

Tuesday October 8, 2019
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	Absent with Notice	Absent with Notice	X	X

The meeting is being broadcast and recorded by Medway Cable Access.

PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Gino Carlucci, PGC Associates
Steve Bouley, Tetra Tech

The Chairman opened the meeting at 7:00 p.m.

PUBLIC COMMENTS:

There were no public comments.

PEDB MEETING MINUTES:

September 24, 2019:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the minutes of the September 24, 2019 PEDB meeting.

PLAN REVIEW FEE ESTIMATES FOR 20 BROAD STREET:

The Board is in receipt of the following: (See Attached)

- PGC Associates estimate dated 10-4-19 for \$1,100.00
- Tetra Tech estimate dated 9-30-19 for \$6,172.00

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the plan review fee estimates for 20 Broad Street in the amount of **\$7,272.00.**

CTS SITE PLAN – 9 TROTTER DR. - CERTIFICATE OF SITE PLAN COMPLETION:

The Board is in receipt of the following: (See Attached)

- Draft Certificate of Site Plan Completion
- As-Built plan dated 9-27-19
- As-Built plan sign-off from Tetra Tech dated 9-30-19
- Project completion certification from Walter Lewinski, PR, Engineering Design Consultants

- SAC Memo dated 10-2-19 to Jack Mee: occupancy permit

The Board would like to hold off on signing the certificate of site plan completion until the Eversource work order is executed. The Board was made aware that there was verification from the Treasurer's/Collector's Office that the taxes have been paid.

This will be placed on the October 22, 2019 meeting agenda.

MERRIMACK BUILDING SUPPLY SITE PLAN (20 TROTTER DRIVE) – Performance Security

The Board is in receipt of the following: (See Attached)

- Series of emails
- Inspection report/punch list from Tetra Tech dated October 4, 2019
- Bond estimate from Tetra Tech dated October 4, 2019
- Excerpt from Merrimack site plan decision regarding project completion and performance security.
- DRAFT Performance Security Agreement.

The Board was made aware that the as-built plans are being prepared by Engineer Bob Poxon of Guerriere and Halnon. It is expected that those will be completed by the week of October 7, 2019.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the Tetra Tech bond estimate for Merrimack in the amount of \$ 16,250.00.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the performance security agreement for Merrimack.

PUBLIC HEARING - EVERGREEN VILLAGE MULTI-FAMILY HOUSING SPECIAL PERMIT, Site Plan Approval and Scenic Road Work Permit

The Board is in receipt of the following: (See Attached)

- Public Hearing Notice 9-17-19
- Memo to Town Staff requesting comments 9-19-19
- Email from Fire Chief Jeff Lynch 10-2-19
- Evergreen Village Multifamily Special Permit Application 9-4-19
- Evergreen Village Scenic Road Application
- Evergreen Village Site 9-16-19 Plan Waiver Requests
- Evergreen Village Site Plan Set 9-5-19
- Evergreen Village Site Plan Application 9-16-19
- PGC Associates comments 10-3-19
- Tetra Tech review comments 10-7-19

- Email from abutter Jessica Grimes 10.08.19

The Chairman opened the public hearing for Evergreen Village and read a prepared statement outlining the process and ground rules.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to dispense with the formal reading of the public hearing notice.

Ronald Tiberi, P.E. along with applicant/developer Maria Varicchione were present to provide an overview of the application. It was explained that the building on property has been demolished and the new application is in front of the Board.

The applicant proposes to construct a 7 unit, townhouse condominium development. The property is located on a scenic road in the Agricultural/Residential II Zoning District. The proposed development will have one 4-unit townhouse building and one 3-unit townhouse building. There will be one Affordable dwelling unit.

The access will be from the curb cut from Evergreen Street. There will be a total of 14, off street parking spaces (plus 14 garage spaces). Subsurface stormwater management facilities will be installed on site. There will be landscaping, lighting and a garden area. It is the intent of the applicant to connect to the existing Town water and sewer services in Evergreen Street. The construction work in the Town's Evergreen Street right-of way will create a new curb cut which involves a reconstructing portions of the existing stone wall. The applicant will need to go to the Conservation Commission due to the wetland resources on site. There was an email from Fire Chief Lynch which noted that the buildings will be required to have fire sprinkler systems installed. There needs to be enough space at the end of the dead-end road for fire apparatus to turn around. The access road cannot exceed 150 ft. The applicant explained that the stone wall is proposed to be reconstructed. Since Evergreen is a scenic Road, an application for a scenic road work permit for the wall reconstruction has been supplied.

Consultant Carlucci noted that the front setback for the AR-II district is 35 ft. The plan shows a front setback of 33.1' from Evergreen Street for the quad building while the triplex is set back 33.3'. The Multifamily Housing bylaw allows the PEDB to adjust dimensional requirements by a 4/5 vote. A vote would be needed for this plan to be approved as presented with the reduced front setback.

The applicant needs to label the setback lines showing dimensions. The applicant needs to submit a photometric plan for lighting. There is a section within the Site Plan Rules and Regulations which discusses the facades. The applicant communicated that they will be attending a DRC meeting to discuss this. The applicant is not proposing any signs.

Consultant Bouley communicated that the dimensions of the buildings and architectural plans have not been provided. The applicant proposed a 22-foot development roadway which does not meet the minimum 24-foot wide standard.

The hearing was opened to public comments:

Renter at 7 Cottage Street:

This resident is concerned about the parking and congestion in the area. She is a renter and is also concerned that trees will be taken down and she will not have her buffer. She also wanted to know how long the construction will take.

The applicant responded that they will be planting arborvitaes for a buffer. The construction will take from 1-3 years from beginning to end to complete.

Resident, Shelley Pacitto, 19A Evergreen Street:

This resident is concerned about the wetlands and also the drainage.

It was suggested that the resident attend the Conservation Commission meeting as that board will be handling the stormwater review and permit.

Resident, Wallace Long, 19B Evergreen Street:

This resident is concerned about traffic and the choke point in the road.

The applicant was advised the Police Safety Officer will review this area and will suggest mitigation measures if necessary.

Resident, Jessica Grimes, 1 Royal Height Drive:

This resident is concerned about the downspout of stormwater which will come into her backyard and basement.

This resident was advised to go to the upcoming Conservation Commission meeting.

Resident, Kathleen Murray, 17A Evergreen Street:

This resident appreciates that the applicant is revising the plans, but it still appears to be extremely tight.

Resident, Marcy Keith, 3 Cottage Street:

This resident wanted to know what impact this project will have on the Town's water supply. There has been a water ban for years. She also communicated that the water rates have increased more than 62% during the last few years.

The Chairman responded that the DEP mandates and decides how much water the Town is allowed to use. The increase in water rates is to cover the repair and maintenance of the infrastructure of the pipes.

It was indicated that the existing sewer lines will accommodate this flow. The line will be 8 inches.

On a motion made by Rich Di Iulio, and seconded by Matt Hayes, the Board voted unanimously to continue the Evergreen Village public hearing to November 12, 2019 at 7:05 pm.

PUBLIC HEARING CONTINUATION - NEO ORGANICS SPECIAL PERMIT 4 MARC ROAD:

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice dated 8-28-19
- Emails from Jaime Lewis of NeoOrganics requesting a public hearing continuation to 10-8-19.
- Mullins Rule Certification from Matt Hayes for absence from 8-27-19 hearing.
- Revised Site Plan dated 9-19-19 by DGT Engineering
- Revised Floor Plan dated 9-9-19 by Anderson Porter Design
- Photometric Plan dated 9-23-19 by Illuminate
- Additional Waiver Request dated 9-10-19 re: Development Impact Statement
- Revised Site Plan submittal letter dated 9-19-19 from DGT Engineering
- DGT Engineering response letter dated 9-26-19 to previous Tetra Tech review comments
- Tetra Tech review letter dated 9-27-19 on revised site plan
- PGC review letter dated 10-3-19 on revised site plan
- NEO Odor Mitigation Plan by Impact Engineering dated 9-12-19
- NEO Odor Mitigation Plan review comments from Straughan Forensic (Board's consultant) dated 10-2-19
- NeoOrganics Noise Plan – Updated 9-27-19
- Acentech Noise Mitigation Plan letter dated 9-25-19
- NEO Noise Mitigation Plan Review Comments 10-3-19
- NEO Security Plan
- Review letter from Police Chief Tingley dated 10-7-19
- Abutter email from John Lally 10-08.19

The applicant Jaime Lewis was present at hearing along with Andy Carballeira of Acentech, the applicant's noise consultant. The applicant explained that the noise ordinance to be applicable at the source property lines. They have developed a computer model of facility sound using CadnaA and acoustic modeling software that considers 3-dimensional propagation of sound. In conducting testing, the worst case test study was that all equipment, except the generator, will run at all hours at maximum capacity. Table 1 of the Medway Noise Ordinance was discussed. The applicant will be mitigating the noise by placing barriers around the sources along with selecting a generator and enclosure that meets the criteria. The company will do sound studies to confirm it will meet sound levels. Table III of the report shows the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave band provisions of the Medway Noise Regulations. They have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. This will be mitigated with a sound barrier if in exceedance of prescribed levels. It is also possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels.

There will be follow-up with the Conservation Commission informing them that there is nothing from the PEDB which would hold up this permit. The applicant is planning of attending the Conservation Commission on Thursday, October 10, 2019.

The Board would like to have its noise consultant Ron Dempsey at the next hearing.

The applicant did communicate that there is an overall security plan and system which will be in place. This exceeds the requirements set forth by the Cannabis Control Commission by incorporating industry best practices. There was a letter from the Chief of Police indicating that the plan meets the standards set by the Cannabis Control Commission and Department of Public Health.

The applicant indicated that the odor report was submitted by their consultant and they are waiting for the responses from the consultant.

Resident John Lally, 35 Coffee Street was present at the meeting and has a series of questions of the applicant:

- Was any consideration given to locating some of the GRTU-1's on the east side of the building?
- Can data sheets be provided for plans GPCU-1, GPU -2, CU-1, CU-2, DCU, and 2000kVA transformer?
- Is there noise data for the 300kW generator that matches the entries?

The applicant responded that they can provide feedback on Mr. Lally's questions. They did indicate that Ron Dempsey of Noise Control Engineering, LLC noted in his email that the updated plan assumes that the facility will meet the noise limits with the treatments selected.

The focus of the next meeting will be on odor. Susy will begin drafting a decision.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to continue the hearing to November 12, 2019 at 8:00 pm.

PUBLIC BRIEFING - CHOATE TRAIL WAY PRELIMINARY SUBDIVISION PLAN:

The Board is in receipt of the following: **(See Attached)**

- Public Briefing Notice 9-26-19
- Memo to Town Staff 9-26-19
- Choate Trail Way Preliminary Subdivision Application
- Choate Trail Way Preliminary Subdivision – Development Impact Report
- Choate Trail Way Preliminary Subdivision Plan – 8-30-19
- PGC Associates Comments – 10-2-19

The Board has received an application from Lock It Up, LLC for a preliminary subdivision plan for a proposed 4 lot residential subdivision at 42 Highland Street. This is a 5.88 acre parcel located on the north side of Highland Street in the AR1 zoning district. The plan was prepared

by Connorstone Engineering, Inc. The plan shows the division of the subject property into four residential lots, one lot with the existing house at 42 Highland Street and three new house lots with frontage on a new 578' long permanent private road. The applicant indicated that they will be installing septic systems. The stormwater drainage from the roadway will be collected in deep sump hooded catch basins for pretreatment and directed to an infiltration system for recharge and treatment. The drainage will need to be reviewed by the Conservation Commission. There was a suggestion to put the drainage in front and have Lot 4 be smaller.

Consultant Carlucci noted that the sidewalk shown does not extend around the perimeter of the cul-de-sac as required. It was also communicated that the subdivision should provide an extension to abutting undeveloped land. However, the Town of Medway owns the abutting land so a roadway extension is not necessary but a pedestrian pathway to provide access to the High School and through to the Choate Park trail should be considered. Highland Street is a scenic road and it was recommended to use the existing rocks for rebuilding of the wall.

Resident, Lynda Bannon, 38 Highland St.:

This resident is concerned that the large outcropping of rocks which will be moved from blasting could impact her septic system.

The applicant communicated that soil testing was done and they did not hit ledge. There is no guarantee that there will not be blasting. There could be test pits done. It was suggested that the applicant locate the septic for the concerned resident.

It was suggested that the cul-de-sac be bigger. This will be the responsibility of the home owners to maintain. The applicant was made aware that there is a Street Naming Committee to assist with the choosing of the name.

**PUBLIC HEARING CONTINUATION – PROPOSED AMENDMENTS TO
MEDWAY SITE PLAN RULES AND REGULATIONS:**

The Board is in receipt of the following: (See Attached)

- Revised DRAFT dated 10-3-19

The Board discussed the following revisions:

- Many of the “mays” have been changed to “shalls” per the review of member Tom Gay
- Page 13. – Conservation Agent Bridget Graziano suggested language to include identification of “existing” trees with a diameter of “15 inches” and to specify that this applies to all trees, not just hardwoods.
- Page 31 – Development Standards – Member Gay commented that the Board does not need to say “to the greatest extent feasible”. All members are in agreement. It was suggested to remove this language.
- Page 31- Barbara Saint Andre commented that waiver requests for Development Standards should not be required as many of the standards are advisory vs. prescriptive. The Board would like to keep the language as is.

- Page 32: Energy Conservation was revised to include language “other renewable energy systems.
- Page 33: B. Permitted fill materials: Bridget sent the list to Conservation Commission Brian Show to ask if this is a good list. The Board does not want an applicant to use crushed concrete. A suggestion was made to take out the last sentence.
- Page 33: The Board would like to keep this as written with site filling of 2,000 cubic yards requiring submittal of a soil management plan.
- Page 34: Dave D’Amico suggested language about including a grass strip to abut sidewalks where space and design can accommodate such. The Board is not in favor and recommends taking this out.
- Page 35: A new section 207-10 Paving was included.
- Page 40: Stormwater management low impact development. Use the term shall “incorporate” instead of “utilize”.
- Page 41: A suggestion to include language that trash removal is the responsibility of the applicant and not the Town.
- Page 44: It was recommended to preserve trees that are 15 inches or more in diameter.
- Page 44: Conservation Agent Bridget Graziano noted that drought resistant and pest tolerant species may be invasive.
- Page 46: Include language about the removal of soil more than 2,000 yards.
- Page 47: On-Site Field Change – The Board is fine with this language but recommended including something about drainage.
- Page 50: It was suggested to take this out completely and link this to the Zoning Bylaw.
- Page 51: Recommendation to increase the performance security contingency to 30%. Agreed.
- Page 52: It was suggested to have this be its own section. The PEBD does not want to be dependent on the Conservation Commission Certificate of Compliance.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to amend the *Site Plan Rules and Regulations* as discussed.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to close the hearing for *Site Plan Rules and Regulations*.

CONSTRUCTION UPDATES: Consultant Steve Bouley offered the following updates.

Medway Community Church:

The church parking lot was paved without notice. The contractor paved further than what was approved. It now extends to 9 Slocumb. Consultant Bouley will be going to the site tomorrow to address this.

Salmon:

Consultant Bouley continues to be in communication with Salmon representatives and is waiting for information back from Coneco.

50 Alder Street – Milway Auto:

The Board would like the Building Inspector to investigate what is happening at Alder Street with a possible business running without the required permits.

Susy Affleck-Childs asked the Board if they would like to have official town ID's to go on site visits. Board members did not feel this was needed.

**SALMON SENIOR LIVING COMMUNITY – FIELD CHANGE RE:
VERSA LOCK PRODUCT FOR BRIDGE ABUTMENTS:**

The Board is in receipt of the following: **(See Attached)**

- Collection of emails with Salmon project manager Rachel Whitemore, S and Steve Bouley about proposed change in size of Versa Lock block.

Project Manager Rachel Whitemore provided information about a change in the size of the block for the retaining wall which will be 68" x 30" x 42" instead of 18" x 8" x 12" as originally approved. This is just at the bridge abutments and is required for meeting the structural loading.

Consultant Bouley noted that as long as the structural requirements are met and DRC is fine with this, he is also comfortable with this. The Conservation Commission will have to weigh in on the footing being larger due to the size of the blocks.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the field change for Salmon.

FALL TOWN MEETING – ZONING BYLAW AMENDMENTS UPDATED:

The Board is in receipt of the following: **(See Attached)**

- 10-7-19 revised draft of proposed Outdoor Storage amendment. Edits offered by Barbara Saint Andre.

The proposed draft language for Outdoor Storage was reviewed. There was a recommendation to put "Outdoor Storage for outdoor and Industrial Uses" as the first sentence. Susy will make this change for warrant.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the outdoor storage warrant article as amended.

NEXT MEETING:

- Tuesday, October 22, 2019

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:55 pm.

Respectfully Submitted,



Amy Sutherland
Recording Secretary

Reviewed and edited by,



Susan E. Affleck-Childs
Planning and Economic Development Coordinator



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Plan Review Fee Estimates for 20 Broad
Street Multi-Family Special Permit,
Major Site Plan Review and
Groundwater Protection Special Permit**

- PGC Associates estimate dated 10-4-19 for \$1,100
- Tetra Tech estimate dated 9-30-19 for \$6,172

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

October 4, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: 20 BROAD STREET MULTIFAMILY SPECIAL PERMIT/SITE PLAN

Dear Mr. Rodenhiser:

PGC Associates is pleased to present the following cost estimate to review and comment on the proposed multifamily housing special permit and site plan, for two three-unit buildings at 20 Broad Street. The owner/applicant is Village District Development, LLC of Medway.

The proposal is to renovate and existing 3-unit building and add a second 3-unit along with associated parking, drainage, lighting, and landscaping. The plan was prepared by GLM Engineering Consultants, Inc. of Holliston. The plan is dated September 16, 2019.

The property is located at 20 Broad Street in the AR-II, Adaptive Overlay and Multifamily Overlay zoning districts.

<u>Task</u>	<u>Hours</u>
Technical review and comment on initial submittal in relation to zoning and regulations pertaining to multifamily housing special permits and site plans.	3.5
Attendance at Planning Board meetings/hearings	4.0
Review and comment on revised plans	1.5
Review and comment on draft decision	2.0
Total	11.0
TOTAL ESTIMATE (@\$100)	\$1100.00

If there are any questions about this estimate, please call me.

Sincerely,



Gino D. Carlucci, Jr.



September 30, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: 20 Broad Street
Site Plan Review – Multifamily Special Permit
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway Planning and Economic Development Board (PEDB) (the Client) for professional engineering services associated with the 20 Broad Street Multifamily Special Permit Site Plan Review in Medway, Massachusetts (the Project). The objective of our services is to review the site plan package and provide comments as they relate to latest Town of Medway Rules and Regulations Chapter 200 – Submission and Review of Site Plans (Site Plan Regulations), Town of Medway Article 26 – Stormwater Management and Land Disturbance Bylaw (Stormwater Bylaw), Massachusetts Department of Environmental Protection Stormwater Management Standards (MA DEP Stormwater Standards) and associated Stormwater Handbook (Handbook) and sound engineering practice. We have excluded from our scope, the review of the application package as it relates to the Town of Medway Zoning By-Laws which will be conducted by a separate consultant.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 Site Visit

- A. Perform one (1) site visits to review the site and its surroundings.
- Budget Assumption: 1 Visit
2 hours @ \$143/hr = \$286
Total = \$286

Task 2 Design Review

- A. Review the permit Application, and supporting documentation, and incorporate comments into review letter in Item 2.E below.
- Budget Assumption: 0.5 hour @ \$143/hr = \$72
1 hour @ \$97/hr = \$97
Total = \$169
- B. Review the proposed Plans against the Town of Medway PEDB Site Plan Regulations and incorporate comments into review letter in Item 2.E below.
- Budget Assumption: 2 hours @ \$143/hr = \$286
6 hours @ \$97/hr = \$582
Total = \$868

- C. Review the Stormwater Report for compliance with the latest Massachusetts Department of Environmental Protection Stormwater Management Standards, applicable town stormwater standards and good engineering practice and incorporate comments into review letter in Item 2.E below.
- Budget Assumption: 4 hours @ \$143/hr = \$572
4 hours @ \$97/hr = \$388
Total = \$960
- D. Review the Site Plans for compliance with the Town of Medway Stormwater Bylaw and incorporate comments into review letter in Item 2.E below.
- Budget Assumption: 2 hours @ \$143/hr = \$286
4 hours @ \$97/hr = \$388
Total = \$674
- E. Prepare a letter summarizing findings for presentation to the Town of Medway PEDB.
- Budget Assumption: 2 hours @ \$143/hr = \$286
4 hours @ \$97/hr = \$388
Total = \$674
- F. Coordinate with applicant to address items in initial review letter and issue one (1) revised letter upon receipt of modifications. This task is limited to minor changes in the site plans which directly address comments from our initial review letter. Major changes to the Plans and/or Stormwater Report will require additional funds.
- Budget Assumption: 4 hours @ \$143/hr = \$572
4 hours @ \$97/hr = \$388
Total = \$960

Task 3 Meetings

- A. Participate in three (3) hearings/meetings with the Town of Medway PEDB.
- Budget Assumption: 3 Meetings @ 3 hours per meeting = 9 Hours
9 hours @ \$143/hr = \$1,287
Total = \$1,287

Budget

Our cost for the above Scope of Services will be on a time and expenses basis in accordance with Tetra Tech's and existing Town of Medway contract rates. Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visit	\$286
Task 2	Design Review	\$4,305
Task 3	Meetings	\$1,287
	Labor Subtotal	\$5,878
	Expenses (5%)	\$294
	Total	\$6,172

Schedule and Conditions

We recognize that timely performance of these services is an important element of this proposal and will put forth our best effort, consistent with accepted professional practices to complete the work described within the Client's schedule. We are not responsible for delays in performance caused by circumstances beyond our control or that could not have been anticipated or prevented.

To signify your acceptance of this Agreement, please sign and return one copy and the retainer to us along with the attachments. When signed by representatives of both parties, this Proposal will become an agreement between Tetra Tech, Inc. (ENGINEER) and Town of Medway Planning and Economic Development Board (CLIENT). The Agreement is subject to the attached Engineering, Environmental, and Transportation Statement of Terms and Conditions. The price is valid for 60 days from the date of this letter.

We appreciate the opportunity to provide these services, and we look forward to working with you. Please contact us if you have any questions or require additional information.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Sean P. Reardon, P.E.
Vice President

Date Approved by Medway PEDB _____

Certified by:

Susan E. Affleck-Childs
Medway PEDB Coordinator

Date

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October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

CTS Site Plan (9 Trotter Drive)
Certificate of Site Plan Completion

- DRAFT Certificate of Site Plan Completion
- As-built plan dated 9-27-19
- As-built plan sign-off from Tetra Tech dated 9-30-19
- Project completion certification from Walter Lewinski, PR, Engineering Design Consultants
- SAC memo dated 10-2-19 to Jack Mee re: occupancy permit

There are a few more informational details I need to secure to add to the Certification before you sign it – date of occupancy permit, date of Tetra Tech sign off, verification on paid taxes from Treasurer/Collector's office. I expect to have those for you by Tuesday night's meeting.



TOWN OF MEDWAY
Planning and Economic Development Board

Certificate of SITE PLAN Completion

Title of Plan: 9 Trotter Drive Site Plan in Medway, MA
Project Location: 9 Trotter Drive
Assessor's Map/Parcel Numbers: 54-044
Drawn by: Walter Lewinsky, P.E., Engineering Design Consultants, Southborough, MA
Date of Plan: March 26, 2018, last revised August 9, 2018
Date of Site Plan Decision: July 10, 2018
Date of Site Plan Endorsement: August 4, 2018
Permittee's Name: CTS Property Management
Applicant's Address: 9 Trotter Drive, Medway, MA 02053
Date of As-Built Plan: July 11, 2019, last revised September 27, 2019

Project Status

- ☒ Occupancy permit issued by Building Department: **This date to be filled in.**
- ☒ Applicant's Project Engineer's Certification of Completion & Compliance for site plan work and/or stormwater management facilities – 10/2/19 by Walter Lewinski, P.E. Engineering Design Consultants
- ☐ DPS Inspection/sign-off – NA
- ☐ Town Engineer's Sign-off: **This date to be filled in.**
- ☐ Acceptance of required public off-site improvements by BOS and/or DPS – NA
- ☐ Acceptance of required private off-site improvements by PEDB – NA
- ☐ CONCOM Certificate of Compliance, if applicable – NA
- ☒ As-Built Plan submitted – July 24, 2019
- ☒ As-Built Plan reviewed and accepted by Town's engineer: 9/30/19
- ☒ Treasurer's Certification of Taxes Paid – **Forthcoming on 10/6/19**
- ☐ Other: _____

Zoning Enforcement Officer's Certification

The above noted site plan project has been fully and satisfactorily completed in accordance with the Site Plan Decision and all conditions of approval, the endorsed Site Plan, all conditions subsequent to endorsement of the Site Plan due to any amendment, modification or revision of the Site Plan or Decision, and the provisions of the Medway Zoning Bylaw. This certification is conditioned on the maintenance of full compliance with the endorsed Site Plan and the Site Plan Decision including any required planting and landscaping, and the provisions of the Medway Zoning Bylaw. This certification shall be revoked if such compliance should fail.

Inspector of Buildings/Zoning Enforcement Officer

Date

Planning & Economic Development Board Certification

The above noted site plan project has been fully and satisfactorily completed in accordance with the requirements of the Planning Board's *Site Plan Rules and Regulations* applicable to this project, the application submitted for approval of this development, the Site Plan Decision and all conditions of approval, the endorsed Site Plan, all conditions subsequent to approval of the site plan due to any amendment, modification, or revision of the Site Plan or Decision, all of the provisions set forth in any performance guarantee and any amendments thereto and the following additional documents (if any):

(hereinafter "approval instruments").

All existing methods for securing the construction of approved site plan work are hereby released. Specify details of security.

No performance security was provided.

Planning and Economic Development Board Members

Member

Date

Member

Date

Member

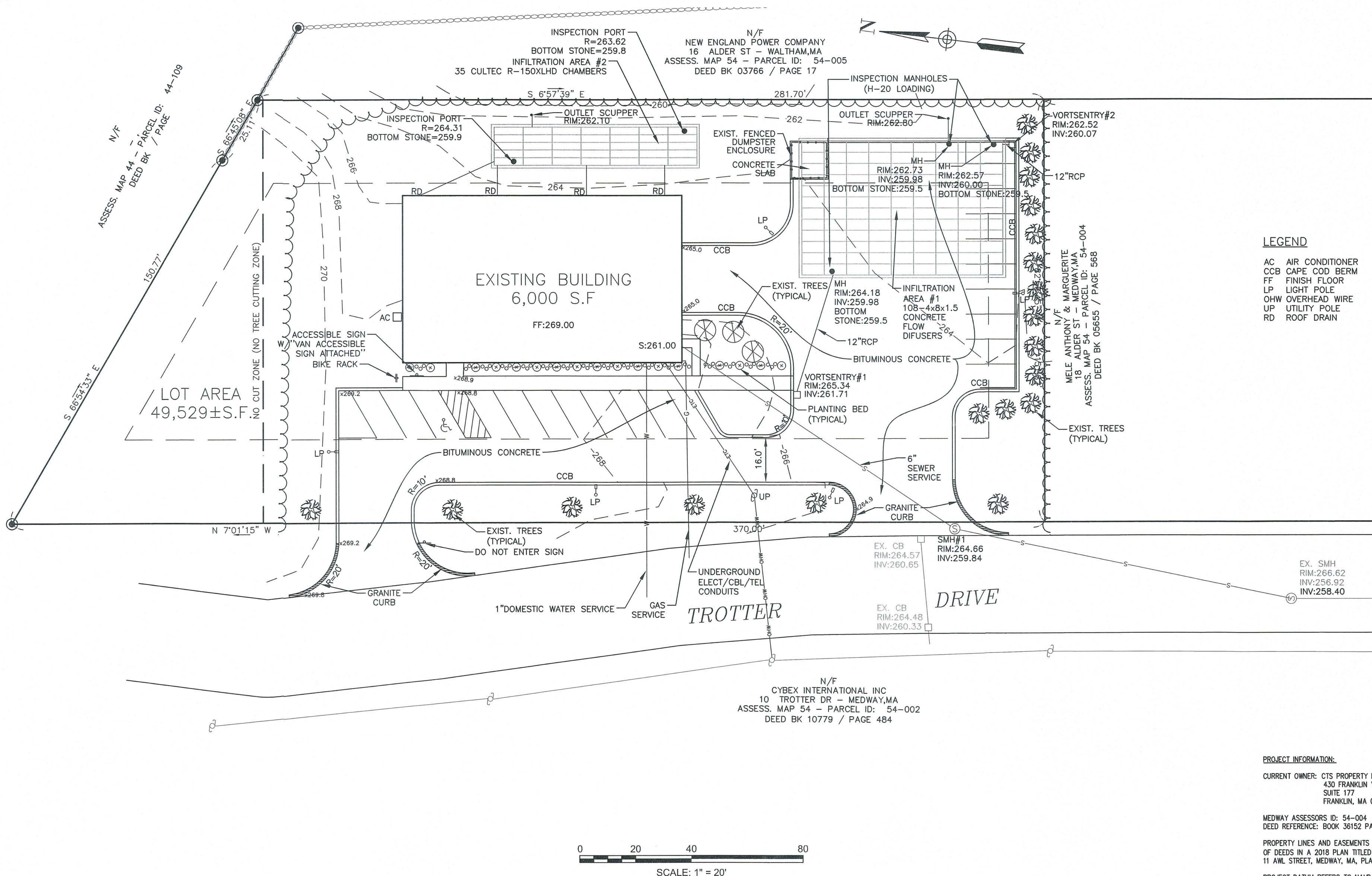
Date

Member

Date

Member

Date



AC AIR CONDITIONER
CCB CAPE COD BERM
FF FINISH FLOOR
LP LIGHT POLE
OHW OVERHEAD WIRE
UP UTILITY POLE
RD ROOF DRAIN

PROJECT DATUM REFERS TO NAVD 88.

FILE NO.: 3583
ASBUILT
DATE: JULY 11, 2019
PLAN NUMBER:
1 OF 1
1

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, September 30, 2019 4:34 PM
To: Peter Bemis
Cc: Susan Affleck-Childs
Subject: RE: 9 Trotter Drive

Hi Susy,

All of our comments have been addressed. Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

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From: Peter Bemis <pbemis@edcma.com>
Sent: Monday, September 30, 2019 10:29 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: 9 Trotter Drive

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Steve – we went back out to 9 Trotter in order to provide the additional site as-built details that you were seeking, attached is updated Site As-built Plan and image of the completed electric trench asphalt repair (we used IR to repair patch), Jack Mee is all set with occupancy and I will be before Planning Board tomorrow night for Marzilli so I am hoping to review a final occupancy signoff by the Board too – thank you for assisting

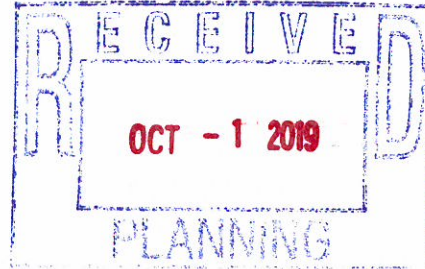
Peter Bemis
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, MA 01772

(508)480-0225 Ext. 11

October 1, 2019

Planning Board
Town Hall
155 Village Street
Medway MA 02053

Reference: Site Plan As-built
9 Trotter Drive
Medway, Massachusetts
EDC Job No.: 3583



Dear Board Members:

On behalf of CTS Property Management, owner and applicant of the above referenced project, we are writing to inform the Board that the site work at 9 Trotter Drive has been constructed in substantial conformance with the approved site plans and site improvements are illustrated on the attached As-built Site Plan. Please issue allow the Medway Building Department to issue the Certificate of Occupancy. Thank you for your consideration and assistance with this project.

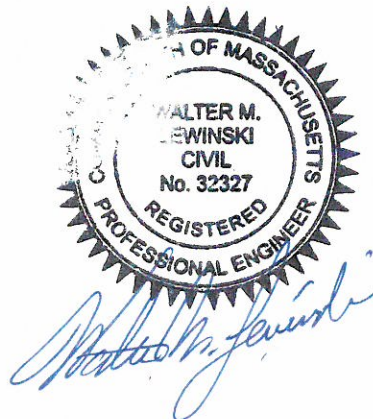
Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.

Walter M. Lewinski

Peter Bemis

cc. CTS Property Management



Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, October 02, 2019 1:17 PM
To: Jack Mee
Cc: 'Steve Fisk'; 'Peter Bemis'
Subject: CTS, 9 Trotter Drive

Hi Jack,

At its October 1, 2019 meeting, the Planning and Economic Development Board discussed project completion for the CTS site at 9 Trotter Drive. The Board voted to authorize the Building Department to issue a full occupancy permit for the building at 9 Trotter Drive.

I expect the Board will sign a Certificate of Site Plan Completion at its next meeting on October 8th.

Please let me know if you have any questions.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Merrimack Building Supply, 20 Trotter
Drive – Project Completion and
Performance Security**

Merrimack Building Supply is seeking an occupancy permit for its addition at 20 Trotter Drive. The project is almost complete.

- Series of emails
- Inspection report/punch list from Tetra Tech dated October 4, 2019
- Bond estimate from Tetra Tech dated October 4, 2019 in the amount of \$16,250.
- Excerpt from Merrimack site plan decision re: project completion and performance security
- Performance Security Agreement. This has been forwarded to Merrimack owner Bill Donegan for signature and payment.

Preparation of the as-built plan is in process by project engineer Guerriere and Halnon. Engineer Bob Poxon expects them to be completed during the week of October 7th.

Susan Affleck-Childs

From: Bill Donegan <bdonegan@merrimackbuildingsupply.com>
Sent: Wednesday, October 02, 2019 2:19 PM
To: Susan Affleck-Childs
Cc: Jason Worthington; Ryan Donegan
Subject: RE: Merrimack - 20 Trotter Drive

Hi,

Yes Guerriere and Halnon are doing the required as-built and will let you know the timetable.

Bill Donegan



PO Box 865
Merrimack, NH 03054
P:603-424-7001
F:603-424-3541
bdonegan@merrimackbuildingsupply.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Wednesday, October 02, 2019 11:06 AM
To: Bill Donegan <bdonegan@merrimackbuildingsupply.com>
Subject: RE: Merrimack - 20 Trotter Drive

Hi,

Is Guerriere and Halnon working on the as-built plan for all the site improvements? What is their timetable for completion of that?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Susan Affleck-Childs
Sent: Wednesday, October 02, 2019 8:40 AM
To: 'Bill Donegan'
Cc: 'Peter Bemis'; Jack Mee ; Bridget Graziano
Subject: FW: Merrimack - 20 Trotter Drive

Good morning,

Attached is an inspection report/punch list and bond estimate for Merrimack. The recommended amount of performance security is \$19,125.

I can schedule this for the Board to review at its meeting on October 8th but it will not be until 8:45 pm or so. This would also be a discussion on authorizing an occupancy permit.

We need to work out how you will provide the performance security. There are 3 options - funds to place in a separate account with a local bank, a designated portion of your construction loan, or an insurance bond. Please give me a call to discuss. The first is the most straight forward.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Picard, Brad [<mailto:Brad.Picard@tetrattech.com>]

Sent: Tuesday, October 01, 2019 12:04 PM

To: Susan Affleck-Childs

Subject: RE: Merrimack - 20 Trotter Drive

Hi Suzy,

Please see attached the Punch List and Bond Estimate for Merrimack Building Supply. Feel free to reach out with any questions, thanks.

Brad

Bradley M. Picard, EIT | Civil Engineer

Direct +1 (508) 786-2346 | Business +1 (508) 786-2200 | Mobile +1 (508) 631-4474 | Fax +1 (508) 786-2201 | brad.picard@tetrattech.com

Tetra Tech, Inc. | Complex World, Clear Solutions™ | INE
100 Nickerson Road, Marlborough, MA 01752 | tetrattech.com

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Please consider the environment before printing. [Read more](#)



From: Susan Affleck-Childs <sachilds@townofmedway.org>

Sent: Tuesday, October 1, 2019 11:21 AM

To: Bouley, Steven <Steven.Bouley@tetrattech.com>

Cc: Picard, Brad <Brad.Picard@tetrattech.com>

Subject: Merrimack - 20 Trotter Drive

⚠ **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi,

Do you have your inspection report/punch list from your site visit last week?

Please forward to me asap. Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven M. Bouley, P.E. – Tetra Tech
Bradley M. Picard, E.I.T. – Tetra Tech



Date: October 4, 2019

Subject: Merrimack Building Supply Punch List

On September 26, 2019 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT) conducted a punch list inspection of the Merrimack Building Supply site plan project in Medway, MA. The site was inspected, and a punch list and bond estimate generated of outstanding items which have not yet been completed or are deficient in quality.

On October 2, 2019 at the request of the Applicant and the contractor, Tetra Tech (TT) visited the site to observe work that had been completed since our previous inspection. Information included in our previous memo has been shown in gray. Text shown with a ~~gray-strike~~ represents items that have been completed, while outstanding items remain in black text.

The inspection was conducted using the following documents:

- A plan (Plans) set titled "Merrimack Building Supply, Site Plan for 20 Trotter Drive in Medway, Massachusetts", dated March 10, 2017, revised December 11, 2017, prepared by Guerrier & Halnon, Inc.
- A Special Permit Decision titled "Major Site Plan Review and Groundwater Protection District Special Permit Decision, Merrimack Building Supply – 20 Trotter Drive Ellen Realty, Approved with Waivers and Conditions" dated July 11, 2017.

Missing Items

1. Downspouts and gutters on the existing shed and metal frame garage. (Photo #1 - #2)
2. ~~Oil hoods in catch basins.~~
3. Erosion Controls shall be removed upon final stabilization of the site.
4. As-built Plans.

Deficiencies

5. Stabilize/repair slope of infiltration basin at locations where erosion has taken place. Mowing of basin is required as well. (Photo #3 - #4)
6. ~~Repair check dams within the swale upstream of the infiltration basin (Photo #5)~~
7. Repair damaged top course by the southwest corner of the metal frame garage (Photo #6)

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-17004 (MERRIMACK BLD SUPPLY)\CONSTRUCTION\PUNCH LIST\MEMO_MERRIMACK PUNCH LIST_2019-10-04.DOC

**TETRA TECH**

Bond Estimate
Merrimack Building Supply
Medway, Massachusetts
October 4, 2019

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
Mobilization	1	LS	\$2,000.00	\$2,000
Basin/Swale Maintenance	1	LS	\$500.00	\$500
Repair Top Course	1	LS	\$500.00	\$500
Oil Hoods	0	EA	\$450.00	\$0
Gutter/Downspout Installation	1	LS	\$2,000.00	\$2,000
As-Built Plans	1	LS	\$5,000.00	\$5,000
Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal				\$13,000
25% Contingency				\$3,250
Total				\$16,250

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 10/2018 - 10/2019. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²Lines shown highlighted in gray represent items that have changed since our previous estimate.

construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

H. ***Modification of Plan and/or Decision***

1. This site plan and special permit approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from the approved site plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

I. ***Compliance with Plan and Decision***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

J. ***Performance Security***

1. No occupancy permit for the planned addition shall be granted until the Planning and Economic Development Board has provided a written communication to the Inspector of Buildings/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security/performance guarantee has been provided to the Town of Medway, to

the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.

2. The applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board may require that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
 - a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.
5. Final release of performance security is contingent on project completion.

K. *Project Completion*

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, hearing and decision.

2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

L. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

M. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

###



Town of Medway Planning and Economic Development Board

Agreement for Deposit of Money to Secure Performance

This performance Agreement is entered into this 8th day of October, 2019, between the Town of Medway, acting through its Planning and Economic Development Board, with an address of 155 Village Street, Medway, MA 02053 (hereinafter referred to as “the Board”), and Merrimack Building Supply (hereinafter referred to as (“the Permittee”) with a usual place of business and address of 20 Trotter Drive in Medway, MA to secure the completion of site improvements as shown on an approved site plan described below.

WHEREAS, on July 11, 2017, after a duly noticed public hearing, the Board issued a Site Plan Decision (see Appendix A) to the Permittee for a site plan which is entitled *Merrimack Building Supply Site Plan of Land for 20 Trotter Drive* for the site located at 20 Trotter Drive in Medway, MA, prepared by Guerriere and Halnon of Milford, MA dated March 14, 2017, last revised December 11, 2017, (hereinafter referred to as “the Site Plan”) and endorsed its approval on said plan on December 12, 2017; and

WHEREAS, the Board’s Site Plan Decision requires the Permittee to provide performance security if an occupancy permit is sought before all approved site improvements are completed; and

WHEREAS, the Permittee has decided to secure the completion of site improvements by means of providing a sum of \$16,250 dollars, said amount based on the estimate provided by Tetra Tech, the Town’s Consulting Engineer (see Appendix B) and approved by the Board on October 8, 2019;

NOW, THEREFORE, the parties agree as follows:

1. The Permittee hereby binds and obligates themselves, their executors, administrators, devisees, heirs, successors and assigns to the Board in the sum of \$16,250, and has secured this obligation by depositing with the Town of Medway Treasurer a deposit of money in the above sum to be deposited in an escrow account in the name of the Town of Medway. The deposit of money to be used to secure the performance by the Permittee of all conditions, agreements, terms and provisions contained in the Board’s Site Plan Decision dated; all conditions subsequent to approval of the site plan due to an amendment, modification or revision to the Site Plan; all of the provisions set forth in this Agreement and any amendments thereto; and the following additional documents: _____ (hereinafter the “Approval Documents”).

2. The Site Plan Decision requires the Permittee to complete the construction and installation of site improvements no later than two years from the date of endorsement of the Site Plan. The Site Plan was endorsed on December 12, 2017. Therefore, the required completion date is December 12, 2019.

3. Upon completion of all obligations as specified herein and as may be included in the Site Plan Decision, on or before the required completion date, or such later date as may be specified by vote of the Board with the concurrence of the Permittee, the Board shall release the Permittee from this Agreement.

4. In the event the Permittee should fail to complete the site improvements as specified in the approved Site Plan and within the time herein specified, the Board may apply the bond held by the Treasurer of the Town of Medway, in whole or in part, for the benefit of the Town of Medway to the extent of the reasonable costs to the Town of Medway to complete the construction of site improvements as provided in this Agreement. Any portion of the performance security that is not applied as set forth above, shall be returned to the Permittee upon completion of the site improvements by the Town of Medway

5. The Board may rescind its approval of the Site Plan for breach of any provision of this Agreement or any amendments thereof.

6. The Board, at its discretion, may grant an extension of time and/or reduce the penal amount of the bond and notify the Permittee and the Treasurer of the Town of Medway of any authorized adjustment.

7. The Permittee and the Board agree and understand that the Board will not release the funds in full until the site improvements have been deemed by the Board to be constructed and installed in accordance with the approved Site Plan and this Agreement. This Agreement does not expire until the Board releases the funds in full.

8. Failure to complete the site improvements by the required completion date shall result in automatic rescission of approval of the Site Plan.

9. If a court of competent jurisdiction determines that any provision of this Agreement is unenforceable, such determination shall not affect the remaining provisions, which shall remain in full force and effect.

IN WITNESS WHEREOF we have hereunto set our hands and seals this 8th day of October, 2019.

TOWN OF MEDWAY
PLANNING AND ECONOMIC DEVELOPMENT BOARD

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this _____ day of _____, 2019, before me, the undersigned
notary public, personally appeared the following members of the Medway Planning
and Economic Development Board, _____

proved to me through satisfactory evidence of identification, which was (personal
knowledge) (Massachusetts driver's license), to be the persons whose names are
signed on the preceding document, and acknowledged to me that it was signed
voluntarily for its stated purpose.

Notary Public
My commission expires: _____

PERMITTEE/OWNER/DEVELOPER

By: _____

Title/Position: _____

Organization: _____

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this ____ day of _____, 2019, before me, the undersigned notary public, personally appeared the above-named _____, Permittee or person duly authorized to execute this Agreement on behalf of the Permittee, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose.

Notary Public

My commission expires: _____

.....
APPENDIX

A. SITE PLAN DECISION

B. SITE IMPROVEMENTS COMPLETION COST ESTIMATE



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Evergreen Village Multi-Family Housing
Special Permit, Site Plan Review and
Scenic Road Work Permit**

UPDATED

- Public Hearing Notice 9-17-19
- Memo to Town Staff requesting comments 9-19-19
- Email from Chief Jeff Lynch 10-2-19
- Evergreen Village Multifamily Special Permit Application 9-4-19
- Evergreen Village Scenic Road Application
- Evergreen Village Site Plan Waiver Requests
- Evergreen Village Site Plan Set 9-5-19
- Evergreen Village Site Plan Application 9-16-19
- PGC Associates review comments 10-3-19
- **Tetra Tech review comments 10-7-19**



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

September 17, 2019

PUBLIC HEARING NOTICE
Evergreen Village – 22 Evergreen Street
Application for Multifamily Housing Special Permit, Site Plan Approval, and a
Scenic Road Work Permit

Pursuant to the *Medway Zoning Bylaw*, SECTION 5.6.4 Multifamily Housing and SECTION 3.5 Site Plan Review, the provisions of Massachusetts General Laws, Chapter 40A (the Zoning Act) Sections 9 & 11, the provisions of Massachusetts General Laws, Chapter 40, Section 15C (*the Scenic Roads Act*) and the Town of Medway Planning Board *Rules and Regulations for the Review and Issuance of Scenic Road Work Permits* and the Board's *Site Plan Rules and Regulations*, notice is given that the ***Medway Planning and Economic Development Board will conduct a Public Hearing on Tuesday, October 8, 2019 at 7:05 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA***, to consider the applications of Sampson Pond LLC of Medway, MA for approval of a Multifamily Housing Special Permit, a site plan entitled *Evergreen Village*, dated September 5, 2019 prepared by Ronald Tiberi, P.E. of Natick MA, and a Scenic Road work permit. The Sanford Hall meeting room is accessible via elevator to persons with physical disabilities.

The applicant proposes to construct a 7 unit, townhouse condominium development at 22 Evergreen Street, a Medway Scenic Road, in the Agricultural/Residential II zoning district. The 1.44 acre site (*Medway Assessors Map 46, Parcel 51*) is presently owned by John and Cynthia Shea of Carver, MA. The property is bounded on the east by property owned by Reardon Cottage Street Limited Partnership, on the west by property owned by Richard and Elisabeth Kantor, and on the south by property owned by John and Jessica Grimes.

The proposed development will include construction of one 4-unit townhouse building and one 3-unit townhouse building. One affordable dwelling unit will be included within the development. Access will be from a single curb cut from Evergreen Street. A total of 14, off-street parking spaces will be provided. Sub-surface stormwater management facilities will be

*Evergreen Village
Public Hearing Notice*

installed on site as will landscaping, lighting, and a gardening area. Connections will be made to the existing Town sewer and water services in Evergreen Street. Construction work in the Town's Evergreen Street right-of way to create the new curb cut involves reconstructing portions of the existing stone wall to accommodate the creation of a single curb cut. The site also includes wetland resources under the jurisdiction of the Conservation Commission.

The applications and site plan for the proposed Evergreen Village townhouse development are on file with the Medway Town Clerk at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected Monday through Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans are also available for review at the Medway Community and Economic Development office at 155 Village Street and have been posted to the Town's web site at <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

Any person or party who is interested or wishes to be heard on this proposal is invited to review the plan and express their views at the designated date, time and place. Written comments are encouraged and may be forwarded to the Medway Planning and Economic Development Board at 155 Village Street, Medway, MA 02053 or emailed to the Board at: planningboard@townofmedway.org. All comments will be entered into the record during the public hearing.

Please direct any questions regarding this application to the office of the Medway Planning and Economic Development Board at 508-533-3291.

Andy Rodenhiser
Chairman

To be advertised in the *Milford Daily News*:
Monday, September 23, 2019
Tuesday, October 1, 2019

cc: *Planning Boards* - Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen, Board of Assessors, Board of Health, Building Commissioner/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Energy Committee, Fire Department, Historical Commission, Police Department, Public Works Department, Town Administrator.

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, September 19, 2019 2:54 PM
To: Alison Slack ; Allen Tingley ; Allison Potter; Andy Rodenhiser ; Ann Sherry ; Armand Pires; Barbara Saint Andre; Barry Smith; Beth Hallal; Board of Selectmen; Bob Ferrari; Bridget Graziano; David Damico; David Travalini ; Design Review Committee; Don Aicardi; Donna Greenwood; Doug Havens; Erika Robertson; Fran Hutton Lee; Gino Carlucci; Jack Mee; 'Jeanne Johnson'; Jeff Lynch; Jeff Watson; Jim Wickis ; Joanne Russo; Judi LaPan; Keith Peden; Liz Langley; Liz Taglieri ; Mark Cerel ; Matthew Buckley; Michael Boynton; Paul Yorkis; Peter Pelletier; Sandy Johnston; Shelley Wieler; Stefany Ohannesian; Stephanie Carlisle; Steve Bouley ; Sue Rorke; Tina Wright ; Zoning Board
Subject: Evergreen Village Multi-Family Development - 22 Evergreen Street - NEW APPLICATION

Hi,

The Planning and Economic Development Board has received a second series of applications from Sampson Pond LLC (Maria Varicchione) for a multifamily special permit, site plan approval, and a scenic road work permit for a proposed 7 unit, townhouse condominium development at 22 Evergreen Street. The previous applications had pertained to a 12 unit development.

The PEDB's public hearing on the new applications will begin on October 8, 2019 at 7:05 p.m. and will be held in Sanford Hall at Town Hall.

The various applications, project description, site plan, and stormwater report are available for viewing at <https://www.townofmedway.org/planning-economic-development-board/pages/evergreen-village-condominium-development-22-evergreen>. I have extra sets of the site plan in my office and would be glad to provide one to you.

Please review the site plan and provide any comments to me by October 2nd so they can be supplied to the Board, included in the public hearing record, and shared with the project engineers to make any needed plan revisions. Even if you commented on the previous application, this is a new project and we need your review.

The Board's consulting engineer and consulting planner are reviewing the plans and will also provide comments to the Board.

The site includes wetland resources under the jurisdiction of the Conservation Commission. The applicant will be filing a Notice of Intent and Land Disturbance Permit application with ConCom soon.

Thanks for your help and please let me know if you have any questions.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

Susan Affleck-Childs

From: Jeff Lynch
Sent: Wednesday, October 02, 2019 3:47 PM
To: Susan Affleck-Childs
Cc: Mike Fasolino
Subject: RE: Evergreen Village Multi-Family Development - 22 Evergreen Street - NEW APPLICATION

Susy, I have reviewed the site plan for this location. As we spoke about, per the Massachusetts Fire Safety Code the buildings will be required to have fire sprinkler systems installed. Additionally, due to the length of the dead-end road a way to turn fire apparatus around is required.

527CMR1-18.2.3.4.4 Dead Ends.

Dead-end fire department access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

If you have any questions please let me know. Thanks. Chief Lynch

From: Susan Affleck-Childs
Sent: Thursday, September 19, 2019 2:54 PM
To: Alison Slack <slack_alison@hotmail.com>; Chief Tingley <amtingley@medwaypolice.com>; Allison Potter <apotter@townofmedway.org>; Andy Rodenhiser <andy@rodenhiser.com>; Ann Sherry <asherry@charlesriverbank.com>; Armand Pires <apires@medwayschools.org>; Barbara Saint Andre <bsaintandre@townofmedway.org>; Barry Smith <bsmith@townofmedway.org>; Beth Hallal <bhallal@townofmedway.org>; Board of Selectmen <bos@townofmedway.org>; Bob Ferrari <pbferrari@earthlink.net>; Bridget Graziano <bgraziano@townofmedway.org>; David Damico <ddamico@townofmedway.org>; David Travalini <dtravalini@verizon.net>; Design Review Committee <drc@townofmedway.org>; Donald Aicardi <dAicardi@medwayschools.org>; Donna Greenwood <dgreenwood@townofmedway.org>; Doug Havens <dhavens@townofmedway.org>; Erika Robertson <erobertson@townofmedway.org>; Fran Hutton Lee <fhuttonlee@townofmedway.org>; Gino Carlucci <gino@pgcassociates.com>; Jack Mee <jmee@townofmedway.org>; Jeanne Johnson <j22johnson2001@yahoo.com>; Jeff Lynch <ChiefLynch@townofmedway.org>; Jeff Watson <watson@medwaypolice.com>; Jim Wickis <jbwickis@verizon.net>; Joanne Russo <jrusso@townofmedway.org>; Judi LaPan <jlaPan@townofmedway.org>; Keith Peden <keith.j.peden@gmail.com>; Liz Langley <llangley@townofmedway.org>; Liz Taglieri <ltaglieri@charlesriverpcd.org>; Mark Cerel <mcerel@franklin.ma.us>; Matt Buckley <matt_buckley2@yahoo.com>; Michael Boynton <mboynton@townofmedway.org>; Paul Yorkis <pgyorkis@gmail.com>; Peter Pelletier <ppelletier@townofmedway.org>; Sandy Johnston <sjohnston@townofmedway.org>; Shelley Wieler <shelleywieler@gmail.com>; Stefany Ohannesian <sohannesian@townofmedway.org>; Stephanie Carlisle <scarlisle@townofmedway.org>; Steve Bouley <steven.bouley@tetrattech.com>; Sue Rorke <srork00@gmail.com>; Tina Wright <Tina.Wright@tbrassociates.com>; Zoning Board <zoning@townofmedway.org>
Subject: Evergreen Village Multi-Family Development - 22 Evergreen Street - NEW APPLICATION

Hi,

The Planning and Economic Development Board has received a second series of applications from Sampson Pond LLC (Maria Varicchione) for a multifamily special permit, site plan approval, and a scenic road work permit for a proposed 7

unit, townhouse condominium development at 22 Evergreen Street. The previous applications had pertained to a 12 unit development.

The PEDB's public hearing on the new applications will begin on October 8, 2019 at 7:05 p.m. and will be held in Sanford Hall at Town Hall.

The various applications, project description, site plan, and stormwater report are available for viewing at <https://www.townofmedway.org/planning-economic-development-board/pages/evergreen-village-condominium-development-22-evergreen>. I have extra sets of the site plan in my office and would be glad to provide one to you.

Please review the site plan and provide any comments to me by October 2nd so they can be supplied to the Board, included in the public hearing record, and shared with the project engineers to make any needed plan revisions. Even if you commented on the previous application, this is a new project and we need your review.

The Board's consulting engineer and consulting planner are reviewing the plans and will also provide comments to the Board.

The site includes wetland resources under the jurisdiction of the Conservation Commission. The applicant will be filing a Notice of Intent and Land Disturbance Permit application with ConCom soon.

Thanks for your help and please let me know if you have any questions.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



**Planning & Economic Development Board
Town of Medway, MA**

MULTIFAMILY HOUSING SPECIAL PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to Section 5.6.4 of the *Medway Zoning Bylaw*. The provisions of Section 8.6 Affordable Housing may also apply depending on the scope of the proposal.

The Town's planning and engineering consultants will review the Application and the proposed Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the special permit application.

Sept 4, 2019

APPLICANT INFORMATION

Applicant's Name: Sampson Pond LLC

Mailing Address: P.O. Box 5

Medway MA 02053

Name of Primary Contact: Maria Varrichione

Telephone: Office: _____ Cell: 508-561-6098

Email address: DreamHomesMV@gmail.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROJECT INFORMATION

Development Name: Evergreen Village

Project Address: 22 Evergreen St

Plan Title: Evergreen Village

Plan Date: 9/1/19

Plan prepared by: _____

Name: Roman Tigari PE

Firm: " " "

Type of Project:

____ Renovation of Existing Structure(s)

How many buildings? _____

Building Dimensions _____

Gross Square Footage of Existing Structure _____

How many residential units presently exist? _____

How many additional residential units are proposed? _____

How many affordable units? _____

____ Construction of an addition to an Existing Structure

Addition Dimensions _____

Gross Square Footage of Addition _____

How many new residential units are proposed? _____

How many affordable units? _____

☒ Construction of a New Building(s)

How many buildings? 2

Dimensions of New Building(s) 114' x 42', 149' x 42'

Gross Square Footage of New Building(s) 10305 SF

How many new residential units are proposed? 7

How many affordable units? 1

☒ Demolition of any structures on the site? If yes, please explain. COMPLETED AUGUST 2019

How many parking spaces presently exist? 4

How many new parking spaces are proposed? 14

What is the existing amount of impervious surface (buildings and paved area) on the property?
1800 SF

How much additional impervious surface is planned? Approx 18000 SF

Please note that a Stormwater Management and Land Disturbance Permit pursuant to Medway General Bylaws Section 26 may also be needed depending on the scope of the proposed project and the amount of planned land disturbance.

PROPERTY INFORMATION

The subject property is shown on the plan as Medway Assessor's Map # 48, Parcel # 51

Total Acreage of Land Area: 62534 SF

General Description of Property: Residential land, sloping from front to rear. Cleared & landscaped

Current Use of Property: Residential

Medway Zoning District Classification: AR-II Residential II

Length of Existing Frontage: 171'± On what street? Evergreen St

Setbacks for Existing Structure (if applicable)

Front: 24'±

Back: 265'±

Side: 54'±

Side: 55'±

Is this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Is the existing structure on this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Has this property received any previous variances or special permits? Yes ☒ No ☐
If so, please provide a copy of each decision with this application.

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

☒ Yes ☐ No If yes, please name street: Evergreen

Historic District

Is any portion of this property located within a Medway National Register Historic District?

☐ Yes - Rabbit Hill ☐ Yes - Medway Village ☒ No

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☒ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

Access to Town Water and Sewer

Is Town water and sewer available in the street on which the proposed project has its frontage? ☒ Yes ☐ No

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: John T Shea III & Cynthia Shea

Mailing Address: 9 Pine Ridge Way
Carver MA 02330

Primary Contact: Cyndy Shea

Telephone: Office: 508-465-1987 Cell: 508-498-6291

Email address: CyndySheaMedway@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Murray W Heisler to John T + Cynthia A Shea
dated Nov 9, 1989 and recorded in Norfolk County Registry of Deeds,
Book 4482 Page 89 or Land Court Certificate of Title Number —
Land Court Case Number —, registered in the Norfolk County Land Registry District
Volume —, Page —.

CONSULTANT INFORMATION

ENGINEER: Ronnie Tiberi P.E.

Mailing Address: 9 Mass Ave
Natick MA 01760

Primary Contact: Rob Tibbels

Telephone:
Office: 508-561-5077 Cell: 617-592-6122

Email address: RTIB@LWCAST.NET

Registered P.E. License #: 34773

SURVEYOR: Cheney Engineering

Mailing Address: 53 Mellen St
Needham MA 0394

Primary Contact: Alexi Wray

Telephone:
Office: 781-441-2188 Cell: 617-797-3132

Email Address: arch.mpr@cheney-eng.com

Registered P.L.S. License #: 33953

ARCHITECT: Daniel Lewis AIA

Mailing Address: 312 Whitney St
Northborough MA 01532

Primary Contact: Daniel Lewis

Telephone:
Office: 508-612-8771 Cell: _____

Email address: dlewis@cheney.net

Registered Architect License #: 6046

LANDSCAPE ARCHITECT/DESIGNER: WDA Design Group

Mailing Address: 31 East Main St
Westborough MA 01581

Primary Contact: Larry Greene

Telephone:
Office: 508-366-6552 Cell: _____

Email address: l.greene@wda-dg.com

Registered Landscape Architect License #: # 1501

ATTORNEY: William Pezzoni

Mailing Address: Day Pitney, LLP
P.O. Box 416234

Primary Contact: Boston, MA 02241-6234

Telephone:
Office: Bill Pezzoni Cell: 508-733-1576

Email address: WPEZZONI@DAYPITNEY.COM

OFFICIAL REPRESENTATIVE INFORMATION (if applicable)

Name: _____
Address: _____

Telephone: _____
Office: _____ Cell: _____
Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Multifamily Housing Special Permit herewith submits this application and Plan to the Medway Planning and Economic Development Board for review and approval.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

I have reviewed Section 5.6.4 Multifamily Housing and Section 8.6 Affordable Housing of the *Medway Zoning Bylaw* and understand and agree to the requirements and responsibilities specified therein.

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and Open Space Committee to access the site during the plan review process.

I understand that pursuant to M.G.L. 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

John T. Shea, Cynthia Shea
Signature of Property Owner

8-26-19
Date

Shana Karmachione, Mps.
Signature of Applicant (if other than Property Owner)

9-3-19
Date

Signature of Agent/Official Representative

Date

MEDWAY SCENIC ROAD WORK PERMIT APPLICATION – Part 1

Medway Planning and Economic Development Board
155 Village Street, Medway, MA 02053 508-533-3291

This application for a Scenic Road Work Permit is made pursuant to the Planning Board's Rules and Regulations for Review and Issuance of Scenic Road Work Permits (adopted July 16, 2002). Please refer to the Rules and Regulations for specific definitions of all italicized words included in this application.

Date: Sept, 2019

1. Applicant/Location Information:

Location/Address on Scenic Road: 22 Evergreen St
Name of Applicant: Simpson Road LLC
Primary Contact: Maria Varrichione
Mailing Address: PO Box 5 Medway MA 02053
Telephone: 508-561-6048 Email address: DreamhousesMLK@gmail.com

2. Describe the repair, maintenance, paving or reconstruction work you wish to do in the Town's right-of-way on the Scenic Road: Removal of 2 curb cuts, including reconstruction of stone wall. Creating one single curb cut.

3A. Is there a stone wall(s) in the Town's right-of-way of the Scenic Road where you propose to repair, maintain, reconstruct or pave? **You must contact the Medway Department of Public Services (DPS) at Town Hall, 155 Village Street, 508-533-3275 to answer this question. A representative of the DPS must visit the site to answer Questions 3A and 3B and sign below.**

☒ YES - If YES, please answer 3B

☐ NO - If NO, skip 3B and go to 4A

[Signature]
Signature of Medway DPS Representative

9/3/19
Date

3B. If you answered YES to 3A, does the proposed work to repair, maintain, reconstruct or pave in the Town's right-of-way of a Scenic Road involve the tearing down or destruction of a stone wall or any portion thereof? ☒ YES ☐ NO

4A. Are there any tree(s) located within the Town's right-of-way of the Scenic Road? **You must contact the Medway Tree Warden Fred Sibley to answer this question. Leave a message for him at 508-533-3275. The Tree Warden must visit the site to answer Questions 4A and 4B and sign below.**

☐ YES - If YES, please answer 4B

☒ NO - If NO, skip 4B and go to 5

[Signature]
Signature of Medway Tree Warden

9/3/2019
Date

4B. If you answered YES to 4A, does the proposed work to repair, maintain, reconstruct or pave in the Town's right-of-way of a Medway Scenic Road involve the cutting or removal of a tree(s)?

☐ YES ☐ NO

5A. If question 3B OR 4B was answered YES, a Scenic Road public hearing and Work Permit are required. You must complete the remainder of this application. Go to Part 2 on the next page.

5B. If both questions 3B AND 4B were answered NO, a Scenic Road public hearing and Work Permit are NOT required and you do NOT need to complete the rest of this application. Please sign below and file this application with the Medway Planning and Economic Development office. No further action is needed on your part.

[Signature]
Signature of Applicant

8/26/2019
Date

road. If my project involves a tree(s), I understand the Tree Warden will post a notice directly on the tree(s) at least seven (7) days before the public hearing. I will abide by the decision of the Medway Planning Board regarding restoration and/or compensatory measures as described in the Rules and Regulations. I understand that I may be fined if I violate these Rules and Regulations.

Pharis Krichorian, Manager
Signature of Applicant

8/26/2019
Date

Revised August 6, 2015

MEDWAY SCENIC ROAD WORK PERMIT APPLICATION – Part 2

Medway Planning and Economic Development Board
155 Village Street, Medway, MA 02053 508-533-3291

If you answered YES to Question 3B or 4B, a Scenic Road Public Hearing and Work Permit are required. Please complete the rest of this application. Prepare the following items as attachments. Sign below and file this application with all required supplemental materials to the Medway Planning Board, 155 Village Street, Medway, MA 02053. Submit the original application and 8 copies of each item A – E noted below.

☒ A) Written description and plans/drawings showing the location of the proposed disturbance area (where work is proposed involving the cutting or removal of trees or the tearing down or destruction of stone walls), the location of trees and stone walls, and the boundaries of the Town's right-of-way.

☒ B) Written statement explaining the purpose and need to cut or remove tree(s) or tear down or destroy stone walls, or portions thereof. - Replacement of wall @ work cut see plans attached

☐ C) Written statement outlining alternatives, proposed compensatory actions (such as the planting of replacement trees or the reconstruction of stone walls) and mitigation measures (payment in lieu of new tree planting) to the proposed cutting or removal of tree(s) or the tearing down or destruction of stone walls.

☒ D) Photographs of all stone walls and trees within and adjacent to the proposed disturbance area.

☐ E) Any other explanatory material that you believe may be useful to the Planning Board in evaluating your project.

☒ F) A list of abutters, certified by the Board of Assessors. (For purposes of Scenic Roads, abutters are defined as owners of land immediately adjacent to and directly opposite from the proposed disturbance area land on any public or private street or way.)

☒ G) Scenic Road Permit Application Fee - \$150.00 plus \$25 per tree to be removed if the project involves a tree(s) and \$150 if the project involves a stone wall(s); (Please make check payable to the Town of Medway.)

I hereby submit this application for a Scenic Road Work Permit to the Medway Planning Board. I acknowledge that I have read the Rules and Regulations for Review and Issuance of Scenic Road Work Permits (adopted July 16, 2002). I understand that, in addition to the Scenic Road Work Permit Application Fee, I am responsible for the additional expense of advertising the public hearing as specified in the Rules and Regulations. If my project involves a stone wall, I will post notice of the public hearing at least seven (7) days before by temporarily affixing a ribbon or other flagging material to the stone wall such that it is visible from the

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 H
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lane curbing shall be vertical granite curbing
What aspect of the Regulation do you propose be waived?	Granite Curbing
What do you propose instead?	Bituminous Berm
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	In order maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It would compliment the rural neighborhood appearance
What is the impact on the development if this waiver is denied?	Would not complement appearances, Evergreen Street has no curbing
What are the design alternatives to granting this waiver?	No curb or Bituminous Berm
Why is granting this waiver in the Town's best interest?	Aids in complimenting Scenic Rural road appearance
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$8,000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 I
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lanes in the parking area shall be a minimum of twenty-four (24) feet wide
What aspect of the Regulation do you propose be waived?	Reduction of travel lane width
What do you propose instead?	Reduce Travel lanes to 22'
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduce speeds in parking area, reduce impervious areas and maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes, it would minimize runoff, reduce traffic speeds and expanse of asphalt areas
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt
What are the design alternatives to granting this waiver?	22' width
Why is granting this waiver in the Town's best interest?	Smaller drive would discourage pass thru traffic and turn arounds in lot
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	Additional Green Space and sitting park \$8000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-9 C
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Parking Areas - Internal landscape planted divisions (islands and peninsulas) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Planning Board.
What aspect of the Regulation do you propose be waived?	Shade trees over Parking Ares
What do you propose instead?	Planting additional trees around property and screening areas
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	No designated parking areas beyopund driveways
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not complimentary to driveways
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt, may result in reduced parking
What are the design alternatives to granting this waiver?	Add trees to Screening areas
Why is granting this waiver in the Town's best interest?	Allows developer to provide parking to homeowner and drainage in Small site area
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Trees added elsewhere
What is the estimated value of the proposed mitigation measures?	None

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
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Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	
7/8/2011	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4E
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Prohibition of new curb cuts
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	A new single Curb cut
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces Number of curbcuts and provides better line of sight in both directions
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce safety hazards
What is the impact on the development if this waiver is denied?	Project would require re-evaluation
What are the design alternatives to granting this waiver?	Two access roads at existing curbcuts
Why is granting this waiver in the Town's best interest?	reduction of curbcuts and better sightlines
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	decrease in existing curbcuts
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

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Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4F
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requirement to provide exterior Bicycle parking
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	Bike parking anticipated within buildings
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces clutter and maintenance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce site clutter
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	interior parking
Why is granting this waiver in the Town's best interest?	Less opportunity for theft
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

EVERGREEN VILLAGE

22 EVERGREEN STREET
MEDWAY, MASSACHUSETTS

OWNER/APPLICANT:

SAMPSON POND LLC
P.O.BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

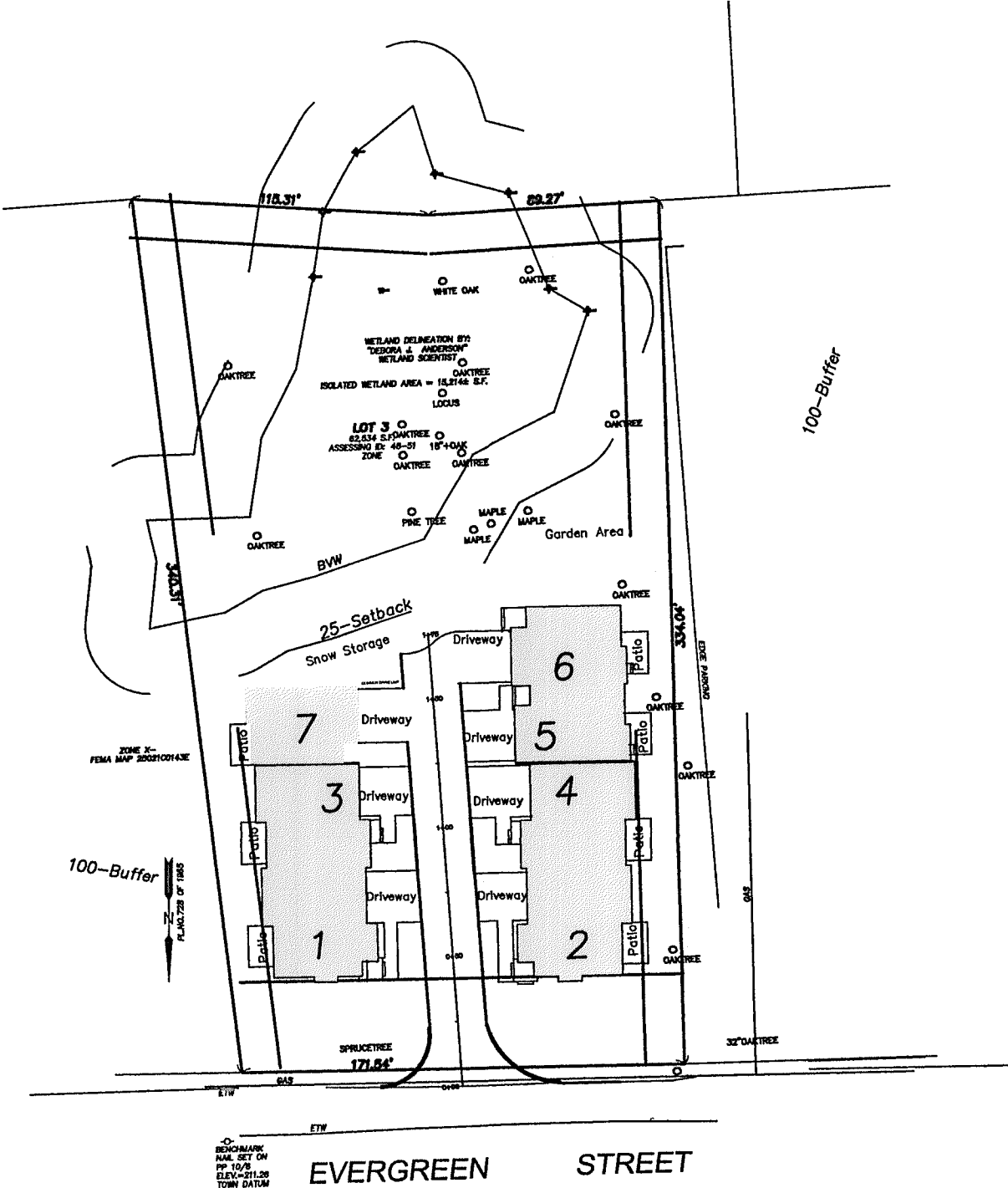
WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH MA 01581

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

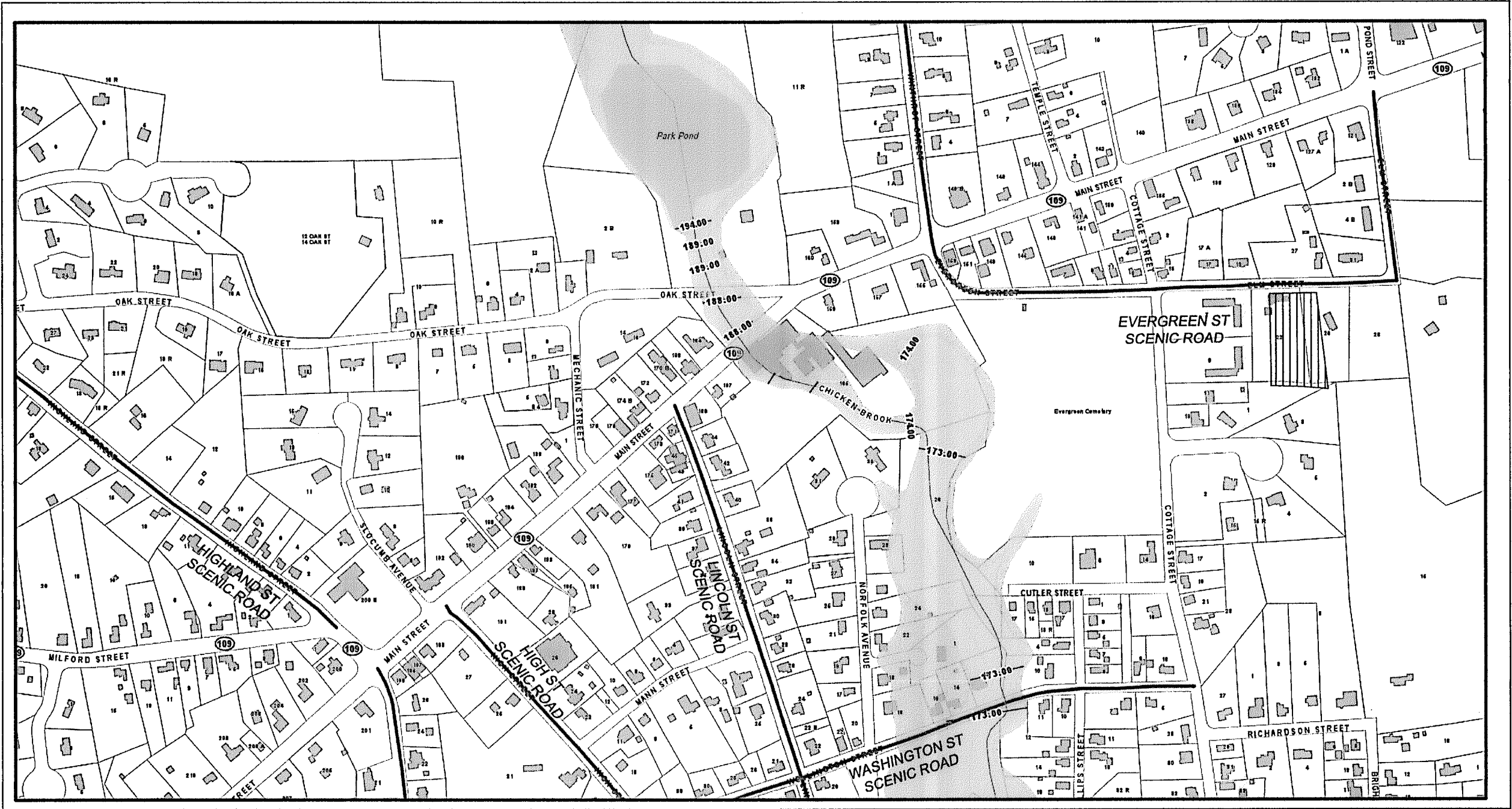


ZONING TABLE-AR-II RESIDENTIAL II DISTRICT

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	150	171+
LOT WIDTH	NA	188+
FRONT SETBACK	35	35
SIDE SETBACK	15	15
REAR SETBACK	15	15
BLDG. HT.	40'	38'
LOT COVERAGE (BUILDINGS)	NA	16.5%
LOT COVERAGE (IMPERVIOUS)	NA	29.0%
PARKING	1.5/UNIT	2/UNIT

PLAN INDEX

TITLE SHEET / SITE CONTENT	T-1
EXISTING CONDITIONS	S-1
SITE LAYOUT	S-2
SITE GRADING	S-3
SITE DRAINAGE & EROSION	S-4
SITE UTILITIES	S-5
SIGHT DISTANCE PLAN	S-6
VEHICLE ACCESS PLAN	S-7
DRAINAGE DETAILS	D-1
SITE DETAILS	D-2
LANDSCAPING	L-1
LIGHTING	L-2
ARCHITECTUAL	A
ELEVATIONS	A-1
1ST FLOOR PLANS	A-2
2ND FLOOR PLANS	A-3
SURVEYORS PLAN	



LOCUS MAP
1" = 400'

LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

AUOD - Waivers REQUESTED -

AUOD, Section 5.6.2

Subsection 5.6.4 B. - The requirement of renovating the existing building on site. Layout and proposed use will not sustain existing building.

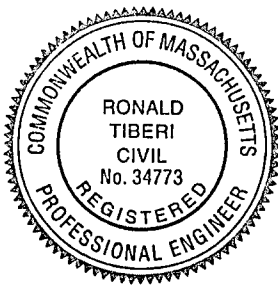
Section 504-4E - Requirement for bicycle parking. Bicycle parking is anticipated to be within the unit garages.

Site Plan Regulations

Section 205-6 H Granite Curbing requirement. Proposed curbing beyond driveway entrance is bituminous curbing.

Section 205-6 I Travel Lanes 24' wide, due to tight site conditions, travel lanes are reduced to 22', and parking located only driveways.

Section 205-9 Parking Shade trees- due to site constraints no off street parking areas are proposed.



