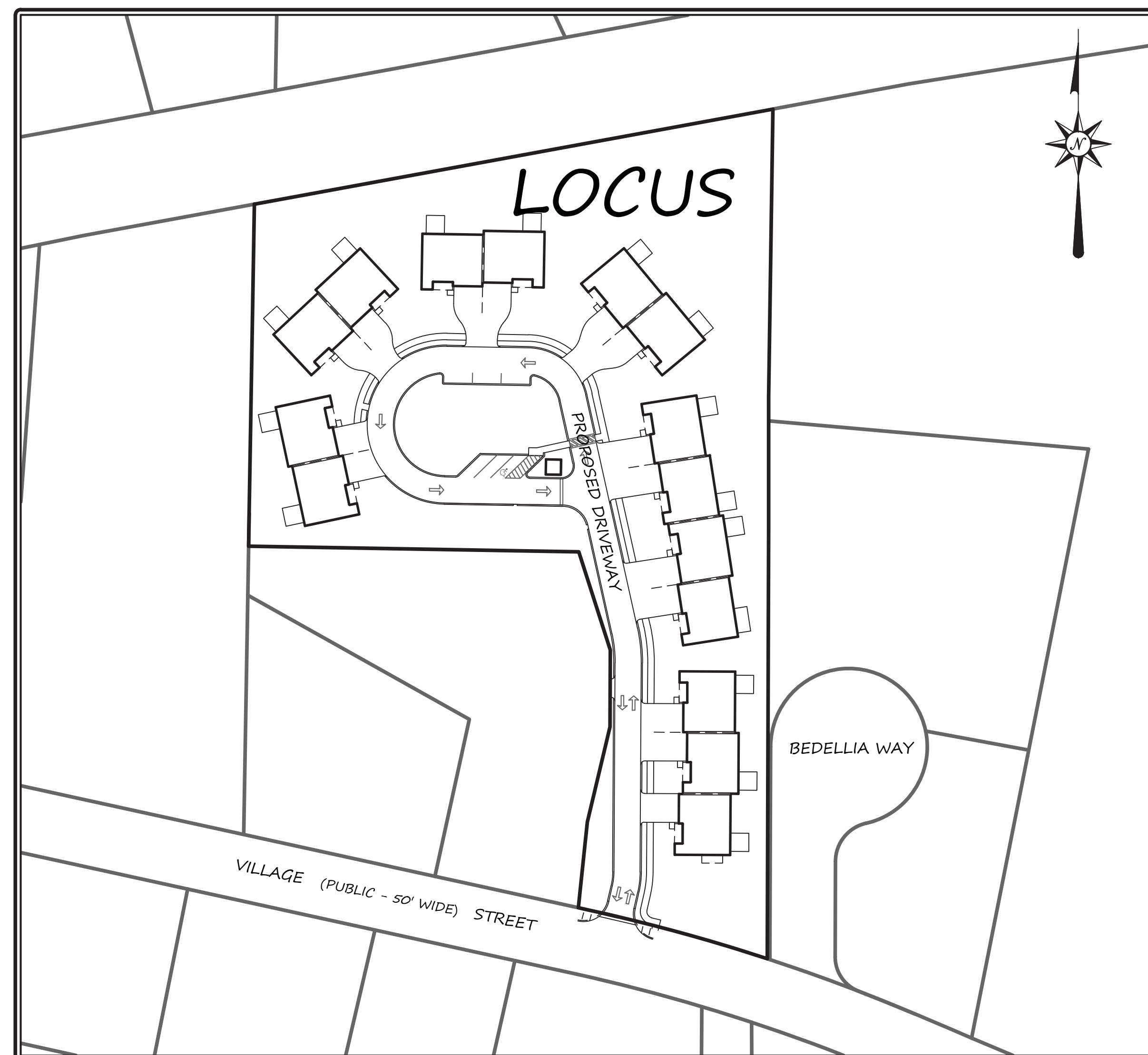
PREPARED BY:
LEGACY ENGINEERING LLC
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

JUNE 25, 2019
Latest Revision: September 4, 2019

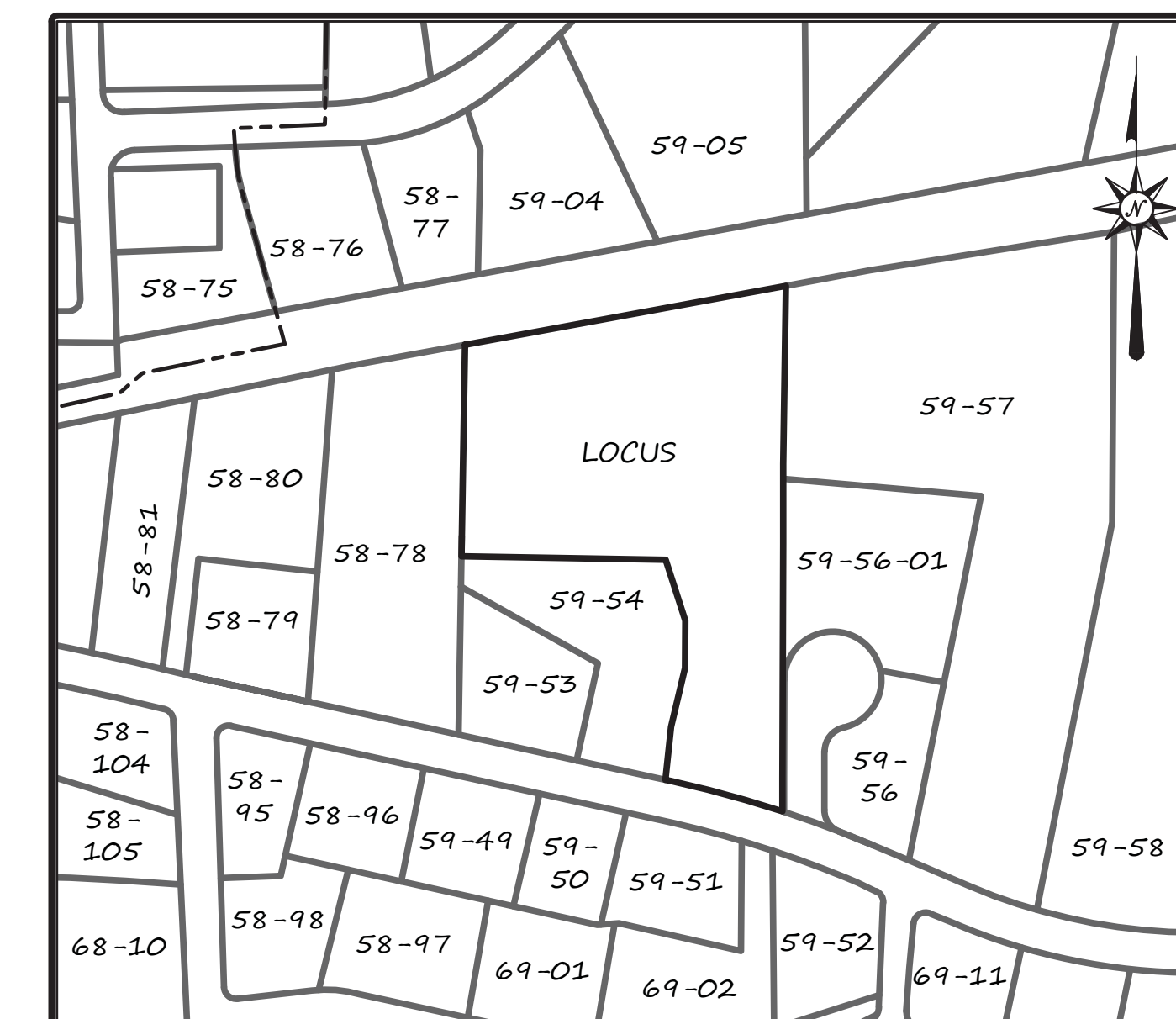
PREPARED FOR:
DTRT LLC
P.O. BOX 95
TRURO, MA 02666



2013 MASSGIS AERIAL LOCUS
SCALE: 1" = 500'



LOCUS
SCALE: 1" = 70'



MEDWAY ASSESSORS LOCUS
SCALE: 1" = 200'

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

WAIVERS LIST

PLANNING BOARD RULES AND REGULATIONS

- TRAINING BOOK RULES AND REGULATIONS
- 204-3-A.7.4 TO NOT REQUIRE A TRAFFIC IMPACT ASSESSMENT.
 - 204-3-A.7.8 TO NOT REQUIRE AN ENVIRONMENTAL IMPACT STUDY.
 - 204-3-B.2 TO NOT REQUIRE A SIGN POSTING BEING OVER 1" IN DIAMETER.
 - 204-5-D.9 TO NOT REQUIRE COLOR TREATMENTS OF THE PROJECT.
 - 205-3-B.2 TO ALLOW A DRIVEWAY WITHIN 15' OF A SIDE PROPERTY LINE.
 - 205-6-H TO ALLOW CAPE COD BERM AT PARKING LOTS.
 - 205-6-G.3.a TO ALLOW 18" DEEP PARKING SPACES.
 - 205-9-F TO NOT REQUIRE FULL REPLACEMENT OF TREES.

SHEET LEGEND

- C-0: COVER SHEET
- C-1: SITE CONTEXT SHEET
- C-2: EXISTING CONDITIONS PLAN
- C-3: EROSION CONTROLS PLAN
- C-4: LAYOUT PLAN
- C-5: GRADING PLAN
- C-6: UTILITIES PLAN
- C-7: LIGHTING PLAN
- C-8: SNOW PLAN
- C-9: DETAILS
- C-10: DETAILS
- C-11: DETAILS

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



LEGACY
ENGINEERING

D158-01



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 15:06:12 -04'00'

PLAN SCALE: AS NOTED

PLAN DATE: JUNE 25, 2019	REVISION
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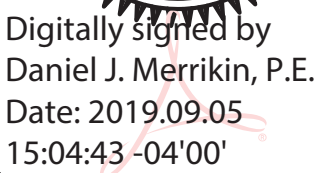
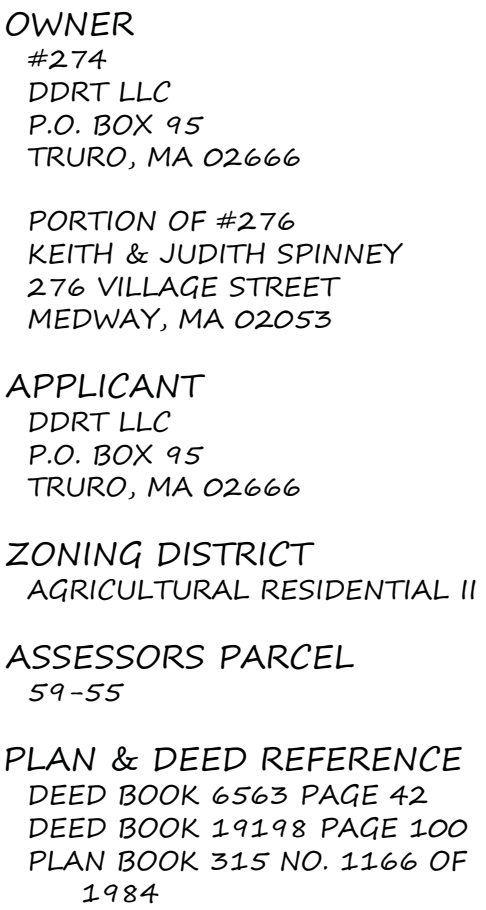
DATE	BY
9/4/2019	DJM

REVISION
REVISIONS PER TOWN COMMENTS

WILLIAM WALLACE VILLAGE
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA



LEGACY
ENGINEERING



1. PARCEL A & B WILL BE SWAPPED PRIOR TO CONSTRUCTION AND THE EXISTING SHED WILL BE DEMOLISHED. THE DEVELOPMENT WILL THEREFORE CONSIST OF LOT C-2 AND PARCEL A. THE REST OF THE PLAN SHEETS DEPICT THESE PARCELS AS THE PROJECT BOUNDARIES.
2. THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
4. OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC., ARE APPROXIMATE ONLY AND BASED ON MASSGIS AERIAL PHOTOGRAPHS.
5. ELEVATIONS ARE ON THE NAVD83 DATUM.

PLAN DATE: JUNE 25, 2019

WALLACE VILLAGE SITING CONDITIONS PLAN OF LAND IN MEDWAY, MA

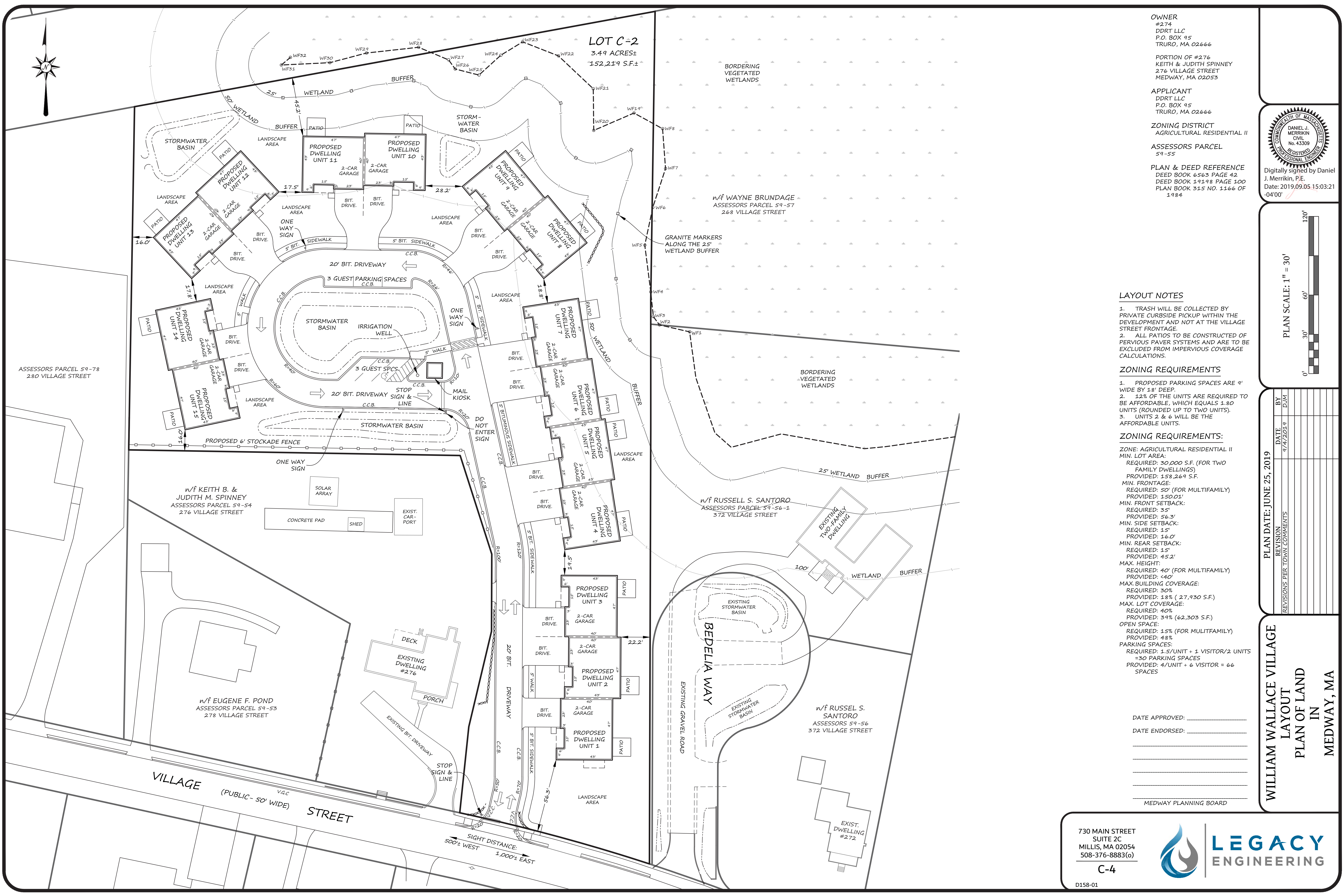
DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING BOARD



LEGACY
ENGINEERING



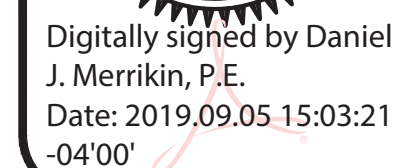
PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984



LAYOUT NOTES

1. TRASH WILL BE COLLECTED BY PRIVATE CURBSIDE PICKUP WITHIN THE DEVELOPMENT AND NOT AT THE VILLAGE STREET FRONTAGE.
2. ALL PATIOS TO BE CONSTRUCTED OF PERVIOUS PAVES SYSTEMS AND ARE TO BE EXCLUDED FROM IMPERVIOUS COVERAGE CALCULATIONS.

ZONING REQUIREMENTS

1. PROPOSED PARKING SPACES ARE 9' WIDE BY 18' DEEP.
2. 12% OF THE UNITS ARE REQUIRED TO BE AFFORDABLE, WHICH EQUALS 1.80 UNITS (ROUNDED UP TO TWO UNITS).
3. UNITS 2 & 6 WILL BE THE AFFORDABLE UNITS.

ZONING REQUIREMENTS:

ZONE: AGRICULTURAL RESIDENTIAL II
 MIN. LOT AREA:
 REQUIRED: 30,000 S.F. (FOR TWO
 FAMILY DWELLINGS)
 PROVIDED: 158,269 S.F.
 MIN. FRONTAGE:
 REQUIRED: 50' (FOR MULTIFAMILY)
 PROVIDED: 150.01'
 MIN. FRONT SETBACK:
 REQUIRED: 35'
 PROVIDED: 56.3'
 MIN. SIDE SETBACK:
 REQUIRED: 15'
 PROVIDED: 16.0'
 MIN. REAR SETBACK:
 REQUIRED: 15'
 PROVIDED: 45.2'
 MAX. HEIGHT:
 REQUIRED: 40' (FOR MULTIFAMILY)
 PROVIDED: 40'
 MAX. BUILDING COVERAGE:
 REQUIRED: 30%
 PROVIDED: 18% (27,930 S.F.)
 MAX. LOT COVERAGE:
 REQUIRED: 40%
 PROVIDED: 39% (62,303 S.F.)
 OPEN SPACE:
 REQUIRED: 15% (FOR MULTIFAMILY)
 PROVIDED: 48%
 PARKING SPACES:
 REQUIRED: 1.5/UNIT + 1 VISITOR/2 UNIT
 = 30 PARKING SPACES
 PROVIDED: 4/UNIT + 6 VISITOR = 66
 SPACES

DATE APPROVED: _____

DATE ENDORSED: _____

MEDWAY PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-4



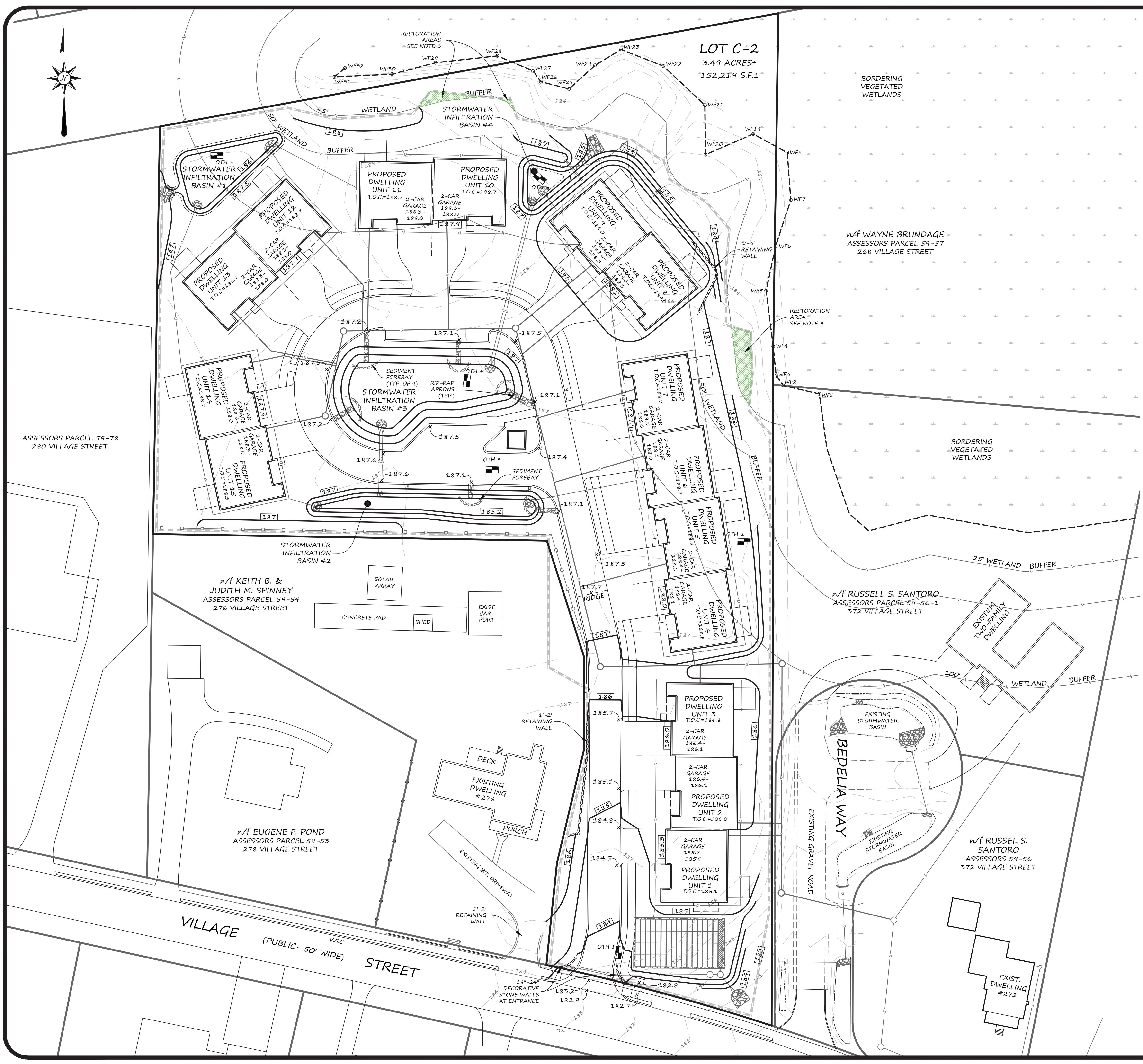
LEGACY
ENGINEERING

D158-01

PLAN SCALE: 1" = 30'

[illegible]

WILLIAM WALLACE VILLAGE
LAYOUT
PLAN OF LAND
IN
MEDWAY, MA



OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

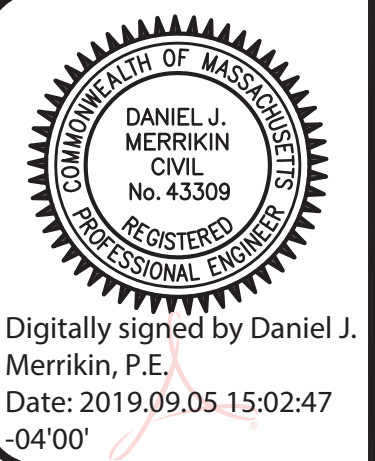
APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

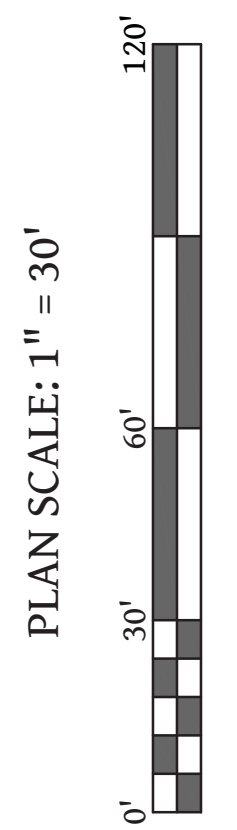
ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

- GRADING NOTES**
1. EXPECTED SOIL IMPORT: ~900 C.Y.
 2. EXPECTED SOIL EXPORT: ~350 C.Y.
 - 2.1. MOSTLY CONCRETE & PAVEMENT DEBRIS
 3. LOAM AND SEED BUFFER ZONE RESTORATION AREAS WITH AN UPLAND EROSION CONTROL MIX. PLANT A TOTAL OF 10 SHRUBS (MIN 18" TALL AT INSTALLATION) IN RESTORATION AREAS. (SPECIES TO BE APPROVED BY CONSERVATION AGENT).



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 15:02:47 -0400



PLAN SCALE: 1" = 30'

REVISIONS PER TOWN COMMENTS		DATE	BY
		7/4/2019	DJM

PLAN DATE: JUNE 25, 2019

WILLIAM WALLACE VILLAGE
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

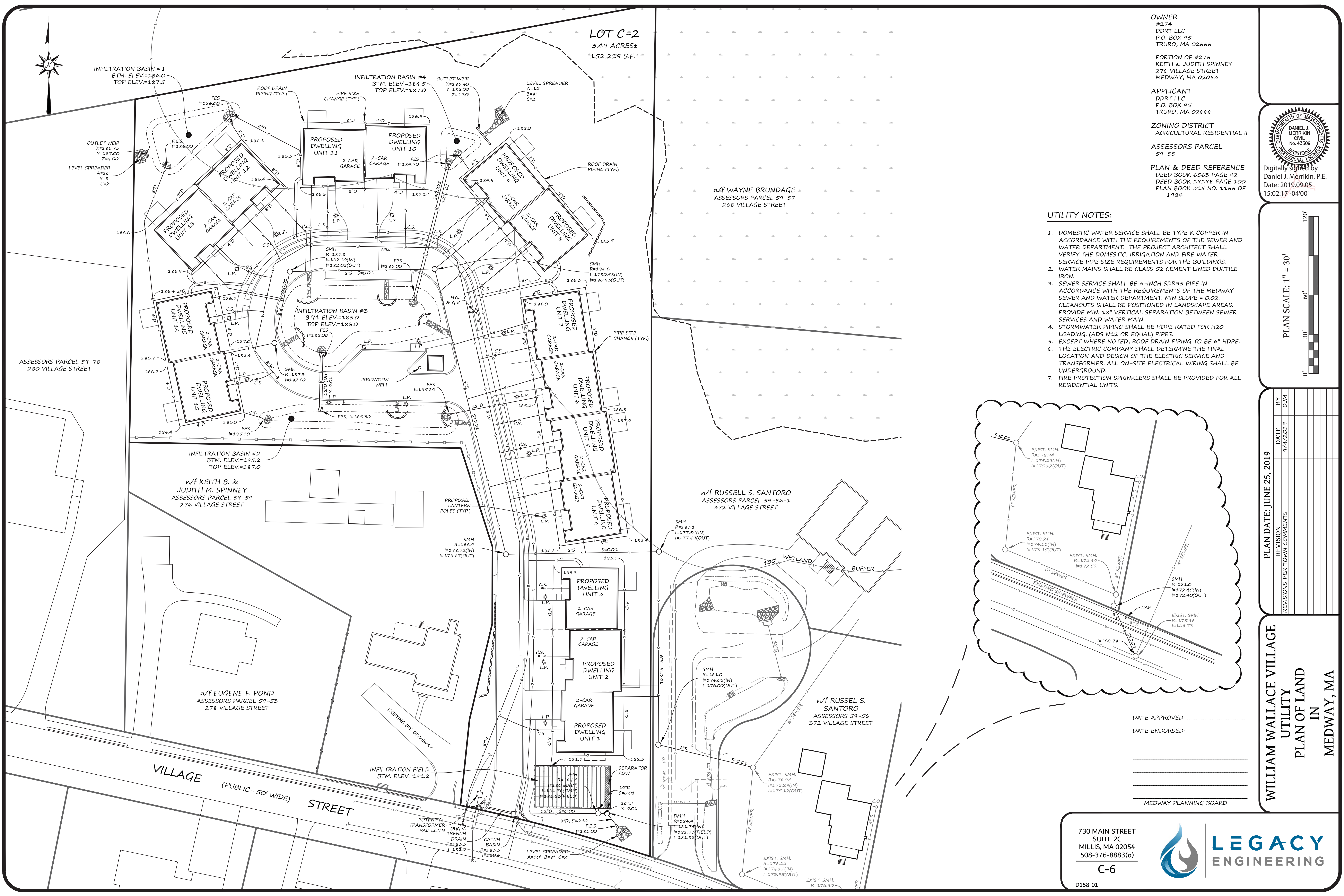
DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-5





OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

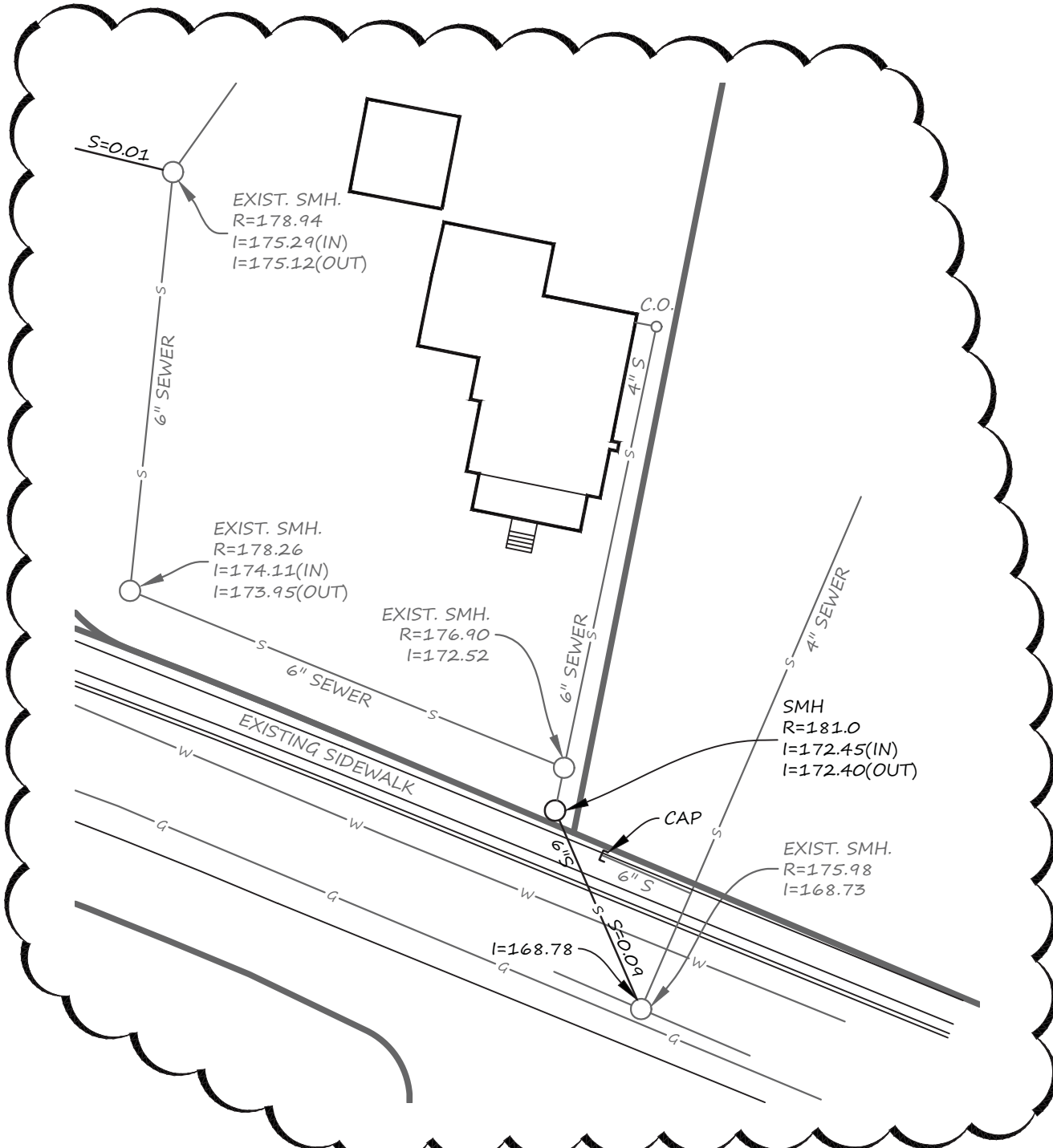
APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984

- UTILITY NOTES:
- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
 - WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
 - SEWER SERVICE SHALL BE 6-INCH SDR35 PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MEDWAY SEWER AND WATER DEPARTMENT. MIN SLOPE = 0.02. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS. PROVIDE MIN. 18" VERTICAL SEPARATION BETWEEN SEWER SERVICES AND WATER MAIN.
 - STORMWATER PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL) PIPES.
 - EXCEPT WHERE NOTED, ROOF DRAIN PIPING TO BE 6" HDPE.
 - THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER. ALL ON-SITE ELECTRICAL WIRING SHALL BE UNDERGROUND.
 - FIRE PROTECTION SPRINKLERS SHALL BE PROVIDED FOR ALL RESIDENTIAL UNITS.



DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING BOARD


730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-6

1518-01

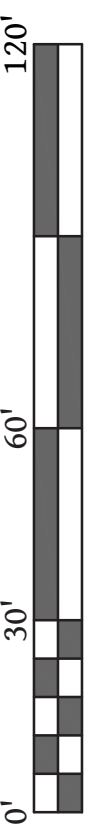


LEGACY
ENGINEERING



Digitally signed by
Daniel J. Merrikin, P.E.
Date: 2019.09.05
15:02:17 -04'00'

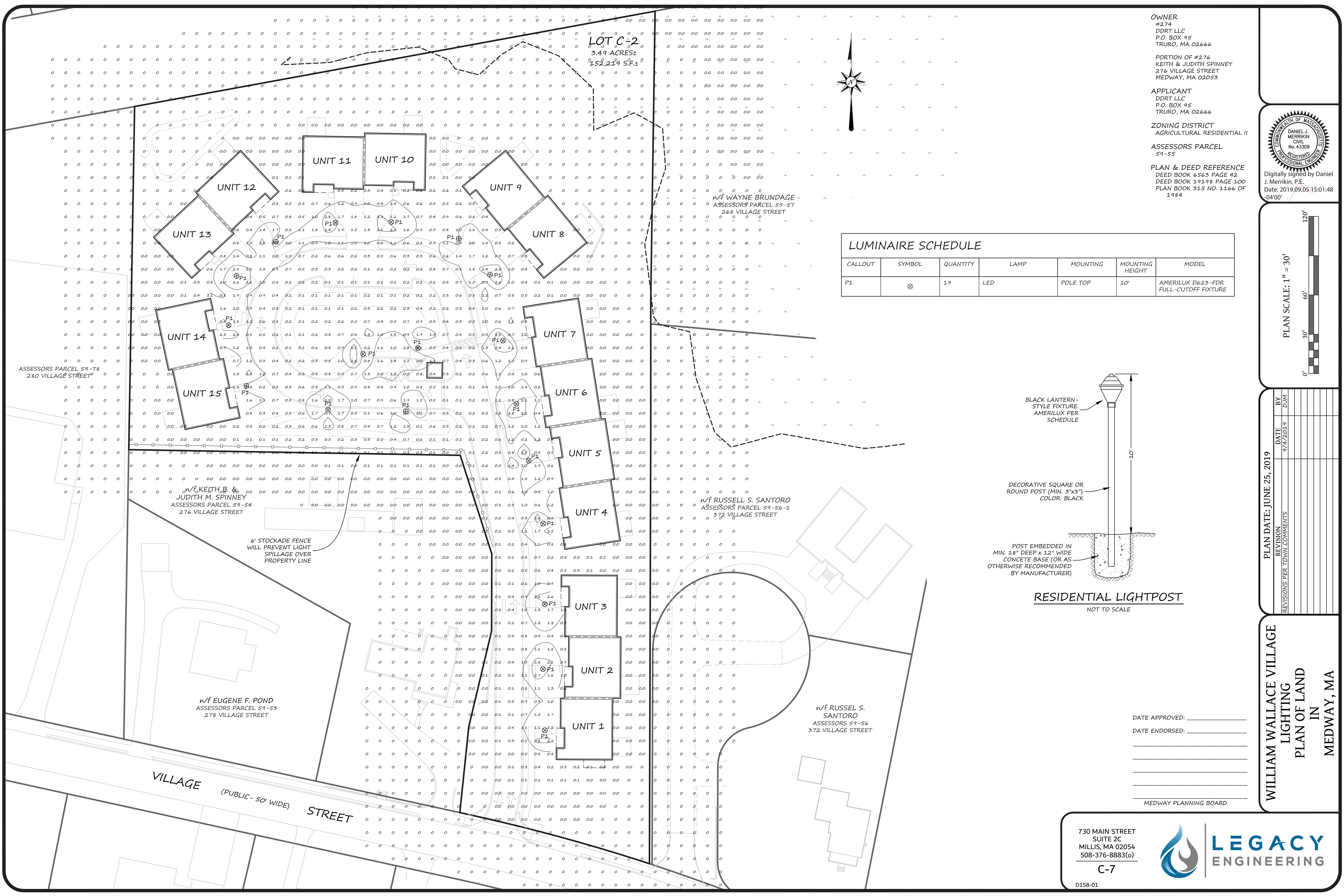
PLAN SCALE: 1" = 30'



REVISION	DATE	BY
1	7/4/2019	DJM
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PLAN DATE: JUNE 25, 2019

WILLIAM WALLACE VILLAGE
UTILITY
PLAN OF LAND
IN
MEDWAY, MA



OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

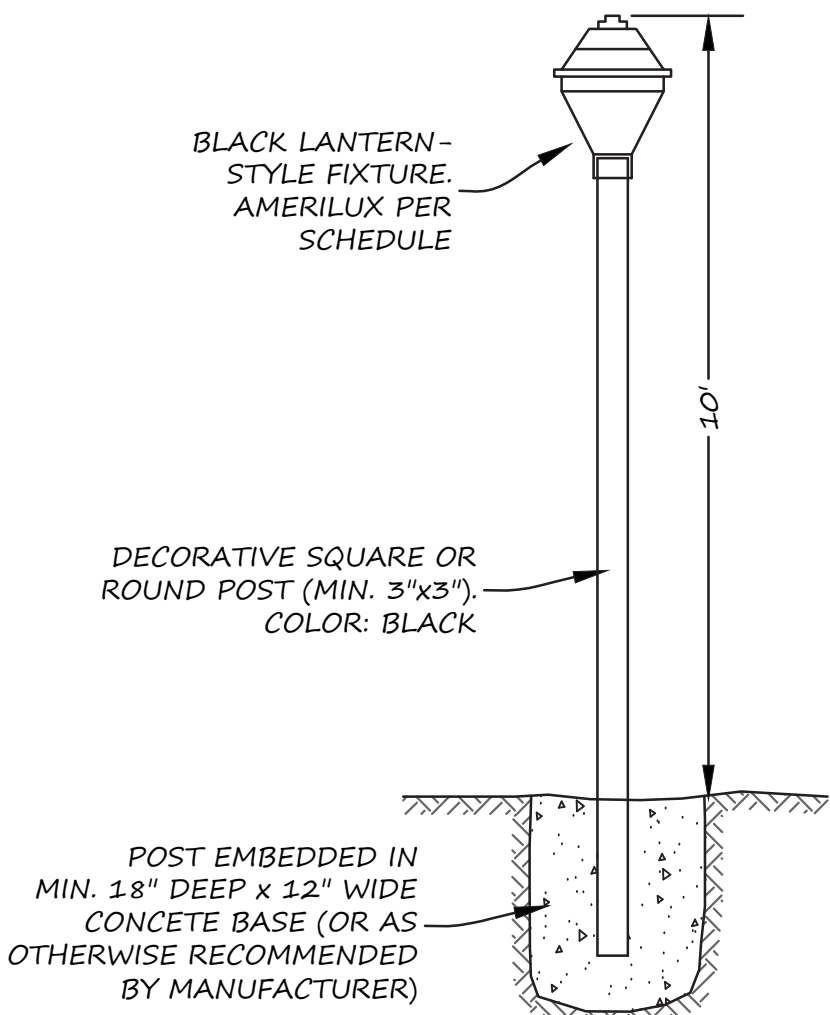
ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984

Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 15:01:48 -0400

LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	QUANTITY	LAMP	MOUNTING	MOUNTING HEIGHT	MODEL
P1		19	LED	POLE TOP	10'	AMERILUX D623-FDR FULL-CUTOFF FIXTURE



RESIDENTIAL LIGHTPOST
NOT TO SCALE

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING BOARD

PLAN SCALE: 1" = 30'

REVISIONS PER TOWN COMMENTS	DATE	BY
	7/4/2019	DJM

WILLIAM WALLACE VILLAGE
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984



Digitally signed by Daniel
J. Merrikin, P.E.
Date: 2019.09.05 14:59:58
-04'00'

1. SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE POSSIBLE AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
2. NO SNOW STORAGE ALLOWED WITHIN THE 100' BUFFER ZONE.
3. SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE
4. ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
5. THE TOTAL AREA REQUIRING SNOW REMOVAL IS APPROXIMATELY 17,350 S.F. THE SNOW STORAGE AREAS TOTAL APPROXIMATELY 9,580 S.F.

PLAN SCALE: 1" = 30'

[illegible]

WILLIAM WALLACE VILLAGE
SNOW STORAGE
PLAN OF LAND
IN
MEDWAY, MA

DATE ENDORSED: _____

MEDWAY PLANNING BOARD

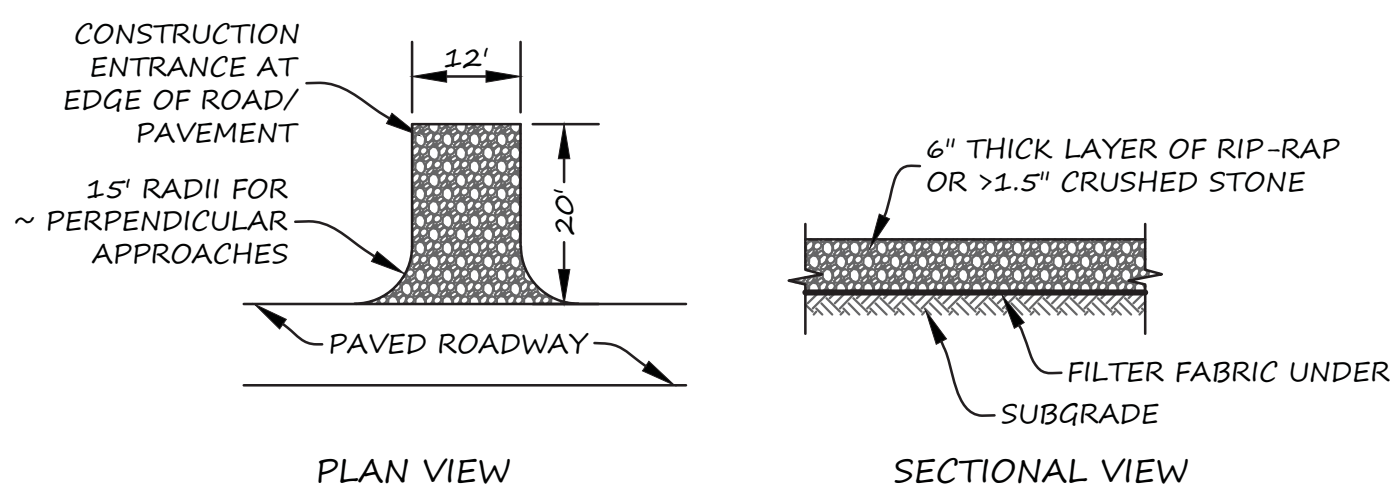
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-8



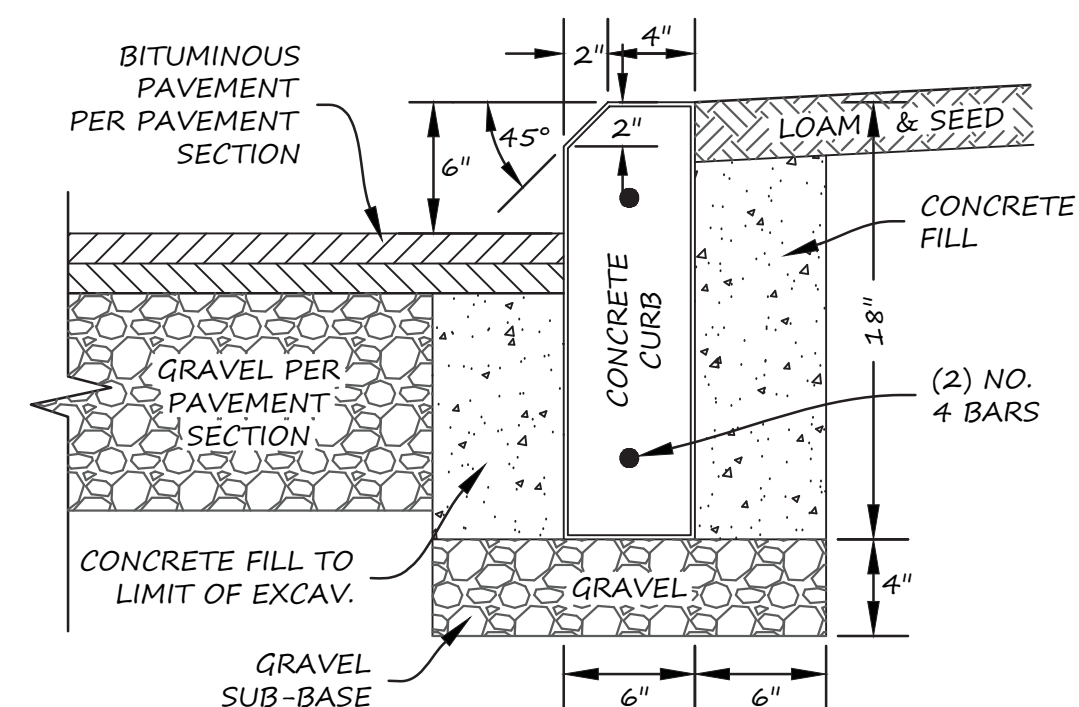
LEGACY
ENGINEERING

D158-01



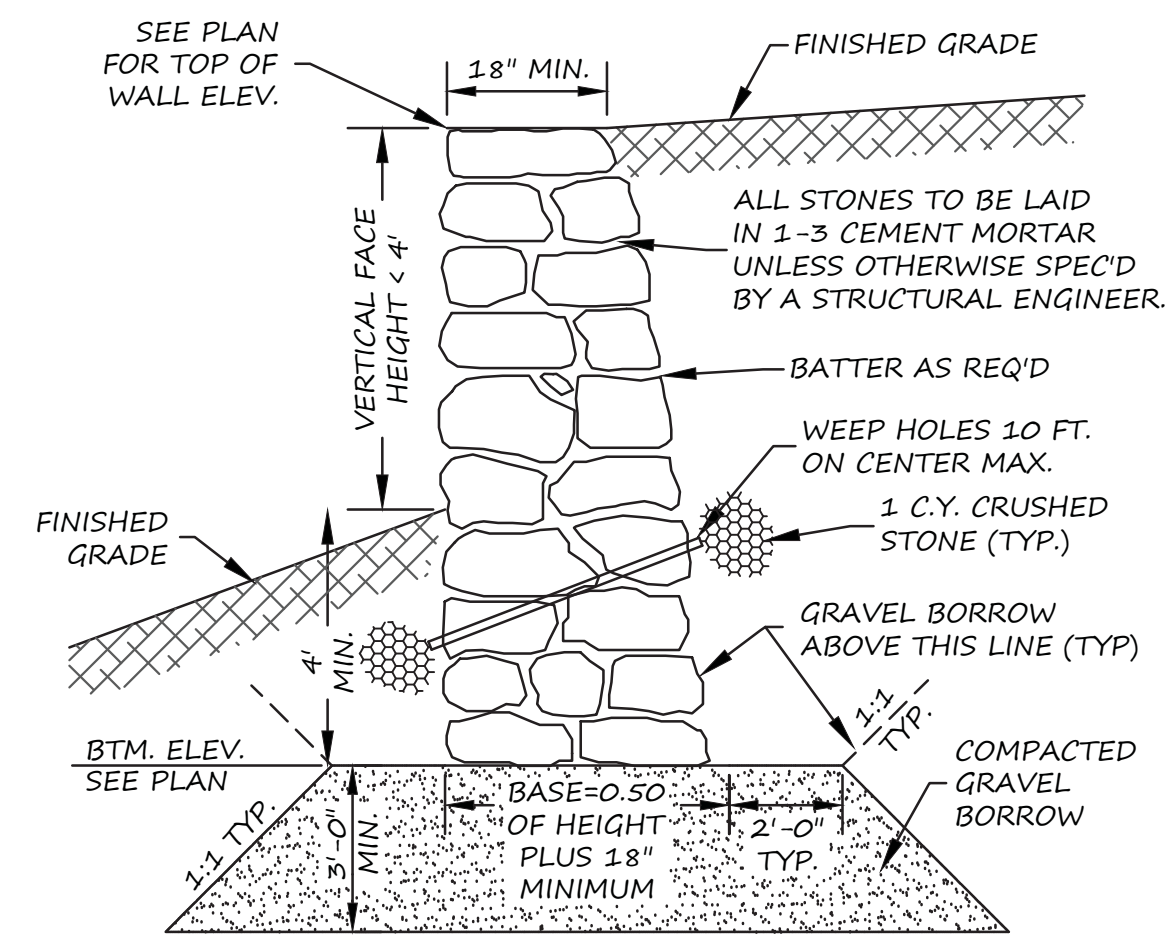
- NOTES:
- ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 - ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

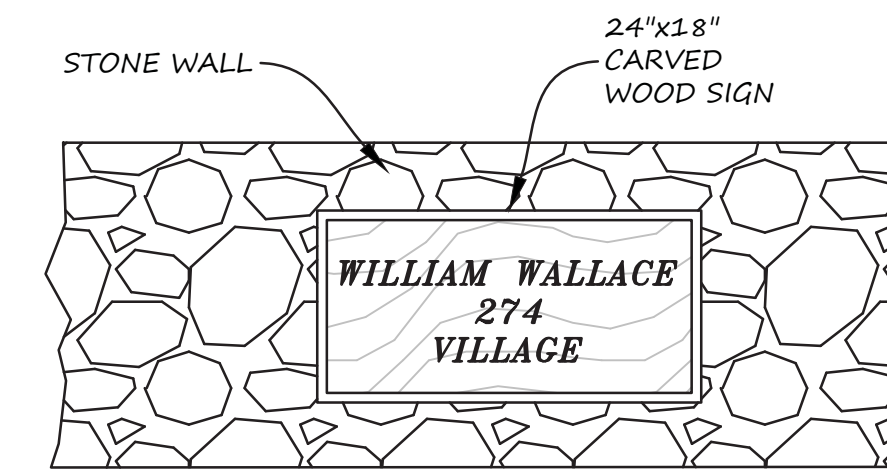


- NOTES:
- CONCRETE TO BE 4,000 PSI.
 - ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

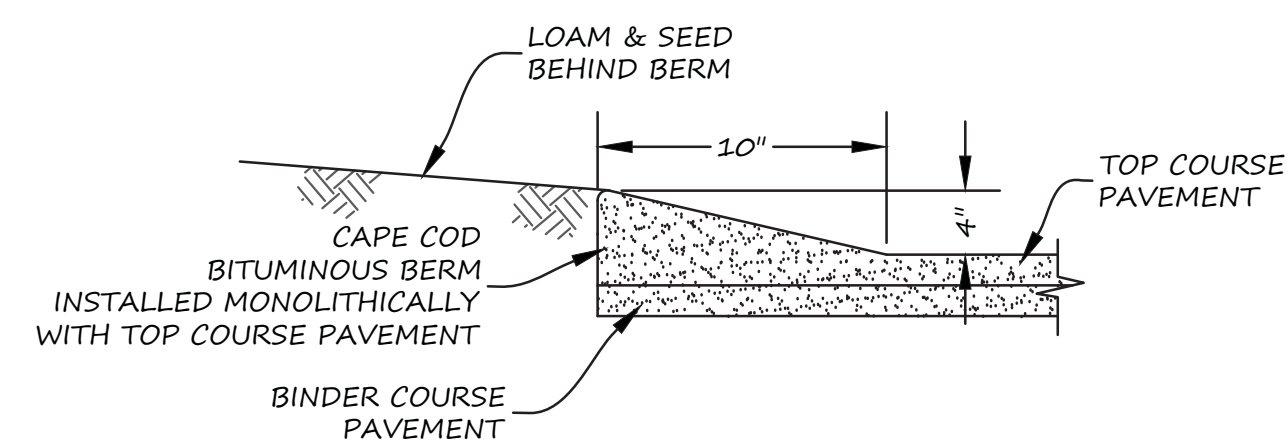
PRECAST CONCRETE CURB DETAIL
(NO SCALE)



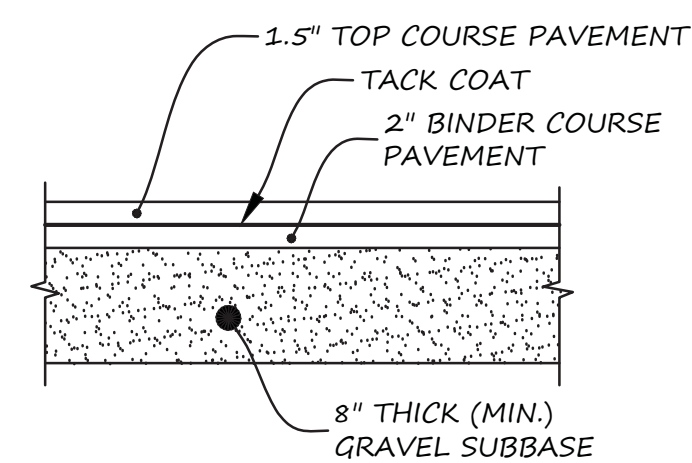
TYPICAL STONE RETAINING WALL
NOT TO SCALE



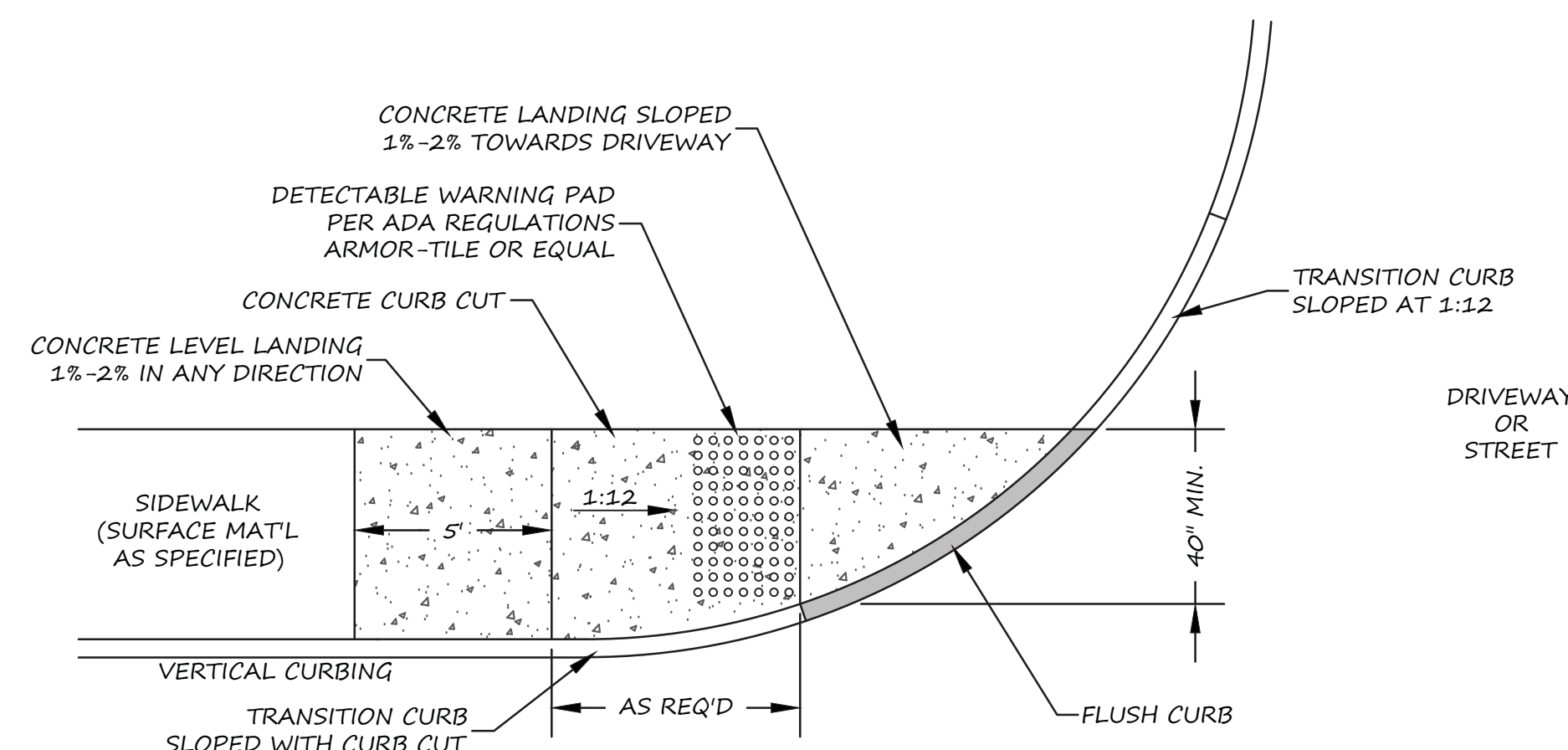
ENTRANCE SIGNS
NOT TO SCALE



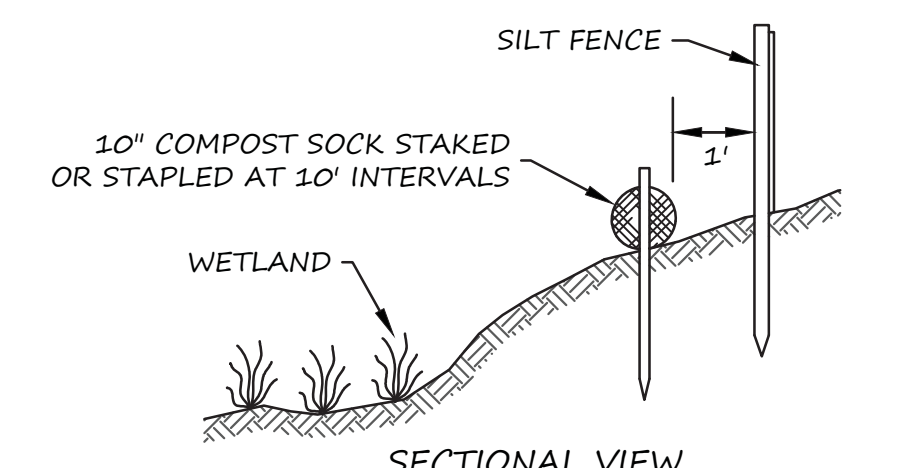
MONOLITHIC CAPE COD BERM DETAIL
(NO SCALE)



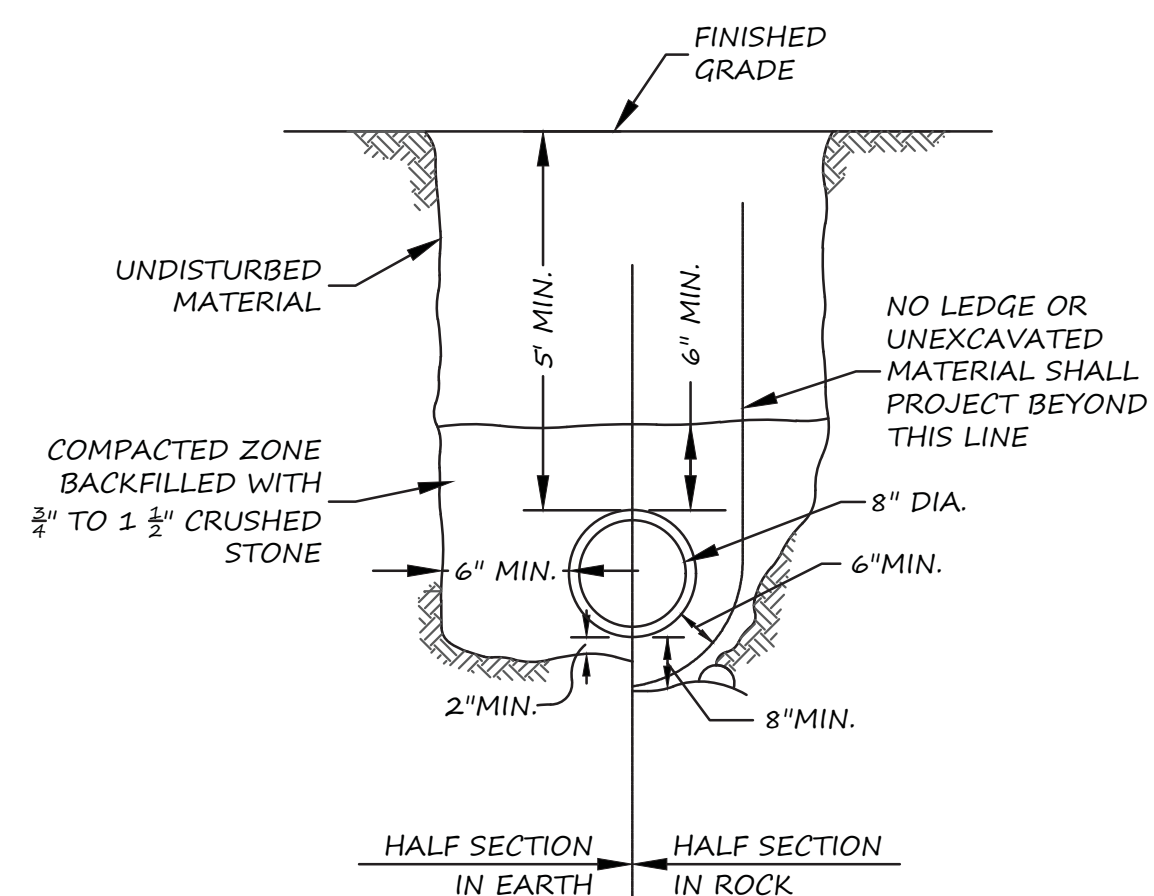
TYPICAL PARKING LOT PAVING SECTION
NOT TO SCALE



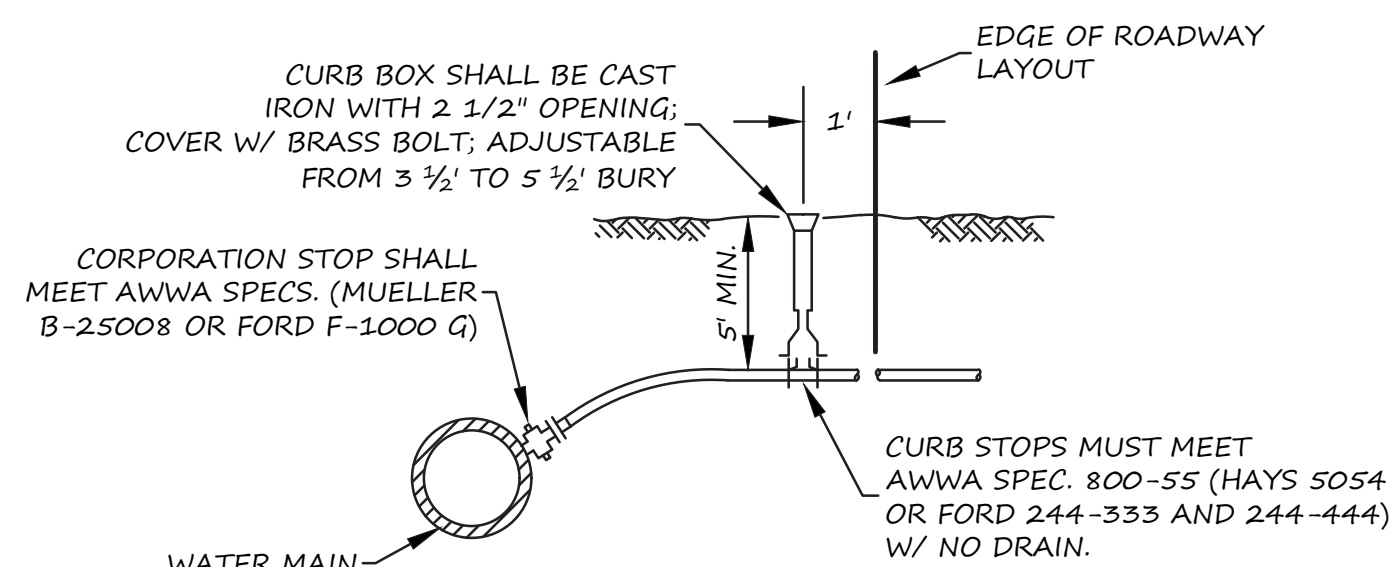
TYPICAL ACCESSIBLE CURB CUT DETAIL
NOT TO SCALE



EROSION CONTROL DETAIL (FILTER SOCK)
NOT TO SCALE

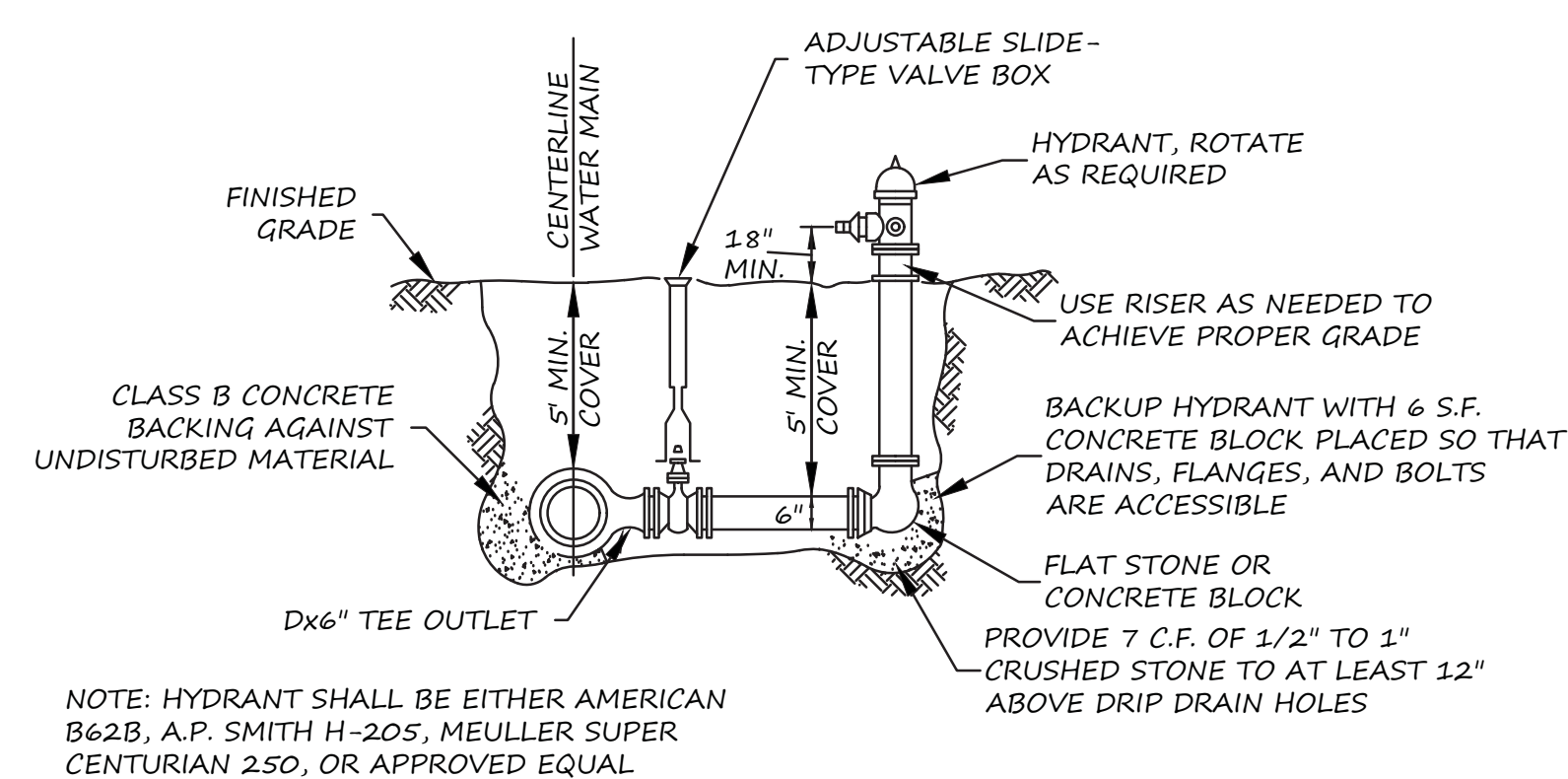


WATER MAIN TRENCH DETAIL
NOT TO SCALE

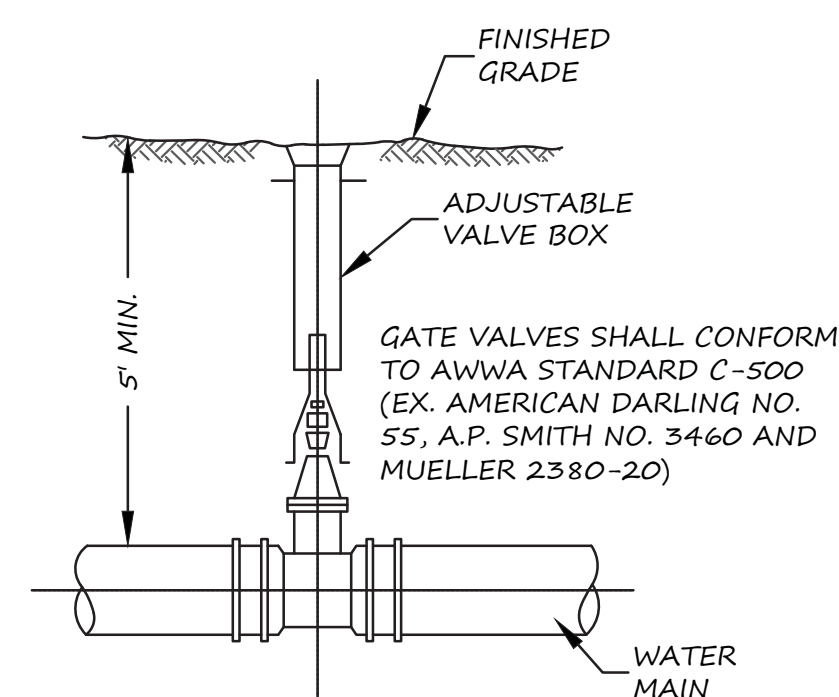


- NOTES:
- COPPER TUBING SHALL MEET AWWA SPEC. 76-CR TYPE K OR FEDERAL SPEC. WWT-799 TYPE K.
 - 1 1/2-INCH AND LARGER SERVICES SHALL BE INSTALLED WITH A SADDLE.

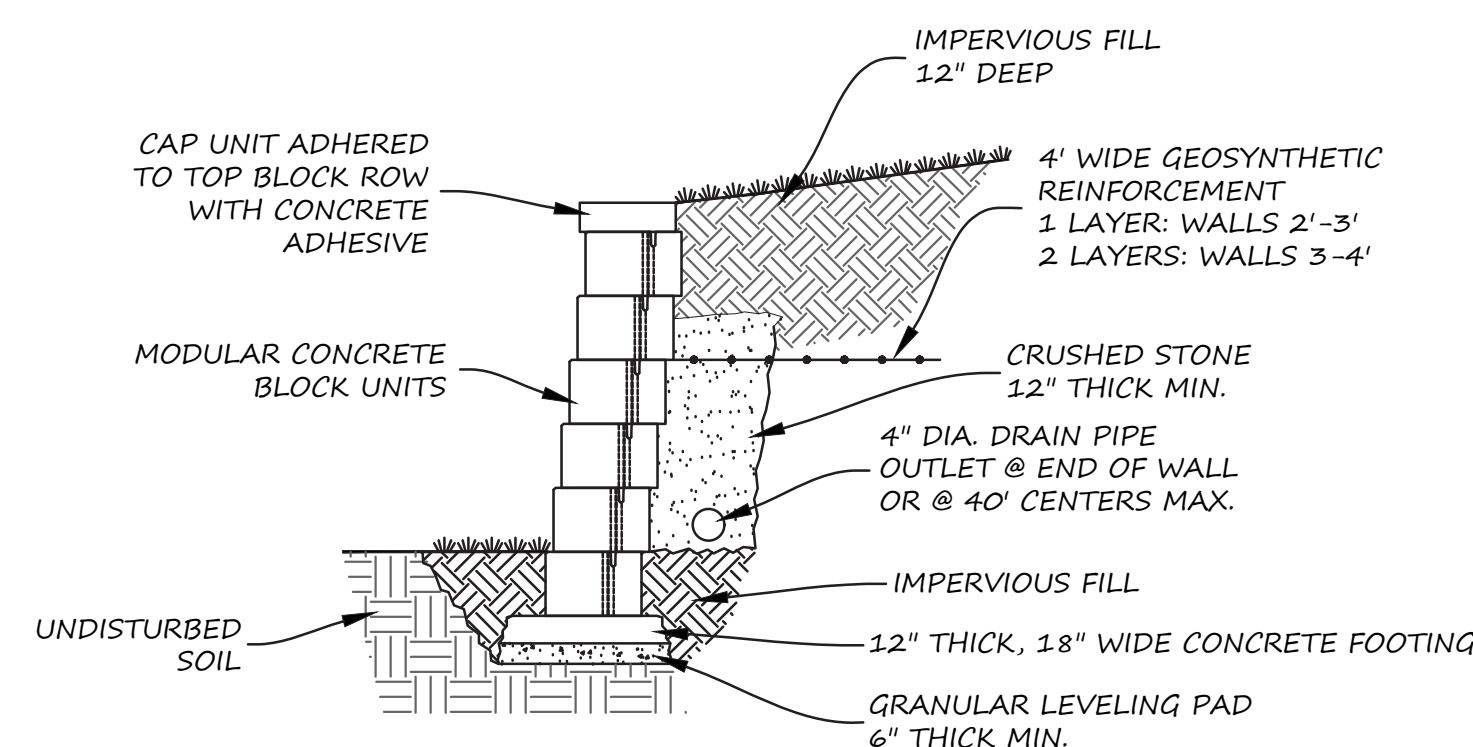
TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL HYDRANT ASSEMBLY DETAIL
NOT TO SCALE

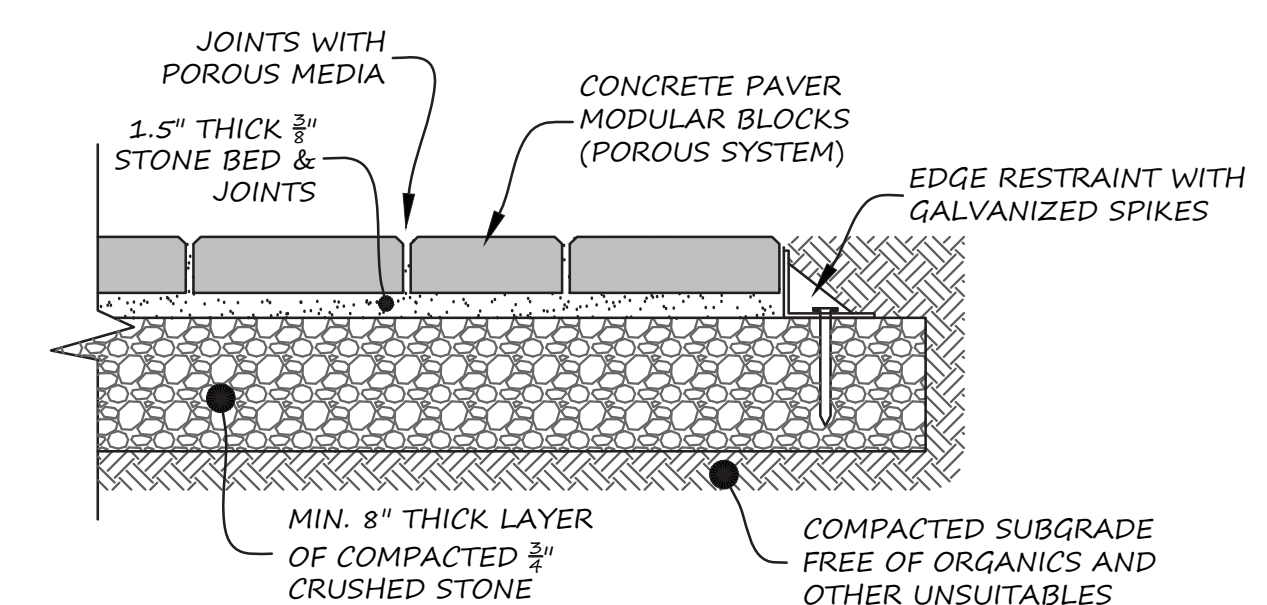


TYPICAL GATE VALVE
NOT TO SCALE



- NOTES:
- SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE



- NOTE: PAVER MANUFACTURER, MODEL AND COLOR AT APPLICANT'S DISCRETION BUT MUST BE A POROUS PAVER SYSTEM.

CONCRETE PAVER DETAIL
NOT TO SCALE

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING BOARD

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
276 VILLAGE STREET
MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II
ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF
1984



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 14:59:31 -0400

PLAN SCALE: NOT TO SCALE

DATE	BY
9/4/2019	DJM
REVISION	COMMENTS

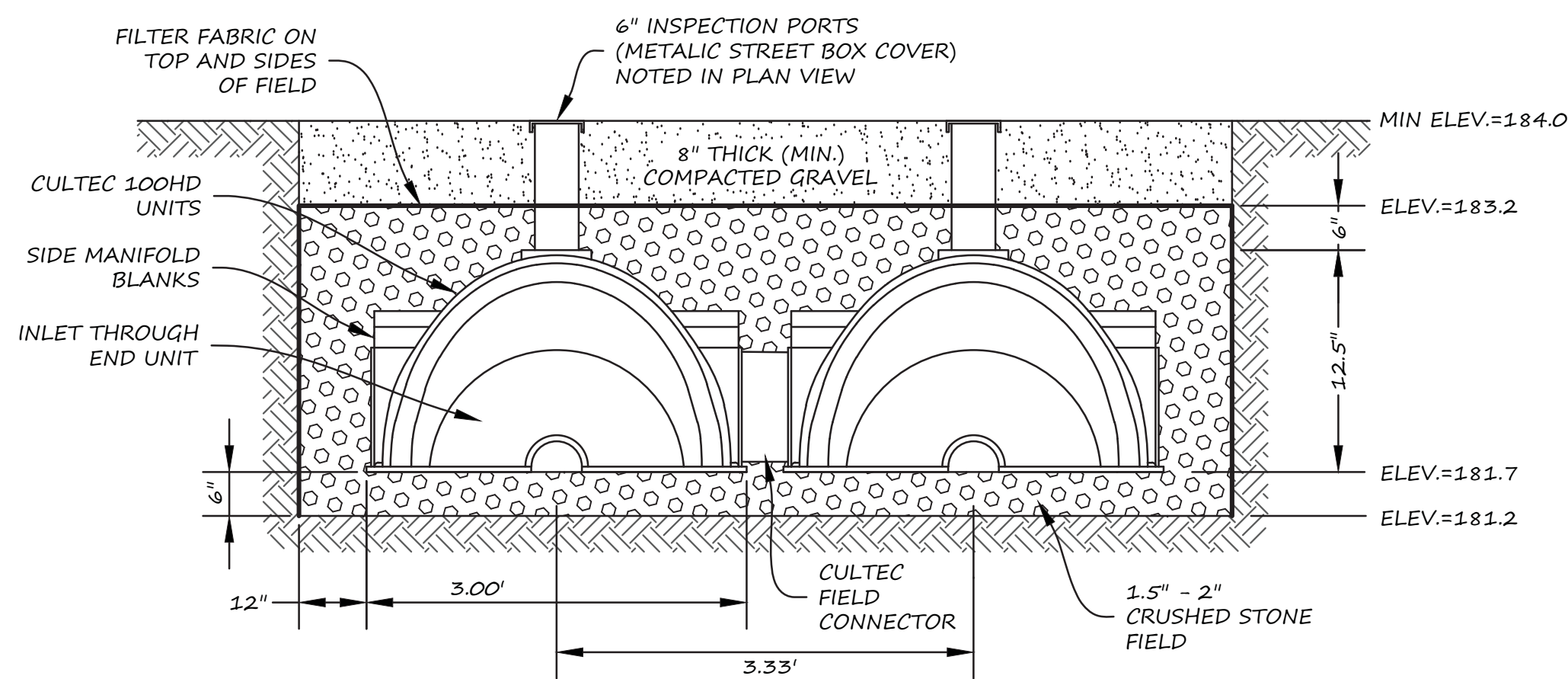
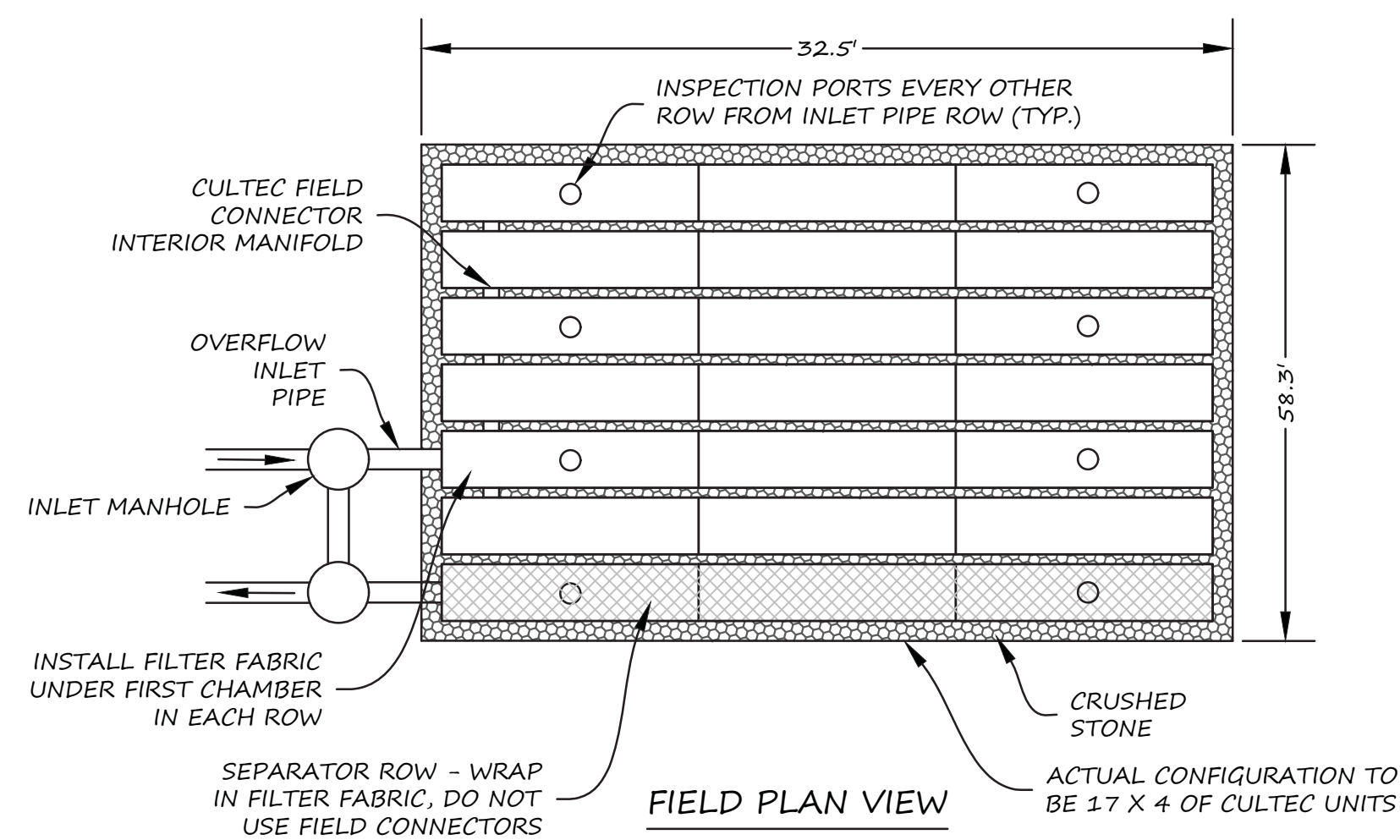
WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9

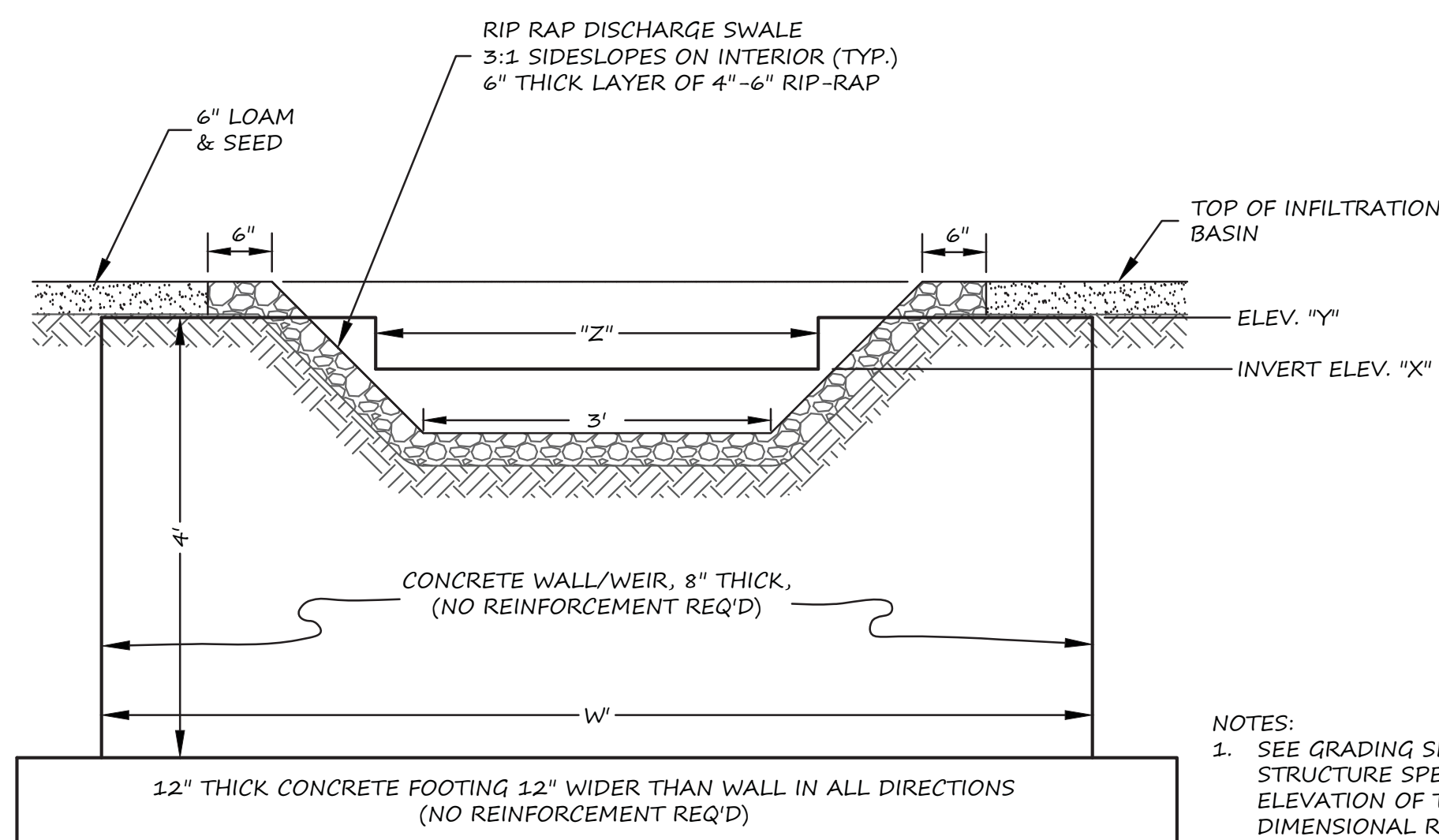


D158-01



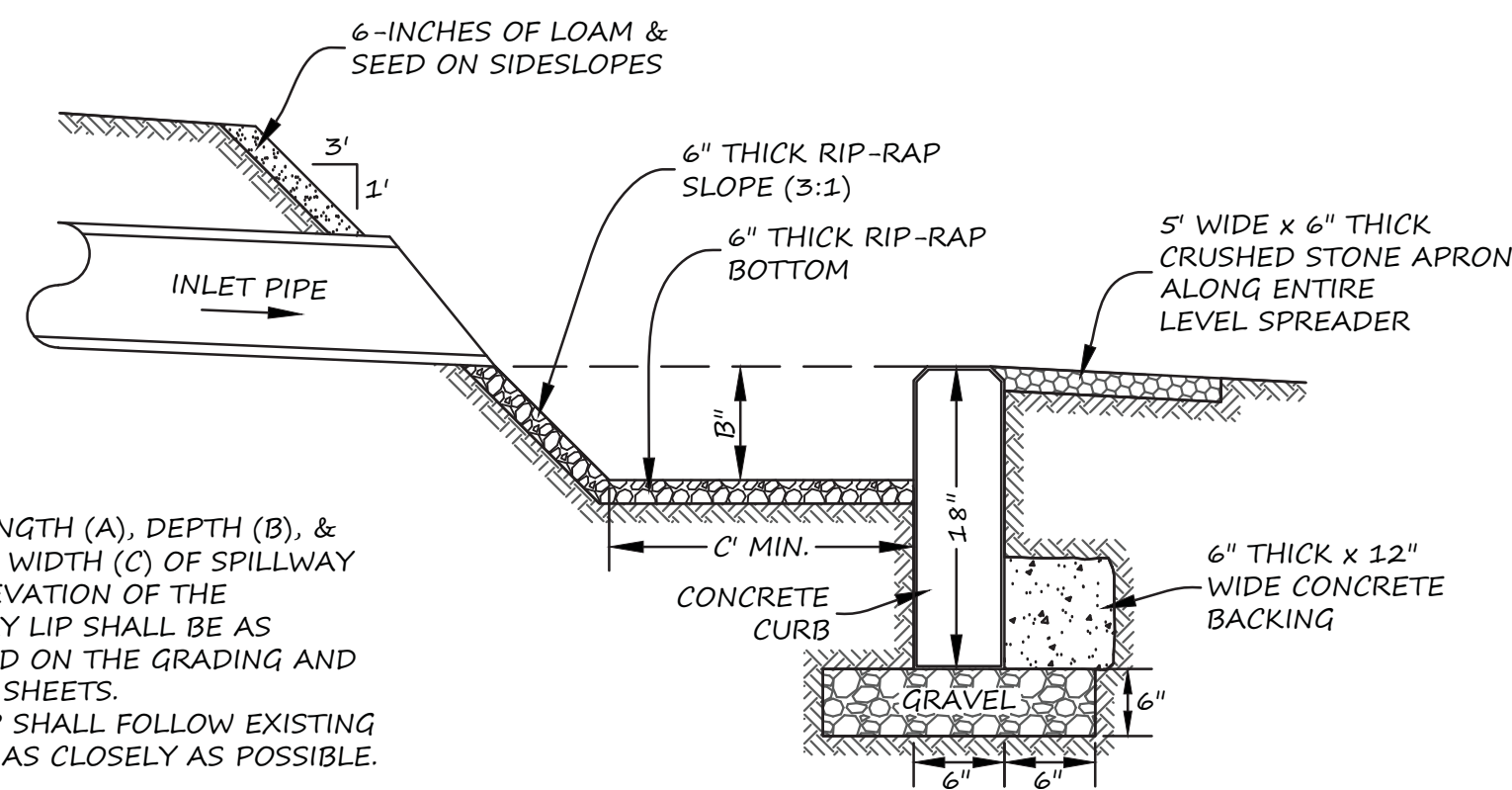
- NOTES:
1. INFILTRATION TRENCH UNITS TO BE RECHARGER 100XLHD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
 3. TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
 4. INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
 5. REMOVE ALL TOPSOIL AND SUBSOIL BELOW SYSTEM AND REPLACE WITH GRAVEL MEETING ENGINEER'S APPROVAL AS NEEDED.

INFILTRATION FIELD DETAIL
NOT TO SCALE

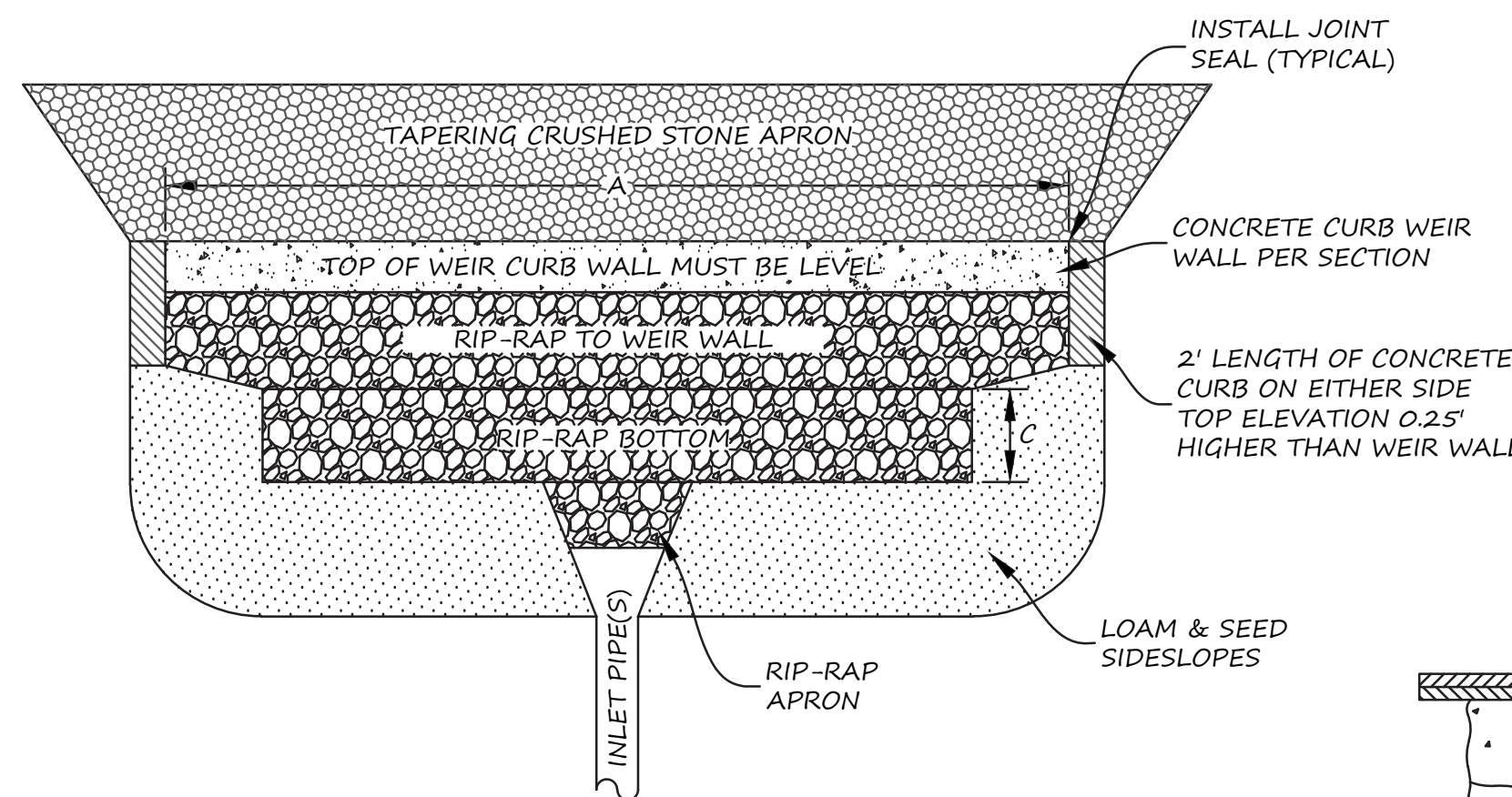


BASIN OUTLET WEIR AND RIP-RAP SWALE DETAIL

- NOTES:
1. WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
 2. WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.

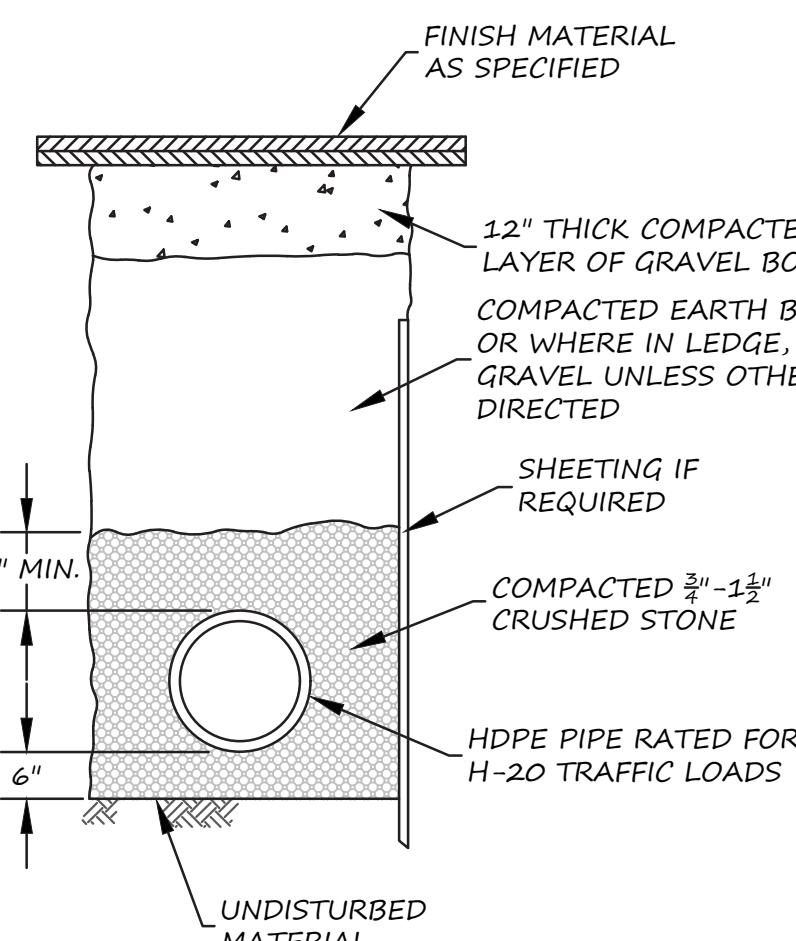


TYPICAL SECTIONAL VIEW



LEVEL SPREADER DETAIL
NOT TO SCALE

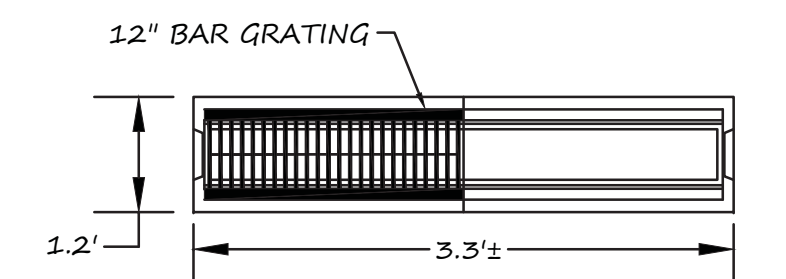
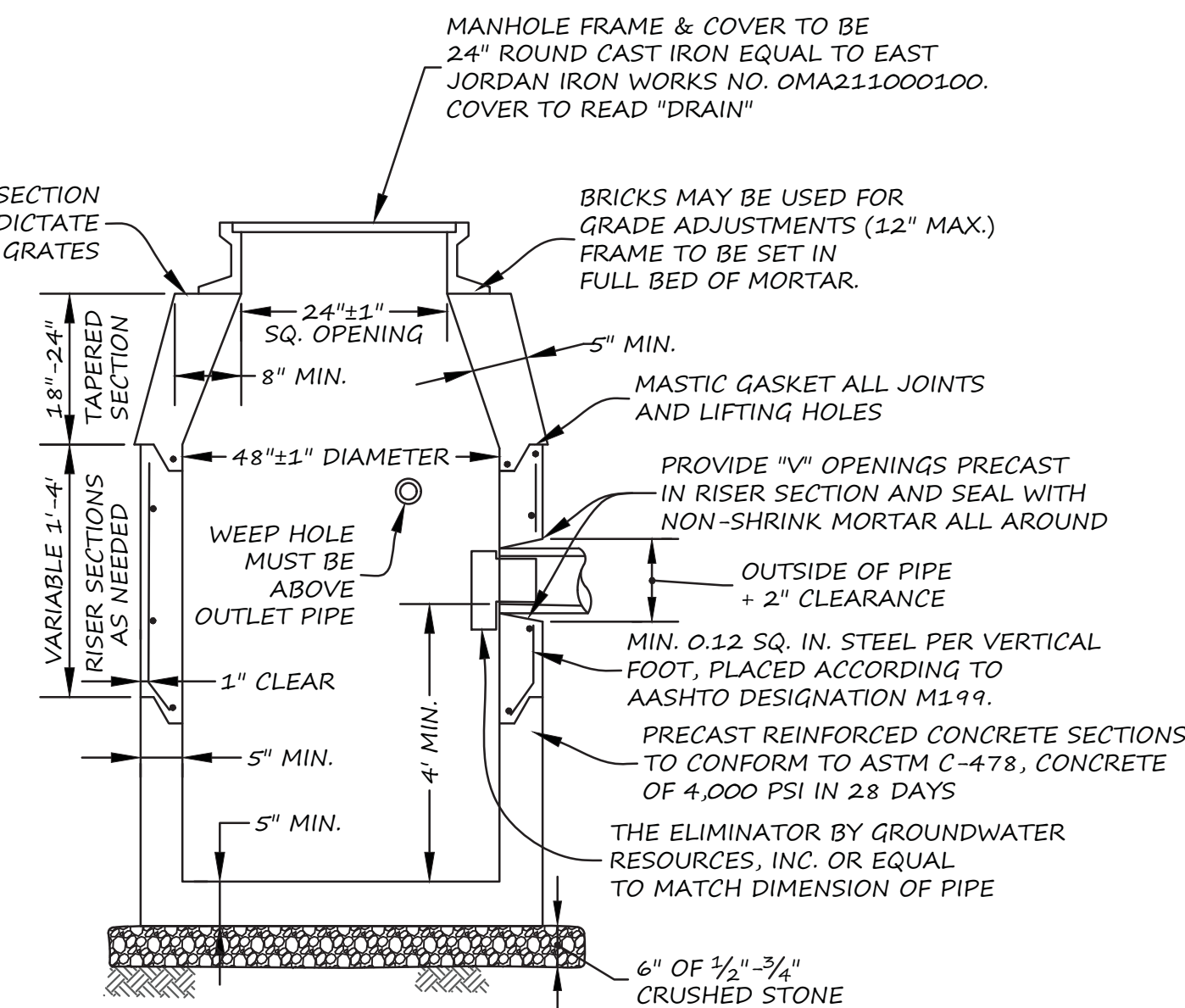
PLAN VIEW



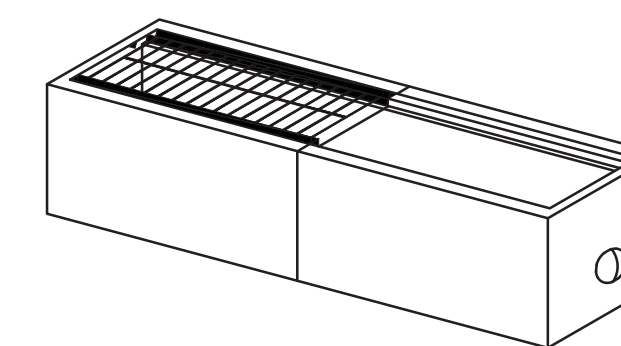
TYPICAL DRAIN TRENCH
(NO SCALE)

- NOTES:
1. MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
 2. SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

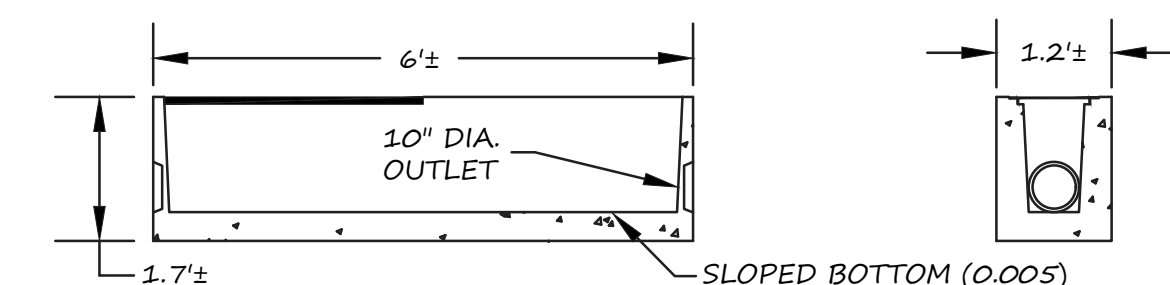
PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



PLAN VIEW



ISOMETRIC VIEW

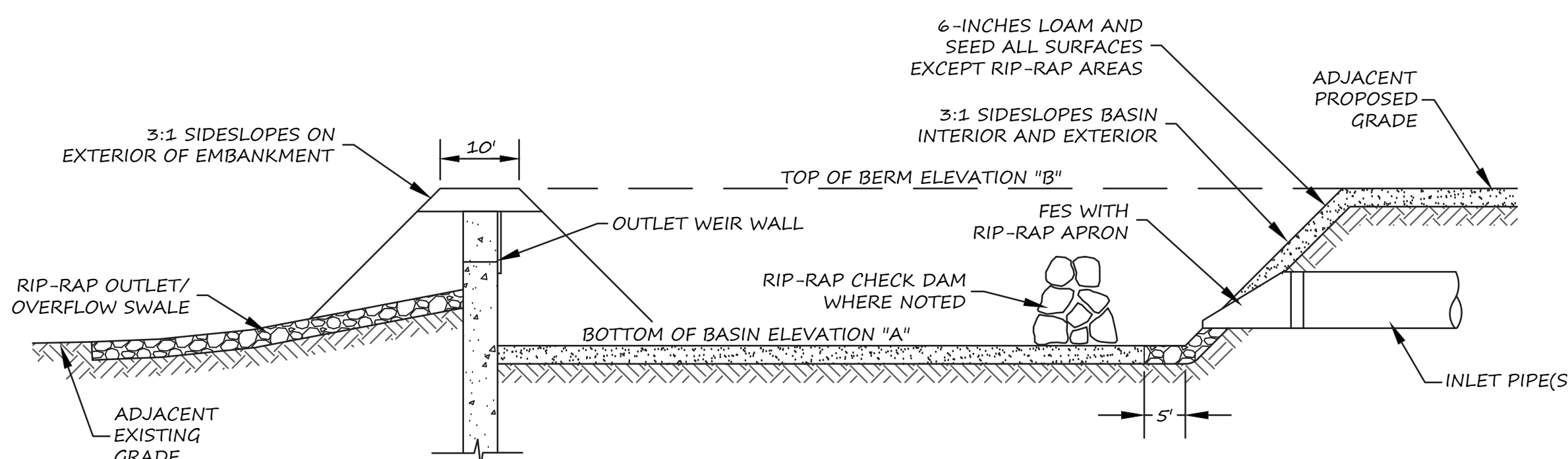


SIDE-SECTION VIEW

END SECTION VIEW

- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SHALL CONFORM TO H-20 LOADINGS.
 3. SHALL BE POWER DRAIN S300K BY ACO DRAIN OR EQUAL.