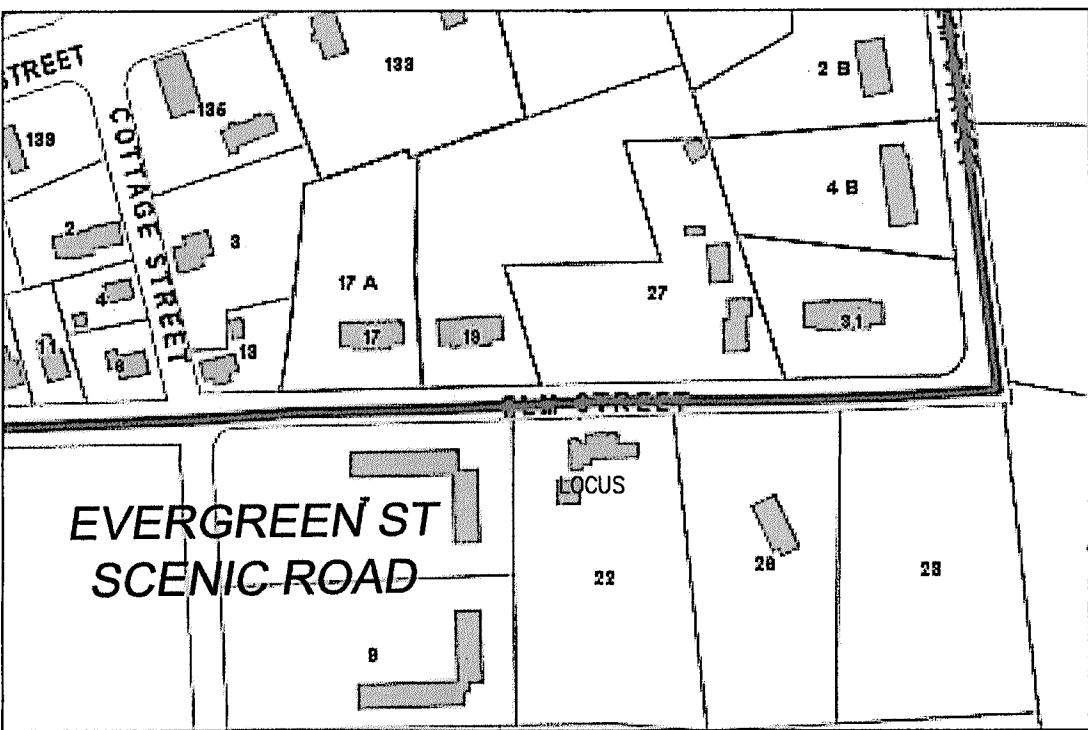
MULTIFAMILY HOUSING TABLE

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	50	171+
UNIT DENSITY	12	7
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	38'
OPEN SPACE	15%	45%
PARKING SPACES	24	24

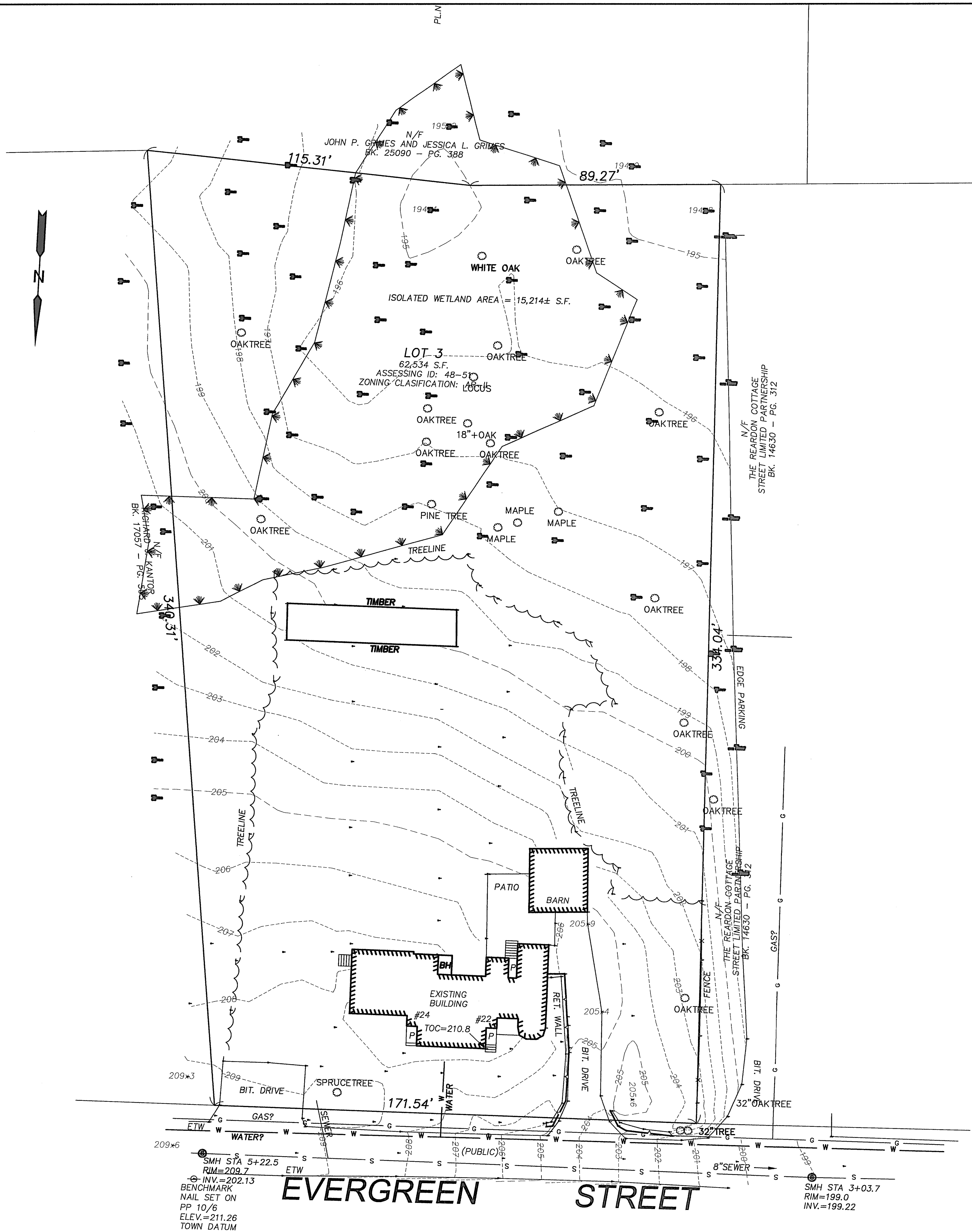
DATE ISSUED:

SEPT 5, 2019

DATE REVISED:



ABUTTERS LOCUS MAP
1" = 200'



- LEGEND**
- STONE WALL
 - PROP. GRADE
 - EXIST. GRADE
 - SHRUB
 - PROP. SEWER
 - PROP. WATER
 - GAS
 - EXIST. WATER
 - DRAIN
 - EDGE PVMNT
 - CULTEC UNIT
 - EROSION CONTROL
 - LIGHT POLE
- 7/11
- LP *

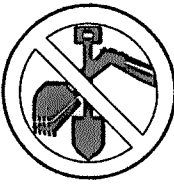
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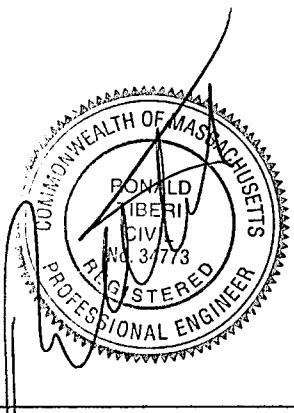
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

EXISTING CONDITIONS

PLAN

IN

MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE

22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

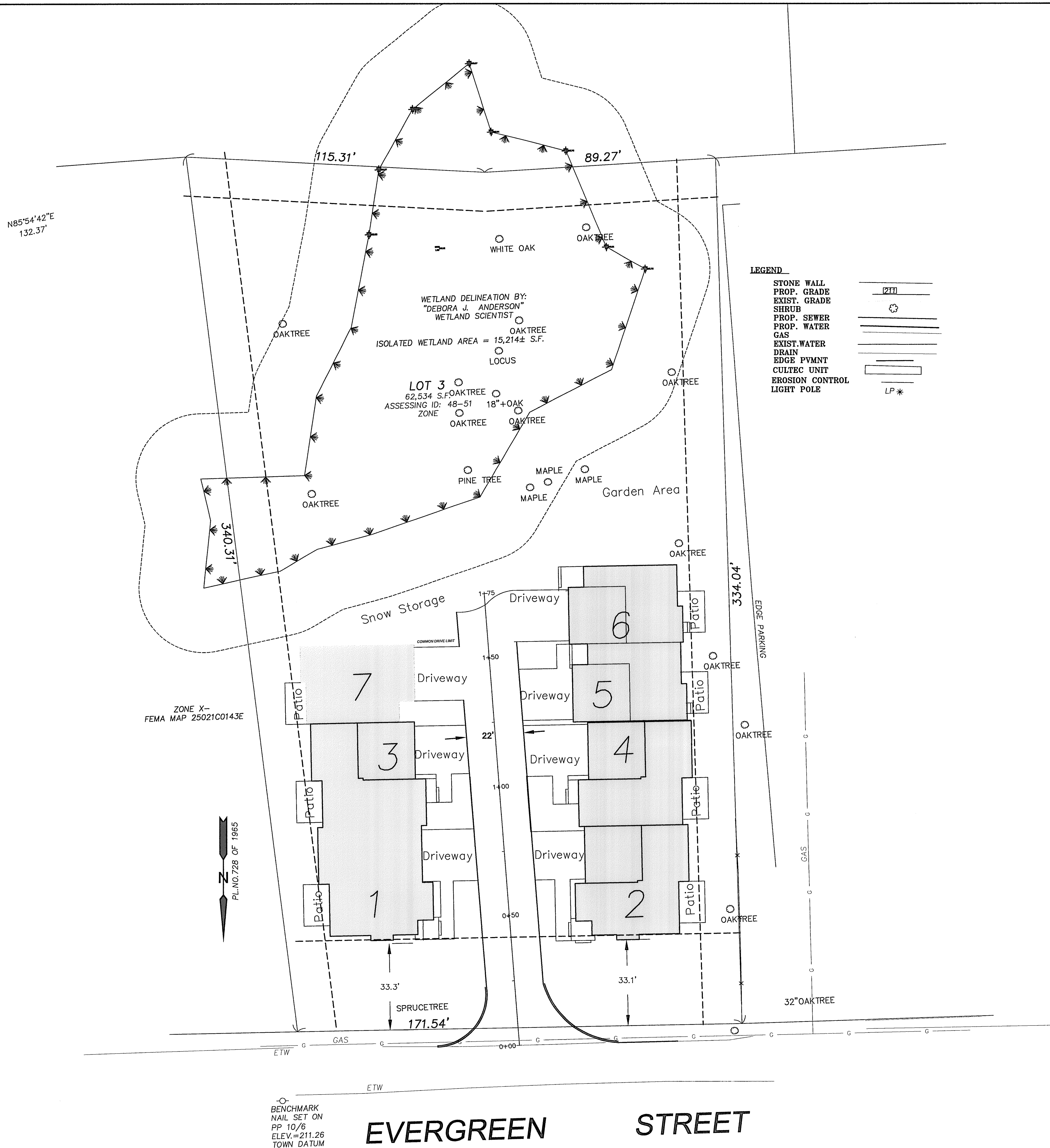
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 5.2019

S-1



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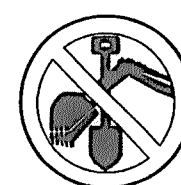
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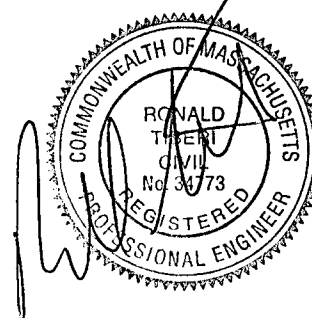
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION

PROPOSED
SITE LAYOUT PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

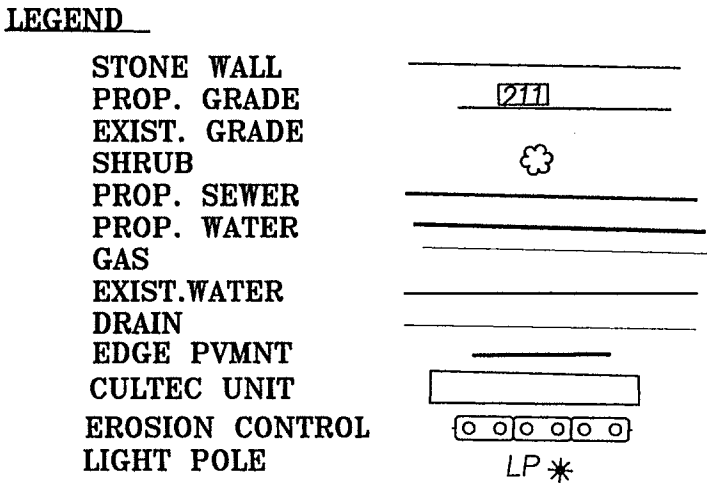
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

S-2



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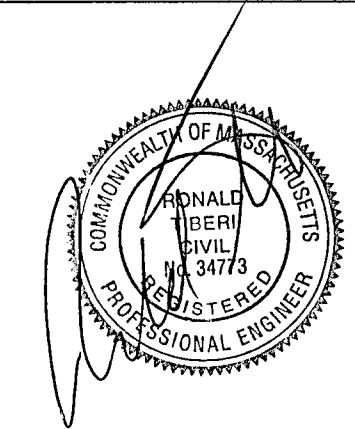
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

PROPOSED
SITE GRADING PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

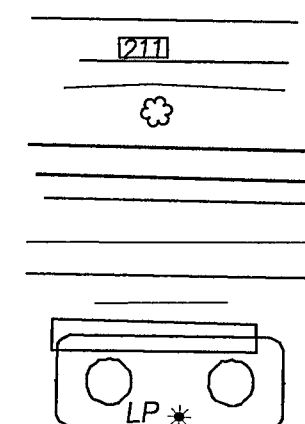
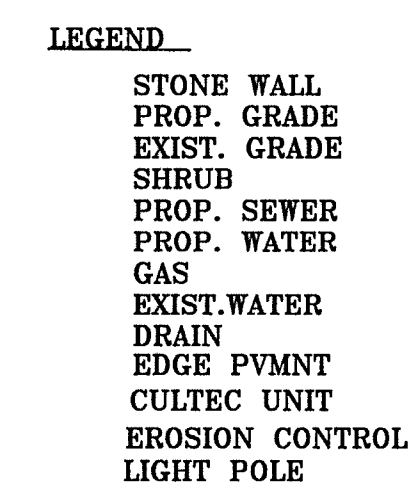
PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2, 2019



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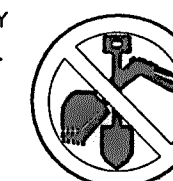
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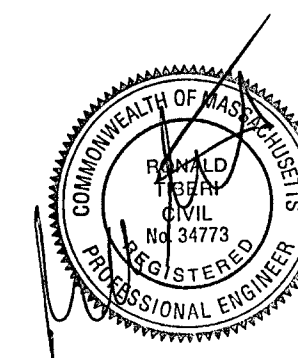
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APPROVED BY PLANNING BOARD

DATE: _____



PROPOSED
SIGHT DISTANCE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 30 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

S-6

N85°54'42"E
132.37'

ZONE X-
FEMA MAP 25021C0143E

PL NO. 728 OF 1965

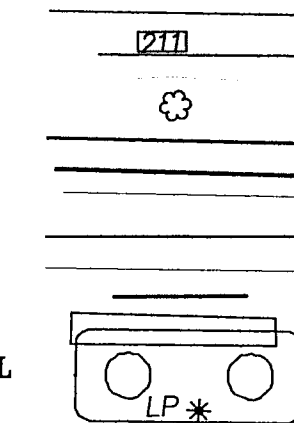
BENCHMARK
NAIL SET ON
PP 10/6
ELEV. = 211.26
TOWN DATUM

EVERGREEN STREET

STREET

LEGEND

STONE WALL
PROP. GRADE
EXIST. GRADE
SHRUB
PROP. SEWER
PROP. WATER
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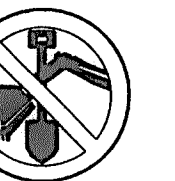


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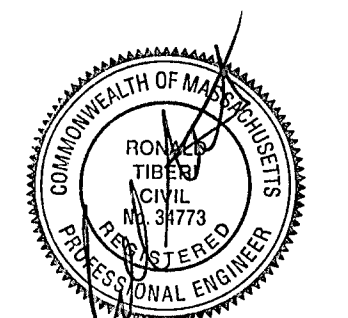
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION

PROPOSED EMERGENCY VEHICLE ACCESS PLAN IN MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE 22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

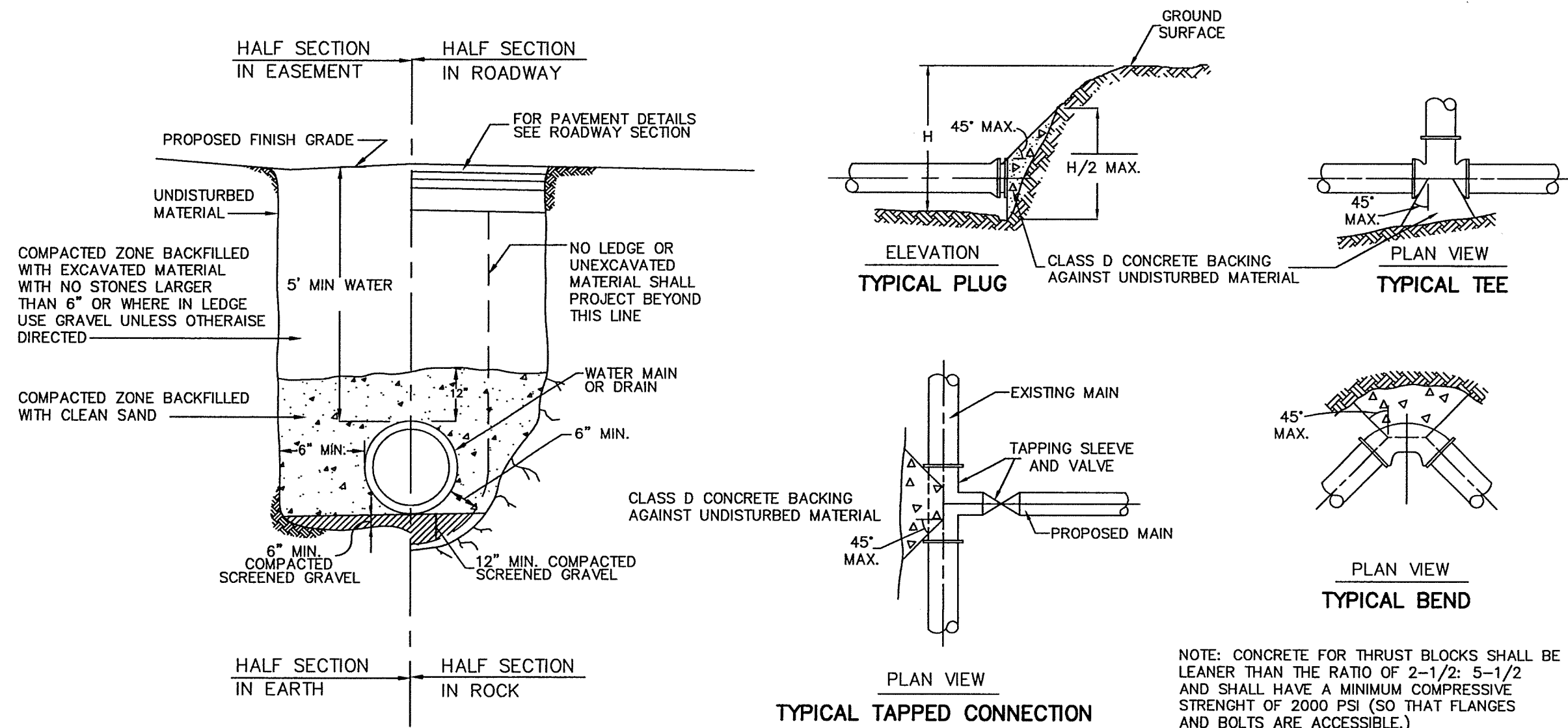
PREPARED By: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

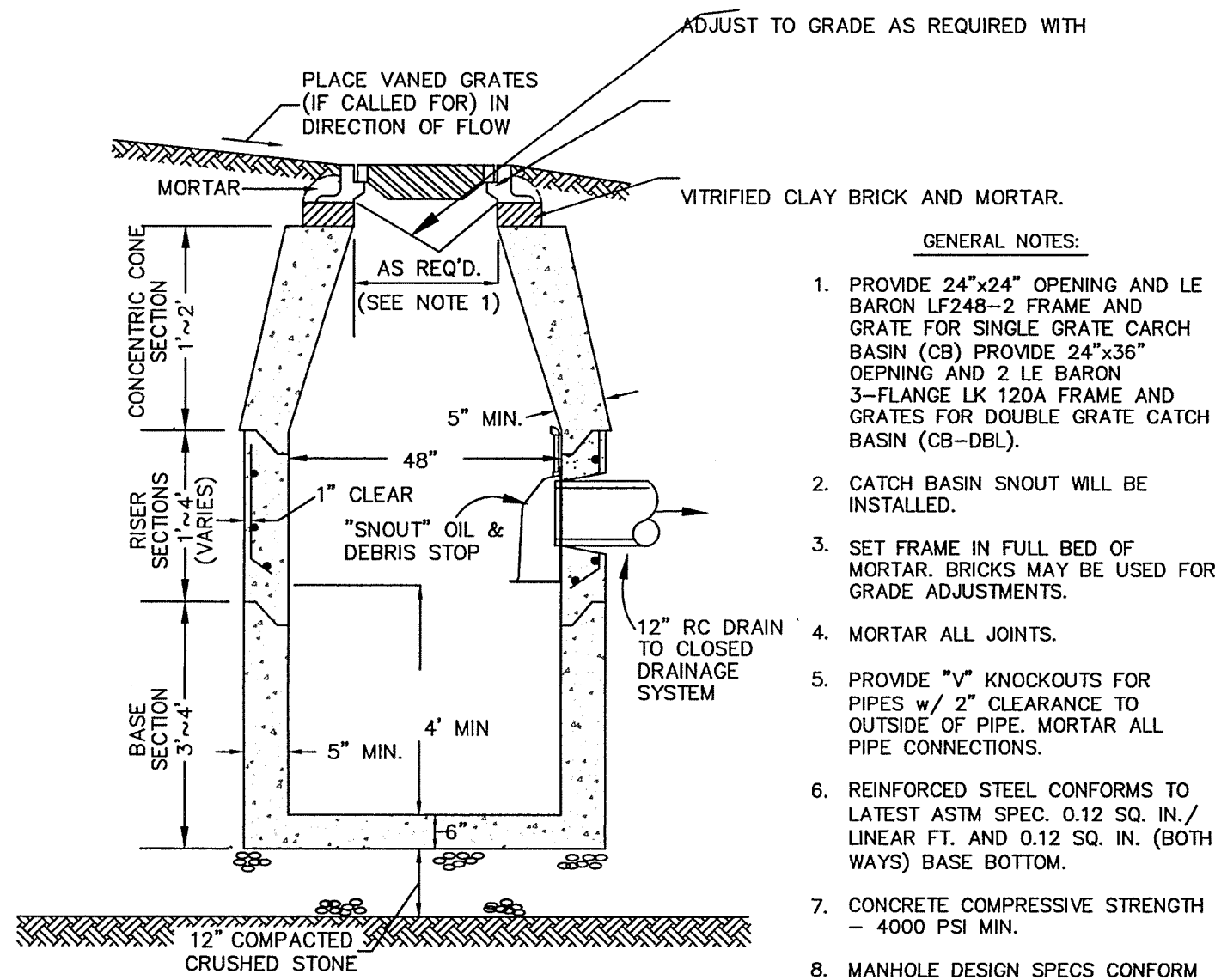
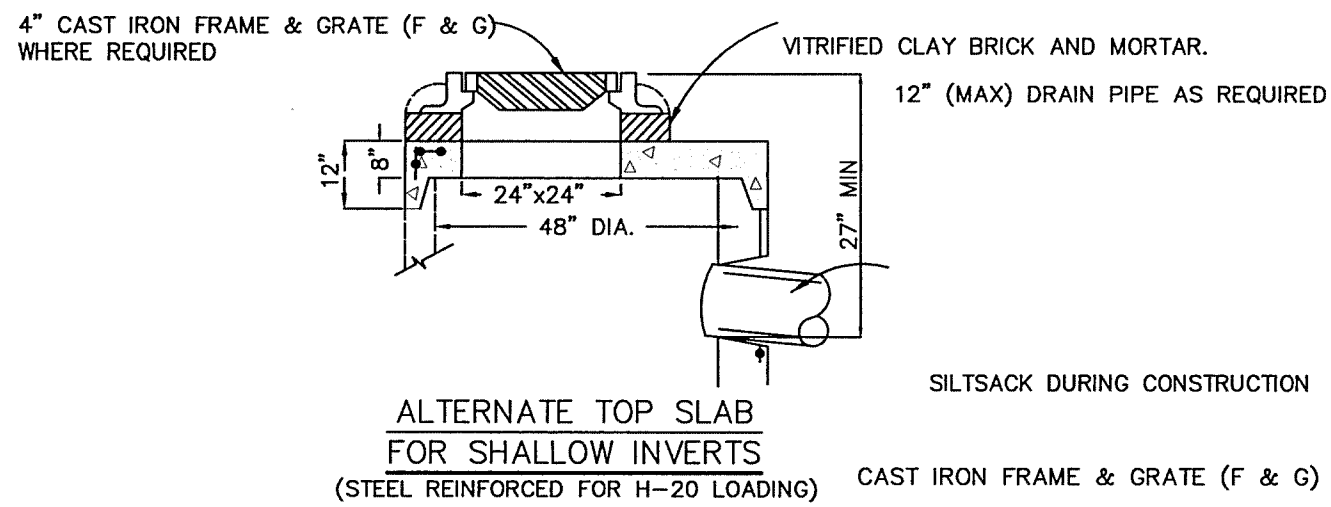
DATE: JAN2.2019

S-7

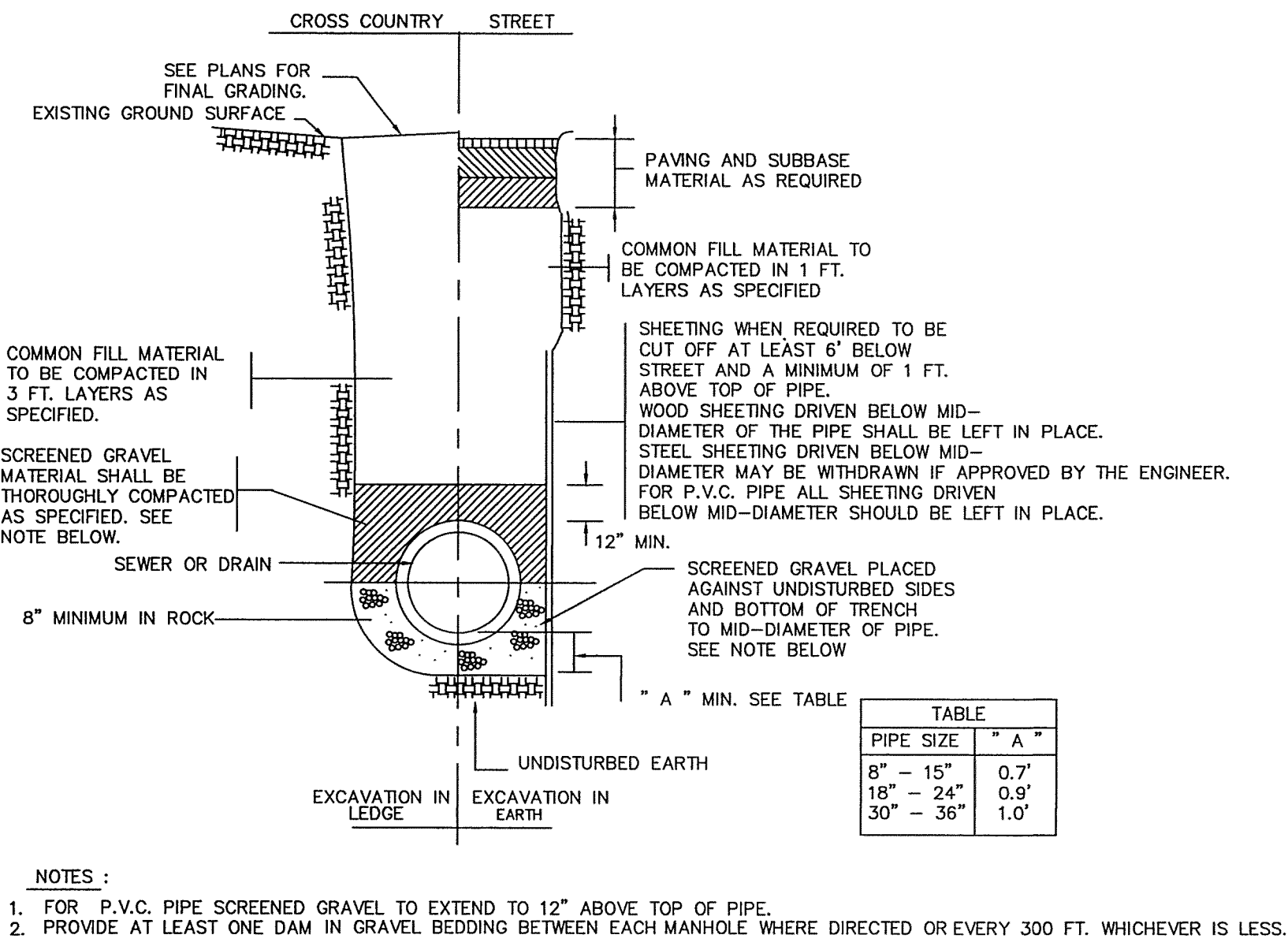


BEARING AREAS OF THRUST BLOCKS (BEARING AREA IN SQUARE FT.)				
PIPE SIZE INCHES	1/4 BEND	1/8 BEND	1/16 BEND	PLUG TEES
6 AND 8	8	8	-	8
10 AND 12	22	13	8	16

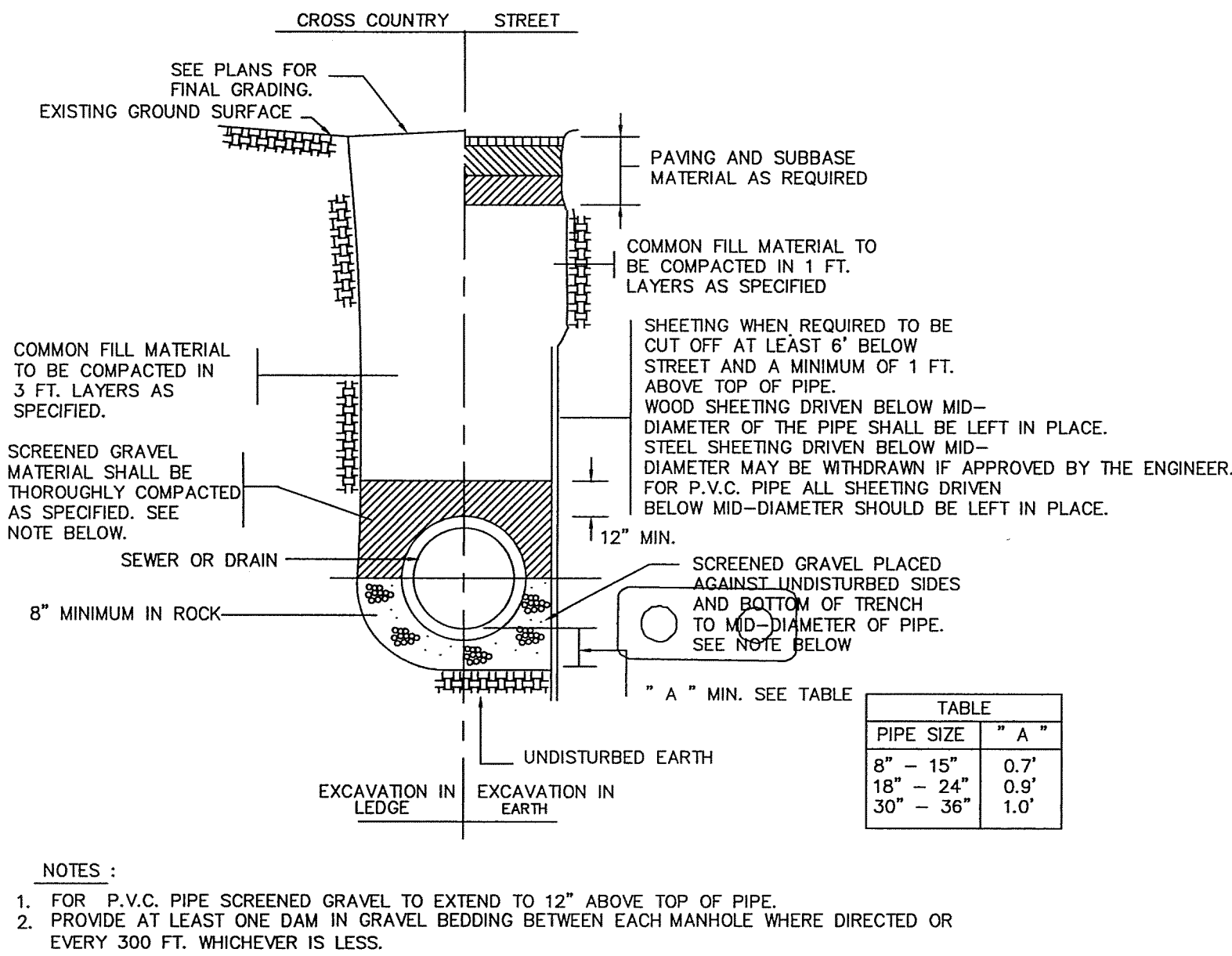
**48" DIAMETER PRECAST DRAIN MANHOLE (DMH)
FOR PIPE DIAMETERS UP TO 24"**
NOT TO SCALE



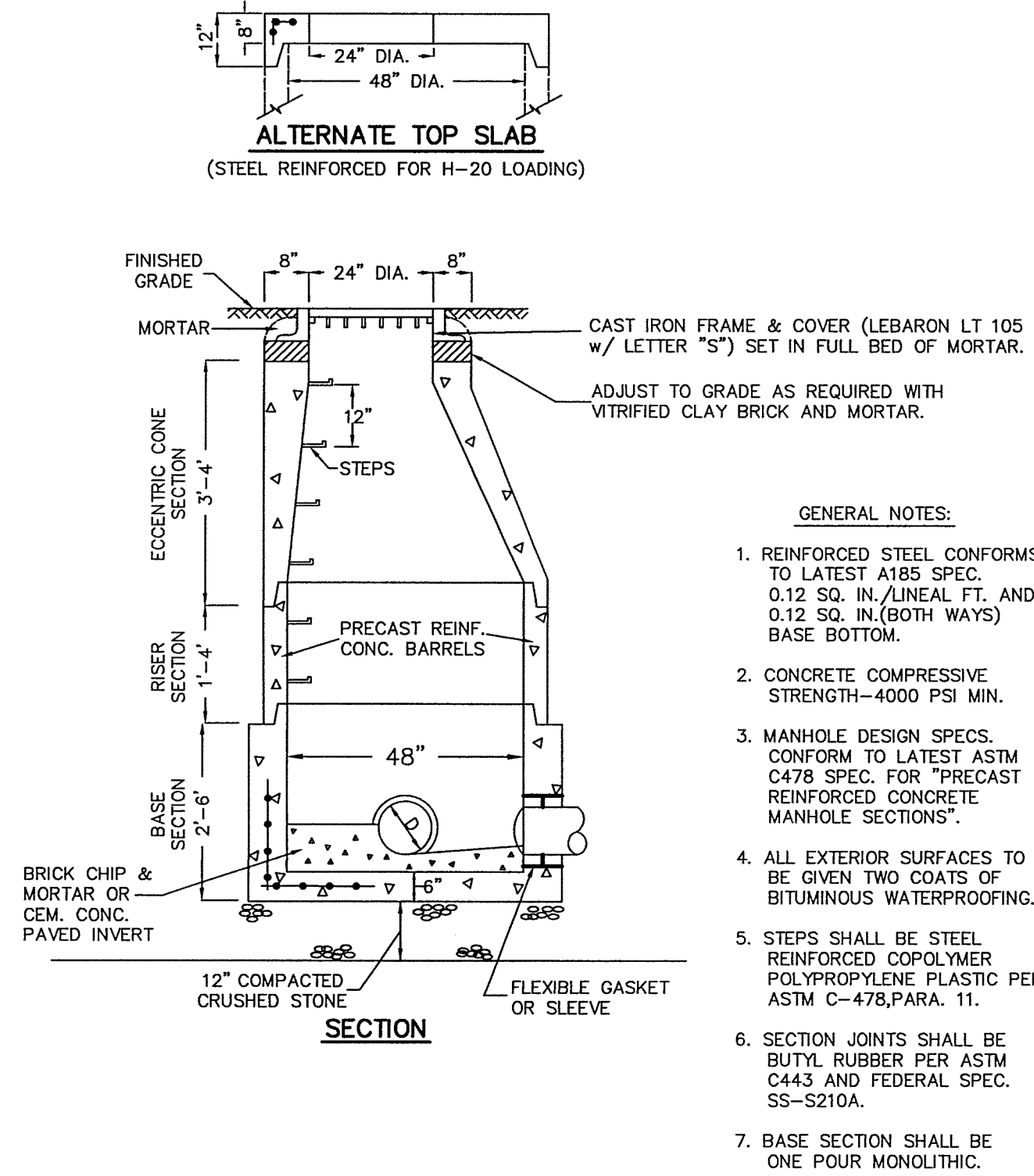
CATCH BASIN (CB) & DOUBLE GRATE CATCH BASIN (CB-DBL)
NOT TO SCALE



TYPICAL TRENCH DETAIL FOR SEWER & DRAIN
NOT TO SCALE



TYPICAL TRENCH DETAIL FOR SEWER & DRAIN
NOT TO SCALE



SANITARY SEWER MANHOLE (SMH)
NOT TO SCALE

GENERAL SITE NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 - THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- DIG SAFE NOTE:**
- UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 1(888)DIG-SAFE.
- THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE OF THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.
- CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



APPROVED BY PLANNING BOARD
DATE:



REVISIONS

No.	DATE	DESCRIPTION

DETAILS

IN
MEDWAY, MASSACHUSETTS

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

S-8

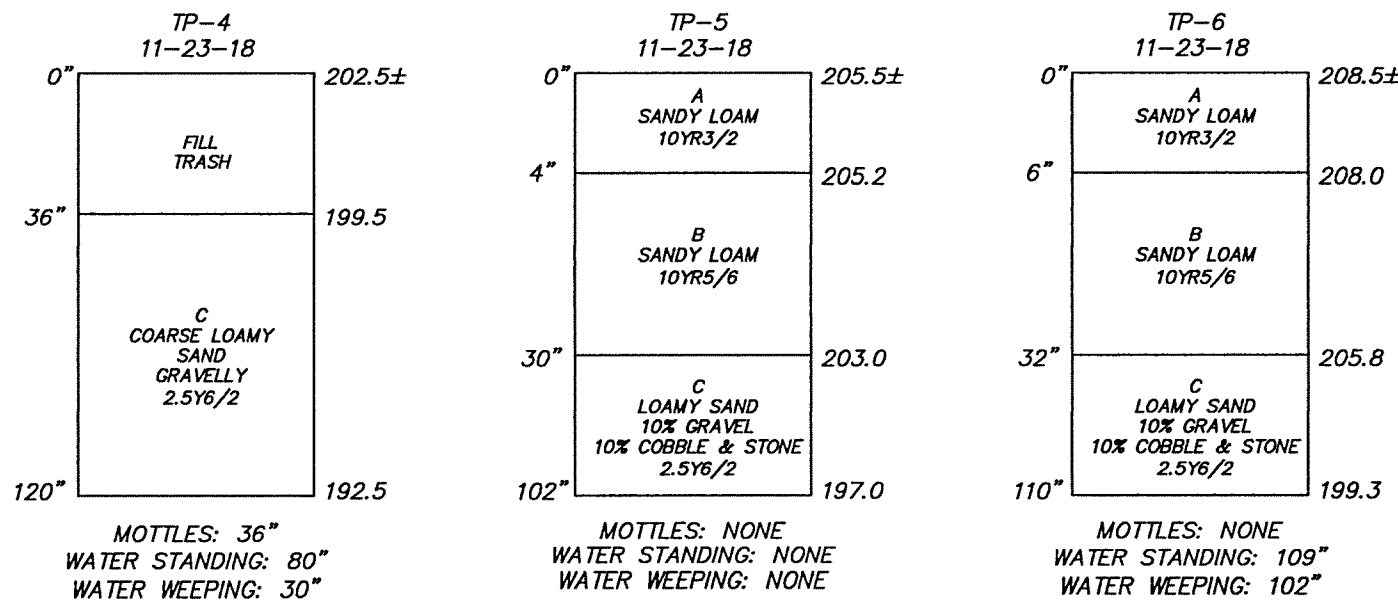
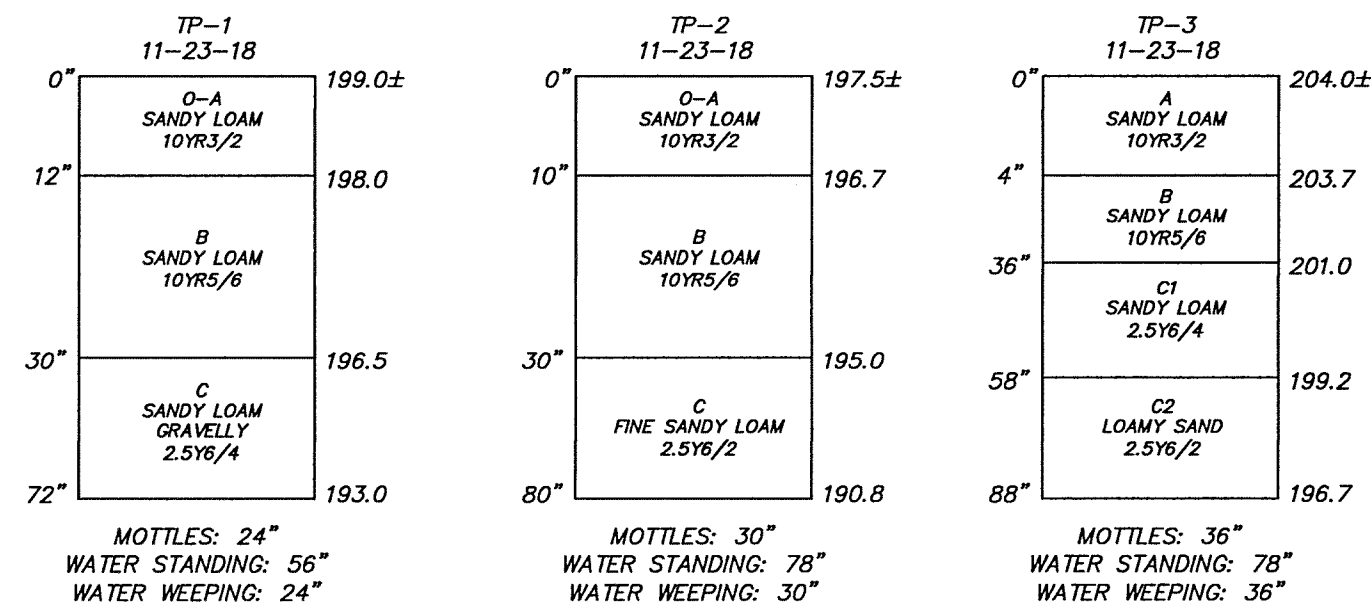
SITE: 22 EVERGREEN STREET, MEDWAY, MA

SOIL EVALUATIONS PERFORMED BY MASSACHUSETTS
CERTIFIED DEP SOIL EVALUATOR ON NOV. 23, 2018.

COMMENTS:

RECENT HEAVY RAIN, WET
CONDITIONS, SATURATED SOIL.

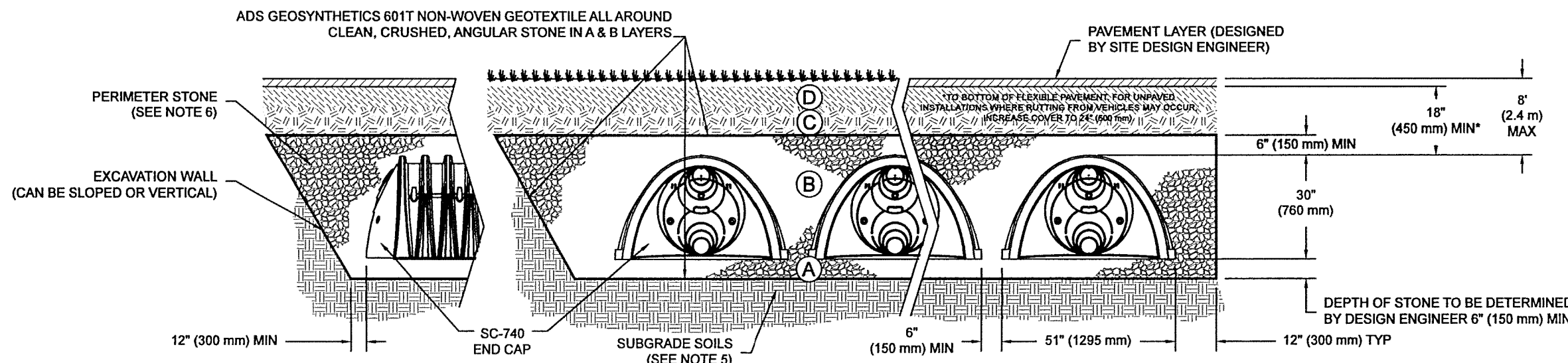
Gregory A. Bynavicz
GREGORY A. BYNAVICZ, SE-2712



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

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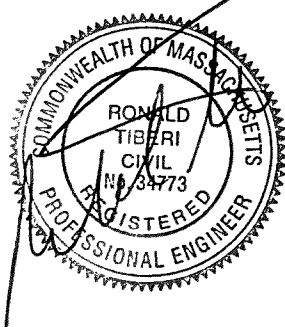
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: SEPT 2.2019

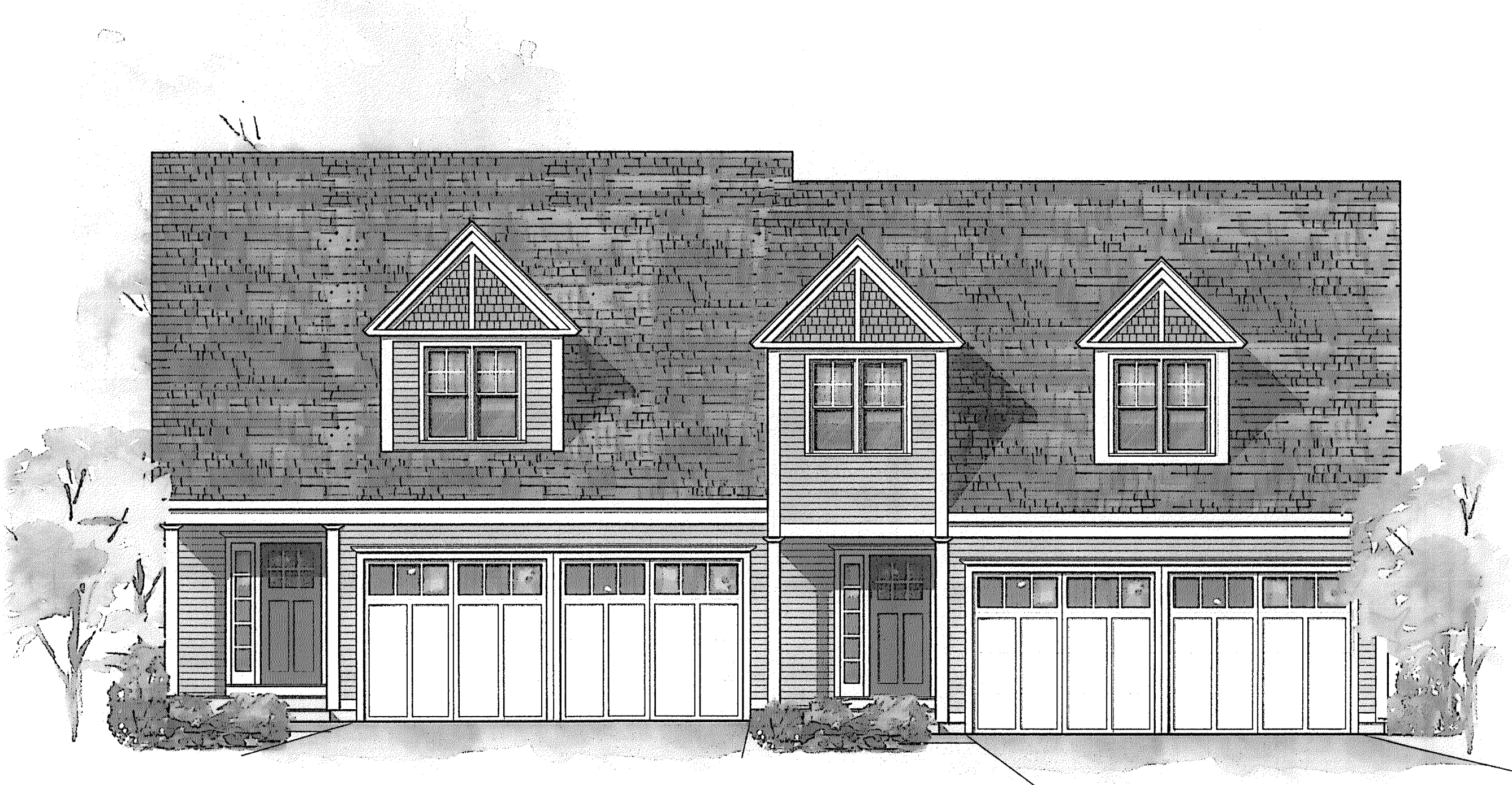
D-1



Preliminary Elevation - View From Evergreen Street - Unit 1
 Scale: 1/5" = 1'-0"



Preliminary Front Elevation - Units 1 and 2
 Scale: 1/5" = 1'-0"

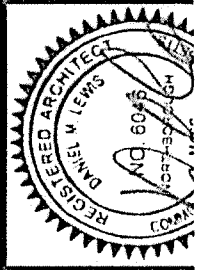


Preliminary Front Elevation - Units 3 and 4
 Scale: 1/5" = 1'-0"



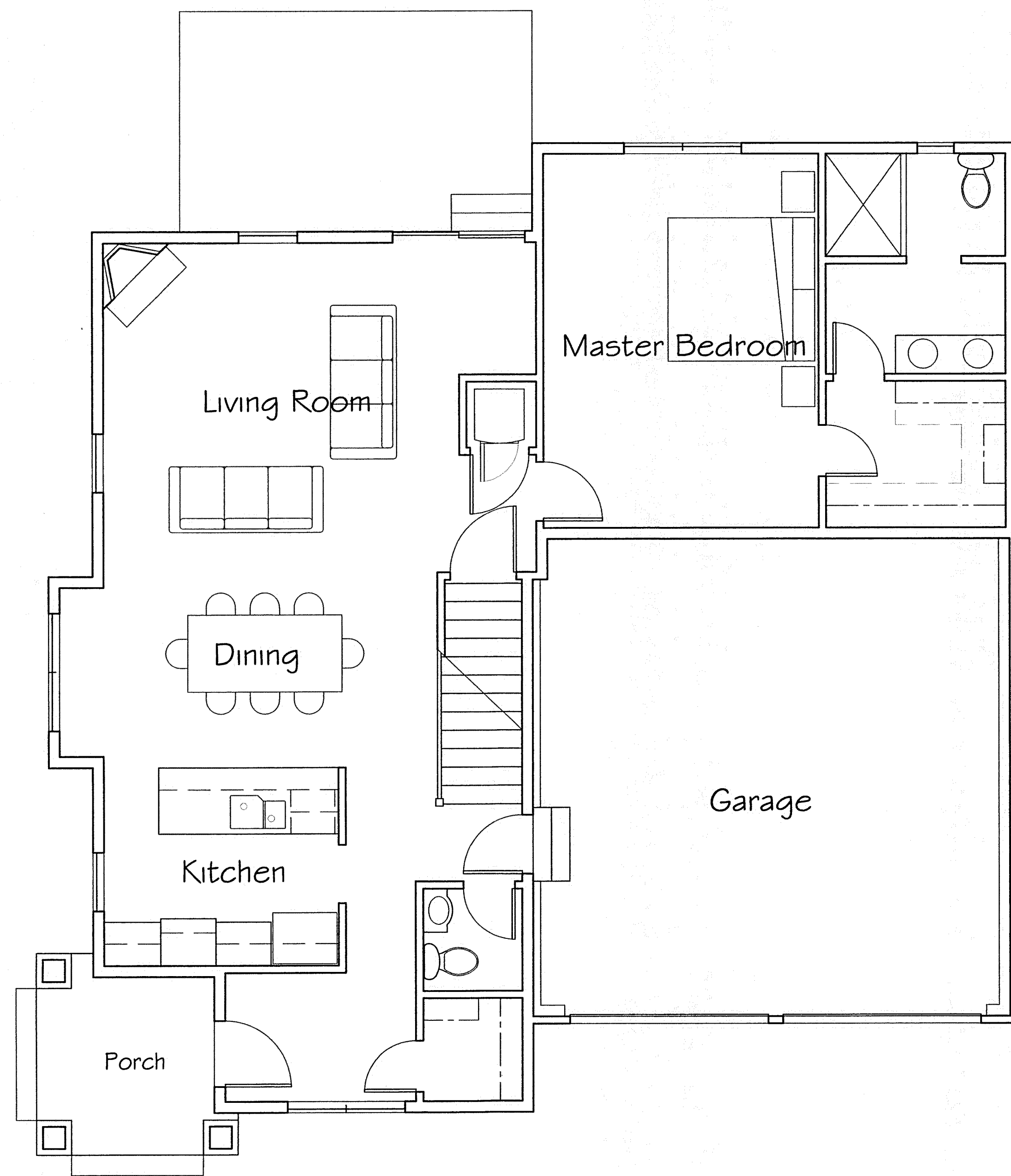
Preliminary Front Elevation - Units 5 and 6
 Scale: 1/5" = 1'-0"

DANIEL LEWIS, AIA
 ARCHITECT
 332 Wintry Street
 Northborough, MA 01532



Preliminary Exterior Elevations	
Job Number	Date
1816	March 6, 2019

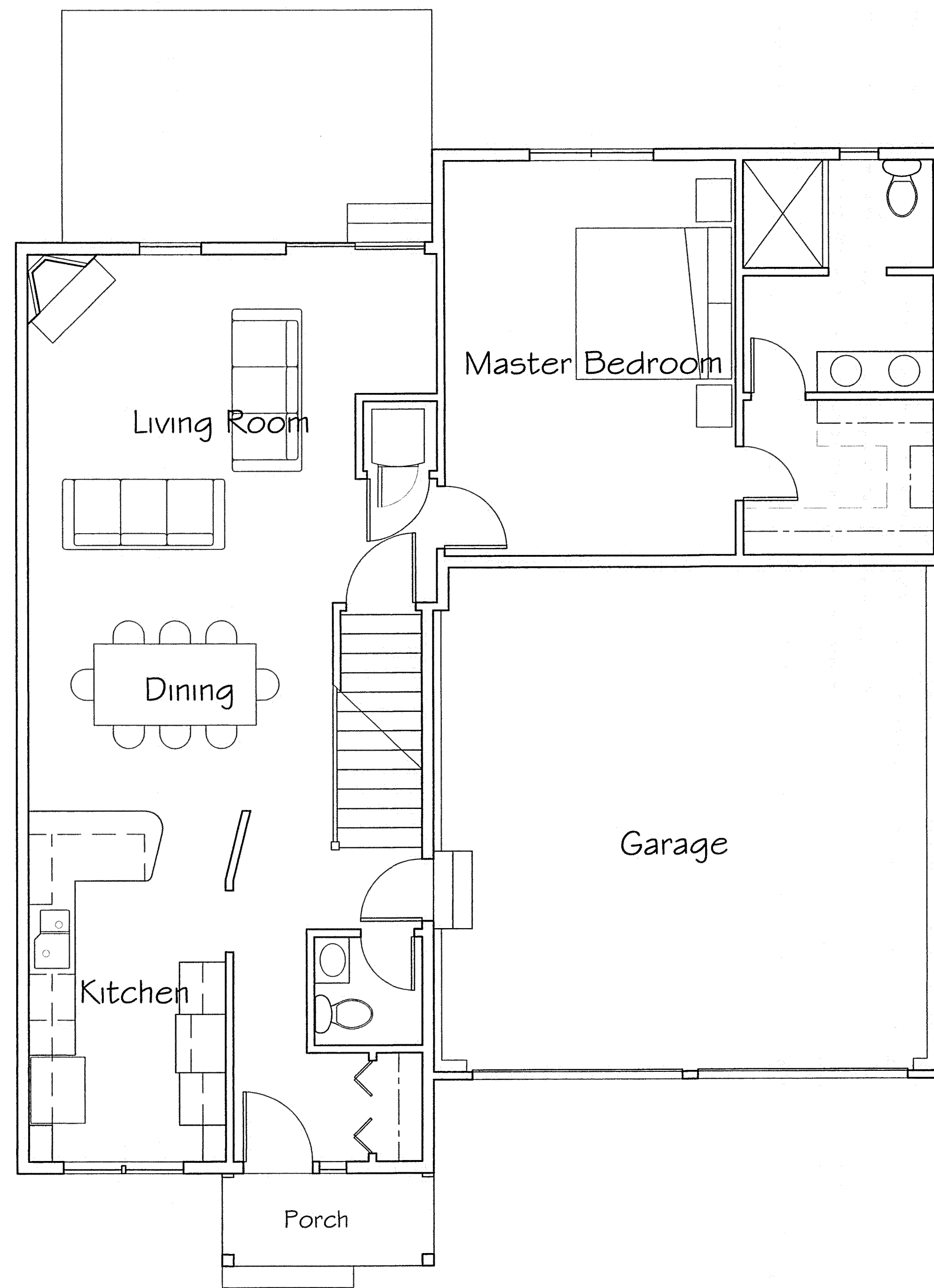
Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

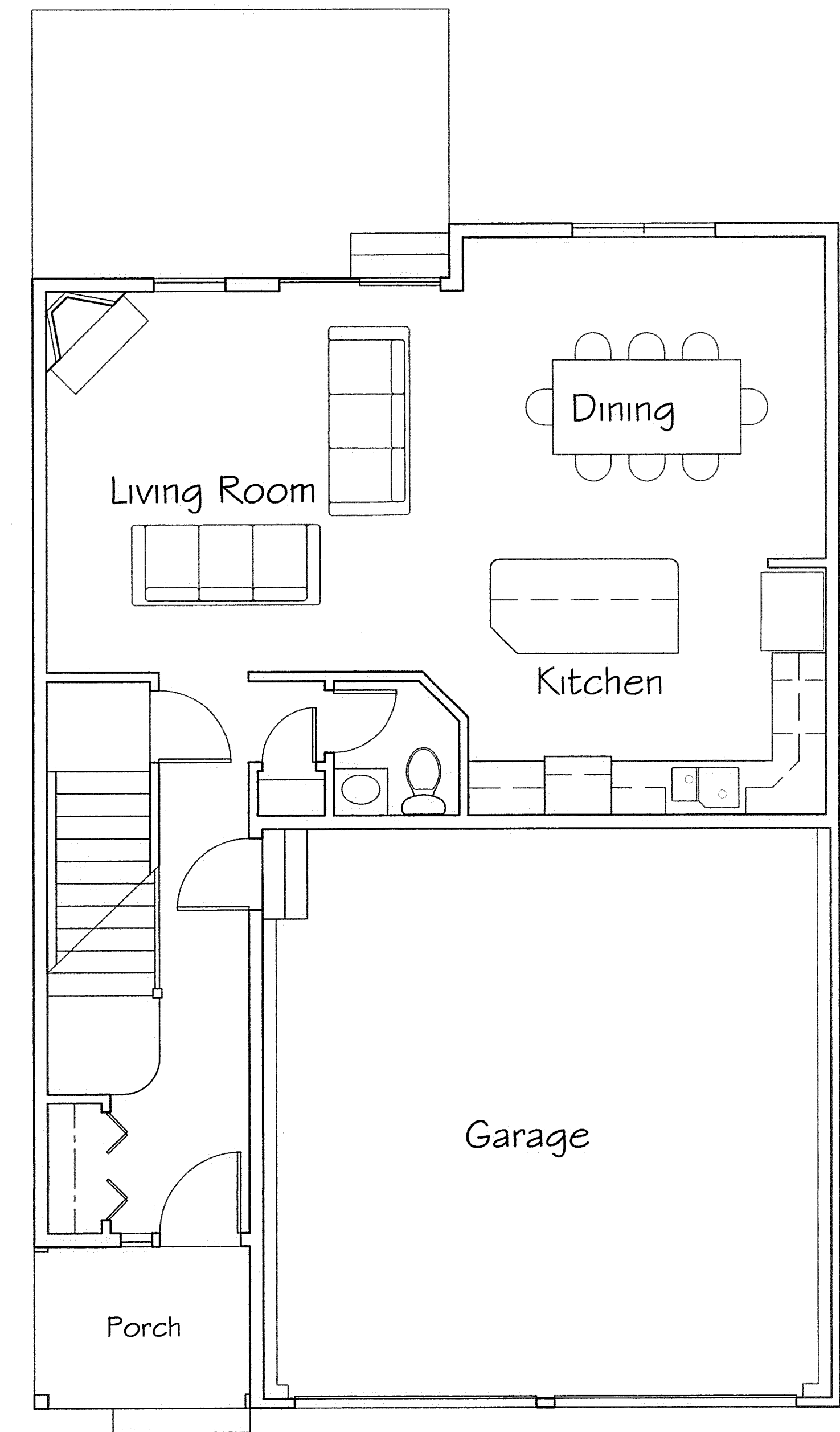
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

1106 SF

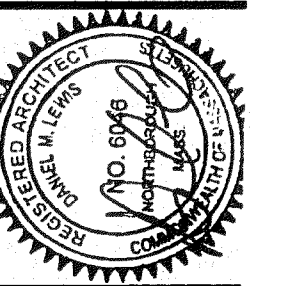


Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

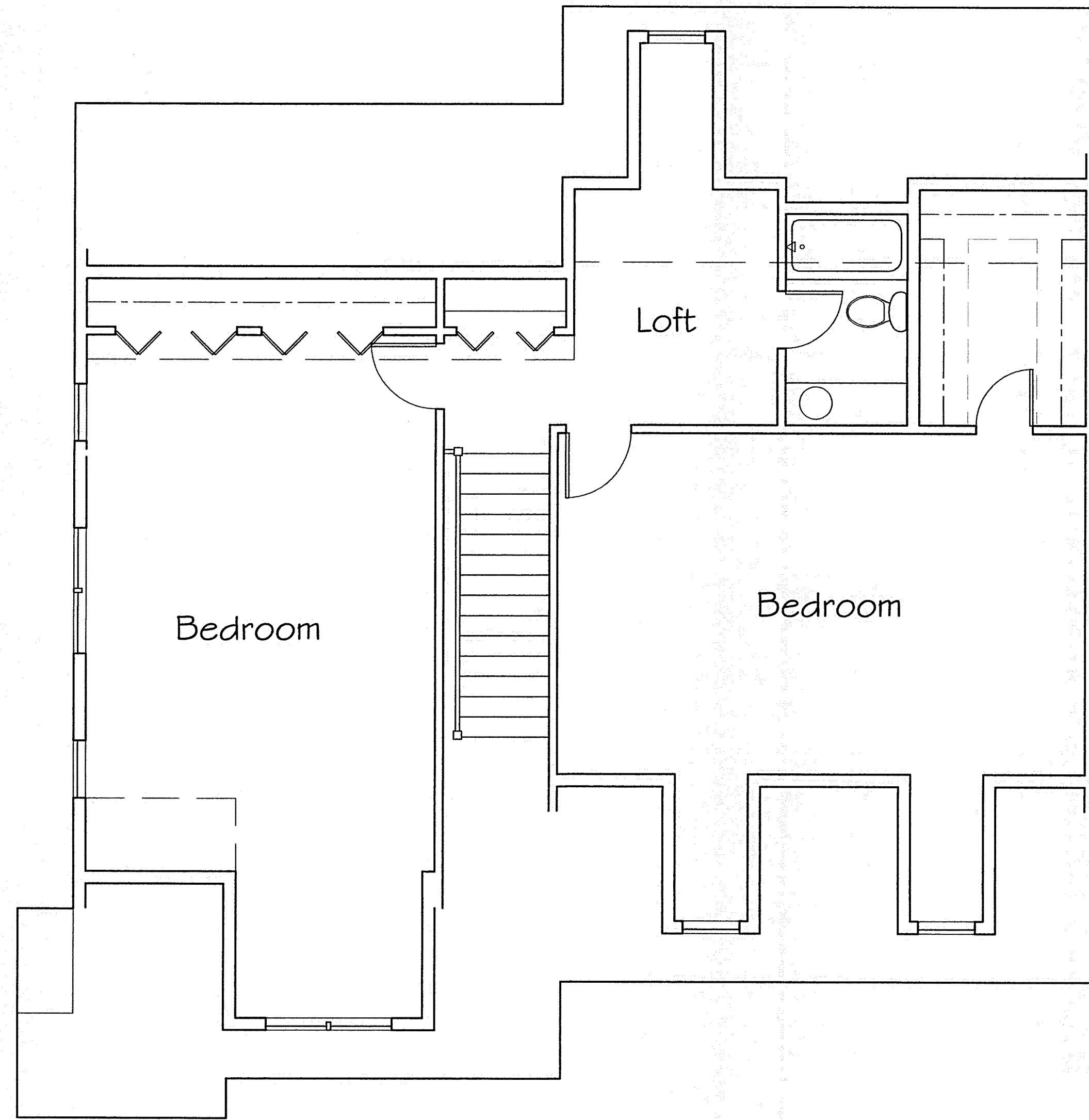
766 SF

DANIEL LEWIS, AIA
ARCHITECT
 332 Whitney Street
 Northborough, MA 01532
 (508) 612-8771
 danlewis@charter.net www.danlewisarchitect.com



Preliminary First Floor Plans	
Job Number	Date
1816	March 18, 2019
Drawn By	Revised
D.L.	

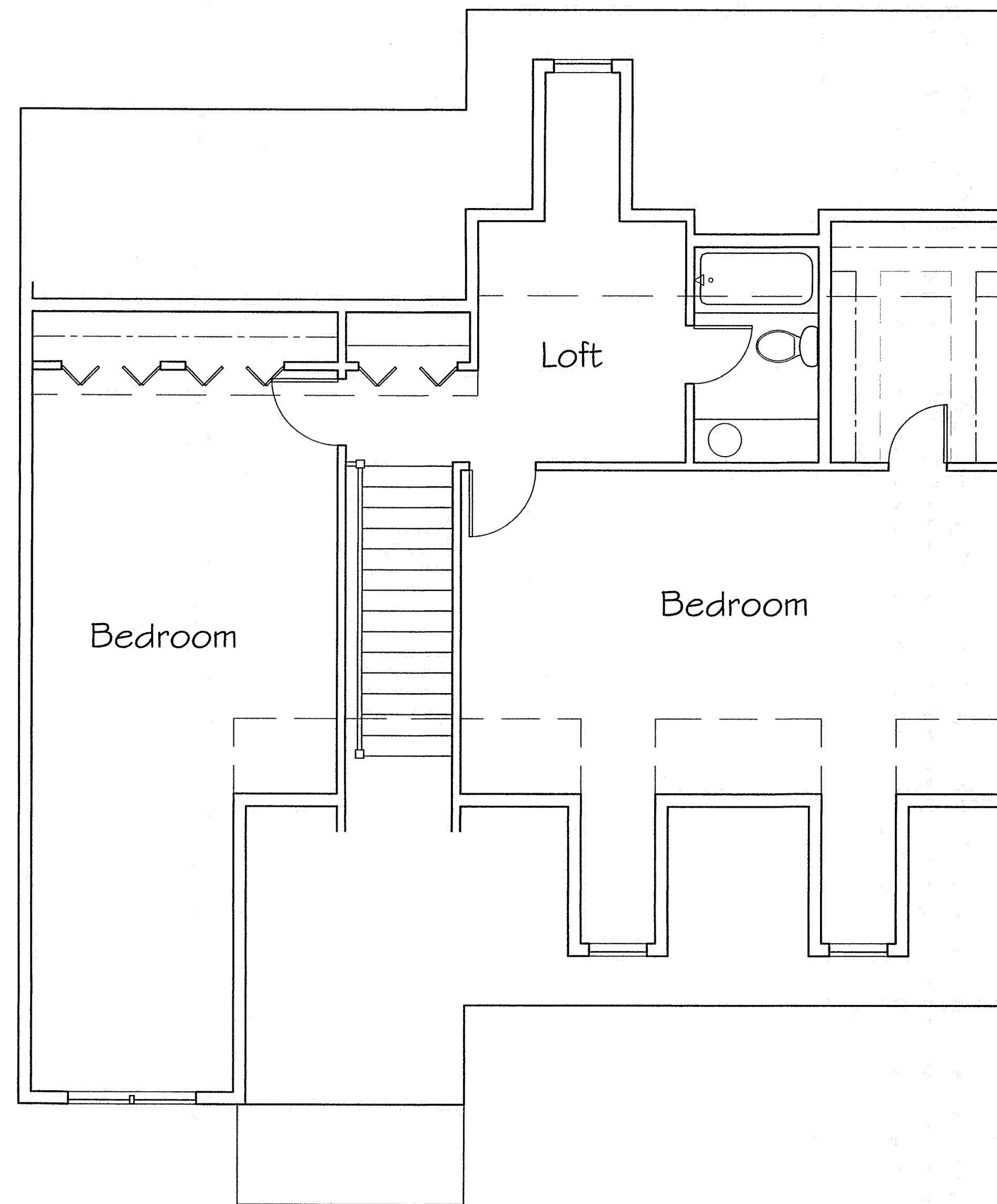
Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053



Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

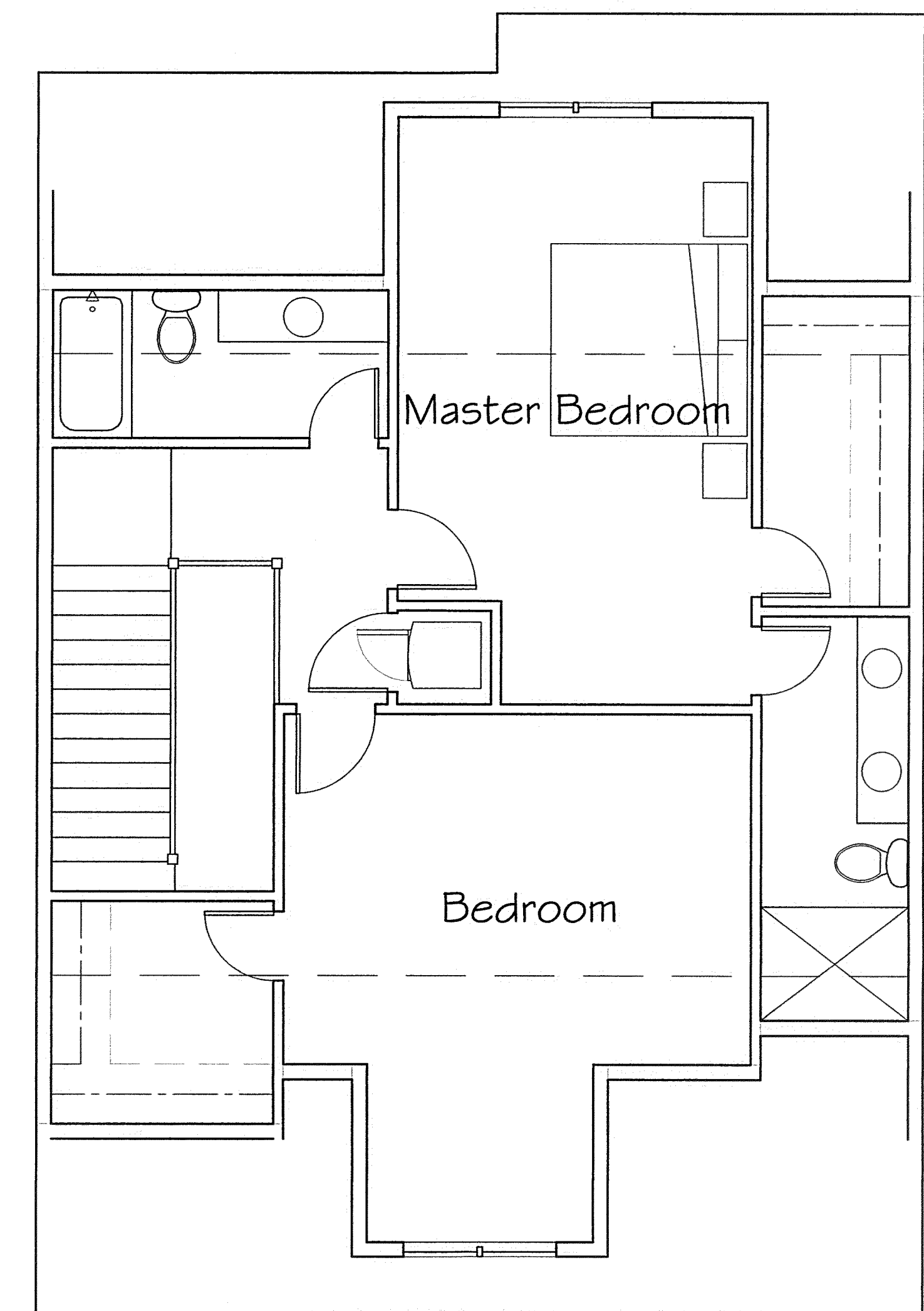
approx. 1128 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1047 SF



Preliminary Second Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

approx. 931 SF

Proposed Condominiums

22 Evergreen Street
Medway, MA 02053

For Sampson Pond LLC, Medway, MA

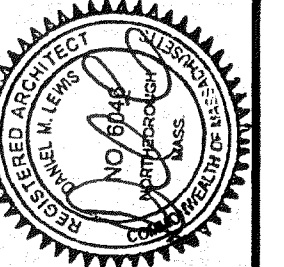
Preliminary Second Floor Plans

Job Number
1816

Date
March 8, 2019

Revised

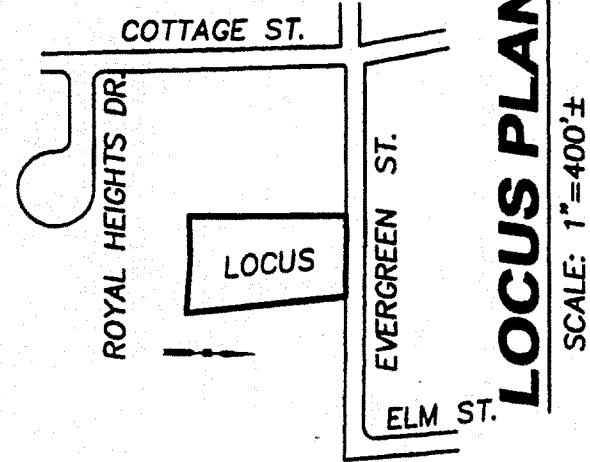
Drawn By
DML



DANIEL LEWIS, AIA
ARCHITECT

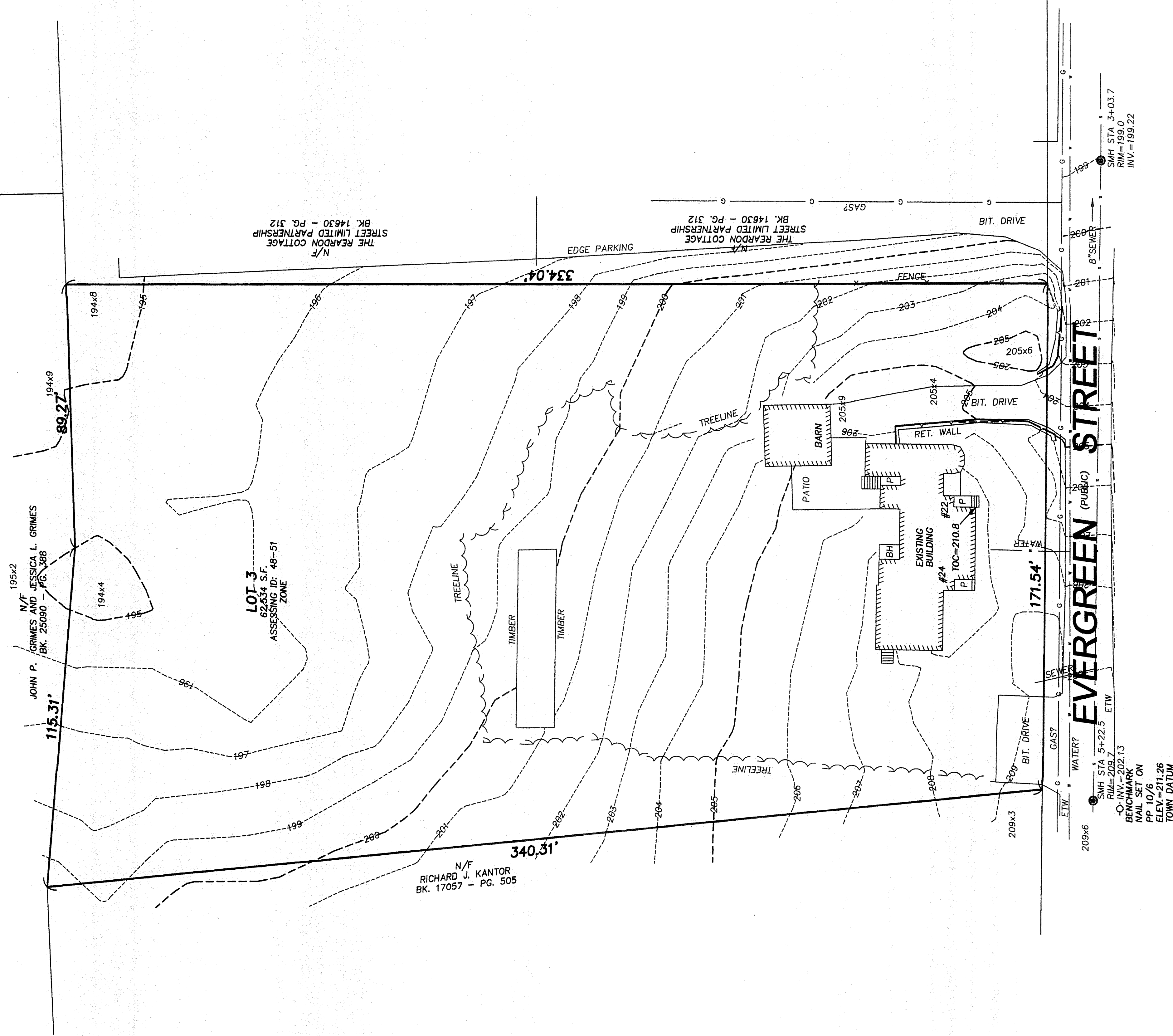
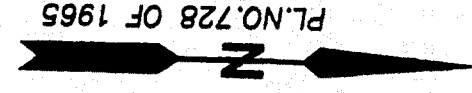
332 Whitrey Street
Northborough, MA 01532
(508) 612-8771
danlewis@charter.net www.danlewisarchitect.com

©2019



NOTES:

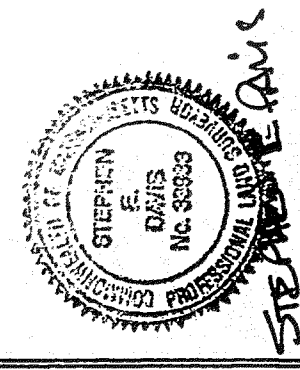
1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO -DATE ABSTRACT OF TITLE WOULD DISCLOSE.
2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ALL OTHER UTILITIES, STRUCTURES AND FACILITIES, IF ANY, ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL TOLL FREE, DIG SAFE CALL CENTER AT 1-888-3444-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.



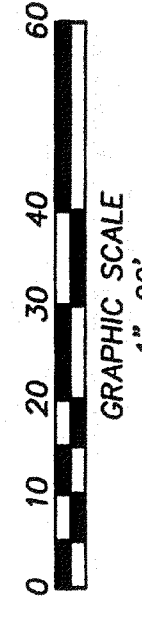
PROPERTY OWNER:
JOHN T. SHEA, III AND CYNTHIA A. SHEA
BK. 8482 - PG. 89

EXISTING CONDITIONS PLAN
#22 EVERGREEN ROAD
MEDWAY, MASSACHUSETTS
NORFOLK COUNTY
AS PREPARED FOR
RONALD TIBERI

CHENEY
ENGINEERING CO., INC.
53 Mellen Street
Needham, MA 02464
TEL. 781-444-2188

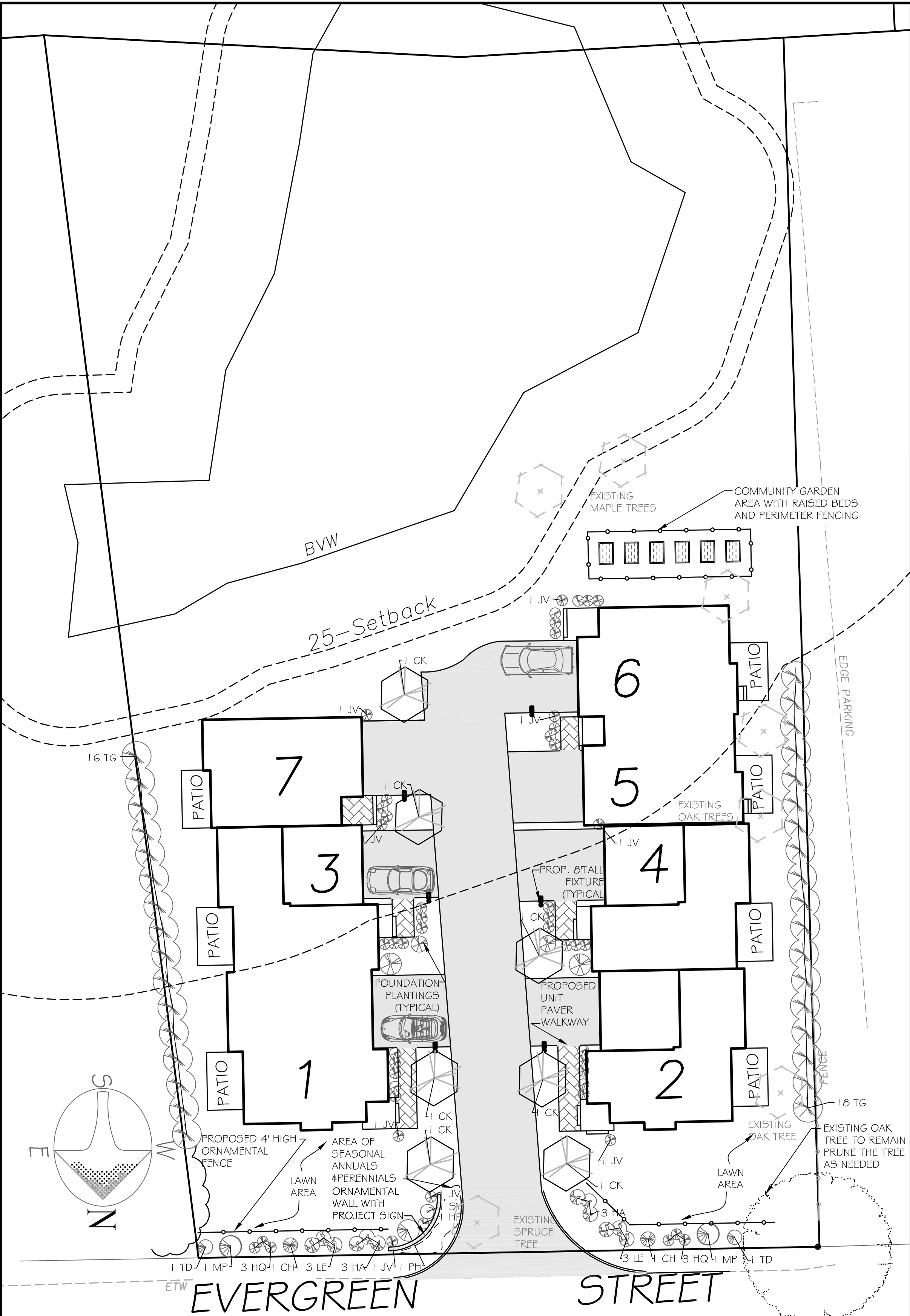


I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

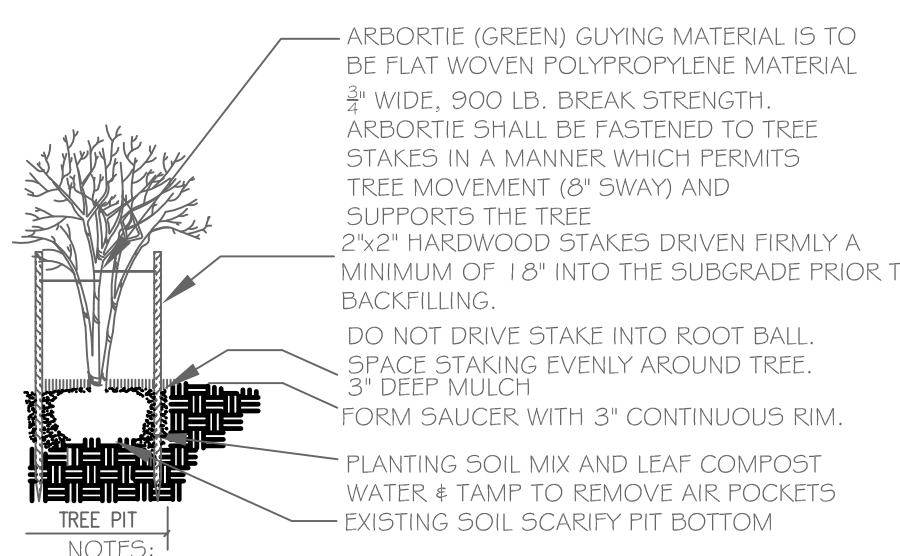


DATE: 7/19/2018 PROJECT # 6098

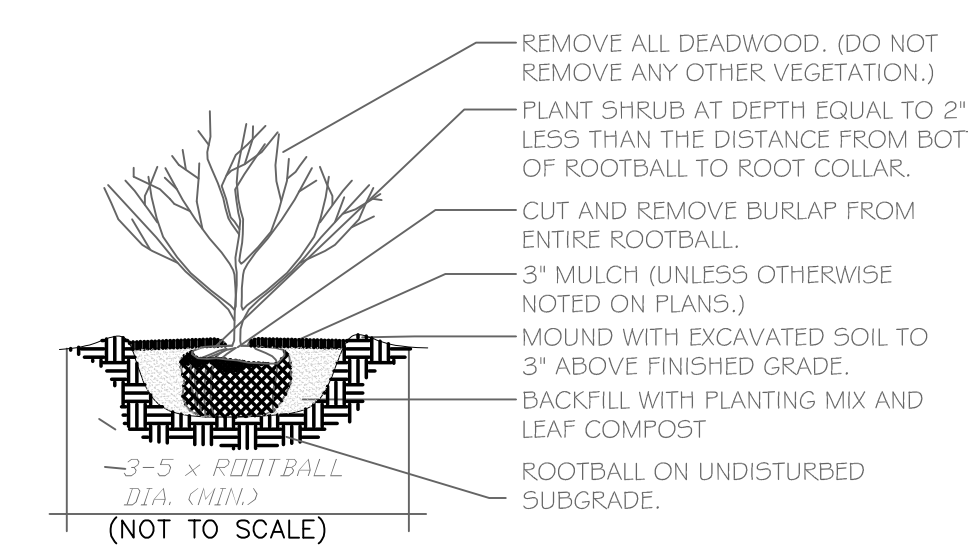
REV.	



- LANDSCAPING NOTES**
1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
 2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
 3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
 4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 6. ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION.
 7. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
 8. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
 9. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
 10. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
 11. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 12. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
 13. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 602 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
 14. LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
 15. SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP: PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SF.
 16. LAWN SEED AREAS SHALL BE NOT BE DEMED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
 17. THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
 18. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
 19. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST. AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL, AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL WET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
 20. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HICKLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
 21. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
 22. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.



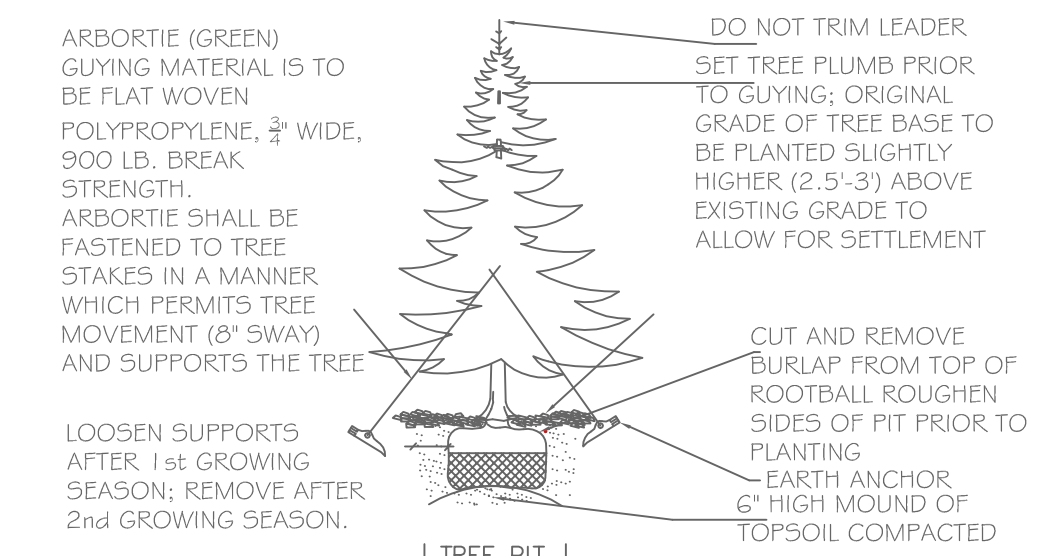
DECIDUOUS TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE

Fold ends of ArborTie back. Secure to stake with 1" galvanized roofing nail or use a knot.

ArborTie nailed to stake



EVERGREEN TREE PLANTING
NOT TO SCALE



Front Elevation - not to scale

- GENERAL SITE NOTES**
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER OF RECORD ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 2. ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 4. ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 5. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 7. THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 8. ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 9. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 10. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 11. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.
- DIG SAFE NOTE:**
- UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).
- THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.
- CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION
1.	09/02/19	Town comments

**PROPOSED SITE
LANDSCAPE PLAN
IN
MEDWAY, MASSACHUSETTS**

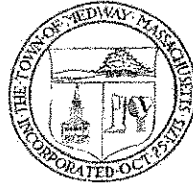
**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053**

PREPARED By: **WDA DESIGN GROUP
31 EAST MAIN STREET
MEDWAY, MA 01581**

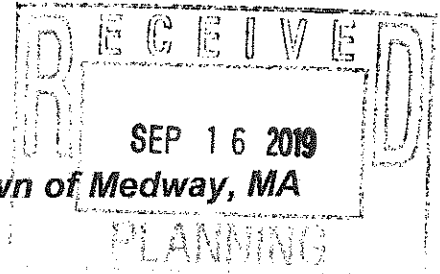
DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: SEPTEMBER 2, 2019

Planting Schedule				
Qty./Key	Common Name	Botanical Name	Size	Remarks
TREES				
7 CK	'Cherokee Brave' Dogwood	<i>Cornus florida 'Cherokee Brave'</i>	3" Col.	B&B
2 HT	'Tardiva' Hydrangea	<i>Hydrangea paniculata 'Tardiva' treeform</i>	#15pot	Container Grown
2 TD	'Deeproot Spire' Arborvitae	<i>Thuja occidentalis 'Deeproot Spire'</i>	6" Ht.	B&B
34 TG	'Green Giant' Arborvitae	<i>Thuja x plicata 'Green Giant'</i>	6" Ht.	B&B
SHRUBS				
2 CH	'Golden Mops' Hinoki Cypress	<i>Chamaecyparis obtusa 'Golden Mops'</i>	24" Ht.	B&B
6 HQ	'Pee Wee' Hydrangea	<i>Hydrangea quercifolia 'Pee Wee'</i>	24" Ht.	B&B
1 HP	Golden Cup St. John's Wort	<i>Hypericum Hidcote</i>	24" Ht.	B&B
9 JV	'Taylor' Red Cedar	<i>Juniperus virginiana 'Taylor'</i>	60" Ht.	B&B
6 LE	'Coast' Leucothoe	<i>Leucothoe axillaris</i>	24" Ht.	B&B
2 MP	Northern Bayberry	<i>Myrica pensylvanica</i>	24" Ht.	B&B
1 PH	'Summerwine' Purple Ninebark	<i>Physocarpus opulifolius 'Summerwine'</i>	24" Ht.	B&B
1 SY	'Bloomerang' Lilac	<i>Syringa x Bloomerang</i>	#3 Pot	Container Grown
1 VL	Chicago Lustre' Viburnum	<i>Viburnum dentatum 'Chicago Lustre'</i>	6" Ht.	B&B
PERENNIALS				
6 HA	'Aureola' Hakone Grass	<i>Hakonechloa macro 'Aureola'</i>	#3 Pot	Container Grown



Planning & Economic Development Board - Town of Medway, MA

SITE PLAN REVIEW



Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw and the Board's Rules and Regulations for the Submission and Review of Site Plans

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

Sept 4, 2019

APPLICANT INFORMATION

Applicant's Name: Simpson Pond LLC

Mailing Address: P.O. Box 5

Medway MA 02055

Name of Primary Contact: Maria Varrichone

Telephone: Office: _____ Cell: 508-561-6048

Email address: Dreamhomes111@aol.com

☐ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: Evergreen Village

Plan Title: 22 Evergreen St

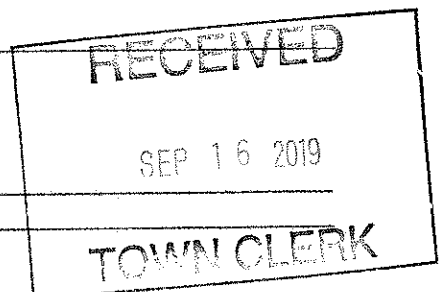
Plan Date: 9/2/19

Prepared by: Name: Ronald Tiberi PE

Firm: _____

Phone #: 508 341-5077

Email: RTIB@comcast.net



PROPERTY INFORMATION

Location Address: 22 Evergreen St

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel # 51

Total Acreage of Land Area: 62554 SF

General Description of Property: Residential land, sloping front to back

Medway Zoning District Classification: AR-II Residential II

Current Use of Property: Residential

Length of Existing Frontage: 171' On what street? Evergreen

Setbacks for Existing Structure (if applicable) Recently Reized

Front: 24

Side: 59

Back: 269

Side: 53

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

☒ Yes ☐ No If yes, please name street: Evergreen

Historic District

Is any portion of this property located within a Medway National Register Historic District?

☐ Yes - Rabbit Hill ☐ Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☒ No

Flood Plain

Is any portion of the property within a Designated Flood Plain? ☐ Yes ☒ No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: Evergreen Village

Major Site Plan Review applies to the following. Please check all that apply.

- ☒ a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which involves one or more of the following:
- i. the addition of 2,500 square feet or more of gross floor area; or
 - ii. the addition of twenty or more new parking spaces
- ☐ b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of twenty or more new parking spaces

- _____ c. The redesign of the layout/configuration of an existing parking area of forty or more parking spaces
- _____ d. Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas
- _____ e. Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface

SPECIAL PERMIT - Will this project also require a variance or special permit from the Zoning Board of Appeals?

☒ Yes _____ No

Explanation: Multi-family Housing Special Permit

SPECIAL PERMIT - Will this project also require a special permit from the Planning and Economic Development Board?

☒ Yes _____ No

Explanation: _____

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: John T Sheen III & Cynthia Sheen

Mailing Address: 9 Pine Ridge Way
Carver MA 02830

Primary Contact: Cynthia Sheen

Telephone: Office: 508-465-1987 Cell: 508-498-6291

Email address: cynthi.covesmedway@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: Murray W. Heister to John & Cynthia A. Sheen dated Nov. 9, 1989 and recorded in Norfolk County Registry of Deeds, Book 8482 Page 89 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: Ronald Tiberti

Mailing Address: 9 Mass Ave
Natick MA 01760

Primary Contact: _____

Telephone: Office: 508-361-5077 Cell: 617-592-6122

Email address: RTIB@COMCAST.NET

Registered P.E. License #: 34773

SURVEYOR: Cheney Engineering
Mailing Address: 33 Hellen St
Needham MA 02494
Primary Contact: Ardi Rapi
Telephone:
Office: 781-444-2188 Cell: 617-797-3132
Email Address: Ardi.rapi@cheney-eng.com
Registered P.L.S. License #: 33953

ARCHITECT: Daniel Lewis AIA
Mailing Address: 322 Whitney St
Northborough MA 01582
Primary Contact: Dan Lewis
Telephone:
Office: 508-612-8771 Cell: _____
Email address: dan.lewis@charter.net
Registered Architect License #: ~~1561~~ 6096

LANDSCAPE ARCHITECT/DESIGNER: WDA Design Group
Mailing Address: 31 East Main St
Westborough MA 01581
Primary Contact: Larry Green
Telephone:
Office: 508-366-6552 Cell: _____
Email address: Lgreen@wda-dg.com
Registered Landscape Architect License #: 1561

ATTORNEY: WILLIAM PEZZONI - DAY PITNEY, LLP
Mailing Address: ONE INTERNATIONAL PLACE
BOSTON, MA 02110
Primary Contact: WILLIAM PEZZONI
Telephone:
Office: 617-345-4777 Cell: 508-733-1576
Email address: WPEZZONI@daypitney.com

OFFICIAL REPRESENTATIVE INFORMATION

Name: _____

Address: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

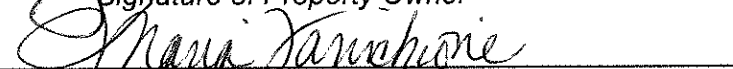
In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.


Signature of Property Owner

9-14-19
Date


Signature of Applicant (if other than Property Owner)

9-14-19
Date

Signature of Agent/Official Representative

Date

MAJOR SITE PLAN FEES

Filing Fee

For projects up to 4,999 sq. ft. /gross floor area = \$750 plus \$.25/sq. ft.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,000 plus \$.25/sq. ft.
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,500 plus \$.25/sq. ft.
For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

For projects up to 4,999 sq. ft. /gross floor area = \$1,000 deposit.
For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,500 deposit
For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$2,000 deposit
For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

October 3, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: EVERGREEN VILLAGE MULTIFAMILY SPECIAL PERMIT/SITE PLAN

Dear Mr. Rodenhiser:

I have reviewed the proposed multifamily housing special permit and site plan, for 7 townhouse units on Evergreen Street. The applicant is Sampson Pond, LLC of Medway. The owners are John and Cynthia Shea of Carver, MA.

The proposal is to construct 7 townhouse units in one triplex and one quad building on 62,534 square feet including associated parking, drainage, landscaping, etc. The plan was prepared by Ronald Tiberi of Natick. The plan is dated September 5, 2019.

The property is located at 22 Evergreen Street in the AR-II, and Multifamily Overlay zoning districts.

ZONING

Multifamily Housing (Section 5.6.4)

1. The site is within the Multifamily Housing Overlay District (Section 5.6.4) and thus eligible for a project.
2. The site has more than 50 feet of frontage on Evergreen Street, which has sufficient capacity to handle the additional traffic flow from 7 units. At 62,534, it also meets the minimum area requirement of 22,500 square feet
3. The plan shows a minimum setback of 33.1' from Evergreen Street for the quad building while the triplex is set back 33.3'. The front setback for the AR-II district is 35 feet. The Multifamily Housing bylaw allows the PEDB to adjust dimensional requirements via a 4/5 vote. Such a vote would be needed for this plan to be approved. It should be noted that the table on the cover sheet of the plan set indicates that the front setback is 35. The side and rear setbacks appear to meet the required 15 feet. Lines that appear to be setback lines are shown on the plans but are not labeled and do not show dimensions.
4. The building heights are not shown specifically but the plans indicate they will be 38', under the maximum height limit of 40 feet.
5. The maximum density for multifamily projects is 12 units per acre. With 62,534 square feet (1.44 acres), the site is eligible for 12 units. At 7, the project is under the maximum.

6. The plans indicate that the plans comply with building coverage (16.5% vs. 30% allowed), and impervious surface (29% vs. 40% allowed), and parking (2 per unit vs. 1.5 required). However, the table on the cover sheet indicates no required building or impervious surface coverage requirement. The minimum open space or yard area (minimum required of 15%) is also met.
7. At 7 units, 10% (.7 rounded up to 1) of the units must be affordable. One affordable unit is proposed.
8. Section 5.6.4 E. 7 requires historic properties determined to be a “historically significant building” by the Medway Historical Commission shall not be demolished unless certain criteria are met. The original application had indicated that such a building would be razed. That application was withdrawn, the building demolished, and a new application filed.

Other

9. No photometric plan for lighting has been provided to document that the project complies with the Section 7.1.2 (Outdoor Lighting) of the Bylaw. A lighting plan is listed on the cover sheet but not included in the plan set.
10. No signage is shown on the plans. Any project development or other signs must be shown on the plan.
11. A stone wall is proposed to be reconstructed. Since Evergreen Street is a Scenic Road, an application has been filed to approve the wall reconstruction.

SITE PLAN REGULATIONS

(Note: Site plan issues that have been addressed above are not repeated in this section).

12. Section 204-5 B.1 requires a Site Context sheet indicating features within 2000 feet of the perimeter of the site. This was not provided and no waiver was requested.
13. Section 204-5 C (3) requires an Existing Landscape Inventory. This was not provided and no waiver was requested.
14. Section 205-2 G & H require that ground floor facades have arcades, display windows, entry areas, canopies, awnings or other such features with pleasing aesthetics along 60% of their length and architectural features that provide visual interest at the pedestrian scale and detailing to avoid “massive aesthetic effects.” The elevations indicate that the buildings have some of these features, but clearly not along 60% of the façade. The most prominent and dominant architectural feature of the proposed buildings are garage doors. Perhaps adding some architectural interest to them would at least downplay their significance.
15. Section 205-6 H requires vertical granite curbing “or similar type of edge treatment to delineate the parking lot.” The plan indicates Cape Cod berm and a waiver was requested for this.
16. A waiver was requested to allow 22’ for a driveway aisle rather than 24.’

GENERAL COMMENTS

17. The landscape plan appears to be adequate. It includes a row of arborvitaes along each side lot line as screening, as well as decorative plantings along the frontage and in front of each unit. The project also includes a community garden area.

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.



October 7, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: Evergreen Village
Multi-Family Special Permit Site Plan Review
22 Evergreen Street
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 22 Evergreen Street in Medway, MA. The Project includes construction of seven units within two townhouse structures with parking garages and associated driveways. A site roadway will be constructed with appurtenant stormwater infrastructure and utilities

TT is in receipt of the following materials:

- A plan (Plans) set titled "Evergreen Village, 22 Evergreen Street, Medway, MA", dated September 5, 2019, prepared by Ronald Tiberi, P.E. (RT).
- An Application for Major Site Plan Approval dated September 4, 2019, prepared by RT.
- A Multifamily Housing Special Permit Application dated September 4, 2019, prepared by RT.
- A Medway Scenic Road Work Permit Application – Part 1 dated September 2019, prepared by RT.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

Site Plan Review

1. The Applicant has not supplied a written Project Description. (Ch. 200 §204-3.A.6)
2. The Applicant has not supplied a written Development Impact Statement with appurtenant traffic, environmental, community and parking impacts. (Ch. 200 §204-3.A.7)
3. A list of waivers has not been submitted. However, several waivers have been included on the coversheet of the Plans. (Ch. 200 §204-3.A.8)
4. The Plans have been drawn at a scale of 1"=20' which does not comply with the Regulations. However, the scale of the Plans as presented is sufficient to adequately present the Project. (Ch. 200 §204-4.B)
5. The Applicant has supplied a benchmark with reference to a "town datum" we are unaware of any town datum and the Regulation require the Plans to be on NAVD 88. (Ch. 200 §204-4.D)
6. The lot lines presented do not have metes and bounds shown. (Ch. 200 §204-5.B.3)

7. The wetland buffer located to the south has not been labeled. (Ch. 200 §204-5.C.2)
8. The Applicant has supplied location of existing trees but no descriptions to determine sizes of the trees. (Ch. 200 §204-5.C.3)
9. Dimensioning of proposed buildings has not been provided. (Ch. 200 §204-5.D.1)
10. Dimensioning of proposed parking has not been provided. (Ch. 200 §204-5.D.2)
11. Proposed contour lines have been provided but have not been labeled. Furthermore, existing grades have not been shown on the Grading Plan. (Ch. 200 §204-5.D.4)
12. The Applicant has not supplied a Proposed Site Utilities Plan. The plan should include proposed utilities as well as existing utilities and how existing services into the site will be discontinued. (Ch. 200 §204-5.D.6)
13. Dimensions of the units have not been supplied on the Architectural Plans. (Ch. 200 §204-5.D.8)
14. The Applicant has supplied renderings of the proposed units but not the overall project with the required views. Furthermore, the renderings are presented in grayscale and shall be provided in color for context. (Ch. 200 §204-5.D.9)
15. A lighting plan has not been submitted. Details or proposed lighting have not been presented in the Plans. (Ch. 200 §204-5.D.13)
16. Sight distances should be provided which reflect the proposed work at the entrance to the site. It appears the site distance triangle intercepts proposed fence and landscaping provided on the Landscape Plan Sheet L-1. (Ch. 200 §204-5.D.14)
17. Fire Hydrants have not been proposed for the Project. The Applicant should provide confirmation from Medway Fire Department that the Project has been reviewed by the Department and all requests have been proposed. (Ch. 200 §204-5.D.16)
18. The proposed driveway does not appear to intersect Evergreen Street at a 90° angle. (Ch. 200 §205-3.B.3)
19. The Applicant has not labeled proposed curb type on the Plans. (Ch. 200 §205-3.B.6)
20. Sidewalks have not been proposed as part of the Project. (Ch. 200 §205-3.D.1)
21. As stated in Comment 12, the Applicant has not supplied a Site utilities Plan. All utilities shall be located underground. (Ch. 200 §205-5)
22. The Applicant has not supplied a roadway cross-section to confirm proposed pavement thickness. (Ch. 200 §205-6)
23. The Proposed Vehicle Emergency Access Plan provided does not address the turning movements which may be required for emergency vehicles to turn around within the development. We anticipate emergency vehicles would have to reverse the vehicle which may not be a desired egress from the site by the Fire Department. (Ch. 200 §205-6.E)
24. The Applicant has proposed a 22-foot development roadway which does not meet the minimum 24-foot wide standard. (Ch. 200 §205-6.I)
25. We do not anticipate the snow removal area provided will be sufficient to accommodate the development. The density of the development may limit normal snow removal operations and require off-site mitigation of snow from the site. (Ch. 200 §205-7)

26. Proposed trees are not included on the approved list located in the Regulations. (Ch. 200 §205-9.B.1)
27. The applicant has not supplied a landscape inventory which includes sizes of trees to be removed from the site as a result of the Development. The Applicant shall provide a tree replacement calculation to ensure new replacement trees are provided at the correct rate. (Ch. 200 §205-9.F)

General Comments

28. The Plans are difficult to follow and require some level of revision to ensure all linework is included and proposed at proper hierarchies to ensure reviewers can differentiate between existing and proposed information.
29. We recommend the Applicant propose a stop sign and stop line markings at the proposed intersection with Evergreen Street. Street name signage should also be proposed. We recommend the Applicant coordinate with the town safety officer to confirm signage requirements.
30. Proposed construction entrance is located above one of the rooftop infiltration units. We do not recommend this as these structures should not be driven over unless proper care has been taken to properly backfill and ensure loading requirements have been met. Furthermore, a construction entrance detail has not been provided.
31. We recommend the Applicant provide a roadway profile with utilities shown.
32. There is no proposal for how existing curb cuts will be mitigated. The Applicant shall provide Plans that convey all work to be completed as part of the Project.
33. The Applicant has shown the proposed scale in word form on each sheet, however we recommend the Applicant place a bar scale on each sheet.
34. Site location on locus map is not lining up with the property line.
35. There is a random block showing up on multiple sheets which we believe does not belong, please QC all plans to ensure they are clean and legible.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The Applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

P:\21583\143-21583-20001 (PEDB EVERGREEN VILLAGE)\DOCS\EVERGREEN VILLAGE-PEDBREV(2019-10-07).DOCX



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

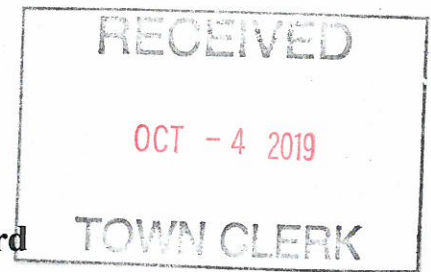
**NeoOrganics Marijuana Cultivation
Facility at 4 Marc Road – Special Use
Permit, Minor Site Plan and
Groundwater Special Permit**

- Public Hearing Continuation Notice to Town Clerk
- Excerpt from 8-27-19 PEDB meeting minutes – First night of NeoOrganics public hearing
- Mullins Rule certification from Matt Hayes for absence from the 8-27-19 hearing
- Revised site plan dated 9-19-19 by DGT Engineering
- Revised Floor Plan dated 9-9-19 by Anderson Porter Design
- Photometric Plan dated 9-23-19 by Illuminate
- Additional Waiver Request dated 9-10-19 re: Development Impact Statement
- Revised Site Plan submittal letter dated 9-19-19 from DGT Engineering
- DGT Engineering response letter dated 9-26-19 to previous Tetra Tech review comments
- Tetra Tech review letter dated 9-27-19 on revised site plan
- PGC review letter dated 10-3-19 on revised site plan

- NEO Odor Mitigation Plan by Impact Engineering dated 9-12-19
- NEO Odor Mitigation Plan review comments from Straughan Forensic (Board's consultant) dated 10-2-19
- NeoOrganics Noise Plan – Updated 9-27-19
- Acentech Noise Mitigation Plan letter dated 9-25-19
- NEO Noise Mitigation Plan Review Comments – Ron Dempsey of Noise Control Engineering (Board's review consultant) dated 10-3-19
- NEO Security Plan. NOTE – I have forwarded this to Chief Tingley and asked for comments.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053




Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

MEMORANDUM

October 3, 2019

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator 

RE: **Public Hearing Continuation: Neo Organics, LLC - 4 Marc Road**
CONTINUATION DATE: Tuesday, October 8, 2019 at 7:45 p.m.
LOCATION: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on September 24, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of Neo Organics LLC of Sudbury, MA for approval of a special use permit to operate an adult recreational marijuana cultivation and processing establishment at 4 Marc Road, a groundwater protection district special permit, and the associated minor site plan to Tuesday, October 8, 2019 at 7:45 p.m. The hearing will take place during the PEDB's regular meeting in Sanford Hall at Medway Town Hall, 155 Village Street.

The applicant proposes to use the existing 29,718 sq. ft. industrial manufacturing building at 4 Marc Road (Map 32, Parcel 026) for the cultivation, manufacturing, processing, and packaging of marijuana for adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities. A retail marijuana operation open to the public is NOT proposed for this property.

The 6.68 acre property, currently owned by NEK, LLC of Camas, WA, is located on the north side of the Marc Road cul-de-sac in the East Industrial Zoning District. The subject property is west and north of property owned by Ellen Realty Trust and south and east of property owned by John and Anne Lally. The property is located within the Town's Groundwater Protection District. The site includes wetland resources in its northeast corner which are under the jurisdiction of the Medway Conservation Commission with which the applicant has already filed a Notice of Intent. 24.4% of the site will be impervious surface, thus necessitating a Groundwater Protection District special permit.

The planned scope of work includes interior renovations to the existing building to accommodate the new use, construction of a 3,000 sq. ft. outside concrete mechanical pad to house some HVAC and odor control equipment, construction of a dumpster pad with associated fencing, installation of a series of stormwater management measures (recharge/infiltration system and sub-surface stormwater treatment units), maintenance excavation and clean-up of the existing manmade drainage ditch, and installation of associated erosion and sedimentation controls during construction. The planned work is shown on *Permit Site Plan for 4 Marc Road*, dated August 6, 2019, last revised September 19, 2019, prepared by DGT Associates Surveying and Engineering of Framingham, MA.

The permit applications, site plan, noise and odor mitigation plans, and other associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's web page at:

<https://www.townofmedway.org/planning-economic-development-board/pages/neo-organics-4-marc-road-marijuana-special-permit>

If Town staff, boards and committees wish to provide comments on the proposed use and site plan, please do so by October 8th so that I can enter them into the record before the hearing.

Please contact me if you have any questions. Thanks.

- Decision modification to extend to Medway Green completion deadline to 12-21-19.
- Updated bond estimate from Tetra Tech dated 8-23-19.

Developer Mark Heavner was present. The applicant is requesting a bond reduction for the completed work at Medway Green. Mr. Heavner explained that all the exterior site work should be completed by the end of October 2019. The required completion date is December 21, 2019. There was discussion about having the Building Inspector hold the occupancy permits until the exterior work is completed. The applicant informed that Board that he has been trying for over 13 months to get the affordable unit sold. He did learn recently that the Department of Housing and Community Development has approved the marketing plan and regulatory agreement and the lottery process will begin soon. The Board communicated that this is not fair to the applicant and this process with the affordable units needs to run more smoothly. There was a suggestion to bring this situation to the SWAP meeting in September which has affordable housing as an agenda item.

On a motion made by Bob Tucker and seconded by Tom Gay, the Board voted unanimously to reduce the bond to \$47,250.00 for Medway Green.

PLAN REVIEW FEE ESTIMATE – MARZILLA LANDSCAPE SITE PLAN & GROUNDWATER SPECIAL PERMIT:

The Board is in receipt of the following documents: (See Attached)

- Tetra Tech estimate dated August 21, 2019 for \$3,378.
- PGC Associates estimate dated August 21, 2019 for \$950

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to approve the plan fee estimates for Marzilla Landscape Site Plan and Groundwater Special Permit as presented.

NEO ORGANICS LLC ADULT RECREATIONAL MARIJUANA SPECIAL PERMIT AND SITE PLAN – PUBLIC HEARING

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to open the public hearing for Neo Organics LLC.

The Chairman read a narrative about the rules and procedure for conducting the public hearing. (See Attached).

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to waive the reading of the public hearing notice.

The Board is in receipt of the following documents: (See Attached)

- Public Hearing Notice dated August 9, 2019
- Building Photo from Assessor's records
- Recreational Marijuana Special Permit application & narrative
- Architectural Floor Plan

- Preliminary Odor Control Plan
- Preliminary Noise Control Plan
- Transportation Policy
- Straughan Forensic Review Letter dated August 21, 2019 re: preliminary odor control plan
- Noise Control Engineering review letter dated August 21, 2019 re: preliminary noise control plan
- Groundwater Protection Special Permit Application and narrative
- Site Plan application and narrative
- Site Plan dated August 6, 2019 by DGT Associates.
- Request for Waivers
- Tetra Tech review letter dated 8-22-19
- PGC review letter dated 8-20-19
- Review comments from Building Commissioner Jack Mee dated 8-16-19
- Host Community Agreement dated March 4, 2019 between Neo Cultivation MA LLC and NEO Manufacturing MA LLC and the Town of Medway

The applicant is NeoOrganics of Sudbury, MA. Present for the applicant was Adam Patti, Chad Blair and Jaime Lewis. Bert Corey and Joe Losanno of project engineer DGC Associates were also present. The applicant proposes to use the existing 29,718 sq. ft. industrial manufacturing building at 4 Marc Road for cultivation, manufacturing, processing and packaging of marijuana for adult recreational use and the delivery of such products off site to retail marijuana establishments in other communities. The site is 6.68 acres and is currently owned by NEK, LLC. The site does have wetland resources in its northeast corner which are under the jurisdiction of the Conservation Commission. The applicant has indicated that they have filed a Notice of Intent with the Conservation Commission. It was explained that 24.4% of the site will be impervious surface which triggers the Groundwater Protection Special Permit. The plans include renovations to the interior building to accommodate the new use. There will be construction of a 3,000 sq. ft. outside concrete mechanical pad which will house some HVAC and odor control equipment and construction of a dumpster pad with associated fencing. The HVAC system noise plan will include a closed loop system with limited exhaust fitted with silencers. The fans will be fitted with silencing devices to prevent breakout noise.

The stormwater system will include the installation of a recharge/infiltration system and sub-surface stormwater treatment units. There will be one recharge infiltration system and three proprietary stormwater treatment units. There will also be installation of oil and debris traps in all existing catch basins on-site.

The applicant is seeking the following waivers from the Site Plan Rules and Regulations

- Section 204-4. B. Standards for Site Plan Preparation - Site Context Sheet (Board ok with waiving)
- Section 204-4. C.3 – Standards for Site Plan Preparation – Existing Landscape Inventory (Board wants larger trees inventoried)

- Section 204-4. D.7 – Standards for Site Plan Preparation – Completing a Landscape Architectural Plan
- Section 204-4. D.12 – Standards for Site Plan Preparation – Completing a Signage Plan. (Board fine with waiving)
- Section 204-4. D. 13 – Standards for Site Plan Preparation – Lighting Plan – (Board wants to see a plan showing no light spillage off the property).

Public Comments:

Resident John Lally, 35 Coffee Street:

Mr. Lally wanted to know if the 3,000 sq. ft. pad with HVAC equipment could be placed on the east side of the building instead of the west side. Mr. Lally's property is immediately to the west of the 4 Marc Road site.

Resident Edward Burns, 43 Coffee Street:

She is concerned that the current noise at the 2 Marc Road site (CommCan) is not resolved and this additional use will only make it worse.

On a motion made by Tom Gay, and seconded by Bob Tucker, the Board voted unanimously to continue the hearing to September 10, 2019 at 8:30 pm.

WINGATE FARM SUBDIVISION – Discussion on Next Steps

Property owner Karyl Spiller-Walsh was present.

The Board is in receipt of the following documents: **(See Attached):**

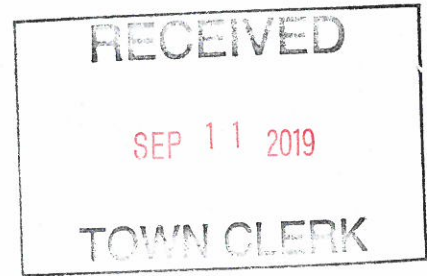
- Email dated 6-20-19 from Karyl Spiller-Walsh re: next steps
- Chronology of Wingate Farm Subdivision
- Subdivision Modification Decision dated 4-28-2005
- Subdivision Covenant dated 10-30-2007
- Confidential email from Town Counsel dated 10-2-2017
- Tetra Tech inspection report & bond estimate dated 12-7-2017
- Chapter 81W language re: subdivision approval modification
- Tetra Tech review letter dated 3-23-18 re: compliance of the 2005 Wingate Farm Plan with the standards of the current Subdivision Rules and Regulations adopted in 2006.
- 1-22-19 email from Fire Chief Jeff Lynch

Karyl Spiller Walsh was present to discuss the options for the Wingate Farm Subdivision. Ms. Spiller Walsh indicated that she does not believe that this modification fits the current true definition of a modification. She indicated that personal hardships faced during the time when the project timeline ran out has prevented them from finishing the project. It is also her opinion that the pre-existing conditions on the site conditions are gone due to the subdivision infrastructure work which has been completed. The majority of the work on the plan has been completed. Steve Bouley did create a punch list of items in 2017 which need to be addressed.

The Board discussed the possible options to take regarding this subdivision.



Town of Medway, Massachusetts



**CERTIFICATION
PURSUANT TO G.L. c. 39, Section 23D
OF PARTICIPTION IN A SESSION OF AN
ADJUDICATORY HEARING
WHERE THE UNDERSIGNED MEMBER MISSED
A SINGLE HEARING SESSION**

Note: This form can only be used for missing a single public hearing session.
This cannot be used for missing more than one hearing session.

I, Matthew J. Hayes (name), hereby certify under the pains and penalties of perjury as follows:

1. I am a member of Planning + Economic Development Board

2. I missed a public hearing session on the matter(s) of: Neo Organics
4 Marc Road

which was held on August 27, 2019

3. I have reviewed all the evidence introduced at the hearing session that I have missed which included a review of (initial which one(s) is/are applicable):

- a. _____ audio recording of the missed hearing session; or
- b. mjh video recording of the missed hearing session: or
- c. _____ a written transcript of the missed hearing session.

This certification shall become part of the record of the proceedings in the above matter.

Signed under the pains and penalties of perjury this 10 day of September, 20 19.

[Signature]
(Signature of Board Member)

Received as part of the record of the above matter:

Date: September 10, 2019

By: Seamus O'Brien

Position: Planning + Economic Development Coordinator

PERMIT SITE PLAN

4 MARC ROAD MEDWAY, MASSACHUSETTS 02053 for NEO ORGANICS LLC

GENERAL NOTES

- ELEVATIONS SHOWN HEREON REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
- TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9/19, 6/24/19 AND 7/2/19.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS.
- IN CASES WHERE LEDGE, BURIED FOUNDATIONS OR BOULDERS ARE PRESENT, DGT ASSOCIATES SHALL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK OR CONCRETE ENCOUNTERED.
- DGT ASSOCIATES SHALL BE NOTIFIED OF ANY SIGNIFICANT DIFFERENCES IN THE EXISTING CONDITIONS OR UTILITIES THAT MAY AFFECT THE CONSTRUCTION SHOWN ON THIS PLAN FOR ANY NECESSARY PLAN REVISIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ANY EXISTING FEATURES DAMAGED DURING CONSTRUCTION THAT ARE NOT INTENDED FOR DEMOLITION AND/OR REMOVAL HEREON.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GRADING AND UTILITY PLAN NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES, OBSTRUCTIONS AND/OR SYSTEMS MAY NOT BE SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AND/OR SYSTEMS WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN HEREON, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN HEREON FOR NEW STRUCTURES ARE PROVIDED TO ASSIST THE CONTRACTOR WITH MATERIAL TAKEOFFS. FINAL RIM ELEVATIONS SHALL MATCH PAVEMENT, GRADING, LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE CONNECTIONS AND STRUCTURES ARE TO BE INSTALLED AT EXISTING UTILITIES, THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ELEVATION PRIOR TO INSTALLATION AND SHALL REPORT ANY SIGNIFICANT DISCREPANCY FROM THE PLAN INFORMATION TO THE ENGINEER.
- WHERE NEW PAVING MEETING EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW PAVING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN AND SMOOTH EDGE.
- PERIMETER EROSION CONTROLS SHOWN HEREON SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE AND SHALL SERVE AS A LIMIT OF WORK, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- ALL EXISTING DRAIN PIPES TO BE JETTED AND ALL EXISTING DRAIN STRUCTURES TO BE VACUUMED WITH A VACTOR TRUCK BEFORE AND AFTER SITE CONSTRUCTION.

REGULATORY NOTES

- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE LOCATION SHOWN HEREON SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, DEMOLITION OR SITE WORK, THE LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING "DIG-SAFE" AT 811.
- THE CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

PLAN INTENT

- THE INTENT OF THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

ZONING

INDUSTRIAL - 1 (I-1)
UNDERLYING ZONING DISTRICT EAST
INDUSTRIAL (EI) & GROUNDWATER
PROTECTION DISTRICT

RECORD OWNER

NEK, LLC

REFERENCES

MEDWAY ASSESSOR'S PARCEL: 32-026
NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 21910 PAGE 102

APPLICANT

NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

DIMENSIONAL REQUIREMENTS

	REQUIRED	EXISTING	PROVIDED
LOT AREA:	20,000 SF	290,884± SF	290,884± SF
LOT FRONTAGE:	100 FT	194.6 FT	194.6 FT
FRONT YARD SETBACK:	30 FT	91.5 FT	91.5 FT
SIDE YARD SETBACK:	20 FT	117.1 FT	117.1 FT
REAR YARD SETBACK:	30 FT	276.7 FT	276.7 FT
BUILDING HEIGHT:	60 FT	15.9 FT	15.9 FT
MAXIMUM IMPERVIOUS COVERAGE:	80 %	23.4 %	24.5 %
MINIMUM OPEN SPACE:	20 %	76.6 %	75.5 %

SITE DATA

	PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING AREA	29,718 SF (10.2 %)	29,718 SF (10.2 %)
PAVEMENT & SIDEWALKS	38,294 SF (13.2 %)	41,530 SF (14.3 %)
TOTAL IMPERVIOUS	68,012 SF (23.4 %)	71,248 SF (24.5 %)
OPEN SPACE & LANDSCAPED AREA	222,872 SF (76.6 %)	219,636 SF (75.5 %)
AREA OF DISTURBANCE = 29,636 SF (10.2 %)		

THE TOTAL AREA OF DISTURBANCE OF 29,636 SQUARE FEET IS ASSOCIATED WITH THE PROPOSED CONCRETE PAD, DRAINAGE SWALE AT WEST SIDE OF CONCRETE PAD AND BUILDING, GRAVEL ACCESS ROAD, SITE DRAINAGE IMPROVEMENTS INCLUDING THE PROPOSED WORK WITHIN THE DRAINAGE DITCH, RE-PAVING AND RE-GRADING OF EMPLOYEE PARKING AND CONCRETE WALKWAY FOR HANDICAP ACCESS, AND FOR TEMPORARY DISTURBANCE AND STAGING AREAS.

PARKING DATA

REQUIRED:		
1 SPACE / 2 EMPLOYEES	13	
1 SPACE / 1,000 SF OF BUILDING	30	
TOTAL REQUIRED	43	
EXISTING:		PROPOSED:
STANDARD SPACES	69	STANDARD SPACES 69
VAN ACCESSIBLE SPACES	0	VAN ACCESSIBLE SPACES 1
STANDARD HANDICAP SPACES	0	STANDARD HANDICAP SPACES 2
TOTAL PROVIDED	69	TOTAL PROVIDED 69

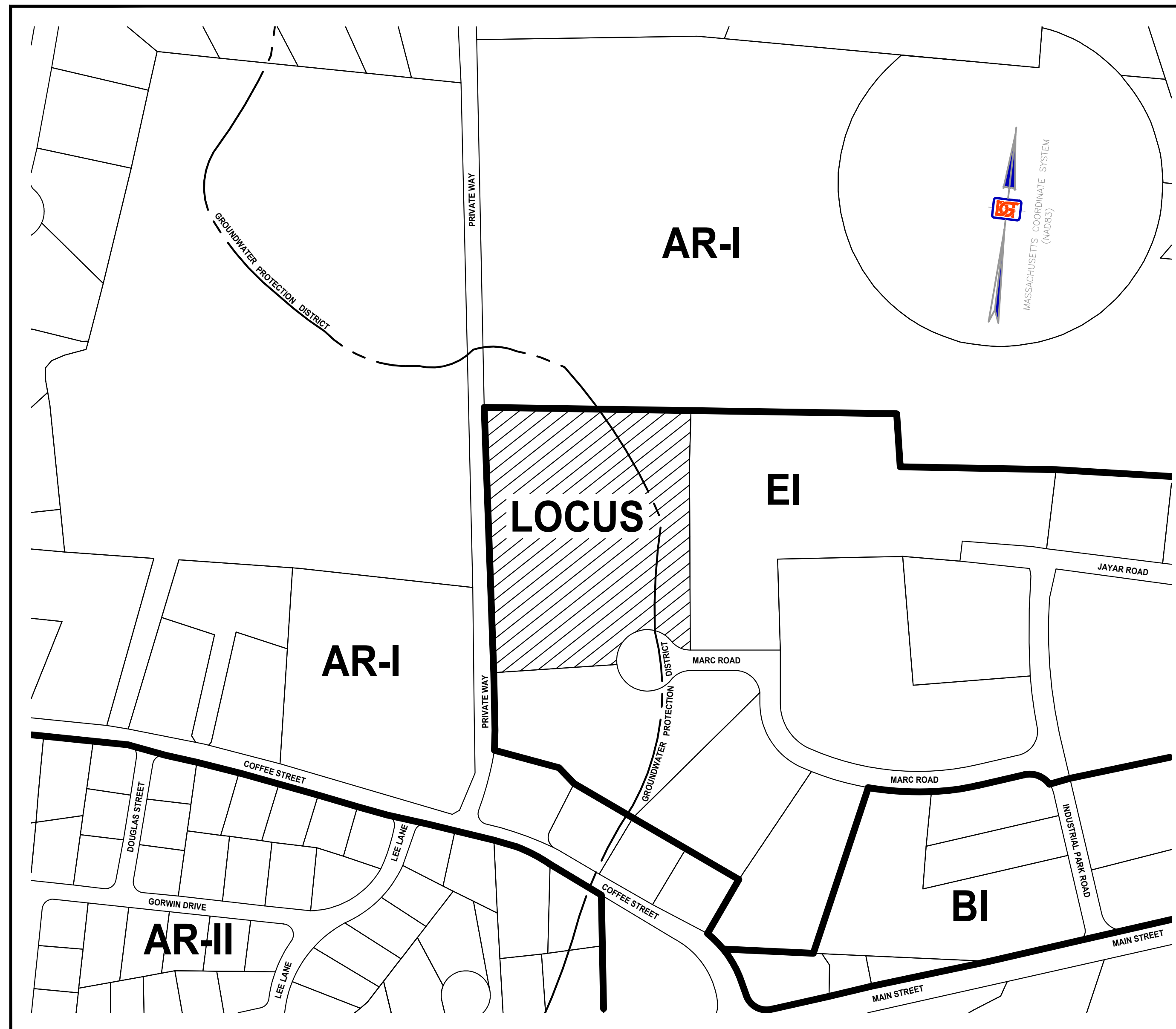
SHEET INDEX

C-1	TITLE SHEET
C-2	EXISTING CONDITIONS PLAN
C-3	PROPOSED CONDITIONS PLAN
C-4	EROSION AND SEDIMENT CONTROL PLAN
C-5	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
C-6	SITE DETAILS #1
C-7	SITE DETAILS #2

REQUESTED WAIVERS

THE FOLLOW WAIVERS FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS ARE REQUESTED:

- CHAPTER 200, ARTICLE IV, SECTION 204-4.B (SITE CONTEXT SHEET)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.C.3 (EXISTING LANDSCAPE INVENTORY)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.7 (LANDSCAPE ARCHITECTURAL PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.12 (SIGNAGE PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-4.D.13 (LIGHTING PLAN)
- CHAPTER 200, ARTICLE IV, SECTION 204-3.A.7 (DEVELOPMENT IMPACT STATEMENT)



LOCUS MAP

1" = 200'

APPLICANT

NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:

MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT



1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: **AS NOTED**

DRAFTED: TMM/JAL	CHECKED: JAL	APPROVED: BEC
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PROJECT TITLE:

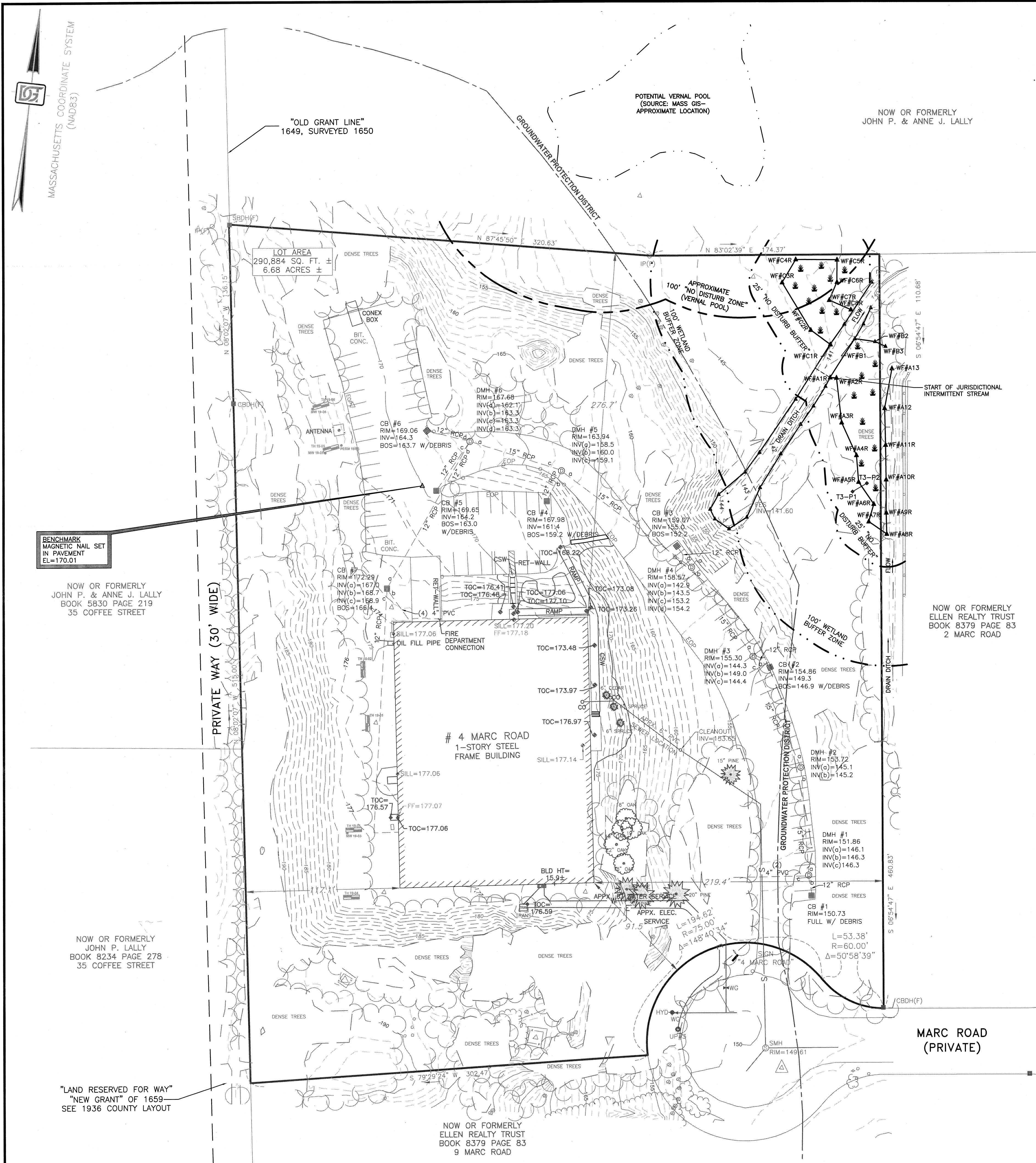
**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

TITLE SHEET

SHEET: 1 OF 7	C-1
PROJECT NO.: 25457	



NOTES

1. RECORD OWNER IS NEK LLC. SEE DEED BOOK 21910 PAGE 102.
2. ELEVATIONS REFER TO NAVD 1988, DETERMINED BY GPS OBSERVATIONS USING GEOID 12B.
3. SEE MEDWAY ASSESSOR'S PARCEL 32-026.
4. THIS PARCEL FALLS WITHIN ZONING DISTRICT I-1.
5. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT ASSESSORS RECORDS.
6. SEE NORFOLK COUNTY REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
7. TOPOGRAPHIC FEATURES, SITE DETAILS AND SIGNIFICANT IMPROVEMENTS DEPICTED HEREON, WERE OBTAINED FROM AERIAL MAPPING BY BLUESKY AND FIELD SURVEYS CONDUCTED BY DGT ASSOCIATES ON 4/9, 6/24, 7/2, 9/4 AND 9/6/2019.
8. THIS TOPOGRAPHIC SURVEY BY DGT ASSOCIATES WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY AFFECT THE MAP ACCURACY.
9. WETLAND DELINEATION WAS CONDUCTED ON 6/27 AND 8/30/2019 BY DGT ASSOCIATES. DELINEATION WAS ADJUSTED WITH CONSERVATION AGENT ON 8/30/2019. ADJUSTED FLAGGING WAS SURVEY LOCATED ON 9/6/2019 AND ARE SHOWN ON THIS PLAN.
10. THIS PARCEL LIES IN ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0142E DATED JULY 17, 2012.
11. AREAS OUTLINED IN RED AND LABELED "DENSE TREES" WERE OBTAINED AND CONTAIN NO TOPOGRAPHIC INFORMATION.
12. LEGAL STATUS OF EASEMENTS, WAYS, AND RESTRICTIONS NOT DETERMINED BY THIS SURVEY.
13. LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES AND COMPILING INFORMATION FROM UTILITY RECORDS. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE ANY CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED CONTACT "DIG-SAFE" AT 1-888-344-7233 OR 811.

LEGEND

- BANK#3 ▲ RIVER BANK FLAG
 - BIT. BITUMINOUS CONCRETE
 - B.M. BENCH MARK
 - CB CATCH BASIN
 - CO CLEAN OUT
 - CONC. CONCRETE
 - DMH DRAIN MANHOLE
 - EM ELECTRIC METER
 - EOP EDGE OF PAVEMENT
 - FF= FINISHED FLOOR ELEVATION
 - HYD HYDRANT
 - INV= INVERT ELEVATION OF PIPE
 - LS LANDSCAPED AREAS
 - MAHW#3 ▲ MEAN ANNUAL HIGH WATER FLAG
 - N/F NOW OR FORMERLY
 - POST POST
 - ROCK OR BOULDER
 - SHRUB SHRUB
 - SIGN SIGN
 - SIGN POST SIGN POST
 - SILL=222.33 SILL ELEVATION
 - SMH SEWER MANHOLE
 - +125.33 SPOT ELEVATION, HARD SURFACE
 - +125.3 SPOT ELEVATION, SOFT GROUND
 - T3-P3 WETLAND TRANSECT BORING
 - TOC=125.33 TOP OF CONCRETE ELEVATION
 - TRANS TRANSFORMER
 - UP UTILITY POLE
 - W/ WITH
 - WF#A2 WETLAND FLAG
 - WG WATER GATE
 - WM WATER METER
- BOUNDARY MONUMENTS OR MARKERS
- (F) FOUND
 - CBDH CONCRETE BOUND WITH DRILL HOLE
 - IP IRON PIPE
 - SBDH STONE BOUND WITH DRILL HOLE

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Surveying & Engineering

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APPLICANT
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:

DATE SIGNED:

ISSUED FOR:

**MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT**

1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: **AUGUST 6, 2019**

SCALE: **1"=40'**

DRAFTED:	CHECKED:	APPROVED:
TMM/JAL	JAL	BEC

PROJECT TITLE:

**NEO CULTIVATION &
MANUFACTURING**

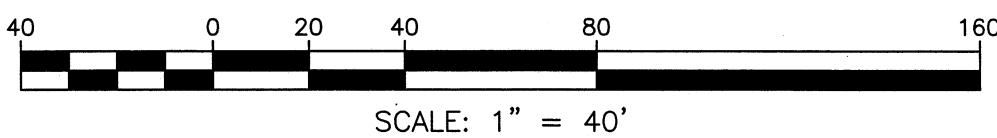
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MEDWAY, MASSACHUSETTS 02053

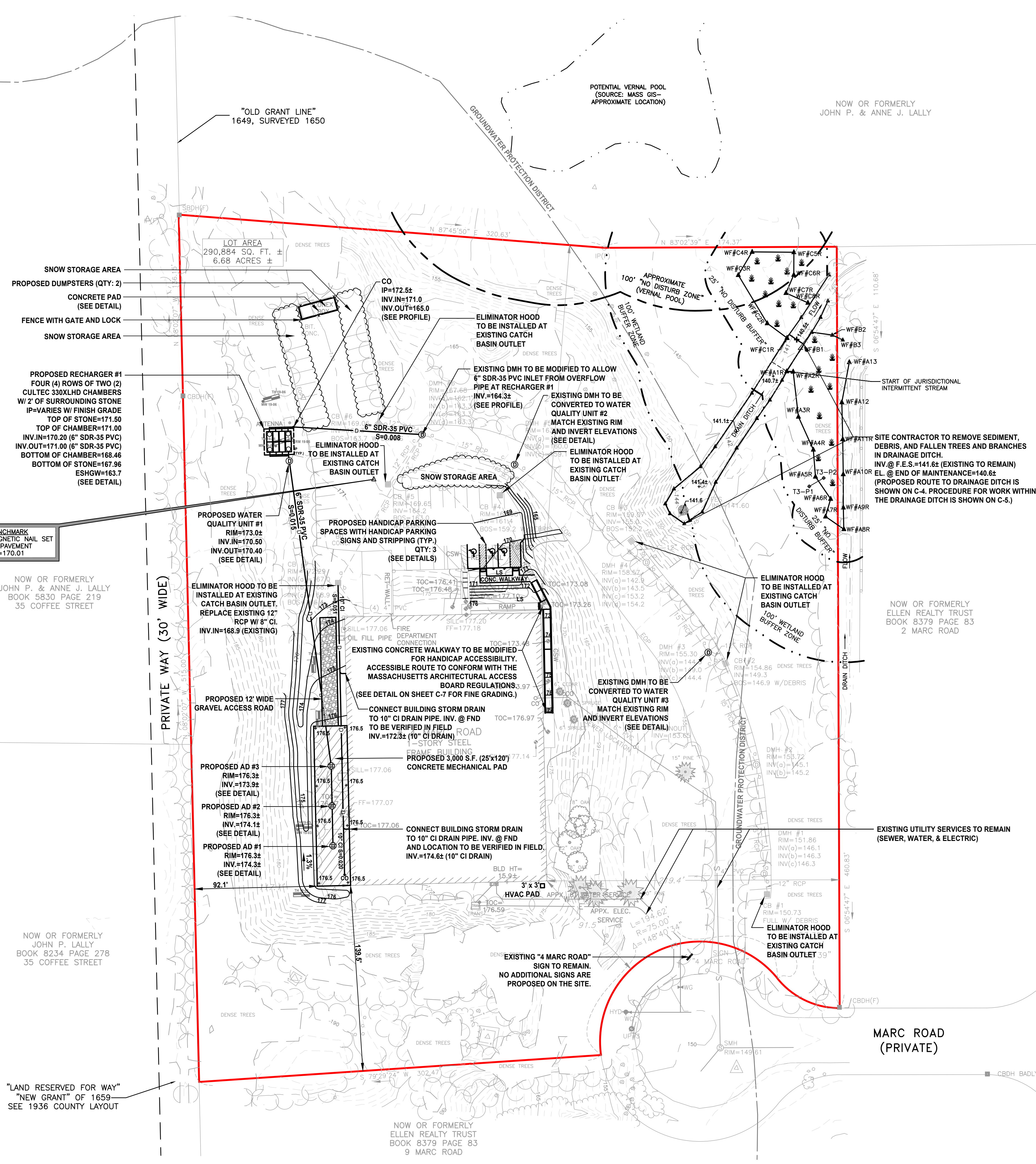
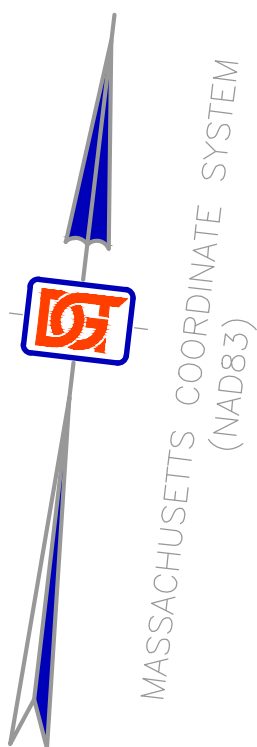
SHEET TITLE:

**EXISTING
CONDITIONS PLAN**

SHEET:	C-2
2 OF 7	
PROJECT NO.:	25457

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- LEGEND**
- D UNDERGROUND DRAIN LINE
 - 100 PROPOSED CONTOUR ELEVATION
 - UNDERGROUND ROOF DRAIN LINE
 - DMH ② DRAIN MANHOLE
 - + 123.3 PROPOSED SPOT GRADE ELEVATION
 - AD ② AREA DRAIN
 - CO ② CLEANOUT
 - TYP. TYPICAL
 - QTY. QUANTITY
 - PVC POLYVINYL CHLORIDE
 - CI CAST IRON
 - FND FOUNDATION
 - LS LANDSCAPE
 - CONC. CONCRETE
 - IP INSPECTION PORT
 - S=0.020 SLOPE
 - INV. INVERT
 - F.E.S. FLARED END SECTION
 - TEST PIT
 - PROPOSED SIGN POST



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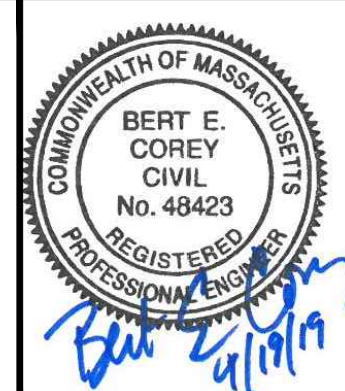
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TMM/JAL	JAL	BEC

PROJECT TITLE:

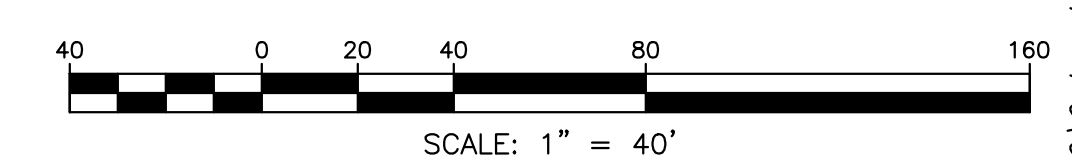
**NEO CULTIVATION &
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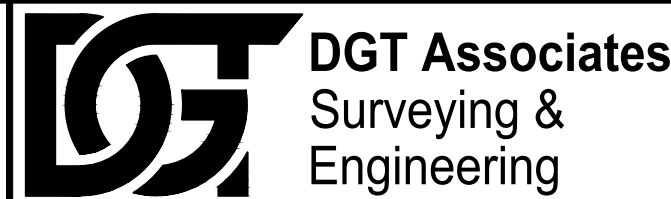
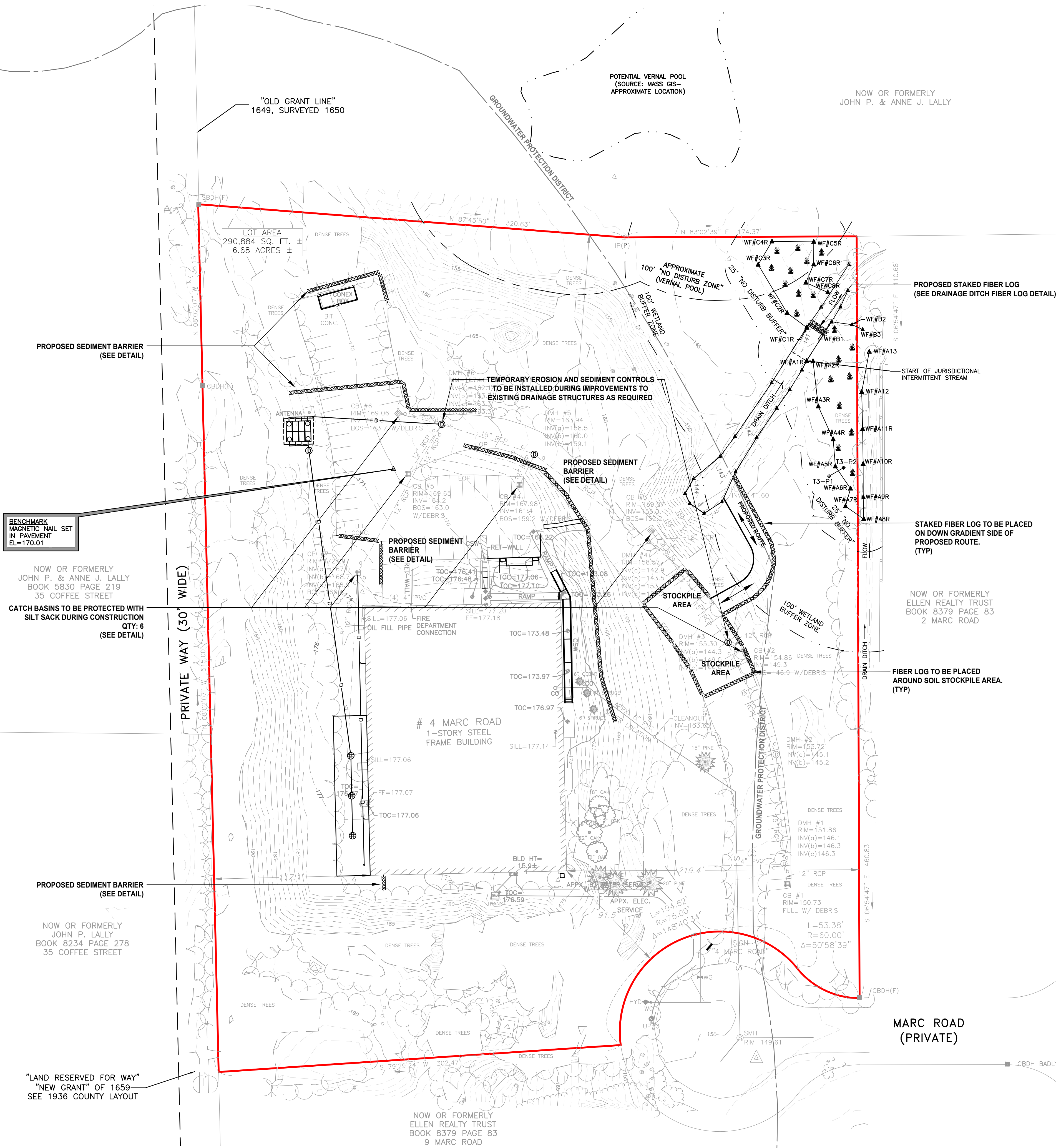
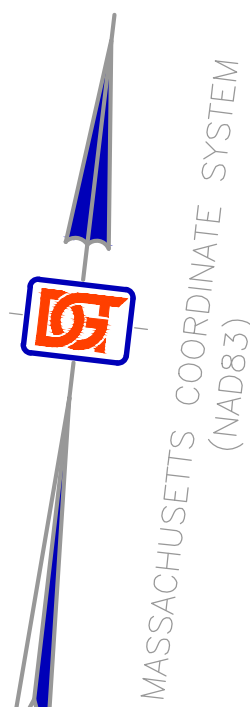
SHEET TITLE:

PROPOSED SITE PLAN

SHEET: 3 OF 7	C-3
PROJECT NO.: 25457	
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G:\Carson Jobs\25457\Correspondence\To Client\2019-09-19 (Rev1) Site Plan.dwg



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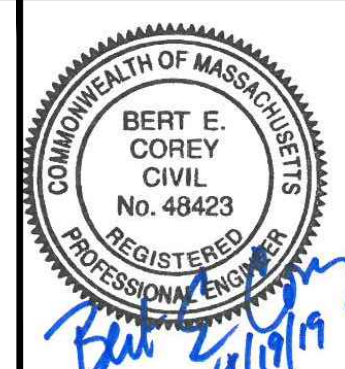
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DATE: **AUGUST 6, 2019**

SCALE: **1" = 40'**

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TMM/JAL	JAL	BEC

PROJECT TITLE:

**NEO CULTIVATION &
MANUFACTURING**

4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

SHEET TITLE:

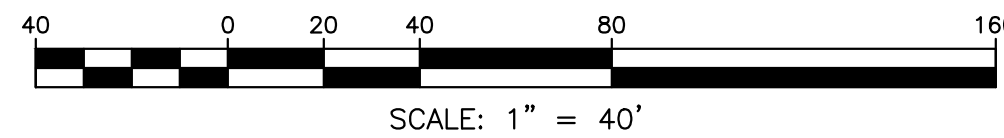
**EROSION AND
SEDIMENT CONTROL
PLAN**

SHEET:
4 OF 7

PROJECT NO.:
25457

C-4

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EROSION AND SEDIMENT CONTROL
NOTES AND PERFORMANCE STANDARDS

1. CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL

1.1 THE PURPOSE OF THE CONSTRUCTION PERIOD EROSION AND SEDIMENT CONTROL PLAN IS TO MINIMIZE THE INTRODUCTION OF SEDIMENTS INTO THE TOWN'S DRAINAGE SYSTEM, PUBLIC RIGHT OF WAYS, ABUTTING PROPERTIES, AND TO POST-DEVELOPMENT STORMWATER BMP'S RESULTING FROM THE LAND DISTURBANCE ACTIVITIES DURING CONSTRUCTION.

1.2 THE EROSION AND SEDIMENT CONTROL NOTES AND PERFORMANCE STANDARDS LISTED ON THIS SHEET SHALL BE IMPLEMENTED.

1.3 INSPECTIONS SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR ON A BI-WEEKLY BASIS (EVERY TWO WEEKS), OR FOLLOWING SIGNIFICANT STORM EVENTS (RAINFALL OF 0.5" OR MORE) THAT CAN AFFECT THE SEDIMENT AND EROSION CONTROL PRACTICES IMPLEMENTED AT THE SITE. THE PURPOSE OF THE INSPECTIONS ARE TO EVALUATE THE EFFECTIVENESS ON THE CONTROLS AND ANY REQUIRED MAINTENANCE ACTIVITIES. IF AN EROSION/SEDIMENTATION CONTROL MEASURE IS FOUND TO BE INADEQUATE FOR PROPERLY CONTROLLING SEDIMENT, AN ADEQUATE MEASURE SHALL BE DESIGNED AND IMPLEMENTED. A COPY OF THE WRITTEN INSPECTION SHALL BE KEPT ON FILE AT THE CONSTRUCTION SITE.

1.4 DURING CONSTRUCTION, EXISTING AND PROPOSED STORMWATER MANAGEMENT STRUCTURES SHALL BE PROTECTED FROM SEDIMENT. ALL PROPOSED NEW STORMWATER MANAGEMENT STRUCTURES THAT INFILTRATE RUNOFF ARE PARTICULARLY SENSITIVE TO DAMAGE BY SEDIMENT. INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS. SITE RUNOFF FROM UNSTABILIZED AREAS SHALL NOT BE DISCHARGED INTO THE PROPOSED INFILTRATION SYSTEM UNTIL THE TRIBUTARY DRAINAGE AREA IS STABLE OR THE RUNOFF IS TREATED TO BE ESSENTIALLY FREE FROM SEDIMENT TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS SYSTEMS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM ENTERING THE INFILTRATION SYSTEM. THE INFILTRATION SYSTEM SHALL REMAIN OFF-LINE AND PROTECTED.

2. GENERAL PERFORMANCE STANDARDS

2.1 THE CONTRACTOR SHALL INSTALL, ROUTINELY INSPECT AND MAINTAIN ALL SEDIMENT AND EROSION CONTROLS SUCH THAT THEY ARE IN PROPER WORKING ORDER AT ALL TIMES DURING THE CONSTRUCTION PROJECT UNTIL SUCH TIME AS ALL AREAS OF THE SITE TRIBUTARY TO THOSE EROSION CONTROLS ARE IN A PERMANENTLY STABILIZED CONDITION.

2.2 THE CONTRACTOR SHALL MANAGE THE SITE SUCH THAT EROSION AND SEDIMENT FROM RUNOFF AND WIND BLOWN DUST ARE CONTROLLED AND MINIMIZED AT ALL TIMES. THE EROSION CONTROLS SHOWN ON THIS PLAN INCLUDE THE INITIAL SETUP OF EROSION CONTROLS AND BASIC INFORMATION. TO MEET THE REQUIREMENT OF BEST MANAGEMENT PRACTICES, THE CONTRACTOR MUST MANAGE THE SITE PROPERLY WHICH MAY INCLUDE, BUT NOT BE LIMITED TO: MINIMIZING AREAS OF EXPOSED SOILS; INSTALLING TEMPORARY COVER; MAKE NECESSARY ADJUSTMENTS TO THE EROSION CONTROL INSTALLATIONS TO IMPROVE FUNCTION; PROVIDE TEMPORARY SEDIMENT BASINS; INSTALL ADDITIONAL EROSION CONTROL WHERE NECESSARY.

2.3 THE EROSION CONTROL WORK SHOWN ON THIS PLAN ARE ALSO SUBJECT TO PERMITS AND APPROVALS BY THE MEDWAY CONSERVATION COMMISSION UNDER THE WETLANDS PROTECTION ACT AND MAY ALSO BE SUBJECT TO OTHER STATE AND LOCAL APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE CONDITIONS AND REQUIREMENTS OF THOSE PERMITS.

2.3 DESIGN, INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROLS SHALL BE IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES FOLLOWING THE GUIDELINES INCLUDED IN THE FOLLOWING:

- "STORMWATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES" U.S. ENVIRONMENTAL PROTECTION AGENCY, OCTOBER 1992.
- "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, A GUIDE FOR PLANNERS, DESIGNERS AND MUNICIPAL OFFICIALS", MASS. EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS, MAY 2003.
- U.S.D.A. NATURAL RESOURCES AND CONSERVATION SERVICES (NRCS) GUIDELINES.

3. FEDERAL NPDES PHASE II COMPLIANCE

3.1 THIS PROJECT IS NOT SUBJECT TO THE FEDERAL CLEAN WATER ACT REQUIREMENTS FOR CONSTRUCTION SITES ADMINISTERED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA).

4. PERIMETER EROSION CONTROL BARRIER AND LIMIT OF WORK

4.1 PRIOR TO ANY DISTURBANCE OR ALTERATIONS OF ANY AREA ON THE SITE, AN EROSION CONTROL BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.

4.2 INSTALL THE STRAW WATTLE ON THE INSIDE OF THE SILT FENCE AS SHOWN. IN THOSE AREAS WHERE THE TOPOGRAPHY INDICATES THAT STORMWATER RUNOFF WILL BE CONCENTRATED (AT LOW POINTS), ADDITIONAL STRAW WATTLES OR STRAW BALES AS NECESSARY SHALL BE STAKED ON THE UPGRADIENT SIDE OF THE SILT FENCE FOR ADDED FILTRATION AND PROTECTION. THE REQUIRED LOCATIONS FOR THE ADDED BARRIER INSTALLATION WILL BE SELECTED BY THE ENGINEER AND / OR THE AUTHORIZED INSPECTOR UPON COMPLETION OF THE PERIMETER EROSION CONTROL INSTALLATION (SEE DETAIL).

4.3 ONCE INSTALLED, THE EROSION CONTROL BARRIER SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN PERMANENTLY STABILIZED.

4.4 ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED OR WHERE SPECIAL STABILIZATION MEASURES OR LANDSCAPE PLANTINGS ARE PROPOSED SHALL BE LOAMED AND SEEDED OR SODDED. SIX INCHES OF LOAM TOPSOIL (MIN. COMPACTED DEPTH) SHALL BE APPLIED UNLESS OTHERWISE SPECIFIED. (SEE LANDSCAPE PLAN AND OTHER PLANS AS APPLICABLE).

5.0 CONSTRUCTION ENTRANCE

5.1 THE CONTRACTOR SHALL SWEEP THE ADJACENT ROADWAYS WHEN MUD, DUST, DIRT, DEBRIS, ETC. HAS SHOWN SIGNS OF BUILDUP ON THE ROADWAYS EXITING THE SITE. THE CONTRACTOR SHALL PAY PARTICULAR ATTENTION TO THIS MATTER AND IMMEDIATE ATTENTION IS ALWAYS REQUIRED.

6.0 DEWATERING OF EXCAVATIONS

6.1 DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT BE DISCHARGED DIRECTLY TO THE ON-SITE DRAINAGE SYSTEM, OR WETLAND RESOURCE AREAS. DISCHARGES SHALL BE DIRECTED TO A TREATMENT SYSTEM CONSISTING OF A SEDIMENT BASIN, STRAW BALE SEDIMENT BASIN, FILTER BAG SYSTEM OR OTHER APPROVED METHOD TO FILTER THE DISCHARGE WATER AND PREVENT EROSION.

6.2 THE PUMP DISCHARGE SYSTEMS MUST BE GREATER THAN 100 FEET FROM WETLAND RESOURCES UNLESS APPROVED BY THE MEDWAY CONSERVATION COMMISSION AND IN ACCORDANCE WITH OTHER APPLICABLE LAWS AND REGULATIONS.

6.3 ALL DEWATERING DRAINAGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES MUST FIRST OBTAIN A DEWATERING DRAINAGE PERMIT, IF REQUIRED. SUCH DISCHARGES SHALL COMPLY WITH THE TOWN OF MEDWAY REQUIREMENTS, UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, MASSACHUSETTS DEP AND OTHER APPROPRIATE AGENCIES. UNDER NO CIRCUMSTANCE SHALL DEWATERING DRAINAGE BE DISCHARGED INTO A SANITARY SEWER.

7.0 SOIL STOCKPILES

7.1 STOCKPILES OF SOIL MATERIALS SHALL BE PLACED WITHIN AREAS THAT ARE PROTECTED BY PERIMETER EROSION CONTROLS, OR SHALL BE SURROUNDED BY PROPER SILT FENCING, FIBER LOGS, OR STAKED STRAW BALES.

7.2 STOCKPILES THAT ARE TO BE IN PLACE FOR EXTENDED PERIODS OF TIME (MORE THAN 30 DAYS) SHALL BE COVERED OR OTHERWISE TEMPORARILY STABILIZED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

8.0 CATCH BASIN INLET PROTECTION

8.1 CATCH BASINS WITHIN THE WORK AREA OR THAT WILL RECEIVE RUNOFF FROM THE WORK AREA SHALL BE PROTECTED WITH A SILT SACK AND OR OTHER APPROVED INSTALLATION TO MINIMIZE THE SEDIMENT LOAD TO THE BASIN.