TRENCH DRAIN DETAIL
NOT TO SCALE



TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS

	BASIN #1	BASIN #2	BASIN #3	BASIN #4
BOTTOM OF BASIN ELEVATION "A"	186.0	185.2	185.0	184.5
TOP OF BERM ELEVATION "B"	187.0	187.0	186.0	187.0
EMERGENCY OVERFLOW ELEV.	N/A	N/A	N/A	186.0
EMERGENCY OVERFLOW WIDTH	N/A	N/A	N/A	6'

TYPICAL INFILTRATION BASIN CROSS-SECTION
NOT TO SCALE

OWNER
#274
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

PORTION OF #276
KEITH & JUDITH SPINNEY
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MEDWAY, MA 02053

APPLICANT
DDRT LLC
P.O. BOX 95
TRURO, MA 02666

ZONING DISTRICT
AGRICULTURAL RESIDENTIAL II

ASSESSORS PARCEL
59-55

PLAN & DEED REFERENCE
DEED BOOK 6563 PAGE 42
DEED BOOK 19198 PAGE 100
PLAN BOOK 315 NO. 1166 OF 1984



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 14:59:07 -0400

PLAN SCALE: NOT TO SCALE

PLAN DATE: JUNE 25, 2019

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WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

DATE APPROVED: _____
DATE ENDORSED: _____

MEDWAY PLANNING BOARD

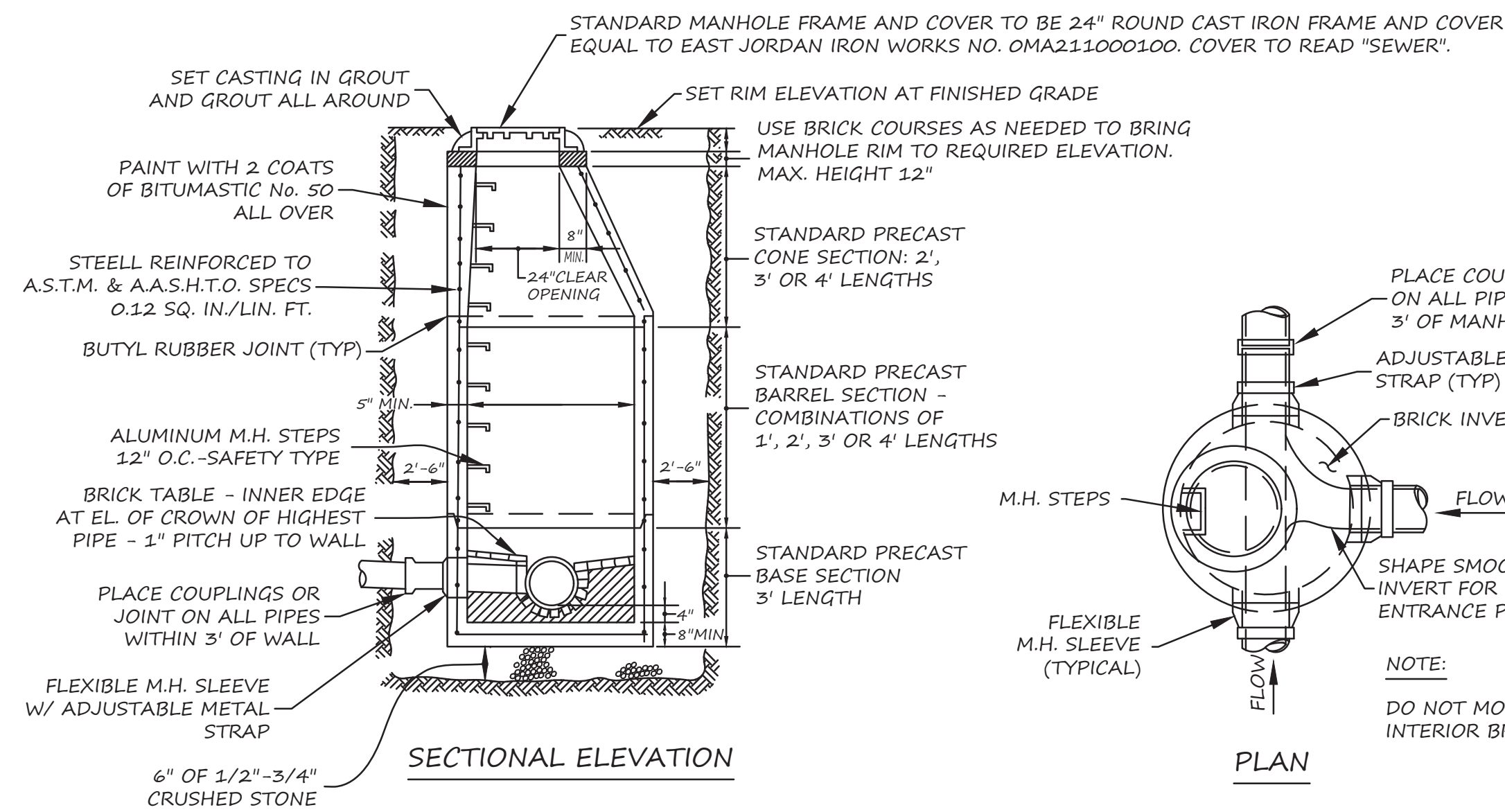
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

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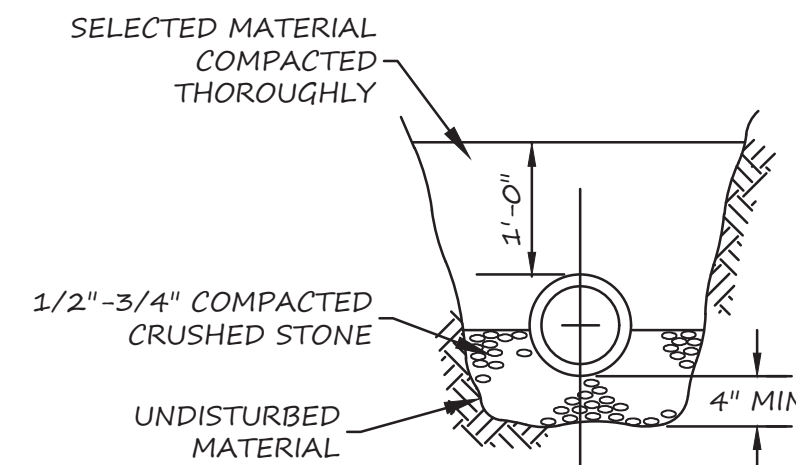
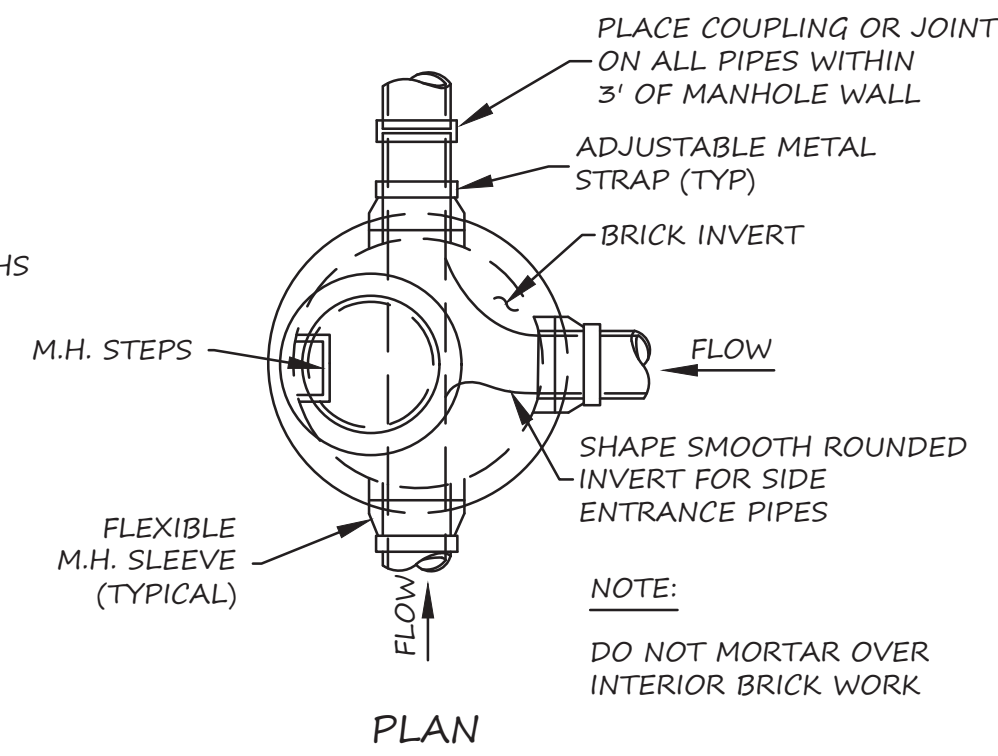
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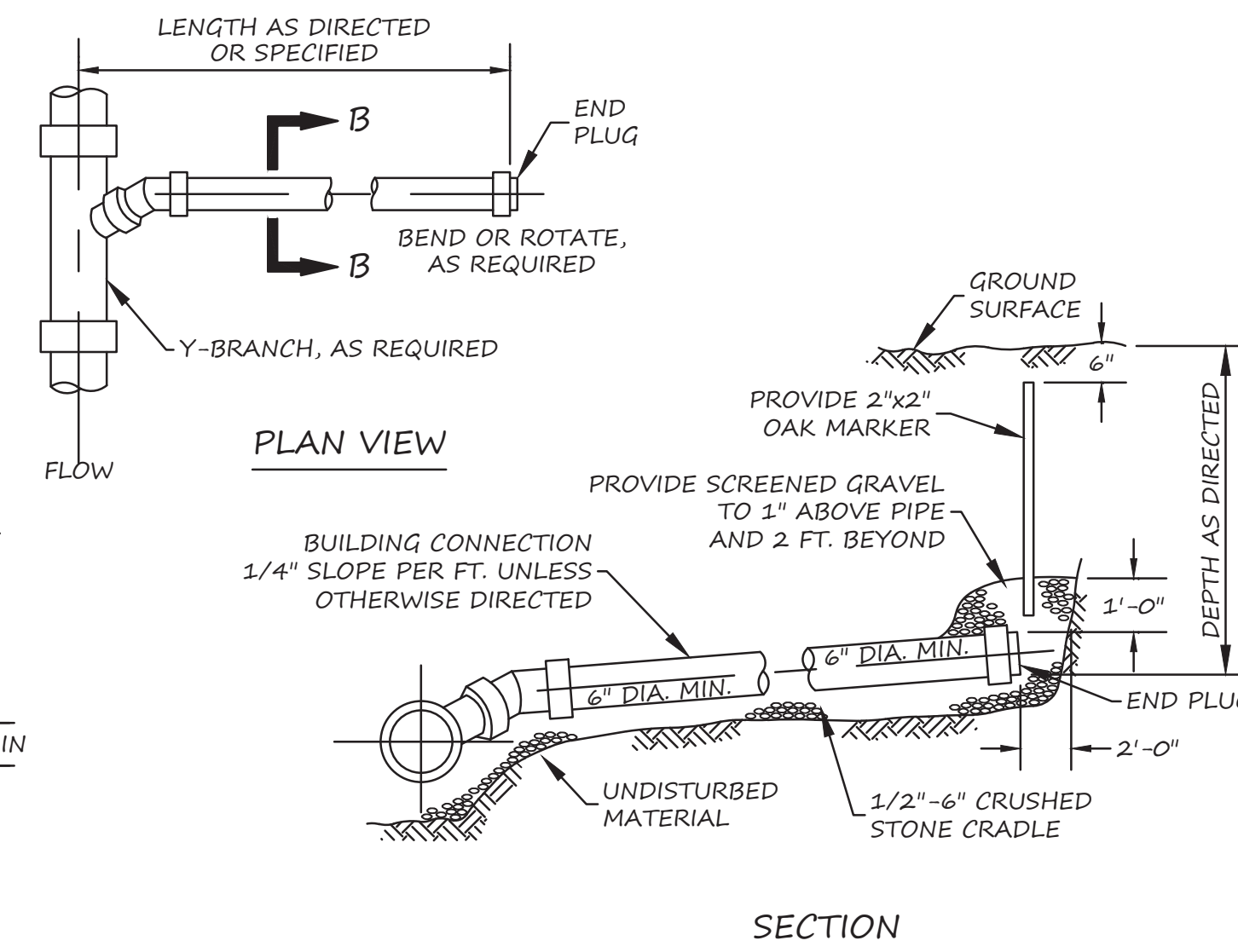
LEGACY
ENGINEERING



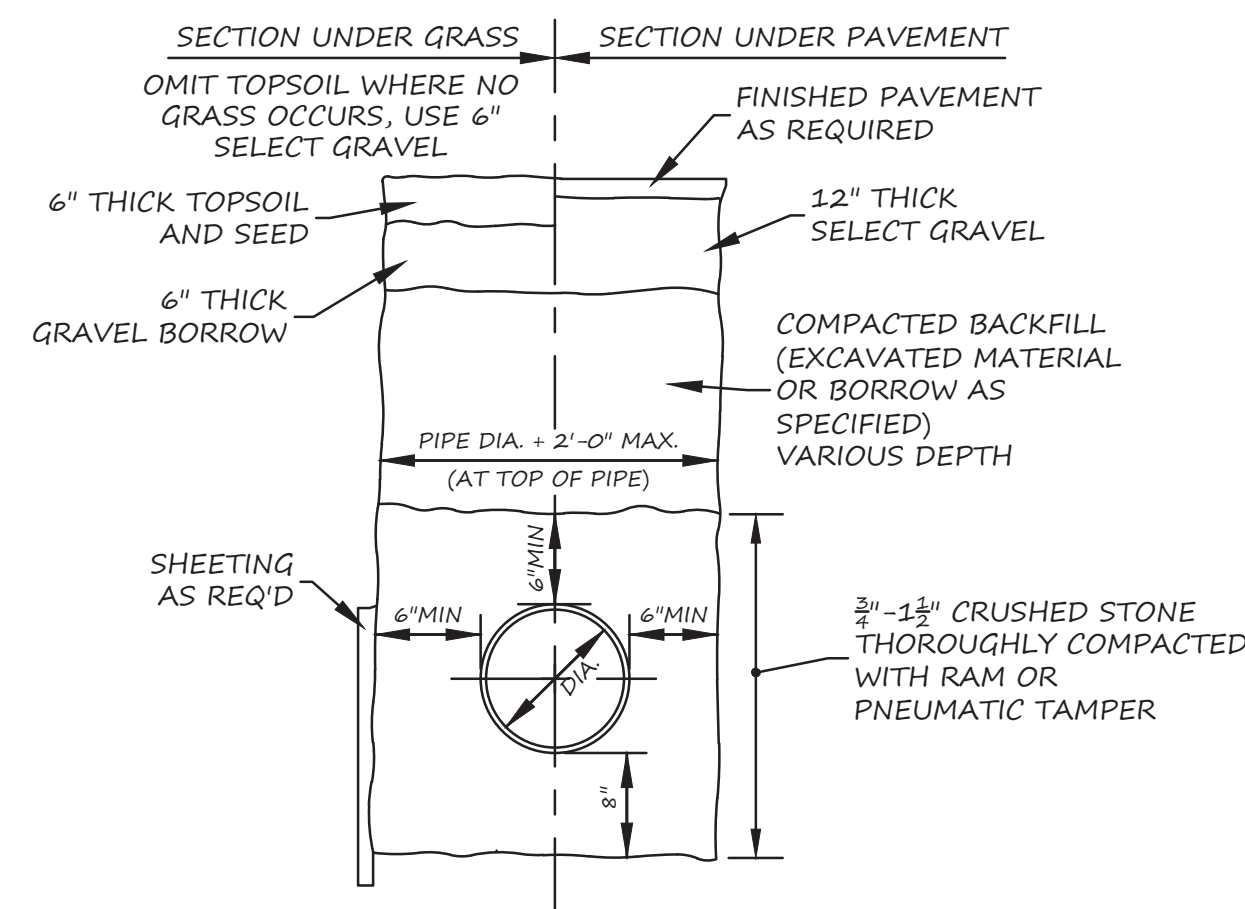
TYPICAL PRECAST SEWER MANHOLE DETAILS
NOT TO SCALE



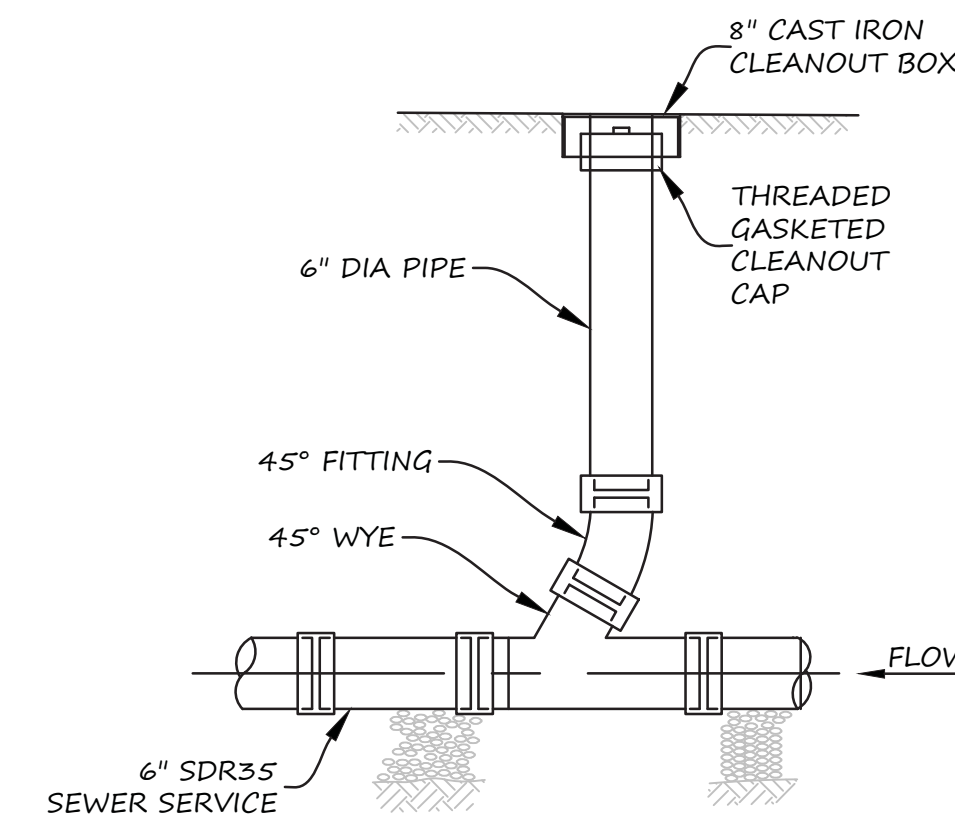
SECTION B-B



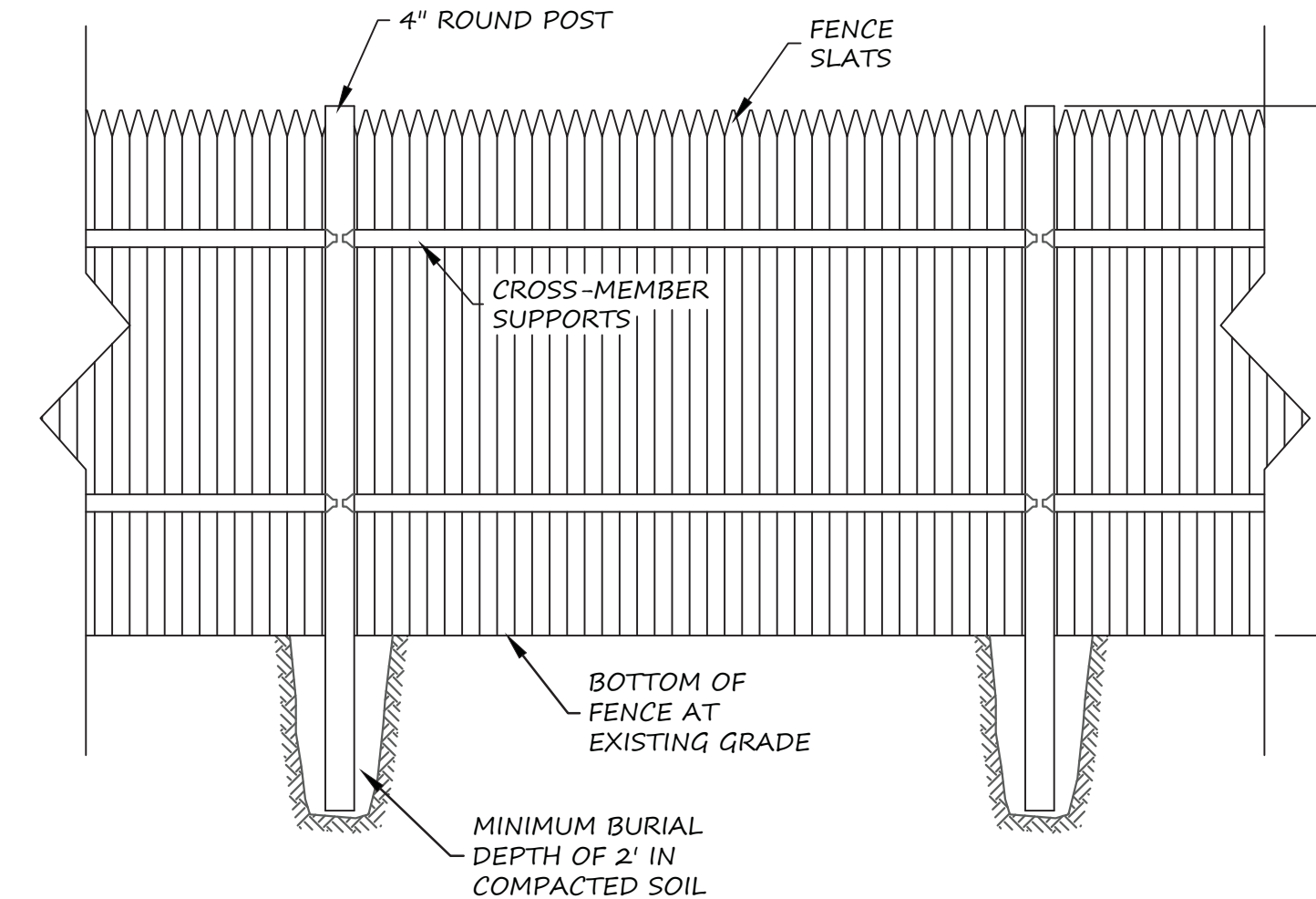
TYPICAL BUILDING SEWER SERVICE CONNECTION
NOT TO SCALE



TYPICAL SEWER TRENCH
NOT TO SCALE

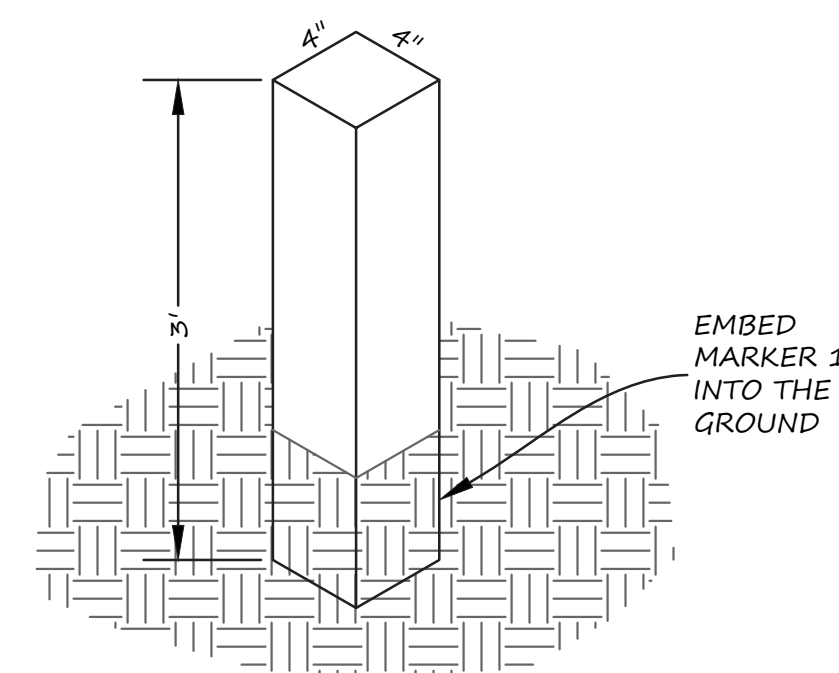


TYPICAL SEWER CLEANOUT DETAIL
NOT TO SCALE



- NOTES:
1. ALL WOOD COMPONENTS TO BE CEDAR.
2. FENCE TO BE INSTALLED WITH FINISHED SIDE FACING ABUTTING PROPERTIES.
3. VINYL STOCKADE MAY BE SUBSTITUTED PROVIDED THAT THE FINISH IS TEXTURED AND SLIGHTLY MATTED SO IT IS NOT EXCESSIVELY GLOSSY.

STOCKADE FENCE DETAIL
NOT TO SCALE



GRANITE WETLAND BUFFER MARKER
NOT TO SCALE

OWNER
#274
DDRT LLC
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Digitally signed by Daniel J. Merrikin, P.E.
Date: 2019.09.05 14:58:48 -0400

PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY
1	9/4/2019	DJM
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WILLIAM WALLACE VILLAGE
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

DATE APPROVED: _____
DATE ENDORSED: _____

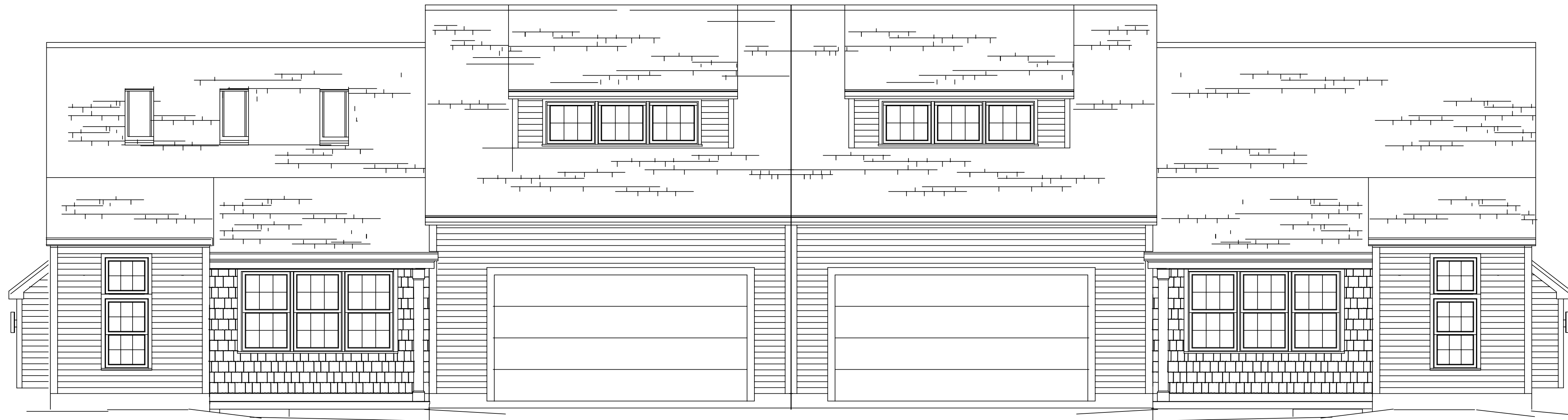
MEDWAY PLANNING BOARD

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

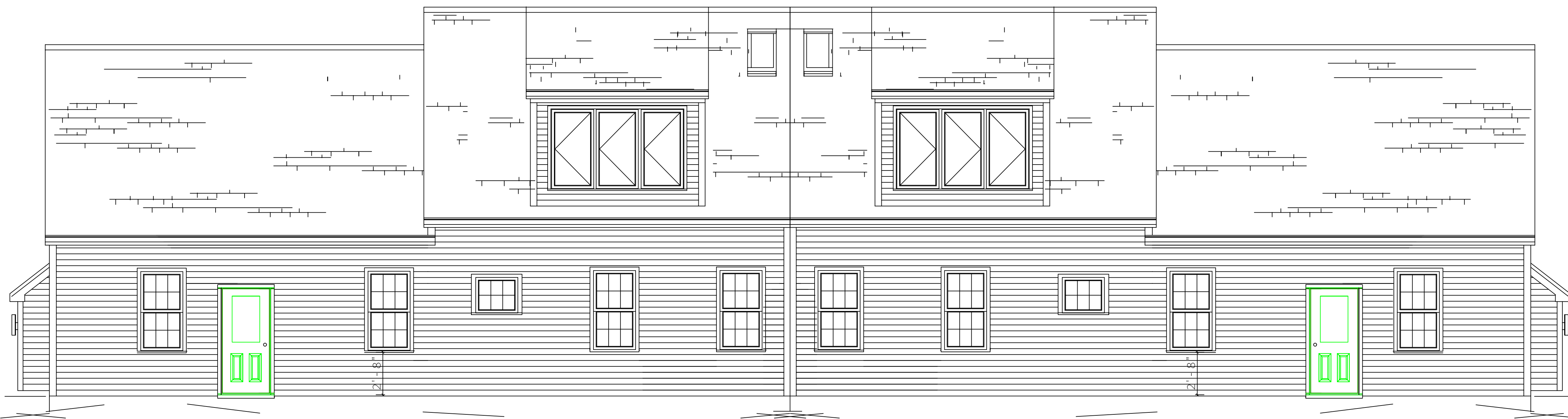
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D158-01





Front



Back

Duplex



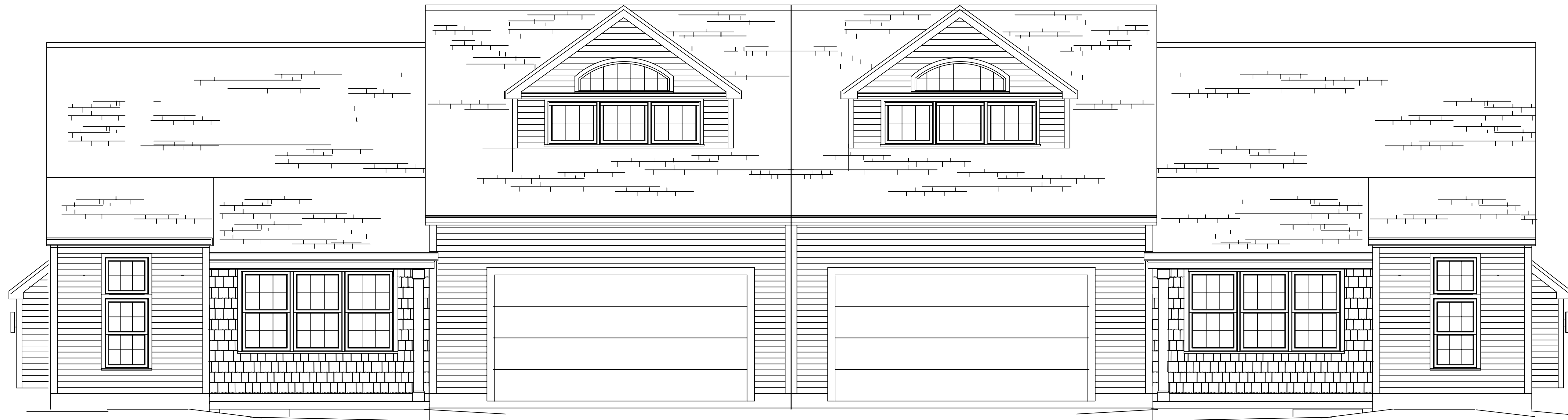
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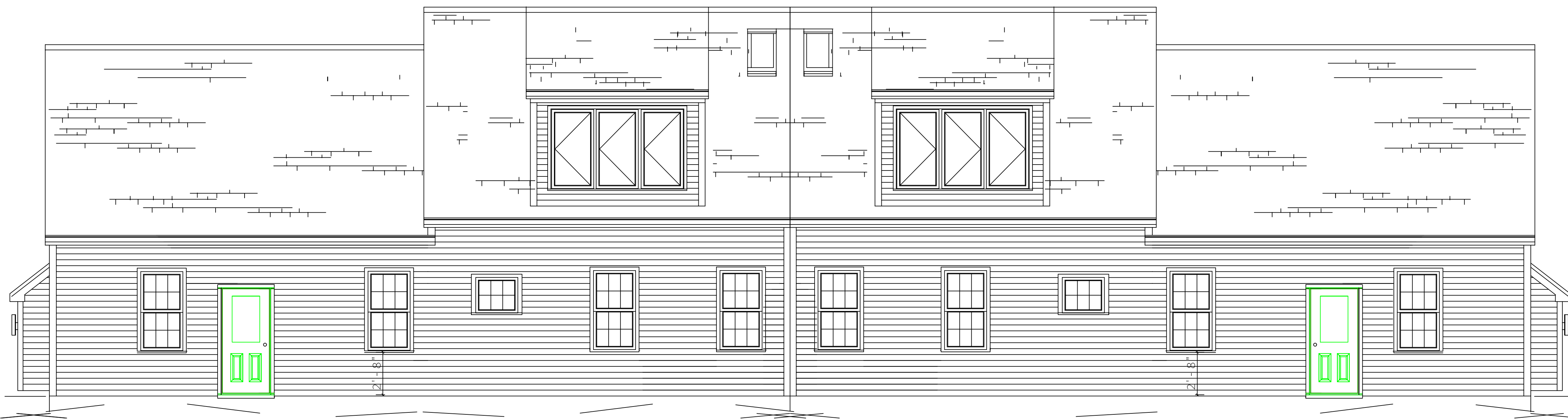
Right Side

Page 1
Customer William Wallace Estates
Address 274 Village Street
Medway Ma 02053

No.	Revision/Issue	Date

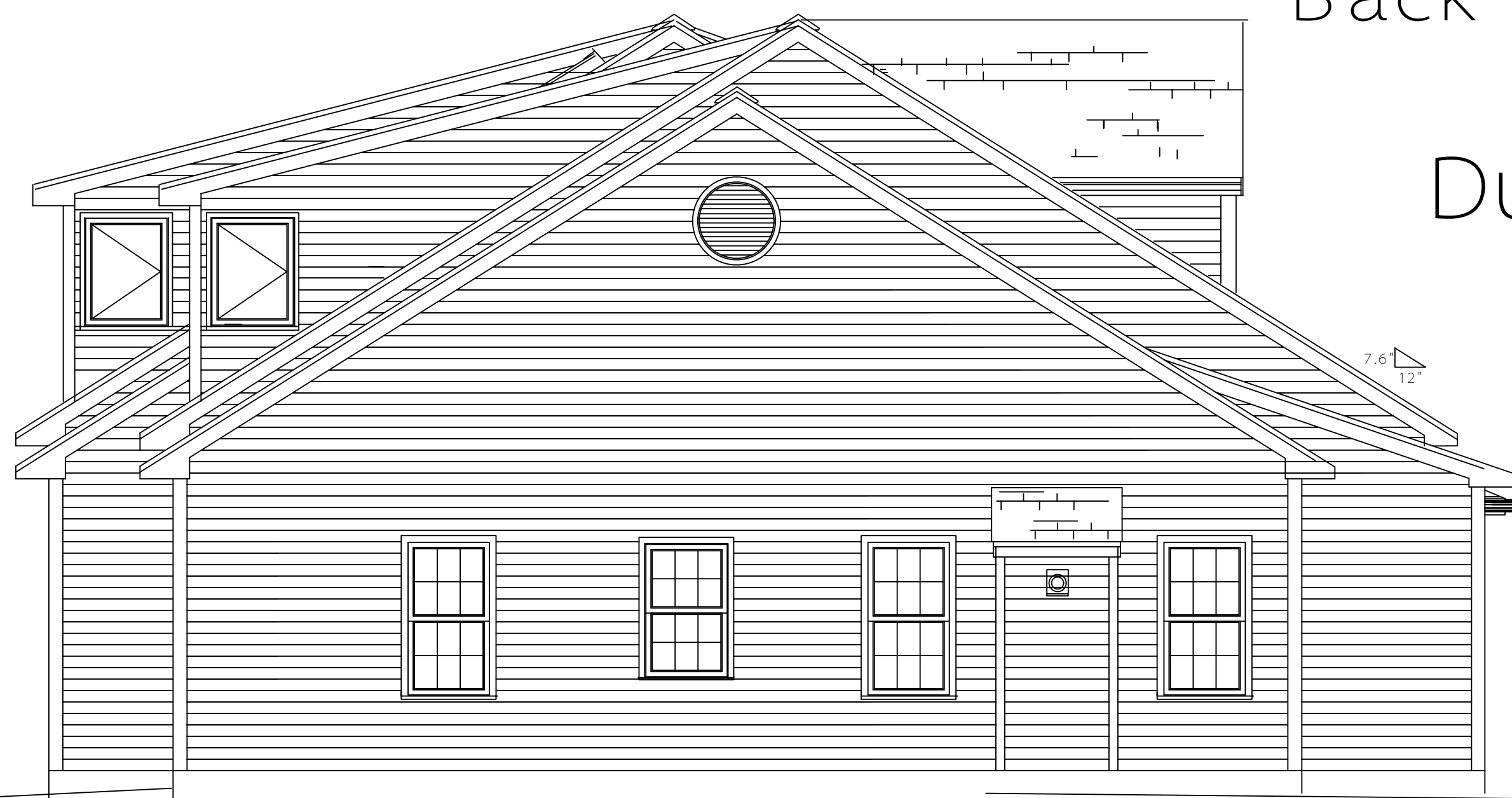


Front



Back

Duplex



Left Side

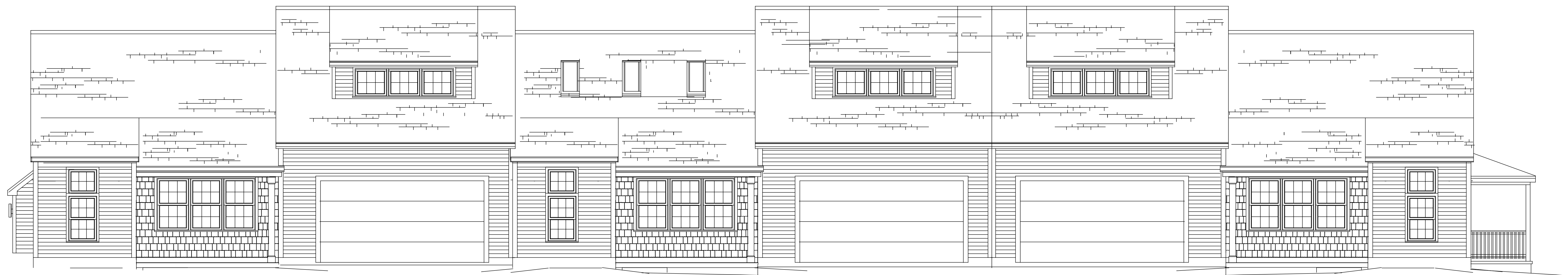


Right Side

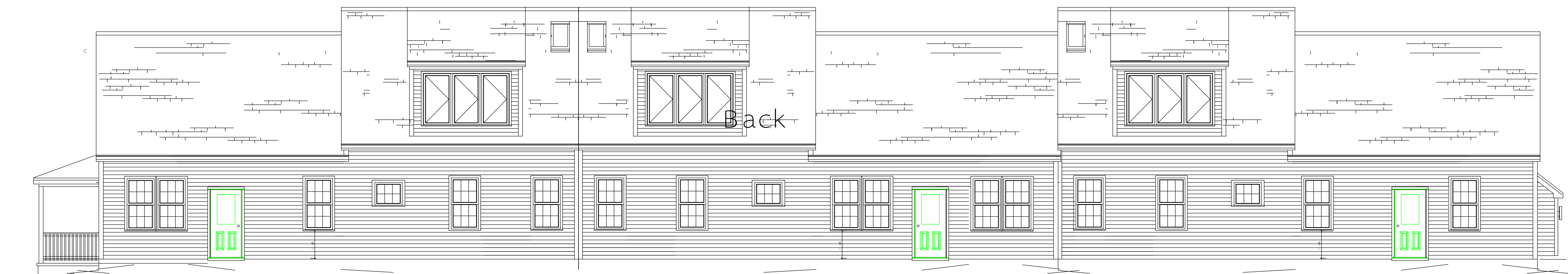
Front

Page 1
Customer William Wallace Estates
Address 274 Village Street
Medway Ma 02053