9.0 DUST CONTROL

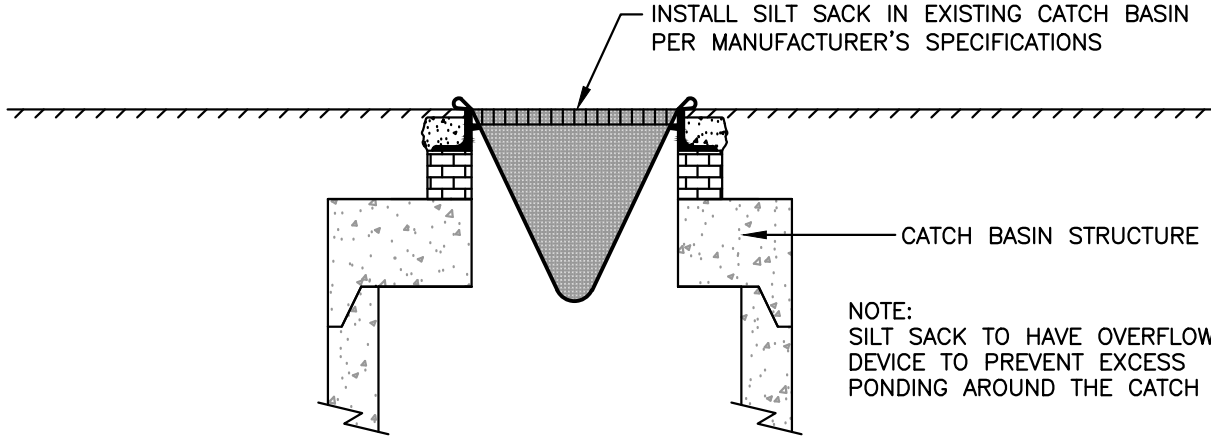
9.1 THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES DURING SITE WORK TO MINIMIZE WIND BLOWN DUST FROM EXPOSED SOIL SURFACES. MEASURES INCLUDE BUT ARE NOT LIMITED TO:

- SPRINKLING WATER ON EXPOSED SURFACES
- APPLICATION OF TEMPORARY COVER SUCH AS HYDRO MULCH AND TACIFIER, STRAW MATTING, JUTE NETTING ETC.

10.0 PROCEDURE FOR WORK WITHIN THE DRAINAGE DITCH

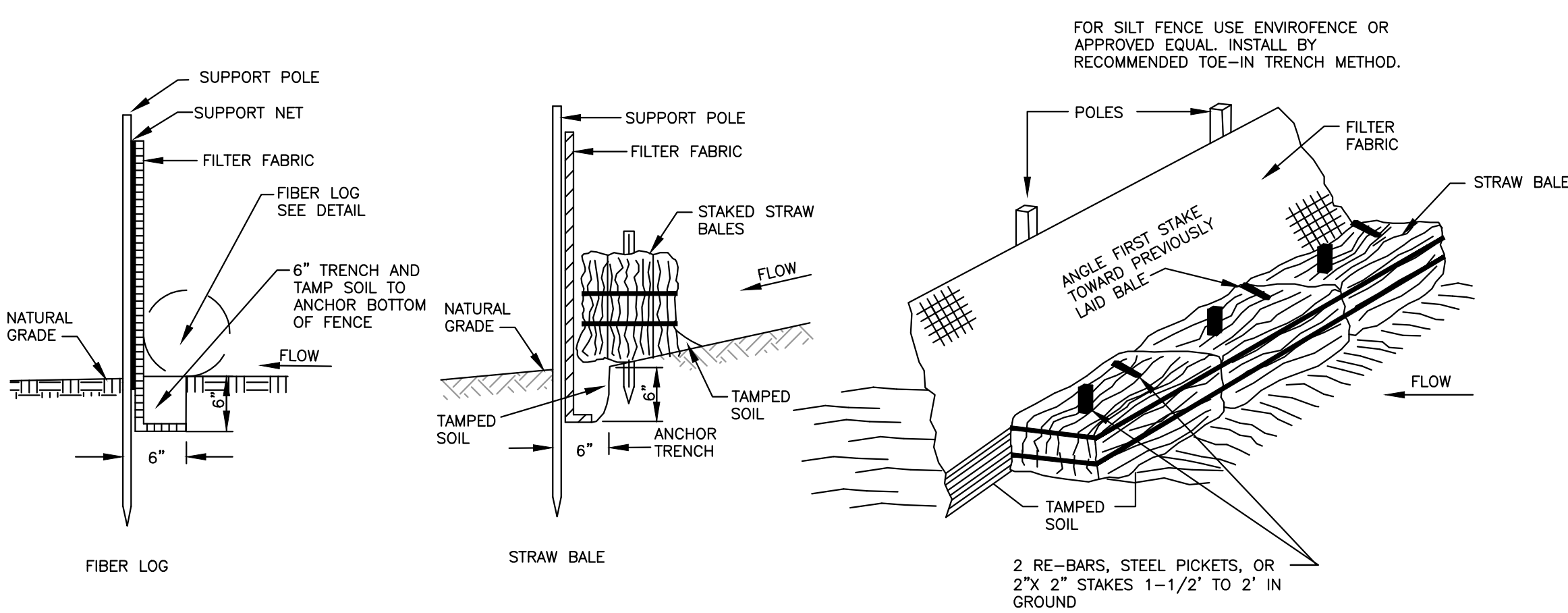
10.1 THE FOLLOWING STEP BY STEP PROCEDURE OF WORK SHALL BE FOLLOWED FOR THE PROPOSED WORK WITHIN THE DRAINAGE DITCH.

1. A LICENSED SITE PROFESSIONAL WILL EVALUATE THE EXISTING SITE TO GIVE A TESTING LABORATORY THE PROPER PARAMETERS TO TEST THE MATERIAL FOR.
2. GATHER SAMPLE OF MATERIAL FROM THE DRAINAGE DITCH TO BE TESTED BY A TESTING LABORATORY TO DETERMINE PROPER DISPOSAL LOCATION.
3. INSTALL SEDIMENT CONTROLS (STAKED FIBER LOG) ALONG THE DOWN GRADIENT PORTION OF PROPOSED PATH AND DRAINAGE DITCH AS SHOWN ON PLAN.
4. INSTALL SEDIMENT CONTROLS (SILT SACK IN CATCH BASINS AND FIBER LOG ON PAVED PARKING LOT) TO ESTABLISH STOCK PILE AREA AS SHOWN ON PLANS.
5. CLEAR CONSTRUCTION DEBRIS AND FALLEN TREES / TREE BRANCHES AT ENTRANCE INTO WOODED AREA, ALONG PATH TO DRAINAGE DITCH AND WITHIN DRAINAGE DITCH.
6. STARTING AT THE FAR SIDE OF THE DITCH, USE A MINI EXCAVATOR WITH A GRADING BUCKET TO PULL BACK EXCESS MATERIAL, WHILE CREATING THE PROPER GRADE AND SLOPE TO PROMOTE DRAINAGE FLOW.
7. HAUL SEDIMENT FROM DRAINAGE DITCH TO TEMPORARY STOCKPILING AREA USING A SKID-STEER. *NOTE: STEPS 6 AND 7 WILL BE REPEATED AS NECESSARY WHEN EXCESS MATERIAL ACCUMULATES WITHIN THE WORK AREA.
8. LOAD SEDIMENT FROM STOCKPILING AREA FOR HAULING TO OFFSITE DISPOSAL LOCATION.
9. INSTALL RIP-RAP AT OUTFALL OF EXISTING DRAINAGE PIPE.
10. HAND WORK BY THE SITE CONTRACTOR WILL BE DONE TO REPAIR THE BANK WHERE THE ACCESS ROUTE MEETS THE BANK DUE TO MULTIPLE TRIPS IN AND OUT OF THE BANK WHILE REMOVING SEDIMENT.
11. INSTALL BIODEGRADABLE JUTE MATTING, LOAM AND NEW ENGLAND SEMI-SHADE GRASS AND FORBS MIX SEED ALONG ROUTE USED FOR PROPOSED WORK.
12. AFTER GROUND HAS STABILIZED REMOVE SEDIMENT CONTROLS.



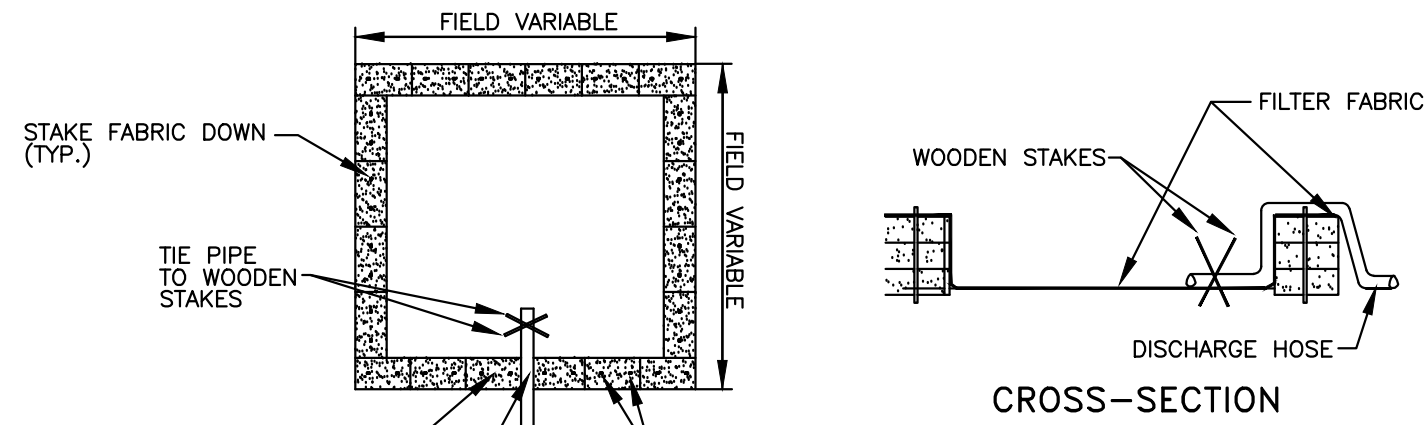
SILT SACK DETAIL

(NO SCALE)



PERIMETER EROSION CONTROLS
STAKED STRAW BALE/FIBER LOG AND SILT FENCE
SEDIMENT BARRIER DETAIL

(NO SCALE)



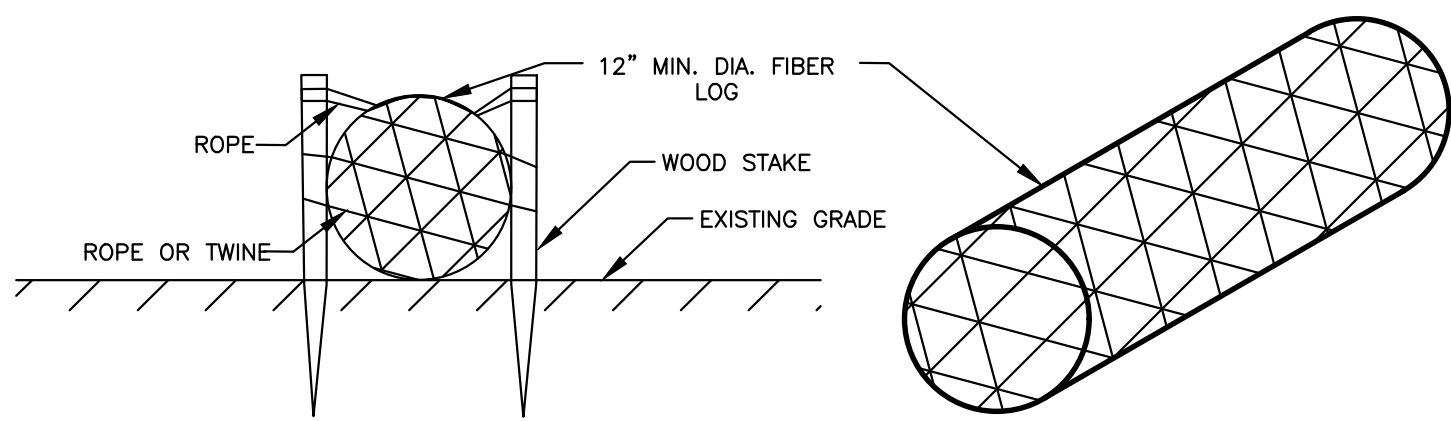
NOTE: NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS

PLAN VIEW

DEWATERING OF EXCAVATIONS NOTES:
1. DISCHARGE FROM DEWATERING PUMPS OR TEMPORARY TRENCH OR EXCAVATION DRAINS SHALL NOT DISCHARGE DIRECTLY TO WETLANDS OR STORM DRAIN SYSTEMS. THE DISCHARGES SHALL BE DIRECTED INTO A CONSTRUCTED SEDIMENT BASIN OR A STRAW BALE SETTLING BASIN, STILLING BASIN, FILTER BAG, FRAC TANK OR SIMILAR DEVICE.

STRAW BALE SETTling BASIN DETAIL

(NO SCALE)

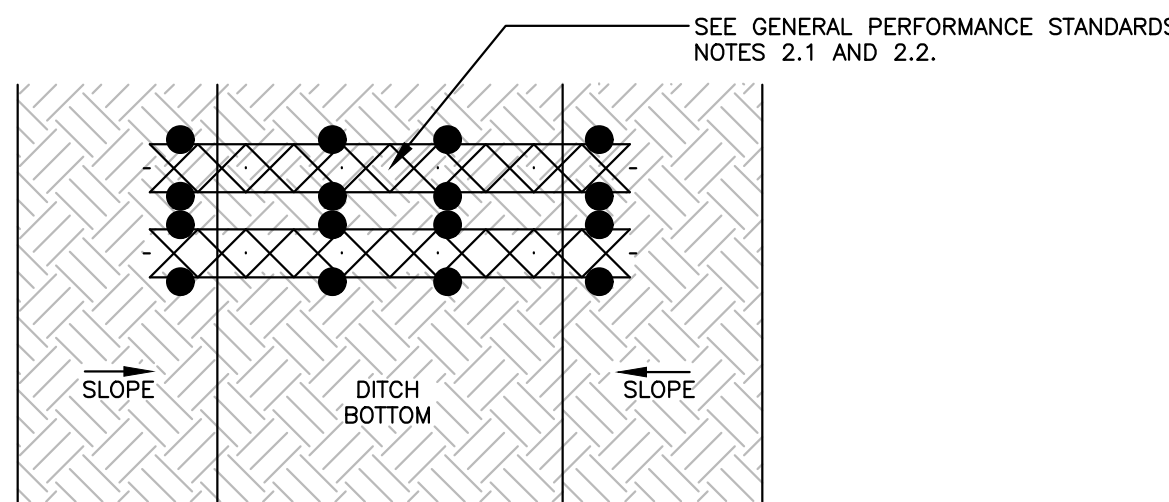


INSTALLATION NOTES FOR FIBER LOGS:

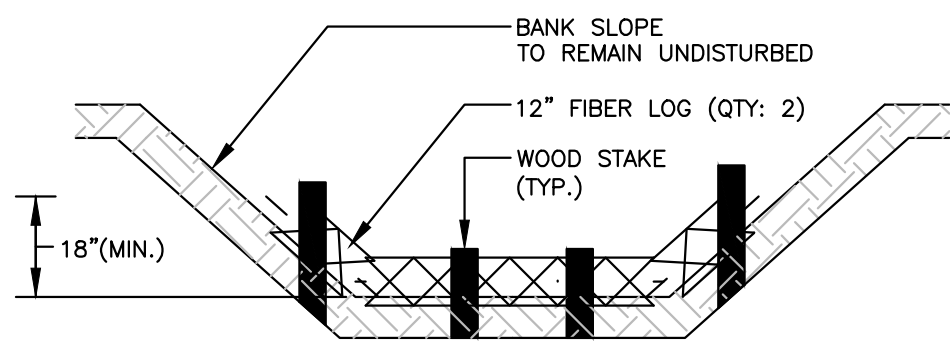
1. LAY THE FIBER LOG AT THE UPHILL BASE OF THE SILT FENCE.
2. INSTALL APPROXIMATELY 4-6 WOOD STAKES THROUGH THE TWINE/NETTING ALONG THE FIBER LOG AS NEEDED TO HOLD THE LOG IN PLACE.
3. DRIVE THE STAKE INTO THE GROUND DEEP ENOUGH TO HOLD THE LOG.

FIBER LOG DETAIL

(NO SCALE)



PLAN VIEW



CROSS-SECTION

NOTES:

- 1) WORK TO BE PERFORMED IN DRY SEASON.
- 2) EROSION AND SEDIMENT CONTROLS TO BE IN PLACE PRIOR TO DISTURBANCE.

DRAINAGE DITCH FIBER LOG DETAIL

(NO SCALE)

APPLICANT

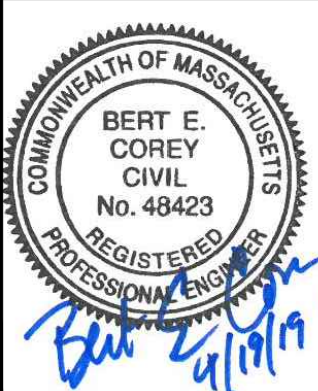
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1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION

DATE: AUGUST 6, 2019

SCALE: AS NOTED

DRAFTED: TMM/JAL	CHECKED: JAL	APPROVED: BEC
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PROJECT TITLE:

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4 MARC ROAD
MEDWAY, MASSACHUSETTS 02053

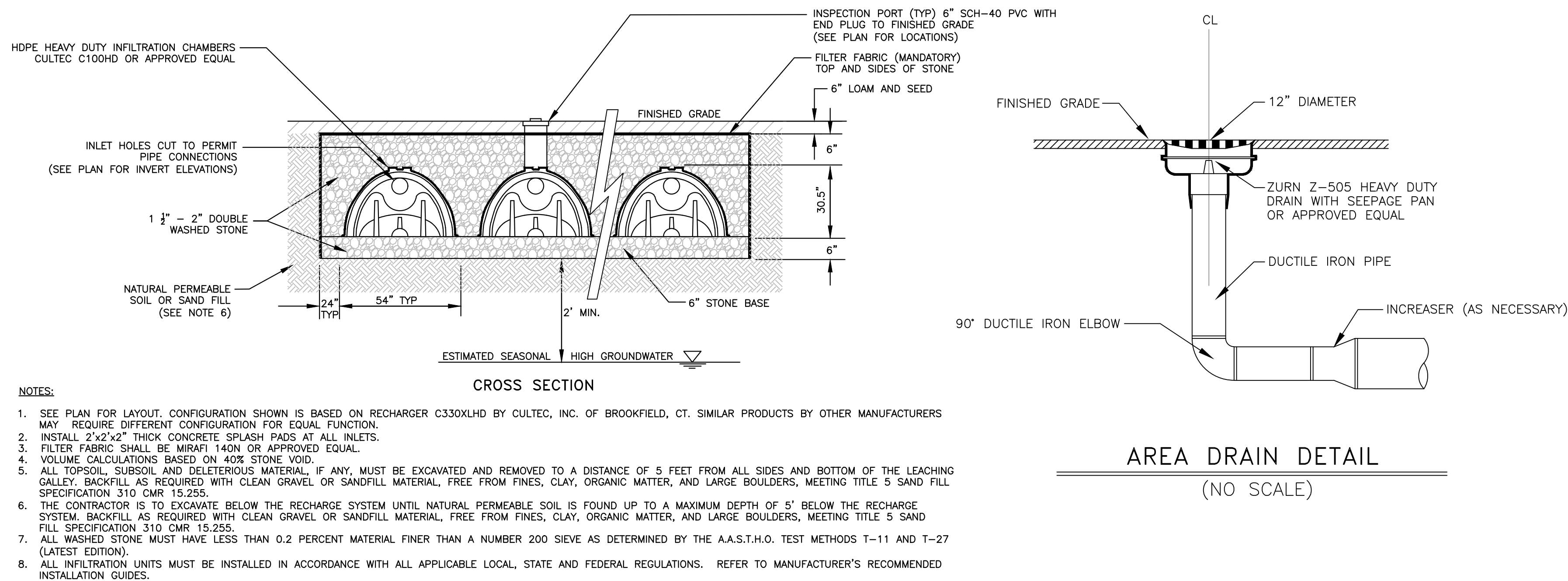
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EROSION AND
SEDIMENT CONTROL
NOTES AND DETAILS

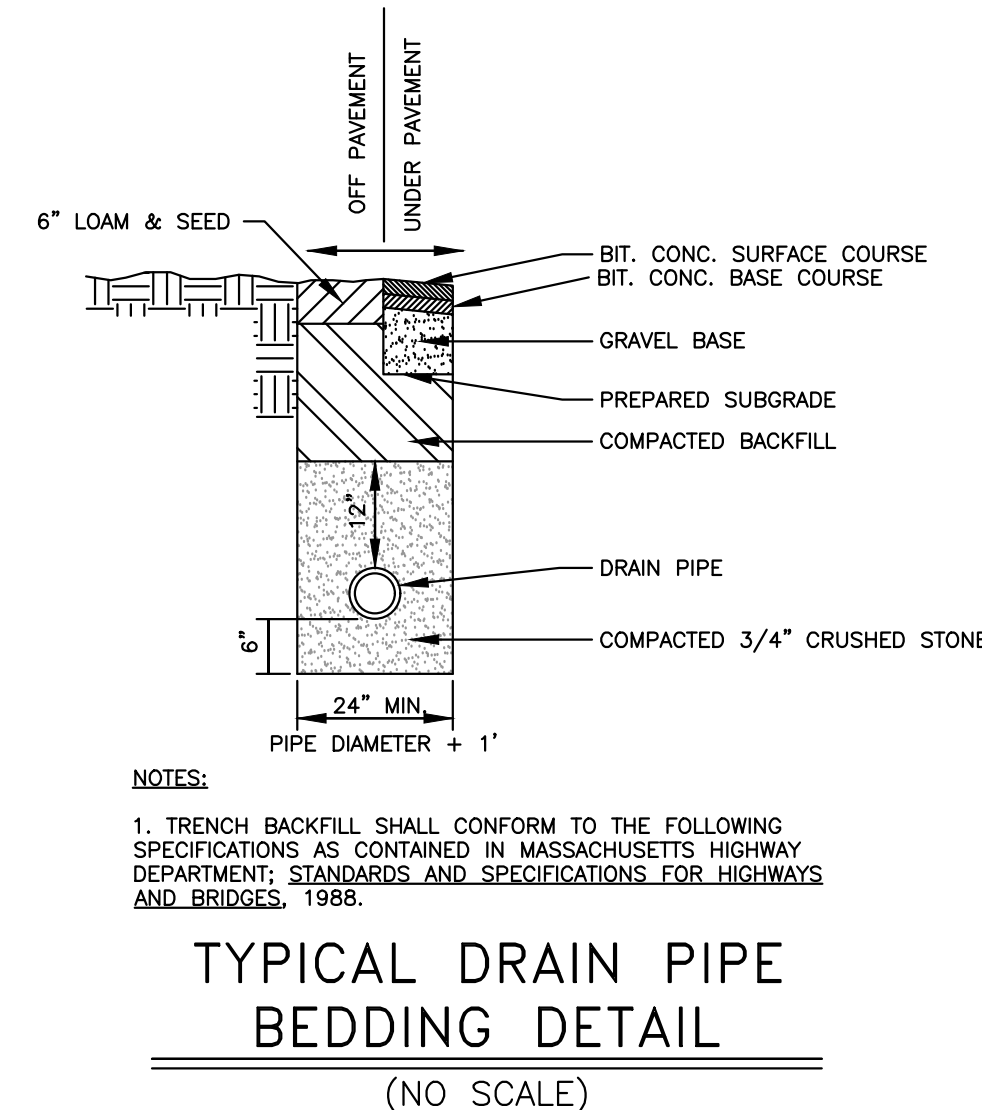
SHEET:
5 OF 7

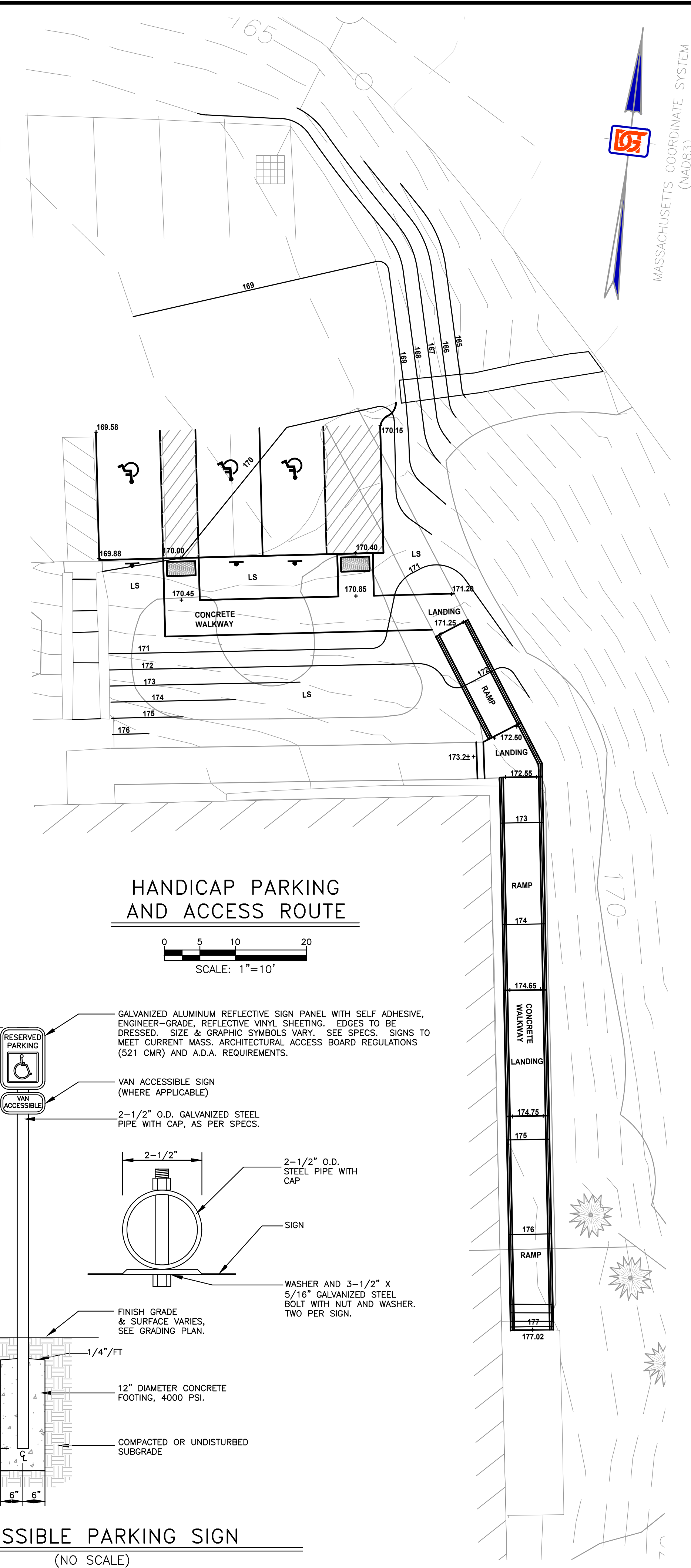
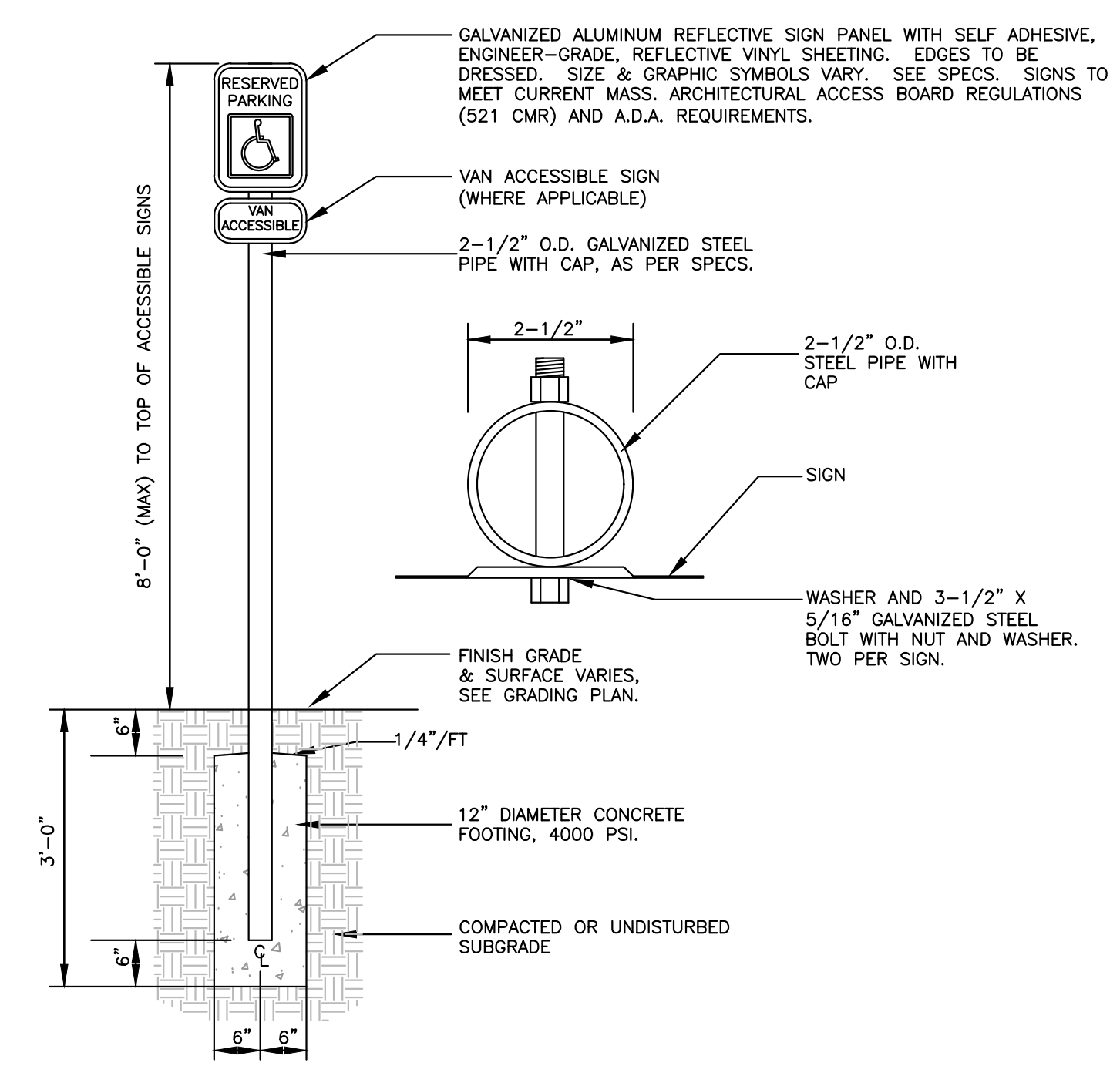
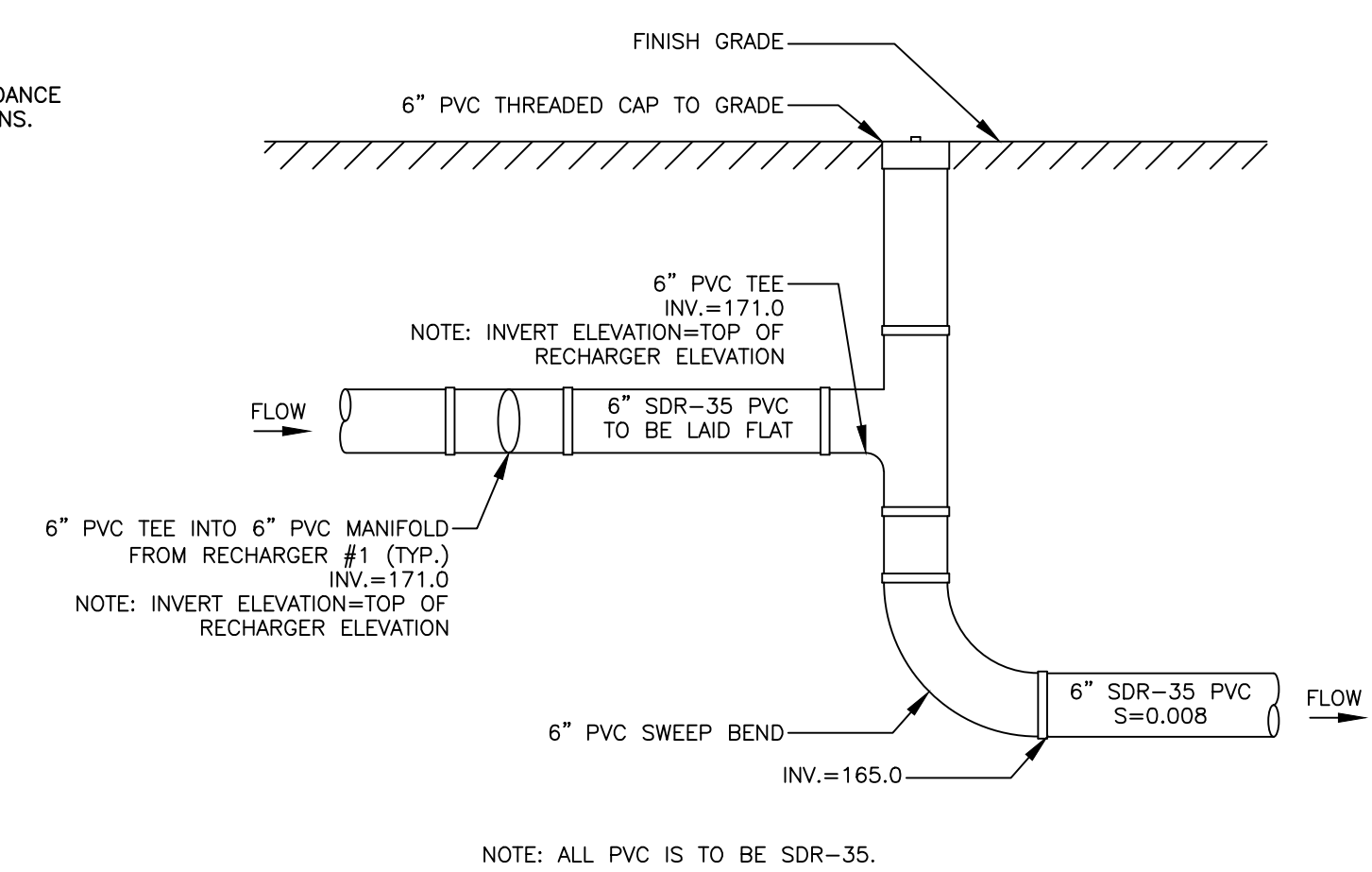
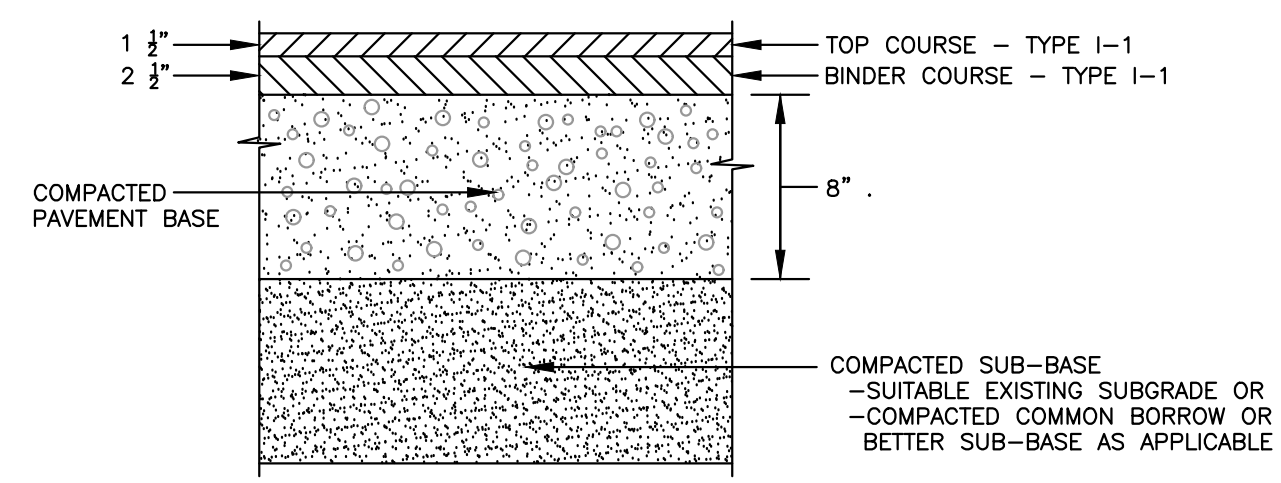
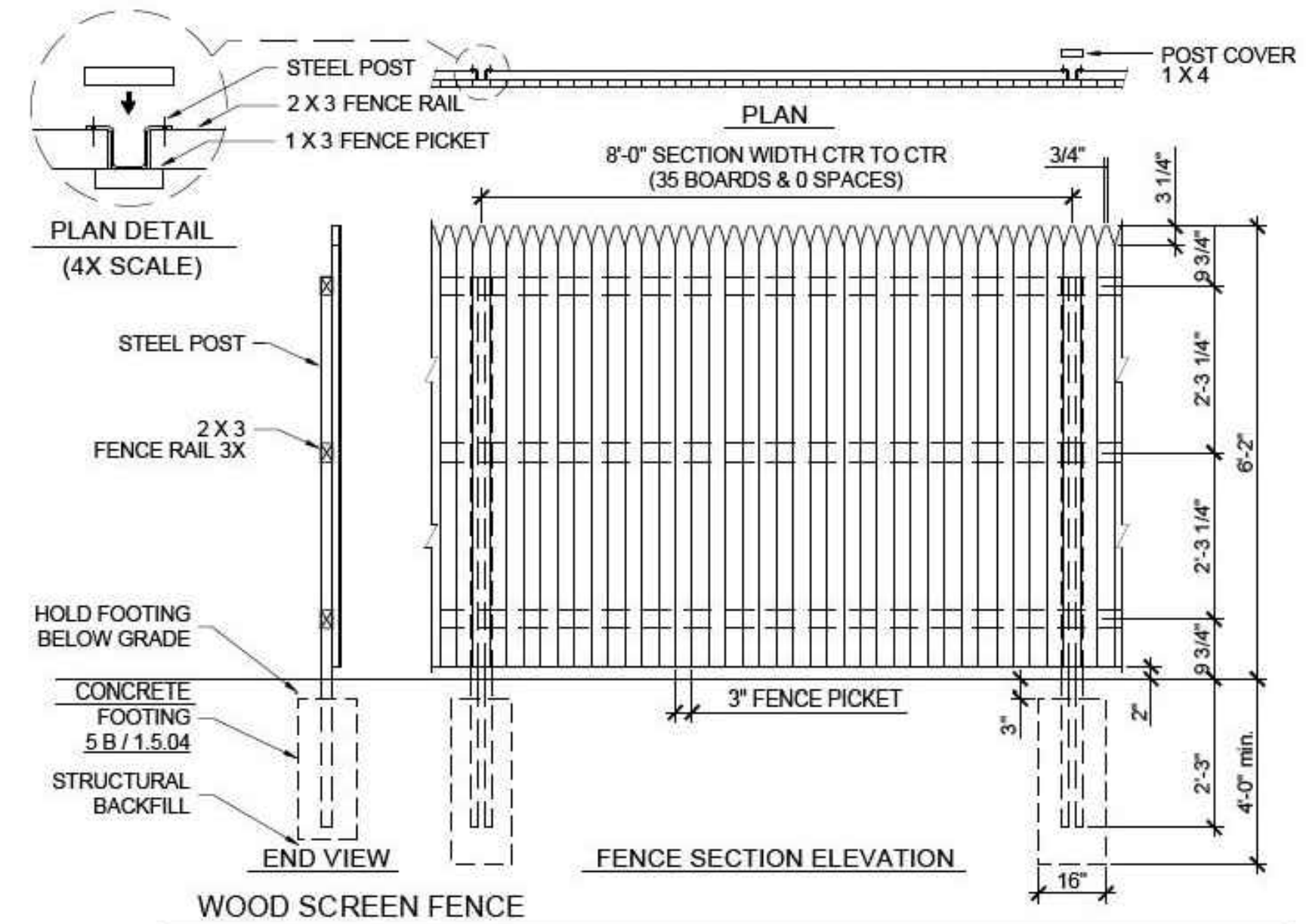
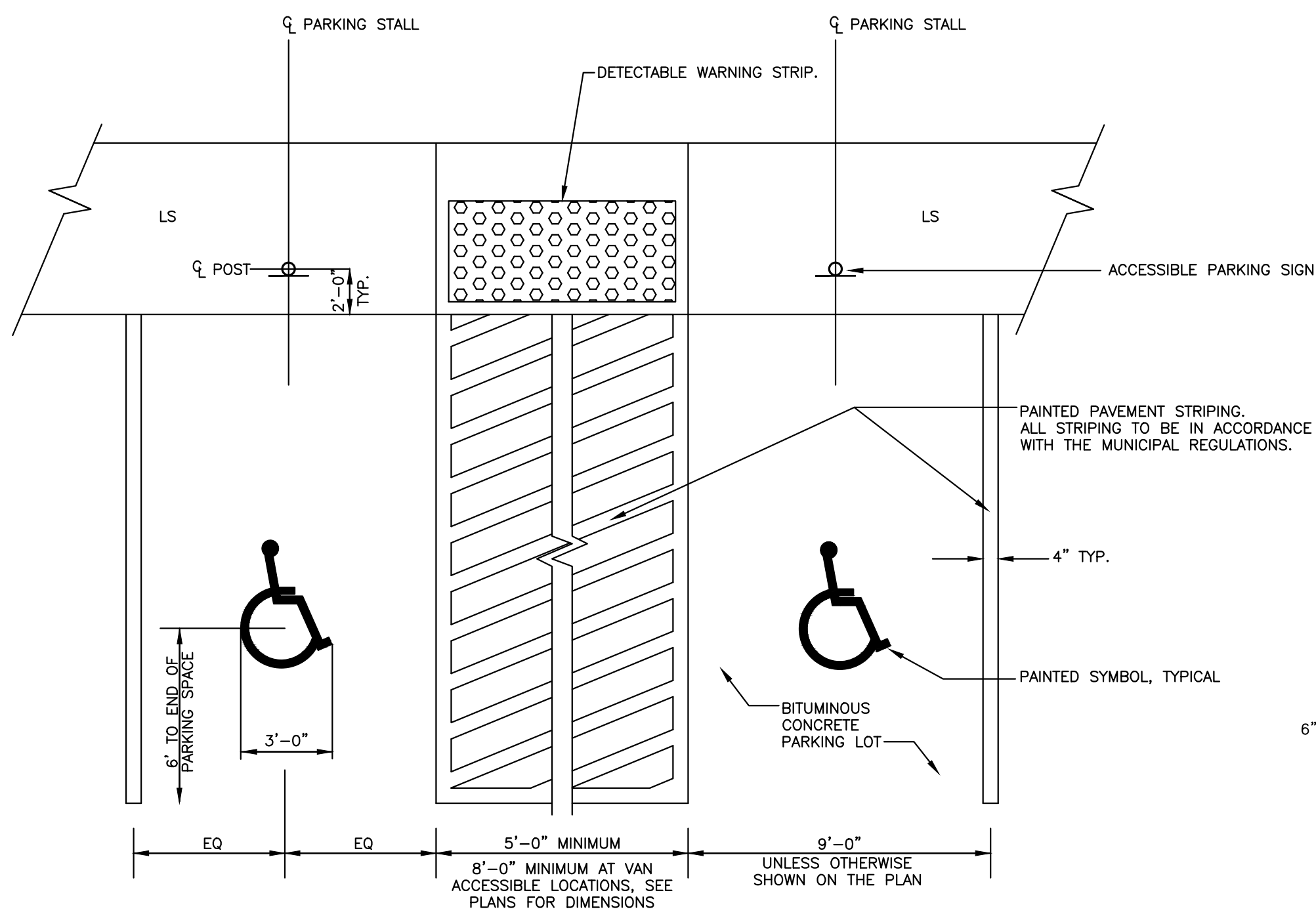
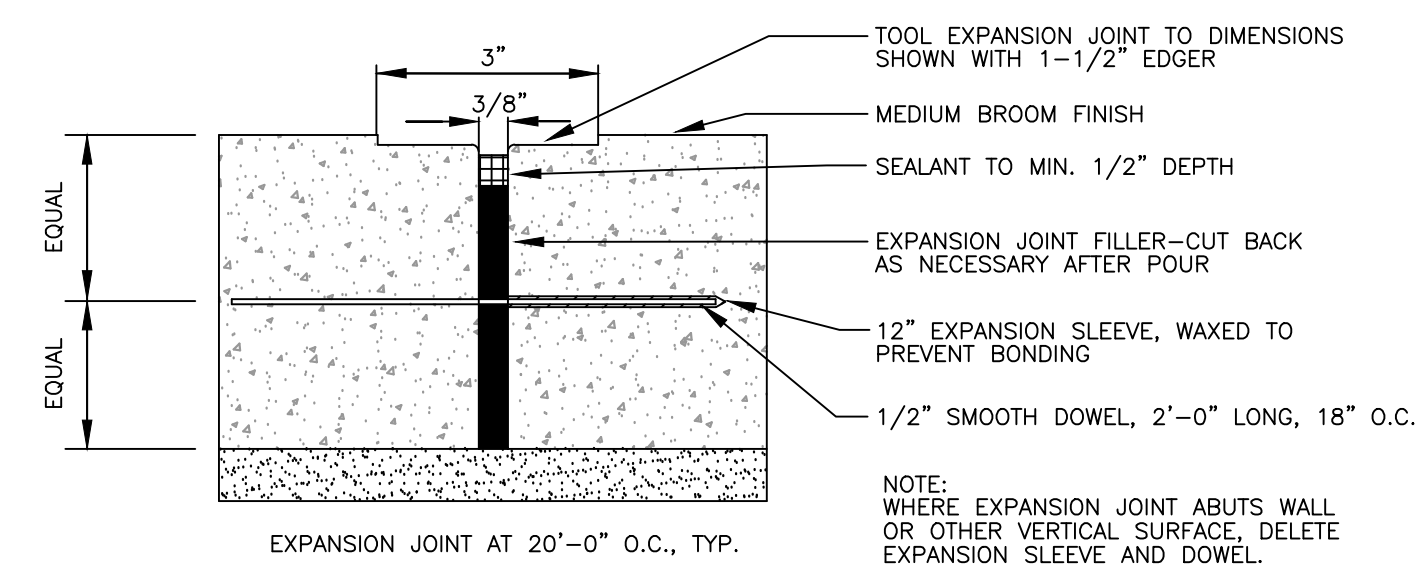
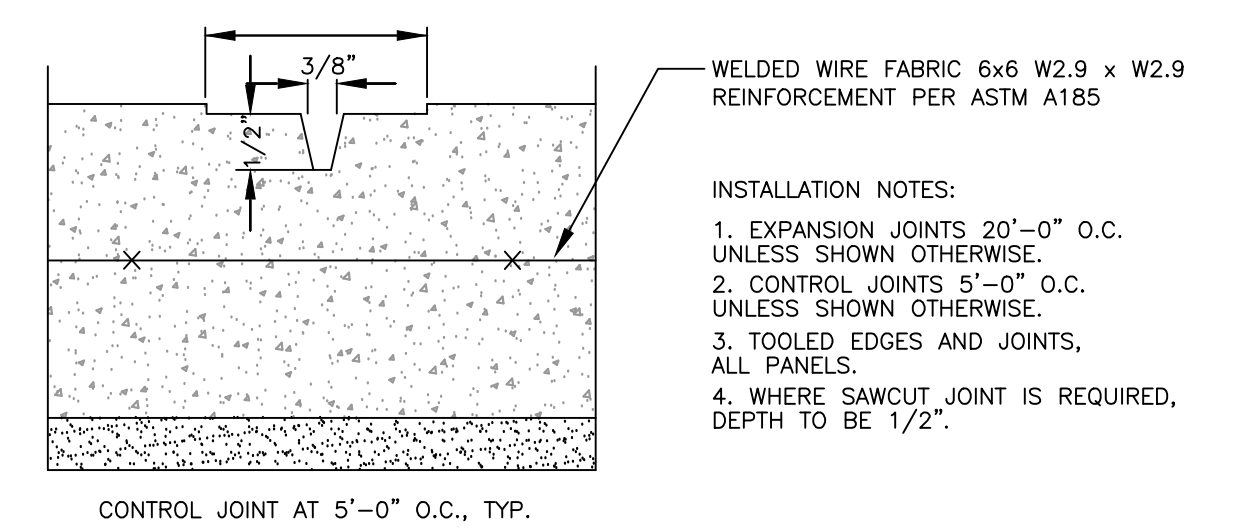
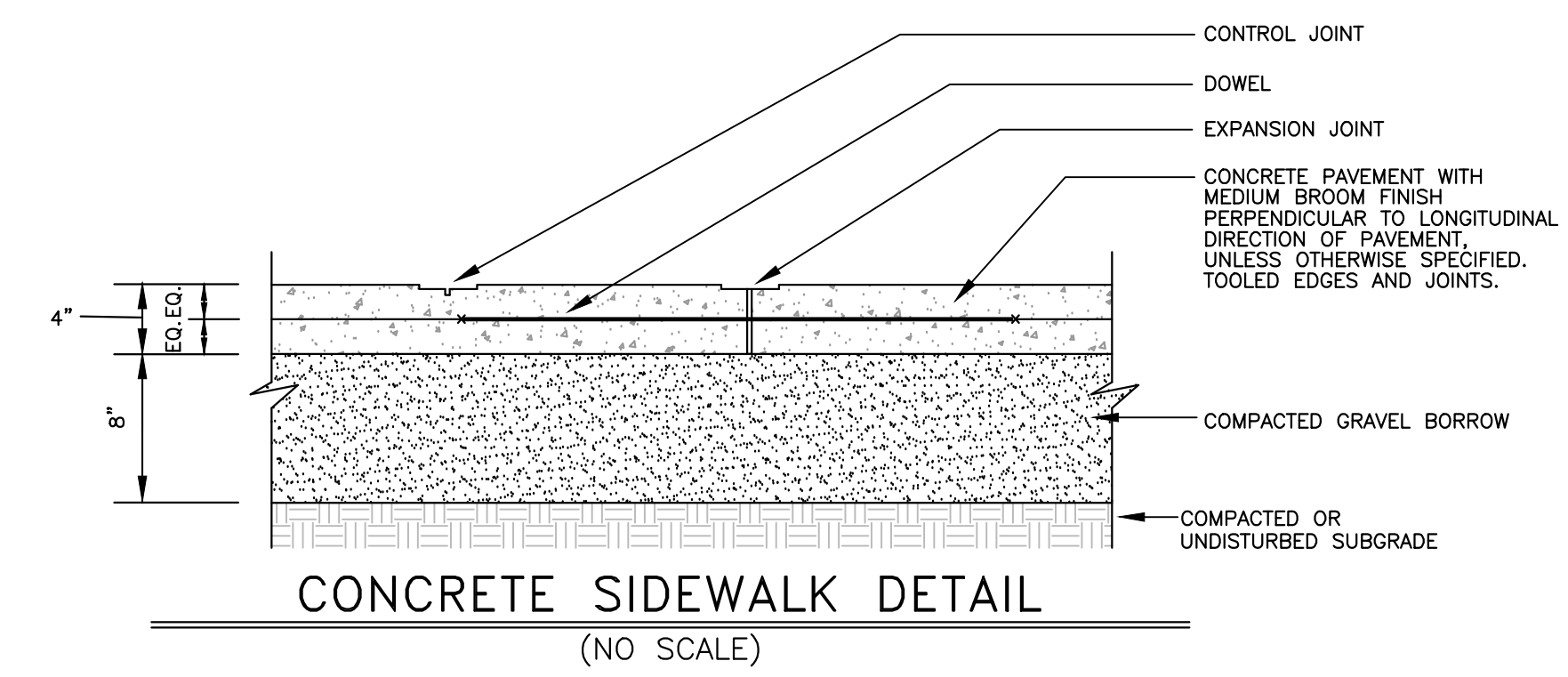
PROJECT NO.:
25457

C-5



RECHARGER #1 DETAIL





DGT Associates
Surveying & Engineering
Framingham
Boston • Worcester
1071 Worcester Road
Framingham, MA 01701
508-879-0030
www.DGTassociates.com

APPLICANT
NEO ORGANICS LLC
365 BOSTON POST ROAD, #184
SUDBURY, MA 01776

MINOR SITE PLAN REVIEW/SPECIAL PERMIT
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD:
.....
.....
.....
.....
.....
DATE SIGNED:

ISSUED FOR:
**MINOR SITE PLAN &
MARIJUANA SPECIAL PERMIT &
GROUNDWATER PROTECTION
DISTRICT SPECIAL PERMIT**

1	BEC	09/19/19	PER TOWN COMMENTS
NO.	APP	DATE	DESCRIPTION
DATE: AUGUST 6, 2019			
SCALE: AS NOTED			
DRAFTED:	CHECKED:	APPROVED:	
TMM/JAL	JAL	BEC	
PROJECT TITLE:			
NEO CULTIVATION & MANUFACTURING			
4 MARC ROAD MEDWAY, MASSACHUSETTS 02053			
SHEET TITLE:			
SITE DETAILS #2			
SHEET: 7 OF 7		C-7	
PROJECT NO.: 25457			

© 2019 BY DGT ASSOCIATES

G:\Carbon Jobs\25457\Correspondence\To Client\2019-09-19 (Rev1)\Site Plan.dwg



1 PROPOSED PLAN
A1.1 Scale 1/8" = 1'-0"

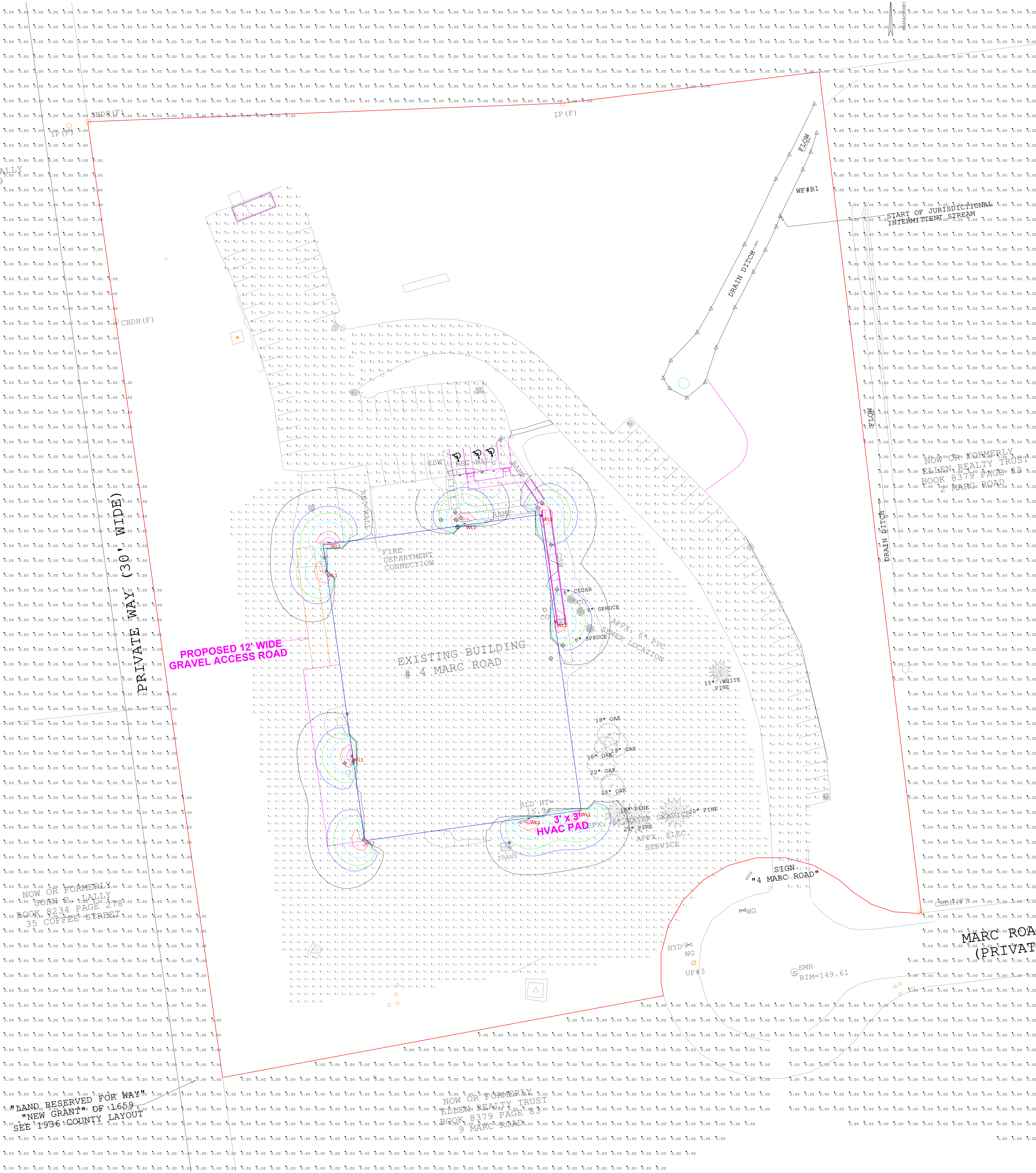
SCHEMATIC DESIGN
NOT FOR CONSTRUCTION

REVISIONS		
No.	Description	Date

AndersonPorterDesign
875 Main Street Cambridge, MA 02139
Tel. 617.354.2501 Fax. 617.354.2509

Project: NEO ORGANICS
Address: 4 MARC ROAD
MEDWAY, MA 02053
Title: PROPOSED PLAN

Drawing Issued By: ANDERSON PORTER DESIGN		
Proj. R:	1918	Drawing No.
Date:	09/09/2019	A1.1
Scale:	1/8" = 1'-0"	
Drawn By:	DB	



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	9	WL1	SINGLE	0.900	SG1-30-47-FT	29.1
						3060

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.00	0.00	0.00	N.A.	N.A.
ROADWAY + PARKING	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
SECURE AREA	Illuminance	Fc	0.18	7.4	0.0	N.A.	N.A.

**PHOTOMETRIC STUDY BASED ON ASSUMPTIONS PROVIDED BY DESIGN TEAM
**IF REFLECTANCE VALUES ARE NOT PROVIDED, STANDARD VALUES ARE ASSUMED (80/50/20)

PROJECT: NEO ORGANICS LLC

LOCATION: 4 MARC ROAD MEDWAY, MA 02053

DRAWN BY: SDP
DATE: 09/23/19
NOTES:

SCALE: N T S

Medway Planning and Economic Development Board
FORM Q - Request for Waiver from Rules and Regulations
Complete 1 form for each waiver request

Project Name:	NEO Cultivation & Manufacturing
Property Location:	4 Marc Road
Type of Project/Permit:	Minor Site Plan & Marijuana & Groundwater Protection District Special Permit
Identify the number and title of the relevant Section of the applicable Rules and Regulations from which a waiver is sought.	Section 204-3.A.7 Development Impact Statement
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Development Impact Statement
What aspect of the Regulation do you propose be waived?	To provide a Development Impact Statement.
What do you propose instead?	Nothing
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	DGT Associates believes that due to the minor exterior work proposed for the project a Development Impact Statement would not be required.
What is the estimated value/cost savings to the applicant if the waiver is granted?	The time and cost associated with creating the Development Impact Statement.
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	The approval of this waiver would result in the same development plan without a Development Impact Statement
What is the impact on the development if this waiver is denied?	Denial of this waiver would result in lost development time and cost, which would negatively impact the applicant.
What are the design alternatives to granting this waiver?	None.
Why is granting this waiver in the Town's best interest?	Granting this waiver will allow the applicant to begin construction in a timely manner, allowing the work within the wetland to be completed before the next high groundwater season (March-April).
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Granting this waiver will likely not result in a cost savings or cost avoidance to the Town.
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None.
What is the estimated value of the proposed mitigation measures?	N/A
Other Information?	N/A
Waiver Request Prepared By:	DGT Associates
Date:	September 10, 2019

Questions?? - Please contact the Medway PED office at 508-533-3291.

September 19, 2019

25457

Medway Planning & Economic Development Board
Ms. Susan Affleck-Childs, Planning & Economic Development Coordinator
155 Village Street
Medway, MA 02053

RE: #4 Marc Road, Medway

Dear Ms. Affleck-Childs:

Enclosed please find the following documents for the Minor Site Plan Application.

1. Permit Site Plan Set [2 full size (24"x36"; 4 reduced size (11"x17"); flash drive], revision date 09/19/19.
2. Noise Control Plan (forthcoming).
3. Mechanical Systems Ventilation and Odor Mitigation Plan, dated 9/12/19, prepared by Impact Engineering Inc.
4. Floor Plans, Mechanical Equipment Layout [2 full size (24"x36"; 4 reduced size (11"x17")].
5. Photometric Plan associated with building lighting. (forthcoming) Note: there are no proposed light poles associated with vehicular parking areas.
6. Building Security narrative.
7. Waiver Request form for the Development Impact Assessment.
8. Land Disturbance Permit Application (after revisions, the area of disturbance exceeds 20,000 square feet).

The revisions reflect various comments received from the following:

- Medway Planning & Economic Development Board hearing on August 27, 2019.
- Medway Conservation Commission hearing on August 8 and August 29, 2019.
- Site walk with Conservation Agent on August 30, 2019.
- Site walk with Conservation Commission members on September 4, 2019.
- Comments received in letter from the Medway Building Commissioner, dated August 16, 2019.
- Comments received in letter from Tetra Tech, dated August 21, 2019.
- Comments received in letter from PGC Associates, Inc., dated August 20, 2019.
- Comments received in an email from Ron Dempsey (Noise Consultant), dated August 21, 2019.
- Comments received in letter from Straughan Forensic, LLC, Inc., dated August 21, 2019.
- Comments received in letter from Tetra Tech, dated September 11, 2019.

Below is a listing of specific revisions to the Permit Site Plan Set in response to the various review letters:

1. Modifications to the walkway from the employee parking area to the front entrance to provide handicap accessibility and minor adjustments to the grades in the employee parking area to provide handicap parking spaces in conformance with the regulations. Accessible parking counts have been added to the Parking Data table. Added sidewalk detail (handicap access ramp) to plans. **(Plan Sheets C-1, C-3)**
2. Removal of wetland flags from abutting property to the north, and adjustment to the wetland flags as reviewed in the field with the Conservation Agent on August 30, 2019. After adjustment, there is now 24 linear feet of sediment removal with jurisdictional intermittent stream. MassGIS wetland lines have been added to the plans to represent an off-site wetland resource area. **(C-2)**
3. Addition of an access route and procedural notes **(C-5)** to remove sediment from the drainage ditch **(C-4)**, including a note to require cleaning/flushing of the existing on-site drainage system **(C-1)**.
4. The Groundwater Protection District boundary has been added to the other plan sheets **(C-2, C-3, and C-4)**.
5. Setback lines have been added to the plans **(C-2, C-3)**.
6. The existing sign, and note has been added to the plans **(C-2, C-3)**.
7. Although a waiver request has been submitted, a partial landscape inventory (trees w/18" DBH) of areas that could potentially be affected by the proposed project has been added to the plan **(C-3)**.
8. The following items have been added to the plans in the course of plan development:
 - a. Added a proposed dumpster, pad and screening fence **(C-3)**.
 - b. Added snow storage areas **(C-3)**.
 - c. Added gravel access path to the proposed mechanical pad **(C-3)**.
 - d. Added office HVAC condenser (3'x3' concrete pad) at corner of existing building **(C-3)**.
 - e. Added a cleanout/detail at downstream end of cultec system, per recommendation from Tetra Tech **(C-7)**.
 - f. Added additional sediment controls to drainage ditch, per recommendation from Tetra Tech **(C-4, C-5)**.
 - g. Added swale adjacent to proposed mechanical pad to direct stormwater runoff away from pad, per recommendation from Tetra Tech **(C-3)**.
9. Updated the impervious cover to reflect changes **(C-1)**.
10. Added Total Area of Disturbance **(C-1)**.
11. Added a second detail sheet **(C-7)**.

There are no significant trees (18" DBH) between the cul-de-sac and the building entrance. To create a visibility corridor, several smaller trees would need to be removed and replaced with landscaping/groundcover features. The applicant will confirm this requirement with the state regulatory authority and will address as appropriate.

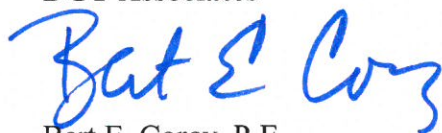
The contact information provided in the Special Permit Application is valid for facility operations.

Site distance was measured from the existing driveway. Note that the driveway is located at the end of a cul-de-sac (see plan). A distance of 100' (unobstructed) and 115' (obstructed) was measured from a point 10' back from where the driveway pavement abuts the cul-de-sac pavement. Measurements taken at the pavement edge resulted in distances of 154' (unobstructed) and 180' (obstructed). Measurements taken along the curb line of Marc Road are greater than 200'.

Do not hesitate to contact me with any questions or concerns. I can be reached at 508-879-0030 ext. 224, or at bcorey@dgtassociates.com.

Sincerely yours,

DGT Associates



Bert E. Corey, P.E.
Engineering Group Manager

Cc: Bridget Graziano, Medway Conservation Agent

Cc: Chad Blair, NEO

Cc: Jamie Lewis, NEO

Enclosures

September 26, 2019

25457

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

RE: 4 Marc Road (NEO Organics LLC)

Dear Ms. Affleck-Childs:

Below is a listing of our **responses** to *comments* received in a letter prepared by Tetra Tech, dated August 21, 2019.

Site Plan Review:

1. *Development Impact Assessment – anticipating a waiver request;*
A waiver request has been submitted. A copy of the request is included with this letter.
2. *Site Context Sheet – waiver request submitted;*
No response necessary.
3. *Existing Landscape Inventory – waiver request submitted;*
Although a waiver request has been submitted, a partial landscape inventory (trees w/18" DBH) of areas that could potentially be affected by the proposed project has been added to the plan. Currently, there are no large diameter trees that are to be cut down.
4. *Setback lines;*
Setback distances have been added to the plans.
5. *Landscape Plan – waiver request submitted;*
Although the waiver request was previously submitted, there may be a State regulatory requirement to provide a visibility corridor, or to improve the existing limited visibility, from the cul-de-sac to the front entrance of the building. There are no large diameter trees that would need to be removed within this corridor. However, several smaller trees would need to be removed. If this corridor is required, DGT will add various shrubs and groundcovers that are acceptable to the Town of Medway.
6. *Signage Plan - waiver request submitted;*
The existing sign, which currently shows only the address "4 Marc Road" is to remain. It will require a slight repair as the previous owner/occupant removed the company name from the sign and two posts remain at the top of the sign. The

proposed owner/occupant will not be adding company identification to the existing sign or the building façade.

7. *Lighting/Photometric Plan - waiver request submitted;*

A Photometric Plan associated with building lighting is enclosed. Note that there are no proposed light poles associated with vehicular parking areas.

8. *Horizontal Site Distances;*

Site distance was measured from the existing driveway. Note that the driveway is located at the end of a cul-de-sac (see plan). A distance of 100' (unobstructed) and 115' (obstructed) was measured from a point 10' back from where the driveway pavement abuts the cul-de-sac pavement. Measurements taken at the pavement edge resulted in distances of 154' (unobstructed) and 180' (obstructed). Measurements taken along the curb line of Marc Road are greater than 200'.

9. *Accessible Parking;*

Modifications were made to the walkway from the employee parking area to the front entrance to provide handicap accessibility and minor adjustments to the grades in the employee parking area to provide handicap parking spaces in conformance with the regulations. Accessible parking counts have been added to the Parking Data table. Added sidewalk detail (handicap access ramp) to plans.

10. *Noise and Odor;*

A Mechanical Systems Ventilation and Odor Mitigation Plan have been submitted. A Noise Mitigation Plan prepared by Acentech, dated 9/25/19 is included with this letter.

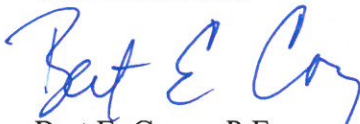
General Comments:

11. *Proposed Fencing for Trash Receptacles;*

Details for a concrete dumpster pad and fence to screen the trash receptacle(s) have been added to the plans.

Do not hesitate to contact me with any questions or concerns. I can be reached at 508-879-0030 ext. 224, or at bcorey@dgtassociates.com.

Sincerely yours,
DGT Associates



Bert E. Corey, P.E.
Engineering Group Manager

Enclosures

Cc: Bridget Graziano, Medway Conservation Agent

Cc: Chad Blair, NEO

Cc: Jamie Lewis, NEO



August 21, 2019
(revised September 27, 2019)

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
Medway Town Hall
155 Village Street
Medway, MA 02053

**Re: NEO Organics Cultivation and Manufacturing
Marijuana Special Permit Site Plan Review
4 Marc Road
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

Tetra Tech (TT) has performed a review of the proposed Site Plan for the above-mentioned Project at the request of the Town of Medway Planning and Economic Development Board (PEDB). The proposed Project is located at 4 Marc Road in Medway, MA. Proposed Project includes construction of a 3,000 square foot concrete mechanical pad for odor control and HVAC equipment, a dumpster pad with associated fencing, and drainage infrastructure; maintenance and improvements to existing drainage infrastructure; and interior renovations to the existing industrial building for marijuana cultivation and manufacturing.

TT is in receipt of the following materials:

- A plan (Plans) set titled "Permit Site Plan, 4 Marc Road, Medway, Massachusetts 02053 for NEO Organics LLC", dated August 6, 2019, prepared by DGT Associates (DGT).
- A stormwater report (Report) titled "Stormwater Management Design and Runoff Calculations Report for 4 Marc Road, Medway, Massachusetts 02053", dated July 25, 2019, prepared by DGT.
- Architectural Plan showing proposed floor layout.
- A Marijuana Special Permit Application, dated August 6, 2019, prepared by DGT.
- An Application for Minor Site Plan Approval, dated August 6, 2019, prepared by LEL.
- An Application Package for Minor Site Plan Review, dated August 6, 2019, prepared by LEL.
- A Host Community Agreement between NEO Cultivation MA LLC, NEO Manufacturing MA LLC, and the Town of Medway, dated March 4, 2019.

The Plans and accompanying materials were reviewed for conformance with Chapter 200 of the Town of Medway PEDB Rules and Regulations (Regulations) and good engineering practice. Review of the project for zoning, stormwater and wetland related issues was not completed as these reviews are conducted by separate consultants/town agencies.

TT 9/27/19 Update

The Applicant has supplied TT with a revised submission addressing comments provided in our previous letter including the following documents:

- A revised plan (Plans) set titled "Permit Site Plan, 4 Marc Road, Medway, Massachusetts 02053", dated August 6, 2019, revised September 19, 2019, prepared by DGT.
- A response to comments letter dated September 26, 2019, prepared by DGT.
- A Floor Plan Schematic, dated September 9, 2019, prepared by Anderson Porter Design.

- A Building Security Narrative prepared by DGT.
- A Waiver Request form for the Development Impact Assessment, dated September 10, 2019, prepared by DGT.

The revised Plans and supporting information were reviewed against our previous comment letter (August 21, 2019) and comments have been tracked accordingly. Text shown in gray represents information contained in previous correspondence while new information is shown in black text.

SITE PLAN REVIEW

1. The applicant has not supplied a written Development Impact Assessment (DIA). The DIA includes a Traffic Impact Assessment, an Environmental Impact Assessment, a Community Impact Assessment, and a Parking Impact Assessment. However, we anticipate a waiver request for this item due to the minor exterior work proposed for the Project. (Ch. 200 §204-3.A.7)
 - *DGT 9/26/19 Response: A waiver request has been submitted. A copy of the request is included with this letter.*
 - TT 9/27/19 Update: No action necessary until PEDB decision on Waivers.
2. A Site Context Sheet has not been provided in the Plans. A waiver has been requested from this Regulation. (Ch. 200 §204-4.B)
 - *DGT 9/26/19 Response: No response necessary.*
 - TT 9/27/19 Update: No action necessary until PEDB decision on Waivers.
3. The applicant has not supplied an Existing Landscape Inventory. A waiver has been requested from this Regulation. (Ch. 200 §204-5.C.3)
 - *DGT 9/26/19 Response: Although a waiver request has been submitted, a partial landscape inventory (trees 1/ 18" DBH) of areas that could potentially be affected by the proposed project has been added to the plan. Currently, there are no large diameter trees that are to be cut down.*
 - TT 9/27/19 Update: No action necessary until PEDB decision on Waivers.
4. Setback lines have not been included on the Plans. (Ch. 200 §204-5.D.1)
 - *DGT 9/26/19 Response: Setback distances have been added to the plans.*
 - TT 9/27/19 Update: Setbacks have been provided on pages C-2 and C-3 on the revised Plans. In our opinion this item has been addressed.
5. A Landscape Architectural Plan has not been provided. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.7)
 - *DGT 9/26/19 Response: Although the waiver request was previously submitted, there may be a State regulatory requirement to provide a visibility corridor, or to improve the existing limited visibility, from the cul-de-sac to the front entrance of the building. There are no large diameter trees that would need to be removed. If this corridor is required, DGT will add various shrubs and groundcovers that are acceptable to the Town of Medway.*
 - TT 9/27/19 Update: No action necessary until PEDB decision on Waivers.

6. A Signage Plan has not been provided in the submission. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.12)
- *DGT 9/26/19 Response: The existing sign, which currently shows only the address “4 Marc Road” is to remain. It will require a slight repair as the previous owner/occupant removed the company name from the sign and two posts remain at the top of the sign. The proposed owner/occupant will not be adding company identification to the existing sign or the building façade.*
 - TT 9/27/19 Update: No action necessary until PEDB decision on this item.
7. A Lighting/Photometric Plan has not been provided in the submission. A waiver has been requested from this Regulation. (Ch. 200 §204-5.D.13)
- *DGT 9/26/19 Response: A Photometric Plan associated with building lighting is enclosed. Note that there are no proposed light poles associated with vehicular parking areas.*
 - TT 9/27/19 Update: In our opinion this item has been addressed.
8. The Applicant has not provided horizontal sight distances at the intersection of the project's proposed driveway and Marc Road. (Ch. 200 §204-5.D.14)
- *DGT 9/26/19 Response: Sight distance was measured from the existing driveway. Note that the driveway is located at the end of a cul-de-sac (see plan). A distance of 100' (unobstructed) and 115' (obstructed) was measured from a point 10' back from where the driveway pavement abuts the cul-de-sac pavement. Measurements taken at the pavement edge resulted in distances of 154' (unobstructed) and 180' (obstructed). Measurements taken along the curb line of Marc Road are greater than 200'.*
 - TT 9/27/19 Update: Sight distance has not been provided on the plans. Sight triangle shall be provided based on current AASHTO methodology for determining sight distance. We do not anticipate issues with egress from the site based on current traffic volumes on Marc Road but unless a waiver is requested, the sight distances shall be provided on the plans.
9. We recommend the Applicant to include the required and provided amount of accessible parking in the “Parking Data” table. (Ch. 200 §204-5.D.15)
- *DGT 9/26/19 Response: Modifications were made to the walkway from the employee parking area to the front entrance to provide handicap accessibility and minor adjustments to the grades in the employee parking area to provide handicap parking spaces in conformance with the regulations. Accessible parking counts have been added to the Parking Data table. Added sidewalk detail (handicap access ramp) to plans.*
 - TT 9/27/19 Update: Existing/proposed van accessible spaces and standard handicap spaces have been provided in the “Parking Data” table. In our opinion this item has been addressed.
10. The Applicant shall provide information quantifying noise and odors from proposed operations. We anticipate this item will be reviewed in detail by the PEDB's noise and odor peer review consultants. (Ch. 200 §204-5.D.17)
- *DGT 9/26/19 Response: A mechanical Systems Ventilation and Odor Mitigation Plan have been submitted. A Noise Mitigation Plan prepared by Acentech, dated 9/25/19 is included with this letter.*

- TT 9/27/19 Update: Applicant has provided a Mechanical Systems Ventilation and Odor Mitigation Plan. These plans will be reviewed by the PEDB's Noise and Odor consultants and for the purposes of this specific review it is our opinion this item has been addressed.

GENERAL COMMENTS

11. Detail of proposed fencing to screen trash receptacles has not been provided on the Plans.

- *DGT 9/26/19 Response: Details for a concrete dumpster pad and fence to screen the trash receptacle(s) have been added to the plans.*
- TT 9/27/19 Update: Detail "Dumpster Screen Fence" has been added to the Plans on page C-7. In our opinion this item has been addressed.

These comments are offered as guides for use during the Town's review and additional comments may be generated during the course of review. The applicant shall be advised that any absence of comment shall not relieve him/her of the responsibility to comply with all applicable local, state and federal regulations for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Bradley M. Picard, E.I.T.
Civil Engineer

P:\21583\143-21583-19016 (4 MARC RD)\DOCS\4MARCROAD-PEDBREV(2019-09-27).DOCX

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

October 3, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: 4 MARC ROAD RECREATIONAL MARIJUANA SPECIAL PERMIT

Dear Mr. Rodenhiser:

I have reviewed the revised applications for a special permit for a recreational marijuana cultivation facility. The owner/applicant is NEO Organics LLC of Sudbury.

The proposal is to convert an existing building to use it for cultivation and processing of recreational marijuana. The existing building has 29,718 square feet on a lot of 6.68 acres. The plan was prepared by DGT Associates of Framingham, and is dated August 6, 2019, with a revision date of September 9, 2019.

The property is located at 4 Marc Road in the East Industrial zoning district, and is partially within the Groundwater Protection District.

I have comments as follows:

ZONING

Use

1. The proposed facility to cultivate, manufacture, and process recreational marijuana qualifies as a Recreational Marijuana Establishment (RME) under Section 8.10 of the Zoning Bylaw.
2. The property is located within the East Industrial district, which is an eligible location for an RME.

General Requirements and Conditions

3. The application meets the general requirements for an RME specified in Section 8.10 E, including being contained within a proper building without residential uses or doctor's offices; is located more than 500 feet from a school; smoking, burning or consumption of marijuana products is not allowed and no drive-through service is provided.

Signage

4. The applicant states that "No signage of any significance" is proposed. I assume that at least a sign with the address and name of the company will be at the entrance driveway (there is an existing such sign). No sign is shown on the plan. **The existing sign is now shown. No other signs are planned.**

Contact Information

5. Contact information for purposes of the special permit process has been provided. It needs to be confirmed if the contact information during operations is the same. **It has been confirmed that the contact is the same operations.**

Prohibition Against Nuisances

6. Section 8.10 H prohibits the creation of nuisances including but not limited to fumes, odors, vapors, and offensive noises. A 3000-square foot concrete pad for odor control and HVAC equipment is proposed. Those facilities are being reviewed by appropriate consultants in those fields as to adequacy. **At the first hearing there was discussion about moving the pad to the opposite side of the building.**

Openness of Premises

7. The existing building is set back off the street, is surrounded by woods and the entrance is on the side of the building facing away from the street (so that the entrance is not visible from the street). This needs further explanation. **At the first hearing there was discussion about possibly clearing some trees to ensure that the entrance is visible from the street. It is not clear that this the case.**

Special Permit Requirements

8. Section 8.10 J. 5. c. requires copies of all required licenses and permits for the RME to the applicant by the Commonwealth of Massachusetts to be included with the application. I did not see evidence of these.
9. Other required information including parties in interest, transportation and delivery policies, and site plan were submitted. It is not clear whether a list of owners has been submitted.
10. Transportation and delivery security measures were submitted but it's not clear that building security measures have been submitted. **A security plan for the building has now been submitted.**
11. Odor and noise mitigation plans have been submitted.

Other

12. Except as noted above, the application complies with the procedures and conditions required in Section 8.10.
13. The PEDB shall specify hours of operations and any other conditions, limitations and safeguards that may be necessary or appropriate.
14. The applicant is required to file an annual report of its operations with the PEDB and other appropriate Town officials.
15. The special permit is not transferable to other owners.

16. All material, plants equipment and paraphernalia shall be removed within 6 months of ceasing operations or surrendering its state licenses.
17. A host community agreement is a requirement of the special permit, and a copy of an executed agreement has been submitted.

Section 3.4 Special Permit Criteria

18. The special permit criteria are addressed as follows:
 - a. The proposed site is an appropriate location for the proposed use. - *Allowed by zoning*
 - b. Adequate and appropriate facilities will be provided for the operation of the proposed use. -- *Appears to comply subject to security measures.*
 - c. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment. - *Appears to comply*
 - d. The proposed use will not cause undue traffic congestion or conflicts in the immediate area. - *No significant traffic increase over existing use.*
 - e. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site or operational attributes of the proposed use. - *A lighting plan is required and noise and odor control measures are being evaluated.*
 - f. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district. - *An existing industrial use exists at the site within an industrial district so the character will not change.*
 - g. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw. - *Zoning specifically allows the proposed use within this district.*
 - h. The proposed use is consistent with the goals of the Medway Master Plan. - *The proposed use continues industrial use of an existing industrial building.*
 - i. The proposed use will not be detrimental to the public good. - *Subject to complying with the above criteria, the proposed use will not be detrimental to the public good.*

Section 5.6.3 Groundwater Protection District

19. The building and most of the driveway and other on-site features are outside the Groundwater Protection District. The improvements being made to the stormwater management system will result in a reduction in the impacts on the district. However, while the district boundary is shown on the cover sheet, it is not shown on the sheets showing proposed site changes. The boundary

should be added to those sheets to better evaluate potential impacts. **The boundary has now been added to the appropriate sheets.**

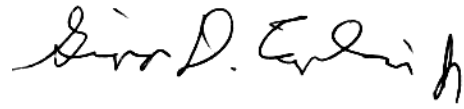
20. In particular, a snow storage area is shown on the east side of the entrance driveway. The Groundwater Protection District prohibits disposal of snow from outside the district if it contains deicing chemicals. It is not clear if the snow storage area crosses the boundary line, but such storage should be avoided even if it is outside, but right against, that boundary. **The snow storage area has been moved away from the Groundwater Protection District boundary.**
21. Stormwater management activities proposed within the district are allowed, and, as noted above, are designed to improve the existing treatment of runoff into and within the district. However, a special permit is needed for changes in “water control devices, ponds, pools or other changes in water bodies or courses, created for swimming, fishing, or other recreational uses, agricultural uses, or drainage improvements.”

General Comments

22. Site changes are minimal. Access and parking is not changing, and the existing parking exceeds the requirement.
23. Landscaping is minimal and the plans do not indicate any changes. Required security measures may preclude many landscape features as the entrance is already not visible from the street.
24. Security lighting is being added. A waiver is requested to not provide a lighting plan. This waiver has generally not been granted in the past so a photometric plan should be provided. **I have not seen a photometric plan.**
25. A waiver is also requested for a signage plan. Additional signage, for example on the building, (other than any signage required for security and emergency purposes), is not required. However, if existing signage is to remain or any new signage is to be added, it should be clarified. **It has been clarified that the existing sign with the address will remain.**
26. Other waiver requests involving a landscape inventory and landscape plan by a registered landscape architect, and for providing a site context sheet appear reasonable.
27. Impervious surface is being increased by 3000 square feet for the purpose of providing a base for HVAC and odor mitigation equipment. The site remains below the maximum impervious cover area, and the location abutting the building screened by a wooded area is the most appropriate location on the site. **The impervious cover has increased slightly to account for an added HVAC unit but still below maximum.**

If there are any questions about these comments, please call or email me.

Sincerely,

A handwritten signature in black ink, appearing to read "Gino D. Carlucci, Jr.", with a stylized flourish at the end.

Gino D. Carlucci, Jr.

**NEO Organics
4 Marc Road
Medway, Massachusetts**

**Mechanical Systems
Ventilation and Odor Mitigation Plan**

September 12, 2019

Prepared For:

NEO Organics
4 Marc Road
Medway, Massachusetts

Prepared By:



554 Remington Place
Castle Rock,
Colorado 80108

VENTILATION AND ODOR MITIGATION PLAN

NEO Organics

Bay City, Michigan

Marijuana Cultivation and Processing Facility

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- b. Company Contact Person and Phone Number
- c. Facility mailing address (if different from physical address)
- d. Hours of Operation
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- a. Facility floor plan
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4. Timeline for implementation of odor mitigation practices

- i. The Department's approval of plan
- ii. Purchase and installation of engineering controls. 2-3 Weeks
- iii. Inspections and approval by City agencies

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Appendices

1. Facility Information

1. Facility general information:

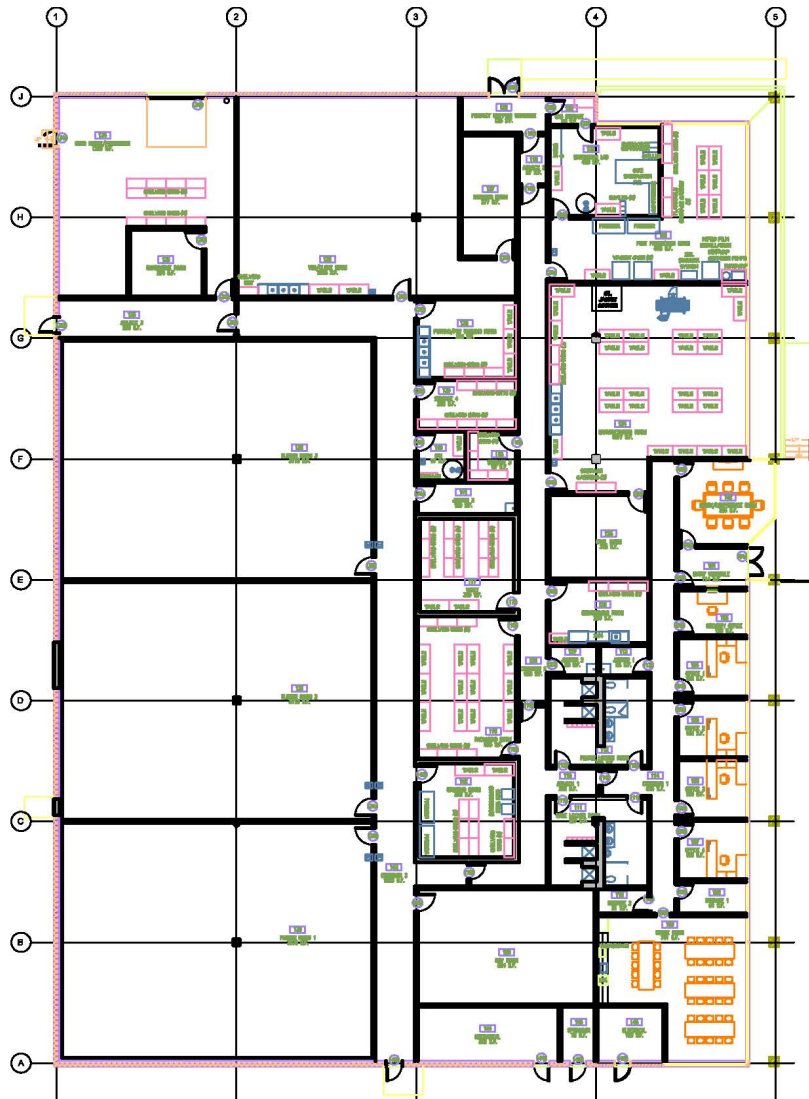
- a. NEO Organics
- b. Jamie Lewis
415-519-1063
- c. 4 Marc Way, Medway, Massachusetts
- d. Hours of Operation 7am-7pm
- e. Marijuana Cultivation and Processing Facility

2. Facility Odor Emissions Information

1. Facility floor plan:

- a. Facility floor plan:

This section includes a facility floor plan, with locations of odor emitting activity(s) and emissions locations specified. Relevant information including, but not limited to, doors, windows, ventilation system, and odor source locations.



b. Specific odor-emitting activities

Specific odor-emitting processes at the NEO Organics Facility include the following:

- **Mother Room:** These operations include the initial growing stage of new plant. The process emits plant terpenes into the atmosphere. Plants are moved from here to the Vegetative Rooms.
- **Vegetative/ Cone Room:** These operations include the initial growing stage of new plant. The process emits plant terpenes into the atmosphere. Plants are moved from here to the Flower Rooms.
- **Flower Rooms:** Trimming or budding operations including plant-stressing occur during a 60-70 day process. At the time of harvest the rooms will be

“pulled down” in order to get product into the drying process. This process will occur in the Drying Room.

- **Drying Room:** During the drying process moisture will be removed from the plants at which point plant terpenes will be released into the atmosphere. Once the plants are sufficiently dried or cured they will be moved into the Trimming Room.
- **Post Production/ Manufacturing Rooms:** this is the process of distillation and processing product for infusion into edible products. This room is also post-production for the extraction oil. The post production process of distillation can also produce terrapin odors.
- **Packaging Room:** Occupants will handle open dried plant material for the purposes of packaging for shipment.
- **Grinding Room:** this is the process of trimming the buds from main stalk. This room is also post-production for the extraction oil. The post production process of distillation can also produce terrapin odors.

Note: Office and general support areas are not considered odor emitting locations with activities.

The Extraction Process is not considered to be an odor generating process all material is sealed prior to entering the room. The extraction exhaust process is considered Hazardous Exhaust. Per Section 510, of the 2015 IMC: No filtration can be installed between the exhaust inlet and the fan outlet.

- c. Phases (timing, length, etc.) of odor-emitting activities at 4237 Josephine Street include the following:

- **Dry/ Clone Room:** Plants are in clone stage for 2-3 weeks. The process to move to the Vegetative Room is 1-2 hours.
- **Vegetative Room:** Plants are in vegetative stage for 2-3 weeks. The process to move the Flower Rooms is 2-4 hours.
- **Flower Rooms:** Plants are in the flowering stage for 60-70 days. The process to harvest and transport to Trimming and Extraction is 2-3 days.
- **Drying Room:** Plants are in the drying stage for 7-10 days. The process to transport to the Trimming and Extraction is 2-4 hours.
- **Post Production/ Manufacturing Rooms:** Trimming operations occur approximately 4 hours per day between the hours of 8 AM-5 PM.
- **Packaging Room:** Trimming operations occur approximately 4 hours per day between the hours of 8 AM-5 PM.

- **Grinding Room:** Trimming operations occur approximately 4 hours per day between the hours of 8 AM-5 PM.

3. Odor Mitigation Practices

For each odor-emitting source/process outlined in the Odor Control Plan's Section 2(b), specify the administrative and engineering controls to be implemented.

The following are the list of 'administrative controls' and 'engineering controls' that include, but not limited to:

a. Administrative Controls

- i. **Procedural activities:** NEO Organics has taken extreme measures to isolate all odor emitting activities. These include, carbon filters installed in each room and isolating all odor producing activities in their own rooms that have heavy duty doors with door closers to insure doors are always closed. In addition we have installed the top of the line HVAC and Environmental Control System. This procedures will be applied to the following odor-emitting areas of activity:
 - Mother Room
 - Vegetative/ Clone Room
 - Flower Rooms
 - Drying Rooms
 - Packaging Room
 - Post Production
 - Grinding Room
- ii. **Staff training procedures:** NEO Organics has an extensive training program that includes training specifically for odor mitigation. The importance of keeping doors shut, changing carbon filters, and keeping all trash cans tightly locked and secured, among the other Standard Operating Procedures, that all employees must follow. NEO Organics conducts weekly staff meetings on Tuesday's from 1-2 pm. At these meetings we discuss odor mitigation and discuss with all departments the importance of keeping up with the processes we have in place.

- iii. **Recordkeeping systems and forms:** Attached you will find our Carbon Filter Report Card, this card is maintained and filled out monthly by our Operations Manager, to be determined. NEO Organics will have a 2 month supply of Carbon Filters on site that will be re-ordered by the Operations manager as to never fall behind on changing. If a Filter needs to be changed sooner than the 1 month. Filters will be on premises to do so. If maintenance is needed it will be done immediately as to not affect the neighboring areas around the project.
- iv. **Monitoring and inspection:** Every odor emitting room will be continuously monitored with daily inspections for odor. If a high volume of odor is detected by an employee, they will directly inform the Operations Manager. If a filter needs to be changed it will be done so at this time. If doors are not closing by themselves, doors will be fixed as soon as the problem is detected.

b. **Engineering Controls**

- v. The engineering odor control system has been designed by a Professional Engineer licensed in the State of Colorado.
- vi. HVAC system odor control plan: Closed Loop System.
Active Carbon Odor Control (Element Air, GPS-2400 bi-polar ionization, Can-Lite Fans, Carbon Filters and Rolled Carbon Filter Material)

Odor Control – The Can-Lite active carbon filters absorbs its molecular weight of contaminants it comes in contact with. Adsorption is a distinct process where organic compounds in the air react chemically with the activated carbon, which causes them to stick to the filter. The more porous the activated carbon is, the more contaminants it will capture. These filters are most notably used to remove terrapin compounds in MMJ facility, air purification systems.

Element Air units pass air through a REME® / PHI oxidation chamber, which destroys airborne microbes with high intensity UV light rays targeted on a quad-metallic compound. The process develops a highly charged atmosphere of hydroxyl radicals, hydro-peroxides and super oxide ions. This atmosphere oxidizes contaminants in the air with friendly oxidizers. By friendly oxidizers, we mean oxidizers that revert back to oxygen and hydrogen after the oxidation process. No chemical residue or dangerous compounds are emitted from the system. This eliminates bacterial growth as well as terpene odor produced by the plants.

1) Odor Mitigation System design

- a. **General:** All the HVAC systems, serving the cultivation areas of the building installed will be considered “closed-loop”

systems. Other than ventilation air, all the of the HVAC equipment will recirculate 100% of the supply being distributed to the various applications areas throughout the facility. Active carbon filtering will be installed to mitigate odors within the facility. To the extent possible, the odor mitigation will be intended to mitigate odor migration to the outside of the building and surrounding areas. It is no way intended to remove all of the terpene odors from within the facility, itself.

All the HVAC systems, serving the general office and support areas areas of the building will be designed as standard air conditioning with economizers, to comply with the latest IMC and IECC. Codes.

- a. **Mother Room:** Mother Room will also have installed Can-Light active carbon filters to operate as “scrubbers” the room. The Dry/ Clone Room will have the quantity of 12” Can-Light fans sufficient to provide a minimum of 6 air-changes per hour of active carbon filtration for each room.
- b. **Vegetative/ Clone Room:** Vegetative Room will also have installed Can-Light active carbon filters to operate as “scrubbers” the room. Vegetative Room will have the quantity of 12” Can-Light fans sufficient to provide a minimum of 6 air-changes per hour of active carbon filtration for each room.
- c. **Flower Rooms:** Flower Rooms will also have installed Can-Light active carbon filters to operate as “scrubbers” the room. The Flower Rooms will have the quantity of 12” Can-Light fans sufficient to provide a minimum of 6 air-changes per hour of active carbon filtration for each room. Element Air units installed to mitigate odors and provide biosecurity.
- d. **Drying Room:** Provide nominally sized vertical high-efficiency split- system AC/ Furnace unit(s) with outdoor remote condensing unit(s). Ventilation air will be provided as required for listed occupancy. The units will utilize GPS-2400 bi-polar Ionization units for odor and bacterial mitigation.
- e. **Post Production/ Manufacturing Rooms:** Provide nominally sized vertical high-efficiency split- system AC/ Furnace unit(s) with outdoor remote condensing unit(s). Ventilation air will be provided as required for listed occupancy. The units will utilize GPS-2400 bi-polar Ionization units for odor and bacterial mitigation.
- f. **Packaging Room:** Provide nominally sized vertical high-efficiency split- system AC/ Furnace unit(s) with outdoor remote condensing unit(s). Ventilation air will be provided as required for listed occupancy. The units will utilize GPS-2400 bi-polar Ionization units for odor and bacterial mitigation.

- g. **Grinding Room:** The Grinding Room will also have installed Can-Light active carbon filters to operate as “scrubbers” the room. The Grinding Room will have the quantity of 12” Can-Light fans sufficient to provide a minimum of 6 air-changes per hour of active carbon filtration for each room. Carbon filtered exhaust hood will also be provided for this room. Provide nominally sized vertical high-efficiency split- system AC/ Furnace unit(s) with outdoor remote condensing unit(s). Ventilation air will be provided as required for listed occupancy. The units will utilize GPS-2400 bi-polar Ionization units for odor and bacterial mitigation.

2) Building Exhaust Systems

- a. **Toilet/ Locker Room Exhaust Fans:** The toilet exhaust fans will have active carbon rolled filter material installed on the fan inlets. The filters will be roll-type material secured to the fan inlet.
- b. **Service Sink Exhaust Fan:** The service sink exhaust fans will have active carbon rolled filter material installed on the fan inlets. The filters will be roll-type material secured to the fan inlet.
- c. **CO2 Purge Fans:** Areas where CO2 is utilized will have an alarm system to initiate CO2 evacuation when levels reach 5000 PPM. Each purge fan will consist of 12” Can-Light fans sufficient to provide a minimum of 1 CFM per sq. ft. of exhaust. Each fan will have installed active carbon filtration to mitigate the exhaust air.

Note: The Extraction Process is not considered to be an odor generating process all material is sealed prior to entering the room. The extraction exhaust process is considered Hazardous Exhaust. Per Section 510, of the 2015 IMC: No filtration can be installed between the exhaust inlet and the fan outlet.

3) Operational processes

Mother Room: The can light fans operate 24 hour/ day and provide a minimum of 6 air changes per hour of constant odor filtration.

Vegetative/ Clone Room: The can light fans operate 24 hour/ day and provide a minimum of 6 air changes per hour of constant odor filtration.

Flower Rooms: The can light fans operate 24 hour/ day and provide a minimum of 6 air changes per hour of constant odor filtration. Element Air units will operate 24 hours/ day.

Drying Room: The can light fans operate 24 hour/ day and provide a minimum of 6 air changes per hour of constant odor filtration.

Post Production/ Manufacturing Rooms: The GPS-2400 bi-polar ionization units operate 24 hours/ per day. The GPS-2400 will be installed in the HVAC system serving this room.

Packaging Room: The GPS-2400 bi-polar ionization units operate 24 hours/ per day. The GPS-2400 will be installed in the HVAC system serving this room.

Grinding Room: The can light fans operate 24 hour/ day and provide a minimum of 6 air changes per hour of constant odor filtration. Exhaust hood will operate intermittently, based on operational requirements.

4) Maintenance plan

- a. **Active Carbon:** The Can-Lite active carbon filters absorbs its molecular weight of contaminants it comes in contact with. Adsorption is a distinct process where organic compounds in the air react chemically with the activated carbon, which causes them to stick to the filter. The more porous the activated carbon is, the more contaminants it will capture. These filters are most notably used to remove terpenoid compounds in MMJ facility, air purification systems.

The physical process of adsorption is followed by chemical adsorption (chemisorption). This is a chemical reaction in which the two substances react together and the resultant chemical is trapped on the filter material. The impregnation of filter media can greatly extend the range of gases that can be removed from the air stream.

- Terpenes commonly occur in the oils that give plants their fragrance.
- The fundamental building block of MMJ terpenes is the isoprene unit, C_5H_8
- The larger structures are "assembled" from several isoprene units, usually by "head-to-tail" linked isoprene units.

- b. **Mother Room:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in the

Transplant Clone Room is 12 lbs (one fan). Recommended rate of replacement of the carbon filter material is every 24-30 months. This is empirically based on 6 air-changes/ hour and an average MMJ plant size and plant totals, for each room.

- c. **Vegetative Room:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in each Veg. Room is 12 lbs. Recommended rate of replacement of the carbon filter material is every 18-24 months. This is empirically based on 6 air-changes/ hour and an average MMJ plant size and plant totals, for each room.
- d. **Flower Rooms** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in each Flower Room is 24 lbs. Recommended rate of replacement of the carbon filter material is every 18-24 months. This is empirically based on 15 air-changes/ hour and an average MMJ plant size and plant totals, for each room.
- e. **Drying Room:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in the Drying Room is 12 lbs. Recommended rate of replacement of the carbon filter material is every 24-30 months. This is empirically based on 15 air-changes/ hour and an average MMJ plant size and plant totals, for each room.
- f. **Post Production/ Manufacturing Rooms:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in the Drying Room is 12 lbs. Recommended rate of replacement of the carbon filter material is every 24-30 months. This is empirically based on 15 air-changes/ hour and an average MMJ plant size and plant totals, for each room. GPS-2400 bi-polar Ionization unit nodes to be replaced every 3-4 years.
- g. **Packaging Room:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is 358.4733 g/ mole. The amount of active carbon in the Drying Room is 12 lbs. Recommended rate of replacement of the carbon filter material is every 24-30 months. This is empirically based on 15 air-changes/ hour and an average MMJ plant size and plant totals, for each room. GPS-2400 bi-polar Ionization unit nodes to be replaced every 3-4 years.
- h. **Grinding Room:** Maintenance Active carbon Can-lite Fans: The molecular weight of the MMJ terpene isoprene unit is

358.4733 g/ mole. The amount of active carbon in the Drying Room is 24 lbs. Recommended rate of replacement of the carbon filter material is every 24-30 months. This is empirically based on 15 air-changes/ hour and an average MMJ plant size and plant totals, for each room. GPS-2400 bi-polar Ionization unit nodes to be replaced every 3-4 years.

- i. **Toilet/ Service Sink Exhaust Fans:** Maintenance of active carbon roll material will be replaced on a monthly basis.

4. Timeline for implementation of odor mitigation practices

- iv. The Department's approval of plan: TBD
- v. Other agencies' approval of plan: TBD
- vi. Purchase and installation of engineering controls: Upon approval of plan.
- vii. Inspections and approval by City agencies: TBD
- viii. Complaint tracking system: By City agencies. TBD

Appendices

Filter Replacement Documentation

Location	Filter Type	Activity: Replace/ Clean	Date
Mother Room	Can lite Filter		
Vegetative/ Clone Room	Can lite Filter		
Flower Room	Can lite Filter		
Post Production	Can lite Filter		
Packaging	Can lite Filter		
Dry Room	Can lite Filter		
Toilet/ Janitor Room	Carbon Filter		
CO2 Purge	Can lite Filter		

CARBON FILTER



Air Handler Carbon Pleat filters are designed for the control of intermittent odor problems, removing a wide range of odors and common indoor air pollutants such as cigarette smoke, industrial process, copiers, pets, and musty areas. The advanced media has improved capability to help absorb nuisance odors. The pleated filter packs are enclosed in a heavy duty, moisture-resistant (beverage board) die-cut frames that will not crack, warp, or distort under normal operating conditions. Use in air make-up systems and re-circulation applications in office buildings, hospitals, airports, food courts, and manufacturing facilities.

GPS - 2400

Cold Plasma Air Purification Device



Patent(s) #US 9025303 B2
US 9289779 B2

PRODUCT DATA SHEET

Product Description: The GPS-2400 series of products are designed to be mounted inside of fan coils, heatpumps and air handlers up to 2,400 CFM or 6 tons. Their compact size and single screw mounting requirement allows them to be mounted almost anywhere in just a few minutes. The cold plasma produced will travel down the duct disinfecting everywhere the air is traveling.

Standard Features Include: Carbon Fiber Brushes, LED Operation Status and In-Line Fuse

Benefits: Neutralizes Odors, Kills Mold, Bacteria and Virus, Helps to Control Allergens* and Asthma*, Particle Reduction, Smoke Control, Ease of Installation and Service and Prevents Dirty Sock Syndrome (DSS)

Applications: Residential Including Odor, Smoke, Pathogen, Mold/Mildew Control and Particle Reduction, Light Commercial

Specifications:

Input Voltage:	24VAC—GPS-2400-3 115VAC—GPS-2400-1 208-277VAC—GPS-2400-2
Power Required:	9.6 VA
Frequency:	50/60HZ
Capacity:	0-2,400 CFM
Unit Dimensions:	2.4"L x 1.7"H x 1.2"D
Weight:	0.25 lbs
Electric Approvals:	UL Recognized, cUL Recognized, ETL Recognized

*These statements are based on numerous customer testimonials and have not been evaluated by the FDA

Global Plasma Solutions
10 Mall Terrace, Building C
Savannah, GA 31406



Phone: 912-356-0115
Fax: 877-270-5353
Web: www.globalplasmasolutions.com

ROLLED CARBON FILTER

SureSorb Activated Carbon 50Ft Roll 19 1/2 x 5/8 | Air Filters, Inc.

Page 1 of 7

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<https://www.airfilterusa.com/suresorb-activated-carbon-50-ft-roll-19-1-2x5-8.html>

2/6/2017


CAN-LITE FILTER FAN


Can-Lite Carbon Filter 12 inch - 1800 CFM for Sale - Reviews, Prices, & More - Grower... Page 1 of 4


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Can-Lite Carbon Filter 12 inch - 1800 CFM

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Can Lite Carbon Filters use a finer grade carbon so they are lighter and easier to hang from ceilings as part of your ventilation. The Can Lite 12" carbon filter comes with a 12" flange attached to one side of the carbon filter. Use a fan that's approximately 1800 CFM or less with this filter.

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Additional Information

Name	Can-Lite Carbon Filter 12 inch - 1800 CFM
Brand	Can Fans & Filters
SKU	700593
Weight (lbs)	66.00
Dimensions	40 x 16 x 16
CFM	1800 CFM
MSRP	\$348.00

Details

CF group has added a new series of canister filters to their already dominant line of activated carbon filters. After years of research and field testing of the light-weight carbon filter, CF group will proudly place their trusted name in air filtration on this new series of filters. The Can-Lite™ has been developed with ease of installation, durability and effectiveness in mind. The Can-Lite™ is manufactured the same way as the Original Can-Filters® (proven packed bed design). The difference is in the carbon; high density carbon is used in the Can-Lite™.

- Built in flange
- 10% More Virgin Activated Australian RC Light Weight Granular Carbon than the competition
- 2" Bed Depth of Pure Virgin Activated Australian RC Light Weight Granular Carbon
- 51% Perforated Open Area For Maximum Air Flow
- Up to 2.5 Years Life Expectancy
- Weight saving aluminum top and bottom
- Pre filter included
- Ease of installation with the low overall weight

Write Your Own Review

You're reviewing: Can-Lite Carbon Filter 12 inch - 1800 CFM

How do you rate this product? *

<http://growershouse.com/can-lite-carbon-filter-12-inch-1800-cfm?keyword=&gclid=Cj0KE...> 2/6/2017

ELEMENT AIR UNITS

Most facilities do not check the air for microorganisms on a daily or monthly basis. Bacteria and mold can continuously breed within the environment and on plants. RGF® developed this air treatment system to provide continuous protection in sensitive air spaces. Air passes through a REME® / PHI oxidation chamber, which destroys airborne microbes with high intensity UV light rays targeted on a quad-metallic compound. The process develops a highly charged atmosphere of hydroxyl radicals, hydro-peroxides and super oxide ions. This atmosphere oxidizes contaminants in the air with friendly oxidizers. By friendly oxidizers, we mean oxidizers that revert back to oxygen and hydrogen after the oxidation process. No chemical residue or dangerous compounds are emitted from the system. Airborne contaminants in the form of bacteria, mold, and yeast continue to be one of the least addressed issues in most facilities. The unit was designed for MMJ cultivation applications and does



END OF REPORT

October 2, 2019

Susan Affleck - Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
Email: sachilds@townofmedway.org

Re: NEO Organics – 4 Marc Road Cultivation Facility, Follow-up Review of Odor Mitigation Plan

Dear Ms. Affleck - Childs:

This letter documents the findings from my follow-up review of the resubmitted Odor Mitigation Plan for the cannabis cultivation and processing facility at 4 Marc Road in Medway, Massachusetts. The following documents were reviewed:

- Architectural Floor Plan by Anderson Porter Design, A1.1, 9-09-2019, 1 page
- Permit Site Plan by DGT Associates, C-1 thru C-7, 9-09-2019, 7 pages
- Mech. Systems Ventilation and Odor Mitigation Plan by Impact Engineering, 9-12-2019, 17 pages

I offer the following comments from my review of the documents:

General Comment:

1. The Plan contains narrative descriptions of systems, but no mechanical drawings are available at this time. When the completed mechanical drawings eventually get submitted for permitting, they should be reviewed at that time for compliance with the Odor Mitigation Plan.

Odor Mitigation System design:

2. General: It is stated that "Other than ventilation air, all of the HVAC equipment will recirculate 100% of the supply being distributed to the various applications areas throughout the facility." Since no room air will be exhausted from grow rooms under normal operation, the rooms will not be under negative pressure, and therefore will likely exfiltrate odorous grow room air into the corridors when the doors are opened and possibly through cracks in exterior walls and into the outside air. No information has been provided to indicate that the rooms will be sealed to prevent exfiltration through the room envelope.
3. There is no mention of a control strategy or equipment to mitigate odor that will escape from cultivation and processing rooms when the doors are opened in order for staff to enter or exit the rooms. Will exhaust fans in the Janitor Rooms or other rooms be used to maintain negative pressure in the corridors? If so, these fans will need to run 24/7 and transfer air grilles will need to be installed in the doors or walls to these rooms.
4. In the descriptions for the Drying Room, Post Production/Manufacturing Rooms, and Packaging Rooms, there is no mention of carbon filters like there is for all the other rooms described in this

section or in the Operational Processes section. This seems to imply that no carbon filtering is planned for these three areas, even though the Maintenance Plan section describes carbon filtering for these three areas. This apparent contradiction should be clarified along with a description of how the bi-polar ionization units will be configured, i.e. which air stream will they be placed in, will the exhaust air stream be protected with odor mitigation systems?

Building Exhaust Systems:

5. The list of exhaust systems does not appear to be complete. No exhaust fans are mentioned for the Post Production, Manufacturing, Dishwashing, or Pot Washing Rooms. Will the exhaust air streams from these rooms be protected with odor mitigation systems?

Operational processes:

6. Design criteria for Bi-polar ionization units is not stated. Are these units sized based on a certain number of air changes per hour?

Maintenance plan:

7. In the description for the Flower Rooms and each room that follows after it, the design criteria for the carbon filters is stated to be 15 air-changes per hour, and this is appropriate for flower rooms and each room downstream of it the process. However, this criteria is contradicted in both the Odor Mitigation System Design section and the Operational Processes section, which both state the criteria for these rooms to be 6 air-changes per hour.

If you have any questions or comments, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Bruce Straughan". The signature is written in a cursive, flowing style.

Bruce Straughan, PE
Straughan Forensic, LLC

NEO Manufacturing LLC and NEO Cultivation LLC

4 Marc Road

Medway, Massachusetts

Noise Mitigation Plan

Noise Mitigation Plan:

Specific noise-emitting processes:

- **Cogen Equipment:** These operations include generation of electrical power which includes heating and cooling from reciprocating engines.
- **Vegetative Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Flower Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Harvest Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Drying Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Trim Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Packaging Rooms:** These operations include Exhaust fans and HVAC equipment.

Noise Mitigation Best Practice:

- **Staff training procedures:** NEO has an extensive training program that includes training specifically for noise control and maintenance and operation of equipment. Operating Procedures that all employees must follow. NEO will conduct staff meetings at these meetings we discuss noise and maintenances of equipment.
- **Monitoring and inspection:** Every noise emitting room will be continuously monitored with daily inspections for noise breakout.

Engineering Controls:

All engineering noise control devices are designed by a Professional Engineer licensed in the State of Massachusetts. An affidavit of compliance will be provided with DEP

HVAC system noise control plan:

- **Closed Loop System:** with limited exhaust fitted with silencers.
- **Exhaust Fans:** fans will be fitted with silencing devices to prevent breakout noise.
- **Cogen Equipment:** Industrial grade Silencers will be installed on exhaust equipment and engines.

Environmental Noise Modeling:

Neo-Organics has retained Acentech, which has conducted a study of community noise produced by mechanical equipment serving Neo Organics facility located at 4 Marc Road in Medway, Massachusetts. Acentech worked with Neo-Organics to develop this Noise Mitigation Plan. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

Noise Modeling:

Acentech has developed a computer model of facility sound using CadnaA, and acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 "Attenuation of sound during propagation outdoors -- Part 2: General method of calculation". FIGURE 2 presents the receptor locations used in computer modeling.

The facility has noise-producing equipment located on grade that includes a 300 kw generator, a transformer, air handling units, and condensing units. In addition, there are two rooftop exhaust fans. The mechanical equipment is identified in FIGURE I. The sound power levels of the equipment are given in TABLE II below. APPENDIX A includes the sound data sheets from the manufacturers. Currently, we have assumed for worst case test study that all equipment, except the generator, will run at all hours at maximum capacity.

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000	dBA
300 kw Generator*	83	89	91	96	96	91	86	81	99
Exhaust Fan (EF-X)	80	77	76	68	64	63	59	53	72
Air Handling Unit (AHU-1)	89	97	94	92	89	83	79	75	94
Ground mounted unit (GRTU-1)	89	85	87	81	79	78	73	62	85
GPod Condenser Small (GPCU-1)	73	74	69	68	66	62	56	52	71
GPod Condenser Large (GPCU-2)	38	55	56	60	62	61	52	49	66
Trane Condenser (CU-1)**	65	62	59	56	53	50	47	44	59
Trane Condenser (DCU)**	56	53	50	47	44	41	38	35	50
Mitsubishi Condenser (CU-2)**	65	62	59	56	53	50	47	44	59
2000 kVA Transformer***	80	82	77	77	71	66	61	54	77

* We have assumed daytime maintenance testing only.

**Octave band data unavailable, assumed spectrum.

*** Sound data estimated based on NEMA rating.

Source Strength:

The Town of Medway and their noise peer review consultant (NCE, Billerica, MA) have estimated corresponding limits in the current octave-bands in connection with another nearby facility, and we have referred to these estimates to facilitate the work. The daytime and nighttime noise limits from the ordinance in modern octave bands are shown below in TABLE 1. The daytime noise limits are 5 dB greater than the nighttime

limits. We understand the noise ordinance to be applicable at the source property lines.

TABLE I. Medway Noise Ordinance

Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
Nighttime	67	55	48	42	38	35	32	28
Daytime	72	60	53	47	43	40	37	33

Model Results, No Noise Controls

Based on our baseline computer model (as designed, no noise mitigation), we expect that the proposed equipment will *not* comply with the Medway noise ordinance at all facility property lines (see APPENDIX B, Table IV).

Noise Control Mitigation

An analysis of the noise-producing equipment revealed that the most significant noise sources are the GRTUs and AHUs. To mitigate the noise from these sources, we will be placing barriers, around the sources (3 m tall barriers for GRTUs, 4.5 m tall barriers for AHUs). We also will be selecting a generator and enclosure that meets the criteria 64 dBA at a distance of 7 m. The installment of the Generator will not be done during the first phase of Buildout so equipment's and noise mitigation will not be necessary. Once ready the company will do similar sound studies to confirm it meet the sound levels permitted

Model Results, Noise Controls

TABLE III summarizes the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave-band provisions of the Medway noise regulation.

However, our model predicts that the transformer will exceed the criteria by 1 dB in the 500 Hz octave band at one property line receptor. We have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. The 1 dB exceedance is within the uncertainty of our model, which we will mitigate if necessary, with a sound barrier

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the following noise control recommendations.

TABLE III. Estimated nighttime octave-band sound levels at facility property lines

Receptor	63	125	250	500	1000	2000	4000	8000
PL01	45	51	45	42	37	29	23	<20
PL02	45	46	41	39	35	29	23	<20

PL03	42	39	39	35	32	29	21	<20
PL04	47	44	45	39	37	35	28	<20
PL05	49	45	47	40	37	35	29	<20
PL06	42	38	39	35	32	29	20	<20
PL07	37	32	32	29	26	22	<20	<20
PL08	34	34	29	25	24	<20	<20	<20
PL09	36	40	36	31	26	20	<20	<20
PL10	37	40	37	32	27	21	<20	<20
PL11	40	45	40	36	31	24	<20	<20
PL12	42	47	42	38	32	25	<20	<20
PL13	41	46	41	37	31	24	<20	<20
PL14	48	52	47	43	38	31	26	<20
Medway Noise Ordinance	67	55	48	42	38	35	32	28

Full modeling results with and without mitigation are shown in APPENDIX B.

Post Construction Testing and Validation:

Post construction testing will be done to validate installation meets the noise guidance on noise performance of the facility. This post-construction test phases of the HVAC systems includes:

- Prepare and submit for review and approval a draft noise test plan review.
- Mobilize and conduct the noise testing according to the testplan.

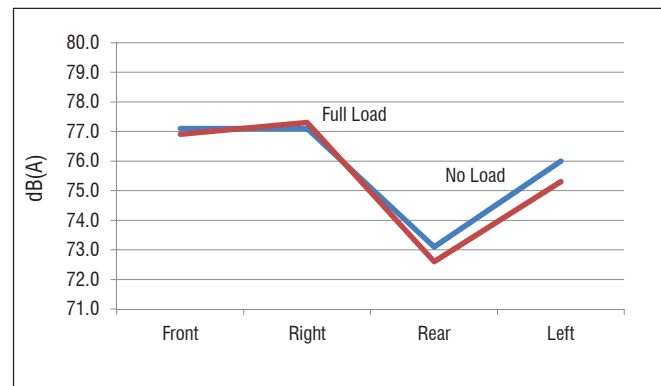
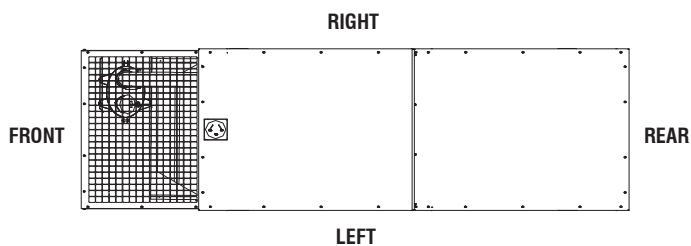
APPENDIX A

MANUFACTURER NOISE DATA

LEVEL 2 ACOUSTIC ENCLOSURE SD300 10.3L FPT

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	45.9	57.9	62.8	67.0	73.2	71.6	65.6	64.9	60.7	77.1
RIGHT	43.9	61.4	64.9	67.3	70.7	73.0	68.8	62.7	58.1	77.1
REAR	40.1	55.9	62.1	65.2	68.1	68.2	61.7	54.9	49.2	73.1
LEFT	41.5	58.9	65.7	64.9	71.4	70.8	66.9	60.1	56.2	76.0
AVERAGE	42.9	58.5	63.9	66.1	70.9	70.9	65.7	60.6	56.0	75.8

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	46.9	58.3	64.5	68.6	73.1	69.1	67.5	65.2	61.3	76.9
RIGHT	44.0	60.6	66.4	67.8	72.4	70.8	69.2	64.9	61.6	77.3
REAR	41.9	57.4	62.7	65.0	68.6	65.5	60.7	56.2	53.9	72.6
LEFT	43.4	60.6	66.6	65.4	71.5	67.6	64.7	61.2	60.4	75.3
AVERAGE	44.0	59.2	65.1	66.7	71.4	68.2	65.5	61.9	59.3	75.6



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

**TRANE®**Job Name: Clover
Prepared By: Impact Engineering
Unit Tag: 15 Ton
Quantity: 1

Trane Voyager Gas/Electric Packaged Rooftop

Unit Overview - YHD180G4RHB**00B1A10000000000000000000000

Application	Unit Size	Supply Fan		External Dimensions (in.)			Weight		EER	IEER/SEER
Gas/Electric	15 Ton	Airflow	External Static Pressure	Height	Width	Length	Minimum	Maximum	12.1 EER	14.00
		6000 cfm	1.000 in H2O	66.250 in	84.188 in	121.688 in	2241.0 lb	2663.0 lb		

Unit Features

Panels/Filters Std panels/2" pltd filters MERV 8

Unit Electrical

Voltage/phase/hertz	460/60/3
MCA	33.00 A
MOP	45.00 A



Controls

Unit Controls Reliatel

Cooling Section

Entering Dry Bulb		80.00 F	Capacity	
Entering Wet Bulb		67.00 F	Gross Total	180.52 MBh
Ambient Temp		95.00 F	Gross Sensible	142.17 MBh
Leaving Coil Dry Bulb		58.06 F	Net Total	171.67 MBh
Leaving Coil Wet Bulb		57.30 F	Net Sensible	133.32 MBh
Leaving Unit Dry Bulb		59.77 F	Fan Motor Heat	8.85 MBh
Leaving Unit Wet Bulb		57.96 F	Refrig Charge-circuit 1	13.0 lb
Refrigeration System Options			Refrig Charge-circuit 2	8.5 lb
Leaving Dew Point		56.82 F		

Heating Section

Heat Type	Gas
Heating Stages	2
Output Heating Capacity	280.00 MBh
Heating EAT	55.00 F
Heating LAT	98.01 F
Heating Temp Rise	43.01 F

Fan Section

Indoor Fan Data		Outdoor Fan Data	
Type	FC Centrifugal	Type	Propeller
Drive Type	Belt	Fan Quantity	2
Indoor Fan Performance		Drive Type	Direct
Airflow	6000 cfm	Outdoor Fan Performance	
Design ESP	1.000 in H2O	Outdoor Motor Power	0.89 kW
Component SP	0.040 in H2O	Condenser Fan FLA	1.35 A
Total SP	1.058 in H2O	Exhaust Fan Performance	
Indoor Motor Operating Power	2.81 bhp	Exhaust Fan FLA	4.80 A
Indoor Motor Power	2.09 kW		
Indoor RPM	709 rpm		

Compressor Section

Power	12.28 kW
Circuit 1 RLA	14.70 A
Circuit 2 RLA	7.00 A

Accessories

Roof curb yes

Acoustics

Sound Path	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Ducted Discharge	87 dB	82 dB	76 dB	79 dB	72 dB	70 dB	69 dB	63 dB
Ducted Inlet	91 dB	82 dB	74 dB	70 dB	65 dB	60 dB	60 dB	53 dB
Outdoor Noise	89 dB	97 dB	94 dB	92 dB	89 dB	83 dB	79 dB	75 dB

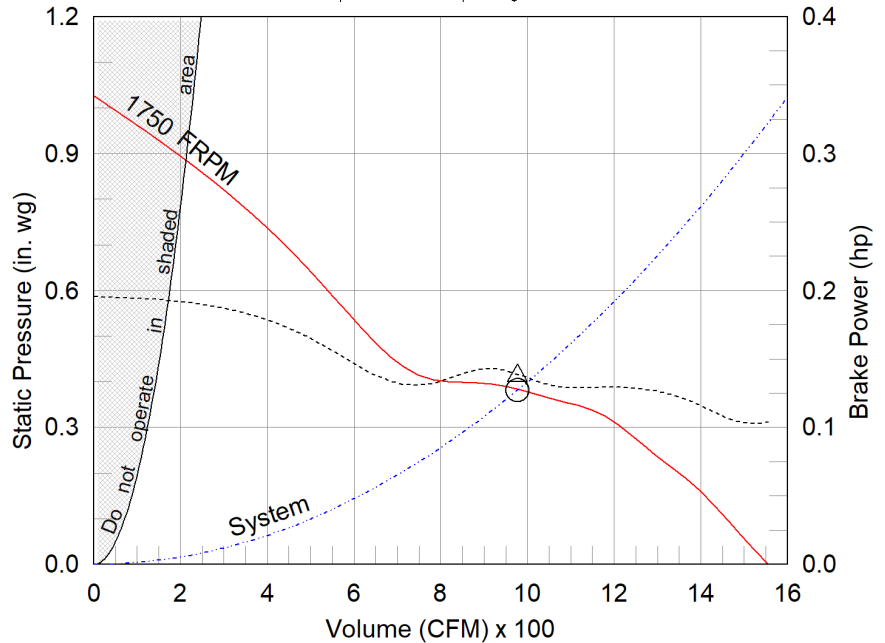
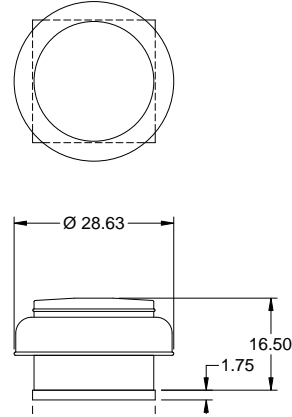
Model: AE-12-433-A4

Propeller Hooded Roof Direct Drive Exhaust Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	41
Weight w/ Acc's (lb)	43
Max T Motor Frame Size	0
Roof Opening (in.)	14.5 x 14.5

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	976
Total External SP (in. wg)	0.381
Fan RPM	1750
Operating Power (hp)	0.14
Elevation (ft)	663
Airstream Temp.(F)	75
Air Density (lb/ft3)	0.073
Tip Speed (ft/min)	5,498
Static Eff. (%)	43

Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1750
Windings	1



- △ Operating Bhp point
- Operating point at Total External SP
- Fan curve
- System curve
- Brake horsepower curve

Static Pressure Calculations

External SP	0.4 in. wg
Direct Drive RPM Adjustment	-0.019 in. wg
Total External SP	0.381 in. wg

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	80	77	76	68	64	63	59	53	72	61	11.1

Notes:

All dimensions shown are in units of in.
*Please consult factory for actual motor amp draw
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB
attenuation per Octave band at 5 ft - dBA levels are not
licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft



Acoustic Analysis Report

Project	GRW
Date	September 13, 2019

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



General Unit Information:

Model: GRW

Tag: Unit 1

Casing: 0.08 Aluminum

Insulation Type: 3.5" Fiberglass

Liner: 0.08 Aluminum

Latent Fans: APM Size 27 Dual

Airflow: 22,000 CFM

TSP: 4.11 in.w.g.

Fan Speed: 1456 RPM

Sensible Fans: APD Size 355 Dual

Airflow: 4,070 CFM

TSP: 3.23 in.w.g.

Fan Speed: 2365 RPM

Compressors:

Qty 3 ZPDT31 Digital Tandem

Qty 3 ZPDT36 Digital Tandem

Cond Fans

Qty 6 33" fans, ~860 RPM, 10 degrees

Sound Analysis Definitions:

Sum = Logarithmic addition of sound sources less attenuation of components and adjustment for receiver distance.

Target = target sound pressure level at a specified distance

Current = A-weighted sound pressure (dBA) or sound power (LwA) level of the sum values

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



CONDENSER FANS

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Condenser Fan 1	78	74	74	72	71	70	65	53	
Condenser Fan 2	78	74	74	72	71	70	65	53	
Condenser Fan 3	78	74	74	72	71	70	65	53	
Condenser Fan 4	78	74	74	72	71	70	65	53	
Condenser Fan 5	78	74	74	72	71	70	65	53	
Condenser Fan 6	78	74	74	72	71	70	65	53	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	62	58	58	56	55	54	49	37	

Target:

Current: 60 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

LATENT FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	89	92	98	93	90	85	80	77	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	54	53	54	38	28	21	16	13	

Target:

Current: 46 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



LATENT FANS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	83	88	96	87	81	79	75	72	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	59	54	58	46	36	32	21	20	

Target:

Current: 51 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SENSIBLE FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	82	82	78	75	70	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	49	44	41	27	20	14	11	6	

Target:

Current: 35 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



SENSIBLE FAN AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	78	73	73	70	66	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	60	55	57	47	42	40	34	30	

Target:

Current: 51 dBA (NC 49 / RC 43)

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

COMPRESSORS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	29	32	31	24	24	19	15	

Target:

Current: 32 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



COMPRESSORS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-14	-17	-23	-29	-35	-35	-35	Internal Walls
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	30	35	39	33	29	24	20	

Target:

Current: 39 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SINGLE UNIT SUMMATION

Path	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Condenser Fans	62	58	58	56	55	54	49	37
Latent Fans Radiated	54	53	54	38	28	21	16	13
Latent Fans at FA inlet	59	54	58	46	36	32	21	20
Sensible Fans Radiated	49	44	41	27	20	14	11	6
Sensible Fan at FA inlet	60	55	57	47	42	40	34	30
Compressors Radiated	43	29	32	31	24	24	19	15
Compressors at FA Inlet	43	30	35	39	33	29	24	20
Sum	65	61	63	57	55	54	49	38

Current: 61 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

AIR FLOW DATA

SYSTEM SIZE	36K	48K	58K
Outdoor (CFM)	2,130	4,500	4,415

SOUND PRESSURE

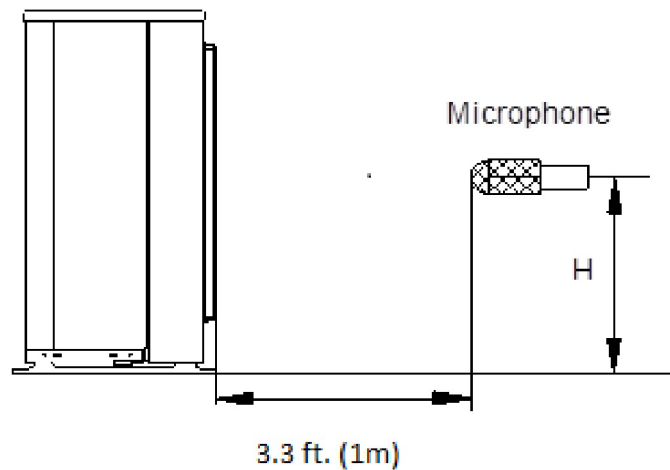
SYSTEM SIZE		36K	48K	58K
Outdoor sound pressure level	dBa	63	62.5	64

SOUND PRESSURE IN OCTAVE BANDS

SIZE	Frequency (Hz)	63	125	250	500	1000	2000	4000	8000
36K	Cooling dB(A)	51.3	59.2	56.3	51.3	49.4	46.8	42.6	35.7
	Heating dB(A)	53.8	62.3	60.8	53.7	52.0	48.4	45.8	37.8
48K	Cooling dB(A)	59.2	61.6	55.9	58.1	59.6	51.9	47.8	43.8
	Heating dB(A)	65.1	66.1	61.3	59.7	58.2	54.1	47.5	43.6
58K	Cooling dB(A)	22.9	41.3	46.6	50.1	50.8	52.6	46.0	40.4
	Heating dB(A)	30.0	46.8	48.4	52.0	54.3	52.8	43.7	41.3

OUTDOOR UNIT SOUND PRESSURE TEST CONDITIONS

Outdoor Unit



NOTE: $H = 0.5 \times \text{Height of outdoor unit}$

	INDOOR CONDITION		OUTDOOR CONDITION	
	DB	WB	DB	WB
Cooling	80.6F (27C)	66.2F (19C)	95F (35C)	75.2F (24C)
Heating	68F (20C)	59F (15C)	44.6F (7C)	42.8F (6C)

APPENDIX B

MODELING RESULTS

TABLE IV. Estimated nighttime octave-band sound levels without mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	24	25	<20	20	<20	<20	<20	23
R02	32	31	32	25	23	<20	<20	<20	28
R03	34	34	33	28	25	22	<20	<20	31
R04	36	39	36	33	29	24	<20	<20	34
R05	36	41	38	35	32	27	20	<20	37
R06	39	44	41	40	37	30	21	<20	41
R07	40	44	41	39	37	30	20	<20	41
PL01	51	58	53	51	49	43	38	30	54
PL02	51	55	50	49	46	41	35	27	51
PL03	42	42	41	36	34	34	28	<20	40
PL04	47	46	48	45	43	42	36	22	48
PL05	49	48	52	46	44	43	37	24	50
PL06	42	39	43	39	37	36	29	<20	43
PL07	36	35	35	30	35	30	22	<20	38
PL08	40	43	38	36	38	31	22	<20	41
PL09	44	50	44	43	42	35	27	<20	46
PL10	45	51	46	45	43	37	30	<20	47
PL11	48	55	51	49	48	42	36	24	52
PL12	49	56	52	51	49	43	37	27	53
PL13	49	55	50	49	47	41	35	25	51
PL14	55	62	57	56	54	48	43	36	58
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

TABLE V. Estimated nighttime octave-band sound levels with mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	22	23	18	15	10	-6	-54	20
R02	32	30	30	23	20	15	4	-25	26
R03	34	32	33	27	24	21	11	-16	30
R04	36	33	31	27	26	22	12	-12	31
R05	34	37	33	29	25	20	10	-12	31
R06	35	39	34	32	27	19	8	-16	33
R07	34	39	34	32	26	18	7	-19	32
PL01	45	51	45	42	37	29	23	13	43
PL02	45	46	41	39	35	29	23	13	40
PL03	42	39	39	35	32	29	21	3	38
PL04	47	44	45	39	37	35	28	13	43
PL05	49	45	47	40	37	35	29	15	44
PL06	42	38	39	35	32	29	20	7	38
PL07	37	32	32	29	26	22	13	-5	31
PL08	34	34	29	25	24	19	10	-2	28
PL09	36	40	36	31	26	20	11	-5	33
PL10	37	40	37	32	27	21	12	-2	34
PL11	40	45	40	36	31	24	17	5	38
PL12	42	47	42	38	32	25	18	7	39
PL13	41	46	41	37	31	24	18	6	38
PL14	48	52	47	43	38	31	26	17	45
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-



September 25, 2019

Jaime Lewis
Neo Organics
635 Boston Post Road #184
Sudbury, MA 01776

Phone 415-519-1063

Subject Noise Mitigation Plan
Neo-Organics Cannabis Cultivation Facility – Medway, MA
Acentech Project No. 632403

Dear Jaime,

Neo-Organics has retained Acentech to conduct a study of community noise produced by mechanical equipment serving proposed cannabis cultivation and processing facility located at 4 Marc Road in Medway, Massachusetts (the facility). Acentech has worked with Neo-Organics to develop this Noise Mitigation Plan, which is required as part of the Town of Medway's Special Permit Process. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

We have reviewed project drawings and sound data for submitted noise-producing equipment to develop a community noise model. From the results of this modeling, we have developed concept noise-control recommendations.

PROJECT NOISE REQUIREMENTS OF THE TOWN OF MEDWAY

The Medway noise ordinance as currently written has outdated octave-band limits. The Town of Medway and their noise peer review consultant (NCE, Billerica, MA) have estimated corresponding limits in the current octave-bands in connection with another nearby facility, and we have referred to these estimates to facilitate our work. The daytime and nighttime noise limits from the ordinance in modern octave bands are shown below in TABLE 1. The daytime noise limits are 5 dB greater than the nighttime limits. We understand the noise ordinance to be applicable at the source property lines.

TABLE I. Medway Noise Ordinance

Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
Nighttime	67	55	48	42	38	35	32	28
Daytime	72	60	53	47	43	40	37	33

Our current engagement does not include review of facility sound in connection with the noise policies of the MassDEP, but based on our experience, we recommend that noise levels at the nearest residences should not exceed ~30 dBA during nighttime hours. Further, MassDEP has a noise policy preventing tonal noise. Determining compliance with the tonal requirements was not within the scope of our study.

COMMUNITY NOISE MODELING

Model Description

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 “Attenuation of sound during propagation outdoors -- Part 2: General method of calculation”. FIGURE 2 presents the receptor locations used in computer modeling.

The facility has noise-producing equipment located on grade that includes a 300 kw generator, a transformer, air handling units, and condensing units. In addition, there are two rooftop exhaust fans. The mechanical equipment is identified in FIGURE I. The sound power levels of the equipment are given in TABLE II below. APPENDIX A includes the sound data sheets from the manufacturers. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity.

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000	dBA
300 kw Generator*	83	89	91	96	96	91	86	81	99
Exhaust Fan (EF-X)	80	77	76	68	64	63	59	53	72
Air Handling Unit (AHU-1)	89	97	94	92	89	83	79	75	94
Ground mounted unit (GRTU-1)	89	85	87	81	79	78	73	62	85
GPod Condenser Small (GPCU-1)	73	74	69	68	66	62	56	52	71
GPod Condenser Large (GPCU-2)	38	55	56	60	62	61	52	49	66
Trane Condenser (CU-1)**	65	62	59	56	53	50	47	44	59
Trane Condenser (DCU)**	56	53	50	47	44	41	38	35	50
Mitsubishi Condenser (CU-2)**	65	62	59	56	53	50	47	44	59
2000 kVA Transformer***	80	82	77	77	71	66	61	54	77

* We have assumed daytime maintenance testing only.

**Octave band data unavailable, assumed spectrum.

*** Sound data estimated based on NEMA rating.

Model Results, No Noise Controls

Based on our baseline computer model (as designed, no noise mitigation), we expect that the proposed equipment will *not* comply with the Medway noise ordinance at all facility property lines (see APPENDIX B, Table IV).

Noise Control Recommendations

A partial contribution analysis of the noise-producing equipment revealed that the most significant noise sources are the GRTUs and AHUs. To mitigate the noise from these sources, we recommend placing barriers, identified in FIGURE 3, around the sources (3 m tall barriers for GRTUs, 4.5 m tall barriers for AHUs). We also recommend that you select a generator and enclosure that meets the criteria 64 dBA at a distance of 7 m.

Model Results, Noise Controls

TABLE III summarizes the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave-band provisions of the Medway noise regulation.

However, our model predicts that the transformer will exceed the criteria by 1 dB in the 500 Hz octave band at one property line receptor. We have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. The 1 dB exceedance is within the uncertainty of our model, which we can refine upon receipt of more representative sound data.

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the following noise control recommendations.

TABLE III. Estimated nighttime octave-band sound levels at facility property lines (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000
PL01	45	51	45	42	37	29	23	<20
PL02	45	46	41	39	35	29	23	<20
PL03	42	39	39	35	32	29	21	<20
PL04	47	44	45	39	37	35	28	<20
PL05	49	45	47	40	37	35	29	<20
PL06	42	38	39	35	32	29	20	<20
PL07	37	32	32	29	26	22	<20	<20
PL08	34	34	29	25	24	<20	<20	<20
PL09	36	40	36	31	26	20	<20	<20
PL10	37	40	37	32	27	21	<20	<20
PL11	40	45	40	36	31	24	<20	<20
PL12	42	47	42	38	32	25	<20	<20
PL13	41	46	41	37	31	24	<20	<20
PL14	48	52	47	43	38	31	26	<20
Medway Noise Ordinance	67	55	48	42	38	35	32	28

Full modeling results with and without mitigation are shown in APPENDIX B.

* * * * *

I trust this memo provides the information you need at this time. Please contact us if you have any questions or comments.

Sincerely,



Andy Carballeira, INCE Bd Cert
Senior Consultant
617-499-8025



Alex Odom
Consultant
617-499-8027

CC: Alex Odom (Acentech)
Encl: FIGURES
APPENDIX A: Manufacturer Noise Data
APPENDIX B: Modeling Results

FIGURES

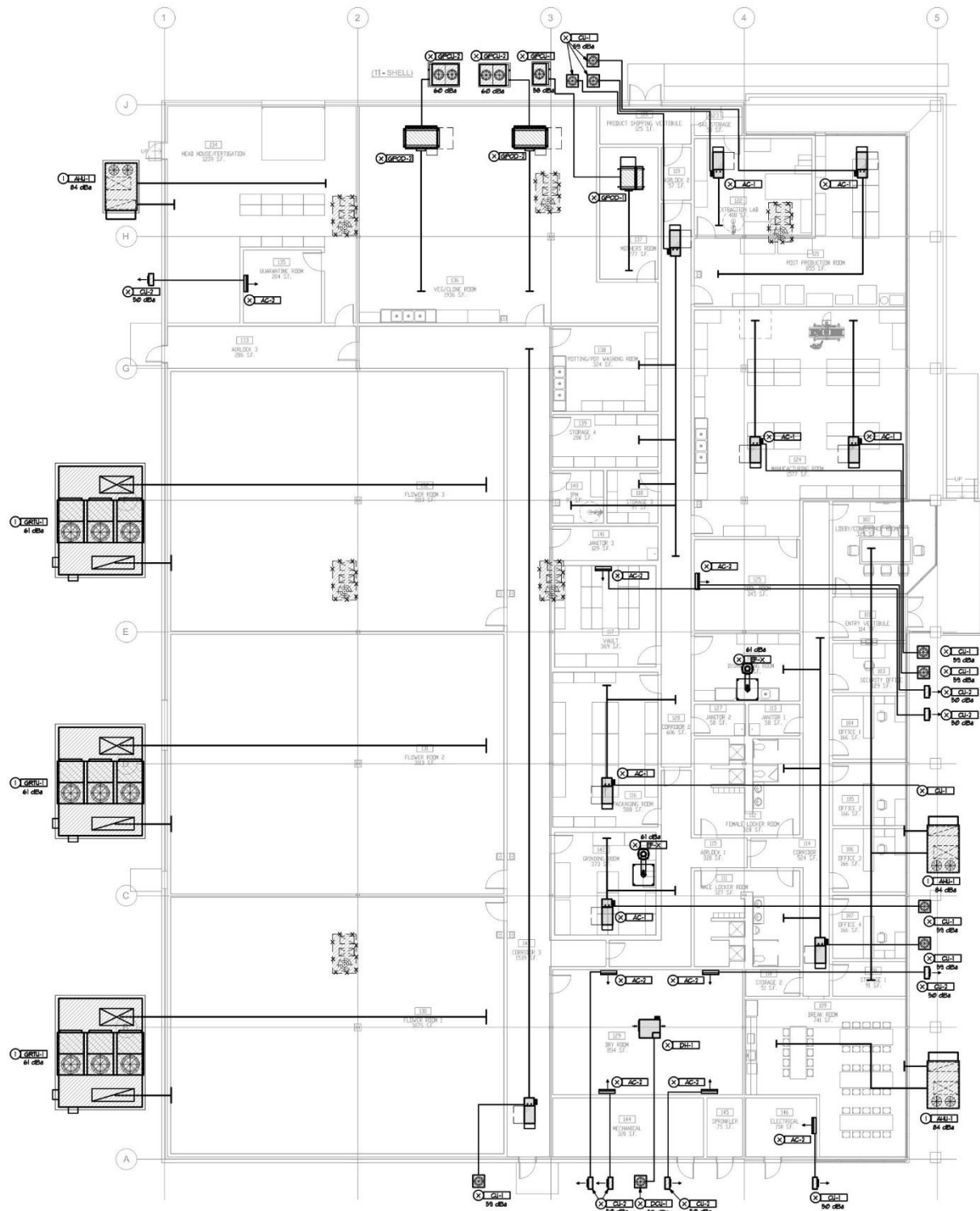


FIGURE 1. Facility Mechanical Plan



FIGURE 2. Computer model receptor points on source property line and beyond



FIGURE 3. Recommended Noise Control Solutions, Barriers shown in Orange around GRTUs and AHUs

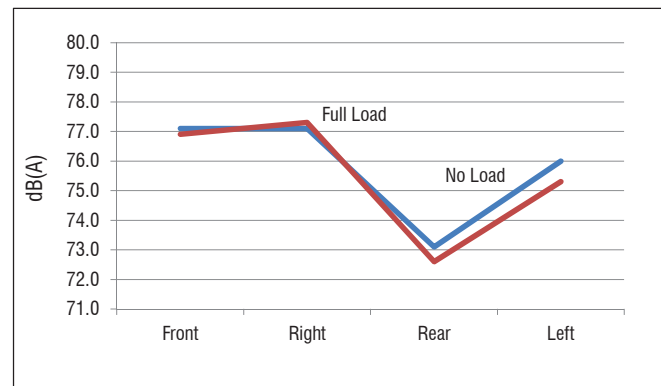
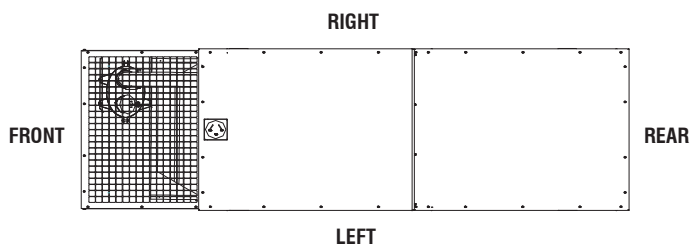
APPENDIX A

MANUFACTURER NOISE DATA

LEVEL 2 ACOUSTIC ENCLOSURE SD300 10.3L FPT

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	45.9	57.9	62.8	67.0	73.2	71.6	65.6	64.9	60.7	77.1
RIGHT	43.9	61.4	64.9	67.3	70.7	73.0	68.8	62.7	58.1	77.1
REAR	40.1	55.9	62.1	65.2	68.1	68.2	61.7	54.9	49.2	73.1
LEFT	41.5	58.9	65.7	64.9	71.4	70.8	66.9	60.1	56.2	76.0
AVERAGE	42.9	58.5	63.9	66.1	70.9	70.9	65.7	60.6	56.0	75.8

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	46.9	58.3	64.5	68.6	73.1	69.1	67.5	65.2	61.3	76.9
RIGHT	44.0	60.6	66.4	67.8	72.4	70.8	69.2	64.9	61.6	77.3
REAR	41.9	57.4	62.7	65.0	68.6	65.5	60.7	56.2	53.9	72.6
LEFT	43.4	60.6	66.6	65.4	71.5	67.6	64.7	61.2	60.4	75.3
AVERAGE	44.0	59.2	65.1	66.7	71.4	68.2	65.5	61.9	59.3	75.6



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

**TRANE®**Job Name: Clover
Prepared By: Impact Engineering
Unit Tag: 15 Ton
Quantity: 1

Trane Voyager Gas/Electric Packaged Rooftop

Unit Overview - YHD180G4RHB**00B1A10000000000000000000000

Application	Unit Size	Supply Fan		External Dimensions (in.)			Weight		EER	IEER/SEER
Gas/Electric	15 Ton	Airflow	External Static Pressure	Height	Width	Length	Minimum	Maximum	12.1 EER	14.00
		6000 cfm	1.000 in H2O	66.250 in	84.188 in	121.688 in	2241.0 lb	2663.0 lb		

Unit Features

Panels/Filters Std panels/2" pltd filters MERV 8

Unit Electrical

Voltage/phase/hertz	460/60/3
MCA	33.00 A
MOP	45.00 A



Controls

Unit Controls Reliatel

Cooling Section

Entering Dry Bulb		80.00 F	Capacity	
Entering Wet Bulb		67.00 F	Gross Total	180.52 MBh
Ambient Temp		95.00 F	Gross Sensible	142.17 MBh
Leaving Coil Dry Bulb		58.06 F	Net Total	171.67 MBh
Leaving Coil Wet Bulb		57.30 F	Net Sensible	133.32 MBh
Leaving Unit Dry Bulb		59.77 F	Fan Motor Heat	8.85 MBh
Leaving Unit Wet Bulb		57.96 F	Refrig Charge-circuit 1	13.0 lb
Refrigeration System Options			Refrig Charge-circuit 2	8.5 lb
Leaving Dew Point		56.82 F		

Heating Section

Heat Type	Gas
Heating Stages	2
Output Heating Capacity	280.00 MBh
Heating EAT	55.00 F
Heating LAT	98.01 F
Heating Temp Rise	43.01 F

Fan Section

Indoor Fan Data		Outdoor Fan Data	
Type	FC Centrifugal	Type	Propeller
Drive Type	Belt	Fan Quantity	2
Indoor Fan Performance		Drive Type	Direct
Airflow	6000 cfm	Outdoor Fan Performance	
Design ESP	1.000 in H2O	Outdoor Motor Power	0.89 kW
Component SP	0.040 in H2O	Condenser Fan FLA	1.35 A
Total SP	1.058 in H2O	Exhaust Fan Performance	
Indoor Motor Operating Power	2.81 bhp	Exhaust Fan FLA	4.80 A
Indoor Motor Power	2.09 kW		
Indoor RPM	709 rpm		

Compressor Section

Power	12.28 kW
Circuit 1 RLA	14.70 A
Circuit 2 RLA	7.00 A

Accessories

Roof curb yes

Acoustics

Sound Path	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Ducted Discharge	87 dB	82 dB	76 dB	79 dB	72 dB	70 dB	69 dB	63 dB
Ducted Inlet	91 dB	82 dB	74 dB	70 dB	65 dB	60 dB	60 dB	53 dB
Outdoor Noise	89 dB	97 dB	94 dB	92 dB	89 dB	83 dB	79 dB	75 dB

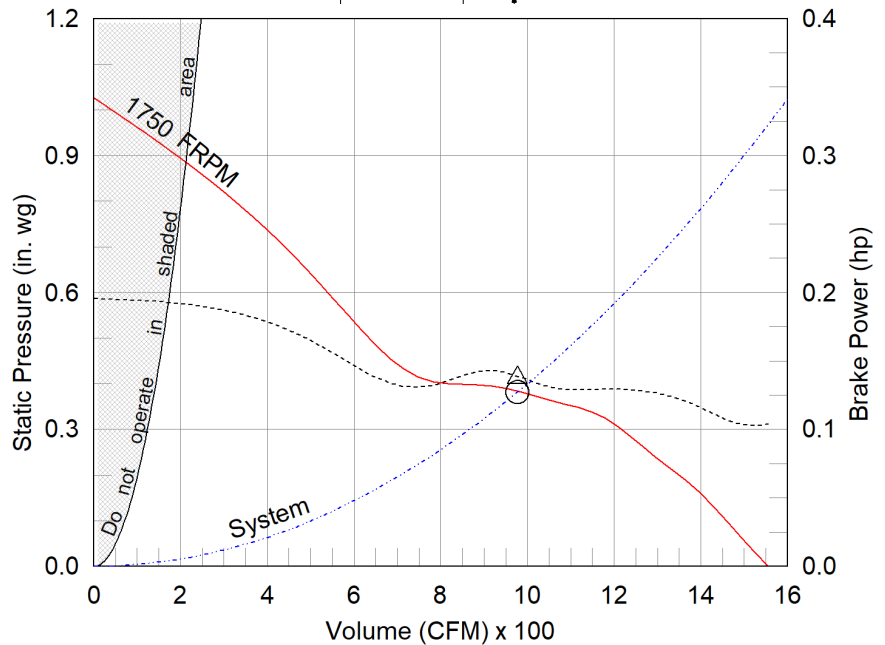
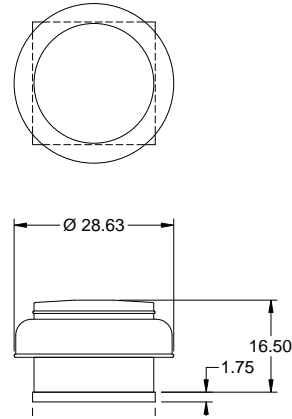
Model: AE-12-433-A4

Propeller Hooded Roof Direct Drive Exhaust Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	41
Weight w/ Acc's (lb)	43
Max T Motor Frame Size	0
Roof Opening (in.)	14.5 x 14.5

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	976
Total External SP (in. wg)	0.381
Fan RPM	1750
Operating Power (hp)	0.14
Elevation (ft)	663
Airstream Temp.(F)	75
Air Density (lb/ft3)	0.073
Tip Speed (ft/min)	5,498
Static Eff. (%)	43

Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1750
Windings	1



- △ Operating Bhp point
- Operating point at Total External SP
- Fan curve
- System curve
- Brake horsepower curve

Static Pressure Calculations

External SP	0.4 in. wg
Direct Drive RPM Adjustment	-0.019 in. wg
Total External SP	0.381 in. wg

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	80	77	76	68	64	63	59	53	72	61	11.1

Notes:

All dimensions shown are in units of in.
*Please consult factory for actual motor amp draw
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB
attenuation per Octave band at 5 ft - dBA levels are not
licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft



Acoustic Analysis Report

Project	GRW
Date	September 13, 2019

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



General Unit Information:

Model: GRW

Tag: Unit 1

Casing: 0.08 Aluminum

Insulation Type: 3.5" Fiberglass

Liner: 0.08 Aluminum

Latent Fans: APM Size 27 Dual

Airflow: 22,000 CFM

TSP: 4.11 in.w.g.

Fan Speed: 1456 RPM

Sensible Fans: APD Size 355 Dual

Airflow: 4,070 CFM

TSP: 3.23 in.w.g.

Fan Speed: 2365 RPM

Compressors:

Qty 3 ZPDT31 Digital Tandem

Qty 3 ZPDT36 Digital Tandem

Cond Fans

Qty 6 33" fans, ~860 RPM, 10 degrees

Sound Analysis Definitions:

Sum = Logarithmic addition of sound sources less attenuation of components and adjustment for receiver distance.

Target = target sound pressure level at a specified distance

Current = A-weighted sound pressure (dBA) or sound power (LwA) level of the sum values

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



CONDENSER FANS

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Condenser Fan 1	78	74	74	72	71	70	65	53	
Condenser Fan 2	78	74	74	72	71	70	65	53	
Condenser Fan 3	78	74	74	72	71	70	65	53	
Condenser Fan 4	78	74	74	72	71	70	65	53	
Condenser Fan 5	78	74	74	72	71	70	65	53	
Condenser Fan 6	78	74	74	72	71	70	65	53	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	62	58	58	56	55	54	49	37	

Target:

Current: 60 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

LATENT FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	89	92	98	93	90	85	80	77	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	54	53	54	38	28	21	16	13	

Target:

Current: 46 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



LATENT FANS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	83	88	96	87	81	79	75	72	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	59	54	58	46	36	32	21	20	

Target:

Current: 51 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SENSIBLE FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	82	82	78	75	70	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	49	44	41	27	20	14	11	6	

Target:

Current: 35 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



SENSIBLE FAN AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	78	73	73	70	66	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	60	55	57	47	42	40	34	30	

Target:

Current: 51 dBA (NC 49 / RC 43)

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

COMPRESSORS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	29	32	31	24	24	19	15	

Target:

Current: 32 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



COMPRESSORS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-14	-17	-23	-29	-35	-35	-35	Internal Walls
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	30	35	39	33	29	24	20	

Target:

Current: 39 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SINGLE UNIT SUMMATION

Path	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Condenser Fans	62	58	58	56	55	54	49	37
Latent Fans Radiated	54	53	54	38	28	21	16	13
Latent Fans at FA inlet	59	54	58	46	36	32	21	20
Sensible Fans Radiated	49	44	41	27	20	14	11	6
Sensible Fan at FA inlet	60	55	57	47	42	40	34	30
Compressors Radiated	43	29	32	31	24	24	19	15
Compressors at FA Inlet	43	30	35	39	33	29	24	20
Sum	65	61	63	57	55	54	49	38

Current: 61 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

AIR FLOW DATA

SYSTEM SIZE	36K	48K	58K
Outdoor (CFM)	2,130	4,500	4,415

SOUND PRESSURE

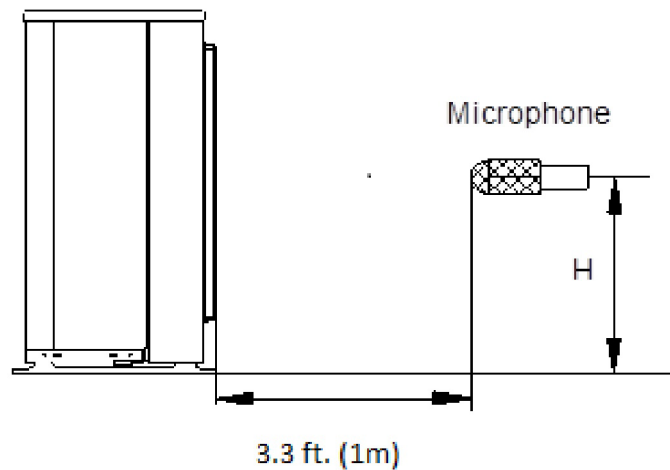
SYSTEM SIZE		36K	48K	58K
Outdoor sound pressure level	dBa	63	62.5	64

SOUND PRESSURE IN OCTAVE BANDS

SIZE	Frequency (Hz)	63	125	250	500	1000	2000	4000	8000
36K	Cooling dB(A)	51.3	59.2	56.3	51.3	49.4	46.8	42.6	35.7
	Heating dB(A)	53.8	62.3	60.8	53.7	52.0	48.4	45.8	37.8
48K	Cooling dB(A)	59.2	61.6	55.9	58.1	59.6	51.9	47.8	43.8
	Heating dB(A)	65.1	66.1	61.3	59.7	58.2	54.1	47.5	43.6
58K	Cooling dB(A)	22.9	41.3	46.6	50.1	50.8	52.6	46.0	40.4
	Heating dB(A)	30.0	46.8	48.4	52.0	54.3	52.8	43.7	41.3

OUTDOOR UNIT SOUND PRESSURE TEST CONDITIONS

Outdoor Unit



NOTE: $H = 0.5 \times \text{Height of outdoor unit}$

	INDOOR CONDITION		OUTDOOR CONDITION	
	DB	WB	DB	WB
Cooling	80.6F (27C)	66.2F (19C)	95F (35C)	75.2F (24C)
Heating	68F (20C)	59F (15C)	44.6F (7C)	42.8F (6C)

APPENDIX B

MODELING RESULTS

TABLE IV. Estimated nighttime octave-band sound levels without mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	24	25	<20	20	<20	<20	<20	23
R02	32	31	32	25	23	<20	<20	<20	28
R03	34	34	33	28	25	22	<20	<20	31
R04	36	39	36	33	29	24	<20	<20	34
R05	36	41	38	35	32	27	20	<20	37
R06	39	44	41	40	37	30	21	<20	41
R07	40	44	41	39	37	30	20	<20	41
PL01	51	58	53	51	49	43	38	30	54
PL02	51	55	50	49	46	41	35	27	51
PL03	42	42	41	36	34	34	28	<20	40
PL04	47	46	48	45	43	42	36	22	48
PL05	49	48	52	46	44	43	37	24	50
PL06	42	39	43	39	37	36	29	<20	43
PL07	36	35	35	30	35	30	22	<20	38
PL08	40	43	38	36	38	31	22	<20	41
PL09	44	50	44	43	42	35	27	<20	46
PL10	45	51	46	45	43	37	30	<20	47
PL11	48	55	51	49	48	42	36	24	52
PL12	49	56	52	51	49	43	37	27	53
PL13	49	55	50	49	47	41	35	25	51
PL14	55	62	57	56	54	48	43	36	58
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

TABLE V. Estimated nighttime octave-band sound levels with mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	22	23	18	15	10	-6	-54	20
R02	32	30	30	23	20	15	4	-25	26
R03	34	32	33	27	24	21	11	-16	30
R04	36	33	31	27	26	22	12	-12	31
R05	34	37	33	29	25	20	10	-12	31
R06	35	39	34	32	27	19	8	-16	33
R07	34	39	34	32	26	18	7	-19	32
PL01	45	51	45	42	37	29	23	13	43
PL02	45	46	41	39	35	29	23	13	40
PL03	42	39	39	35	32	29	21	3	38
PL04	47	44	45	39	37	35	28	13	43
PL05	49	45	47	40	37	35	29	15	44
PL06	42	38	39	35	32	29	20	7	38
PL07	37	32	32	29	26	22	13	-5	31
PL08	34	34	29	25	24	19	10	-2	28
PL09	36	40	36	31	26	20	11	-5	33
PL10	37	40	37	32	27	21	12	-2	34
PL11	40	45	40	36	31	24	17	5	38
PL12	42	47	42	38	32	25	18	7	39
PL13	41	46	41	37	31	24	18	6	38
PL14	48	52	47	43	38	31	26	17	45
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

Susan Affleck-Childs

From: Ron Dempsey <ron@noise-control.com>
Sent: Thursday, October 03, 2019 3:42 PM
To: Susan Affleck-Childs
Subject: RE: Medway - Marijuana facility #2 - 4 Marc Road

Hello Susan,

I have reviewed the updated noise plan and it appears that NEO has addresses many of my comments from below. They have included predictions of noise levels and included source data that should ensure that the facility does not have the same issues as the 2 Marc Rd facility had initially. For reference I have numbered my comments on the initial plan to list the improvements they have made to the plan below:

- 1) The preliminary nature of the plan has been addressed and fleshed out.
- 2) The acoustical consultant has been identified as Acentech, which has qualified people on staff.
- 3) The cogen equipment is identified as being selected to meet appropriate noise requirements, but will not be initially installed.
- 4) Noise modeling has been performed and results presented.
- 5) The updated plan contains the items requested for initial reports and references a plan for the remaining documents.
- 6) The updated plan specifically references the Town of Medway noise ordinance and that the facility will meet it.
- 7) The predictions show that the facility will meet the noise limits with the treatments selected.
- 8) The updated plan still assumes that the post construction survey will pass, but does include potential additional mitigation measures to be taken if necessary.