No.	Revision/Issue	Date



Front



Back



Left Side



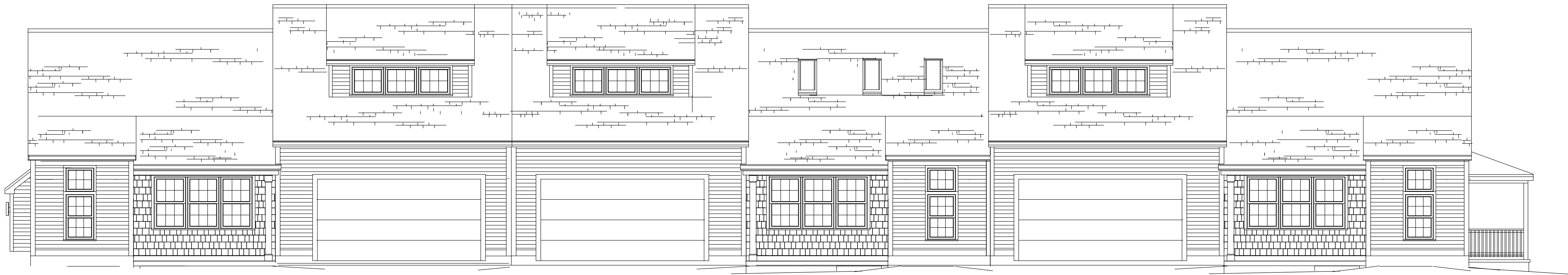
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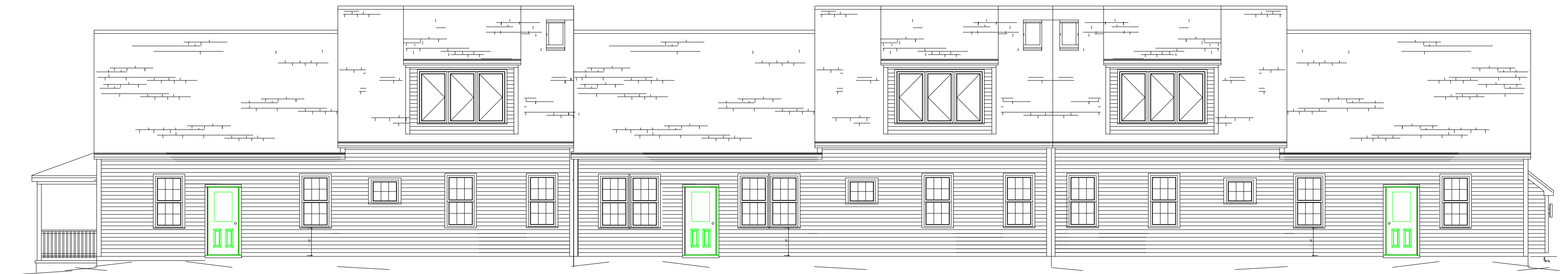
Road Entry Triplex

Page 1
Customer
Address
William Wallace Estates
274 Village Street
Medway Ma 02053

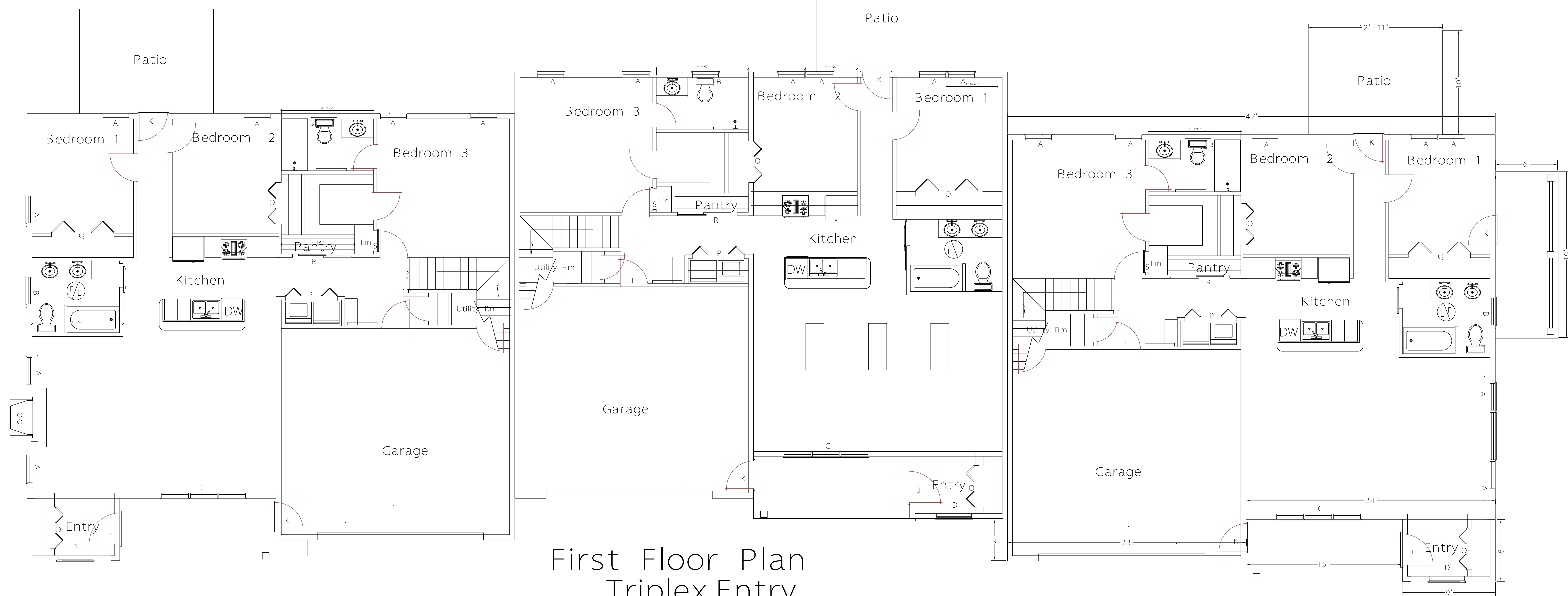
No.	Revision/Issue	Date



Front



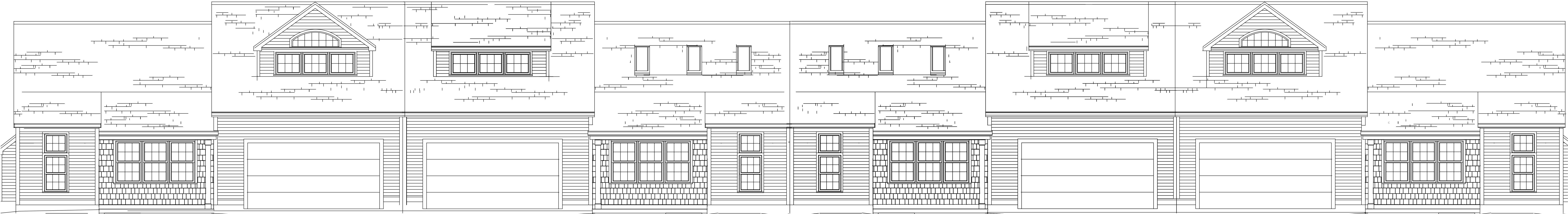
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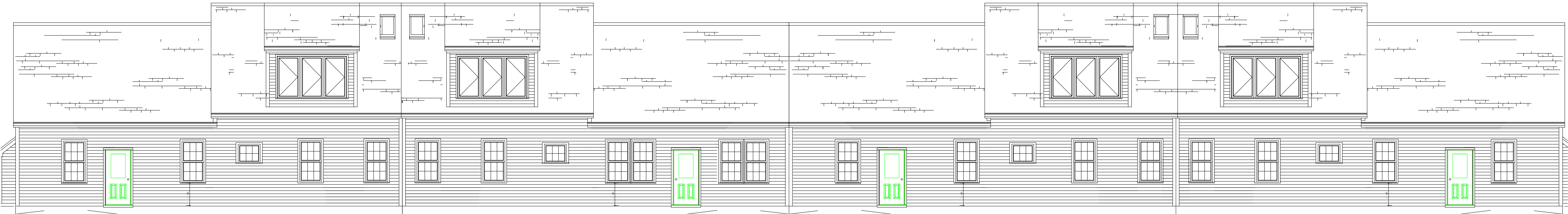
First Floor Plan
Triplex Entry

Page 1
Customer
Address
William Wallace Estates
274 Village Street
Medway Ma 02053

No.	Revision/Issue	Date



Front



Back

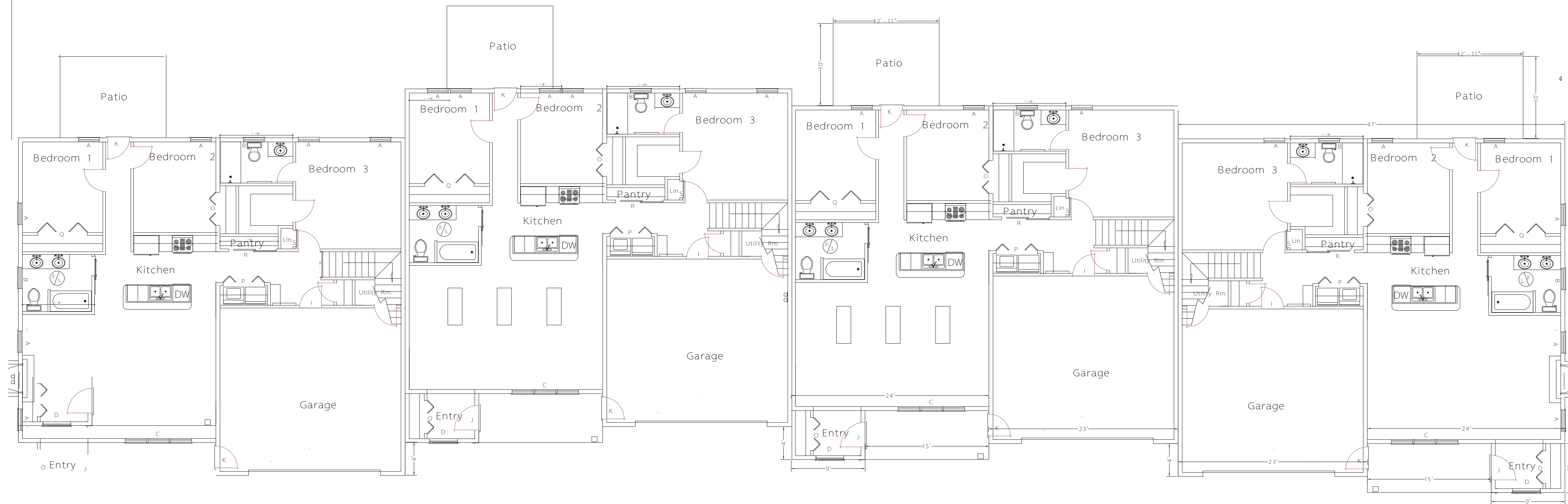


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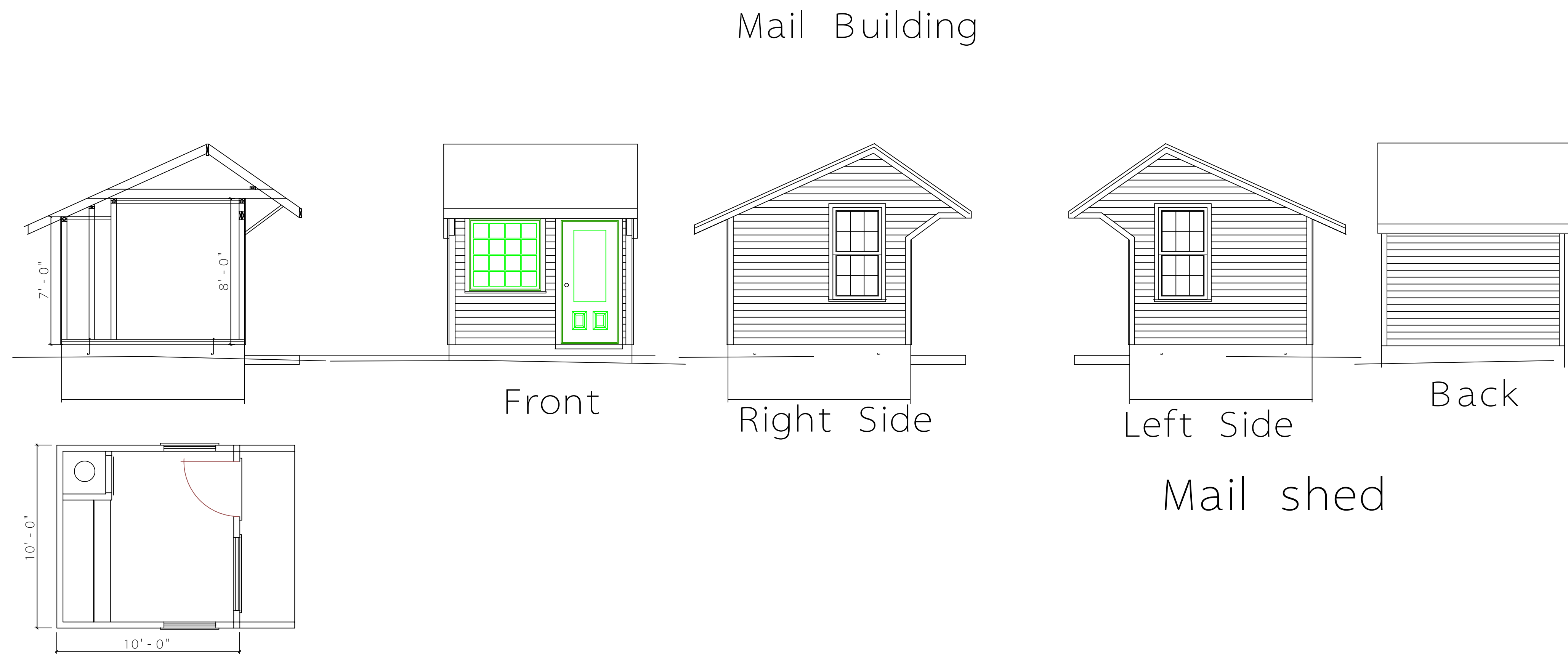
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No.		Page 1
Revision/Issue		Customer William Wallace Estates
Date		Address 274 Village Street Medway Ma 02053



First Floor Plan
Quadplex

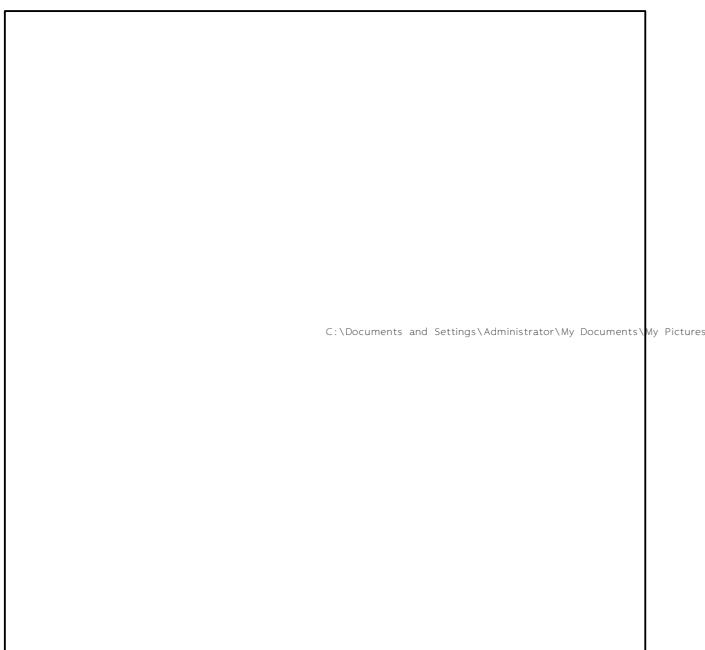
No.		Page	
Revision/Issue		Customer	William Wallace Estates
Date		Address	274 Village Street Medway Ma 02053



William Wallace Estates
274 Village Street
Medway Ma 02053

Page 1
Customer
Address

No.	Revision/Issue	Date



Project PROJECTNAME	Sheet
Date DATE	
Scale 1/4 : 1'	



September 10, 2019
Medway Planning & Economic Development Board
Meeting

Articles for Fall Town Meeting

- Summary List
- REVISED schedule
- Multi-Family Housing
- Outdoor Storage
- Site Plan
- Parking – Electric Vehicle Charging Stations (NEW)
- Combined Special Permit and Site Plan

Possible Articles for Fall 2019 Town Meeting

sac notes/September 6, 2019

ZONING

1. Oak Grove Zoning
2. Outdoor Storage
3. Refinements to site plan on what triggers adm site plan review
4. New Idea – Amend Parking section to require Electric Vehicle Charging Stations – use same language as in proposed new *Site Plan Rules and Regs*
5. Multifamily Housing
6. Special Permit and Site Plan combined
7. New Idea – Special permit for Small Cell (5G) Wireless on private property – Will hear early next week from Town Counsel if a bylaw amendment is needed or if the current language in Section 8.7 is sufficient

GENERAL BYLAWS

- A. Amendments to Stormwater/Land Disturbance Bylaw
- B. Noise Regulations

OTHER

- I. Street Acceptance for Forest Road and Applegate – Place holder

Fall 2019 Town Meeting Schedule Planning and Economic Development Board

August 27, 2019 PEDB mtg	Discuss draft articles
September 10, 2019 PEDB mtg	Presentation on proposed Oak Grove Zoning; Discuss draft articles
September 13, 2019	Submit articles to BOS/TA
September 16, 2019 BOS mtg	BOS approves compilation of articles
September 18, 2019	Submit legal ad to Milford Daily News for PEDB hearing on 10/8/19
September 23, 2019	Legal ad #1 for PEDB public hearing runs in Milford Daily News
October 1, 2019	Legal ad #2 for PEDB public hearing runs in Milford Daily News
October 7, 2019 BOS mtg	BOS votes its recommendations
October 8, 2019 PEDB mtg	PEDB Public Hearing
October 23, 2019 FINCOM mtg	FINCOM Public Hearing
October 28, 2019 BOS mtg	BOS finalizes warrant, recommendations and posts
November 18, 2019 Fall Town Meeting	The Big Night! Town Meeting BINGO!
sac/8-30-19	

Ideas for Revisions for Multifamily Housing – UPDATED September 9, 2019

Xxxx is proposed new language

Zzzz is language proposed to be removed

1. Revise the definition of a multifamily dwelling/apartment house and a multifamily development in Section 2 of the ZBL.

Multi-Family **Building Dwelling or Apartment House** – A **building containing three or more dwelling units**, intended and designed to be occupied by **more than two three or more families** living independently in separate dwelling units.

Multi-Family Development – A residential development of more than one building comprised of **at least one Multi-Family dwellings Building or Apartment Building** and which may also include **one existing single family house residential buildings** and one or more two-family houses/duplexes.

And add a definition for Apartment Building as follows:

Apartment Building - A multi-family building with access to the dwelling units provided from a common entrance and hallway.

2. Revise Table 1 – Schedule of Uses in Section 5.4 of the ZBL to reduce confusion about where multi-family buildings and multi-family developments are allowed.

Existing Language

	AR-I	AR-II	VR	CB	VC	NC	BI	EI	ER	WI
Multifamily dwellings and multifamily developments subject to Section 5.6.2 E and Section 5.6.4 <i>(Added 11-16-15)</i>	PB	PB	PB	N	PB	N	N	N	N	N

Proposed

Multi-Family dwellings Building, Apartment Building, and Multi-Family Developments subject to Section 5.6.2 E and Section 5.6.4 <i>(Added 11-16-15)</i>	Allowed by special permit from the Planning and Economic Development Board in the Multi-Family Overlay District (See Section 5.6.4) and the Medway Mill Conversion Subdistrict (See Section 5.6.2 E)
---	---

3. Text Changes to Section 5.6.4 Multifamily Housing offered by Barbara Saint Andre

To change the term “Multifamily Dwelling” to “Multi-Family Building” and to remove the term “Apartment House” wherever it appears in Section 5.6.4.

To revise Section 5.6.4.B Applicability, Subsection 1 as follows:

1. The Planning and Economic Development Board may grant a Multifamily Housing special permit for a Multifamily Dwelling or Apartment House, and/or a Multifamily Development on a tract of land within the AR-I, AR-II, Village Residential, or Village Commercial zoning districts whether on one parcel or a set of contiguous parcels, with a minimum of fifty feet of frontage on an existing street located within the Multifamily Housing Overlay District as shown on a map on file with the Medway Town Clerk. The Planning and Economic Development Board shall be the special permit granting authority for Multi-Family Buildings, Apartment Buildings, and Multi-Family Developments. Multi-Family Buildings, Apartment Buildings, and Multi-Family Developments are allowed by special permit on tracts of land in the AR-I, AR-II, Village Residential, or Village Commercial zoning districts with a minimum of fifty feet of frontage on an existing street located within the Multi-Family Housing Overlay District as shown on a map on file with the Medway Town Clerk. The tract of land may be one parcel or a set of contiguous parcels. The street that provides frontage shall, in the opinion of the Planning and Economic Development Board, have sufficient capacity to accommodate the projected additional traffic flow from the development.

To revise Section 5.6.4 C. Dimensional Regulations by adding a new item 4 as follows:

4. The minimum lot size for an Apartment Building shall be one acre.

To revise Section 5.6.4.D, Density Regulations as follows:

1. For lots of one acre or more as of November 18, 2019,
 - a. the density of a Multi-Family Building Dwelling or Apartment House, or a Multi-Family Development shall not exceed 12 10 8 dwelling units per whole acre. For example, the maximum density of a 1.8 acre lot shall not exceed 8 dwelling units.
 - b. The density of an Apartment Building shall not exceed 12 dwelling units per whole acre.
2. For lots of less than one acre as of November 19, 2018, 18, 2019, the density of a Multi-Family Dwelling, or Apartment House, or Multi-Family Development shall not exceed its relative portion of an acre. For example, the maximum density of a .6 acre lot shall not exceed 7 dwelling units .5 acre lot shall not exceed 5, 4 dwelling units.
3. The Board may adjust the allowed density by a four-fifths vote if, in its opinion, such adjustment will result in a more suitable design of the

Commented [SA1]: 12 units is the current density. 10 units is what the PEDB decided at its 8-27-19 mtg. Barbara had recommended a maximum of 6 units. 8 units is Susy's suggestion based on adding a separate density provision for an Apartment Building.

development for the particular site and/or allow for more diverse types of housing by meeting one or more of the following criteria:

- a. Provide for the inclusion of an affordable (SHI qualified) dwelling unit.
- b. Provide a deed restriction limiting x% of the dwelling units to households with incomes between 80% and 120% of the median household income of the region.
- c. Provide a pedestrian-oriented design that includes parking located to the rear and/or side of buildings or that is otherwise adequately screened from public view
- d. Approved density is no more than ____% higher than that of the surrounding neighborhood within ____ feet.
- e. Adequate screening for abutting properties is maintained or added.
- f. The property's location is within 3.4 miles of a pedestrian destination and adequate pedestrian facilities are available or provided.

Commented [SA2]:

This list includes Gino's recommendations for possible criteria for the PEDB to adjust the allowed density.

To revise Section 5.6.4.E, Special Regulations as follows:

5. A ~~Multi-Family Dwelling or Apartment House~~ **Multi-Family Building or Apartment Building** shall not contain more than twelve dwelling units per building.
7. Historic Properties – Any property proposed for a Multi-Family **Building**, ~~Dwelling or Apartment House~~, **and/or Apartment Building** and/or a Multi-Family Development pursuant to this sub-section which includes a building that is 75 years of age or older shall be reviewed by the Medway Historical Commission to determine if it is an “historically significant building” **and if it is a “preferably-preserved historically significant building”** in accordance with the criteria specified in Medway General Bylaws Article 17 Historical Properties. If so determined **to be a preferably-preserved historically significant building**, the property shall comply with the following additional requirements **for a special permit pursuant to this sub-section.**
 - a. A **preferably-preserved** historically significant building” shall not be demolished unless:
 - 1) **The Building Commissioner has determined that it is unused, uninhabited or abandoned, and open to the weather; or**
 - 2) The Board of Selectmen or the Board of Health has determined it to be a nuisance or dangerous pursuant to applicable state laws and/or the State Building Code;
 - b. Renovation of a **historically significant building** shall be completed in a manner that preserves and/or enhances the building's historic exterior architecture and features;

Commented [SA3]:

I checked with Jack Mee on this and he is OK on this language.

c. The project may include new construction which shall be designed to be consistent with the historic nature of the property, its primary building, and the surrounding neighborhood including buildings which characterize historic homes, carriage houses, barns, sheds, garages, agricultural buildings, other similar out buildings, and historic forms of house additions traditionally undertaken in the neighborhood.

d. Any property proposed for a Multi-Family Building and/or a Multi-Family Development and/or an Apartment Building pursuant to this subsection which had a building that was 75 years of age or older located on it, which building has been demolished, shall not be eligible to apply for a Multi-family Building or Multi-Family Development or Apartment Building special permit until at least three years after the date that the demolition of said building was completed.

Commented [SA4]: At the 8-27-19 mtg, the PEDB decided to increase the look back period from 2 to 3 years.

And to change the word “multifamily” to “multi-family” wherever it appears in the Medway Zoning Bylaw.

Outdoor Storage

Revised 9-6-10

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw by revising the definition of Outdoor Storage in SECTION 2 DEFINITIONS as follows: (added language is **bolded**)

Outdoor Storage – The outside storage or display of materials, **supplies**, goods or manufactured products, **equipment, machinery, vehicles, and pallets**, produced or used by **or associated with** the principal use of the property, for more than a twenty-four hour period. **Also includes cargo storage containers and membrane structures which are located on the premises.**

And by adding the following definitions:

Cargo Storage Container – A standardized container that is or appears to be:

- Designed for or used in the packing, shipping, movement or transportation of freight, articles, goods or commodities; or
- Designed for or capable of being mounted or moved on a rail car; or
- Designed for or capable of being mounted on a chassis for movement by a truck trailer or loaded on a ship

and is used for storage accessory to and in support of the principal use/activity on the site.

May also be referred to as a shipping container or POD (portable on demand) storage system.

Bulk Storage - Exposed outside storage of sand, lumber, coal, mulch, gravel, stone, soil, aggregate, wood chips, earth materials, or other bulk materials, and bulk storage of liquids in tanks.

And to add a new section 7.1.3 Outdoor Storage in 7.1 Site Development Standards

7.1.3 Outdoor Storage

- A. Purposes – The purposes of this Section 7.1.3 are to protect the health, safety, and welfare and ensure neighborliness and aesthetic quality for the Town's occupants, to provide for the appropriate location and design of outdoor storage areas, to ensure that outdoor storage areas are suitably screened from view for residential abutters and the travelling public, and to establish limitations to mitigate any adverse impacts that outdoor storage may have on adjacent properties and rights-of-way.
- B. Applicability
 - 1. Permanent outdoor storage areas are allowed by right in the Business-Industrial, East Industrial, Energy Resource, and West Industrial zoning districts, as an accessory use, subject to the regulations herein.

2. Outdoor storage and bulk storage are not permitted as a principal use.

C. Requirements

1. A premises with outdoor storage as an accessory use shall include a building of at least sq. ft. from which the business conducts its business.
2. The ground area devoted to outdoor storage shall not exceed 30% of the lot area. Anything larger requires a special permit.
3. Outdoor storage areas on commercial or industrial properties which abut residentially used properties shall be fully screened from the abutting residential properties with fencing and/or densely planted landscaping or buffer area at least 6' high or higher if what is stored is greater than 6' in height.
4. On commercial or industrial properties, outdoor storage areas which are visible from a public or private way or from publically accessible areas shall include fencing (or walls) and/or densely planted landscaping or buffer area at least 6' high or higher if what is stored is greater than 6' in height.
5. The accumulated height of the contents of an outdoor storage area shall not exceed the height of its screening wall or fence.
6. Outdoor storage areas shall not be permitted within any drive aisles, fire lanes, parking spaces, zoning setback areas, floodways, resource areas under the jurisdiction of the Medway Conservation Commission, or on steep slopes of 15% or greater.
7. The height of outdoor storage areas shall not project above the eave line of the tallest building on the lot.
8. Outdoor storage areas shall be comprised only of items that are associated with a business operating in a building on the premises.
9. Screening walls and fences shall be architecturally compatible with the principal building on the premises.
10. Outdoor storage areas on property located within the Groundwater Protection District are also subject to the provisions of Section 5.6.3 herein.
11. Do you want to have an option to allow outdoor storage in other business zoning districts (CB, Village Commercial, Neighborhood Commercial) by special permit?

D. Temporary Cargo Storage Containers and Membrane Structures – May be located as follows:

1. During construction of a residential development or home for a period of ninety days or less.

2. For any other purpose so long as the container or membrane structure remains on site for ninety days or less per year, fits on the driveway or hard surface, does not protrude into the right-of-way, is not positioned within the zoning setback area, and does not impede sight distance. Anything longer requires a special permit from _____.

E. Outside Storage Requirements for Vehicle Sales

1. All vehicles shall be parked on asphalt or concrete or enclosed within a building. They may not be parked on gravel, grass or any other pervious surfaces.
2. All parked vehicles, vehicle parking services, and vehicle displays shall meet the zoning district's setback requirements.
3. All parked vehicles shall not be parked in the right-of-way nor block or impede site access, sidewalks or driving aisles.

And to add Bulk Storage as a prohibited use in Section 5.2 Prohibited Uses

And to amend Table 1 Schedule of Uses in Section 5.4 to add Bulk Storage as a prohibited use in all zoning districts

SITE PLAN

Draft – September 6, 2019

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw, Section 3.5 Site Plan Review as follows:

In sub-section 3.5.3. A. Applicability, 3. Administrative Site Plan Review, to remove item m. installation of a wireless communication facility as defined in this Zoning Bylaw and add it to sub-section 3.5.3.A. Applicability, 2. Minor Site Plan Review as item f. as an activity requiring minor site plan review.

And to revise item h. as follows as an activity requiring administrative site plan review

- h. Removal of hedges, living shrubs and trees greater than four _____ inches in caliper in diameter at chest height.

And to add the following items to sub-section 3.5.3. A. 3. Administrative Site Plan Review as activities requiring administrative site plan review as follows:

- m. Reduction in the number of parking spaces
- n. Installation of donation boxes

And to add the following definition to SECTION 2 DEFINITIONS:

Donation Box - A receptacle or container located outside of an enclosed building and designed, intended, or used for the collection and temporary storage of donated items or materials including but not limited to clothing, shoes, books, toys, household materials and other like items. Also known as a donation or drop-off collection bins/boxes or any combination thereof.

Parking – Electric Vehicle Charging Stations

Draft – September 6, 2019

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw by adding the following item 4. to Section 7.1.1 Off-Street Parking and Loading, E. General Parking Requirements

E. General Parking Requirements

4. **Electric Vehicle Charging Stations** – Industrial, commercial, and multifamily housing sites with fifteen or more parking spaces shall provide parking spaces with electric vehicle charging stations for employee, customer and resident use. The quantity of such parking spaces shall be as follows:

Total # of Parking Spaces	# of Electric Vehicle Parking Spaces
15 – 25	1
26 – 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 – 300	7
301 - 400	8
401 - 500	9
501 - 1000	2% of total

Housekeeping revision to Section 3.4 Special Permits
REVISED DRAFT - September 6, 2019

ARTICLE ____: To amend the Zoning Bylaw, Section 3.4 Special Permits by adding a new item H. as follows:

H. Coordinated Permitting

1. If a proposed activity or use requires major or minor site plan review pursuant to Section 3.5 Site Plan Review and one or more special permits, the Planning and Economic Development Board shall serve as the special permit granting authority. The Planning and Economic Development Board shall review and conduct the public hearing concurrently and may issue a single decision.
2. If a proposed activity or use requires administrative site plan review pursuant to Section 3.5 Site Plan Review and one or more special permits, the Planning and Economic Development Board shall serve as the permit granting authority for both.



September 10, 2019
Medway Planning & Economic Development Board
Meeting

Construction Reports – Tetra Tech, Inc.

- Medway Community Church
 - 08-22-19
- Salmon Health
 - 08-20-19
 - 08-22-19
- SWPPP Site Inspection Report – The Willows
 - 08-29-19

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Medway Community Church	Date 8/22/2019	Report No. 22
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18009	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. CLOUDY P.M.	Temperature A.M. 80°F P.M.

FIELD OBSERVATIONS

On Thursday, August 22, 2019, Bradley Picard, EIT from Tetra Tech (TT) visited the project location to inspect the current condition of the site and observe construction progress. The report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Site is dry and in the process of being filled and compacted to subgrade elevation. Construction entrance from Slocumb Place appears to be functioning as designed. Straw wattle is installed around the site perimeter and is in good condition. Current subgrade elevations adjacent to the Church show a steep transition to existing pavement, concerns of pavement damage from future snow plowing efforts have been brought up.
- B. TT was contacted by Contractor on Friday, August 16 to report an incident that damaged four Cultec Recharger 280HD chambers on the northeast corner of Basin 1. Tri-axle dump truck backed into the site and drove over the chambers. Upon inspection, Contractor has completed repairs to damaged Cultec Rechargers in Basin 1, basin has been backfilled to current subgrade elevations. Inspection port risers are being installed on Basin 1 at the time of inspection. Contractor to provide photos and documentation of repairs made to Basin 1.
- C. Contractor has set castings on all drainage structures installed on-site. Castings are set using clay brick, Quikrete Type S Mortar, and PLUG fast setting hydraulic cement. Piping from Catch Basin 1-1 to Manhole 1-2 is complete, all piped infrastructure on-site has been installed. Contractor to install Open Bottom Catch Basins along Slocumb Place.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	2	Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	3	Screener			
		Tri-Axle Dump Truck	1				
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley M. Picard, E.I.T.	10:00 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Medway Community Church	Date 8/22/2019	Report No. 22
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Contractor to install Open Bottom Catch Basins.
- B. Contractor to continue filling site to proposed subgrade elevations.
- C. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. New Action Items

- A. Contractor to provide photos and documentation of repairs made to damaged Cultec Rechargers in Basin 1.

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection

- A. N/A

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 8/20/2019	Report No. 22
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 80°F P.M.

FIELD OBSERVATIONS

On Tuesday, August 20, 2019, Steven Bouley, P.E. from Tetra Tech (TT) visited the project location to observe installation of Infiltration Trench 18A. The following report outlines items discussed on-site.

1. Observations

- A. The Contractor was in the process of installing StormKeeper SK-75 chambers throughout the limit of proposed Infiltration Trench 18A. The contractor stated the structural fill within the limits of the trench were completely removed down to native soils and then backfilled with washed crushed stone, approximately five-feet of crushed stone was placed below the bottom of chamber elevation throughout the limit of the basin. Contractor was also installing inspection ports in each row in the center of the system.
- B. In previous correspondence with the contractor and the design engineer, TT addressed the issue of the structural fill placement below the infiltration structures. The design engineer is currently looking at options to address the issue and potentially use the extra capacity in Infiltration Trench 18A in lieu of the systems along the southern portion of the campus building. TT will review once a formal submission is provided by the Applicant and their engineer.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	2	Asphalt Paver		Dept. or Company	Description of Work
Foreman	2	Backhoe		Asphalt Reclaimer			
Laborers	5+	Loader	1	Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3+	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	3	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck	1		
		Tri-Axle Dump Truck	5+				
		Trailer Dump Truck					
		Art. Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Steven Bouley, P.E.	10:00 A.M. – 11:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Salmon Health and Retirement Community	Date 8/20/2019	Report No. 22
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Contractor plans to continue filling of site to achieve proposed grades to begin installation of proposed campus building and to continue installation of Infiltration Trench 18A.
- B. Contractor will continue installing sewer, drainage, and electrical utilities throughout the site.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. New Action Items

- A. Design engineer to provide modified drainage design for proposed basins located in structural fill.