The one piece of information that I did not see in the report was the location of the noise prediction locations with reference to the site. I assume they are in Acentech's report, but did not make it into this document.

Ron Dempsey
Noise Control Engineering, LLC
978-584-3025 (direct line)
www.noise-control.com

From: Ron Dempsey
Sent: Wednesday, August 21, 2019 4:00 PM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Medway - Marijuana facility #2 - 4 Marc Road

Hello Susan,

Here are my comments on the documents that you sent me:

Noise Mitigation Plan

- 1) The plan is very generalized at the moment, it includes all the correct features, but some clarifications could be provided.

- 2) The acoustical consultant is not identified, but does specify that all noise control measures will be designed by a licensed PE. NCE was contacted by NEO about serving as their consultant, but we have declining due to our connection with the Town of Medway.
- 3) Cogen Equipment is assumed to be installed with "industrial grade" silencers. This grade is likely too low if the equipment is to be operating full time, however it is assumed that this will be identified in the noise predictions.
- 4) Noise modeling and source strength sections are in line with general best practices, but will need to be fleshed out in the eventual reports
- 5) The plan identifies four documents that will be produced that the Town of Medway should want to see:
 - o Sound Study Plan, prepared by their consultant to flesh out all the details from this document
 - o Design Report, including baseline noise measurements and predicted operational noise levels
 - o Noise Test Plan, identifying noise measurement methods for determining compliance (may be included in the Sound Study Plan)
 - o Operational Test Report, presenting the results of operational testing at the facility to determine compliance
- 6) The plan is generalized in that it mentions a review of state and local noise limits, with the development of an applicable criteria. This does not specifically say they will meet the noise limits and this should be stated clearly as I expect the Town will expect them to meet the Town noise limits.
- 7) The mitigation section is reasonable for the generalized plan, however the 2 Marc Rd facility required treatments above those listed for consideration
- 8) The post construction testing section does not include any procedures for identification and remediation of any measured noise excesses. This should be included to ensure that if there are noise issues, NEO will work to fix them.

Site Plan

- Mechanical Pad is located on the side of the building closest to the Lally's at 35 Coffee St. They will likely see the most impact due to noise.

Ron Dempsey

Noise Control Engineering, LLC

978-584-3025 (direct line)

www.noise-control.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>

Sent: Thursday, August 8, 2019 11:33 AM

To: Ron Dempsey <ron@noise-control.com>

Subject: Medway - Marijuana facility #2 - 4 Marc Road

Ron,

The Medway Planning and Economic Development Board has received a special use permit zoning application to use an existing 29,000+ sq. ft., industrial building at 4 Marc Road for the cultivation and processing of marijuana for adult recreational use. They will be undertaking a comprehensive retrofit of the building to accommodate the new use. As a required part of the application, a noise mitigation plan has been provided. See attached. I have also attached the site plan, floor plan, and project description. YES . . . this site is immediately to the west of the 2 Marc Road project with which you are already familiar!!

The Medway Zoning Bylaw requires the submittal of *"a comprehensive noise mitigation plan prepared by a qualified acoustical consultation (whose qualifications include Institute of Noise Control Engineering (INCE) board certification or*

equivalent experience). I do not know who prepared the submitted noise plan as attached. I have asked the applicant for that information.

Would you prepare a fee estimate to review this document and provide your written comments and recommendations? Please be advised that we will probably also need you to review a revised plan if the Planning and Economic Development Board determines that the initial plan is incomplete or insufficient, based on your feedback, of course! Would you be able to put together a fee estimate/proposal and email it to me by Monday? I have a Board meeting Tuesday night and the Board needs to approve the fees for all outside consultants.

The public hearing on this project will begin August 27th. I hope you can provide your review comments to me by August 21?

Please let me know if there is any additional information you need.

Best regards,

Susy

**Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291**

NEO overall security plan and system exceeds the requirements set forth by the Commission by incorporating industry best practices into the systems design, systems infrastructure, software selection, and overall integrated security implementation.

Perimeter Alarms

All perimeter entry points will be protected by monitored door switches, motion detectors, glass break detectors, and video analytics.

All monitoring equipment will be configured for automatic response using redundant communications equipment and monitoring services. During operating periods, security staff will be on-site.

Duress/Holdup Alarms

The system design includes Duress and Holdup Alarms at each location. Please refer to the design drawings for specifics. Holdup or duress alarms will dispatch security and law enforcement automatically. All equipment to be UL listed for its purpose.

Video Surveillance Coverage

The video surveillance system will monitor and record the surrounding parking lot areas, building entry/exits and sensitive interior areas of the facility including anywhere that marijuana may be stored or moved through.

The system is designed to provide a clear image of anyone entering or existing a sensitive area as well as provide general coverage of most of the facility. Strategically placed external cameras ensure access to the facility is recorded from all angles.

Other areas that are covered camera views include:

- Marijuana storage areas
- Vaults
- Any area where marijuana is stored, handled, or processed in any way.
- Preparation areas
- Cultivation areas

Security System Hardware Security

System hardware will be installed in a locked surveillance room, with restricted access. Only authorized individuals will be able to access the area where the equipment is stored.

Backup Alarms

A backup alarm panel, managed by a separate security monitoring company, will provide redundant alarming capabilities.

Access Controlled Areas

In general, the operational philosophy will be to restrict access to areas where individuals are required to go to do their jobs. Access control in the form of locked doors, alarm systems, electronic access control systems, locked key boxes, and restricted area signs will be implemented throughout the operation.

Surveillance areas, including any areas where surveillance views may be monitored, will be access controlled and restricted to those individuals who require access to those areas for their individual jobs.

Vaults are located within several layers of locked and protected doors within the protected facility. The vault and storage areas will be protected with access control and intrusion monitoring as well as blanketed camera coverage. Please see drawings for vault specifics.

System Service, Maintenance and Inspection

NEO will utilize a real-time system health monitoring system and will keep service professionals aware of any equipment that potentially needs servicing.

These service calls will be tracked and logged accordingly within system maintenance logs. All of the security equipment will be inspected by an engineer. Security audit forms will be completed and filed by the engineer.

System equipment will be inspected, along with the efficiency of camera views, system recording quality and retention time.

Video Recording Confidentiality/Integrity/Accessibility

The system is also capable of providing exports and snapshots in numerous open standard based formats.

- The system is designed to retain in excess of 90 days of recorded video.
- Event-based video that is exported will be retained indefinitely.
- Alarm-based video will be tagged and prioritized for the longest retention.

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Tuesday, October 08, 2019 11:49 AM
To: Susan Affleck-Childs
Subject: 4 Marc Rd.
Attachments: NEO_MonPnts.jpg; NEO_Barriers.jpg; p632403
_neo_organics_medway_facility_-_acentech_letter_9-25-19.pdf;
neo_noise_plan_-_updated_and_received_9-27-19_JL_Annos_08Oct2019.docx

Hi Susy,

I do plan on attending the public hearing this evening. Just in case something happens that prevents me from attending, I'm sending this email along to make sure it's available to the Planning and Economic Development Board during the 4 Marc Rd permitting process, and to make sure the information contained in this email and attachments are included in the public record associated with the 4 Marc Rd permit application(s). Please feel free to distribute this email and attachments as you see fit.

The major concerns are as follows:

- 1.) The first major concern is the quantity of noise sources and how from time to time (or worse, always/frequently...) they may add constructively (esp. for noise sources of same make and model, and/or on same power source) to produce louder sound than what is currently estimated and designed to mitigate against.

There appears to be 30 noise sources: The 28 shown in figure 1 in the letter from Acentech to NEO, plus the 300kW generator and 2000kVA transformer.

It would really be a horrible outcome to yet again end up with another facility that transmits non-compliant noise to the neighborhood, due to noise sources adding as correlated noise when estimates were done as uncorrelated.

I therefore respectfully request the Towns Noise consultant please assess the impact of constructive interference of the noise sources and make recommendations to mitigate as warranted.

- 2.) The second major concern is the relatively small margin in the Noise Mitigation Plan. Tables III and V in the mitigation plan show one value exceeding Medway's Noise Bylaw, 2 values right at the limit, and 7 others only 1dB below the limit. It's not hard to imagine margins this small not surviving through design, build, and operations.

I therefore respectfully request the Towns Noise consultant perform tolerance & margin of error analyses, and make recommendations as warranted to make sure noise from the 4 Marc Rd facility remains below Medway's Noise Bylaw limits across the full tolerance range of Noise Sources, Noise Mitigation measures, modeling & simulation margin of error, operational lifetime of the facility etc.

- 3.) The third major concern is that Acentech recommends in their letter of 25Sep2019, Pg1 under TABLE I (highlighted in the attached) that based on their experience, nighttime noise levels at nearest residences should not exceed ~30dBA. I infer from this recommendation that noise levels above ~30dBA during the nighttime are (or can be) detrimental.

The highest monetary use of our families property as currently zoned (AR1) is for residences. The minimum rear setback in AR1 is 15ft, so as currently zoned to achieve highest and best use of our property a residence may be placed 15ft from our property line adjacent to the 4 Marc Rd facility.

Based on Acentech's own recommendation, nighttime noise levels should be kept below ~30dBA at residences. If noise levels from the 4 Marc Rd facility, 15ft onto our families property were allowed to exceed ~30dBA we may have to increase the rear set back from our property line adjacent to the 4 Marc Rd facility to protect residences from the 4 Marc Rd noise. This likely will reduce residence density and therefore property value. This is backwards: Residences should not have to take measures to protect themselves from the 4 Marc Rd facility, the 4 Marc Rd facility should be taking measures to protect residences and residents property.

I therefore respectfully request that noise from the 4 Marc Rd facility be kept below Acentechs recommended ~30dBA during nighttime hours at a distance of 15ft onto our families property, and that modeling, simulation, and testing be required in the permit to ensure that happens. Please see the NEO_MonPnts attachment for some additional monitoring points on our families property that might be considered. We will provide access to our property for these or any other monitoring points that may be required.

- 4.) The fourth major concern is verification of the Estimated Property Line Nighttime Sound Levels in TABLE III and V of the plan. The Equipment sound power levels shown in TABLE II of the plan are considerably higher than the limits in Medway's Noise Bylaw, yet it appears that only 2 types of noise sources (GRTU-1 & AHU-1) will have sound barriers around them. That leaves the other 24 noise sources (9 different types) without sound barriers, which I'm assuming must then rely on the attenuation across the distance to the property line to meet Medway's Noise Bylaw limits, which I hope is not optimistic. In addition I haven't been able to find Manufactures noise data for several of the noise sources and attenuation barriers.

I therefore respectfully request the Towns Noise consultant please verify that all estimated Sound Levels in TABLES III & V of the plan are correct and any/all assumptions used in determining the estimates are reasonable and also verify Noise Source and Noise Mitigation manufacturer specifications that were used to produce the estimates are also correct.

In addition to the above major concerns and requests I have added more detailed questions and comments to the Noise Mitigation Plan and added a water mark to clearly identify I've done so. See attached Noise Plan converted to Word.

For convenience, below is brief summary of those questions/comments:

- 1.) Modeling & Simulation Questions:
 - a. Was the maximum "plus-tolerance" used for Noise Sources?
 - b. Was the minimum "minus-tolerance" used for Noise Mitigation/attenuation measures.
 - c. Were any/all of the noise sources treated as correlated?
 - i. Is it possible for any of the noise sources to produce correlated noise, especially if running off the same power source and/or are the same make and model, and very especially if multiple noise sources are contained within the same unit?
 - d. In TABLES III & V there's 2 values right at the limit of Medway's Noise Bylaw and 7 others only 1dB below. Is that sufficient design margin for the noise levels to remain at or below Medway's Noise Bylaw limits when the following are accounted for:
 - i. Tolerance on Manufacturers Noise Source Data.
 - ii. Tolerance on Manufacturers Noise Mitigation/Attenuation data.
 - iii. Noise source correlations if any (i.e. noise constructive interference)
 - iv. Margin of error of the simulation and modeling process.
 - v. Operational lifetime of the facility.
- 2.) Noise Source Location Questions:
 - a. Where is the planned location for the 300kW generator?
 - b. Where is the planned location for the 2000kVA transformer?

- c. In Figure 3 of Acentechs letter to NEO is a fourth barrier missing for AHU-1 in the West-North corner of the building? (see NEO_Barriers attachment)
- d. Was any consideration given to locating some/all of the GRTU-1's on the industrial side (East) of the building?
 - i. If no, why not?
 - ii. If yes, what were the sound differences at the property lines and residential receptors.

3.) Sound Data Questions:

- a. Couldn't find Noise Datasheets in the plan for: GPCU-1, GPCU-2, CU-1, CU-2, DCU, & 2000kVA Transformer, can those be provided?
- b. Could not match TABLE II entries for 300kW Generator to GENERAC data sheet (assuming GENERAC data sheet applies to 300kW Generator), is there a Noise data sheet for the 300kW generator that matches the entries in TABLE II that can be provided?
- c. What Noise Source(s) does the Price Noise Control Acoustic Analysis Report apply to?
- d. Where in the Mitigation Plan are the specs for the attenuation barriers?

Respectfully Submitted,
John Lally
35 Coffee Street
Medway, MA 02053



September 25, 2019

Jaime Lewis
Neo Organics
635 Boston Post Road #184
Sudbury, MA 01776

Phone 415-519-1063

Subject Noise Mitigation Plan
Neo-Organics Cannabis Cultivation Facility – Medway, MA
Acentech Project No. 632403

Dear Jaime,

Neo-Organics has retained Acentech to conduct a study of community noise produced by mechanical equipment serving proposed cannabis cultivation and processing facility located at 4 Marc Road in Medway, Massachusetts (the facility). Acentech has worked with Neo-Organics to develop this Noise Mitigation Plan, which is required as part of the Town of Medway's Special Permit Process. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

We have reviewed project drawings and sound data for submitted noise-producing equipment to develop a community noise model. From the results of this modeling, we have developed concept noise-control recommendations.

PROJECT NOISE REQUIREMENTS OF THE TOWN OF MEDWAY

The Medway noise ordinance as currently written has outdated octave-band limits. The Town of Medway and their noise peer review consultant (NCE, Billerica, MA) have estimated corresponding limits in the current octave-bands in connection with another nearby facility, and we have referred to these estimates to facilitate our work. The daytime and nighttime noise limits from the ordinance in modern octave bands are shown below in TABLE 1. The daytime noise limits are 5 dB greater than the nighttime limits. We understand the noise ordinance to be applicable at the source property lines.

TABLE I. Medway Noise Ordinance

Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
Nighttime	67	55	48	42	38	35	32	28
Daytime	72	60	53	47	43	40	37	33

Our current engagement does not include review of facility sound in connection with the noise policies of the MassDEP, but based on our experience, **we recommend that noise levels at the nearest residences should not exceed ~30 dBA during nighttime hours.** Further, MassDEP has a noise policy preventing tonal noise. Determining compliance with the tonal requirements was not within the scope of our study.

COMMUNITY NOISE MODELING

Model Description

We have developed a computer model of facility sound using CadnaA, an acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 “Attenuation of sound during propagation outdoors -- Part 2: General method of calculation”. FIGURE 2 presents the receptor locations used in computer modeling.

The facility has noise-producing equipment located on grade that includes a 300 kw generator, a transformer, air handling units, and condensing units. In addition, there are two rooftop exhaust fans. The mechanical equipment is identified in FIGURE I. The sound power levels of the equipment are given in TABLE II below. APPENDIX A includes the sound data sheets from the manufacturers. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity.

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)								
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000	dBA
300 kw Generator*	83	89	91	96	96	91	86	81	99
Exhaust Fan (EF-X)	80	77	76	68	64	63	59	53	72
Air Handling Unit (AHU-1)	89	97	94	92	89	83	79	75	94
Ground mounted unit (GRTU-1)	89	85	87	81	79	78	73	62	85
GPod Condenser Small (GPCU-1)	73	74	69	68	66	62	56	52	71
GPod Condenser Large (GPCU-2)	38	55	56	60	62	61	52	49	66
Trane Condenser (CU-1)**	65	62	59	56	53	50	47	44	59
Trane Condenser (DCU)**	56	53	50	47	44	41	38	35	50
Mitsubishi Condenser (CU-2)**	65	62	59	56	53	50	47	44	59
2000 kVA Transformer***	80	82	77	77	71	66	61	54	77

* We have assumed daytime maintenance testing only.

**Octave band data unavailable, assumed spectrum.

*** Sound data estimated based on NEMA rating.

Model Results, No Noise Controls

Based on our baseline computer model (as designed, no noise mitigation), we expect that the proposed equipment will *not* comply with the Medway noise ordinance at all facility property lines (see APPENDIX B, Table IV).

Noise Control Recommendations

A partial contribution analysis of the noise-producing equipment revealed that the most significant noise sources are the GRTUs and AHUs. To mitigate the noise from these sources, we recommend placing barriers, identified in FIGURE 3, around the sources (3 m tall barriers for GRTUs, 4.5 m tall barriers for AHUs). We also recommend that you select a generator and enclosure that meets the criteria 64 dBA at a distance of 7 m.

Model Results, Noise Controls

TABLE III summarizes the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave-band provisions of the Medway noise regulation.

However, our model predicts that the transformer will exceed the criteria by 1 dB in the 500 Hz octave band at one property line receptor. We have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. The 1 dB exceedance is within the uncertainty of our model, which we can refine upon receipt of more representative sound data.

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the following noise control recommendations.

TABLE III. Estimated nighttime octave-band sound levels at facility property lines (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000
PL01	45	51	45	42	37	29	23	<20
PL02	45	46	41	39	35	29	23	<20
PL03	42	39	39	35	32	29	21	<20
PL04	47	44	45	39	37	35	28	<20
PL05	49	45	47	40	37	35	29	<20
PL06	42	38	39	35	32	29	20	<20
PL07	37	32	32	29	26	22	<20	<20
PL08	34	34	29	25	24	<20	<20	<20
PL09	36	40	36	31	26	20	<20	<20
PL10	37	40	37	32	27	21	<20	<20
PL11	40	45	40	36	31	24	<20	<20
PL12	42	47	42	38	32	25	<20	<20
PL13	41	46	41	37	31	24	<20	<20
PL14	48	52	47	43	38	31	26	<20
Medway Noise Ordinance	67	55	48	42	38	35	32	28

Full modeling results with and without mitigation are shown in APPENDIX B.

* * * * *

I trust this memo provides the information you need at this time. Please contact us if you have any questions or comments.

Sincerely,



Andy Carballeira, INCE Bd Cert
Senior Consultant
617-499-8025



Alex Odom
Consultant
617-499-8027

CC: Alex Odom (Acentech)
Encl: FIGURES
APPENDIX A: Manufacturer Noise Data
APPENDIX B: Modeling Results

FIGURES

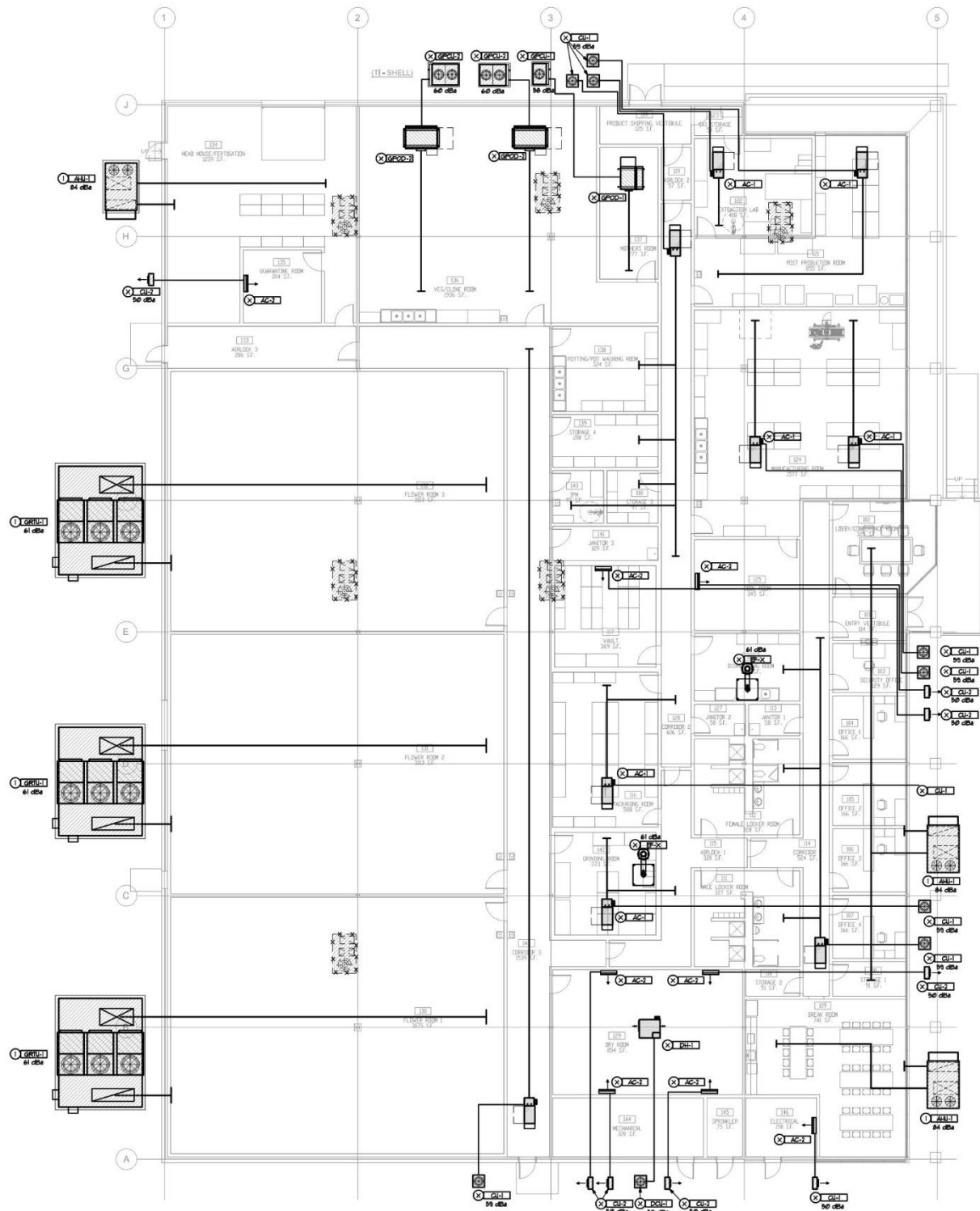


FIGURE 1. Facility Mechanical Plan



FIGURE 2. Computer model receptor points on source property line and beyond



FIGURE 3. Recommended Noise Control Solutions, Barriers shown in Orange around GRTUs and AHUs

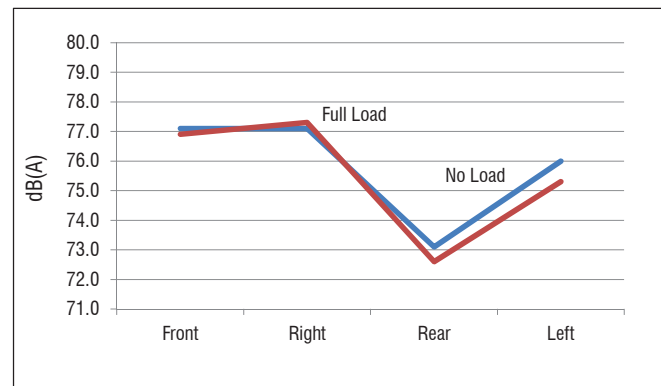
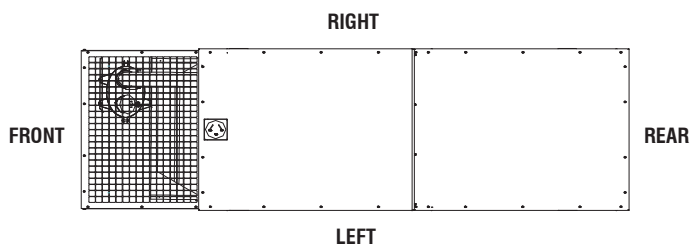
APPENDIX A

MANUFACTURER NOISE DATA

LEVEL 2 ACOUSTIC ENCLOSURE SD300 10.3L FPT

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	45.9	57.9	62.8	67.0	73.2	71.6	65.6	64.9	60.7	77.1
RIGHT	43.9	61.4	64.9	67.3	70.7	73.0	68.8	62.7	58.1	77.1
REAR	40.1	55.9	62.1	65.2	68.1	68.2	61.7	54.9	49.2	73.1
LEFT	41.5	58.9	65.7	64.9	71.4	70.8	66.9	60.1	56.2	76.0
AVERAGE	42.9	58.5	63.9	66.1	70.9	70.9	65.7	60.6	56.0	75.8

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									
	31.5	63	125	250	500	1000	2000	4000	8000	dB(A)
FRONT	46.9	58.3	64.5	68.6	73.1	69.1	67.5	65.2	61.3	76.9
RIGHT	44.0	60.6	66.4	67.8	72.4	70.8	69.2	64.9	61.6	77.3
REAR	41.9	57.4	62.7	65.0	68.6	65.5	60.7	56.2	53.9	72.6
LEFT	43.4	60.6	66.6	65.4	71.5	67.6	64.7	61.2	60.4	75.3
AVERAGE	44.0	59.2	65.1	66.7	71.4	68.2	65.5	61.9	59.3	75.6



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

**TRANE®**Job Name: Clover
Prepared By: Impact Engineering
Unit Tag: 15 Ton
Quantity: 1

Trane Voyager Gas/Electric Packaged Rooftop

Unit Overview - YHD180G4RHB**00B1A100000000000000000000

Application	Unit Size	Supply Fan		External Dimensions (in.)			Weight		EER	IEER/SEER
Gas/Electric	15 Ton	Airflow	External Static Pressure	Height	Width	Length	Minimum	Maximum	12.1 EER	14.00
		6000 cfm	1.000 in H2O	66.250 in	84.188 in	121.688 in	2241.0 lb	2663.0 lb		

Unit Features

Panels/Filters Std panels/2" pltd filters MERV 8

Unit Electrical

Voltage/phase/hertz	460/60/3
MCA	33.00 A
MOP	45.00 A



Controls

Unit Controls Reliatel

Cooling Section

Entering Dry Bulb		80.00 F	Capacity	
Entering Wet Bulb		67.00 F	Gross Total	180.52 MBh
Ambient Temp		95.00 F	Gross Sensible	142.17 MBh
Leaving Coil Dry Bulb		58.06 F	Net Total	171.67 MBh
Leaving Coil Wet Bulb		57.30 F	Net Sensible	133.32 MBh
Leaving Unit Dry Bulb		59.77 F	Fan Motor Heat	8.85 MBh
Leaving Unit Wet Bulb		57.96 F	Refrig Charge-circuit 1	13.0 lb
Refrigeration System Options			Refrig Charge-circuit 2	8.5 lb
Leaving Dew Point		56.82 F		

Heating Section

Heat Type	Gas
Heating Stages	2
Output Heating Capacity	280.00 MBh
Heating EAT	55.00 F
Heating LAT	98.01 F
Heating Temp Rise	43.01 F

Fan Section

Indoor Fan Data		Outdoor Fan Data	
Type	FC Centrifugal	Type	Propeller
Drive Type	Belt	Fan Quantity	2
Indoor Fan Performance		Drive Type	Direct
Airflow	6000 cfm	Outdoor Fan Performance	
Design ESP	1.000 in H2O	Outdoor Motor Power	0.89 kW
Component SP	0.040 in H2O	Condenser Fan FLA	1.35 A
Total SP	1.058 in H2O	Exhaust Fan Performance	
Indoor Motor Operating Power	2.81 bhp	Exhaust Fan FLA	4.80 A
Indoor Motor Power	2.09 kW		
Indoor RPM	709 rpm		

Compressor Section

Power	12.28 kW
Circuit 1 RLA	14.70 A
Circuit 2 RLA	7.00 A

Accessories

Roof curb yes

Acoustics

Sound Path	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Ducted Discharge	87 dB	82 dB	76 dB	79 dB	72 dB	70 dB	69 dB	63 dB
Ducted Inlet	91 dB	82 dB	74 dB	70 dB	65 dB	60 dB	60 dB	53 dB
Outdoor Noise	89 dB	97 dB	94 dB	92 dB	89 dB	83 dB	79 dB	75 dB

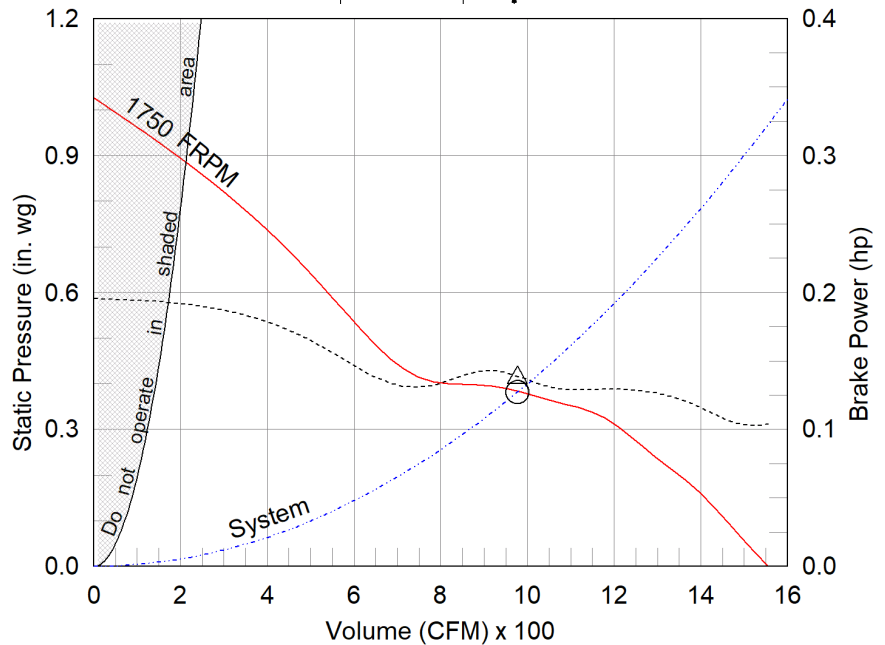
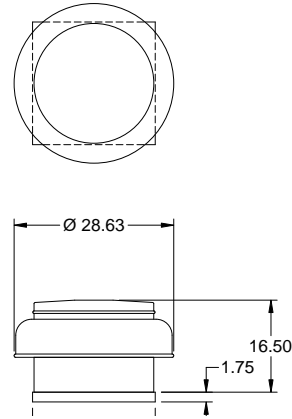
Model: AE-12-433-A4

Propeller Hooded Roof Direct Drive Exhaust Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	41
Weight w/ Acc's (lb)	43
Max T Motor Frame Size	0
Roof Opening (in.)	14.5 x 14.5

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	976
Total External SP (in. wg)	0.381
Fan RPM	1750
Operating Power (hp)	0.14
Elevation (ft)	663
Airstream Temp.(F)	75
Air Density (lb/ft3)	0.073
Tip Speed (ft/min)	5,498
Static Eff. (%)	43

Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1750
Windings	1



- △ Operating Bhp point
- Operating point at Total External SP
- Fan curve
- System curve
- Brake horsepower curve

Static Pressure Calculations

External SP	0.4 in. wg
Direct Drive RPM Adjustment	-0.019 in. wg
Total External SP	0.381 in. wg

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	80	77	76	68	64	63	59	53	72	61	11.1

Notes:

All dimensions shown are in units of in.
*Please consult factory for actual motor amp draw
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB
attenuation per Octave band at 5 ft - dBA levels are not
licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft



Acoustic Analysis Report

Project	GRW
Date	September 13, 2019

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



General Unit Information:

Model: GRW

Tag: Unit 1

Casing: 0.08 Aluminum

Insulation Type: 3.5" Fiberglass

Liner: 0.08 Aluminum

Latent Fans: APM Size 27 Dual

Airflow: 22,000 CFM

TSP: 4.11 in.w.g.

Fan Speed: 1456 RPM

Sensible Fans: APD Size 355 Dual

Airflow: 4,070 CFM

TSP: 3.23 in.w.g.

Fan Speed: 2365 RPM

Compressors:

Qty 3 ZPDT31 Digital Tandem

Qty 3 ZPDT36 Digital Tandem

Cond Fans

Qty 6 33" fans, ~860 RPM, 10 degrees

Sound Analysis Definitions:

Sum = Logarithmic addition of sound sources less attenuation of components and adjustment for receiver distance.

Target = target sound pressure level at a specified distance

Current = A-weighted sound pressure (dBA) or sound power (LwA) level of the sum values

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



CONDENSER FANS

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Condenser Fan 1	78	74	74	72	71	70	65	53	
Condenser Fan 2	78	74	74	72	71	70	65	53	
Condenser Fan 3	78	74	74	72	71	70	65	53	
Condenser Fan 4	78	74	74	72	71	70	65	53	
Condenser Fan 5	78	74	74	72	71	70	65	53	
Condenser Fan 6	78	74	74	72	71	70	65	53	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	62	58	58	56	55	54	49	37	

Target:

Current: 60 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

LATENT FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	89	92	98	93	90	85	80	77	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	54	53	54	38	28	21	16	13	

Target:

Current: 46 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



LATENT FANS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	83	88	96	87	81	79	75	72	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	59	54	58	46	36	32	21	20	

Target:

Current: 51 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SENSIBLE FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	82	82	78	75	70	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	49	44	41	27	20	14	11	6	

Target:

Current: 35 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



SENSIBLE FAN AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	78	73	73	70	66	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	60	55	57	47	42	40	34	30	
Target:									
Current: 51 dBA (NC 49 / RC 43)									

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

COMPRESSORS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	29	32	31	24	24	19	15	
Target:									
Current: 32 dBA									

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



COMPRESSORS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - <i>Cabinet Attenuation</i>	-11	-14	-17	-23	-29	-35	-35	-35	Internal Walls
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	30	35	39	33	29	24	20	
Target:									
Current: 39 dBA									

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SINGLE UNIT SUMMATION

Path	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Condenser Fans	62	58	58	56	55	54	49	37
Latent Fans Radiated	54	53	54	38	28	21	16	13
Latent Fans at FA inlet	59	54	58	46	36	32	21	20
Sensible Fans Radiated	49	44	41	27	20	14	11	6
Sensible Fan at FA inlet	60	55	57	47	42	40	34	30
Compressors Radiated	43	29	32	31	24	24	19	15
Compressors at FA Inlet	43	30	35	39	33	29	24	20
Sum	65	61	63	57	55	54	49	38
Current:	61 dBA							

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

AIR FLOW DATA

SYSTEM SIZE	36K	48K	58K
Outdoor (CFM)	2,130	4,500	4,415

SOUND PRESSURE

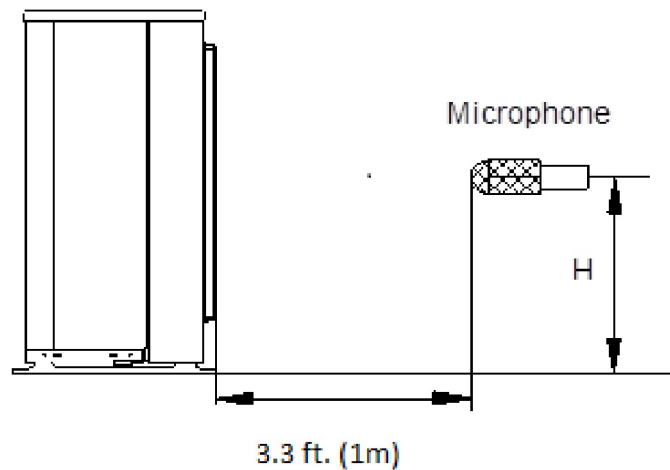
SYSTEM SIZE		36K	48K	58K
Outdoor sound pressure level	dBa	63	62.5	64

SOUND PRESSURE IN OCTAVE BANDS

SIZE	Frequency (Hz)	63	125	250	500	1000	2000	4000	8000
36K	Cooling dB(A)	51.3	59.2	56.3	51.3	49.4	46.8	42.6	35.7
	Heating dB(A)	53.8	62.3	60.8	53.7	52.0	48.4	45.8	37.8
48K	Cooling dB(A)	59.2	61.6	55.9	58.1	59.6	51.9	47.8	43.8
	Heating dB(A)	65.1	66.1	61.3	59.7	58.2	54.1	47.5	43.6
58K	Cooling dB(A)	22.9	41.3	46.6	50.1	50.8	52.6	46.0	40.4
	Heating dB(A)	30.0	46.8	48.4	52.0	54.3	52.8	43.7	41.3

OUTDOOR UNIT SOUND PRESSURE TEST CONDITIONS

Outdoor Unit



NOTE: $H = 0.5 \times \text{Height of outdoor unit}$

	INDOOR CONDITION		OUTDOOR CONDITION	
	DB	WB	DB	WB
Cooling	80.6F (27C)	66.2F (19C)	95F (35C)	75.2F (24C)
Heating	68F (20C)	59F (15C)	44.6F (7C)	42.8F (6C)

APPENDIX B

MODELING RESULTS

TABLE IV. Estimated nighttime octave-band sound levels without mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	24	25	<20	20	<20	<20	<20	23
R02	32	31	32	25	23	<20	<20	<20	28
R03	34	34	33	28	25	22	<20	<20	31
R04	36	39	36	33	29	24	<20	<20	34
R05	36	41	38	35	32	27	20	<20	37
R06	39	44	41	40	37	30	21	<20	41
R07	40	44	41	39	37	30	20	<20	41
PL01	51	58	53	51	49	43	38	30	54
PL02	51	55	50	49	46	41	35	27	51
PL03	42	42	41	36	34	34	28	<20	40
PL04	47	46	48	45	43	42	36	22	48
PL05	49	48	52	46	44	43	37	24	50
PL06	42	39	43	39	37	36	29	<20	43
PL07	36	35	35	30	35	30	22	<20	38
PL08	40	43	38	36	38	31	22	<20	41
PL09	44	50	44	43	42	35	27	<20	46
PL10	45	51	46	45	43	37	30	<20	47
PL11	48	55	51	49	48	42	36	24	52
PL12	49	56	52	51	49	43	37	27	53
PL13	49	55	50	49	47	41	35	25	51
PL14	55	62	57	56	54	48	43	36	58
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

TABLE V. Estimated nighttime octave-band sound levels with mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	22	23	18	15	10	-6	-54	20
R02	32	30	30	23	20	15	4	-25	26
R03	34	32	33	27	24	21	11	-16	30
R04	36	33	31	27	26	22	12	-12	31
R05	34	37	33	29	25	20	10	-12	31
R06	35	39	34	32	27	19	8	-16	33
R07	34	39	34	32	26	18	7	-19	32
PL01	45	51	45	42	37	29	23	13	43
PL02	45	46	41	39	35	29	23	13	40
PL03	42	39	39	35	32	29	21	3	38
PL04	47	44	45	39	37	35	28	13	43
PL05	49	45	47	40	37	35	29	15	44
PL06	42	38	39	35	32	29	20	7	38
PL07	37	32	32	29	26	22	13	-5	31
PL08	34	34	29	25	24	19	10	-2	28
PL09	36	40	36	31	26	20	11	-5	33
PL10	37	40	37	32	27	21	12	-2	34
PL11	40	45	40	36	31	24	17	5	38
PL12	42	47	42	38	32	25	18	7	39
PL13	41	46	41	37	31	24	18	6	38
PL14	48	52	47	43	38	31	26	17	45
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-



R01

PL07

PL08

PL09

PL10

PL06

PL11

PL12

R02

PL05

PL14

PL13

4 Additional Monitor Points
Each 15' (Min Rear Setback) due
West of Lally Property Line at
PL(6.3).
Per Acentech Letter of
25Sep2019, Pg 1 under TABLE I,
Noise Level should not exceed ~
30dBA. (Nighttime Hours)

PL04

PL01

PL03

PL02

R03

R04

R05

R06

R07



Should there
be a barrier
here for
AHU-1?



NEO Manufacturing LLC and NEO Cultivation LLC

4 Marc Road

Medway, Massachusetts

Noise Mitigation Plan

J. Lally Annotations 08Oct2019

Noise Mitigation Plan:

Specific noise-emitting processes:

- **Cogen Equipment:** These operations include generation of electrical power which includes heating and cooling from reciprocating engines.
- **Vegetative Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Flower Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Harvest Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Drying Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Trim Rooms:** These operations include Exhaust fans and HVAC equipment.
- **Packaging Rooms:** These operations include Exhaust fans and HVAC equipment.

Noise Mitigation Best Practice:

- **Staff training procedures:** NEO has an extensive training program that includes training specifically for noise control and maintenance and operation of equipment. Operating Procedures that all employees must follow. NEO will conduct staff meetings at these meetings we discuss noise and maintenances of equipment.
- **Monitoring and inspection:** Every noise emitting room will be continuously monitored with daily inspections for noise breakout.

Commented [U-0-M1]: External noise is the primary concern for residents. Will external noise be monitored?

Engineering Controls:

All engineering noise control devices are designed by a Professional Engineer licensed in the State of Massachusetts. An affidavit of compliance will be provided with DEP

HVAC system noise control plan:

- **Closed Loop System:** with limited exhaust fitted with silencers.
- **Exhaust Fans:** fans will be fitted with silencing devices to prevent breakout noise.

Commented [U-0-M2]: What is attenuation of silencers and/or the noise level of exhaust with the silencers?

Commented [U-0-M3]: What is attenuation of silencers and/or the noise level of exhaust fans with the silencers?

- **Cogen Equipment:** Industrial grade Silencers will be installed on exhaust equipment and engines.

Commented [LJ-0-M4]: What is attenuation of silencers and/or the noise level of Cogen Equipment with the silencers?

J. Lally Annotations 08Oct2019

Environmental Noise Modeling:

Neo-Organics has retained Acentech, which has conducted a study of community noise produced by mechanical equipment serving Neo Organics facility located at 4 Marc Road in Medway, Massachusetts. Acentech worked with Neo-Organics to develop this Noise Mitigation Plan. This Noise Mitigation Plan has been reviewed by an acoustical consultant whose qualifications include Institute of Noise Control Engineering (INCE) board certification.

Noise Modeling:

Acentech has developed a computer model of facility sound using CadnaA, and acoustic modeling software that considers 3-dimensional propagation of sound. This model implements the methods and equations of ISO 9613-2 "Attenuation of sound during propagation outdoors -- Part 2: General method of calculation". FIGURE 2 presents the receptor locations used in computer modeling.

The facility has noise-producing equipment located on grade that includes a 300 kw generator, a transformer, air handling units, and condensing units. In addition, there are two rooftop exhaust fans. The mechanical equipment is identified in FIGURE I. The sound power levels of the equipment are given in TABLE II below. APPENDIX A includes the sound data sheets from the manufacturers. Currently, we have assumed for worst case test study that all equipment, except the generator, will run at all hours at maximum capacity.

TABLE II. Equipment sound power levels used in computer modeling

Description	Sound power level (dB re: 1pW)							
Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000 dBA
300 kw Generator*	83	89	91	96	96	91	86	81
Exhaust Fan (EF-X)	80	77	76	68	64	63	59	53
Air Handling Unit (AHU-1)	89	97	94	92	89	83	79	75
Ground mounted unit (GRTU-1)	89	85	87	81	79	78	73	62
GPod Condenser Small (GPCU-1)	73	74	69	68	66	62	56	52
GPod Condenser Large (GPCU-2)	38	55	56	60	62	61	52	49
Trane Condenser (CU-1)**	65	62	59	56	53	50	47	44
Trane Condenser (DCU)**	56	53	50	47	44	41	38	35
Mitsubishi Condenser (CU-2)**	65	62	59	56	53	50	47	44
2000 kVA Transformer***	80	82	77	77	71	66	61	54

* We have assumed daytime maintenance testing only.

**Octave band data unavailable, assumed spectrum.

*** Sound data estimated based on NEMA rating.

Source Strength:

The Town of Medway and their noise peer review consultant (NCE, Billerica, MA) have estimated corresponding limits in the current octave-bands in connection with another nearby facility, and we have referred to these estimates to facilitate the

Commented [LJ-0-M5]: What are the tolerances on manufacturers noise specifications and do the Sound Power Levels in TABLE II include the maximum "+ Tolerance" ?

If no, request that modeling & simulation is performed using the Manufacturers maximum noise levels including the "+ Tolerance".

Commented [LJ-0-M6]: I was unable to find Manufacturers noise data in the Manufacturers Noise Data section of this plan that matches the entries in TABLE II for: GPCU-1, GPCU-2, CU-1, CU-2, DCU, & 2000kVA Transformer. Is it there and I just missed it? If not, please clarify and/or provide that data.

Does the GENERAC Manufacturers Noise Data at end of plan apply to 300kw Generator? If yes, that appears to be post mitigation data. Please clarify and/or provide manufactures unmitigated levels for 300kw Generator.

Does the Price Noise Control Acoustic Analysis Report at the end of the plan perhaps apply to the GRTU-1? If yes, can't find anything in that report that matches the entries in Table II for GRTU-1. Please clarify and/or provide manufactures data for unmitigated sound levels for GRTU-1.

Commented [LJ-0-M7]: For GPCU-2 Is 38 at 63Hz a typo, seems awfully low?

Commented [LJ-0-M8]: Were noise sources modeled and simulated as both correlated and uncorrelated?

If uncorrelated only was used, is it possible for any of the noise sources to be correlated, especially if any are on the same power source and especially if any are the same Make & Model number, & very especially if within the same unit i.e. Price Controls GRW?

If the possibility exists for noise sources to be correlated and they were not modeled and simulated that way request that those sources be modeled and simulated as correlated in addition to uncorrelated.

In the event the possibility exists for noise sources to be correlated or uncorrelated request noise mitigation is based on the louder of correlated and uncorrelated.

work. The daytime and nighttime noise limits from the ordinance in modern octave bands are shown below in TABLE 1. The daytime noise limits are 5 dB greater than the nighttime

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limits. We understand the noise ordinance to be applicable at the source property lines.

TABLE I. Medway Noise Ordinance

Octave-band center frequency (Hz)	63	125	250	500	1000	2000	4000	8000
Nighttime	67	55	48	42	38	35	32	28
Daytime	72	60	53	47	43	40	37	33

Model Results. No Noise Controls

Based on our baseline computer model (as designed, no noise mitigation), we expect that the proposed equipment will *not* comply with the Medway noise ordinance at all facility property lines (see APPENDIX B, Table IV).

Noise Control Mitigation

An analysis of the noise-producing equipment revealed that the most significant noise sources are the GRTUs and AHUs. To mitigate the noise from these sources, we will be placing barriers, around the sources (3 m tall barriers for GRTUs, 4.5 m tall barriers for AHUs). We also will be selecting a generator and enclosure that meets the criteria 64 dBA at a distance of 7 m. The installment of the Generator will not be done during the first phase of Buildout so equipment's and noise mitigation will not be necessary. Once ready the company will do similar sound studies to confirm it meet the sound levels permitted

Model Results. Noise Controls

TABLE III summarizes the calculated noise levels at the property lines with noise control applied. The estimated sound levels created by MEP equipment are all below the octave-band provisions of the Medway noise regulation.

However, our model predicts that the transformer will exceed the criteria by 1 dB in the 500 Hz octave band at one property line receptor. We have used generic estimates of transformer sound power levels based on the estimated NEMA rating and surface area. The 1 dB exceedance is within the uncertainty of our model, which we will mitigate if necessary, with a sound barrier

It is possible that some equipment will have reduced fan speeds during nighttime operation, leading to reduced sound levels. Currently, we have assumed that all equipment, except the generator, will run at all hours at maximum capacity. Nighttime sound data for major equipment could influence the following noise control recommendations.

TABLE III. Estimated nighttime octave-band sound levels at facility property lines

Commented [LJ-0-M9]: Bold Red & highlighted in table II are within 1dB of Medway Noise Ordinance. Do these estimates include:

- 1.)Model & simulation margin of error i.e. uncertainty?
- 2.)Maximum +-tolerance" of noise sources per manufactures noise specifications
- 3.)Minimum "minum- tolerance" of noise mitigation per manufacturer's attenuation specifications?

If not, request estimates that include the above, and mitigation be augmented to keep any exceedance that emerge beneath the Medway Noise Ordinance.

Commented [LJ-0-M10]: How much is model uncertainty? If it's at least +/-1db there's several potential exceedances. See bold red highlighted in TABLE III.

Commented [LJ-0-M11]: Questions/Comments at SOURCE STRENGTH section are repeated here:

For these estimates were noise sources modeled and simulated as both correlated and uncorrelated?

If uncorrelated only was used, is it possible for any of the noise sources to be correlated, especially if any are on the same power source and especially if any are the same Make & Model number, & very especially if within the same unit i.e. Price Controls GRW?

If the possibility exists for noise sources to be correlated and they were not modeled and simulated that way request that those sources be modeled and simulated as correlated in addition to uncorrelated.

In the event the possibility exists for noise sources to be correlated or uncorrelated request noise mitigation is based on the louder of correlated and uncorrelated.

Receptor	63	125	250	500	1000	2000	4000	8000
PL01	45	51	45	42	37	29	23	<20
PL02	45	46	41	39	35	29	23	<20

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PL03	42	39	39	35	32	29	21	<20
PL04	47	44	45	39	37	35	28	<20
PL05	49	45	47	40	37	35	29	<20
PL06	42	38	39	35	32	29	20	<20
PL07	37	32	32	29	26	22	<20	<20
PL08	34	34	29	25	24	<20	<20	<20
PL09	36	40	36	31	26	20	<20	<20
PL10	37	40	37	32	27	21	<20	<20
PL11	40	45	40	36	31	24	<20	<20
PL12	42	47	42	38	32	25	<20	<20
PL13	41	46	41	37	31	24	<20	<20
PL14	48	52	47	43	38	31	26	<20
Medway Noise Ordinance	67	55	48	42	38	35	32	28

Full modeling results with and without mitigation are shown in APPENDIX B.

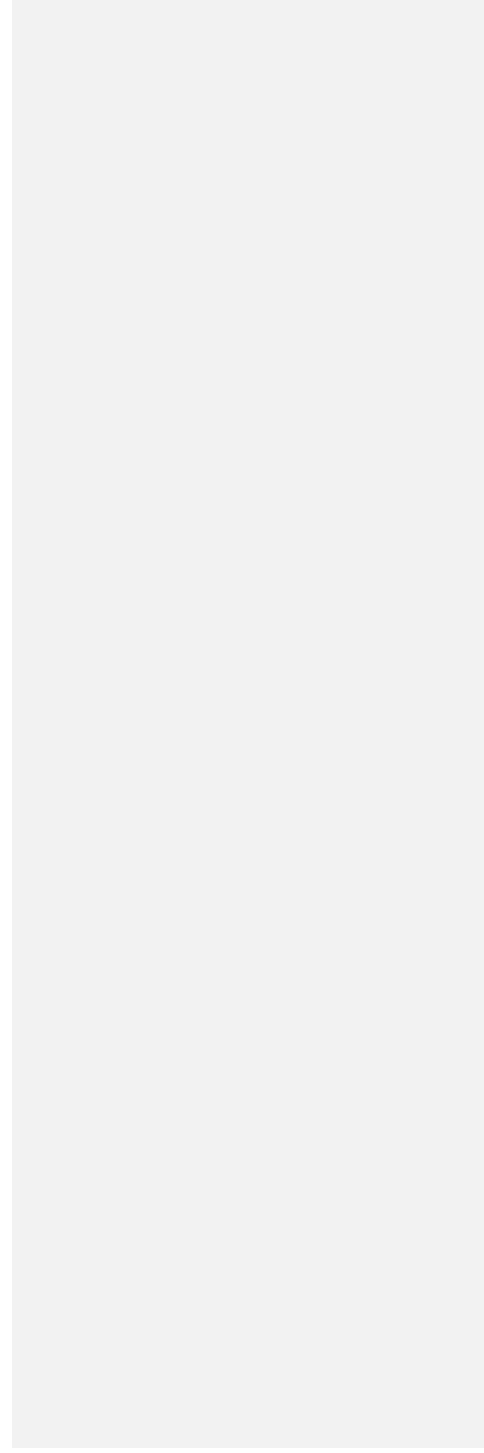
Post Construction Testing and Validation:

Post construction testing will be done to validate installation meets the noise guidance on noise performance of the facility. This post-construction test phases of the HVAC systems includes:

- Prepare and submit for review and approval a draft noise test plan review.
- Mobilize and conduct the noise testing according to the test

Commented [LJ-0-M12]: Please include much more detail of Testing and Validation, e.g. see 2 Marc Rd decision. Please do not defer Testing and Validation detail until after permit is granted.

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APPENDIX A

MANUFACTURER NOISE DATA

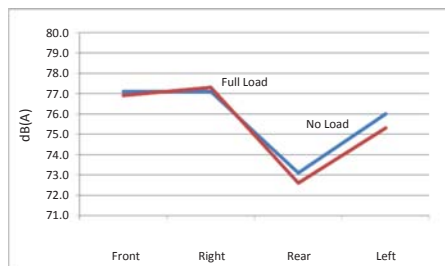
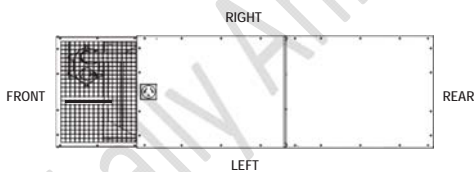
Commented [U-0-M13]: I am unable to find Manufactures noise data in this section that matches the entries in TABLE II for: GPCU-1, GPCU-2, CU-1, CU-2, DCU, & 2000kVA Transformer. Is it here and I just missed it? If not, please clarify and/or provide that data.

LEVEL 2 ACOUSTIC ENCLOSURE SD300 10.3L **FPT**

Commented [LJ-0-M14]: Is this the Manufactures sound data sheet for the 300kw Generator? I can't match any of the data to Table II. Let me know if I'm somehow mistaken and/or please clarify.

60Hz NO-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									dB(A)
	31.5	63	125	250	500	1000	2000	4000	8000	
FRONT	45.9	57.9	62.8	67.0	73.2	71.6	65.6	64.9	60.7	77.1
RIGHT	43.9	61.4	64.9	67.3	70.7	73.0	68.8	62.7	58.1	77.1
REAR	40.1	55.9	62.1	65.2	68.1	68.2	61.7	54.9	49.2	73.1
LEFT	41.5	58.9	65.7	64.9	71.4	70.8	66.9	60.1	56.2	76.0
AVERAGE	42.9	58.5	63.9	66.1	70.9	70.9	65.7	60.6	56.0	75.8

60Hz FULL-LOAD DATA, dB(A)										DISTANCE: 7 METERS
MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									dB(A)
	31.5	63	125	250	500	1000	2000	4000	8000	
FRONT	46.9	58.3	64.5	68.6	73.1	69.1	67.5	65.2	61.3	76.9
RIGHT	44.0	60.6	66.4	67.8	72.4	70.8	69.2	64.9	61.6	77.3
REAR	41.9	57.4	62.7	65.0	68.6	65.5	60.7	56.2	53.9	72.6
LEFT	43.4	60.6	66.6	65.4	71.5	67.6	64.7	61.2	60.4	75.3
AVERAGE	44.0	59.2	65.1	66.7	71.4	68.2	65.5	61.9	59.3	75.6



1. All positions at 23 feet (7 meters) from side faces of generator set.
2. Test conducted on a 100 foot diameter asphalt surface.
3. Sound pressure levels are subject to instrumentation, installation and testing conditions.

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Job Name: Clover
Prepared By: Impact Engineering
Unit Tag: 15 Ton
Quantity: 1

Trane Voyager Gas/Electric Packaged Rooftop

Commented [LJ-0-M15]: I take it this is the manufacturers Noise data sheet for AHU-1, correct?

Unit Overview - YHD180G4RHB**00B1A100000000000000000000

Application	Unit Size	Supply Fan		External Dimensions (in.)			Weight		EER	IEER/SEER
Gas/Electric	15 Ton	Airflow	External Static Pressure	Height	Width	Length	Minimum	Maximum	12.1 EER	14.00
		6000 cfm	1,000 in H2O	66.250 in	84.188 in	121.688 in	2241.0 lb	2663.0 lb		

Unit Features

Panels/Filters Std panels/2" pltd filters MERV 8

Unit Electrical

Voltage/phase/hertz 460/60/3
MCA 33.00 A
MOP 45.00 A



Controls

Unit Controls Reliatel

Cooling Section

Entering Dry Bulb 80.00 F		Capacity	
Entering Wet Bulb	67.00 F	Gross Total	180.52 MBh
Ambient Temp	95.00 F	Gross Sensible	142.17 MBh
Leaving Coil Dry Bulb	58.06 F	Net Total	171.67 MBh
Leaving Coil Wet Bulb	57.30 F	Net Sensible	133.32 MBh
Leaving Unit Dry Bulb	59.77 F	Fan Motor Heat	8.85 MBh
Leaving Unit Wet Bulb	57.96 F	Refrig Charge-circuit 1	13.0 lb
Refrigeration System Options		Refrig Charge-circuit 2	8.5 lb
Leaving Dew Point	56.82 F		

Heating Section

Heat Type	Gas
Heating Stages	2
Output Heating Capacity	280.00 MBh
Heating EAT	55.00 F
Heating LAT	98.01 F
Heating Temp Rise	43.01 F

Fan Section

Indoor Fan Data		Outdoor Fan Data	
Type	FC Centrifugal	Type	Propeller
Drive Type	Belt	Fan Quantity	2
Indoor Fan Performance		Drive Type Direct	
Airflow	6000 cfm	Outdoor Fan Performance	
Design ESP	1.000 in H2O	Outdoor Motor Power	0.89 kW
Component SP	0.040 in H2O	Condenser Fan FLA	1.35 A
Total SP	1.058 in H2O	Exhaust Fan Performance	
Indoor Motor Operating Power	2.81 bhp	Exhaust Fan FLA	4.80 A
Indoor Motor Power	2.09 kW		
Indoor RPM	709 rpm		

Compressor Section

Power 12.28 kW
Circuit 1 RLA 14.70 A
Circuit 2 RLA 7.00 A

Accessories

Roof curb yes

Acoustics

Sound Path	63 Hz	125 Hz	250 Hz	500 Hz	1 kHz	2 kHz	4 kHz	8 kHz
Ducted Discharge	87 dB	82 dB	76 dB	79 dB	72 dB	70 dB	69 dB	63 dB
Ducted Inlet	91 dB	82 dB	74 dB	70 dB	65 dB	60 dB	60 dB	53 dB
Outdoor Noise	89 dB	97 dB	94 dB	92 dB	89 dB	83 dB	79 dB	75 dB

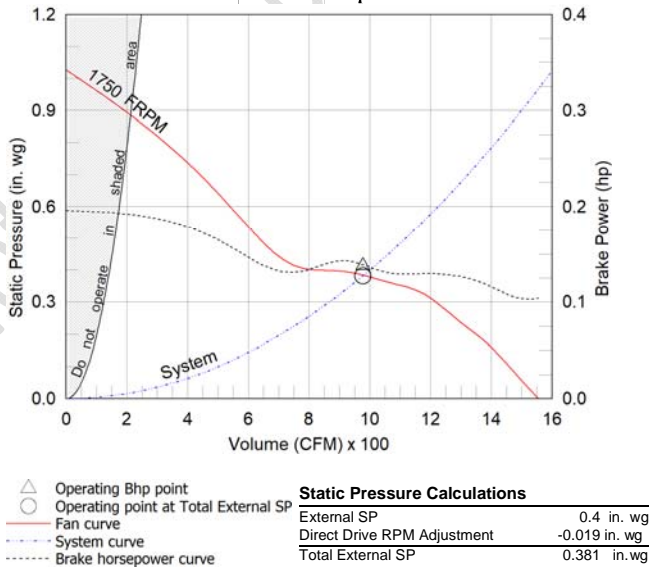
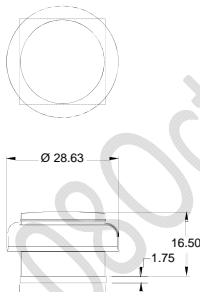
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Printed Date: 09/16/2019
Job: 18-076--Hayat Labs
Mark: EF-100
Model: AE-12-433-A4

Model: AE-12-433-A4
Propeller Hooded Roof Direct Drive Exhaust
Fan

Dimensional	
Quantity	1
Weight w/o Acc's (lb)	41
Weight w/ Acc's (lb)	43
Max T Motor Frame Size	0
Roof Opening (in.)	14.5 x 14.5



Motor	
Motor Mounted	Yes
Size (hp)	1/4
Voltage/Cycle/Phase	115/60/1
Enclosure	ODP
Motor RPM	1750
Windings	1

Sound Power by Octave Band

Sound Data	62.5	125	250	500	1000	2000	4000	8000	LwA	dBA	Sones
Inlet	80	77	76	68	64	63	59	53	72	61	11.1

Notes:
All dimensions shown are in units of in.
*Please consult factory for actual motor amp draw
LwA - A weighted sound power level, based on ANSI S1.4
dBA - A weighted sound pressure level, based on 11.5 dB
attenuation per Octave band at 5 ft - dBA levels are not
licensed by AMCA International
Sones - calculated using AMCA 301 at 5 ft



Commented [LJ-0-M16]: I take it this is the manufacturers Noise data sheet for EF-X, correct?

Performance	
Requested Volume (CFM)	1,000
Actual Volume (CFM)	976
Total External SP (in. wg)	0.381
Fan RPM	1750
Operating Power (hp)	0.14
Elevation (ft)	663
Airstream Temp.(F)	75
Air Density (lb/ft3)	0.073
Tip Speed (ft/min)	5,498
Static Eff. (%)	43

22.00 SQ

OVERALL HEIGHT MAY BE GREATER DEPENDING ON MOTOR.



Acoustic Analysis Report

Project	GRW
Date	September 13, 2019

Commented [LJ-0-M17]: What does this Acoustic Analysis Report refer to? Having a hard time matching what's in this report to anything else in the noise plan. Neither the constituent tables in this Acoustic Analysis Report nor the "SINGLE-UNIT-SUMMATION" table at the end.

Is it supposed to apply to the post mitigated GRTU-1? i.e. does GRW refer to a Price Mechanical GRW Indoor Horticultural Unit and this report is an analysis of all the constituent noise sources within a GRW?

ASHRAE Applications Handbook, AHRI, and HVAC acoustic algorithms. Only qualified design professionals should provide noise control recommendations. Price accepts no responsibility for the design of systems through the use of Price Acoustic Analysis.

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PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



General Unit Information:

Model: GRW

Tag: Unit 1

Casing: 0.08 Aluminum

Insulation Type: 3.5" Fiberglass

Liner: 0.08 Aluminum

Latent Fans: APM Size 27 Dual

Airflow: 22,000 CFM

TSP: 4.11 in.w.g.

Fan Speed: 1456 RPM

Sensible Fans: APD Size 355 Dual

Airflow: 4,070 CFM

TSP: 3.23 in.w.g.

Fan Speed: 2365 RPM

Compressors:

Qty 3 ZPDT31 Digital Tandem

Qty 3 ZPDT36 Digital Tandem

Cond Fans

Qty 6 33" fans, ~860 RPM, 10 degrees

Sound Analysis Definitions:

Sum = Logarithmic addition of sound sources less attenuation of components and adjustment for receiver distance.

Target = target sound pressure level at a specified distance

Current = A-weighted sound pressure (dBA) or sound power (LwA) level of the sum values

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



CONDENSER FANS

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Condenser Fan 1	78	74	74	72	71	70	65	53	
Condenser Fan 2	78	74	74	72	71	70	65	53	
Condenser Fan 3	78	74	74	72	71	70	65	53	
Condenser Fan 4	78	74	74	72	71	70	65	53	
Condenser Fan 5	78	74	74	72	71	70	65	53	
Condenser Fan 6	78	74	74	72	71	70	65	53	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	62	58	58	56	55	54	49	37	

Target:

Current: 60 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

LATENT FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	89	92	98	93	90	85	80	77	
Breakout - Cabinet Attenuation	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	54	53	54	38	28	21	16	13	

Target:

Current: 46 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



LATENT FANS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Supply Fan - Dual	83	88	96	87	81	79	75	72	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
6 Row Coil	0	-3	-5	-5	-7	-7	-9	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	59	54	58	46	36	32	21	20	

Target:

Current: 51 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SENSIBLE FANS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	82	82	78	75	70	
Breakout - Cabinet Attenuation	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	49	44	41	27	20	14	11	6	

Target:

Current: 35 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
LOCATION:
DATE: SEPTEMBER 13, 2019
REVISION:

REP NAME:
REP OFFICE:
ENGINEER:
CONTRACTOR:



SENSIBLE FAN AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
Sensible Fan - Dual	84	83	85	78	73	73	70	66	Inlet
4 Row Coil	0	-3	-3	-5	-6	-6	-8	-8	
4" Panel Filter	0	-1	-1	-2	-1	-3	-4	-4	
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	60	55	57	47	42	40	34	30	

Target:

Current: 51 dBA (NC 49 / RC 43)

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

COMPRESSORS RADIATED

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - Cabinet Attenuation	-11	-15	-20	-31	-38	-40	-40	-40	Thermoshield Cabinet
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	29	32	31	24	24	19	15	

Target:

Current: 32 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

PROJECT: GRW
 LOCATION:
 DATE: SEPTEMBER 13, 2019
 REVISION:

REP NAME:
 REP OFFICE:
 ENGINEER:
 CONTRACTOR:



COMPRESSORS AT FA INLET

Element	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz	Comments
ZPDT36 Compressor 1	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 2	73	63	71	78	79	80	76	71	
ZPDT36 Compressor 3	73	63	71	78	79	80	76	71	
ZPDT31 Compressor 1	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 2	68	57	62	76	76	79	73	69	
ZPDT31 Compressor 3	68	57	62	76	76	79	73	69	
Breakout - Cabinet Attenuation	-11	-14	-17	-23	-29	-35	-35	-35	Internal Walls
Receiver	-24	-24	-24	-24	-24	-24	-24	-24	
Sum	43	30	35	39	33	29	24	20	

Target:

Current: 39 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

SINGLE UNIT SUMMATION

Path	63Hz	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Condenser Fans	62	58	58	56	55	54	49	37
Latent Fans Radiated	54	53	54	38	28	21	16	13
Latent Fans at FA inlet	59	54	58	46	36	32	21	20
Sensible Fans Radiated	49	44	41	27	20	14	11	6
Sensible Fan at FA inlet	60	55	57	47	42	40	34	30
Compressors Radiated	43	29	32	31	24	24	19	15
Compressors at FA Inlet	43	30	35	39	33	29	24	20
Sum	65	61	63	57	55	54	49	38

Current: 61 dBA

Notes:

Sound data created by theoretical methods

Sound pressure calculated at a distance of 20 feet using a directivity factor (Q) of 2 assuming one reflective surface. The environment influences sound pressure, therefore dBA levels cannot be guaranteed.

AIR FLOW DATA

SYSTEM SIZE	K	K	58K
Outdoor (CFM)	2,130	4,500	4,415

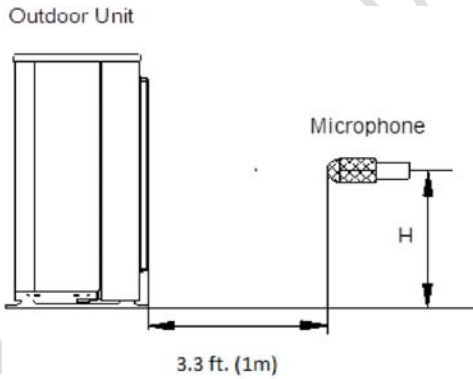
SOUND PRESSURE

SYSTEM SIZE		36K	48K	58K
Outdoor sound pressure level	dBa	63	62.5	64

SOUND PRESSURE IN OCTAVE BANDS

SIZE	Frequency (Hz)	63	125	250	500	1000	2000	4000	8000
36K	Cooling dB(A)	51.3	59.2	56.3	51.3	49.4	46.8	42.6	35.7
	Heating dB(A)	53.8	62.3	60.8	53.7	52.0	48.4	45.8	37.8
48K	Cooling dB(A)	59.2	61.6	55.9	58.1	59.6	51.9	47.8	43.8
	Heating dB(A)	65.1	66.1	61.3	59.7	58.2	54.1	47.5	43.6
58K	Cooling dB(A)	22.9	41.3	46.6	50.1	50.8	52.6	46.0	40.4
	Heating dB(A)	30.0	46.8	48.4	52.0	54.3	52.8	43.7	41.3

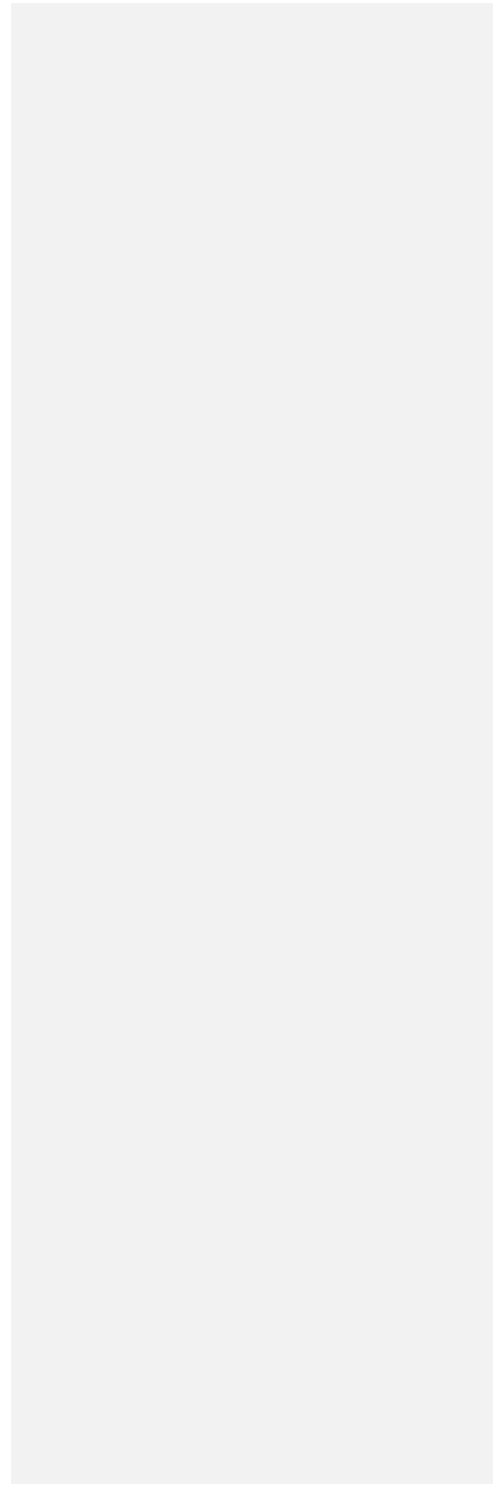
OUTDOOR UNIT SOUND PRESSURE TEST CONDITIONS



NOTE: H=0.5 x Height of outdoor unit

	INDOOR CONDITION		OUTDOOR CONDITION	
	DB	WB	DB	WB
Cooling	80.6F (27C)	66.2F (19C)	95F (35C)	75.2F (24C)
Heating	68F (20C)	59F (15C)	44.6F (7C)	42.8F (6C)

J. Lally Annotations 08Oct2019



APPENDIX B

MODELING RESULTS

J. Lally Annotations 28 Oct 2019

J. Lally Annotations 08Oct2019

TABLE IV. Estimated nighttime octave-band sound levels without mitigation (dB re: 20 µPa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	24	25	<20	20	<20	<20	<20	23
R02	32	31	32	25	23	<20	<20	<20	28
R03	34	34	33	28	25	22	<20	<20	31
R04	36	39	36	33	29	24	<20	<20	34
R05	36	41	38	35	32	27	20	<20	37
R06	39	44	41	40	37	30	21	<20	41
R07	40	44	41	39	37	30	20	<20	41
PL01	51	58	53	51	49	43	38	30	54
PL02	51	55	50	49	46	41	35	27	51
PL03	42	42	41	36	34	34	28	<20	40
PL04	47	46	48	45	43	42	36	22	48
PL05	49	48	52	46	44	43	37	24	50
PL06	42	39	43	39	37	36	29	<20	43
PL07	36	35	35	30	35	30	22	<20	38
PL08	40	43	38	36	38	31	22	<20	41
PL09	44	50	44	43	42	35	27	<20	46
PL10	45	51	46	45	43	37	30	<20	47
PL11	48	55	51	49	48	42	36	24	52
PL12	49	56	52	51	49	43	37	27	53
PL13	49	55	50	49	47	41	35	25	51
PL14	55	62	57	56	54	48	43	36	58
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

J. Lally Annotations 08Oct2019

TABLE V. Estimated nighttime octave-band sound levels with mitigation (dB re: 20 μ Pa)

Receptor	63	125	250	500	1000	2000	4000	8000	dBA
R01	26	22	23	18	15	10	-6	-54	20
R02	32	30	30	23	20	15	4	-25	26
R03	34	32	33	27	24	21	11	-16	30
R04	36	33	31	27	26	22	12	-12	31
R05	34	37	33	29	25	20	10	-12	31
R06	35	39	34	32	27	19	8	-16	33
R07	34	39	34	32	26	18	7	-19	32
PL01	45	51	45	42	37	29	23	13	43
PL02	45	46	41	39	35	29	23	13	40
PL03	42	39	39	35	32	29	21	3	38
PL04	47	44	45	39	37	35	28	13	43
PL05	49	45	47	40	37	35	29	15	44
PL06	42	38	39	35	32	29	20	7	38
PL07	37	32	32	29	26	22	13	-5	31
PL08	34	34	29	25	24	19	10	-2	28
PL09	36	40	36	31	26	20	11	-5	33
PL10	37	40	37	32	27	21	12	-2	34
PL11	40	45	40	36	31	24	17	5	38
PL12	42	47	42	38	32	25	18	7	39
PL13	41	46	41	37	31	24	18	6	38
PL14	48	52	47	43	38	31	26	17	45
Medway Noise Ordinance	67	55	48	42	38	35	32	28	-

Commented [LJ-0-M18]: Comments/Questions at TABLE II apply here as well:

Bold Red & highlighted in TABLE V are within 1dB of Medway Noise Ordinance. Do these estimates include:
1.)Model & simulation margin of error i.e. uncertainty?
2.)Maximum "plus-tolerance" of noise sources per manufactures noise specifications
3.)Minimum "minus-tolerance" of noise mitigation per manufacturer's attenuation specifications?

If not, request estimates that include the above, and mitigation be augmented to keep any exceedance that emerge beneath the Medway Noise Ordinance.

J. Lally Annotations 08Oct2019

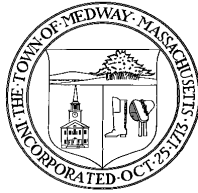


October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Choate Trail Way Preliminary
Subdivision Plan**

- Public Briefing Notice 9-26-19
- Memo to Town Staff 9-26-19
- Choate Trail Way Preliminary Subdivision Application
- Choate Trail Way Preliminary Subdivision –
Development Impact Report
- Choate Trail Way Preliminary Subdivision Plan –
8-30-19
- PGC Associates Comments – 10-2-19



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

September 26, 2019

PUBLIC BRIEFING ABUTTER NOTICE
Choate Trail Way Preliminary Subdivision Plan – 42 Highland Street
Tuesday, October 8, 2019

The Medway Planning & Economic Development Board has received an application from Lock It Up, LLC of Newton, NH for approval of a ***preliminary subdivision plan for a proposed 4 lot residential subdivision at 42 Highland Street.*** Owned by Lock It Up, LLC, the 5.88 acre parcel (*Medway Assessors Map 37, Parcel 67*) is located on the north side of Highland Street in the Agricultural Residential I zoning district. The *Choate Trail Way Preliminary Subdivision Plan* is dated August 30, 2019 and was prepared by Connorstone Engineering, Inc. of Northborough, MA. The plan shows the division of the subject property into four residential lots, one lot with the existing house at 42 Highland Street, and three new house lots with frontage on a new, 578' long permanent private road.

The applicant will present the proposed Choate Trail Way Preliminary Subdivision Plan to the Medway Planning and Economic Development Board on Tuesday evening, October 8, 2019 at 8:30 p.m. in the Sanford Room on the second floor of Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible by elevator for individuals with physical disabilities.

You are receiving this notice because you are the record owner of property located within 300' of 42 Highland Street. You are invited to attend the public briefing to learn more about this proposal.

A copy of the application, the Choate Trail Way Preliminary Subdivision Plan and other documents are on file with the Medway Town Clerk and at the Community and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected during regular Town Hall hours on Mondays from 7:30 a.m. to 5:30 p.m., Tuesday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The documents have also been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>

OVER →

Phone: 508-533-3291 Fax: 508-321-4987
planningboard@townofmedway.org

Written comments may be forwarded to the Board at the above address, faxed to us at the number below, or emailed to us at: planningboard@townofmedway.org. Board members will review all submitted correspondence.

If you have any questions regarding this matter, please contact Medway Planning & Economic Development Coordinator Susan Affleck-Childs at 508-533-3291. Thank you.

NOTE – The filing of a Preliminary Subdivision plan with the Planning and Economic Development Board provides a way for a developer to:

- acquaint the Board, Town staff, and abutters with the applicant's intentions for developing a site;
- discuss the proposed concept plan;
- obtain some feedback on the proposal; and
- identify issues that need to be addressed and clarify additional information that may be needed before submitting a Definitive Subdivision Plan in the future.

A Preliminary Subdivision Plan does NOT serve to formally subdivide land and create new legal lots. That can only be accomplished by the Board's approval of a Definitive Subdivision Plan which would be the developer's expected next step after the Preliminary Plan discussion. A Definitive Subdivision Plan includes considerably more detailed information than a Preliminary Plan; it is fully engineered showing all infrastructure and utilities. The Board is required to conduct a formal public hearing on a proposed Definitive Subdivision Plan. Abutters within 300' of the site would be notified of the public hearing. A proposed Definitive Subdivision Plan is reviewed by the Town's consulting engineer and planner and Town staff for compliance with the Board's *Subdivision Rules and Regulations*.

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, September 26, 2019 9:46 AM
To: Alison Slack ; Allen Tingley ; Allison Potter; Andy Rodenhiser ; Ann Sherry ; Armand Pires; Barbara Saint Andre; Barry Smith; Beth Hallal; Board of Selectmen; Bob Ferrari; Bridget Graziano; David Damico; David Travalini ; Design Review Committee; Don Aicardi; Donna Greenwood; Doug Havens; Erika Robertson; Fran Hutton Lee; Gino Carlucci; Jack Mee; 'Jeanne Johnson'; Jeff Lynch; Jeff Watson; Jim Wickis ; Joanne Russo; Judi LaPan; Keith Peden; Liz Langley; Liz Taglieri ; Mark Cerel ; Matthew Buckley; Michael Boynton; Mike Fasolino; Paul Yorkis; Peter Pelletier; Rindo Barese; Sandy Johnston; Stefany Ohannesian; Stephanie Carlisle; Steve Bouley ; Sue Rorke; Tina Wright ; Zoning Board
Subject: Choate Trail Way Preliminary Subdivision Plan - Public Briefing October 8

Hi,

The Planning and Economic Development Board has received an application from Lock It Up, LLC of Newton, NH for the Choate Trail Way Preliminary Subdivision plan for 42 Highland Street. This is a 5.99 acre parcel located on the north side of Highland Street in the AR-I zoning district. The property abuts the southern end of Medway High School. Highland Street is a Medway Scenic Road.

The application materials and plan are posted at the PEDB's web site as follows:

<https://www.townofmedway.org/planning-economic-development-board/pages/choate-trail-way-preliminary-subdivision>

The plan shows the division of land into 4 residential lots, one lot with the existing house at 42 Highland Street, and three new house lots with frontage on a new, 578' long permanent private way.