4. Previous Open Action Items

- A. Contractor to remove material from the bottom of Basin 1 prior to final stabilization to ensure it operates as designed. **TT Update: TT will reinspect the basin once it is in operation and determine if additional work is required to ensure proper function.**

5. Materials Delivered to Site Since Last Inspection

- A. Crushed Stone

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 8/22/2019	Report No. 23
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M. SUNNY	Temperature A.M. 80°F P.M. 85°F

FIELD OBSERVATIONS

On Thursday, August 22, 2019, Bradley Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and observe construction progress. The report outlines observations made during the site visit.

1. Observations

- A. General site conditions: The western portion of the site along Willow Pond Circle and the eastern portion of the site along Waterside Run are generally dry. The main open portion of the site is soft in some areas due to the recent heavy rain events. The contractor is continuing the installation of processed gravel fill throughout the main open portion of the site and watering all gravel with water truck during installation to keep dust levels down. Construction entrances (Waterside Run and Willow Pond Circle) from Village Street are stabilized with crushed stone and rip-rap material and appear to be functioning as designed. Silt fence barrier (SFB) and filter socks appear to be in good condition throughout the site. Stockpiled soil and several disturbed areas on the site are stabilized with vegetative cover.
- B. Drainage infrastructure and HDPE piping has been installed from CB-22 to CB-41. Contractor currently installing pipe from DMH-14 moving towards DMH-19. Pipes have been bedded and backfilled with processed gravel. Structures have been bedded with processed gravel, then backfilled to current subgrade elevations.
- C. Infiltration Trench 18A construction is ongoing. Upon inspection, contractor is installing filter fabric along the top of the Infiltration Trench. Two layers of filter fabric have been placed and staked to prevent displacement, overlap of 24 inches over each section was observed during inspection. TT will maintain contact with Contractor and will inspect the Infiltration Trench on an as-needed basis.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	2	Asphalt Paver		Dept. or Company	Description of Work
Foreman	2	Backhoe		Asphalt Reclaimer		HydroGrass	Hydroseed installation
Laborers	5+	Loader	1	Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3+	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	3	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck	1		
		Tri-Axle Dump Truck	5+				
		Trailer Dump Truck					
		Art. Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	11:30 A.M. – 1:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Salmon Health and Retirement Community	Date 8/22/2019	Report No. 23
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

- D. During inspection, concrete for electrical ductbank was poured along the east side of the main open portion of the site adjacent to the wetland crossing. Eversource to perform inspections of electrical utilities.
- E. Lift Station #1 has been installed along Willow Pond Circle north of the wetland crossing. Medway DPS conducting sewer main inspections.
- F. HydroGrass on site placing hydroseed. Upon inspection, HydroGrass has placed hydroseed south of the retaining wall surrounding Infiltration Trench 18A along the SFB and throughout the cleared area adjacent to Lilac Path.

2. Schedule

- A. Contractor plans to continue filling of site to achieve proposed grades to begin installation of proposed campus building.
- B. Contractor will continue installing sewer, drainage, and electrical utilities throughout the site.
- C. Contractor to continue installation of Infiltration Trench 18A.
- D. TT will maintain communication with contractor and will inspect the site as construction progresses.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Contractor to remove material from the bottom of Basin 1 prior to final stabilization to ensure it operates as designed. **TT Update: TT will reinspect the basin once it is in operation and determine if additional work is required to ensure proper function.**
- B. Design engineer to provide modified drainage design for proposed basins located in structural fill.

5. Materials Delivered to Site Since Last Inspection

- A. Filter fabric
- B. Hydroseed

General Information (see reverse for instructions)					
Name of Project	Salmon Health and Retirement Community	NPDES ID No.	MAR1001Q3	Inspection Date	08/29/2019
Weather conditions during inspection	Partly Cloudy, 66°F	Inspection start time	8:15 AM	Inspection end time	9:45 AM
Inspector Name, Title & Contact Information	Damien Dmitruk E.I.T., (508) 697-3191				
Present Phase of Construction	Site grading, drainage & sewer structure installation, continuing work				
Inspection Location (if multiple inspections are required, specify location where this inspection is being conducted)	Salmon Health and Retirement Community 261 Village Street Medway, MA 02053				
Inspection Frequency <i>(Note: you may be subject to different inspection frequencies in different areas of the site. Check all that apply)</i> Standard Frequency: <input type="checkbox"/> Every 7 days <input type="checkbox"/> Every 14 days and within 24 hours of a 0.25" rain or the occurrence of runoff from snowmelt sufficient to cause a discharge Increased Frequency: <input checked="" type="checkbox"/> Every 7 days and within 24 hours of a 0.25" rain (for areas of sites discharging to sediment or nutrient-impaired waters or to waters designated as Tier 2, Tier 2.5, or Tier 3) Reduced Frequency: <input type="checkbox"/> Twice during first month, no more than 14 calendar days apart; then once per month after first month; (for stabilized areas) <input type="checkbox"/> Twice during first month, no more than 14 calendar days apart; then once more within 24 hours of a 0.25" rain (for stabilized areas on "linear construction sites") <input type="checkbox"/> Once per month and within 24 hours of a 0.25" rain (for arid, semi-arid, or drought-stricken areas during seasonally dry periods or during drought) <input type="checkbox"/> Once per month (for frozen conditions where earth-disturbing activities are being conducted)					
Was this inspection triggered by a 0.25" storm event? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, how did you determine whether a 0.25" storm event has occurred? <input checked="" type="checkbox"/> Rain gauge on site <input type="checkbox"/> Weather station representative of site. Specify weather station source: Total rainfall amount that triggered the inspection (in inches): 1.74					
Was this inspection triggered by the occurrence of runoff from snowmelt sufficient to cause a discharge? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
Unsafe Conditions for Inspection Did you determine that any portion of your site was unsafe for inspection per CGP Part 4.5? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "yes", complete the following: - Describe the conditions that prevented you from conducting the inspection in this location: - Location(s) where conditions were found:					

Condition and Effectiveness of Erosion and Sediment (E&S) Controls (CGP Part 2.2)				
(see reverse for instructions)				
Type/Location of E&S Control [Add an additional sheet if necessary]	Maintenance Needed?*	Corrective Action Required?*	Date on Which Maintenance or Corrective Action First Identified?	Notes
1. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	7/3/2019	Soil on top of the compost sock along the eastern side of Waterside Run. Erosion control line to be reestablished (49 in Photo Log).
2. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	7/19/2019	Sediment should be removed from between compost socks near outlets east of Pavilion (45 & 46 in Photo Log).
3. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	7/25/2019	Soil on top of the compost sock or compost sock has been damaged in multiple locations around the project site. Erosion control line to be reestablished in these areas (13 and 30 in Photo Log). Scour channels forming on site should be repaired and protected from future erosion (47 in Photo Log).
4. Construction Exit	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8/02/2019	Construction entrance should be reinforced with additional crushed stone (1 in Photo Log).
5. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8/09/2019	Soil has overtopped the compost sock after the recent storm events in multiple locations around the project site. Some areas of the compost filter sock have been damaged. Erosion control line to be reestablished on top of the soil in these areas (8, 26, 28, 29, and 38 in Photo Log).
6. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8/15/2019	Areas of the compost filter sock have been damaged. Erosion control line to be reestablished on top of the soil in these areas (23 in Photo Log).
7. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8/23/2019	Soil has been placed on top of the compost sock. Erosion control line to be reestablished in this area (10 in Photo Log).
8. Silt Fence/Compost Sock	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	8/29/2019	Soil has overtopped the compost sock after the recent storm events in multiple locations around the project site. Erosion control line to be reestablished on top of the soil in these areas(6 and 19 in Photo log). Additional erosion control measures shall be added in high flow areas(35, 37, 38, 39 and 40 in Photo Log).
9.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
10.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

* **Note:** The permit differentiates between conditions requiring routine maintenance, and those requiring corrective action. The permit requires maintenance in order to keep controls in effective operating condition. Corrective actions are triggered only for specific conditions, which include: 1) A stormwater control needs repair or replacement (beyond routine maintenance) if it is not operating as intended; 2) A stormwater control necessary to comply with the permit was never installed or was installed incorrectly; 3) You become aware that the stormwater controls you have installed and are maintaining are not effective enough for the discharge to meet applicable water quality standards or applicable requirements in Part 3.1; 4) One of the prohibited discharges in Part 1.3 is occurring or has occurred; or 5) EPA requires corrective actions as a result of a permit violation found during an inspection carried out under Part 4.8. If a condition on your site requires a corrective action, you must also fill out a corrective action form found at <https://www.epa.gov/npdes/stormwater-discharges-construction-activities#resources>. See Part 5 of the permit for more information.

Condition and Effectiveness of Pollution Prevention (P2) Practices (CGP Part 2.3)				
(see reverse for instructions)				
Type/Location of P2 Practices [Add an additional sheet if necessary]	Maintenance Needed?*	Corrective Action Required?*	Date on Which Maintenance or Corrective Action First Identified?	Notes
1.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
2.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
3.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
4.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
5.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
6.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
7.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
8.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
9.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		
10.	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No		

* **Note:** The permit differentiates between conditions requiring routine maintenance, and those requiring corrective action. The permit requires maintenance in order to keep controls in effective operating condition. Corrective actions are triggered only for specific conditions, which include: 1) A stormwater control needs repair or replacement (beyond routine maintenance) if it is not operating as intended; 2) A stormwater control necessary to comply with the permit was never installed or was installed incorrectly; 3) You become aware that the stormwater controls you have installed and are maintaining are not effective enough for the discharge to meet applicable water quality standards or applicable requirements in Part 3.1; 4) One of the prohibited discharges in Part 1.3 is occurring or has occurred; or 5) EPA requires corrective actions as a result of a permit violation found during an inspection carried out under Part 4.8. If a condition on your site requires a corrective action, you must also fill out a corrective action form found at <https://www.epa.gov/npdes/stormwater-discharges-construction-activities#resources>. See Part 5 of the permit for more information.

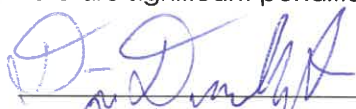
Stabilization of Exposed Soil (CGP Part 2.2.14)			
(see reverse for instructions)			
Stabilization Area [Add an additional sheet if necessary]	Stabilization Method	Have You Initiated Stabilization?	Notes
1. Stockpiles	Hydro-seeding	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	Stockpiles that are not actively in use have been hydro-seeded to prevent erosion of the piles. Hydroseeded inactive stockpiles have established vegetation and have no apparent signs of erosion. Many stockpiles are in active use and will not be hydro-seeded.
2. Finished areas behind retaining walls	Hydro-seeding	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	Areas between retaining walls and erosion control line have been hydro-seeded to prevent erosion.
3. Compensatory Flood Storage Area	Hydro-seeding	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	Areas between retaining walls and erosion control line have been hydro-seeded to prevent erosion.
4.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	
5.		<input type="checkbox"/> YES <input type="checkbox"/> NO If yes, provide date:	

Description of Discharges (CGP Part 4.6.6)	
(see reverse for instructions)	
Was a stormwater discharge or other discharge occurring from any part of your site at the time of the inspection? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "yes", provide the following information for each point of discharge:	
Discharge Location [Add an additional sheet if necessary]	Observations
1.	Describe the discharge: At points of discharge and the channels and banks of waters of the U.S. in the immediate vicinity, are there any visible signs of erosion and/or sediment accumulation that can be attributed to your discharge? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe what you see, specify the location(s) where these conditions were found, and indicate whether modification, maintenance, or corrective action is needed to resolve the issue:
2.	Describe the discharge: At points of discharge and the channels and banks of waters of the U.S. in the immediate vicinity, are there any visible signs of erosion and/or sediment accumulation that can be attributed to your discharge? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe what you see, specify the location(s) where these conditions were found, and indicate whether modification, maintenance, or corrective action is needed to resolve the issue:

Contractor or Subcontractor Signature and Certification

(see reverse for instructions)

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Contractor or Subcontractor:**Date:**

8/29/19

Printed Name and Affiliation:

Damien Dmtryk Coneco

Operator Signature and Certification

(see reverse for instructions)

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Signature of Operator or "Duly Authorized Representative":**Date:****Printed Name and Affiliation:**

The Willows SWPPP Inspection Photo Log



***Photo 1 (looking southeast)**

View of Willow Pond Circle construction entrance from Village Street. Construction entrance should be reinforced with additional material.



Photo 2 (looking southwest)

Compost sock and silt fence along the western edge of Willow Pond Circle.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 3 (looking southwest)

Hydroseed has been used to stabilize the swale and stockpiles near Willow Pond Circle entrance.



Photo 4 (looking south)

Compost sock and silt fence at the end of the swale near Willow Pond Circle entrance.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 5 (looking south)

Compost sock and silt fence along the western edge of basin 1. Note that the downslope of basin 1 has been tracked and vegetation has grown to promote the stabilization.



Photo 6 (looking southwest)

Compost sock along the western edge of basin 1 has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 7 (looking south)

Additional silt fence has been added around the outlet of basin 1.



Photo 8 (looking northeast)

Compost sock along the eastern edge of basin 1 has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 9 (looking north)

Compost sock heading towards the south facing side of Willow Pond Circle crossing.



Photo 10 (looking north)

Compost sock has been covered and soil is against the silt fence along the western edge of Willow Pond Circle north of the crossing. Soil to be removed and the erosion control line to be reestablished.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 11 (looking north)

Compost sock and silt fence east of Willow pond Circle along the future office parking lot.



Photo 12 (looking southeast)

View of Waterside Run construction entrance.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



***Photo 13 (looking south)**

Compost sock has been covered and soil is against the silt fence along the western edge of Waterside Run. Soil to be removed and the erosion control line to be reestablished.



Photo 14 (looking southwest)

Compost sock and silt fence along the western side of Waterside Run at the outlet across from Narragansett Street.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 15 (looking southwest)

Compost sock and silt fence along the western edge of Waterside Run.



Photo 16 (looking west)

Compost sock and silt fence along the western side of Waterside Run at the outlet across from Mohawk Street.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 17 (looking south)

Compost sock around the wetland replication area on the western side of Waterside Run.



Photo 18 (looking west)

Compost sock and silt fence along the western side of Waterside Run at the outlet across from Massasoit Street.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 19 (looking west)

Compost sock along the western edge of waterside run has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.



Photo 20 (looking south)

Compost sock and silt fence along the western side of Waterside Run at the outlet across from Iroquois Street.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 21 (looking southwest)

Compost sock and silt fence along the northern side of Waterside Run Crossing. Note that Compost sock on the upstream side of Waterside Run Crossing within stream has been reestablished.



Photo 22 (looking northwest)

Compost sock and silt fence along the eastern side of Willow Pond Circle.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 23 (looking northwest)

Double compost sock and silt fence along the eastern side of Walnut Grove to be repaired.

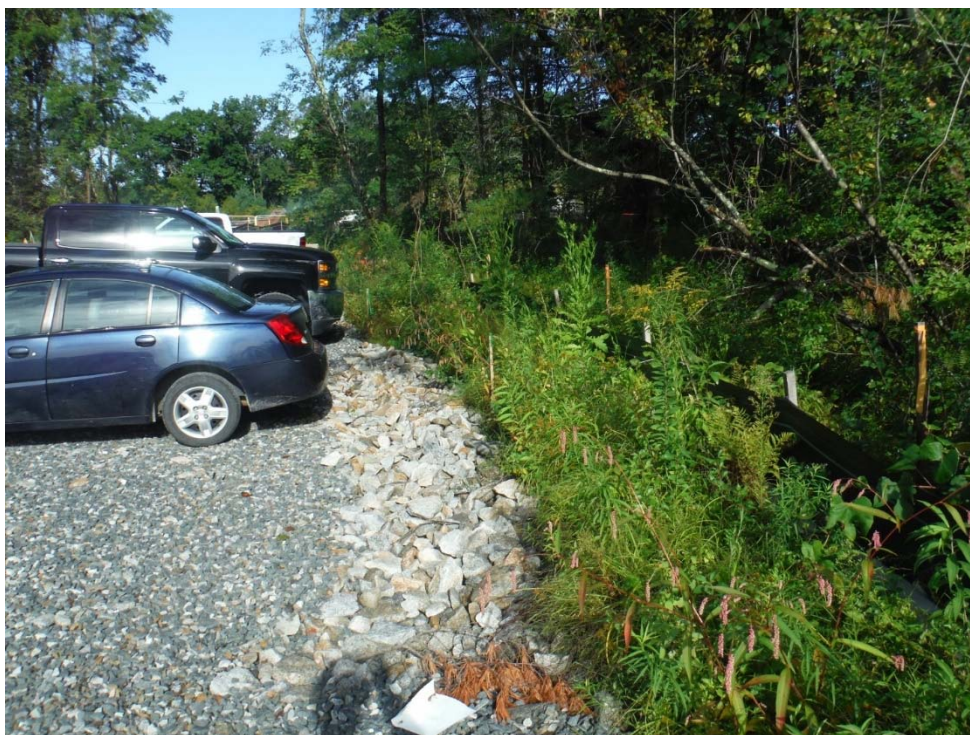


Photo 24 (looking west)

Compost sock heading towards the north facing side of Willow Pond Circle crossing.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 25 (looking southeast)

Compost sock and silt fence along the western side of Willow Pond Circle.

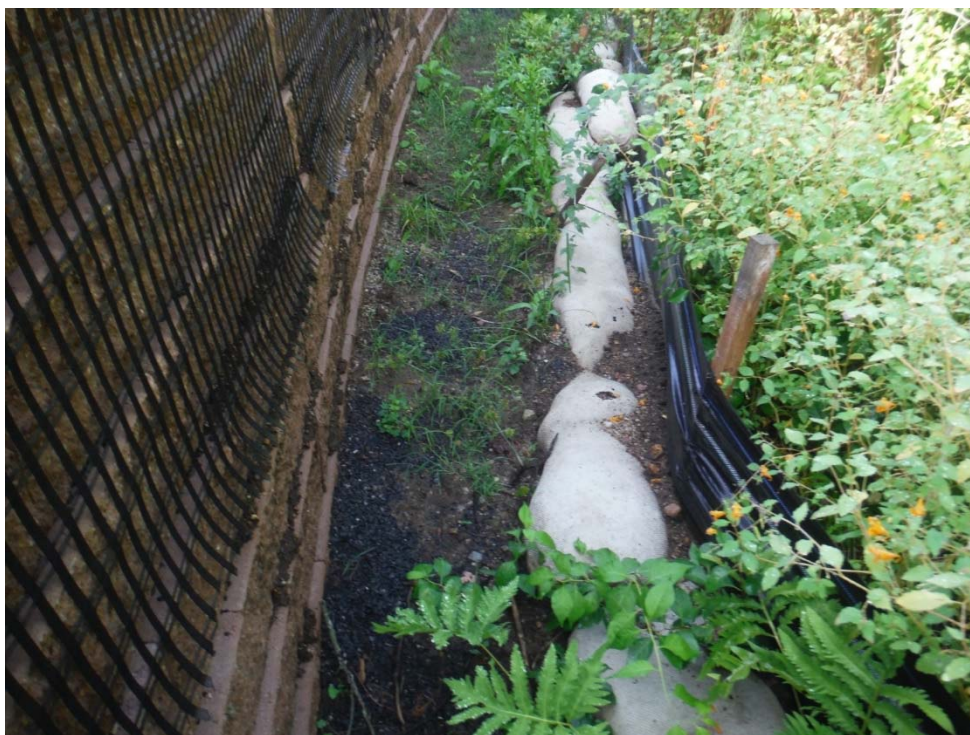


Photo 26 (looking northwest)

Sections of compost sock along the western side of Willow Pond Circle has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 27 (looking southeast)

Double compost sock and silt fence along the northern side of Lilac Path.



Photo 28 (looking west)

There is a gap in the double compost sock along the western side of Lilac Path. Additionally, parts of the compost filter sock have been covered in soil. Soil to be removed and the compost sock is to be reestablished on top of the soil.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 29 (looking southwest)

Compost sock along the western side of Lilac Path has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.



***Photo 30 (looking southwest)**

Double compost sock along the western side of Lilac Path to be repaired.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 31 (looking southwest)

The flood plain compensatory storage area on the western side of Lilac Path has been hydro-seeded for stabilization.



Photo 32 (looking south)

The areas between the retaining walls and the erosion control line west of the future main campus building have been hydro-seeded for stabilization. Additional silt fence has been added to the top of the species migration wall.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log

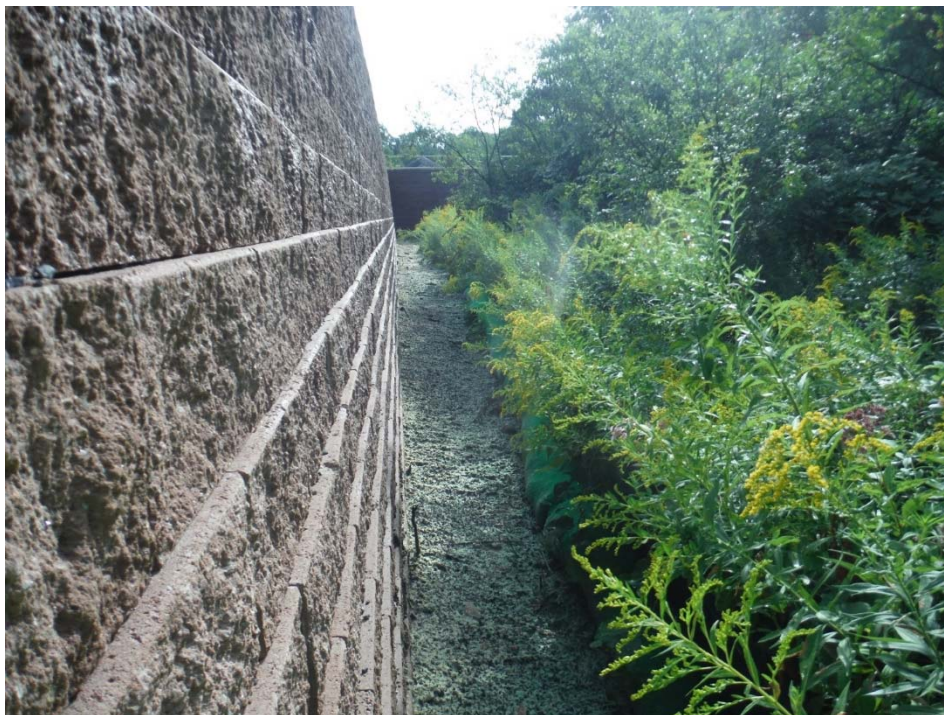


Photo 33 (looking west)

The area between the retaining walls and the erosion control line south of the future main campus building along the western sewer easement has been hydro-seeded for stabilization.



Photo 34 (looking southwest)

Rip rap plunge pool at outlet to southern infiltration chamber system.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



***Photo 35 (looking east)**

Compost sock along the retaining wall south of the future main campus building has been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.



***Photo 37 (looking northeast)**

High flows have created scour channels along the compost filter sock leading behind the southern retaining wall. Erosion controls shall be added as reinforcement upstream of this location to reduce flows and erosion.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



***Photo 38 (looking east)**

Sections of the compost sock leading to the eastern sewer line easement have been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil. Erosion controls shall be added as reinforcement upstream of this location to reduce flows and erosion.

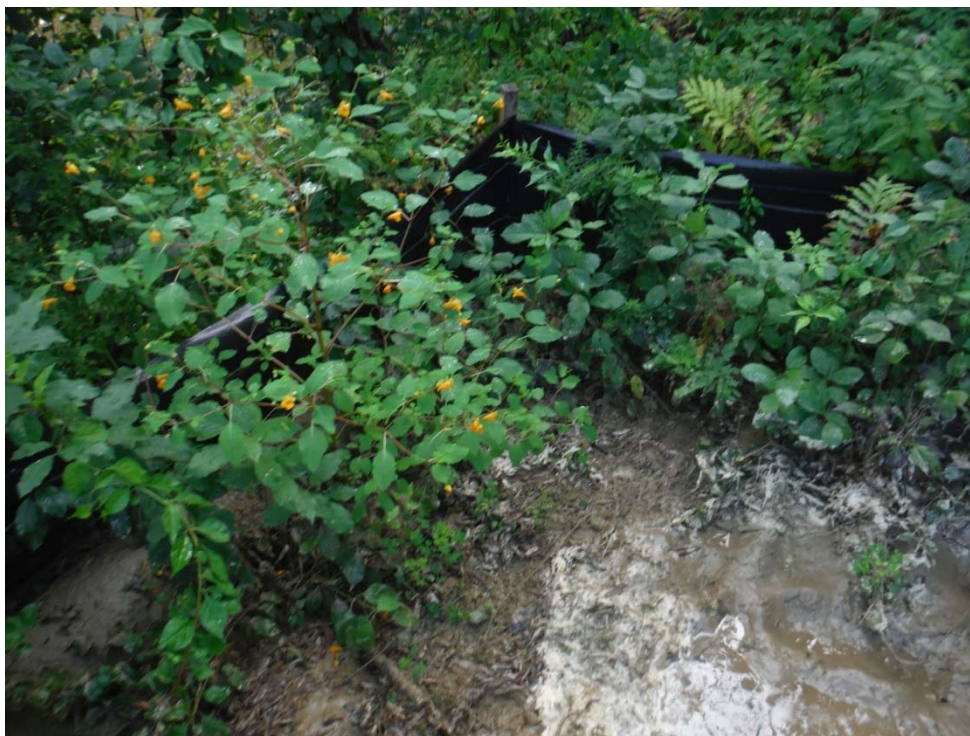


***Photo 39 (looking southeast)**

The construction zone for the eastern sewer line structure installation shall have additional moveable compost filter sock to mitigate erosion due to high flows to this area.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



***Photo 40 (looking southeast)**

Sections of the compost sock in the construction zone for the eastern sewer line structure installation have been overtopped. Soil to be removed and the compost sock is to be reestablished on top of the soil.

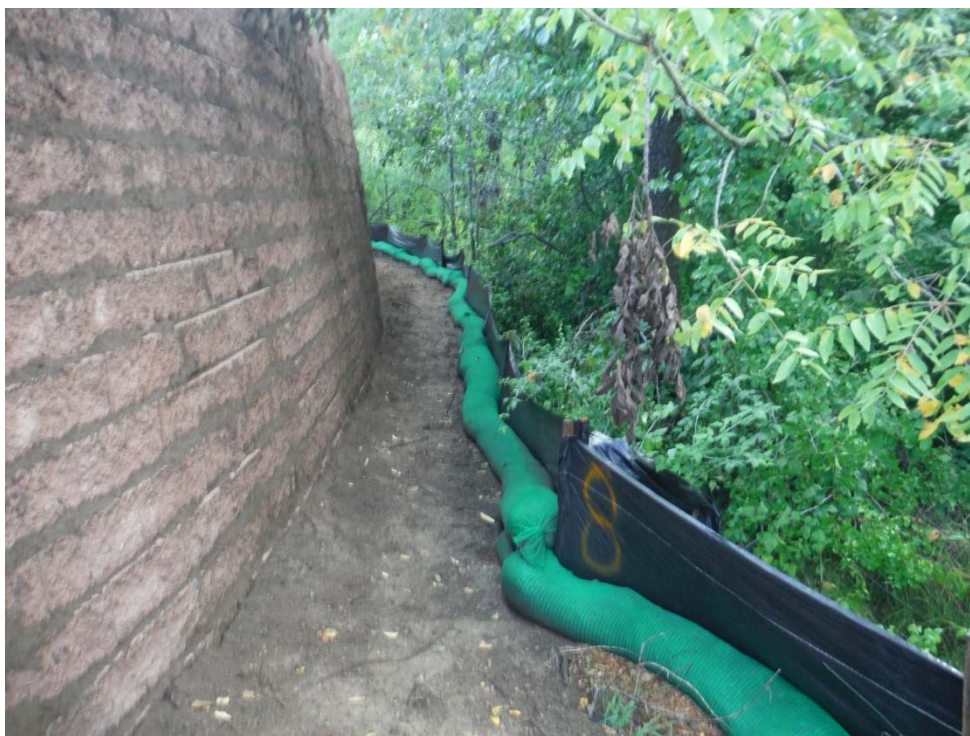


Photo 41 (looking northeast)

The compost filter sock and silt fence along the southeastern side of Willow Pond Circle.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 42 (looking east)

Compost sock and silt fence along southern side of Waterside Run Crossing.



Photo 43 (looking southwest)

Compost sock and silt fence around the Pavilion outlet.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log

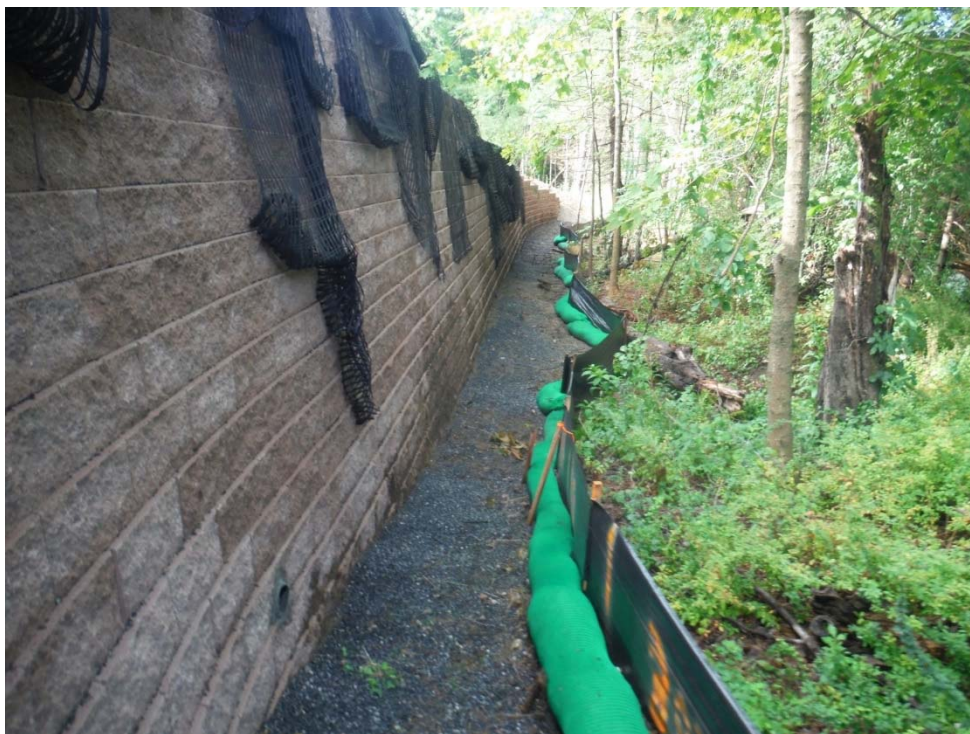


Photo 44 (looking south)

Compost sock and silt fence west of the Pavilion building and basin 3.



***Photo 45 (looking south)**

Compost sock and silt fence near outlet for basin 3. Note that the sediment in the plunge pool shall be removed before the erosion controls are removed at the end of construction.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



***Photo 46 (looking south)**

Compost sock and silt fence around the outlet east of the Pavilion building. Sediment build-up between the compost socks should be removed. Note that the sediment in the plunge pool shall be removed before the erosion controls are removed at the end of construction.



***Photo 47 (looking north)**

A scour channel has formed along the compost filter sock line leading to the flared end outlet east of the Pavilion. This channel has contributed to the sediment build up within the filter socks shown in Photo 45. Scour channel to be repaired and stabilized as necessary.

*Erosion control maintenance in these areas shall be a priority for the contractor

08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 48 (looking north)
Compost sock and silt fence along eastern edge of Waterside Run.



***Photo 49 (looking northeast)**
Compost sock and silt fence along eastern edge of Waterside Run has been covered and soil is against the silt fence. Erosion control line to be reestablished at the base of the slope.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019

The Willows SWPPP Inspection Photo Log



Photo 50 (looking north)
Compost sock and silt fence along eastern edge of Waterside Run.

*Erosion control maintenance in these areas shall be a priority for the contractor
08/29/2019



September 10, 2019
Medway Planning & Economic Development Board
Meeting

Correspondence

- Letter dated August 15, 2019 from Medway Community Housing Coordinator Doug Havens about air conditioning in affordable housing units
- Email dated September 6, 2019 from Paul Yorkis regarding resident complaints about development projects



Town Hall - 155 Village Street - Medway MA 02053

August 15, 2019

Andy Rodenhiser, Chair - Planning and Economic Development Board
Rori Stumpf, Chair - Zoning Board of Appeals
Town Hall
Medway, MA 02053

Dear Chairs,

At their June 5, 2019 joint meeting, the members of the Medway Affordable Housing Trust and Committee voted unanimously to bring to the attention of the town's permitting bodies the fact that the eight affordable units in Millstone Village have been sold without air conditioning units.

Despite discovering that the practice is regrettably not uncommon, all members considered this particular omission to be egregious considering that members of the targeted market of age 55+ households are specially threatened by excessive heat and that condo rules prohibit window AC units even though the bulk of the affordable units are positioned in the middle of the project's triplexes and subsequently have fewer windows for ventilation than market-rate counterparts. Further, the developer was recently allowed to raise the price of each of its last five affordable units by approximately \$20,000 despite his prior agreement to not seek such an adjustment.

Fortunately, the units' heating ductwork is designed to double as a cool air supply, thereby limiting each resident's additional expense to the purchase and installation of exterior air compressors at a reported unit cost of \$3,000. While this figure may be in line with going rates, it no doubt constitutes a significant burden for income-qualified families.

I have determined that DHCD regulations are mute on this point and that any engineering plans filed with permit applications rarely provide this detail.

At this juncture, the members of the Affordable Housing Trust and Committee respectfully request that your Boards consider requiring as a condition of special or comprehensive permit that, to the extent that they are present in a project's market rate units, air conditioning systems be installed in affordable units without additional increase in the affordable Maximum Sale Price as determined by the project's subsidizing agency.

Thank you for your kind consideration of this suggestion.

Sincerely yours,

J. Douglas Havens
Community Housing Coordinator
c. 774-292-1456
dhavens@townofmedway.org

CC: Members of the Affordable Housing Committee and Trust
John Foresto, Chair - Board of Selectmen
Michael Boynton, Town Administrator

Susan Affleck-Childs

From: Paul Yorkis <pgyorkis@gmail.com>
Sent: Friday, September 06, 2019 10:22 AM
To: andy@rodenhiser.com
Cc: Barbara Saint Andre; Susan Affleck-Childs
Subject: Request to Planning and Economic Development Board

From time to time there has been a difference of opinion between myself and Planning Economic Development Board personnel regarding how to most effectively address expression of concerns or complaints by resident of subdivisions.

Specifically, when a resident of a subdivision contacts to PEDB personnel to expresses a concern or complaint about work done or perhaps not done there is no formal procedure for PEDB personnel to follow and as a result on occasion, personnel contact the PEDB consulting engineer without first contacting the developer, requesting the consulting engineer to do a site visit which results in billable time to the developer without the developers approval.

I understand that under emergency situations that it may be appropriate to have an immediate inspection but otherwise, I believe it is in the best interest of the PEDB to develop guidance for personnel regarding this issue.

I would be happy to respond to a draft proposal to address this issue.

Thank you in advance for your consideration.

Paul G. Yorkis
Cell - 508-509-7860



September 10, 2019
Medway Planning & Economic Development Board
Meeting

ZBA Petitions

The following petitions have been submitted to the ZBA and will be considered at its September 18, 2019 meeting. The ZBA has requested comments from Town departments, boards and committees.

- 81 Lovering Street Lot **2A** - The application is for the issuance of a **special permit** under Section 5.4 Table 1.C of the Zoning Bylaw to construct a two-family house that has the exterior appearance of a single family dwelling on the lot.
- 81 Lovering Street Lot **3A** - The application is for the issuance of a **special permit** under Section 5.4 Table 1.C of the Zoning Bylaw to construct a two-family house that has the exterior appearance of a single family dwelling on the lot.

Keep stamp copy original

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

Lot 2A

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Medway Meadows, LLC	Application Request(s):
c/o Michael Larkin, Mgr.	
Property Owner(s): Medway Meadows, LLC	Appeal <input type="checkbox"/>
c/o Michael Larkin, Mgr.	Special Permit <input checked="" type="checkbox"/>
Site Address(es): Lot 2A, 81 Lovering Street	Variance <input type="checkbox"/>
	Determination/Finding <input type="checkbox"/>
	Extension <input type="checkbox"/>
	Modification <input type="checkbox"/>
Parcel ID(s): Map 21, Parcel 79	Comprehensive Permit <input type="checkbox"/>
Zoning District(s): ARII	
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: Norfolk Registry of Deeds Book 36947, Page 443 recorded July 9, 2019	

TOWN CLERK STAMP

RECEIVED

AUG 26 2019

TOWN CLERK

TO BE COMPLETED BY STAFF:

Check No.: 1309

Date of Complete Submittal: 8/26/19

Comments:

paid in full

Received by:

Stephanie

Date: 8/26/19

GENERAL APPLICATION FORM**APPLICANT/PETITIONER INFORMATION**

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): Medway Meadows, LLC c/o Michael Larkin, Mgr.		Phone: 978-658-0333
		Email: michael@lawlarkin.com
Address: P.O. Box 129 Medfield, MA 02052		
Attorney/Engineer/Representative(s): Colonial Engineering, Inc.		Phone: 508-533-1644
		Email: colonial.eng@verizon.net
Address: 11 Awl Street, Medway, MA		
Owner(s): Medway Meadows, LLC c/o Michael Larkin, Mgr.		Phone: 978-658-0333
		Email: michael@lawlarkin.com
Mailing Address: P.O. Box 129 Medfield, MA 02052		

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Patrick Larkin, member Medway Meadows, LLC

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

None

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

8-25-2019

Signature of Applicant/Petitioner or Representative

Date

Signature Property Owner (if different than Applicant/Petitioner)

Date

GENERAL APPLICATION FORM

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw:	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.4 Special Permits, 5.4 Table of Uses	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Present Use of Property: Vacant Land	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed Use of Property: Two family/duplex dwelling	Is the property or are the buildings/structures pre-existing nonconforming?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created: August 13, 2019	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Building was erected: n/a	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines? Yes	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Describe Application Request:</p> <p>Applicant is requesting a special permit from Section 5.4, Table 1, Section C for district AR-II of the Medway Zoning Bylaws to allow for a two family dwelling/duplex, provided that the exterior of the dwelling has the appearance of a single family dwelling.</p>			

GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Approved for Single Family	Two Family
B. Dwelling Units	Two family	Vacant Land	Two family
C. Lot Size	30,000 s.f.	121,227.48 s.f.	121,227.48 s.f.
D. Lot Frontage	150'	185.24"	185.24'
E. Front Setback	35'	n/a	203.82'
F. Side Setback	15'	n/a	144.92'
G. Side Setback	15'	n/a	36.34'
H. Rear Setback	15'	n/a	95.13'
I. Lot Coverage	30%	n/a	< 10%
J. Height	35'	n/a	35'
K. Parking Spaces	n/a	n/a	n/a
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

Date Reviewed

Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org and 4 paper copies to the Community & Economic Development Department.



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

1. The proposed site is an appropriate location for the proposed use:

The private property is located in the Agricultural Residential II District, which allows for two family dwellings.

2. Adequate and appropriate facilities will be provided for the operation of the proposed use:

N/A

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:

The property exceeds the requirements for area to construct a two family dwelling. This will allow for construction of the dwelling so as to create the least impact to abutters, while maintaining some of the existing vegetation.

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:

The private property is located in the Agricultural Residential II District, which allows for two family dwellings. The proposed two family dwellings will have only one driveway entrance/exit and the dwelling will have the appearance of a single family.

5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:

N/A

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:

The proposed two family dwelling will be appropriately located in a residential district - ARII

7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw:
The property has more than adequate area for the AR II District and the lot meets all zoning dimensional requirements to construct a two family dwelling. The parcel has more than 50% uplands. The proposed two family dwellings will have only one driveway entrance/exit and the dwelling will have the appearance of a single family.

8. The proposed use is consistent with the goals of the Medway Master Plan:
The proposed two family dwelling will be appropriately located in a residential district - ARII and is consistent with the goals of the Medway Master Plan.

9. The proposed use will not be detrimental to the public good:
The private property is located in the Agricultural Residential II District, which allows for two family dwellings and as such will not be detrimental to the public good.

Signature of Applicant/Petitioner or Representative

Date

N/F Michael & Marianna Osipenko
16 Ash Street
Map 21 Parcel 74

N/F Johathan & Lisa Rankin
13 Ash Street
Map 21 Parcel 75

N/F David & Gina Haddad
11 Ash Street
Map 21 Parcel 76

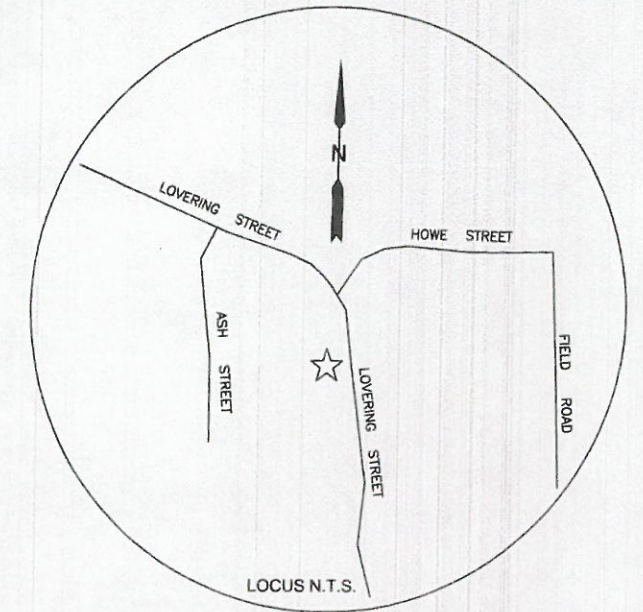
ZONE AR II
AREA 22,500 S.F.
FRONTAGE 150.00
SETBACK 35'
SIDEYARD 15'
REARYARD 15'
BUILDING LOT COVERAGE 30%
IMPERVIOUS LOT COVERAGE 40%
NOT WITHIN THE G.P.D.

PROPOSED LOT COVERAGE
BUILDING LOT COVERAGE 2.81%
IMPERVIOUS LOT COVERAGE 7.45%

I CERTIFY THAT THE PROPOSED
STRUCTURE CONFORMS TO THE
ZONING BY-LAWS OF THE TOWN
OF MEDWAY, MA. AND DOES NOT
LIE WITHIN THE FLOOD PLAIN.



N/F Bradley & Laura Nisbet
9 Ash Street
Map 21 Parcel 77



N/F Michael & Marianna Osipenko
16 Ash Street
Map 21 Parcel 74

N/F Trevor Johnson &
Kathleen Blanchard
75 Loversing Street
Map 21 Parcel 58

LOT 1

LOT 3A

LOT 4

N/F TOWN OF MEDWAY

LOVERING STREET
(PUBLIC 60' COUNTY LAYOUT OF 1955 & 1981)

N/F Gary & Nancy Devita
78 Loversing Street

N/F Paul R. Wilson
Loversing Street
Map 21 Parcel 93

PROPOSED STRUCTURE
PLAN OF LAND

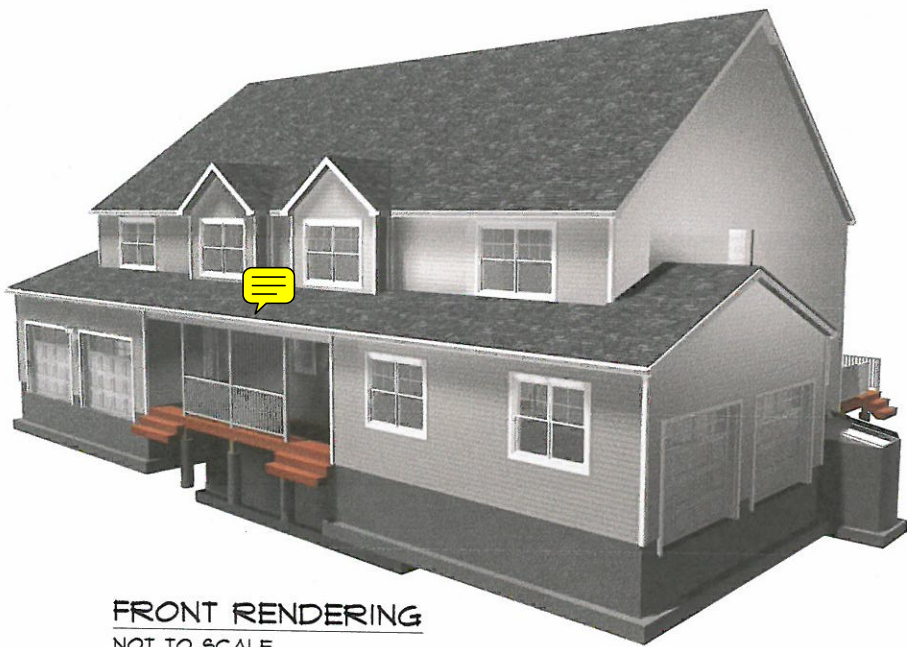
IN

MEDWAY, MA.

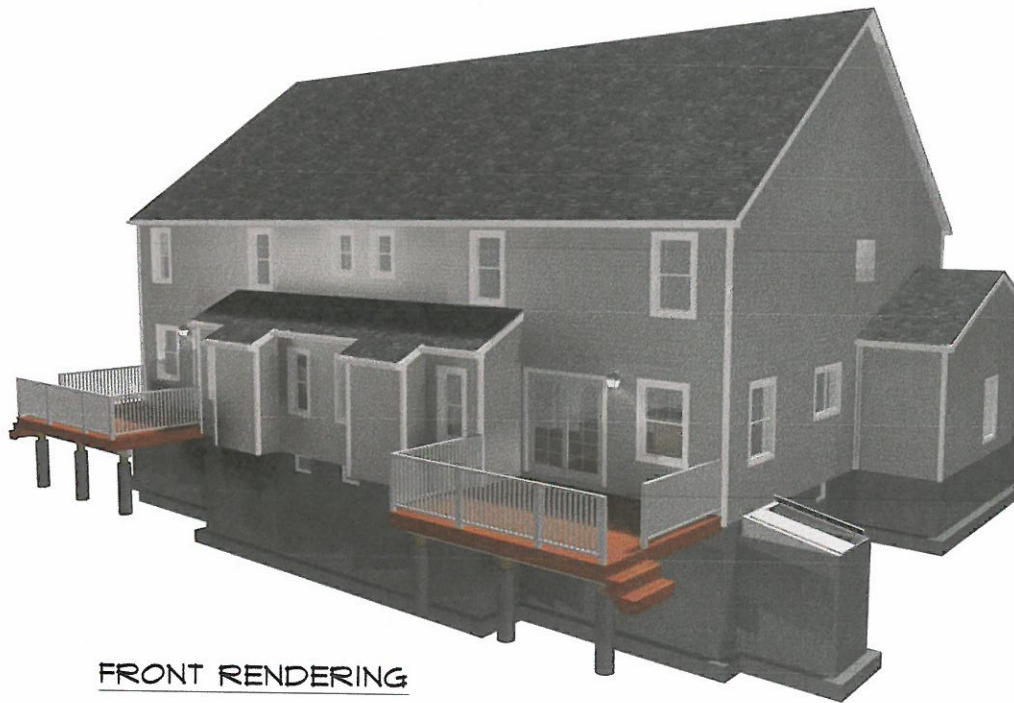
SCALE: 1"=40' JULY 27, 2019

OWNER: Medway Meadows LLC
383 Main Street
Medfield, Ma. 02052

COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA
508-533-1644



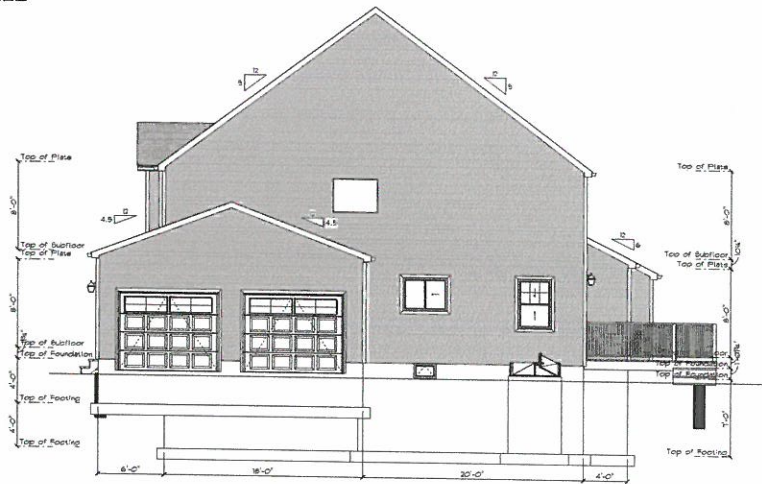
FRONT RENDERING
NOT TO SCALE



FRONT RENDERING
NOT TO SCALE



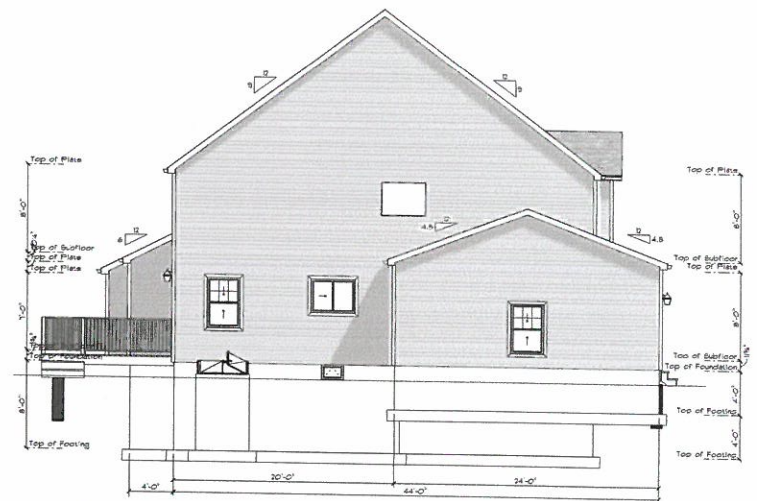
FRONT ELEVATION
NOT TO SCALE



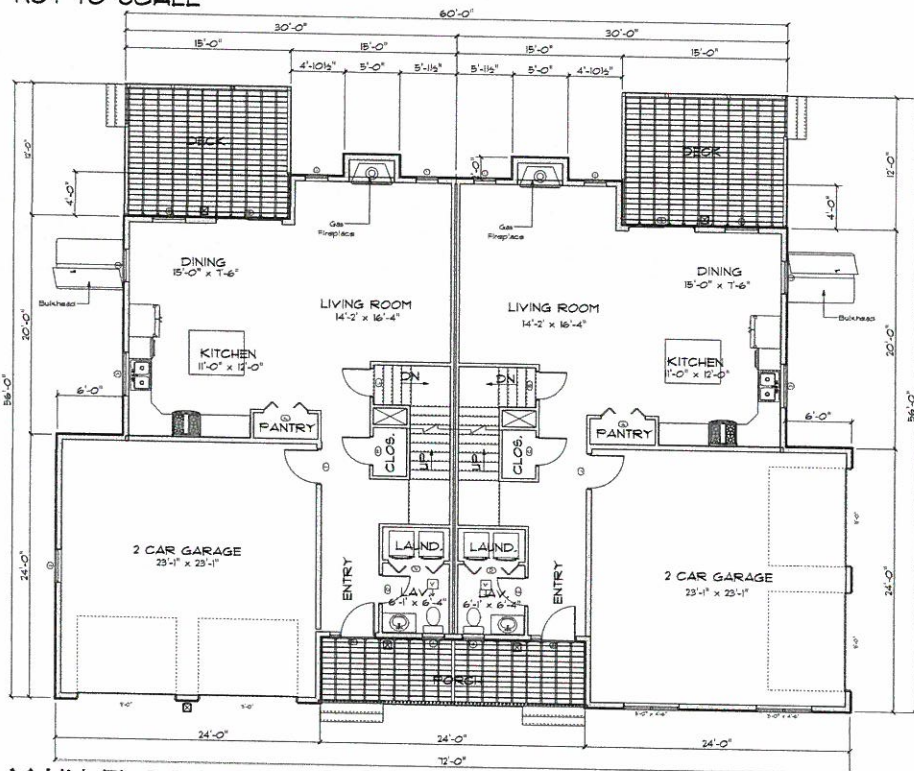
RIGHT SIDE ELEVATION
NOT TO SCALE



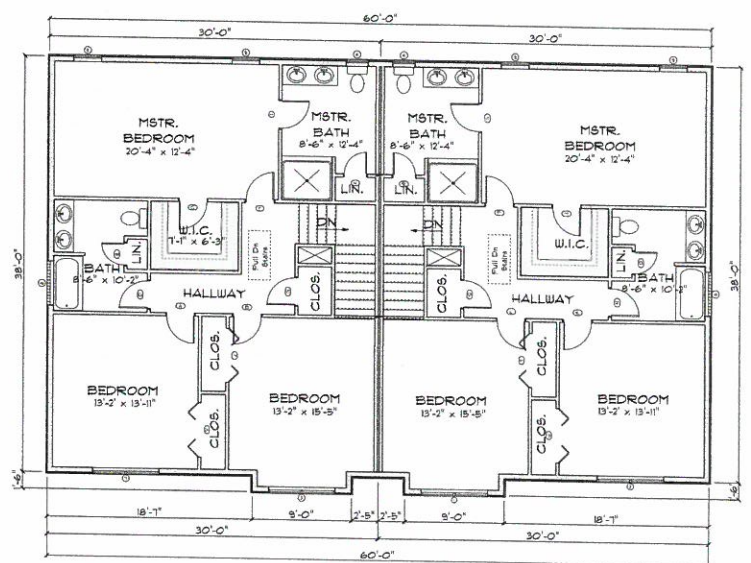
REAR ELEVATION
NOT TO SCALE



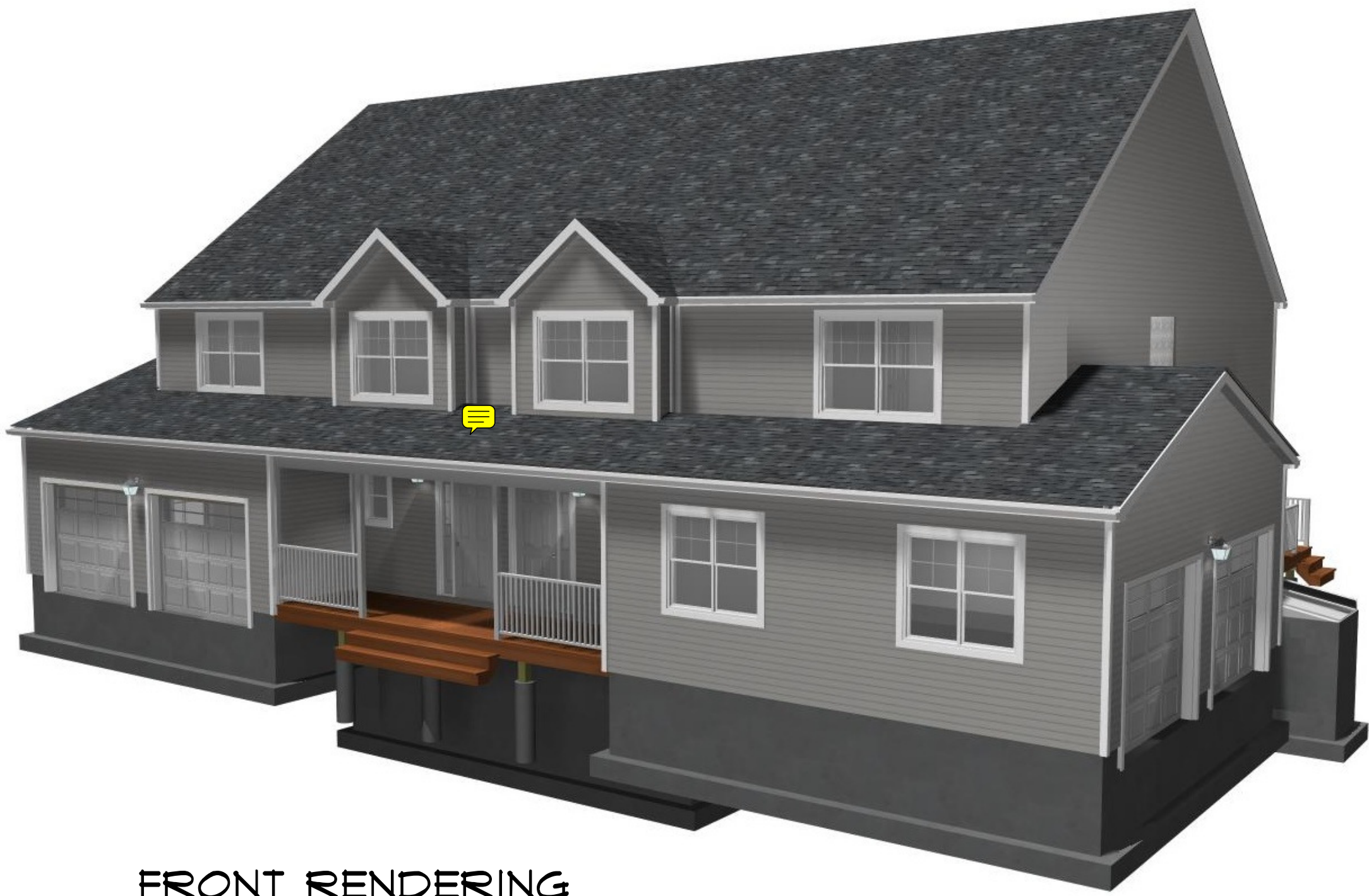
LEFT SIDE ELEVATION
NOT TO SCALE



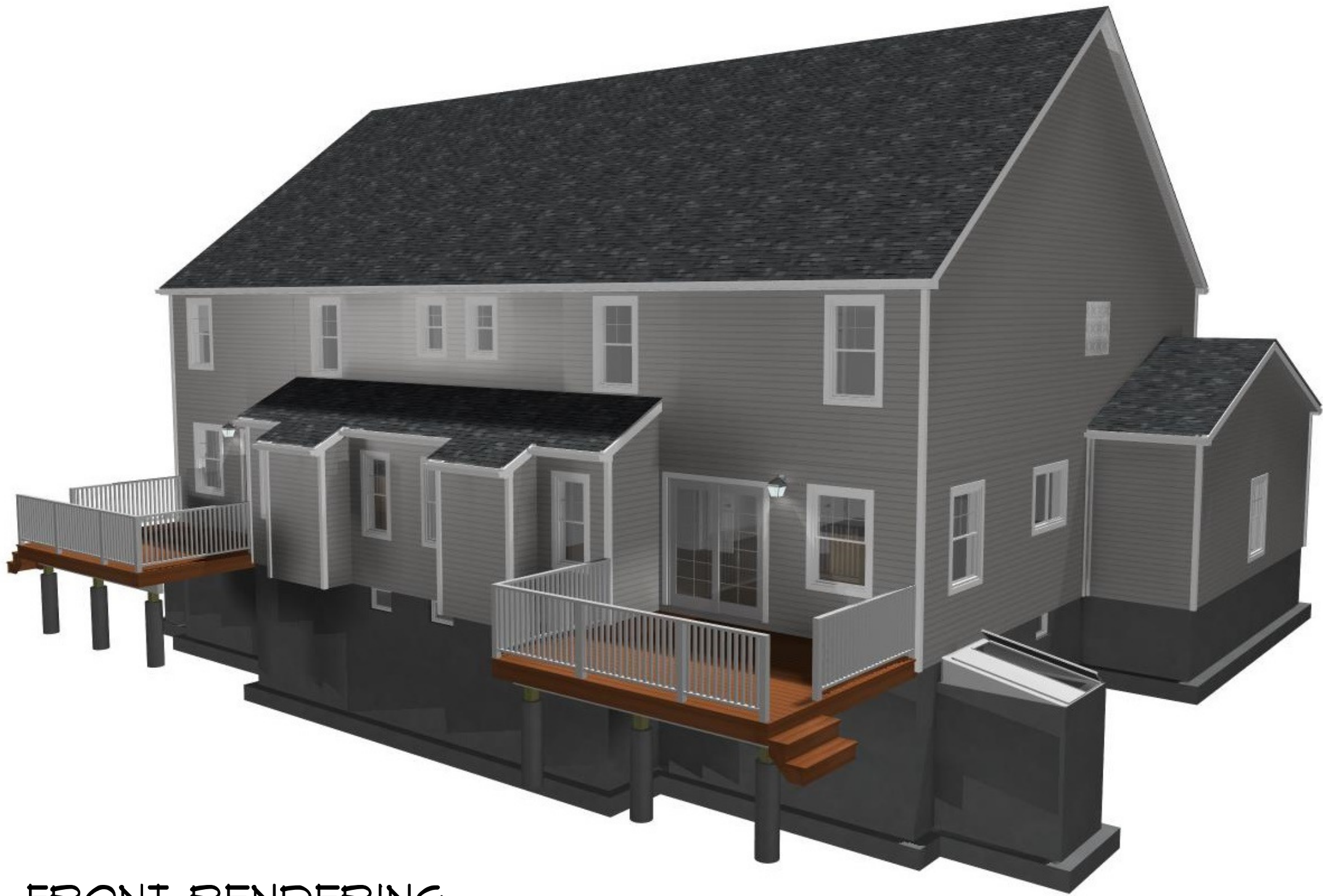
MAIN FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 895 s.f. (Each Unit)



SECOND FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 1,163 s.f. (Each Unit)



FRONT RENDERING
NOT TO SCALE



FRONT RENDERING
NOT TO SCALE



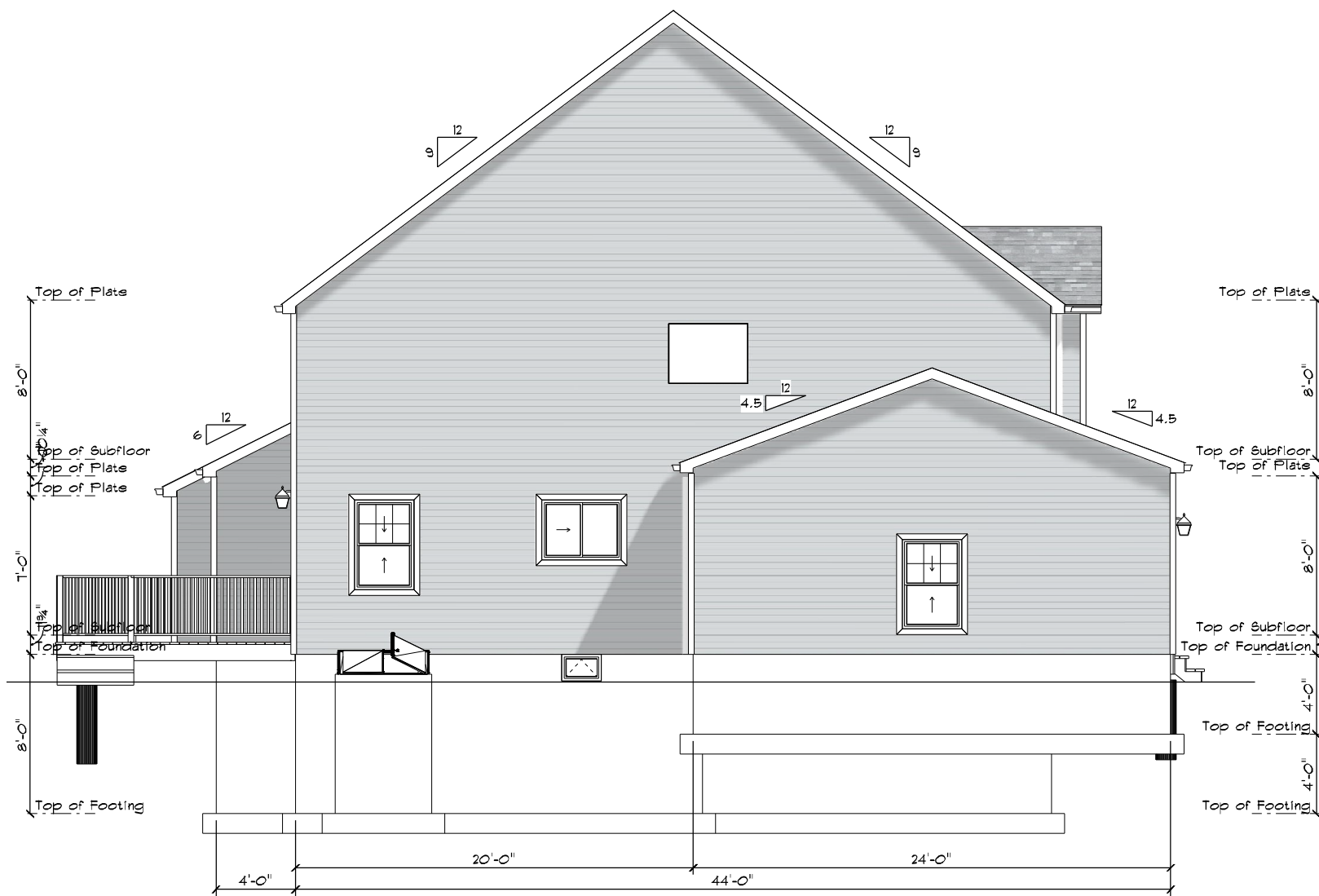
FRONT ELEVATION
NOT TO SCALE



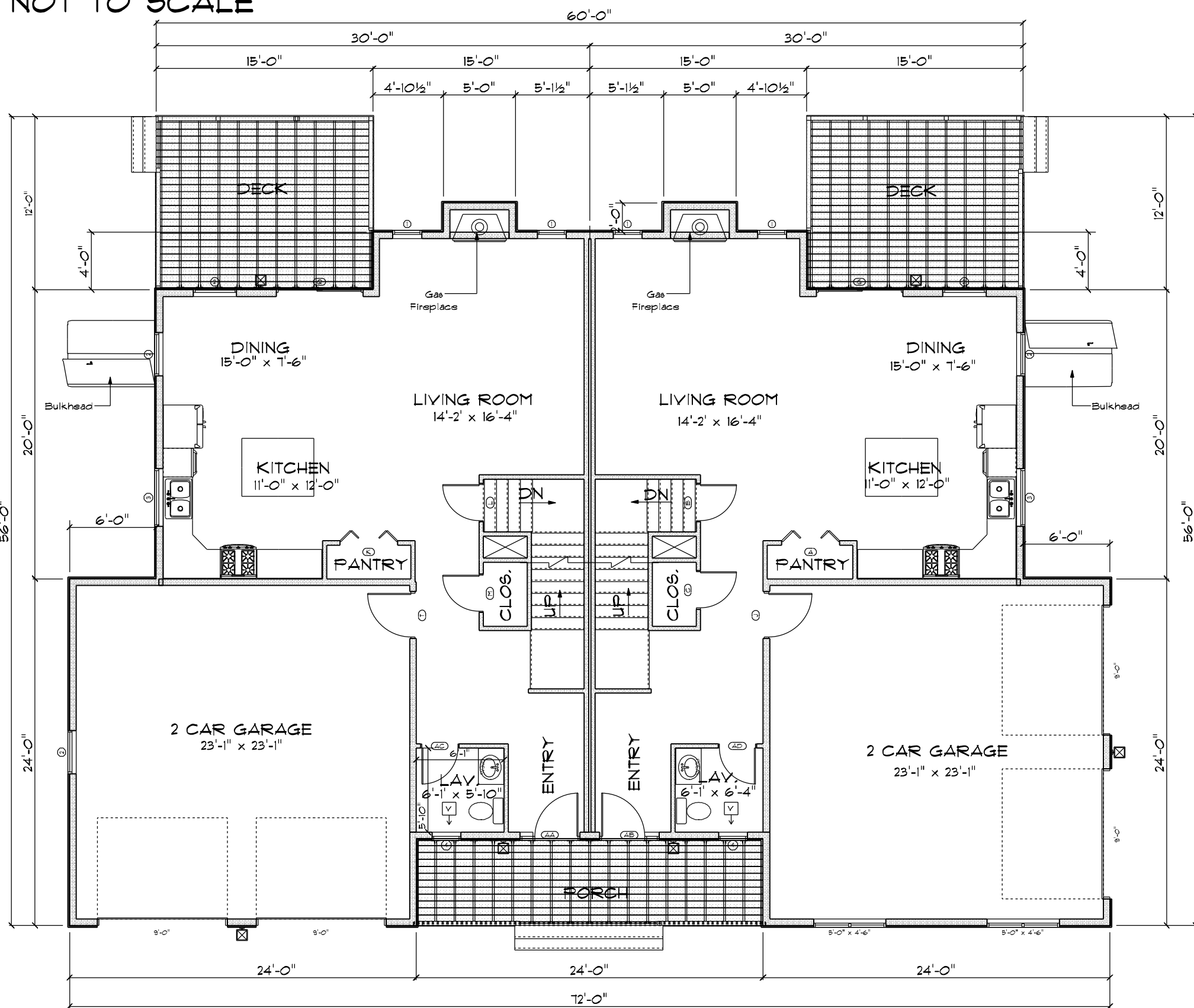
RIGHT SIDE ELEVATION
NOT TO SCALE



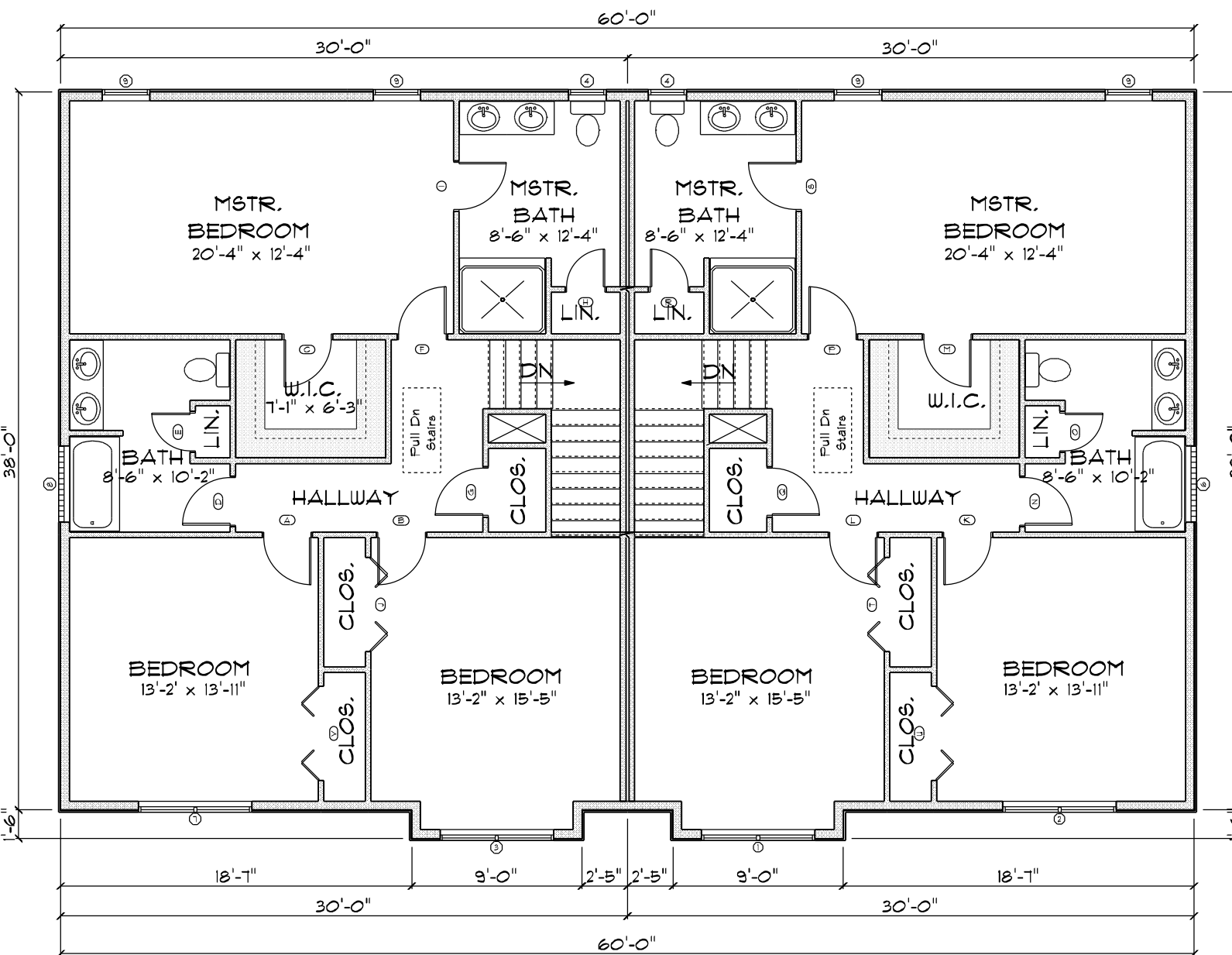
REAR ELEVATION
NOT TO SCALE



LEFT SIDE ELEVATION
NOT TO SCALE



MAIN FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 895 s.f. (Each Unit)



SECOND FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 1,163 s.f. (Each Unit)

Keep STAMP copy

original

SEPT 18th
Wed 7:30pm

GENERAL APPLICATION FORM



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

Lot 3A

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Medway Meadows, LLC	Application Request(s):
c/o Michael Larkin, Mgr.	
Property Owner(s): Medway Meadows, LLC	Appeal <input type="checkbox"/>
c/o Michael Larkin, Mgr.	Special Permit <input checked="" type="checkbox"/>
Site Address(es): Lot 3A, 81 Lovering Street	Variance <input type="checkbox"/>
	Determination/Finding <input type="checkbox"/>
	Extension <input type="checkbox"/>
	Modification <input type="checkbox"/>
Parcel ID(s): Map 21, Parcel 79	Comprehensive Permit <input type="checkbox"/>
Zoning District(s): ARII	
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: Norfolk Registry of Deeds Book 36947, Page 443 recorded July 9, 2019	



TO BE COMPLETED BY STAFF:

Check No.: 1310
Date of Complete Submittal: 8/26/19
Comments: paid in full

[Signature]

8/26/19

GENERAL APPLICATION FORM**APPLICANT/PETITIONER INFORMATION**

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): Medway Meadows, LLC c/o Michael Larkin, Mgr.	Phone: 978-658-0333
	Email: michael@lawlarkin.com
Address: P.O. Box 129 Medfield, MA 02052	
Attorney/Engineer/Representative(s): Colonial Engineering, Inc.	Phone: 508-533-1644
	Email: colonial.eng@verizon.net
Address: 11 Awl Street, Medway, MA	
Owner(s): Medway Meadows, LLC c/o Michael Larkin, Mgr.	Phone: 978-658-0333
	Email: michael@lawlarkin.com
Mailing Address: P.O. Box 129 Medfield, MA 02052	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Patrick Larkin, member Medway Meadows, LLC

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

None

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Signature of Applicant/Petitioner or Representative

8-25-2019

Date

Signature Property Owner (if different than Applicant/Petitioner)

Date

GENERAL APPLICATION FORM

APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw:	Requesting Waivers?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.4 Special Permits, 5.4 Table of Uses	Does the proposed use conform to the current Zoning Bylaw?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Present Use of Property: Barn	Has the applicant applied for and/or been refused a building permit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the property or are the buildings/structures pre-existing nonconforming?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed Use of Property: Two family/duplex dwelling	Is the proposal subject to approval by the BOH or BOS?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Lot was created: August 13, 2019	Is the property located in the Floodplain District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Date Building was erected: 1900s	Is the property located in the Groundwater Protection District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Does the property meet the intent of the Design Review Guidelines? Yes	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Describe Application Request: <p>Applicant is requesting a special permit from Section 5.4, Table 1, Section C for district AR-II of the Medway Zoning Bylaws to allow for a two family dwelling/duplex, provided that the exterior of the dwelling has the appearance of a single family dwelling.</p>			

GENERAL APPLICATION FORM

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Approved for Single Family	Two Family
B. Dwelling Units	Two family	Barn	Two family
C. Lot Size	30,000 s.f.	30,005 s.f.	30,005 s.f.
D. Lot Frontage	150'	151.85'	151.85'
E. Front Setback	35'	15"	59'
F. Side Setback	15'	0'	22.29'
G. Side Setback	15'	> 15"	56.16
H. Rear Setback	15'	> 35'	45.88'
I. Lot Coverage	30%	< 30%	22.21%
J. Height	35'	< 35'	35'
K. Parking Spaces	n/a	n/a	n/a
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

Date Reviewed

Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to zoning@townofmedway.org and 4 paper copies to the Community & Economic Development Department.