There are wetland resources on the property under the jurisdiction of the Conservation Commission. Connections would be made to Town water. Wastewater would be handled through septic systems on each lot.

The Board will review and discuss this plan at its meeting on Tuesday, October 8, 2019 at 8:30 pm.

You are asked to review the Choate Trail High Street Meadows Preliminary Subdivision Plan and provide comments and questions. Please email those to me by Wednesday, October 2nd so I may share them with the Board and the applicant and enter them into the record at the October 8th meeting.

Thanks!

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

LAND SUBDIVISION – FORM B

Application for Approval of a Preliminary Subdivision Plan Planning & Economic Development Board - Town of Medway, MA

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Subdivision Rules and Regulations. Please complete this entire Application. Submit three signed originals of this Application, one copy of the Preliminary Subdivision Plan and one copy of the Development Impact Report to the Town Clerk who will date stamp all three Applications.

Submit two signed originals of this Application date stamped by the Town Clerk and one copy of the Preliminary Subdivision Plan to the Board of Health, which will date stamp the two Applications.

Provide one signed original of this Application date stamped by the Town Clerk and Board of Health, eight (8) copies of the Preliminary Subdivision Plan, all other required documents, and the appropriate Preliminary Plan Filing Fee and the advance of the Preliminary Plan Review Fee to the Planning & Economic Development office.

The Board's Consultants will review the Application and Preliminary Subdivision Plan. You or your duly authorized Agent/Official Representative are expected to attend the Planning Board meeting at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence may result in a delay the Board's review of the Preliminary Plan.

Sept. 16, 2019

TO: *The Planning & Economic Development Board of the Town of Medway, MA*

The undersigned, being the Applicant as defined under Chapter 41, Section 81- L for approval of a Preliminary Subdivision Plan, herewith submits this Preliminary Subdivision Plan of property located in the Town of Medway and makes application to the Medway Planning & Economic Development Board for review of such Preliminary Subdivision Plan.

PRELIMINARY SUBDIVISION PLAN INFORMATION

Title: Choate Trail Way

Prepared by: Vito Colonna, PE

Of: Connorstone Engineering, Inc.

Plan Date: August 30, 2019

PROPERTY INFORMATION

Location Address: 42 Highland Street

The land shown on the plan is shown on Medway Assessor's Map # 37 Parcel # 67

Total Acreage of Land to be Divided: 5.88 acres

General Description of Property: Existing lot containing a single family home.

Medway Zoning District Classification: AR-1
Frontage Requirement: 180 ft. Area Requirement: 44,000 s.f.

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?
☒ Yes ☐ No If yes, please name street: Highland Street

Wetlands

Is any portion of the property within a Wetland Resource Area? ☒ Yes ☐ No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? ☐ Yes ☒ No

Flood Plain

Is any portion of the property within a Flood Plain? ☐ Yes ☒ No

The owner's title to the land that is the subject matter of this application is derived under deed from: L. Dunton & K. Wante to Lock it Up, LLC
dated January 2, 2018 and recorded in Norfolk County Registry of Deeds,
Book 35743 Page 2 or Land Court Certificate of Title Number _____,
Land Court Case Number _____, registered in the Norfolk County Land Registry District
Volume _____, Page _____.

SUBDIVISION INFORMATION

Subdivision Name: Choate Trail Way

This is a: ☒ Residential Subdivision ☐ Non-Residential Subdivision

The plan shows the division of land into 4 building lots numbered 0 and
_____ parcels not intended for building thereon.

The plan shows the following **existing** ways that are being proposed as lot frontage:

_____ as frontage for lot(s) _____

_____ as frontage for lot(s) _____

The plan shows the following **proposed new** ways that are being proposed as lot frontage:

Proposed Roadway _____ as frontage for lot(s) 1, 2, 3, 4

_____ as frontage for lot(s) _____

_____ as frontage for lot(s) _____

Total Length of Proposed New Roadway(s) 578 feet

Are the new roads proposed to be public or private ways?

☐ Public ☒ Private

Proposed Utilities:

☒ Water ☐ Well

☐ Sewer ☒ Septic

APPLICANT INFORMATION

Applicant's Name: Lock it up, LLC
Applicant's Address: 56 Central Ave., Unit 1
Newton, NH 02460
Name of Primary Contact: Robert Pace
Telephone: 603-584-9990 FAX: _____
Email address: rpac100@outlook.com

____ Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner Name: Same as applicant
Address: _____

Primary Contact: _____
Telephone: _____ FAX: _____
Email address: _____

CONSULTANT INFORMATION

ENGINEER: Connorstone Engineering, Inc.
Address: 10 Southwest Cutoff, Northborough, MA 01532

Primary Contact: Michael Sullivan
Telephone: 508-393-9727 Fax: 508-393-5242
Email address: mjs@csei.net

SURVEYOR: Same as Engineer
Address: _____

Primary Contact: _____
Telephone: _____ Fax: _____
Email Address: _____

OFFICIAL REPRESENTATIVE INFORMATION

Name: Robert Pace
Address: 130 Parker Street, Suite 12
Lawrence, MA 01843
Primary Contact: Robert Pace
Telephone: 603-584-9990 Fax: _____
Email address: Rpace100@aol.com

SIGNATURES

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is true, accurate and complete to the best of my knowledge and belief. (If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this Preliminary Subdivision Plan application.) In submitting this application, I authorize the Board, Town staff and agents, and members of the Open Space Committee and Design Review Committee to access the site during the plan review process.

Robert Pace
Signature of Property Owner

8-31-19
Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

PRELIMINARY SUBDIVISION PLAN FEES

Preliminary Subdivision Plan Filing Fee - \$750

Advance on Plan Review Fee - \$750

Submit 2 separate checks each made payable to: Town of Medway

Fees approved 9-9-08

Date Form B and Preliminary Subdivision Plan Received by Planning & Economic Development office: _____

Preliminary Subdivision Plan Filing Fee Paid:

Amount: _____ Check # _____

Advance on Plan Review Fee Paid:

Amount: _____ Check # _____

Date Form B & Preliminary Subdivision Plan Received by Board of Health

Date Form B & Preliminary Subdivision Plan Received by Town Clerk

PRELIMINARY LIST OF EXPECTED WAIVERS

Section 4.6.6

Waiver from the requirement of showing all trees on-site with a diameter of 1-foot or greater.

PRELIMINARY SUBDIVISION PLAN SUBMITTAL DOCUMENTS CHECKLIST

Town Clerk

- ☒ One (1) signed original Preliminary Plan Application – Form B
- ☒ One (1) copy of Preliminary Subdivision Plan
- ☒ One (1) copy of the Development Impact Report – Form F

Board of Health

- ☒ One (1) signed original Preliminary Plan Application – Form B
- ☒ One (1) copy of Preliminary Subdivision Plan

Planning & Economic Development Board

- ☒ One (1) signed original Preliminary Plan Application date stamped by Town Clerk & Board of Health
- ☒ Eight (8) full size Copies of Preliminary Subdivision Plan prepared in accordance with Section 4.7 of the *Subdivision Rules and Regulations*
- ☒ Electronic Version of the Preliminary Subdivision Plan – pdf or disk.
- ☒ Certified Abutters List – Form E
- ☒ One (1) copy of the Development Impact Report – Form F
- ☒ Preliminary list of expected Waiver Requests
- ☒ Preliminary Subdivision Plan Filing Fee (\$750) – Payable to Town of Medway
- ☒ Advance of Plan Review Fee (\$750) – Payable to Town of Medway

Revised – July 8, 2011

LAND SUBDIVISION - FORM F

Development Impact Report (DIR) PLANNING BOARD – Town of Medway, MA

OVERVIEW

The DIR is intended to serve as a guide to the applicant in formulating their development proposal, as well as a guide to the Planning Board in evaluating the proposed Subdivision Plan in the context of existing conditions and the Town's planning efforts. The DIR should be prepared as early in the design process as possible, even if certain aspects are unknown at that time.

The DIR seeks to raise the broad range of issues generally association with a subdivision development plan in a form and in language that is understandable to the layperson. The DIR shall identify and assess development impacts that could possibly be avoided or mitigated if recognized early in the development process. Other portions of the DIR request information that will help the Town plan ahead to provide adequate services in the future.

The DIR shall be filed with an application for approval of a Preliminary and a Definitive Subdivision Plan. It shall clearly and methodically assess the relationship of the proposed development to the natural, physical, and social environment of the surrounding area. In preparing the DIR, a systematic interdisciplinary approach shall be utilized to include professionals in the natural and social sciences and environmental design arts.

Sept. 16, 2019
Date

1. Name of Proposed Subdivision: Choate Trail Way
2. Location: 42 Highland Street
3. Name of Applicant (s): Lock it up, LLC
4. Brief Description of the Proposed Project: _____

4 Lot residential subdivision

5. Name of Individual Preparing this DIR Vito Colonna / Connorstone Engineering

Address: 10 Southwest Cutoff, Northborough, MA Phone: 508-393-9727

Professional Credentials: Professional Engineer MA#47635

SITE DESCRIPTION6. Total Site Acreage: 5.88

Approximate Acreage	At Present	After Completion
Meadow/brushland (<i>non-agricultural</i>)	0.5	3.08
Forested	4.93	1.5
Agricultural (<i>includes orchards, croplands, pasture</i>)	0	0
Wetlands	0.4	0.4
Water Surface Area	0	0
Flood Plain	0	0
Unvegetated (<i>rock, earth or fill</i>)	0	0
Roads, buildings and other impervious surfaces	0.05	0.9
Other (<i>indicate type</i>)	0	0
TOTAL	5.88	5.88

7. Present permitted and actual land use by percentage of the site.

Uses	Percentage
Industrial	
Commercial	
Residential	25%
Forest	75%
Agricultural	
Other (specify)	

8. List the zoning districts in which the site is located and indicate the percentage of the site in each district. *NOTE – Be sure to include overlay zoning districts.*

Zoning District	Percentage
AR-1	100%

9. Predominant soil type(s) on the site: Canton**Soil Drainage***(Use the U.S. Soil Conservation Service's definition)*

Soil Type	% of Site
Well drained	98%
Moderately well drained	
Poorly drained	2%

10. Are there any bedrock outcroppings on the site? ☐ Yes ☒ No

If yes, specify: _____

11. Approximate percentage of proposed site with slopes between:

<i>Slope</i>	<i>% of Site</i>
0 – 10%	94%
10 – 15%	5%
Greater than 15%	1%

12. In which of the Groundwater Protection Districts is the site located?

Zone(s) N/A

Proximity to a public well: 11,000 +/- feet

13. Does the project site contain any species of plant or animal life that is identified as rare or endangered? (*Consult the Massachusetts Heritage Program and the Medway Conservation Commission for information.*) ☐ Yes ☒ No

If yes, specify: _____

14. Are there any unusual site features such as trees larger than 30 inches, bogs, kettle ponds, eskers, drumlins, quarries, distinctive rock formations or granite bridges?

☐ Yes ☒ No

If yes, specify: _____

15. Are there any established foot paths running through the site or railroad right of ways? ☒ Yes ☐ No

If yes, please specify: Foot path from highland street to school property.

16. Is the site presently used by the community as an open space or recreation area? ☐ Yes ☒ No

If yes, please specify: _____

17. Does the site include scenic views or will the proposed development cause any scenic vistas to be obstructed from view? ☒ Yes ☐ No

If yes, please specify: _____

18. Are there wetlands, lakes, pond, streams or rivers within or contiguous to the site? ☒ Yes ☐ No

If yes, please specify: Wetlands located on-site

19. Is there any farmland or forest land on the site protected under Chapter 61A or 61B of the Massachusetts General Laws? ☐ Yes ☒ No

If yes, please specify: _____

20. Has the site ever been used for the disposal of hazardous waste? Has a 21E study been conducted for the site? ☐ Yes ☒ No

If yes, please specify: _____

21. Will the proposed activity require use and/or storage of hazardous materials, or generation of hazardous waste? ☐ Yes ☒ No

If yes, please specify: _____

22. Does the project location contain any buildings or sites of historic or archaeological significance? (Consult with the Medway Historical Commission) ☐ Yes ☒ No

If yes, please describe: _____

23. Is the project contiguous to or does it contain a building located in a national register historic district? ☐ Yes ☒ No

If yes, please describe: _____

CIRCULATION

24. What is the expected average weekday traffic and peak hour volumes to be generated by the proposed subdivision?

Average weekday traffic	38
Average peak hour volumes – morning	4
Average peak hour volumes - evening	4

25. Existing street(s) providing access to the proposed subdivision:

Please specify: Highland Street

26. Existing intersection(s) within 1000 feet of any access to the proposed development. Please specify intersection names: Summer Street

27. Location of existing sidewalks within 1000 feet of the proposed site: _____

Sidewalks on Summer Street

28. Location of proposed sidewalks and their connection to existing sidewalks:

None

29. Are there parcels of undeveloped land adjacent to the proposed site:

 Yes X No

Will access to these undeveloped parcels be provided from the proposed subdivision?

 Yes No

If yes, please describe: N/A

If no, please explain why: _____

UTILITIES AND MUNICIPAL SERVICES

30. What is the total number of dwelling units proposed? 4

31. What is the total number of bedrooms in the proposed subdivision? 16

32. Stormwater Management

A. Describe the nature, location and surface water body receiving current surface water of the site: _____

On-site wetland that flows to the north ultimately tributary to Chicken Brook

- B. Describe the how the proposed stormwater management system will operate and how the existing stormwater patterns will be altered: _____

On-site stormwater collection, detention, and treatment system including a large subsurface infiltration system and individual drywells. Discharges shall match the peak rate, volume, and pattern of runoff when compared to the existing conditions.

- C. Will a NPDS Permit be required? X Yes No

33. Please estimate the response time of the Fire Department to this site:

(Please consult with the Fire Department): 5 to 7 minutes

34. Schools

- A. Projected number of new school age children: 3

- B. Distance to nearest elementary school: 1 Mile

MEASURES TO MITIGATE IMPACTS - Please attach a brief description of the measures that haven been taken during subdivision design and will be taken during subdivision construction for each of the following:

- 35. Maximize stormwater infiltration and groundwater recharge
- 36. Prevent surface and groundwater contamination
- 37. Reduce detrimental impacts to water quality
- 38. Maintain slope stability and prevent erosion
- 39. Conserve energy
- 40. Preserve wetlands
- 41. Preserve wildlife habitats, outstanding ecological or botanical features
- 42. Protect scenic views
- 43. Retain natural landscape features
- 44. Design street layouts to facilitate southern orientation of houses
- 45. Use curvilinear street patterns
- 46. Promote pedestrian and bicycle access and safety
- 47. Reduce the number of mature trees to be removed
- 48. Provide green belt/buffer areas
- 49. Preserve historically important structures and features on the site
- 50. Retain natural valley flood storage areas
- 51. Minimize the extent of waterways altered or relocated
- 52. Reduce the volume of cut and fill
- 53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation
- 54. Minimize municipal maintenance frequency and costs
- 55. Reduce building site frontages or driveway egresses onto primary or secondary streets

In describing each of the above, please use layman's terms where possible while still being accurate and comprehensive. Where appropriate, please use graphic illustrations. Identify data sources, reference materials and methodology used to determine all conclusions.

ATTACHMENT A – MEASURES TO MITIGATE IMPACTS

35. *Maximum stormwater infiltration and groundwater recharge.*

Proposed roadway has been directed to a large subsurface infiltration system sized in accordance with DEP Standards. The system will maximize infiltration to match the existing recharge conditions.

36. *Prevent surface and groundwater water contamination.*

Stormwater drainage from the roadway will be collected in deep sump hooded catch basins for pretreatment and directed to an infiltration system for recharge and treatment. The system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

37. *Reduce detrimental impacts to water quality.*

As noted above, the stormwater system will be designed to remove a minimum 80% of the TSS, and will be designed in full compliance with the Massachusetts Stormwater Handbook and Stormwater Standards to ensure protection to water quality.

38. *Maintain Slope Stability and Prevent Erosion*

Proposed vegetated slopes will be limited to 2 horizontal to 1 vertical, which will be dressed with minimum 6 inches of loam and stabilized with hydroseed including a tackifier. Any proposed slope greater than 2:1 will be treated with riprap protection. The existing topography is relatively flat with little need to create large cut or fill slopes requiring special slope protection. Construction period erosion control would be implements and provided in the final definitive subdivision plans.

39. *Conserve Energy*

The proposed development and new homes would be new construction meeting the current building codes for energy conservation.

40. *Preserve wetlands*

No wetlands or undisturbed areas within 25 feet of any wetland will be altered as part of the project, and sedimentation and erosion controls will be implemented during construction to mitigate potential temporary impacts.

41. *Preserve wildlife habitats, outstanding ecological or biological features*

The wetland areas onsite and the 25 foot buffer zone will remain unaltered, which will provide habitat for wildlife in the area. There are no mapped areas of estimated or priority habitats within the project limits.

42. *Protect scenic views*

The proposed project would not block or obstruct any existing scenic views or vistas. The existing frontage along Highland Street is currently developed with a single family home.

43. *Retain natural landscape features*

Existing vegetation will be preserved to the extent feasible, and all vegetation within 25 feet of the wetland will also be preserved.

44. *Design street layouts to facilitate southern orientation of houses.*

The proposed street layout options are limited due to the on-site wetlands, but the street generally runs in an east west direction giving the opportunity to orient houses with a southern exposure.

45. *Use curvilinear street patterns*

The proposed street layout options are limited due to the on-site wetlands, and utilizing a curvilinear roadway does not work with the existing site, topography, or wetlands resources.

46. *Promote pedestrian and bicycle access and safety*

A proposed sidewalk has been provided within the subdivision.

47. *Reduce the number of mature trees to be removed*

Mature trees would be preserved to the maximum extent feasible. Tree preservation would be reviewed in greater detail during the definitive design phase.

48. *Provide green belt/buffer areas*

A buffer area would be provided near the wetland area. This would provide a visual buffer and green area between the rear three houses and Highland Street.

49. Preserve historically important structures and features on the site

Not applicable, there are no known historic features on the subject site.

50. Retain natural valley flood storage areas

Not applicable, there are no valley flood storage areas on the subject site.

51. Minimize the extent of waterways altered or relocated

The proposed work will not require any filling of wetlands or waterways.

52. Reduce the volume of cut and fill

The amount of cut and fill has been reduced to the extent feasible. The proposed roadway does not require and large cuts or fills greater than six feet in height.

53. Minimize the visual prominence of man-made elements even if necessary for safety or orientation

The majority of the development including three of the four lots would be clustered to the rear portion of the lot reducing the visual impact from Highland Street.

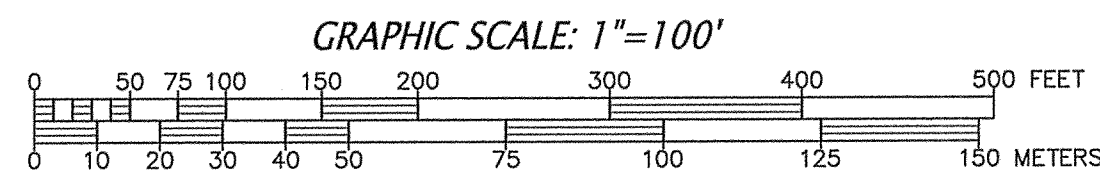
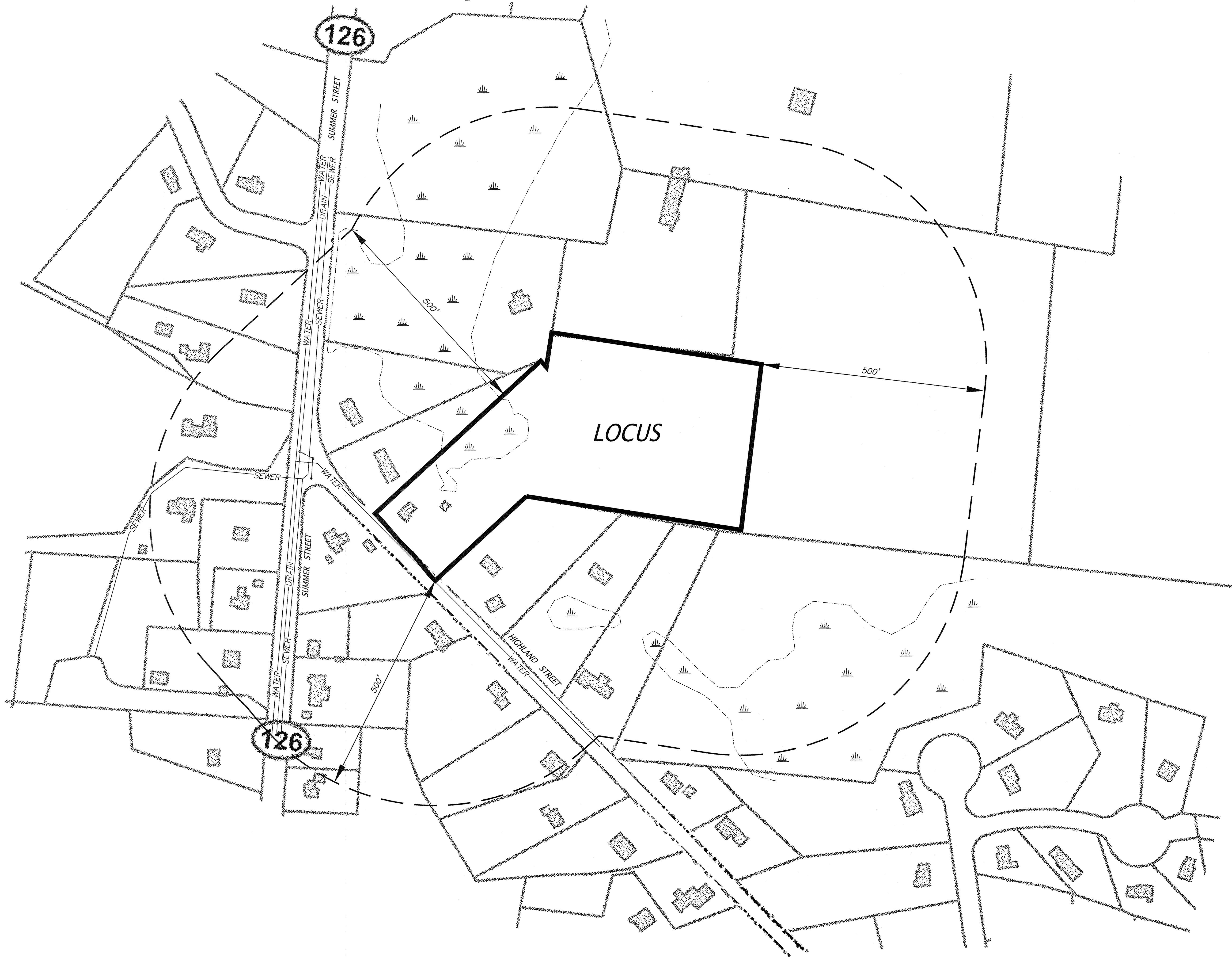
54. Minimize municipal maintenance frequency and costs

The proposed project would have minimal effect on municipal services. There would be a net increase in three single family houses, and the roadway would remain in private ownership. All future maintenance of the roadway would be the responsibility of the homeowners association.

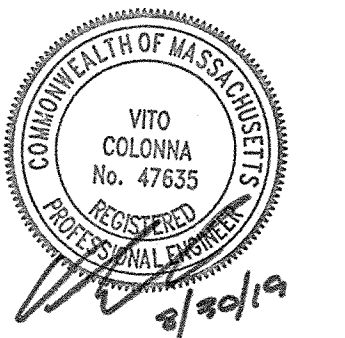
55. Reduce building site frontages or driveway egresses onto primary or secondary streets

The existing conditions include a single family house with frontage on Highland Street. This would remain under the proposed condition, and no new lot frontage on Highland Street would be created. The three new house lots would have frontage on the proposed roadway.

PLAN No. 754, 1974, Bk. 245



- GENERAL NOTES:
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
 - THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
 - LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
 - WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.



ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67
OWNER / APPLICANT:
LOCK IT UP, LLC
56 CENTRAL AVE, UNIT 1
NEWTON, NH 02460

**CONNORSTONE
ENGINEERING INC.**
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

PRELIMINARY SUBDIVISION PLAN
COVER SHEET
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 30, 2019	
SCALE: AS SHOWN	SHEET 1 OF 3

MONUMENTS

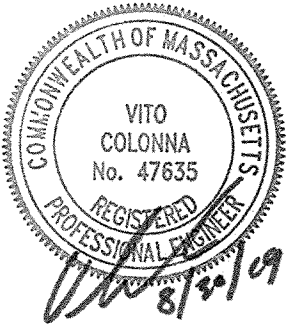
- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND

LEGEND

- DRAIN MAN HOLE
- DRAINAGE LINE
- CATCH BASIN
- SEWER LINE
- SEWER MAN HOLE
- BITUMINOUS CURBING
- EDGE OF PAVEMENT
- GUARD RAIL
- APPROX. WATERLINE
- HYDRANT
- WATERGATE
- APPROX. GAS LINE
- GAS GATE
- UTILITY POLE & GUY WIRE
- CHAIN LINK FENCE
- LIGHTPOST
- HANDICAP SPACE
- ELECTRIC TRANSFORMER SIGN
- VERTICAL BENCHMARK
- DECIDUOUS TREE >8"
- CONIFEROUS TREE >8"
- TREELINE
- SPOT GRADE
- WETLAND LINE
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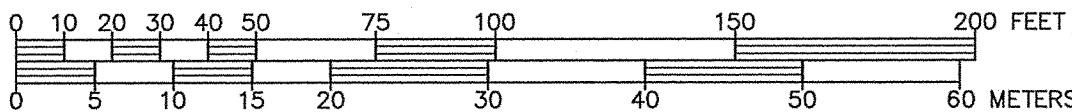
CONNORSTONE
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CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

PRELIMINARY SUBDIVISION PLAN
EXISTING CONDITIONS
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

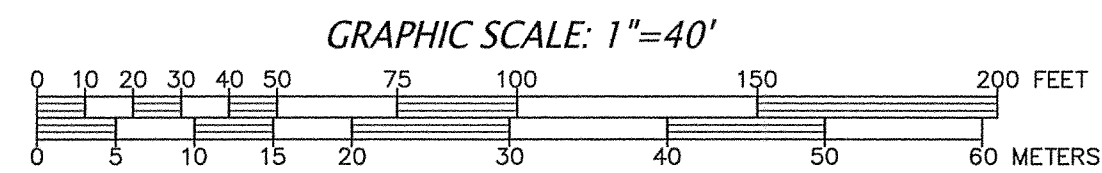
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: AUGUST 30, 2019	
SCALE: 1"=40'	SHEET 2 OF 3

GRAPHIC SCALE: 1"=40'



MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W. DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND



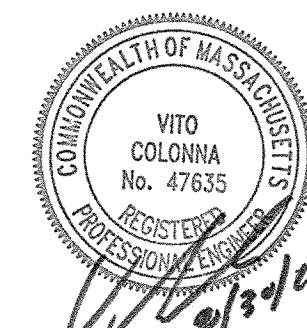
N/F
JOSEPH & ALLYSON HAMM
MAP 37, PARCEL 70
DEED BK. 26490, PG. 365

LEGEND

- DRAIN MAN HOLE
- DRAINAGE LINE
- CATCH BASIN
- SEWER LINE
- SEWER MAN HOLE
- BITUMINOUS CURBING
- EDGE OF PAVEMENT
- GUARD RAIL
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PRELIMINARY SUBDIVISION PLAN
PROPOSED PLAN
CHOATE TRAIL WAY
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MEDWAY, MASS.

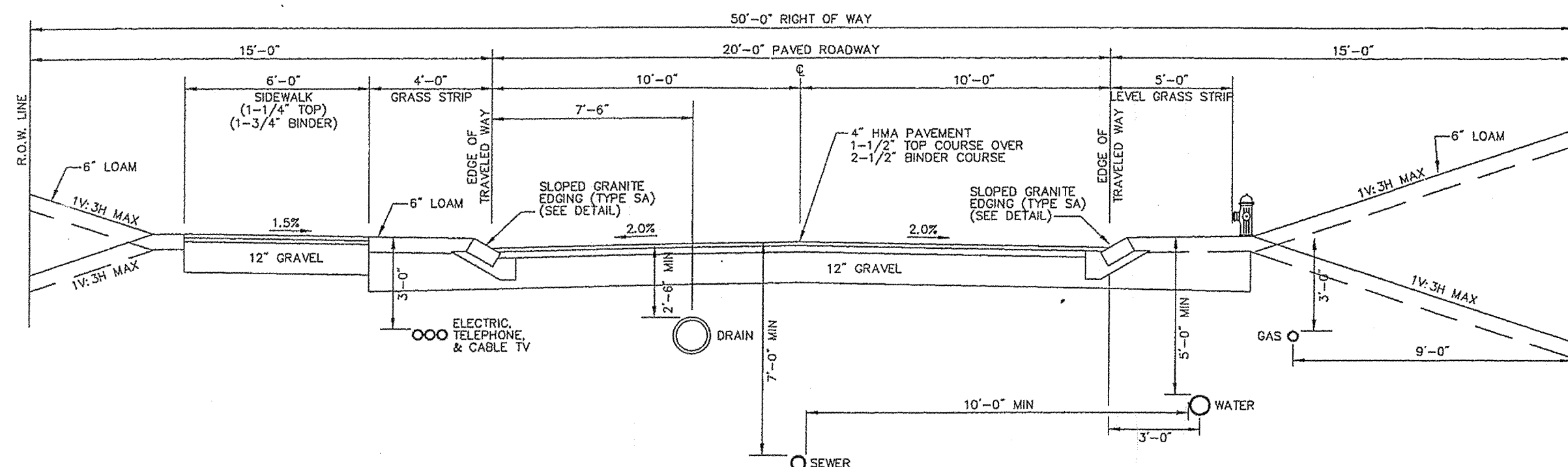
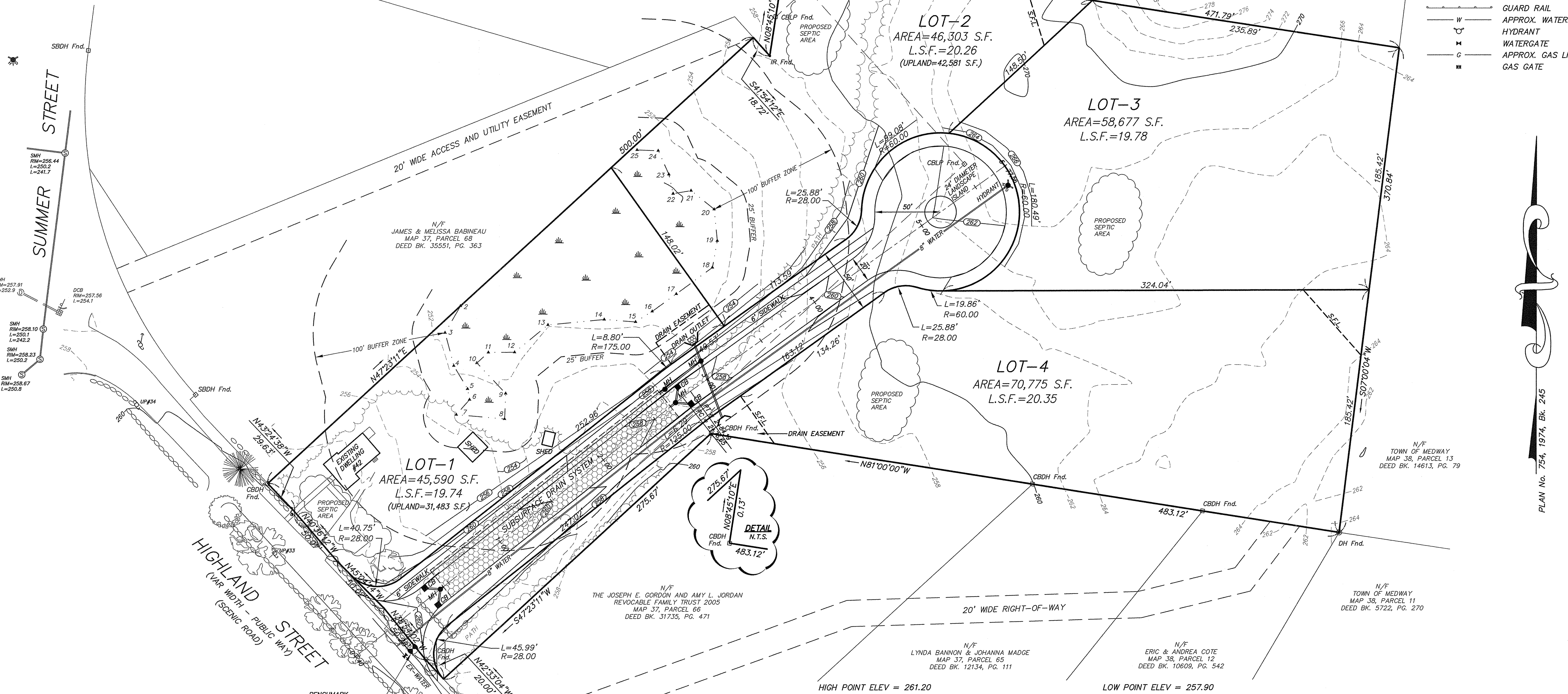
REVISED: DESCRIPTION:

DRAWN BY: REM

CHECK BY: VC

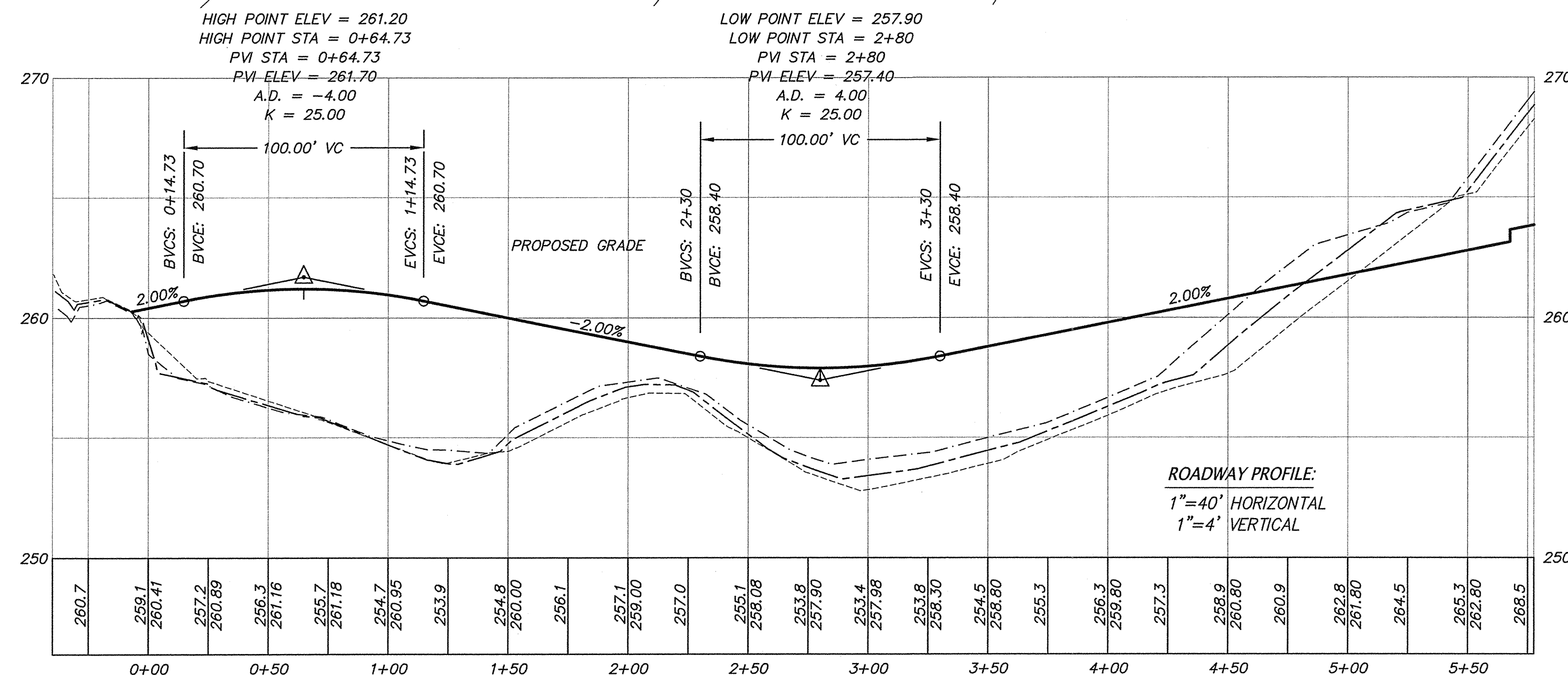
DATE: AUGUST 30, 2019

SCALE: 1"=40' SHEET 3 OF 3



NOTE: WHEN HYDRANTS ARE PROPOSED ON THE SIDEWALK SIDE OF THE ROADWAY THE HYDRANT MUST BE LOCATED ALONG THE BACK OF WALK, WITHIN ROADWAY LAYOUT IN ACCORDANCE WITH CURRENT ADA/AAS STANDARDS.

NEIGHBORHOOD STREET TYPICAL SECTION



PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

October 2, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

RE: Choate Trail Preliminary Plan

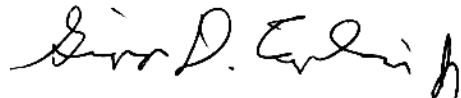
Dear Mr. Rodenhiser:

I have reviewed the preliminary plan submitted by owner/applicant Lock it Up, LLC of Newton. The proposed work is to construct a neighborhood street in the form of cul-de-sac with 4 lots. The plan was prepared by Connorstone Engineering, Inc. of Northborough, MA and is dated August 30, 2019. I have comments as follows:

1. The proposed lots comply with zoning for area, frontage and lot shape factor.
2. The intersection with Highland Street is offset more than 150 feet from the Highland Street intersection with Summer Street.
3. The sidewalk shown does not extend around the perimeter of the cul-de-sac as required by Section 7.13.2 of the Rules and Regulations.
4. Section 7.9.6 (c) requires that subdivisions provide an extension to abutting undeveloped land. The Town of Medway owns the abutting land so a roadway extension is not necessary but a pedestrian extension to provide access to Choate Park should be considered.
5. The plan appears to generally meet the requirements for a subdivision, pending details provided on a definitive plan.

If there are any questions about these comments, please call or e-mail me.

Sincerely,



Gino D. Carlucci, Jr.



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

Site Plan Rules and Regulations
Public Hearing Continuation

- Revised DRAFT dated 10-3-19

REVISED DRAFT
October 3, 2019

TOWN OF MEDWAY

Planning & Economic Development Board Rules and Regulations

Chapter 200 - Site Plans

Rules & Regulations for Submission, Review and Approval of Site Plans

*Approved and Adopted by the Medway Planning Board
April 14, 1998*

Amended: April 28, 2000

Amended: March 13, 2001

Amended: November 1, 2001

Amended: July 9, 2002

Amended: December 3, 2002

Amended: _____

Medway Planning and Economic Development Board

Andy Rodenhiser, Chairman

Robert K. Tucker, Vice-Chairman

Thomas A. Gay, Clerk

Richard Di Iulio

Matthew J. Hayes, P.E.

**Medway Planning and Economic Development Board
Site Plan Rules and Regulations**

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TOWN OF MEDWAY

Planning and Economic Development Board

Rules and Regulations

Chapter 200 - Site Plans

Rules & Regulations for Submission, Review and Approval of Site Plans

ARTICLE I AUTHORITY

s. 201 – 1 Adoption - The Planning and Economic Development Board of the Town of Medway hereby adopts these *Rules and Regulations* to govern the submission, review, approval and modification of site plans pursuant to Section 3.5.5 of the *Zoning Bylaw*.

ARTICLE II GENERAL PROVISIONS

s. 202 – 1 Purpose – These *Rules and Regulations* provide for the uniform procedural and substantive requirements of Section 3.5 Site Plan Review of the *Zoning Bylaw*. Their purpose is to guide Applicants, Town officials and boards, and others involved in the preparation, processing and review of site plans and the issuance of site plan approval and modifications thereto. These *Rules and Regulations* address the process for submission, review and processing of site plan applications including the delegation of administrative review to the Board's designee for review of small-scale projects; site development standards; review and approval criteria; issuance of site plan approvals; project conditions, limitations, safeguards and mitigation measures; procedures for modifying approved site plans; and decisions and fees.

s. 203 - 2 Scope of Site Plan Review –The *Zoning Bylaw* provides for three levels of Site Plan Review: Major Site Plan Review, Minor Site Plan Review, and Administrative Site Plan Review. See Section 3.5.3 of the *Zoning Bylaw* for applicability.

s. 202 - 3 Requirement for Site Plan Review – No building permit shall be issued for any use, site, or building alteration, or other improvement subject to Section 3.5 of the *Zoning Bylaw* unless an application for Site Plan Review has been prepared in accordance with the requirements of these *Rules and Regulations*, and unless such application has been approved by the Planning and Economic Development Board or its administrative designee in the case of projects subject to Administrative Site Plan Review.

s. 202 – 4 Definitions – Terms used in these *Rules and Regulations* shall have the meanings as set forth in the *Medway Zoning Bylaw* and G.L. c. 40A. Additional terms are defined below:

Agent: Individual(s) authorized by the Board to review plans and/or observe and inspect construction

Alteration of Existing Parking Area: Includes installation, removal or relocation of any curbing, traffic channelization island, driveway, travel lanes, storm drainage, lighting, landscaping or similar facilities, but does not include resurfacing, striping or restriping pavement markings on existing parking or storage areas.

Board: The Planning and Economic Development Board of the Town of Medway.

Design Review Guidelines: A written document produced by the Design Review Committee and adopted by the Medway Planning and Economic Development Board.

Developer: The individual or organization which will carry out the approved and endorsed site plan.

Earth Materials: Soil, loam, gravel, sand, sod, topsoil, borrow, rock, peat, humus, clay, quarry stone and other similar earth materials.

Rules and Regulations: Medway Planning and Economic Development Board *Rules and Regulations for Submission, Review and Approval of Site Plans.*

Team: Administrative Site Plan Review Team established by the Town Administrator and the Board.

s. 202 – 5 *Waivers of Site Plan Rules and Regulations*

- A. The Board or the Team may grant waivers from strict compliance with these *Rules and Regulations* if it determines that:
- 1) the Rule or Regulation requested to be waived does not apply to the particular site or situation under review; or
 - 2) that a waiver would permit a superior design; or
 - 3) that a waiver would allow construction which will have no significant detriment to the achievement of any of the purposes of Site Plan Review and approval as set forth herein; or
 - 4) that a waiver is in the best interests of the Town; or
 - 5) that a waiver is consistent with the purpose and intent of the *Zoning Bylaw* and these *Rules and Regulations*.
- B. The Applicant for Site Plan Review shall submit a written request for waivers from the *Rules and Regulations* at the time of application on a Waiver Request form to be provided by the Board. Supplemental Waiver Requests may be submitted during the course of the Site Plan Review process. If an oral request for a waiver is made during the course of the Board's review, it shall also be submitted to the Board as a written request.

s. 202 – 6 *Permit Coordination* – When a development project requires other permits from the Board such as a special permit, land disturbance permit, or a scenic road work permit, the Board's review may be consolidated and run concurrently.

s. 202-7 *Use of Forms*– Reference is made throughout these *Rules and Regulations* to various administrative forms to be used by the Applicant and Board for the orderly and

reasonable administration of these *Rules and Regulations*. These forms shall be developed and maintained by the Board and may be revised, updated, diminished or added to as necessary without a public hearing and formal amendment of these *Rules and Regulations*.

s. **202 - 8 *Validity*** – If, in any respect, any provision of these *Rules and Regulations* in whole or in part, shall prove to be invalid for any reason, such invalidity shall only affect the part of such provisions which shall be held invalid. In all other respects these *Rules and Regulations* shall stand. In the event of a conflict between these *Rules and Regulations* and the *Zoning Bylaw*, the provisions of the *Zoning Bylaw* shall control.

ARTICLE III SITE PLAN APPLICATION PROCEDURES

s. **203 - 1 *Eligible Applicants*** - An Applicant for Site Plan Review shall be as defined in the *Zoning Bylaw*. In the case where the Applicant is a person other than the record owner of the property, the Applicant shall submit, as part of the application, a written certification executed by the record owner of the property that the application is submitted with the knowledge and consent of the record owner.

s. **203 - 2 *Pre-Application Review***

A. ***Consultation with Town Staff*** – A pre-application consultation between a prospective Applicant and the Town's Community and Economic Development staff is recommended. The purpose of any pre-application consultation is to provide the Applicant with an opportunity to discuss the design concept of the proposed development during the early stages of the design process and to avoid unnecessary technical deficiencies in the application with a view toward promoting efficiency in the forthcoming processing and review of the proposed development project. However, Town staff are not responsible for assuring the accuracy, correctness or thoroughness of any application provided for review during a pre-application consultation. Any opinion given to the Applicant by employees of the Town during a pre-application consultation is advisory only and shall not be binding on the Board or the Town

B. ***Interdepartmental Project Review***

1) Prior to filing a site plan Application with the Board, prospective Applicants for Major Site Plan Review shall, and prospective Applicants for Minor Site Plan Review may, request that the Director of Community and Economic Development schedule a meeting with the Applicant and the Town's interdepartmental project review team. The purpose of such meeting is for the Applicant to brief representatives of Town departments on the proposed project and to help the Applicant better understand the permitting procedures of various Town agencies. This meeting also allows Town officials to identify project issues and opportunities which may benefit from further municipal attention, coordination or assistance.

2) *Scope of Town Staff Review* - Any opinion or information given to the Applicant by employee of the Town during the Interdepartmental Meeting shall be considered advisory only and shall not be binding on the Board or the Town.

C. ***Informal Pre-Application Meeting with the Board*** – Prior to filing a site plan Application with the Board, prospective Applicants for a Major or Minor Site Plan

Review may request an informal, pre-application meeting with the Board to review conceptual plans and discuss permitting procedures. The requested pre-application meeting shall occur during a regularly scheduled Board meeting. This meeting provides the Applicant and the Board with the opportunity to discuss the project's objectives, preliminary conceptual plan for the site, building design, and site amenities; review the Town's site plan review process and *Rules and Regulations*; identify possible requests for waivers from these *Rules and Regulations*; clarify what submittal items are required based on the scope of the project; and develop a preliminary schedule for application submittal and plan review. Requests for a pre-application meeting with the Board shall be made through the Planning and Economic Development office. A pre-application meeting shall not serve as a substitute for any public hearing or meeting required for the development project. Any opinion or information given to the Applicant by an individual Board member or its consultants during a pre-application meeting shall be considered advisory only and shall not be binding on the Board or the Town.

s. **203 – 3 *Official Receipt of Site Plan Application*** –The official site plan submission date is the date the site plan application is filed with the Board or Team, and the Town Clerk and is deemed complete in accordance with s. 203-4 of these *Rules and Regulations*, whichever is later.

s. **203 - 4 *Completeness Review*** - The Board's Agent may, within twenty-one days of the date of receipt of a major or minor site plan application, reject the application upon a determination that it does not satisfy the submission requirements of these *Rules and Regulations*. The Board's Agent shall provide the Applicant with a written explanation as to the specific reasons for the determination of incompleteness with a citation of the specific provisions of these *Rules and Regulations* where the application is lacking. The Board's Agent shall provide a notice of its determination to the Town Clerk. When brought into conformity with the requirements of these *Rules and Regulations*, a site plan application previously deemed incomplete may be resubmitted for consideration by the Board without prejudice. Upon receipt of all required items, the application shall be deemed complete and filed with the Town Clerk.

s. **203 - 5 *Use of Outside Consultants***

- A. The Board or the Team may determine that the assistance of outside consultants such as engineers, lawyers, planners, urban or landscape design professionals, environmental consultants or other appropriate professionals is warranted due to the size, scale, or complexity of the proposed project or its potential impact on the Town and community. It is the Board's standard practice to do so. The Board or the Team may engage the services of outside consultants to assist in reviewing the application and associated project documents to ensure compliance with all relevant laws, bylaws, and regulations and to address technical, legal or other issues. The Board or Team shall have full authority to select the outside consultants. If the Board or Team determines that such services are required, the Applicant shall pay a *Site Plan Review Fee* as authorized in s. 209 – 1 B. of these *Rules and Regulations*.
- B. The minimum qualifications for outside consultants shall consist of either an educational degree in or related to the field at issue or three or more years of practice in the field at issue or in a related field.

- C. The Applicant may appeal the selection of a particular outside consultant to the Board of Selectmen. The grounds for such an appeal shall be limited to claims that the selected consultant has a conflict of interest or does not possess the minimum required qualifications. The Applicant shall identify the specific grounds which the Applicant claims constitute the conflict of interest or how the consultant does not meet the minimum required qualifications. If no decision is made by the Board of Selectmen within thirty days following the filing of an appeal, the Board's consultant selection stands.

ARTICLE IV MAJOR SITE PLAN REVIEW

- s. **204 - 1 Applicability** – See Section 3.5.3 A of the *Zoning Bylaw*.
- s. **204 – 2 Town Clerk Submittals** - The Applicant shall deliver in hand, or by registered or certified mail, the following submittals to the Town Clerk during regular business hours:
- A. The Major Site Plan Application form signed by the Applicant, property owner(s), and designated representative, if any, on a form provided by the Board.
 - B. One set of the site plan (24" x 36") prepared in conformance with these *Rules and Regulations* including all items as specified in s. 204 – 5 of these *Rules and Regulations*.
- s. **204 – 3 Planning and Economic Development Board Submittals** - The Applicant shall deliver in hand, or by registered or certified mail, the following submittals to the Board:
- A. The Major Site Plan Application form signed by the Applicant, property owner(s), and designated representative, if any, on a form provided by the Board.
 - B. Two sets of the site plan (24" x 36") and one set of the site plan (11" x 17") prepared in conformance with these *Rules and Regulations* including all items as specified in s. 204 – 5 of these *Rules and Regulations*.
 - C. One written *Project Narrative* regarding the proposed development. At a minimum, the Narrative shall include the following information wherever applicable:
 - 1) current and proposed uses;
 - 2) description of proposed site improvements including paving, stormwater management, landscaping, sidewalks, refuse storage and disposal facilities, site amenities, fencing, lighting, water and sewer service, open space, etc.;
 - 3) description of proposed building construction, renovation, façade improvements, and/or demolition including the size of the proposed building(s) or additions;
 - 4) projected water and sewer demand;
 - 5) expected number of employees and/or occupants;
 - 6) proposed hours of operation;
 - 7) existing and proposed means of vehicular and pedestrian access and egress;
 - 8) number of parking spaces required and how this number was determined;

- 9) calculation of proposed lot coverage and impervious surface;
 - 10) timetable for project completion;
 - 11) proposed on and off-site mitigation measures;
 - 12) list of other required local, state and federal permits needed for the project and the status of each; and
 - 13) any other information the Applicant believes will assist the Board in reviewing and understanding the site plan application.
- D. One list and three sets of mailing labels of all parties in interest as defined in G.L. c. 40A, §11 within three-hundred feet of the subject site as appearing on the most recent tax records list maintained by the Assessor's office. The list shall be certified by the Board of Assessors of all applicable communities.
- E. One copy of all relevant approvals, land use permits or decisions received to date from other Town boards and committees (ZBA, Conservation Commission, Board of Health, Historical Commission, Department of Public Works, etc.) and federal or state government agencies.
- F. A written *Development Impact Statement* which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent, reduce or mitigate adverse impacts.

The *Development Impact Statement* shall consist of the following four elements:

- 1) *Traffic Impact Assessment*
 - a) A brief *Analysis* of existing traffic safety and capacity issues at the development site and a summary of anticipated traffic impacts as a result of the proposed development; or
 - b) A full *Traffic Impact Assessment* is required if the project:
 1. proposes an additional twenty or more parking spaces; and
 2. contains frontage or proposes access on a public way; and
 3. includes uses expected to generate an additional one hundred trips to or from the site on an adjacent roadway during a peak hour based on the most recent edition of the Institute of Traffic Engineers publication *Trip Generation*.

The Board may require an Applicant to prepare a full *Traffic Impact Assessment* even if the project does not meet all of the above criteria, if the Board finds that such information is necessary for it to complete its review.
 - c) The *Traffic Impact Assessment* shall:
 1. document existing traffic volumes, capacities, controls, sidewalk and road conditions, roadway geometrics, hazards and level of service on

the site and streets adjacent to the site and intersections near the site including but not limited to conditions within one-quarter mile of the proposed project; and

2. describe the volume and effect of projected traffic generated by the proposed project (total and peak hour) and post project level of service (LOS); and
 3. identify traffic management and structural improvements and mitigation measures, both on and off the site, to reduce adverse impacts of the proposed project on traffic. These could include but are not limited to demand management strategies, traffic control measures as well as capacity enhancements.
- d) A *Traffic Impact Assessment* shall be prepared under the supervision of a qualified and experienced person with specific training in traffic and transportation engineering with several years of experience related to preparing traffic studies for existing or proposed development.

2) *Environmental Impact Assessment*

- a) An *Environmental Impact Assessment* shall be required if the project involves one or more of the following characteristics:
1. proposes an additional thirty or more parking spaces; or
 2. proposes a building footprint of fifteen thousand square feet or greater; or
 3. proposes to disturb twenty thousand square feet of land or greater; or
 4. proposes a project that is subject to the Town's *Stormwater and Land Disturbance Bylaw*.
- b) The *Environmental Impact Assessment* shall describe the impacts of the proposed development with respect to on-site and off-site environmental quality including:
1. air and water quality;
 2. surface water and groundwater;
 3. flooding potential;
 4. increases in impervious surfaces;
 5. potential for erosion and proposed or existing control measures;
 6. noise levels;
 7. harmful or noxious emissions;
 8. damage or threat to wetlands and flood plain;
 9. smoke;
 10. odors;
 11. vibration;
 12. waste disposal; and
 13. off-site environmental drainage impacts.
- c) If the Applicant is required to file a full Massachusetts Environmental Policy Act (MEPA) certification with the Massachusetts Department of

Environmental Protection, that document shall serve to replace the *Environmental Impact Assessment* as may be required herein.

3) *Neighborhood Impact Assessment*

- a) A *Neighborhood Impact Assessment* evaluates the impacts of the proposed development on the adjacent neighborhood.
- b) A *Neighborhood Impact Assessment* shall identify the project's impacts to:
 - 1. the neighborhood's visual, architectural and historical character;
 - 2. the goals of existing community plans (master plan, open space plan, housing production plan, etc.) applicable to the neighborhood;
 - 3. the quality of life of its residents; and
 - 4. the expected demand for municipal services.

4) *Parking Impact Assessment*

- a) A *Parking Impact Assessment* is required if the proposed project includes the addition of thirty or more parking spaces.
- b) The *Parking Impact Assessment* shall document existing parking conditions, evaluate off-site impacts of the proposed parking, and propose measures to mitigate any adverse parking impacts on the adjacent neighborhood.
- c) The *Parking Impact Assessment* shall:
 - 1. identify existing off-site and on-street neighborhood parking conditions including streets likely to be affected by the development;
 - 2. identify the expected impact of proposed parking on the neighborhood; and
 - 3. propose mitigation measures including screening, creative parking lot design, use of alternative paving materials, and planting of trees for shading and buffer.

G. Stormwater Documentation

- 1) Post-Construction Stormwater Management Plan (*see s. 207.14* of these *Rules and Regulations*) including a Long Term Stormwater Operation and Management Plan developed in accordance with Medway General Bylaws, Article XXVI, Stormwater Management and Land Disturbance.
- 2) One copy of a Stormwater Drainage Report prepared in conjunction with the Post-Construction Stormwater Management Plan. The report shall be prepared in accordance with the most current standards of the MA Department of Environmental Protection (DEP) Stormwater Management Policy and Handbook and in conformance with Medway General Bylaws, Article XXVI, Stormwater Management and Land Disturbance, Section 26.8. The drainage calculations shall be based on the rainfall data from the National Oceanographic and Atmospheric Administration (NOAA) Atlas 14, as may be amended.

- 3) For development projects with planned land disturbance of one acre or more, a DRAFT of a *Stormwater Pollution Prevention Plan* (SWPPP) to manage stormwater during construction. The SWPPP shall comply with the standard SWPPP requirements under the National Pollution Discharge Elimination System (NPDES) permitting program of the U.S. Environmental Protection Agency (EPA).
- H. A *Construction Management Plan* (CMP) which includes the proposed construction sequence, timetable, and methods for managing the construction process and minimizing the impacts of construction on public ways and to abutters. The CMP shall identify areas for parking, staging, and stockpile areas for construction materials and earth removed from or brought onto the site. Such areas shall be located as far from existing private and public ways as practicable and visually screened to the maximum extent practicable from such ways and surrounding residences or other buildings. The CMP shall note hours of construction and deliveries associated with construction.
- I. *Earth Removal Calculations* of the estimated volume of earth materials to be removed from the site which shall be prepared by and show the seal of a licensed Professional Engineer certified to practice in the Commonwealth of Massachusetts.
- NOTE - The extent of planned earth removal may be subject to the requirements of Article IX, Removal of Earth Products of the Medway *General Bylaws*.
- J. *Earth Fill Estimates* of the volume of earth materials to be brought on site which shall be prepared by and show the seal of a licensed Professional Engineer certified to practice in the Commonwealth of Massachusetts.
- K. A copy of an Order of Resource Area Delineation (ORAD) from the Medway Conservation depicting the approved wetland resource affecting the proposed project or an Order of Conditions issued within the past three years, or a Determination of Applicability with a finding from the Conservation Commission that the proposed project is not within its jurisdiction.
- L. A copy of the latest recorded deed to the property(s) comprising the proposed development site to document proof of ownership, or a purchase and sale agreement.
- M. Requests for Waivers from these *Rules and Regulations* with specific reference to the applicable section(s) of these *Rules and Regulations* for which a waiver is requested, provided on the Board's Site Plan Waiver Request form.
- N. ALL APPLICATION MATERIALS (including forms, plans, reports, and attachments) SHALL ALSO BE SUBMITTED IN A SEARCHABLE ELECTRONIC FORMAT via email, on a portable electronic storage device, or to a central cloud repository on the internet. The email for such submittals is planningboard@townofmedway.org
- O. A *Major Site Plan Filing Fee* as authorized by s. 209 – 1 A. of these *Rules and Regulations*.
- P. A deposit toward the *Major Site Plan Review Fee* as authorized by s. 209 – 1 B. of these *Rules and Regulations*.

s. **204 – 4 Standards for Site Plan Preparation**

- A. The site plan shall be prepared, stamped, signed and dated by qualified professionals including a Registered Professional Engineer, a Registered Land Surveyor, a Registered Architect, and/or a Registered Landscape Architect or other professional, registered in the Commonwealth of Massachusetts.
- B. The site plan shall be drawn at a scale of one inch equals forty feet or one inch equals thirty feet or one inch equals twenty feet or such other scale that has been approved in advance by the Board and that clearly and adequately represents the proposed improvements.
- C. All existing and proposed elevations shall refer to the North American Vertical Datum of 1988 (NAVD88).
- D. All site plan sheets shall be bound together in a complete set including building elevation plans.
- E. All site plan sheets shall contain a referenced north arrow, sheet number, plan dates and plan revision dates, name of project, name of plan, plan scale, legend, stamp of registered professional responsible for the content of said sheet, applicable notes, the Board's signature block, including *Decision* and plan endorsement dates, and the Town Clerk's no appeal certification.

s. **204 – 5 Site Plan Contents** – To be considered complete, a major site plan submitted pursuant to these *Rules and Regulations* shall include the information listed below.

- A. *Cover Sheet* – The cover sheet shall include the project name and address, name and address of owner, name and address of Applicant, name and address of engineer and other professional firms responsible for the plan, plan date, list of plan revision dates, project Assessor's Map and Parcel number, zoning district classification, list of requested waivers from these *Rules and Regulations*, Signature Block for Board endorsement, and a complete index of drawings.
- B. *Site Context Sheet*
 - 1) A locus plan showing the site and its boundaries in relation to all surrounding streets within two thousand feet of the perimeter of the site. The plan shall be at a maximum scale of one inch equals one thousand feet. Scenic roads shall be noted. Streets, buildings, brooks, streams, rivers, wooded areas, protected open spaces, recreation fields, landmarks and public facilities shall be shown on the locus plan with sufficient clarity to be easily discernable.
 - 2) Abutters' names and addresses with assessor's map/parcel references for properties within 300' of the development site
 - 3) Lot lines with dimensions and easement areas for the development site.
 - 4) Existing topography at two foot intervals from USGS survey maps or actual land survey of the development site.

- 5) All easements (utility, conservation and other) and rights-of-way on the development site.
- 6) Zoning district boundaries including groundwater protection district and flood plain zones on the development site.

C. *Existing Conditions Sheet(s)*

- 1) The location of all *existing man-made features and infrastructure* on the site shall be delineated including but not limited to buildings and structures, streets, bridges, utility poles, utilities and underground infrastructure including water, gas, electric, cable, and telephone, fire hydrants and fire alarm boxes, wells, septic systems, sanitary sewers, utility easements and other property encumbrances, sidewalks, driveways, trails, farm roads, stone walls, fences, monuments, historic markers, milestones, wells, and stormwater drainage infrastructure including basins, sub-surface systems, leaching galleys, swales and other methods to dispose of stormwater; refuse and solid waste storage and disposal facilities, and all entrances and exits on the site and within one hundred feet of the site.
- 2) Location and delineation of all *existing natural features* of the development site including but not limited to ledge or rock outcroppings, cliffs, sinkholes, ditches, all wetland resources as defined by the Wetlands Protection Act and Article 21 of the Medway General Bylaw including their associated buffers per state and local laws, and natural drainage courses and swales.
- 3) An *Existing Landscape Inventory* including a “mapped” overview of existing landscape features and structures including the specific identification of existing trees with a diameter of **eighteen** inches or greater at four feet above grade and any trees that will be beneficial for screening, all in order to determine their value for preservation. Tree drip lines (the outermost circumference of a tree's canopy, from which water drips onto the ground) shall be shown or detailed in order to ensure trees are protected during construction.
- 4) Locations of all historically significant sites or structures on the site including but not limited to barns, other buildings, cellar holes, stone walls, earthworks, graves, any structure over fifty years of age, and any property listed on the National Register of Historic Places or included in a National Register Historic District or recognized by the Massachusetts Historical Commission

Commented [A1]: Bridget suggests adjusting this to 15”.

Commented [A2]: All trees or just hardwoods?

D. *Site Plan Information Sheets* – NOTE, site plan information sheets may be combined.

- 1) Location and dimensions of proposed buildings and structures including building setbacks from front, side and rear lot lines.
- 2) *Site Grading* - Topography showing proposed grading contours at two foot intervals, limit of work (area of disturbance), and limit of clearing.
- 3) *Parking Plan* - Location and dimensions of proposed parking, including lot line setbacks, loading and unloading areas with traffic patterns, access lanes and curb

radii. The Parking Plan shall be in conformance with the provisions of Section 7.1.1 of the *Zoning Bylaw*.

- 4) *Proposed Site Improvements* - Location and dimensions of proposed improvements and site amenities including but not limited to travel ways, roads, driveways, maneuvering spaces and aisles, fire lanes, parking areas, loading and unloading areas, utility boxes, curbs, curb cuts, wheel stops, bollards, bumpers, decorative and retaining walls, fences, outdoor lighting, open space areas, recreational areas, pedestrian areas, service entries, snow storage areas, facilities for waste disposal and storage, sidewalks, pedestrian and bike pathways with cross sections, design and materials details and dimensions, and easements.

- 5) *Erosion and Sediment Control Plan* – Erosion control measures shall be specified including sedimentation barriers, construction entrances, stabilizing materials to be used on site during and after construction, and temporary blocking of entrances when construction is not active. The *Erosion and Sediment Control Plan* shall be as specified in Section 26.7 of *Medway General Bylaws*, ARTICLE XXVI, Stormwater Management and Land Disturbance.

NOTE – If the proposed development also needs to file a Notice of Intent with the Medway Conservation Commission for an Order of Conditions, the Erosion and Sediment Control Plan shall be submitted to and be reviewed and acted on by the Conservation Commission and not to the Board as specified in ARTICLE XXVI, Stormwater Management and Land Disturbance of the *Medway General Bylaws*.

- 6) *Post-Construction Stormwater Management Plan* - The plan and the associated Long Term Operations and Management Plan shall comply with the requirements of Section 26.8 of *Medway General Bylaws*, ARTICLE XXVI, Stormwater Management and Land Disturbance; the Massachusetts DEP Stormwater Management Standards, and EPA's National Pollutant Discharge Elimination System (NPDES) requirements if applicable.

NOTE - If the proposed development also needs to file a Notice of Intent with the Medway Conservation Commission for an Order of Conditions, the above noted *Post Construction Stormwater Management Plan* shall be submitted to and be reviewed and acted on by the Conservation Commission and not the Board as specified in ARTICLE XXVI, Stormwater Management and Land Disturbance of the *Medway General Bylaws*.

- 7) *Site Utilities Plan* – All proposed utilities, mechanisms, materials and layouts for refuse and trash disposal enclosures and systems, water, electricity, gas, cable, fire hydrants, and telephone service, sewage disposal, and methods of solid waste storage and disposal.

- 8) *Landscape Plan*

- a) A *Landscape Plan* shall be prepared by a Registered Professional Landscape Architect licensed to practice in the Commonwealth of Massachusetts or a Massachusetts Certified Landscape Professional.

- b) The *Landscape Plan* shall be prepared as an overlay of the existing conditions sheets and shall incorporate, whenever possible, the significant features of the existing site and topography to be retained, particularly existing trees with a diameter of eighteen inches or greater at four feet above grade.
 - c) The *Landscape Plan* shall indicate the areas of proposed excavation; any woodlands, trees or other existing features or structures to be retained; all new plantings by common and Latin name including their proposed locations and sizes at the time of installation. Plan graphics for tree canopies shall reflect, as closely as possible, the actual canopy dimension of proposed tree plantings at the time of installation with a screened graphic used to represent expected tree canopy at maturity.
 - d) The *Landscape Plan* shall specify a suitable maintenance program to ensure the viability and longevity of the landscape installation.
- 9) *Building Elevations and Architectural Plan* with dimensions and details of façade designs of each building from all directions including specifications on building style, architectural features, materials, and colors including awnings.
 - 10) *Color Renderings* of the project and buildings shall be provided from at least four directions depicting proposed structures, signage, landscaping, site amenities, and common views of the completed project as viewed from a public way and adjacent properties. These shall include 3D views of the site, buildings, and site improvements.
 - 11) *Building Layout or Floor Plan* with the use of all areas labeled.
 - 12) *Entry and Exit to Structures.* All means of entry and exit (main, service, emergency and mechanical) from the building including steps and ramps, designation of the primary entrance (front entrance) and loading docks and other access ways shall be shown.
 - 13) *Site Amenities Details* for benches, bollards, planters, fences, walls, bike racks, seating areas, and any other forms of outdoor site amenities to be installed.
 - 14) *Master Signage Plan* with preliminary proposed designs, locations, materials, dimensions, and lighting for:
 - a) the proposed development sign and all business identification signage, both freestanding and attached; and
 - b) standards for tenant signs; and
 - c) signage to identify surface stormwater infiltration basins with messages to prohibit the disposing of trash and debris in such basins.
 - 15) *Lighting Plan* prepared in conformance with Section 7.1.2 of the *Zoning Bylaw*.
 - 16) Horizontal sight distances on the public way(s) at all entrances and exits in both directions.

- 17) A table outlining the proposed development's conformance with the *Zoning Bylaw* requirements including lot area, continuous frontage, lot depth, lot width, front, side, and rear setbacks, building height, lot coverages, gross floor area, open space calculations, and number of parking spaces including handicapped based on maximum seating capacity, number of employees or otherwise as provided in the *Zoning Bylaw*, and other items as appropriate for the applicable zoning district and proposed uses.
- 18) Locations of proposed fire hydrants, fire lanes and access for equipment shall be provided to the satisfaction of the Fire Department.
- 19) Information quantifying on-site generation of noise and odors, if applicable.
- 20) Any proposed off-site roadway and traffic management improvements.

s. 204 – 6 Review by Town Officials

- A. Within fourteen days of the official site plan submission date, the Board shall transmit the site plan to the following boards, departments and committees, inform them of the public hearing schedule, and request their review and preparation of an advisory report to assist the Board with its review.
 - 1) Building Department
 - 2) Conservation Commission
 - 3) Fire Department
 - 4) Police Department
 - 5) Assessors' Office
 - 6) Board of Health
 - 7) Department of Public Works
 - 8) Design Review Committee and
 - 9) Other departments and committees as determined to be appropriate depending on the nature of the project including but not limited to the Economic Development Committee, Historical Commission, and the Open Space Committee.
- B. Said departments, boards, and committees may, at their discretion, evaluate the site plan and submit an advisory report or recommendation to the Board. If no report is submitted to the Board within thirty days of distribution, this shall be deemed lack of opposition thereto. The advisory report may include an assessment of the project's impact on the community, the status of any meetings or actions the respective board, committee or department has already taken or is taking regarding the project, and any recommended conditions or remedial measures needed to avoid, accommodate or mitigate the expected impacts of the proposed development. All reports shall be entered into the public record during the public hearing.
- C. Review by Building Department – The Building Commissioner or his designee, shall review the application and associated materials for compliance with the *Zoning Bylaw* and provide a written communication to the Board, prior to the first public hearing date, to identify any current zoning violations existing at the site which shall be addressed through the site plan review process.

s. 204-7 **Public Hearing**

- A. The Board shall conduct a public hearing on the major site plan application in accordance with the provisions of G.L. c. 40A and the *Zoning Bylaw*. The public shall have the opportunity to be heard, in person, or by agent or attorney, or in writing during the hearing.
- B. *Public Notice* - The Board shall prepare the public hearing notice and post such notice in accordance with the provisions of G.L. c. 40A and the *Zoning Bylaw*. The Board shall notify all parties in interest of the time, date and location of the public hearing as provided in G.L. c. 40A, §11.
- C. *Appearance of Applicant at Public Hearing* – An Applicant may appear on his own behalf or be represented by a designated representative. It is the responsibility of the Applicant or the designated representative to present the site plan to the Board and public during the public hearing. Failure to appear at a public hearing could jeopardize approval of an application. In the absence of an appearance by the Applicant or designated representative, the Board shall decide the matter using the information it has received.
- D. The Board may continue the public hearing to other dates as may be needed.
- E. *Coordination with Other Permitting Authorities* – The Board shall make every reasonable effort to coordinate its review with other Town boards, committees or officials which have jurisdiction over other permits and approvals required for the project to proceed. If requested by the Applicant, coordinated or joint public hearings may be conducted to the extent allowed by law, recognizing that each permitting authority is subject to specific statutory decision requirements and that all such decision periods may not coincide.
- F. *Additional Information*
 - 1) During the course of the public hearing, the Board may require the Applicant to provide additional information if it finds that such information is necessary to properly act upon the application in question.
 - 2) Any items or plan revisions submitted by an Applicant in support of a previously filed application shall be submitted to the Board no less than ten business days before the date of the continued public hearing. However, in no case shall the Board allow new evidence or testimony to be admitted after the public hearing is closed.
 - 3) The Board may enter information into the record of the public hearing including but not limited to reports of outside consultants and comments from Town staff, boards and committees.
- G. The Board may keep the public hearing open during the preparation and deliberation of its *Decision*. However, the public hearing shall be closed after the Board's vote and before the *Decision* is filed with the Town Clerk.

s. 204 – 8 *Decision*

- A. *Deadline to File Decision* - Following the Board's review, the Board shall prepare and file its written site plan *Decision* with the Town Clerk within ninety calendar days from the official date of site plan application. Failure of the Board to take final action by filing its *Decision* with the Town Clerk within the prescribed time period shall be deemed constructive approval of the application. A copy of the *Decision* shall be provided to the Building Commissioner and other Town officials.
- B. *Deadline Extension* - The deadline by which the Board shall file its *Decision* may be extended upon mutual agreement of the Board and Applicant when the Applicant or its designated representative requests such an extension in writing and the Board agrees thereto. Notice of the Board's acceptance of the Applicant's request for a deadline extension shall be provided in writing by the Board to the Town Clerk.
- C. Before the Board begins its deliberations on the *Decision*, the Applicant shall provide the Board a written document specifically describing how the proposed development, as revised during the public hearing process, satisfies the site plan decision criteria established in s. 204 – 8 F. of these *Rules and Regulations*.
- D. *Decision Options* - The Board may approve, approve with conditions, limitations, safeguards and mitigation measures, or disapprove a site plan application in accordance with Section 3.5.4 G. of the *Zoning Bylaw*. The Board's *Decision* to disapprove a site plan shall state the reasons for such disapproval.
- E. *Voting* - An affirmative vote of a simple majority of the membership of the Board shall be sufficient for the *Decision*.
- F. *Approval Criteria Findings* – In making its *Decision*, the Board shall consider the following criteria as applicable to the particular proposal:
- 1) The proposed buildings, uses and site improvements are appropriately located on the development site in relation to the terrain and the location and scale of buildings and site features on abutting sites.
 - 2) The construction and/or renovation of buildings and site improvements and amenities are designed to reflect or be compatible with the *Medway Design Review Guidelines*.
 - 3) Building and site designs reflect the character, materials and scale of existing buildings in the vicinity as well as *Master Plan* goals for the area.
 - 4) Reasonable use is made of building location, grading and landscaping and other site features to reduce the visible intrusion of structures, parking areas, and outside facilities for the storage, handling and disposal of sewage, refuse and other solid wastes resulting from the normal operation of the establishment(s) from public views or from adjacent residential properties.
 - 5) Private drives are properly designed and constructed to serve the intended use and provide an adequate level of service in relation to the traffic to be generated by the development.

- 6) Internal circulation, queuing and egress promote traffic safety, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is avoided.
- 7) Convenient and adequate access for fire-fighting and emergency vehicles is provided to each structure and throughout the site.
- 8) Design and construction minimize, to the extent reasonably practical, the following environmental impacts:
 - a) the volume of cut and fill;
 - b) the number of trees to be removed with particular care taken with mature trees and root systems;
 - c) the visual prominence of man-made elements not necessary for safety;
 - d) the removal of existing stone walls;
 - e) the impacts on waterways and environmental resource areas;
 - f) soil erosion and pollution; and
 - g) noise.
- 9) Pedestrian ways, access driveways, loading areas and vehicular and bicycle parking facilities are properly designed for public convenience, accessibility, and safety of customers, employees and the general public.
- 10) Design and construction, to the maximum extent feasible, preserve and incorporate the visual prominence of the site's natural and historic features (i.e. hills, water bodies, wetlands, trees, tree groves, wooded areas, rock outcrops, native plants, stone walls, wildlife habitats, and other areas of aesthetic or ecological interest).
- 11) Lighting on the site complies with Section 7.1.2 of the *Zoning Bylaw*.
- 12) The proposed limit of work area is reasonable and protects sensitive environmental and/or cultural resources on the site and on adjacent parcels. The project as designed will not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.
- 13) The project's impact on abutting residential neighborhoods has been adequately mitigated. Adjacent and neighboring properties are protected from nuisance and harmful effects caused by noise, traffic, noxious or harmful fumes, and the glare of headlights and other light sources generated by uses on the development site.
- 14) The project is compatible with the existing and potential future development of the surrounding area and with the character of adjacent residential neighborhoods.
- 15) Off-street loading facilities and methods for unloading vehicles, goods, products, materials and equipment incidental to the normal operation of the establishment(s) to be located on the site are conveniently and safely provided while the visual intrusion thereof is appropriately screened from public view.

- 16) The project complies with the requirements of Section 26.8 of Medway *General Bylaws*, ARTICLE XXVI, Stormwater Management and Land Disturbance; the Massachusetts DEP Stormwater Management Standards, and EPA's National Pollution Discharge Elimination System requirements.
- 17) The effects and the impacts of the proposed use of land or structures on vehicular and pedestrian traffic, municipal services and utilities, roadways, parking, drainage, environmental quality, water resources, and the community's character, amenities and appearance have been identified and evaluated and reasonable conditions, limits, safeguards and mitigation measures are established pursuant to s. 204-8 G of these *Rules and Regulations*.

G. *Approval Conditions, Limitations & Safeguards* - In a *Decision* to approve a site plan, the Board may waive provisions of these *Rules and Regulations* in accordance with s. 202-5 of these *Rules and Regulations*. The Board may also require plan modifications, conditions, mitigation measures, limitations and safeguards which the Board finds are consistent with Town bylaws, regulations, and standards, which may include but are not limited to the following measures:

- 1) Plan revisions;
- 2) Site and building design modifications;
- 3) Controls on the location and type of access to the site;
- 4) Controls on the number, type and time that service vehicles access the site;
- 5) Provision for open space or preservation of views;
- 6) Limitations on the hours of operation;
- 7) Donation and/or dedication of land for right-of-way to provide for roadway and/or intersection widening or improvements related to the development;
- 8) Conditions to minimize off-site impacts and environmental quality during construction;
- 9) Requirements for screening parking facilities from adjoining premises or from the street by walls, fences, plantings or other devices to mitigate adverse impacts;
- 10) Conditions to mitigate adverse impacts on the neighborhood and abutters, including but not limited to adverse impacts caused by noise, dust, fumes, odors, lighting, headlight glare, hours of operation, or snow storage;
- 11) Compliance measures including but not limited to construction observation and inspection, performance guarantees, and as-built plan submittals;
- 12) *Mitigation Measures* – Pursuant to Section 3.5.4 I. of the *Zoning Bylaw*, the Board may require reasonable mitigation measures to offset adverse impacts of the development on the community including off-site improvements up to a maximum value of six percent of the total development cost of the proposed project to improve the capacity and safety of roads, intersections, bridges, pedestrian access, water, sewer, drainage, and other public facilities and

infrastructure including traffic signals and controls, or municipal services, sufficient to service the development project. This may also include donation and/or dedication of land for necessary right-of-way improvements.

- 13) The Board shall include specific site maintenance requirements in the *Decision* including but not limited to construction timing, management of dust, rubbish and construction debris, maintenance of erosion and siltation control measures, maintenance of stormwater management facilities, daily site clean-up, tracking of construction materials off-site, and management of construction traffic.

H. *Distribution of Notice of Site Plan Decision* - The Board will prepare and mail a Notice of site plan *Decision* to all parties in interest.

s. **204 – 9 Appeal** - Any person aggrieved by the Board's *Decision* may appeal to the appropriate court within twenty days of the date the *Decision* is filed with the Town Clerk, as provided in G.L. c. 40A, section 17.

s. **204 – 10 Plan Endorsement**

- A. In cases where the Board has approved or conditionally approved the proposed site plan, the Applicant, within ninety days after the Board has filed its *Decision* with the Town Clerk, shall submit a final site plan reflecting all required changes, if any, to the Board for endorsement. The deadline for plan endorsement may be extended upon mutual agreement when the Applicant or its designated representative requests such an extension in writing and the Board agrees thereto.
 - B. The Board shall not endorse a site plan until it is brought into compliance with the Board's *Decision* and the twenty day appeal period has elapsed following the filing of the Board's *Decision* with the Town Clerk and the Clerk has notified the Board that no appeal has been filed. If an appeal is properly filed, plan endorsement shall not occur until after the court's decision sustaining the Board's site plan *Decision*.
 - C. If the Conservation Commission is the permitting authority for the Stormwater Management and Land Disturbance Permit required under Article XXVI of the Medway General Bylaws, the site plan presented for the Board's endorsement shall include the stormwater design as approved by the Conservation Commission. The Board will not endorse the site plan without such Conservation Commission approval.
 - D. The Applicant shall provide an original of the revised site plan for endorsement by the Board.
 - E. After endorsement, the Applicant shall provide two paper copies of the endorsed site plan to the Board. The Applicant shall also provide the endorsed plan in portable document format (PDF) format and in shape files compatible with MASS GIS requirements. The Board shall retain a copy of the endorsed site plan and shall distribute copies to the Town Clerk, the Building Commissioner, the Department of Public Works, the Assessor's office, and the Town's Consulting Engineer.
- s. **204 – 11 Recording** – The Applicant shall record the *Decision* with the endorsed site plan at the Registry of Deeds and submit evidence of such recording to the Board and the Building

Commissioner. No construction shall be allowed to begin at the subject site until such recording verification is presented.