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

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TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

1. The proposed site is an appropriate location for the proposed use:

The private property is located in the Agricultural Residential II District, which allows for two family dwellings.

2. Adequate and appropriate facilities will be provided for the operation of the proposed use:

N/A

3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:

The property exceeds the requirements for area to construct a two family dwelling. This will allow for construction of the dwelling so as to create the least impact to abutters, while maintaining some of the existing vegetation.

4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:

The private property is located in the Agricultural Residential II District, which allows for two family dwellings. The proposed two family dwellings will have only one driveway entrance/exit and the dwelling will have the appearance of a single family.

5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:

N/A

6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:

The proposed two family dwelling will be appropriately located in a residential district - ARII

GENERAL SPECIAL PERMIT FORM

7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw:

The property has more than adequate area for the AR II District and the lot meets all zoning dimensional requirements to construct a two family dwelling. The parcel has more than 50% uplands. The proposed two family dwellings will have only one driveway entrance/exit and the dwelling will have the appearance of a single family.

8. The proposed use is consistent with the goals of the Medway Master Plan:

The proposed two family dwelling will be appropriately located in a residential district - ARII and is consistent with the goals of the Medway Master Plan.

9. The proposed use will not be detrimental to the public good:

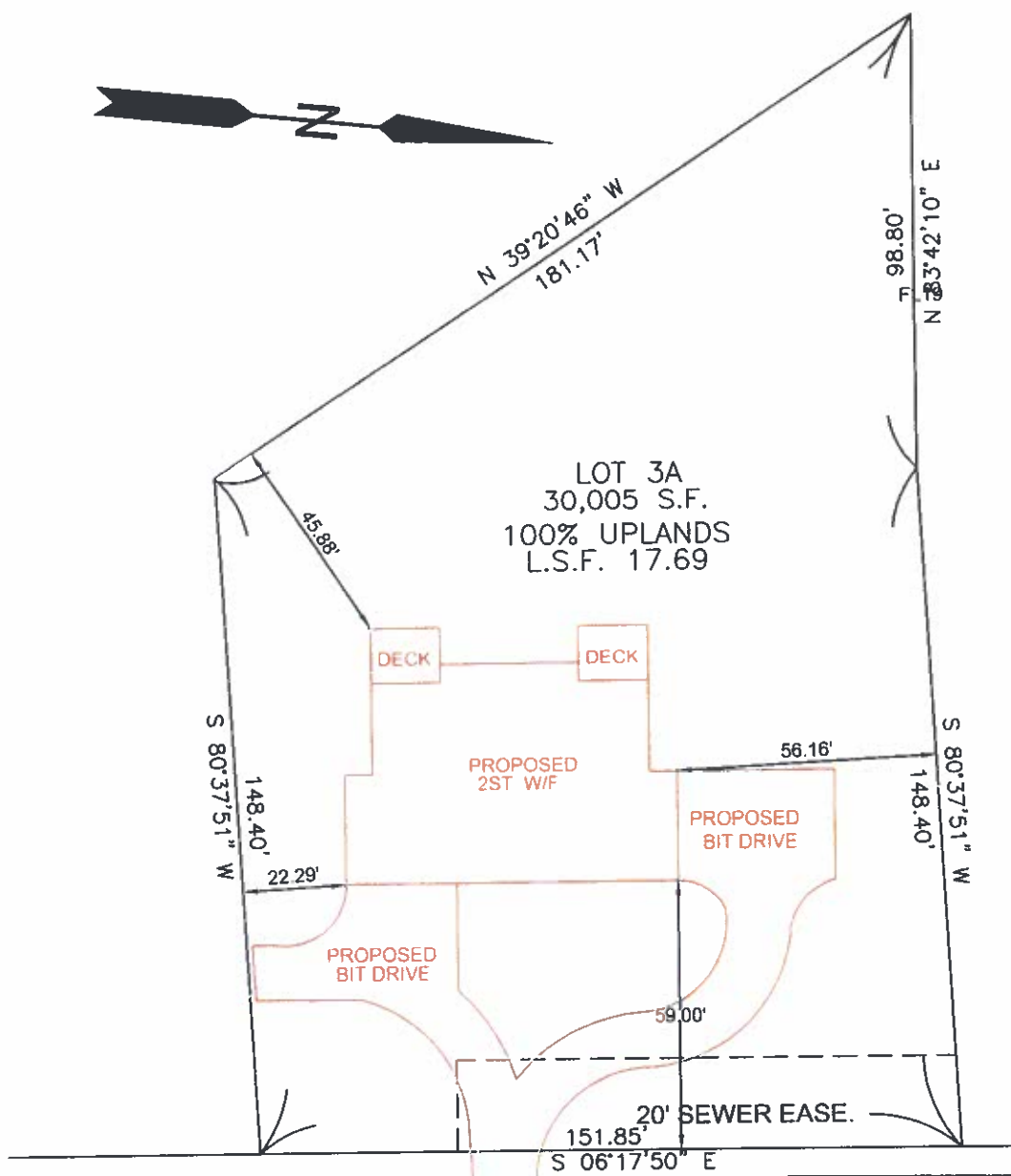
The private property is located in the Agricultural Residential II District, which allows for two family dwellings and as such will not be detrimental to the public good.



Signature of Applicant/Petitioner or Representative

8/28/2018

Date



LOVERING (PUBLIC 60' COUNTY LAYOUT OF 1955 & 1981) STREET

ZONE AR II
AREA 22,500 S.F.
FRONTAGE 150.00
SETBACK 35'
SIDEYARD 15'
REARYARD 15'
BUILDING LOT COVERAGE 30%
IMPERVIOUS LOT COVERAGE 40%
NOT WITHIN THE G.P.D.
PROPOSED LOT COVERAGE
BUILDING LOT COVERAGE 11.35%
IMPERVIOUS LOT COVERAGE 22.21%

I CERTIFY THAT THE PROPOSED
STRUCTURE CONFORMS TO THE
ZONING BY-LAWS OF THE TOWN
OF MEDWAY, MA. AND DOES NOT
LIE WITHIN THE FLOOD PLAIN.

PROPOSED STRUCTURE
PLAN OF LAND

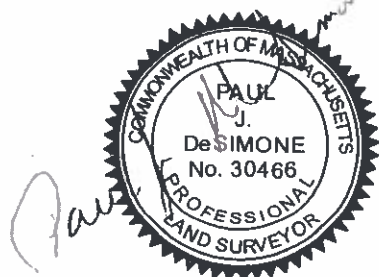
IN

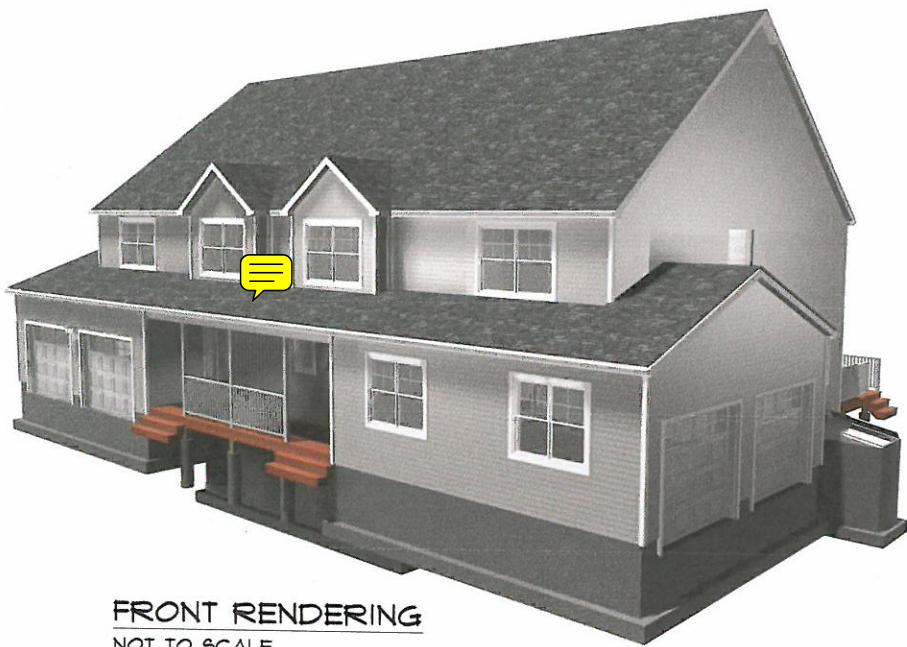
MEDWAY, MA.

SCALE: 1"=40' JULY 15, 2019

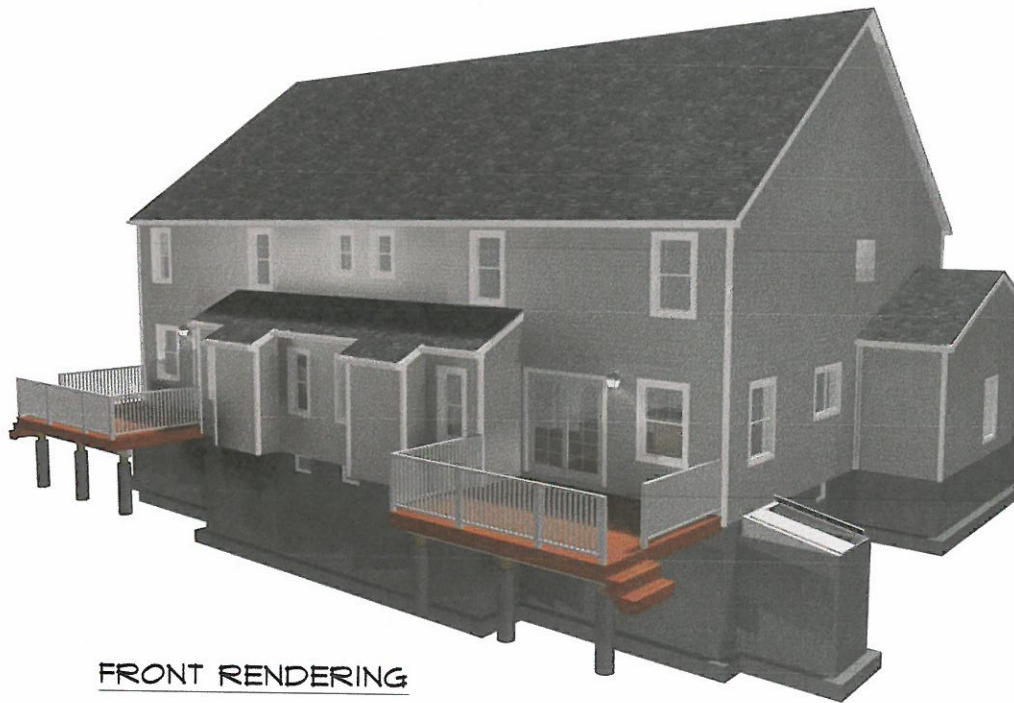
OWNER: Medway Meadows LLC
383 Main Street
Medfield, Ma. 02052

COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA
508-533-1644





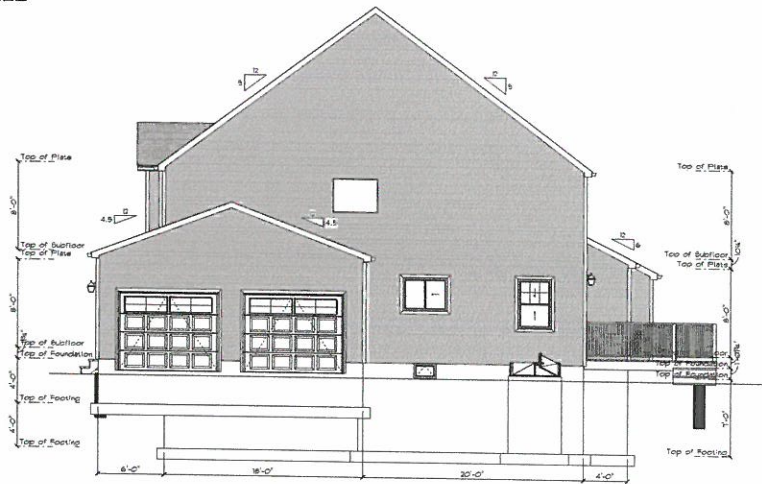
FRONT RENDERING
NOT TO SCALE



FRONT RENDERING
NOT TO SCALE



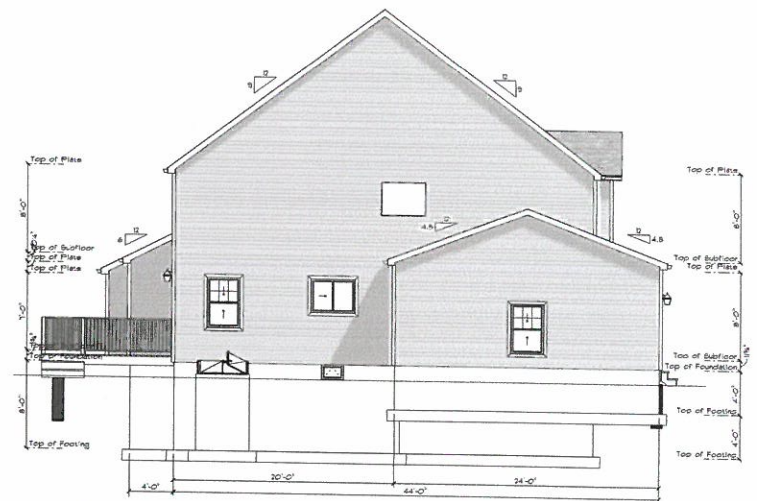
FRONT ELEVATION
NOT TO SCALE



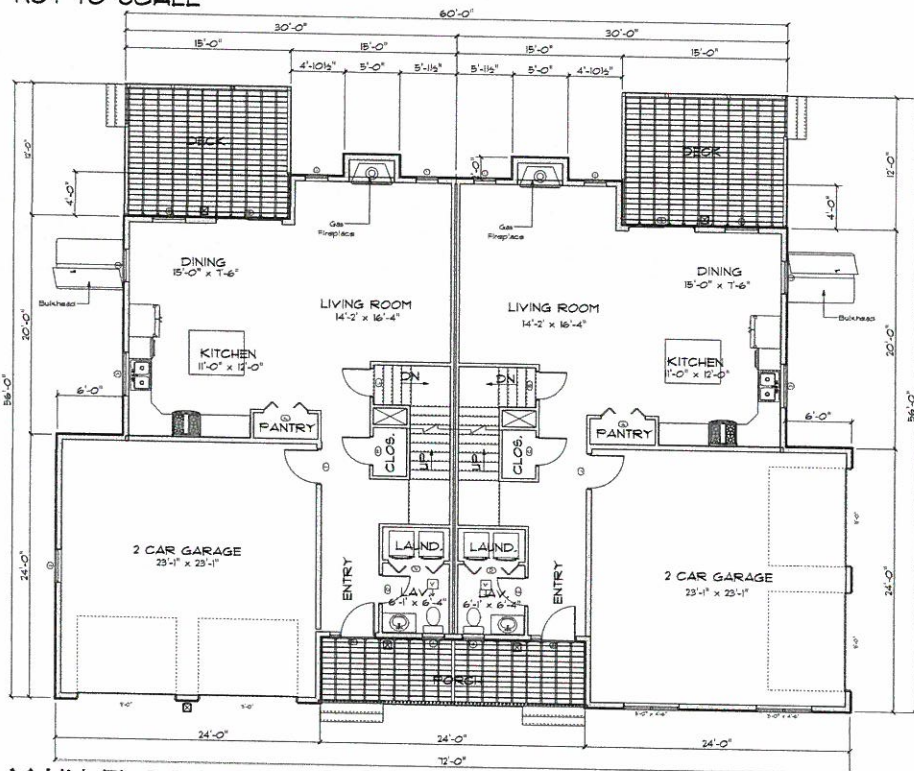
RIGHT SIDE ELEVATION
NOT TO SCALE



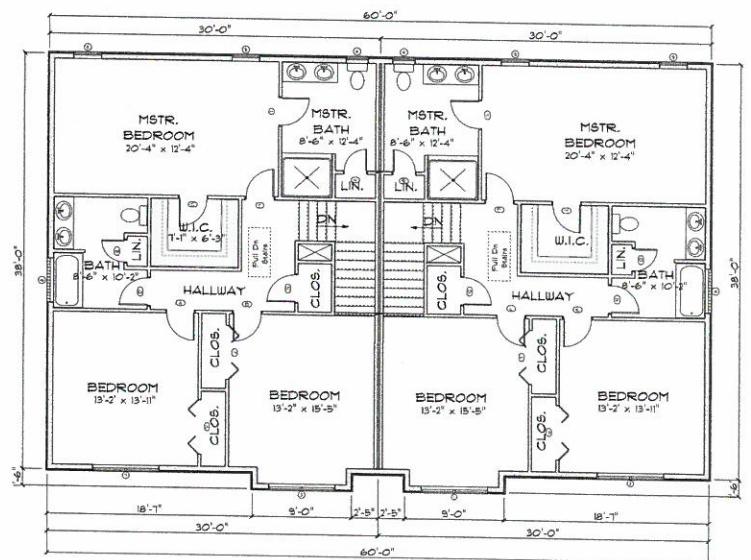
REAR ELEVATION
NOT TO SCALE



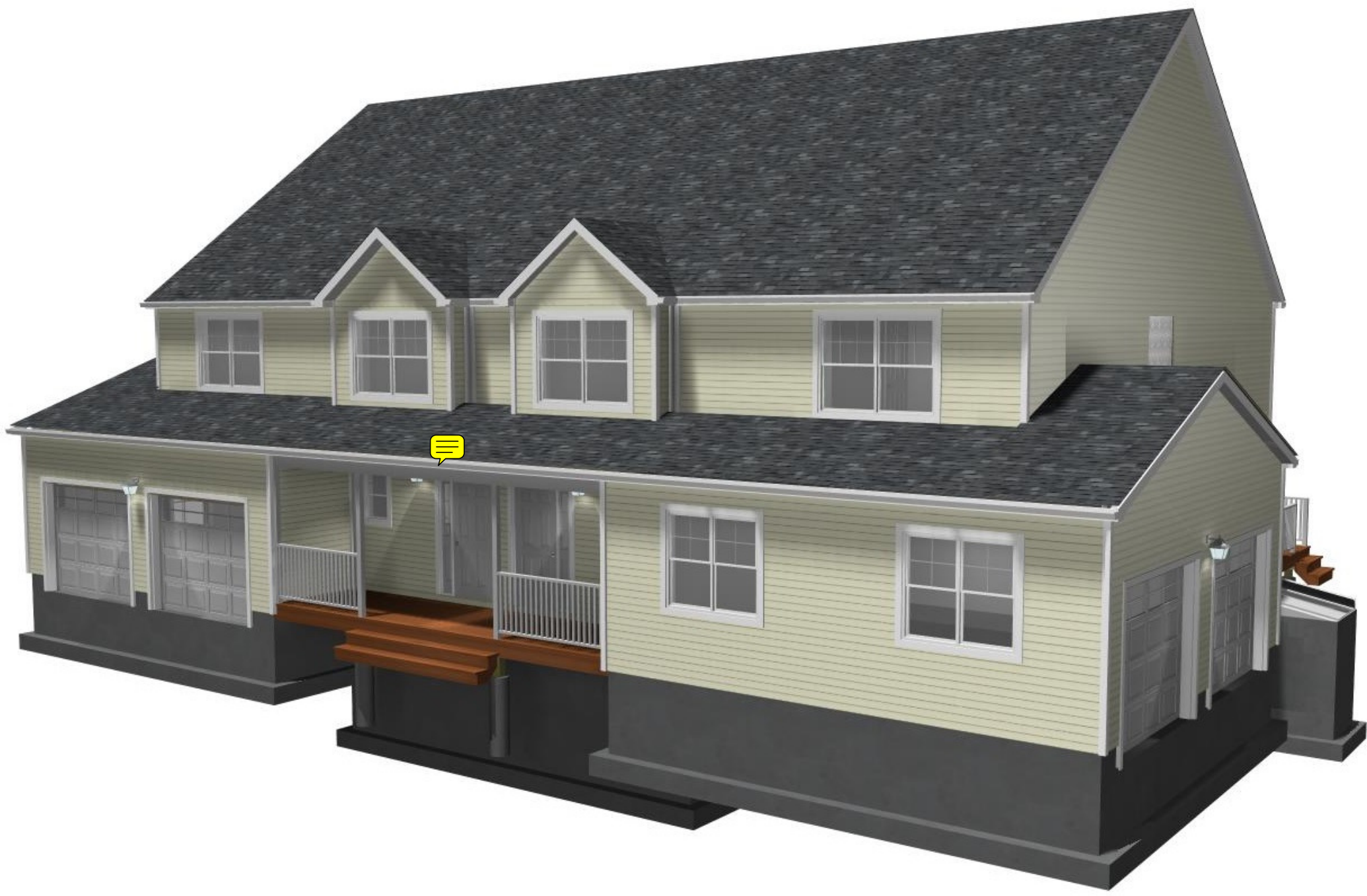
LEFT SIDE ELEVATION
NOT TO SCALE



MAIN FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 895 s.f. (Each Unit)



SECOND FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 1,163 s.f. (Each Unit)



FRONT RENDERING
NOT TO SCALE



FRONT RENDERING
NOT TO SCALE



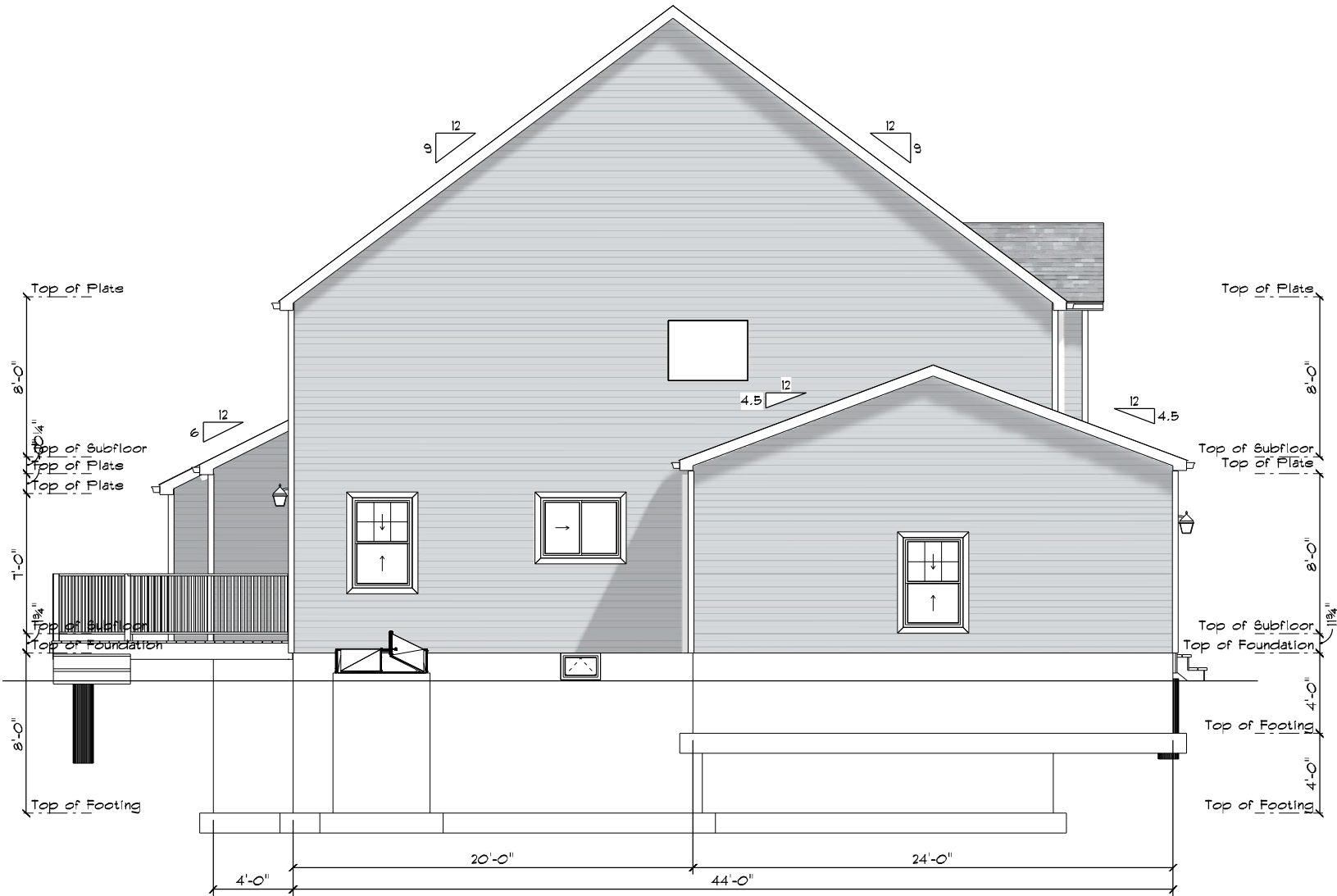
FRONT ELEVATION
NOT TO SCALE



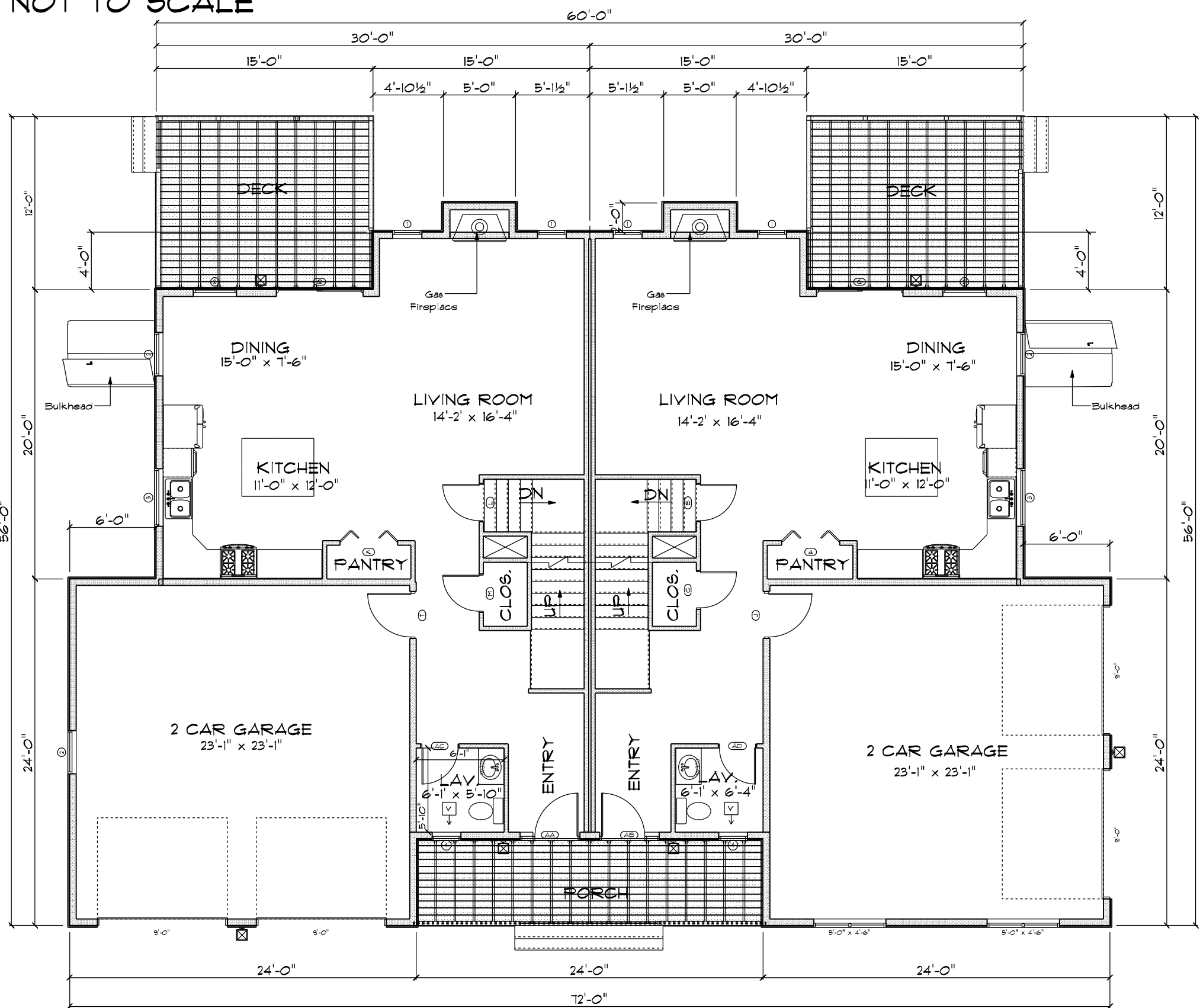
RIGHT SIDE ELEVATION
NOT TO SCALE



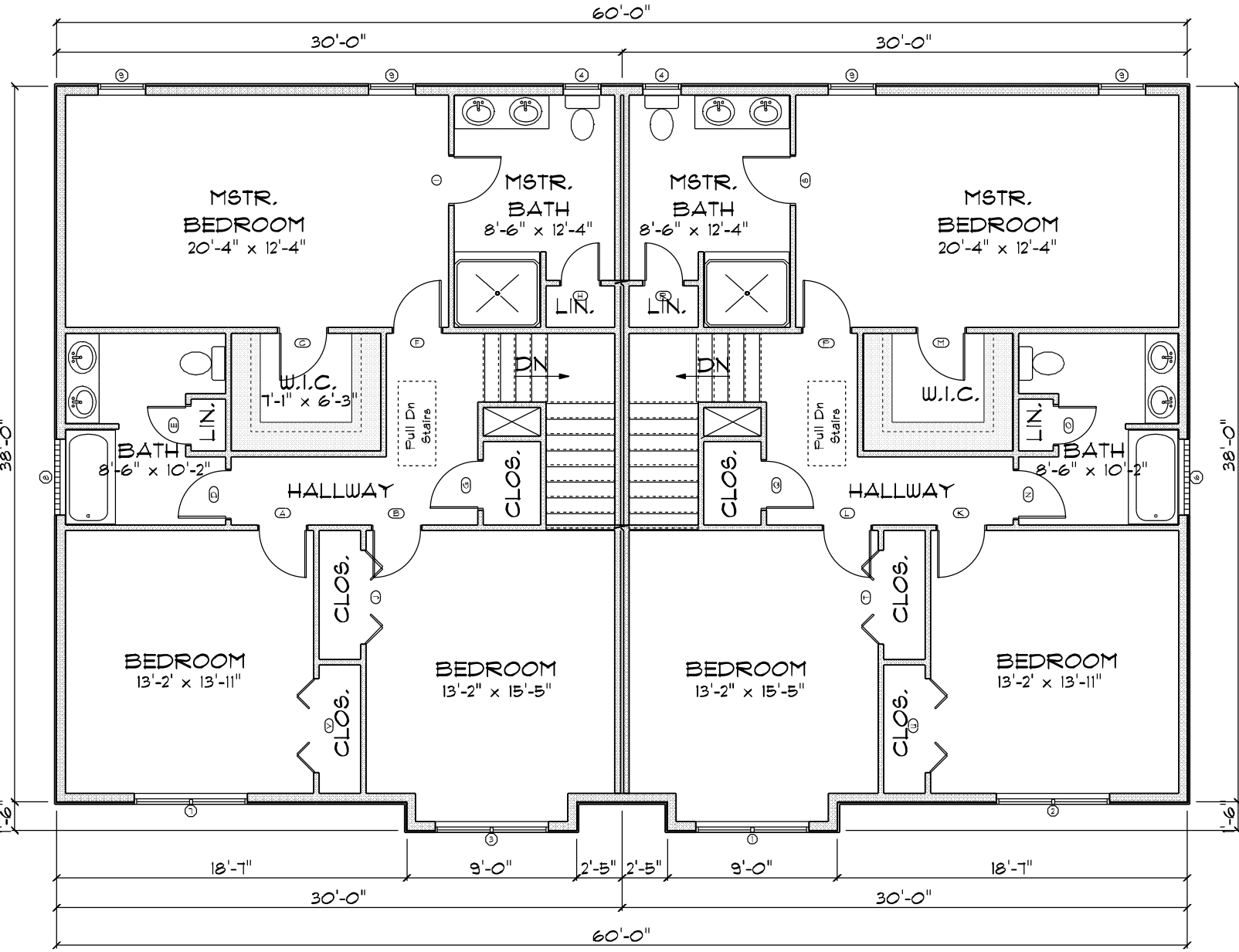
REAR ELEVATION
NOT TO SCALE



LEFT SIDE ELEVATION
NOT TO SCALE



MAIN FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 895 s.f. (Each Unit)



SECOND FLOOR PLAN
NOT TO SCALE
Approximate Living Area: 1,163 s.f. (Each Unit)