ARTICLE V. MINOR SITE PLAN REVIEW

- s. **205 - 1 *Applicability*** – See Section 3.5.3 A of the *Zoning Bylaw*.
- s. **205 – 2 *Town Clerk Submittals*** - The Applicant shall deliver by hand, or by registered or certified mail the following submittals to the Town Clerk during regular business hours:
- A. The Minor Site Plan Application form signed by the Applicant, property owner(s), and designated representative, if any, on a form provided by the Board.
 - B. One set of the Site Plan prepared in conformance with these *Rules and Regulations* including all items as specified in s. 205 – 5 of these *Rules and Regulations*.
- s. **205 – 3 *Planning and Economic Development Board Submittals*** - The Applicant shall deliver in hand, or by registered or certified mail the following submittals to the Board:
- A. The Minor Site Plan Application form signed by the Applicant, property owner(s), and designated representative, if any, on a form provided by the Board.
 - B. Two sets of the site plan (24” x 36”) and one set of the site plan (11” x 17”) prepared in conformance with these *Rules and Regulations* including all items as specified in s. 205 – 5. of these *Rules and Regulations*.
 - C. One written *Project Narrative* regarding the proposed development. At a minimum, the Narrative shall include the following information:
 - 1) current and proposed uses;
 - 2) description of proposed site improvements including paving, stormwater management, landscaping, sidewalks, refuse storage and disposal facilities, site amenities, fencing, lighting, water and sewer service, open space, etc.;
 - 3) description of proposed building construction, renovation, façade improvements, and/or demolition including the size of the proposed building(s) or additions;
 - 4) projected water and sewer demand;
 - 5) expected number of employees and/or occupants;
 - 6) proposed hours of operation;
 - 7) existing and proposed means of vehicular and pedestrian access and egress;
 - 8) number of parking spaces required and how this number was determined;
 - 9) calculation of proposed lot coverage and impervious surface;
 - 10) timetable for project completion;
 - 11) proposed on and off site mitigation measures;
 - 12) list of other required local, state and federal permits and the status of each; and
 - 13) any other information the Applicant believes will assist the Board in reviewing and understanding the site plan application.
 - D. A *Stormwater Drainage Evaluation* report signed and stamped by a Professional Engineer licensed in the Commonwealth of Massachusetts. This report shall:
 - 1) Describe the existing stormwater drainage patterns and system on the site; and

- 2) Identify how the proposed site improvements will impact the existing stormwater drainage patterns and system; and
- 3) Describe the location and design of proposed stormwater management measures to be used for the on-site disposal of added surface water resulting from the proposed site changes.

NOTE - During the course of its public review of the application, the Board may require more extensive drainage information as provided in *s. 205-7.A* of these *Rules and Regulations*.

- E. One list of all parties in interest as defined in G.L. c. 40A, §11 as appearing in the most recent tax records list. The list shall be certified by the Board of Assessors of all applicable communities.
- F. One copy of the latest recorded deed to the property(s) comprising the proposed development site.
- G. One copy of all relevant approvals received to date from other Town boards and committees (ZBA, Conservation Commission, Board of Health, Historical Commission, etc.) and other federal and state government agencies.
- H. Requests for waivers from these *Rules and Regulations* with specific reference to the applicable section(s) of these *Rules and Regulations* for which a waiver is requested, provided on the Board's Site Plan Waiver Request form.
- I. ALL APPLICATION MATERIALS (including forms, plans, reports, and attachments) SHALL ALSO BE SUBMITTED IN A SEARCHABLE ELECTRONIC FORMAT via email, on a portable electronic storage device, or to a central cloud repository on the web. The email for such submittals is planningboard@townofmedway.org
- J. A *Minor Site Plan Filing Fee* as authorized in *s. 209-1 A.* of these *Rules and Regulations* and as specified in the Board's *Fee and Bond Schedule*.
- K. A deposit toward the *Minor Site Plan Review Fee* as authorized in *s. 209 – 1 B.* of these *Rules and Regulations* and as specified in the Board's *Fee and Bond Schedule*.

s. 205 – 4 Standards for Site Plan Preparation – See *s. 204 – 4* of these *Rules and Regulations*.

s. 205 – 5 Site Plan Contents – To be considered complete, a minor site plan submitted pursuant to these *Rules and Regulations* shall include the information listed below.

- A. *Cover Sheet* - The cover sheet shall include the project name and address, name and address of owner, name and address of Applicant, name and address of engineer and other professional firms responsible for the plan, plan date, list of plan revision dates, project Assessor's Map and Parcel number, zoning district classification, list of requested waivers from these *Rules and Regulations*, Board Signature Block, and an index of drawings.
- B. *Site Context Sheet*

- 1) A locus plan showing the site and its boundaries in relation to all surrounding streets within two thousand feet of the perimeter of the site. The plan shall be at a maximum scale of one inch equals one thousand feet. Scenic roads shall be noted. Streets, buildings, brooks, streams, rivers, wooded areas, protected open spaces, recreation fields, landmarks and public facilities shall be shown on the locus plan with sufficient clarity to be easily discernable.
 - 2) Abutters' names and addresses with assessor's references for properties within 300' of the development site.
 - 3) Lot lines with dimensions and easement areas for the development site.
 - 4) Existing topography at two foot intervals from United States Geological Survey (USGS) survey maps or actual land survey of the development site.
 - 5) All easements (utility, conservation and other) and rights-of-way located on the development site.
 - 6) Zoning district boundaries including groundwater protection district and flood plain zones on the development site.
- C. *Existing Conditions Sheet* – A plan showing all bearings and distances of property lot lines and existing structures and buildings; topography; easements; existing uses of land; freestanding signs; driveways, parking spaces and walkways; utilities; fences and walls; trash disposal facilities; impervious surfaces; significant landscape and natural features, and wetlands and other natural resources under the jurisdiction of the Medway Conservation Commission, all at a minimum scale of one inch equals one hundred feet.
- D. *Plot Plan*, certified by a land surveyor, indicating total land area boundaries, angles, and dimensions of the site and a north arrow.
- E. *Site plan*, at a minimum scale of one inch equals forty feet, showing the following:
- 1) Property boundaries, dimensions of the site and a north arrow;
 - 2) Proposed use(s) of land and buildings;
 - 3) Dimensions of proposed building(s) or other structures including height, setbacks from front, side and rear lot lines, total square footage of building area;
 - 3) Design features of the construction or renovation of buildings (s) and structures, including building elevations, materials, colors, etc.;
 - 4) For non-residential buildings and for non-residential uses in any building, the total square footage of building area on each floor or the total square footage occupied on a given floor by non-residential uses;
 - 5) Site grading;
 - 6) Locations and dimensions of any proposed easements, public or private rights-of-way, or other encumbrances;
 - 7) All parking and loading areas, including surface parking lots, showing the number, location, and dimension of parking and loading spaces, driveways, travel aisles, sidewalks and the like;
 - 8) Horizontal sight distances on the public way(s) at all entrances and exits in both directions;

- 9) Proposed site improvements including, but not limited to walls, fences, signs, utilities, trash disposal facilities and enclosures, landscaping, utilities, lighting, utility boxes, snow storage areas, etc.;
- 10) Erosion and sediment control measures;
- 11) Stormwater management facilities as noted in s. 205 – 3 D. of these *Rules and Regulations*; and
- 12) A table outlining the proposal's conformance with the zoning requirements including lot area, continuous frontage, lot depth, lot width, front, side and rear setbacks, building height, lot coverages, gross floor area, open space calculations, and the number of parking spaces.

s. 205 – 6 Review by Town Officials

- A. Within fourteen days of the official site plan submission date, the Board shall transmit one copy of the site plan to the following boards, departments and committees, inform them of the public review meeting with the Board, and request their review and preparation of an advisory report to assist the Board in its review.
 - 1) Building Commissioner
 - 2) Conservation Commission
 - 3) Fire Department
 - 4) Police Department
 - 5) Assessor's Office
 - 6) Board of Health
 - 7) Department of Public Works
 - 8) Design Review Committee
 - 9) Others as determined to be appropriate depending on the nature of the project including but not limited to the Economic Development Committee and Historical Commission
- B. Said departments, boards, and committees may, at their discretion, evaluate the site plan and submit an advisory report or recommendation to the Board. If no report is submitted to the Board within fourteen days of distribution, this shall be deemed lack of opposition thereto. The advisory report may include an assessment of the project's impact on the community, the status of any meetings or actions the respective board, committee or department has already taken or is taking regarding the project, and any recommended conditions or remedial measures needed to avoid, accommodate or mitigate the expected impacts of the proposed development. All reports shall be entered into the public record during the public hearing.
- C. Review by Building Department - The Building Commissioner or his designee, shall review the application and associated materials for compliance with the *Zoning Bylaw* and provide a written communication to the Board, prior to the first public review date, to identify any current zoning violations existing at the site which shall be addressed through the site plan review process.

s. 205 – 7 Public Review

- A. *Board Review* - Within thirty calendar days of the official site plan submission date, the Board shall consider the proposed Minor Site Plan Application as an agenda item at a

duly posted Board meeting at which the Applicant shall present their proposed site plan and the public shall have an opportunity to be heard, in person, or by agent or attorney, or in writing. The Board may continue its review and consideration to other meetings as may be needed.

- B. *Abutter Notice* - At least fourteen days prior to the date of the public meeting, the Board shall send, by first class mail, a notice of the time, date and location of the public review meeting to all parties in interest as defined in G.L. c. 40A, §11. The notice shall include a brief description of the site plan project.
- C. *Public Review Notice* – At least fourteen days prior to the date of the public meeting, the Board shall file the public review notice with the Medway Town Clerk for official posting.
- D. *Additional Information* - The Board may require the Applicant to provide additional information, if necessary, to complete its review including more extensive drainage information (up to and including complete drainage system design and calculations) depending on the extent of the proposed site changes and the sensitivity of the site and its abutting properties. At the Board's discretion, it may require the Applicant to provide a full stormwater drainage analysis and design as specified in s. 204-3 G. of these *Rules and Regulations*.

s. 205 – 8 Decision

- A. *Deadline to File Decision* - Following the Board's review, the Board shall prepare and file its *Minor Site Plan Decision* with the Town Clerk within sixty calendar days from the official date of site plan submission. Failure of the Board to take its final action by filing its *Decision* within such sixty day period shall be deemed constructive approval of said application. A copy of the *Decision* will also be provided to the Building Commissioner and other Town officials.
- B. *Deadline Extension* – See s. 204-8 B. of these *Rules and Regulations*.
- C. The Board may approve, approve with conditions, limitations, safeguards and mitigation measures or disapprove a site plan application in accordance with Section 3.5.4 G. of the *Zoning Bylaw*. The Board's *Decision* to disapprove a site plan shall state the reasons for such disapproval.
- D. *Voting* - An affirmative vote of a simple majority of the membership of the Board shall be sufficient for the site plan *Decision*.
- E. *Approval Criteria Findings* – In making its site plan *Decision*, the Board shall consider the criteria as set forth in s. 204-8 F. of these *Rules and Regulations*.
- F. *Approval Conditions, Limitations and Safeguards* – See Section 204-8, G. of these *Rules and Regulations*.

s. 205 – 9 Appeal - Any person aggrieved by the Board's *Minor Site Plan Decision* may appeal to the appropriate court within twenty days of the date the *Decision* is filed with the Town Clerk as provided in G.L., c. 40A, section 17.

s. 205 – 10 Plan Endorsement

- A. In cases where the Board has approved or conditionally approved the proposed site plan, the Applicant, within sixty days after the Board has filed its *Decision* with the Town Clerk, shall submit a final site plan reflecting all required changes, if any, to the Board to review for compliance with the Board's site plan *Decision*, before the Board endorses the site plan. The deadline for plan endorsement may be extended upon mutual agreement when the Applicant or its designated representative requests such an extension in writing and the Board agrees thereto.
- B. The Board shall not endorse the site plan until it is brought into compliance with the provisions of the Board's *Decision* and a twenty day appeal period has elapsed following the filing of the *Decision* with the Town Clerk and the Clerk has notified the Board that no appeal has been filed. If an appeal is properly filed, plan endorsement shall not occur until after the court's decision sustaining the Board's *Decision*.
- C. The Applicant shall provide an original of the revised site plan for endorsement by the Board.
- D. The Board shall retain a copy of the endorsed site plan and shall distribute copies to the Town Clerk, the Building Commissioner, the Department of Public Works, the Assessor's office, and the Town's Consulting Engineer.

ARTICLE VI. ADMINISTRATIVE SITE PLAN REVIEW

s. 206 - 1 Applicability – See Section 3.5.3 A of the *Zoning Bylaw*.

s. 206 – 2 Designated Agent for Administrative Site Plan Review – Pursuant to Section 3.5.5. A. 2. of the *Zoning Bylaw*, the Town Administrator and the Board have established an *Administrative Site Plan Project Review Team* to be comprised of the following Town employees: Building Commissioner, Director of Community and Economic Development, and Planning and Economic Development Coordinator. The Team may consult with other Town employees and officials on a case by case basis depending on the nature of the proposed site plan project.

s. 206 - 3 Administrative Site Plan Submittals

- A. Town Clerk Submittals - The Applicant shall deliver in hand, or by registered or certified mail the following submittals to the Town Clerk during regular business hours.
 - 1. Administrative Site Plan Review Application form with original signatures.
 - 2. One set of the site plan (24" x 36") prepared in conformance with these *Rules and Regulations* including all applicable items as specified in s. 206 – 5 of these *Rules and Regulations* plus an electronic version.
- B. Community and Economic Development Department Submittals – The Applicant shall deliver in hand, or by registered or certified mail the following submittals to the Community and Economic Development Department during regular business hours.
 - 1. Administrative Site Plan Review Application form with original signatures.

2. One set of the site plan (24" x 36") and three reduced size (11" x 17") sets of the site plan prepared in conformance with these *Rules and Regulations* including all applicable items as specified in s. 206 – 5 of these *Rules and Regulations* plus an electronic version.
 3. One written *Project Description* of the proposed development including: current and proposed uses, proposed site improvements, construction, and demolition; existing and proposed means of vehicular and pedestrian access and egress; anticipated number of employees and occupants; methods and hours of operation; and timetable for project completion. The Project Description shall include but not be limited to building construction, renovation, paving, drainage, retaining walls, landscaping, refuse storage and disposal facilities, sidewalks, handicap access, site amenities, outdoor lighting, and proposed mitigation measures.
 4. *Stormwater Drainage Evaluation* report signed and stamped by a Professional Engineer licensed in the Commonwealth of Massachusetts. This report shall:
 - a) Describe the existing stormwater drainage patterns and system on the site; and
 - b) Identify how the proposed site improvements will impact the existing stormwater drainage patterns and system; and
 - c) Describe the location and design of proposed stormwater management measures to be used for the on-site disposal of added surface water resulting from the proposed site changes.
 5. One copy of all relevant approvals received to date from other Town boards and commissions (ZBA, Conservation Commission, Board of Health, Historical Commission, etc.) and other government agencies.
 6. A list of waivers being requested by the Applicant with specific reference to the applicable section(s) of these *Rules and Regulations* for which a waiver is requested, on a form provided by the Board.
 7. ALL APPLICATION MATERIALS (including forms, plans, reports, and attachments) SHALL ALSO BE SUBMITTED IN A SEARCHABLE ELECTRONIC FORMAT via email, on a portable electronic storage device, or to a central cloud repository on the web. The email for such submittals is planningboard@townofmedway.org
 8. A *Site Plan Filing Fee* as authorized in s. 209 - 1 A. of these *Rules and Regulations* and as specified in the Board's *Fee Schedule*.
- C. Filing of the application and plan does not, of itself, constitute the official receipt date. The Team shall review the application for completeness and notify the Applicant of any missing items within five business days of submission. In such a case, the application will be deemed to not to have been submitted. Upon receipt of all required items, the application shall be deemed complete and filed with the Town Clerk.
- s. 206 - 4 **Standards for Site Plan Preparation**
- A. The site plan shall be prepared, stamped, signed and dated by a qualified professional including a Registered Professional Engineer, a Registered Land Surveyor, a Registered

Architect, and/or a Registered Landscape Architect or other professional, registered in the Commonwealth of Massachusetts.

- B. The site plan shall be drawn at a scale of one inch equals forty feet or one inch equals thirty feet or one inch equals twenty feet
- C. All existing and proposed elevations shall refer to the North American Vertical Datum of 1988 (NAVD88).
- D. All site plan sheets shall be bound together in a complete set including building elevation plans.
- E. All site plan sheets shall contain a referenced north arrow, sheet number, plan dates and plan revision dates, name of project, name of plan, plan scale, legend, stamp of registered professional responsible for the content of said sheet, applicable notes, signature block, including *Decision* and plan endorsement dates, and the Town Clerk's no appeal certification

s. **206 - 5 Site Plan Contents** – In addition to information required in Sections 206-3 and 206-4, the site plan shall include:

- A. *Existing Conditions Sheet* – A plan showing name and address of owner, name and address of Applicant, name and address of engineer and other professional firms responsible for the plan, project street address, project Assessor's Map and Parcel number, zoning district classification, all bearings and distances of property lot lines and existing structures and buildings; topography; easements; existing uses of land; freestanding signs; driveways, parking spaces and walkways; utilities; fences and walls; scenic roads; trash disposal facilities; impervious surfaces; significant landscape and natural features, and wetlands and other natural resources under the jurisdiction of the Medway Conservation Commission.
- B. *Site plan* showing the following:
 - 1) Property boundaries, dimensions of the site
 - 2) Dimensions of proposed building(s) or other structures including height, setbacks from front, side and rear lot lines, total square footage of building area;
 - 3) Site grading;
 - 4) Locations and dimensions of any proposed easements, public or private rights-of-way, or other encumbrances;
 - 5) All parking and loading areas, including surface parking lots, showing the number, location, and dimension of parking and loading spaces, driveways, travel aisles, sidewalks and the like;
 - 6) Proposed site improvements including, but not limited to walls, fences, signs, utilities, trash disposal facilities, landscaping, utilities, lighting, utility boxes, snow storage areas, etc.;
 - 7) Erosion and sediment control measures;
 - 8) Stormwater management facilities; and
 - 9) A table outlining the proposal's conformance with the zoning requirements including lot area, continuous frontage, lot depth, lot width, front, side and rear

setbacks, building height, lot coverages, gross floor area, open space calculations, and the number of parking spaces.

s. 206 - 6 Review Process

- A. Within fourteen calendar days of the official site plan submission date, the Team shall consider the administrative site plan application at a duly posted meeting at which time the Applicant may present its plan and the Team will review the submittals to determine if the application is complete. The Team may consult with other Town officials and committees, and seek the assistance of outside consultants, and continue its review and consideration to other meetings as may be needed. The Team may also request additional information from the Applicant.
- B. The Team shall provide the administrative site plan application to the Board.
- C. Pursuant to Section 3.5.4 J. c. Procedures for Administrative Site Plan Review of the *Zoning Bylaw*, the Building Commissioner, Board, or Team may advance review of an administrative site plan application to minor or major site plan status when the collective scope and/or quantity of the proposed activities is substantial enough to merit review by the Board.

s. 206 - 7 Decision - Following the Team's review, the Team shall prepare and file its *Administrative Site Plan Decision* with the Town Clerk within twenty-one calendar days from the official date of site plan submission. Failure of the Team to take its final action within the twenty-one day period shall be deemed constructive approval of said application. The deadline by which the Team shall file its *Decision* may be extended upon mutual agreement when the Applicant or its designated representative requests such an extension in writing and the Team agrees thereto. Notice of the Team's acceptance of the Applicant's request for a deadline extension shall be provided in writing by the Team to the Town Clerk. A copy of the *Decision* shall be provided to the Applicant.

s. 206 - 8 Appeal - Any person aggrieved by the *Decision* of the Team for a site plan project subject to Administrative Site Plan Review may appeal such *Decision* to the Board in writing within twenty days after the *Decision* is filed with the Town Clerk. The appeal shall be considered as an agenda item at a duly posted meeting of the Board at which the Applicant's appeal shall be heard.

s. 206 - 9 Plan Endorsement

- A. In cases where the Team approved or conditionally approved the proposed site plan, the Applicant, within sixty days after the *Decision* is filed with the Town Clerk, shall submit a final site plan reflecting all required changes, if any, to the Team to review for compliance with the *Decision*, before the Team endorses the site plan.
- B. The Team shall not endorse the site plan until it is brought into compliance with the provisions of the *Decision* and a twenty day appeal period has elapsed following the filing of the *Decision* with the Town Clerk. If appeal is made, endorsement shall not occur until after the Board's *Decision* addressing the appeal of the Team's site plan *Decision*.
- C. The Applicant shall provide an original of the revised site plan for endorsement.

- D. The Team shall retain a copy of the endorsed site plan and shall distribute copies to the Town Clerk, the Building Commissioner, the Department of Public Works, the Assessor's office, and the Town's Consulting Engineer.

ARTICLE VII. DEVELOPMENT STANDARDS – Development projects requiring Site Plan Review shall be designed to the greatest extent feasible to comply with the following development standards. These standards are intended to achieve well designed projects without discouraging creative and/or innovative solutions to each site's particular features and challenges. Projects which do not meet these Development Standards are required to submit Waiver Requests with the application. See s. 202-5 of these Rules and Regulations.

Commented [A3]: Tom asks why let applicants off the hook?

Commented [A4]: Barbara feels that waiver requests from Development Standards should not be required as many of the Development Standards are advisory vs. prescriptive.

s. 207 - 1 Design Principles

- A. Commercial/Business Zoning Districts – See *Medway Design Review Guidelines*, Section 2 - Commercial Zone Guidelines, Sub-Section B. Principles and Intentions
- B. Industrial Zoning Districts - See *Medway Design Review Guidelines*, Section 3 – Industrial Zone Guidelines, Sub-Section B. Principles and Intentions
- C. Residential Zoning Districts - See *Medway Design Review Guidelines*, Section 4 – Residential Zone Guidelines, Sub-Section B. Principles and Intentions

s. 207 – 2 Site Design

- A. Commercial/Business Zoning Districts – See *Medway Design Review Guidelines*, Section 2 - Commercial Zone Guidelines, Sub-Section C. 1. Site Composition and C. 2. Building Orientation
- B. Industrial Zoning Districts - See *Medway Design Review Guidelines*, Section 3 – Industrial Zone Guidelines, Sub-Section C. 1 Site Composition and C. 2. Building Orientation
- C. Residential Zoning Districts - See *Medway Design Review Guidelines*, Section 4 – Residential Zone Guidelines, Sub-Section C. 1 Site Composition and Building Orientation

s. 207 – 3 Architecture

- A. Commercial Zoning Districts – See *Medway Design Review Guidelines*, Section 2 - Commercial Zone Guidelines, Sub-Section D. Architectural Guidelines
- B. Industrial Zoning Districts - See *Medway Design Review Guidelines*, Section 3 – Industrial Zone Guidelines, Sub-Section D. Architectural Guidelines
- C. Residential Zoning Districts - See *Medway Design Review Guidelines*, Section 4 – Residential Zone Guidelines, Sub-Section D. Architectural Guidelines

s. 207 – 4 Energy Efficiency and Sustainability

- A. New buildings should be positioned on the site to take advantage of the existing terrain and solar gains. Where possible, elongate the buildings on the east/west axis, maximize north and south exposures for daylighting, minimize east and west facing windows, and

orient the most populated areas of a building to the north and south. Green roofs are encouraged.

s. 207 - 5 Environmental Considerations

- A. *General* - Environmental elements relating to the prevention of soil pollution and erosion, protection of significant vistas, preservation of trees, protection of water courses and water resources, topography, soil and noise shall be reviewed. The design of the proposed development shall minimize the destruction of trees and protect unique natural features. The site plan shall show measures to minimize any adverse impacts on these elements.
- B. *Low Impact Development (LID)* – Applicants shall utilize Low Impact Development (LID) management practices in site design and incorporate environmentally sensitive design principles in site improvements, stormwater management facilities, landscaping, and buildings when practicable. See Appendix A to these *Rules and Regulations*.
- C. *Nuisance* - The proposed development shall comply with Section 7.3 Environmental Standards of the *Zoning Bylaw*.
- D. *Energy Conservation* – Development projects involving the construction or use of a building with 10,000 sq. ft. or more or containing ten or more residential units are encouraged to include a solar or other renewable energy system.

Commented [A5]: This was edited to reflect your discussion at the 9-24 pedb mtg.

s. 207 – 6 Erosion and Sediment Control

- A. Erosion and sediment control measures shall comply with ARTICLE XXVI Stormwater Management and Land Disturbance of the Medway *General Bylaws*, Section 26.7.
- B. The final slope of the land shall not exceed one foot vertical to three feet horizontal, unless retaining walls or other suitable stabilization methods as determined by the Board are provided.
- C. Permanent vegetation and other erosion control measures shall be installed as soon as possible after construction ends.
- D. All disturbed areas shall be permanently stabilized within six months of occupancy.

s. 207 – 7 Site Clearing and Grubbing – See Section 7.4 of the *Medway Subdivision Rules and Regulations*.

s. 207 – 8 Earth Filling & Grading

- A. *Prohibited materials*. Solid or hazardous waste, refuse, junk, industrial waste, volatile, explosive or flammable materials, building materials, construction and demolition debris, glass, metal, toxic, infectious, radioactive, corrosive or reactive materials or waste shall not be used as fill. Fill material shall have no concentration of oil or hazardous material, toxic substance or infectious biological material greater than federal, state or local reportable or action criteria or materially greater than pre-fill conditions prevailing in the area to be filled. Fill material shall also be free from organic material such as trees, stumps, and garbage, and shall contain fifteen percent or less of total organic carbon by lab analysis.

- B. *Permitted fill materials.* Fill materials shall include only clean sand, gravel, clay, stone, quarried rock, topsoil, borrow, rock, sod, loam, peat, humus, or other subsurface products free from solid waste, with an aggregate size of twelve inches or less. Crushed concrete and ground and recycled asphalt millings that have been certified as clean fill may be used.
- C. *Final Cover.* The area within the limits of fill shall be established to meet the final cover as designed and, in all instances, shall prevent erosion from the site. Proposed pervious areas (ie. lawn, landscape beds, pad sites, etc.) shall be covered with a minimum four inches of organic topsoil including soil amendments if required and shall be seeded and/or mulched to establish final cover. Where filling is incidental to proposed hardscaped areas (i.e. driveways, parking lots, patios, etc.), the fill material shall be covered with suitable base material meeting the specifications of the particular hardscape (i.e. gravel borrow and/or dense graded crushed stone for pavement sub-base).
- D. *Additional Conditions.* The Board may set reasonable conditions including but not limited to hours of the day during which filling may take place, maximum load sizes, truck routes to be used to access the site, and grasses, shrubs and trees to be planted. The Board may also impose requirements for monitoring the type and distribution of fill on the subject site and reporting on the quality and source of the fill materials.
- E. Development sites shall not be used for the temporary storage of fill materials intended for use elsewhere.
- F. Projects involving site filling in excess of two thousand cubic yards shall submit a Soil Management Plan to the Planning and Economic Development office prior to the pre-construction meeting for review by the Town's Consulting Engineer. The Soil Management Plan shall include the following:
- a) Agreement that bills of lading in the form specified by the Board will be exclusively used for the transport and acceptance of earth materials for fill;
 - b) Complete descriptions of pre-fill environmental conditions and findings and sample locations;
 - c) Procedures for verification of fill material origin and acceptance;
 - d) Record keeping practices;
 - e) Site security, fill operation inspection and site control;
 - f) Transport routes, times and days of operation, locations of equipment parking and storage, and duration of fill activities;
 - g) Qualifications of applicant personnel responsible for adhering to the soil management plan;
 - h) Erosion, dust and stormwater controls and inspection and maintenance thereof;
 - i) Effects of the filling on groundwater recharge;
 - j) Quality assurance and quality control procedures including testing protocols
 - k) Emergency response and notification procedures, including telephone numbers and contact individuals and firms;
 - l) Total proposed earth material fill volume;
 - m) Daily personnel procedures and operation management procedures, including types, numbers, locations and hours of operation of any processing equipment on site;

Commented [A6]:

Bridget Graziano will send this to Brian Snow, a Licensed Site Professional (LSP) and CC member, to ask whether this is a good list.

Commented [A7]: Is this too small an amount to require a Soil Management Plan? Steve Bouley will think about this. Bridget Graziano will also check with Brian Snow on this.

- n) Environmental monitoring plan to maintain protection of human health, public safety, welfare and the environment during and following fill operations; and
- o) Cover material, revegetation, erosion and pollution control, and monitoring and maintenance plan.

G. *Earth Removal.* NOTE – Development projects may also be subject to Medway General Bylaws, ARTICLE IX, Removal of Earth Products, administered by the Medway Board of Selectmen.

s. 207 – 9 Pedestrian & Bicycle Access and Sidewalks

A. Pedestrian and Bicycle Access

- 1) Pedestrian ways shall be provided within the site to connect buildings with parking areas, other buildings, and site amenities.
- 2) For pedestrian safety and site design enhancement, on-site crosswalks between parking areas and the building (s) and where possible, on adjacent roadways shall be provided and have a change in materials and/or color, texture or pattern.
- 3) Pedestrian and bicycle circulation shall be maximized on and off site and shall be separated from motor vehicle circulation as much as practicable. Safe pedestrian and bicycle access to the site shall be provided by walkways or other means which ensure protection and separation from vehicular traffic.
- 4) Existing pedestrian ways shall be maintained or improved.
- 5) Where no pedestrian ways exist, the Applicant shall create safe and convenient pedestrian ways and connections between streets, the proposed development, surrounding neighborhoods, adjacent commercial developments, and other surrounding uses.
- 6) Curbing adjacent to sidewalks shall be vertical granite or concrete.
- 7) Sidewalks and pedestrian ways and connections shall comply with the requirements of the Americans with Disabilities Act (ADA).

B. Sidewalks

- 1) Five foot wide sidewalks shall be provided within parking areas. Where sidewalks abut parking areas, the sidewalk width shall be increased by two feet to accommodate vehicular bumper overhang so as to not impede foot traffic.
- 2) For buildings where tenants wish to use interior site sidewalks for temporary outdoor display purposes, sidewalks shall be increased in width such that at least five feet is maintained for pedestrian passage.
- 3) Pursuant to Section 5.5.4. I, c. of the *Zoning Bylaw*, sidewalks shall be provided along the entire frontage of the subject property along existing public ways.
- 4) Applicants are encouraged to include a grass strip to abut sidewalks where space and site design can accommodate such.

Commented [A8]: Added at suggestion of Dave D'Amico

s. **207-10 Paving**

Commented [A9]: This is a new section.

- A. *Drive aisle paving materials* – Asphalt or cement concrete or other durable materials shall be used for drive aisle paving. The surface of driveways shall be designed and maintained to support the loads of the Fire Department's apparatus, and provided with an all-weather and structurally stable driving surface.
- B. Off-street loading and unloading areas and the associated maneuvering areas shall be paved with hot mix asphalt, or other satisfactory hard surface paving.

s. **207-11 Traffic and Vehicular Circulation** - The site plan must address safety and convenience of vehicular and pedestrian movement within the site as well as in relation to adjacent streets, properties or improvements.

A. *Site Access - Curb Cuts, Entrance and Egress Driveways*

- 1) The site shall be evaluated as a whole to determine the number of curb cuts to be allowed.
- 2) Curb cuts on public ways shall be minimized.
 - a) Curb cuts for commercial properties shall be limited to one per street frontage unless compelling safety benefits or other siting considerations are demonstrated by the Applicant or if the scale of the development merits multiple curb cuts to ensure suitable access for safety and emergency vehicles.
 - b) Wherever possible, existing driveways should be combined.
 - c) All proposed curb cuts within a commercial district or for commercial properties shall be designed to enhance traffic flow on major streets and to minimize additional traffic circulation on neighboring residential streets in order to maximize safe vehicular movement and pedestrian safety.
- 3) Site entrance and exit driveways shall have an unobstructed paved width of at least twenty feet.
- 4) Site entrances and exits shall be clearly delineated by vertical granite curbing or other approved material along the entire radius of the opening, shall extend at least twelve feet beyond each side along the gutter line of the road and at least the first twenty-five feet of a driveway, and shall be sloped at the end to prevent a vertical obstruction to exist.
- 5) The site design shall allow vehicles to enter, park and exit the property without difficulty. Arrows, signs, and/or pavement markings to control the traffic flow may be required. Consideration shall be given to site access for delivery vehicles and the ability of these vehicles to maneuver on site. Passenger vehicles and delivery vehicles should be segregated where possible.
- 6) Where possible and as appropriate to site conditions, curb cuts shall be aligned with curb cuts on the opposite side of the road to create common junctions.

- 7) Curb cuts shall be located and designed so as to achieve maximum practicable distance from existing and proposed access connections from adjacent properties.
- 8) Where a site occupies a corner of two intersecting roads, curb cuts shall be located at the maximum distance practicable from the intersection. At a minimum, a curb cut shall be located at least fifty feet from the point of tangency of the intersection.
- 9) Driveways shall be located so as to afford maximum safety, convenient ingress and egress and minimize conflict with the flow of off-site traffic.
- 10) Driveways shall be located to maximize sight distances where the proposed driveway meets an existing way. Sight distances for turning movements to and from the development shall meet current minimum AASHTO standards and shall be clearly shown on the site plan.
- 11) Left-hand egress turns should be minimized.
- 12) Driveways should intersect the road at an angle of ninety degrees.
- 13) No part of any driveway shall be located within fifteen feet of a side property line when the property abuts a residential use or zone.
- 14) The slope of the paved entrance way should not exceed two percent for the first twenty-five feet measured perpendicular from the front property line. The angle of approach and egress from a site shall not exceed a one foot drop in twenty feet of length.
- 15) Driveways shall be designed so that stormwater, dirt, gravel, stones, or other materials will not wash onto adjacent public or private streets from the driveway.
- 16) The surface of driveways shall be designed and maintained to support the loads of the Fire Department's apparatus, and shall be constructed of a hard, all-weather, and structurally stable driving surface to support at least 75,000 pounds.
- 17) *Emergency Vehicle Access* - The site shall be designed to provide adequate accessibility by fire, police, and emergency personnel, equipment and vehicles to each building. The access shall be maintained and kept in passable condition at all times. Applicants are strongly encouraged to meet with Medway Fire officials early on in the site design process to incorporate provisions of the National Fire Protection Association (NFPA 1) Fire Code.

B. *Internal Site Circulation and Parking Lot Drive Aisles*

- 1) Where possible, adjoining parcels shall have unified access and promote inter-parcel circulation. Provisions should be made for safe and convenient traffic movement to connect sites with adjacent commercial sites.
- 2) The perimeter of drive aisles shall be bounded with vertical granite curb.
- 3) Internal drive aisle width – Two-way drive aisles shall be twenty-four feet wide. The width of one-way drive aisles shall be twenty feet.

- 4) Drive aisle materials – Asphalt or cement concrete or other durable materials shall be used for drive aisle paving. Drive aisles shall be designed so that stormwater, dirt, gravel, stones, or other materials will not wash onto adjacent public or private streets from the driveway. The surface of driveways shall be designed and maintained to support the loads of the Fire Department's apparatus, and provided with an all-weather and structurally stable driving surface. Driveways shall be constructed to support at least 75,000 pounds.
 - 5) Provision shall be made for safe and convenient pedestrian and vehicular traffic movements within the site with emphasis on the layout of parking and off-street loading and unloading areas, and the movement of people, goods, and passenger and delivery vehicles on access roads, on drive aisles, and between buildings or structures within the site.
 - 6) Fire lanes (road, path or other passageways) developed to allow passage of fire apparatus and access to the buildings on the site shall be provided in accordance with Medway Fire Department regulations. The number of required fire lanes shall depend on the size of the building. Fire lanes shall be clearly marked and posted.
 - 7) When the driveway, drive aisles or roadways are more than 150' in length, provisions shall be made for fire and emergency apparatus to turn around.
 - 8) The turning radius for internal driveways, drive aisles and roadways must be approved by the Medway Fire Department and shall accommodate the Department's largest and longest apparatus.
- C. *Mitigation* - The Board may require the Applicant to provide mitigation where project-related increased traffic volume will create unsafe, or poor level of service conditions based on findings of the traffic study. Mitigation measures include but are not limited to the implementation of turning lanes, traffic signal installation and improvements, roadway improvements, sidewalks, and acceleration and deceleration lanes.
- s. **207–12 Parking**
- A. Parking shall be provided in full compliance with Section 7.1.1 of the *Zoning Bylaw*.
 - B. To the maximum extent possible, parking shall be located to the side and rear of the site. Placement of parking areas should not be near a high volume of traffic where parking movements can obstruct traffic flow. Parking shall not create a hazard to abutters, vehicles or pedestrians. Where parking is proposed adjacent to the street, plantings or appropriate fencing shall be incorporated to screen parking areas and reduce their visual impact.
 - C. *Pedestrian Protection* - Pedestrian walkways through parking areas may require protection (*barriers or bollards*) or crosswalk striping.
 - D. *Designated Parking Areas* – Areas for small vehicles and motorcycles may be shown.
 - E. *Asphalt Surface* - Parking areas shall have durable, all-weather paved surfaces. Hot mix asphalt surfacing shall be a minimum of three and one-half inches over eight inches of gravel borrow or as required by site conditions.

- F. Adverse impacts of parking on abutters, residents or businesses in the area shall be mitigated.
- G. *Parking Spaces*
- 1) *Number of spaces* - See Section 7.1.1 D. of the *Zoning Bylaw* – Table 3 Schedule of Off-Street Parking Requirements and Section 7.1.1.I. regarding bicycle parking requirements.
 - 2) *Parking space design*
 - a) Dimensional Standards – See Section 7.1.1 E. 3. of the *Zoning Bylaw*. All handicap parking spaces shall comply with state and federal regulations.
 - b) Angle parking - In the event site constraints limit drive aisles to one-way travel, angled parking may be permitted. The Applicant shall provide analysis that proper maneuverability through the site can be achieved, stalls are of proper length to limit overhang into the drive aisle, and proper lane width is designed to provide suitable reverse turning movements. Pull through angle parking stalls shall not be allowed.
 - 3) *Location*
 - a) The location of parking spaces shall not impede proper traffic flow or the maneuvering of other vehicles. Parking spaces shall not be located in fire lanes or within twenty feet of building entrances, building exits, emergency access points, loading and unloading areas, pedestrian ways, and locations for fire hydrants, and sprinkler and standpipe connections.
 - b) Parking spaces shall not be located within fifteen feet of the front, side and rear property lines.
 - c) Parking spaces shall be located such that a vehicle backing out of a space does not impede traffic entering from a private or public street within the first fifty feet of the driveway entering the site.
 - d) Drive aisles shall have a minimum paved width of twenty-four feet and provide for two-way traffic, and shall extend a minimum of five feet beyond the last parking space in any dead end parking row.
- H. *Curbing*
- 1) The perimeter of the parking area shall be bounded with vertical granite curb, bituminous concrete curb, or cement concrete curb to delineate the parking lot and collect and direct stormwater runoff.
 - 2) All curbing shall have a minimum radius of three feet and shall transition tangentially. No protruding angle points shall be allowed.
- I. *Electric Vehicle Charging Stations* – Industrial, commercial, and multifamily housing sites with fifteen or more parking spaces shall provide parking spaces with electric

vehicle charging stations for employee, customer and resident use. The quantity of such parking spaces shall be as follows:

Total # of Parking Spaces	# of Electric Vehicle Parking Spaces
15 – 25	1
26 – 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 – 300	7
301 - 400	8
401 - 500	9
501 - 1000	2% of total

s. **207 – 13 Loading and Unloading** - At the time of erection of any principal building or enlargement of any principal building or the establishment of any activity on open land, there shall be created adequate off-street loading and unloading areas as follows:

- A. One or more off-street loading and unloading areas shall be provided for any business that is regularly serviced by delivery vehicles so that adequate areas are provided to accommodate all delivery vehicles expected at the premises at any one time.
- B. The location of off-street loading and unloading areas and facilities shall be designed with an adequate off-street maneuvering area so that it will not be necessary for delivery vehicles to use a public way to maneuver into a loading or unloading space and so that egress from such spaces will not require backing onto a public way.
- C. Loading and unloading areas shall in all cases be on the same lot as the use they are intended to serve unless there is common ownership of an adjacent property. In no case shall the required loading and unloading areas be part of the area used to satisfy the parking requirements of the *Zoning Bylaw*.
- D. Loading and unloading areas should be located at either the side or rear of each building to be removed from view and to mitigate noise impacts.
- E. Loading and unloading areas shall be designed to avoid traffic conflicts with vehicles which use the site or adjacent sites.
- F. Each loading and unloading area shall not be less than twelve feet in width and not less than sixty-five feet in length. Height clearance shall not be less than fourteen feet.
- G. Loading and unloading areas and spaces shall not encroach on parking spaces or maneuvering space, nor shall they obstruct access to fire hydrants, sprinkler connections, or fire or emergency vehicle lanes.
- H. Off-street loading and unloading areas and the associated maneuvering areas shall be paved with hot mix asphalt, or other satisfactory hard surface paving.

- I. Loading areas shall not face any residential area.
- J. Loading areas are prohibited on the front façade of any building.
- K. All service, loading and trash storage areas viewable from a public way or from an adjacent residential area shall be screened by one or a combination of masonry, a wood screen, or evergreen plantings to reduce their visual impact.

s. 207 – 14 Stormwater Management

- A. The Post-Construction Stormwater Management Plan and its associated Long Term Operation and Maintenance Plan shall comply with ARTICLE XXVI Stormwater Management and Land Disturbance of the Medway *General Bylaws*, Section 26.8, the current Massachusetts Stormwater Management Standards, and the DEP Stormwater Management Handbook Volumes I and II.
- B. *Low Impact Development (LID)* – Applicants shall utilize Low Impact Development (LID) management practices in designing the stormwater management system. See Appendix A to these *Rules and Regulations* for resource information.
- C. Infiltration basins shall be designed to be integrated into the site’s topography and natural features such that the basin contours are softened and a naturalized appearance is achieved.
- D. Subsurface detention and infiltration systems shall be designed with access manholes and inspection ports to provide means to properly inspect and maintain the system. All subsurface detention and infiltration systems shall contain an internal “forebay” or pre-treatment chamber row which will allow treatment of first flush runoff (the first 1” of any rain storm) prior to discharging stormwater to the remainder of the system and shall be designed to allow for proper access for inspection and maintenance.
- E. Infiltration measures shall be provided to mitigate post development increases in runoff resulting from proposed rooftops. Runoff from proposed rooftops throughout the site shall be directly routed to dedicated infiltration Best Management Practices (BMPs). Discharge of roof runoff directly to surface grade is strictly prohibited. If runoff is directed to infiltration BMPs which also mitigate surface runoff, the roof runoff shall be directly discharged to the BMP and not allowed to comeingle with untreated surface runoff prior to discharge to the BMP. Metal roofs shall be properly treated prior to infiltration if located within critical areas listed in the DEP Stormwater Management Handbook.
- F. Headwalls that are visible from a roadway or driveway shall be fabricated to have a natural stone appearance to the satisfaction of the Board.
- G. See s. 207 – 19 E of these *Rules and Regulations* for landscaping requirements around stormwater detention and retention areas.

s. 207 - 15 Water Supply and Sewage Disposal

- A. *Water Supply* - Unless proven to be unfeasible, projects requiring site plan approval shall connect to the public water supply distribution system, except that connection to the public water supply system for on-site irrigation of landscaping is not permitted.

Commented [A10]: How to handle conflicts between various Development Standards and the directive to use Low Impact Development techniques for site and stormwater management design?? Does one take precedence over the other?

Commented [A11]: Dave D’Amico suggests this should be “may” instead of “shall”. He does not want to require people to connect to the Town water system.

Wells are permitted through the Board of Health. The locations of any proposed wells shall be shown on the site plan. Water connections shall be in accordance with regulations of the Medway Department of Public Works. Any needed water line extensions shall be at the Applicant's expense.

- B. *Sewage Disposal* – The proposed method of sanitary sewage disposal for all buildings and uses shall be shown on the site plan. It shall meet the applicable Town regulations for sewage disposal systems and connections whether it is an on-site septic system (Medway Board of Health) or is connected to the Town's municipal sewer system (Medway Department of Public Works). The Town of Medway currently prohibits extensions of the Town's municipal sewer system beyond that in existence on March 9, 2015.
- C. *Fire Hydrants* – Applicants are strongly encouraged to meet with Medway Fire officials early on in the site design process to incorporate provisions of the NFPA 1 Fire Code pertaining to the quantity and type of fire hydrants for the site.

s. 207 – 16 Utilities

- A. All electric, telephone, cable TV, and other utilities shall be located underground.
- B. Permanently installed generators shall be positioned on cement pads, be located to the rear of the site, and shall be fully screened or bermed to mitigate noise and appearance.
- C. Utilities shall be installed in accordance with Section 7.6 Utilities of the *Medway Subdivision Rules and Regulations*.
- D. Architectural features shall be incorporated into the building design to screen rooftop HVAC and other utilities.

s. 207 – 17 Solid Waste Removal - Dumpsters, Trash and Recycling Containers and Enclosures

- A. Dumpsters and recycling and trash containers and enclosures shall be located to the rear of the site such that their view from streets is minimized.
- B. Dumpsters and recycling and trash containers shall be fully screened on all sides and to the full height of the dumpster or container by suitable fencing or enclosure and/or evergreen plantings. The size of enclosure shall be large enough to accommodate both trash and recycling containers and include sufficient space around and between the containers enclosed therein to be easily maneuvered for pick-up.
- C. Multi-tenant developments shall incorporate the use of shared trash compactors.
- D. Egress to dumpsters and trash containers shall provide for the efficient removal of trash with a minimum of backing up required by service vehicles.

s. 207 - 18 Outdoor Lighting

- A. Outdoor lighting shall comply with Section 7.1.2 of the *Zoning Bylaw*.
- B. For new construction, no overhead wiring for outdoor lighting is permitted.

Commented [A12]: Susy - Do you want to add an item to specify that trash removal is the responsibility of the applicant and not the Town?

C. Light fixture design should comply with the *Medway Design Review Guidelines*.

s. 207 – 19 Landscaping

A. *General* - Landscaping enhances the site, provides a pleasing environment and reduces the visual impact of the site on the surrounding areas. The Board requires that the Applicant provide sufficient landscape treatment to create adequate buffering for neighboring properties and provide positive visual impacts as provided herein. The preservation of existing trees and vegetation where feasible and appropriate in lieu of or in addition to new landscaping as required herein is permitted and encouraged.

B. *Landscape Buffers* - The use of proportionally sized landscaped buffers and berms between the street and structures, between the street and parking areas, between the site and its neighbors, and throughout parking lots is encouraged to provide for more immediate visual screening and improved topographical variation.

- 1) Landscape buffers between the street and parking areas are required. Tree-lined sidewalks at the street front shall be included. Plantings along the front property line and access roads shall take into consideration sight distance criteria. Planting of new or replacement trees every twenty-five feet along both sides of an access road is required. The Board may waive this requirement in favor of the preservation of existing site trees.
- 2) Perimeter landscaping shall be provided around the entire site. Four season evergreen landscape buffers between the site and adjoining properties are required, particularly to protect adjacent residential uses to the greatest extent possible. Landscaped buffer areas shall be a minimum of fifteen feet in depth and may be comprised of existing woodlands and native vegetation supplemented by new landscape plantings. Vegetation in buffer areas may also be augmented with earth berms of a reasonable height and high quality and durable fencing using materials approximating wood.

C. Parking Areas

- 1) Internal landscape planted divisions (*islands and peninsulas*) shall be constructed within all parking areas containing ten or more parking spaces to provide visual relief from expanses of pavement and vehicles and provide shade.
 - a) A minimum of ten percent of the total internal parking area shall be provided as landscaped island areas, exclusive of perimeter landscaping.
 - b) The ends of parking aisles that have more than fifteen parking spaces in length shall incorporate enclosing landscape islands at both ends of the rows. The width of such landscaped islands shall be at least four feet at the ends.
 - c) Where the length of parking aisles exceeds twenty-five spaces, intermediary landscaped islands shall be installed at regular intervals, not to be more than every thirteen spaces.

- d) At least one deciduous shade or canopy tree of a minimum three inches caliper with a height of not less than twelve feet above grade shall be provided for every six parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. The Board may waive this requirement in favor of the preservation of existing site trees.
 - 2) Landscaping shall be provided around the perimeter of all parking areas to prevent direct views of parked vehicles from streets and sidewalks, avoid spillover light, glare, noise or exhaust fumes onto adjacent properties, and to provide parking areas with a reasonable measure of shade. Such vegetation shall be no less than five feet high at the time of planting.
 - 3) Parking entrances at curb cuts shall be landscaped with a combination of trees, shrubs and flowering plants. These areas may also be used for signage pursuant to Section 7.2.4 F. 5 of the *Zoning Bylaw*. No trees or shrubs shall be planted in a manner that would obstruct sight line visibility for vehicles entering and exiting a site. The maximum height of vegetation, except trees, at full growth or any other physical object within the Sight Distance Triangles of a curb cut shall not exceed three feet in height.
 - 4) To the maximum extent feasible, plant materials used in landscaped islands and in the perimeter of parking areas shall be drought resistant, salt tolerant, non-invasive species as identified in *The Evaluation of Non-Native Plant Species for Invasiveness in Massachusetts* by the Massachusetts Invasive Plant Advisory Group.
 - 5) Landscaped areas should be designed to receive and accommodate stormwater runoff in accordance with the *Massachusetts DEP Stormwater Handbook* through the use of rain gardens and bio-retention areas.
- D. *Screening and Buffers* – Where disturbance on the site is necessary beyond the building footprint, parking and access areas, or where the Board determines that additional plantings are needed to achieve four seasons of screening, the Landscape Plan shall include landscape plantings, berms, and/or manmade hardscape structures such as fences, stone walls and trellises sufficient to immediately screen one-hundred percent of the HVAC equipment, utilities, dumpsters, storage areas, truck loading areas, machinery, utility buildings, and accessory structures etc. from the view at any perimeter point on the site. The proposed plantings shall be of sufficient maturity to immediately integrate the building and site into its surroundings. The scale, extent and density of such landscape and hardscape treatment shall be determined by the size of the building, the extent of planned disturbance to the site's existing landscape, the adjacent uses, and the need for additional screening.
- E. *Landscaping Around Stormwater Infiltration Basins* – Substantial landscaping shall be provided around stormwater detention and retention basins and shall be included in the design of the stormwater drainage system to the satisfaction of the Board. For screening purposes and to minimize the visual impact of stormwater basins, such landscaping should include two staggered rows of suitable trees and shrubs. Landscaping shall be designed to not obstruct access to the stormwater basins for maintenance purposes.

F. Trees shall be non-invasive, deciduous hardwoods. The following species are preferred:

- 1) Red Oak - *Quercus borealis*
- 2) Pin Oak - *Quercus palustris*
- 3) Scarlet Oak - *Quercus coccinea*
- 4) Red Maple - *Acer rubrum*
- 5) Sugar Maple - *Acer saccharum*
- 6) Thornless Honey Locust - *Gleditsia triacanthos intemis*
- 7) London Plane Tree
- 8) Ginko (*Fruitless male*)
- 9) Swamp White Oak
- 10) Zelcova
- 11) Sweetgum (*Rotundiloba/fruitless*)
- 12) Linden

Smaller variety trees:

- 13) Crab Apple (*if insect and disease resistant*)
- 14) Kousa Dogwood
- 15) Serviceberry
- 16) Hendge Maple

Evergreen species:

- 17) Norway Spruce
- 18) Hemlock
- 19) Capitata Yew
- 20) Cedar

The Applicant may propose alternative trees that may be better choices for the particular site based on proximity to utility lines, sidewalks and pavement, area available for root growth, tolerance to salt, rooting characteristics, resistance to disease and insects, tolerance to root pruning, branching habit, fruit and seed production, maintenance needs or other reasons. The Board may seek the advice of the Medway Tree Warden to evaluate alternative tree proposals.

- G. **Tree Preservation** - Wherever feasible, existing trees of **eighteen** inches or more in diameter should be preserved.
- H. **Tree Replacement** – All hardwood trees twenty-four inches or more in diameter that are to be removed from the site shall be replaced with new trees on the site.
- I. **Tree Size** –New and replacement trees shall have a diameter of at least an average of two and one-half inches as measured four feet above finish grade and shall be a minimum of twelve feet in height.
- J. **Landscape Requirements** – To the maximum extent feasible, all additional landscaping shall be **drought resistant, pest tolerant**, non-invasive species as identified in *The Evaluation of Non-Native Plant Species for Invasiveness in Massachusetts* by the Massachusetts Invasive Plant Advisory Group. Tree species should be native and hardy for Zone 6.

Commented [A13]: What size trees do you want to be preserved? Is this "should" language what you want?

Commented [A14]: Bridget reports that drought resistant and pest tolerant species may be invasive. Is that OK?

- K. *Irrigation* – On-site wells, cisterns to capture rainfall, or private watering service is required to maintain landscaping installations. The Town does not permit connection to the Town’s water service for landscape irrigation. Well locations shall be shown on the site plan and are subject to approval of the Medway Board of Health.

s. **207 – 20 Site Amenities**

- A. When incorporated as part of a site plan or included as mitigation measures, the selection of types and materials for fencing, retaining walls, gates, benches, planters, bike racks, seating areas, and other site amenities should comply with the *Medway Design Review Guidelines*.
- B. Proposed hardscape features and materials such as fences and stone walls shall be compatible with the design of the building. Vehicle sight lines shall not be affected by such landscape features or built hardscapes.

s. **207 - 21 Snow Removal** – The site shall be designed to accommodate adequate snow storage for snow that is removed from the paved areas. The snow storage area(s) shall be located and graded such that the runoff from melting snow shall not enter the public way or wetland resource areas. Stored snow shall not affect visibility and sight distance of vehicles entering and exiting the site. Snow storage areas shall safely accommodate a minimum volume equal to six inches over the entire site area subject to snow removal. The Board may condition a site plan decision to require removal of excess snow off-site.

s. **207 – 22 Outdoor Storage** – To the maximum extent possible, outdoor storage of materials, goods, and equipment if permitted, shall be screened from view from adjacent and nearby streets and properties by suitable fencing and/or evergreen plantings, and in accordance with *Zoning Bylaw* regulations. Check *Table 1 Schedule of Uses* of the *Zoning Bylaw* for areas where outdoor storage is permitted.

ARTICLE VIII ADMINISTRATION

s. **208 – I Preconstruction Meeting** - Prior to the commencement of any site work (earth removal, clearing of vegetation, mobilization of construction equipment, etc.) for an approved Major or Minor Site Plan project, the Developer, the site general contractor, and other representatives of the Developer shall attend a preconstruction meeting with the Town’s Consulting Engineer, Planning and Economic Development Coordinator, Building Commissioner, Department of Public Works Director, Conservation Agent, or their designees, and other Town staff as may be determined appropriate.

- A. The Developer or general contractor shall request the pre-construction meeting at least one week prior to commencing any site work on the property by contacting the Planning and Economic Development office.
- B. The Developer shall provide a detailed construction schedule, copies of other permits or approvals, and emergency contacts list.
- C. If applicable to the project, the Developer shall provide a copy of the final Stormwater Pollution Prevention Plan (SWPPP) required by the U.S. Environmental Protection Agency (EPA) to the Town at or prior to the pre-construction conference.

- D. A schedule for the removal and import of earth materials shall be provided. This schedule shall state the size of the trucks or other vehicles to be used, their gross vehicle weight, the estimated number of trips per day for each vehicle, the travel routes to be taken by the vehicles, and the approximate proposed hours of operation for such activities. A description of the clearing procedures to be used shall also be provided.

Commented [A15]: What you think about this?

s. **208 – 2 Site Maintenance During Construction**

- A. The developer and contractors shall comply with the Sediment and Erosion Control Plan included in the site plan set. *See s. 204-5, D. 5 of these Rules and Regulations.*
- B. Any construction site is required to have a stone mat construction entrance for a minimum of fifty feet or as site constraints allow. The stone mat shall be maintained regularly to allow for proper reduction of sediment tracking onto adjacent roadways. In events where excessive mud is generated at the site, wheel washing stations may be required to further prevent sediment tracking onto Town ways.
- C. Construction of the approved development shall not create any significant emission of light, noise, dust, fumes, odors, noxious gases, radiation, or water pollutants, or any other similar significant adverse environmental impacts without suitable mitigation measures and remedies.
- E. The Applicant or his successor shall maintain, in a manner satisfactory to the Board, the site improvements, infrastructure and amenities and provide for the repair of all such improvements. Maintenance shall commence during the construction and continue until approval of the as-built plan. Such maintenance shall include snow removal and upkeep of the stormwater management facilities.
- F. Poor site maintenance, lack of active management, not following SWPPP requirements, and the construction phase Operations and Maintenance plan, failure to respond to corrective actions prescribed by the board or consulting engineer, may be reasons for the Board to withhold its authorization of a building or occupancy permits.
- G. Upon completion of all work on the site, the Developer shall remove from the site and adjoining property, all temporary structures, all surplus material, debris, tree stumps, loose rocks, silt fences and synthetic erosion control measures unless authorized by an Order of Conditions to be left in place, and such rubbish which may have accumulated during construction, and shall leave the work site in a neat and orderly fashion.

s. **208 – 3 Construction Inspections and Reporting**

- A. The Board may determine site inspections of the infrastructure and site improvements and the ongoing maintenance of such are necessary to ensure that the development project is constructed to comply with the approved site plan and *Decision*. It is the Board's standard practice to do so. Such inspections shall be performed by the Town's Consulting Engineer, Town staff, or a Board member. The Board may determine that the assistance of outside consultants is needed to monitor construction of the development due to the size, scale, or complexity of the approved project or because of its impact on the Town. If the Board determines that such consultant services are required, the Applicant shall pay a Construction Services fee prior to the Board's endorsement of the plan. *See s. 209 – 1. C. of these Rules and Regulations.*

- B. The Developer or its representative shall notify the Town's Consulting Engineer at least 48 hours in advance of needed inspections.
- C. Site plan projects with a land disturbance area of one acre or more are required to provide copies of all required SWPPP inspection reports and corrective action reports to the Board and the Consulting Engineer for review during the construction term of the project.

s. **208 – 4 Modification of Approved Site Plans and Decisions** - Construction work shall comply with the approved site plan, unless the Developer requests approval of a modification to the site plan and/or *Decision* and such approval is provided pursuant to any one of the methods specified below:

- A. *On-Site Field Changes* - During construction, the Developer may be authorized to make limited, minor, on-site field changes to an approved site plan project based on unforeseen site or job conditions, situations, or emergencies necessitated by field conditions or due to practical considerations. These field changes shall not alter items which may affect the site's compliance with the *Zoning Bylaw* or these regulations or conflict with a specific condition of the decision. Field changes shall not substantially alter the intent, layout or design of the endorsed site plan.

Commented [A16]: Any ideas for further edits to help describe what constitutes a field change???

- 1) Prior to undertaking such field changes, the Developer and/or contractor shall discuss the possible field changes with the Town's Consulting Engineer and submit a letter and drawings to the Planning and Economic Development Coordinator and the Building Commissioner describing the proposed changes and what conditions, situations, or emergencies necessitate such changes. In accordance with Section 3.5.2.C of the *Zoning Bylaw*, the Building Commissioner may determine that the field change is insubstantial, authorize the change, and so notify the Board. Otherwise, the Board shall review the proposed field changes at a public meeting and determine whether the proposed field changes are reasonable and acceptable based on the unforeseen conditions, situations, or emergencies and whether other options are feasible or more suitable.
- 2) The Board shall prepare a Field Change Decision to document whether the field change is authorized. The Decision may include suitable conditions. The Field Change Decision shall be provided to the Developer and the Building Commissioner. Any approved field change shall be made a permanent part of the approved site plan documents and shall be shown on the final as-built plan.
- 3) The Board may determine that a proposed field change or a combination of field changes are such that the proposal warrants consideration as a plan modification. If so, the modification shall be handled in accordance with the provisions for reviewing and approving the corresponding category of site plan modification by the Board.

- B. *Major Site Plan Projects*

- 1) *Plan Modification*

- a) Proposed modifications (not including on-site field changes) to a previously approved major site plan shall be subject to review by the Board.
 - b) Plan modifications include, but are not limited to, the following, if deemed significant by the Town's Consulting Engineer:
 - 1. Changes in the design of the stormwater management facilities
 - 2. Changes in the location, dimensions and composition of buffer areas and screening measures
 - 3. An increase in the size of a building footprint in excess of 10%
 - 4. An increase in the height of a building
 - 5. A change in the location of a building on the site
 - 6. A change in the location and quantity of curb cuts (access and egress points)
 - 7. A change in the layout of parking
 - 8. An increase in the quantity of parking
 - c) The request for a *Modification* to a previously approved major site plan shall be subject to the same application and review process including a public hearing as provided in ARTICLE IV – Major Site Plan Review of these *Rules and Regulations* including the payment of plan modification filing fee and plan review fee. The Board shall issue its *Modification Decision*, file such with the Town Clerk, and provide copies to the Building Commissioner, other Town officials and the Developer. Any modifications approved by the Board shall be made a permanent part of the approved site plan project documents and shall be shown on the final as-built plan.
- 2) *Decision Modification* – If the Developer proposes a modification to the original *Decision* for a major site plan including any specific condition thereof, the Board shall conduct a public hearing on the proposed change. Any application for a modification to the previously issued *Decision* shall be filed with the Board along with the modification filing fee. Any decision modification approved by the Board shall be filed with the Town Clerk, provided to the Building Commissioner, the Town's Consulting Engineer, and the Developer, and made a permanent part of the project record.

C. *Minor Site Plan Projects*

1) *Plan Modification*

- a) The Developer shall submit a letter to the Building Commissioner and the Board describing the proposed changes to a previously approved minor site plan project and the reasons for the proposed modifications. If proposed modifications to a previously approved minor site plan project are such that the changes would result in the development meeting the criteria for Major Site Plan Review pursuant to Section 3.5.3.A.1. of the *Zoning Bylaw*, the modification shall be handled in accordance with the

provisions for reviewing and approving a Modification to a Major Site Plan project as specified in s. 208 – 4 B. of these *Rules and Regulations*.

- b) Modifications of minor site plan projects, other than insubstantial field changes as provided in Section 3.5.2.C of the Zoning Bylaw, require review by the Board as an agenda item during a public meeting. The request for a modification to a previously approved minor site plan shall be subject to the same application and review process for Minor Site Plan Review as described in ARTICLE V. - MINOR SITE PLAN REVIEW of these *Rules and Regulations*, including the payment of fees. A written *Modification Decision* shall be prepared by the Board and filed with the Town Clerk, Building Commissioner and the Town's Consulting Engineer. Any modifications shall be made a permanent part of the approved site plan record and shown on the as-built plan presented for project completion.
- 2) *Decision Modification* – If a modification is needed to the original *Decision* for a previously approved minor site plan project, the Board may review and act on the proposed modification at a public meeting without a public hearing. Any application for a modification to the previously issued *Decision* shall be filed with the Board along with the modification filing fee. Any decision modification approved by the Board shall be filed with the Town Clerk, provided to the Building Commissioner, the Town's Consulting Engineer, and the Developer, and made a permanent part of the project record.

D. *Administrative Site Plan Projects*

1) *Plan Modification*

- a) Proposed modifications to a previously approved administrative site plan project shall be subject to *Administrative Review* as described in ARTICLE VI – ADMINISTRATIVE SITE PLAN REVIEW of these *Rules and Regulations*. The Developer shall follow the same application and review process as provided herein including the payment of fees. Any modifications approved by the Team shall be made a permanent part of the approved site plan record. A written Administrative Site Plan Modification *Decision* shall be prepared by the Team and filed with the Town Clerk.
- b) The Team may determine that a proposed modification to a previously approved administrative site plan project is such that the change would result in the development meeting the criteria for *Minor or Major Site Plan Review*. If so, the modification shall be handled in accordance with the provisions for reviewing and approving those categories of site plan by the Board.
- c) The Applicant may appeal an *Administrative Site Plan Modification Decision* to the Board within twenty days of the date the *Decision* was filed with the Town Clerk.

- 2) *Decision Modification* – If a modification is requested to the original Administrative Site Plan Decision for an administrative site plan project, the Team shall review and act on the proposed modification. A written *Decision* shall be filed with the Town Clerk.

E *Modification Expenses* - Whenever additional reviews by the Board, its staff or consultants, or the Team are necessary due to proposed modifications, the Developer shall be billed and be responsible for the supplemental costs incurred including site plan filing fees, plan review fees, and all costs associated with another public hearing including legal notice. If the proposed revisions affect only specific limited aspects of the site, the Board may reduce the scope of the required review and waive part of the Filing and Review Fees. Supplemental fees must be paid in full before the Board approves site plan modifications.

s. 208 – 5 *Compliance*

A. *Construction Inspection* – The Board may determine site inspections are necessary to ensure that the development project is constructed to comply with the approved site plan and *Decision*. It is their standard practice to do so. These shall be performed by Town staff, the Board’s consultant or Agent, or a Board member. The Board may determine that the assistance of outside consultants is needed to monitor construction due to the size, scale, or complexity of the approved project or because of its impact on the Town. If the Board determines that such consultant services are required, the Applicant shall pay a Construction Services fee prior to the Board’s endorsement of the plan. See s. 209 – 1. C. of these *Rules and Regulations*.

B. *Occupancy Permit*

- 1) See Section 3.5.2 of the *Zoning Bylaw*.
- 2) The Board shall not authorize an occupancy permit until the following items, at a minimum, have been installed, inspected, and approved by the Board or its Agent:
 - a) Gravel sub-base
 - b) Binder course
 - c) Drainage system completed to the proposed outfall with frame and grates set to binder grade, as well as detention basins, swales, infiltration systems or any other stormwater management facilities.
 - d) As-built plan of each detention pond and forebay contoured in two foot (2') intervals; and all critical elevations and details of the structures, pipes and headwalls within the detention pond area.
 - e) Stop line pavement markings.
 - f) Sidewalk binder
 - g) Provisions for fire prevention and protection, such as a cistern, dry hydrant system or municipal water service which are constructed, installed and functional.
 - h) What else??

Commented [A17]: This is new. This language is borrowed from the Subdivision Rules and Regulations and may not be perfectly suitable for site plan projects.

C. *Performance Security*

- 1) If a Developer seeks an occupancy permit before completion of the approved site improvements, the Developer may request that the Board accept a deposit of

funds or other form of security acceptable to the Board and the Treasurer/Collector sufficient to assure the satisfactory completion of site improvements, landscaping and amenities, and all off-site mitigation measures as shown on the approved plan. Whether to accept such security in lieu of completion of the project shall be determined by the Board in its sole discretion.

- 2) The Board shall determine a reasonable and sufficient amount to cover the Town's cost to complete the work if the Developer fails to do so. The Town's Consulting Engineer shall prepare an estimate of the current cost to complete the work that remains unfinished at the time the occupancy permit is requested. The estimate shall be based on unit prices in the latest Weighted Average Bid Prices by the Massachusetts Department of Transportation. The estimate shall also include the cost to maintain the infrastructure, site improvements and amenities, and off-site mitigation measures in the event the Developer fails to adequately perform such. The estimate shall reflect the cost for the Town to complete the work as a public works project, which may necessitate additional engineering, inspection, legal and administrative fees, staff time and public bidding procedures. A contingency of up to thirty percent shall be added to the total estimate. The Board shall approve the estimate and notify the Town Treasurer/Collector and the Building Commissioner of the approved amount. A performance security agreement shall be executed by the Developer, the Board, and the surety.

Commented [A18]: Do you want to increase the % of performance contingency?

s. 208 – 6 Project Completion

- A. *Construction Deadline* - Site plan approval shall lapse after two years of the grant thereof, which shall not include such time required to pursue or await the determination of an appeal under s. 204-9 or s. 205-9 of these *Rules and Regulations*, if construction has not commenced except for good cause. Upon receipt of a written request by the Developer filed at least thirty days prior to the date of expiration, the Board shall consider the request at a public meeting and may grant an extension for good cause. Such extension shall not exceed two years beyond the original expiration date of the site plan approval.

B. As-Built Plans

- 1) Developers of *Major and Minor Site Plan Projects* shall provide an as-built plan stamped by a Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, which shall show actual as-built locations and conditions and any plan modifications authorized by the Board. See Section 6.7 of the *Medway Subdivision Rules and Regulations* for as-built plan requirements. The as-built plan shall be accompanied by a certification from a Registered Professional Engineer that the site has been developed in substantial conformance with the approved site plan.
- 2) Developers of *Administrative Site Plan Projects* shall provide an as-built plan showing the as-built locations of the constructed site work.

C. *Certificate of Site Plan Completion: Major and Minor Site Plan Projects*

- 1) Before the Board issues a *Certificate of Site Plan Completion*, the following items must be completed or provided to the satisfaction of the Board:
 - a) Receipts to document cleaning of the stormwater system
 - b) A signed statement from the Developer and/or Owner committing to the ongoing maintenance of the stormwater management facilities per the Post Construction Stormwater Management Plan and replacement of landscaping.
 - c) Removal of erosion controls
 - d) Full stabilization of the site
 - e) Off-site improvements
- 2) Upon completion of all required improvements as shown on the approved Site Plan, including any off-site mitigation measures, the Developer's engineer shall submit a letter verifying completion to the Board. The letter shall certify that the project, as constructed, substantially conforms to the approved site plan and that any provisions of the *Decision* including construction of any required on and off-site improvements have been completed.
- 3) The Board's Agent or a Board member shall conduct a final inspection of the site within thirty days of the filing of the Developer's engineer's letter with the Board and provide a written report and punch list to the Board and Developer identifying any remaining work to be completed.
- 4) The Board shall determine if all work has been completed in substantial conformance with the Site Plan approval. The Board may consult with its Consulting Engineer, the Conservation Commission, Department of Public Works, Building Commissioner, Treasurer/Collector and other Town boards, committees and departments to help it determine whether the project is complete and all obligations to the Town are fulfilled including payment of taxes and fees. If so, the Board, at its next regularly scheduled meeting, shall sign a *Certificate of Site Plan Completion* to document that the project as constructed has been completed, in its opinion, in conformance with the approved site plan and any conditions, including construction of any required on and off-site improvements. If a *Certificate of Site Plan Completion* is not signed, a complete list of work to be completed on or off-site in compliance with the approved site plan and *Decision* shall be provided to the Developer.

Commented [A19]: What if there is an outstanding enforcement in effect for the project from another board/department, such as with ConCom? Should PEDB withhold its sign off? Perhaps we hold this over to discuss in the future.

D. *Certificate of Site Plan Completion: Administrative Site Plan Projects*

- 1) Upon completion of all required improvements as shown on the approved Site Plan, the Developer shall contact the Community and Economic Development office to request a *Certificate of Site Plan Completion*.
- 2) A Team member or the Board's Agent shall inspect the site to determine if the project has been completed in substantial conformance with the approved scope of work and all conditions. The Team may consult with other Town boards, committees and staff to help with its determination. If so, the Team, shall sign a *Certificate of Site Plan Completion*. If not, a complete list of work to be

completed in accordance with the approved site plan and *Decision* shall be provided to the Developer.

s. **208 – 7 Post Construction On-Going Maintenance** – The Owner shall maintain site amenities, landscape installations, and stormwater management facilities in good condition throughout the life of the facility and to the same extent as shown on the endorsed site plan and in accordance with the approved long term stormwater operations and maintenance plan including reporting requirements. Failure to carry out the long term stormwater operations and maintenance plan is a violation of the site plan permit. Trees, shrubs, bushes and other landscape features shown on the plan which die or become diseased shall be replaced by the following planting season.

ARTICLE IX FEES

s. **209 – 1 Fee Structure** – The Board shall adopt a *Fee Schedule*, which shall specify the amount of filing and other applicable fees.

- A. *Site Plan Filing Fee* - A non-refundable *Site Plan Filing Fee* as specified in the Board's *Fee Schedule* shall be remitted to the Board at the time the site plan application is filed with the Board.
- B. *Site Plan Review Fee*
 - 1) *Applicability* – A *Site Plan Review Fee* shall be established by the Board or the Team for review of the site plan based on an itemized budget estimate prepared by an outside consultant(s). This fee shall be the reasonable costs to be incurred to retain outside consultant(s) to assist in the review of the proposed project. The *Site Plan Review Fee* shall not be a fixed amount but will vary depending on the nature and scale of the project and the expected costs to be incurred. See the Board's *Fee Schedule*.
 - 2) *Fee Payment* - The Applicant shall remit a deposit toward the *Site Plan Review Fee* at the time the site plan application is submitted pursuant to the Board's *Fee Schedule*. The balance shall be remitted by the Applicant upon receipt of an invoice from the Board or the Department of Community and Economic Development prior to the substantive review of the application by the outside consultants, and before the public hearing or meeting commences. Failure to pay the full *Site Plan Review Fee* before the public hearing or meeting begins may delay the public review process and constitute grounds for denial of the proposed site plan.
 - 3) *Additional Review Fees* – If the expense of the consultant(s)' review of the site plan exceeds the original estimate or if the services of additional outside consultants be required after the initial *Site Plan Review Fee* has been expended, the Applicant shall be required to pay all additional fees incurred to cover the cost of additional reviews. A new estimate for additional plan review services shall be prepared and remitted to the Applicant. The Applicant's failure to pay plan review fees in their entirety shall constitute grounds for the Board or the Team to deny approval and endorsement of the plan.

C. *Construction Services Fee*

- 1) *Applicability* – The Board may establish a *Construction Services Fee* for the reasonable costs to be incurred by the Board to retain outside consultant(s) to assist in the inspection of the construction and on-going maintenance of the development's infrastructure and the review of any legal documents associated with performance security and project completion. The *Construction Services Fee* shall not be a fixed amount but will vary with the scale of the project and the expected costs to be incurred by the Board.
- 2) *Fee Payment* - The Applicant shall remit the *Construction Services Fee* to the Board before the site plan is endorsed. Failure to pay the *Construction Services Fee* shall constitute grounds for the Board to not endorse the site plan.
- 3) *Additional Fees* – If the expense of the consultant(s)' services exceed the original estimate, or if the services of additional outside consultants be required after the initial *Construction Services Fee* has been expended, the Developer shall be required to pay all additional fees incurred to cover the additional cost. The Board shall prepare a new estimate for additional construction services and remit an invoice to the Developer for payment.

D. *Other Costs and Expenses* - All expenses for professional plan reviews, ancillary report reviews, supplemental studies, advertising, publication of notices, and all other expenses in connection with Site Plan Review and construction including plan or decision modification fees shall be borne by the Applicant and/or Developer.

s. **209 – 2** *Payment of Fees*

- A. Fees paid shall be by check made payable to the **Town of Medway** and submitted to the Planning and Economic Development office.
- B. When the *Site Plan Review Fee* and *Construction Services Fee* are received by the Board or the Team pursuant to this section, they shall be deposited with the Town Treasurer/Collector in special accounts for these purposes established pursuant to G. L. c. 44, Section 53G. Expenditures from the special account may be made without further appropriation. Expenditures from the special account shall be made only for services rendered in connection with a specific project or projects for which a fee has been or will be collected. Accrued interest may also be spent for this purpose.
- C. At the completion of the project, any excess amount in the plan review and construction accounts, including interest, attributable to a specific project shall be repaid to the Applicant or Developer or their successor in interest. Upon request, a final report of said account shall be made available. For the purpose of these *Rules and Regulations*, any person or entity claiming to be the Applicant's successor in interest shall provide the Board or the Team with documentation establishing such succession in interest.

These *Site Plan Rules and Regulations* were adopted by a vote of the Medway Planning and Economic Development Board following proper legal notice published twice in the *Milford Daily News* and a copy thereof filed with the Town Clerk. These amended *Rules and Regulations* take effect on the date of the filing of the approved document with the Town Clerk.

Originally adopted: April 14, 1998
Amended: April 25, 2000
Amended: March 13, 2001
Amended: November 1, 2001
Amended: July 9, 2002
Amended: December 3, 2002
Amended: xxxxxx

Attest:

_____	_____
Susan E. Affleck-Childs	Date
Planning and Economic Development Coordinator	

A true copy attest:

_____	_____
Maryjane White	Date
Town Clerk	

DRAFT

Medway Planning and Economic Development Board Rules & Regulations for Submission, Review and Approval of Site Plans

APPENDIX A – Low Impact Development Resources

<https://www.mass.gov/low-impact-development>

<https://www.mass.gov/service-details/smart-growth-smart-energy-toolkit-modules-low-impact-development-lid>

<https://www.mapc.org/resource-library/low-impact-development-toolkit/>

<http://www.lid-stormwater.net/background.htm>

<https://www.massaudubon.org/our-conservation-work/advocacy/shaping-the-future-of-your-community/saving-land-water-money-with-lid>

<https://lowimpactdevelopment.org/>

<https://www.wbdg.org/resources/low-impact-development-technologies>

<https://www3.epa.gov/region1/npdes/stormwater/assets/pdfs/BMPRetrofit.pdf>

<https://www.mass.gov/files/documents/2017/11/03/Low%20Impact%20Development%20%28LID%29%20for%20developers.pdf>

<https://www.wbdg.org/resources/low-impact-development-technologies>

<https://www.epa.gov/sites/production/files/2015-09/documents/bbfs3cost.pdf>



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Salmon Senior Living Community – Field
Change re: Versa Lock product for
bridge abutments**

- Collection of emails with Salmon project manager Rachel Whitermore, SAC and Steve Bouley about proposed change in size of Versa Lock block.

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Friday, October 04, 2019 12:14 PM
To: Rachel Whitermore; Jeff Robinson
Cc: Bridget Graziano; Steve Bouley ; Michael Boynton; Barbara Saint Andre
Subject: Willows at Medway - Retaining Walls

Importance: High

Good morning,

I communicated this morning with Steve Bouley about the requested field change re: the size of the blocks for the abutments for the bridges. See his email below.

I forwarded this email trail to Conservation Agent Bridget Graziano. You need to contact her directly as soon as possible to discuss. Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Friday, October 04, 2019 10:29 AM
To: Susan Affleck-Childs
Subject: RE: Willows at Medway - Retaining Walls

Hi Susy,

I can check with Brad but I don't think they had come to us with this change.

As long as the new walls meet the structural requirements and DRC is happy with their look I don't see an issue.

As far as wetland impacts, as long as the face of the wall matches what is on the plan there should be no more wetland impact than what was originally proposed. I would expect similar footing prep for installation of the wall which is the primary impact (which should only be a temporary impact, not sure how conservation sees temp impacts) to the existing grade but the footing may have to be larger due to the size of the block. That should certainly be confirmed and this should certainly go to conservation since that is in their jurisdiction.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer | Tetra Tech
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | steven.bouley@tetrattech.com

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From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Friday, October 4, 2019 9:45 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: Willows at Medway - Retaining Walls

⚠ **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. ⚠

Hi Steve,

See emails below between Rachel Whitermore and me. Had they discussed this with you at all?

Any issues with this field change on the size (and therefore structural capability) of the versa lock blocks for the abutments to the two bridges?

Do you anticipate any impact on wetland resources from this change?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Rachel Whitermore [<mailto:rwhitermore@willowsatmedway.com>]
Sent: Tuesday, October 01, 2019 2:33 PM
To: Susan Affleck-Childs
Cc: Jeff Robinson
Subject: RE: Willows at Medway - Retaining Walls

Good Afternoon Susy,

Versa-Lok is 18" x 8" x 12" while the Bronco-Block is 68" x 30" x 42". Again, this is just at the bridge abutments and is required to meet the structural loading. Please let me know if you have any further questions.

Thanks,
Rachel



Rachel Whitermore
Project Manager
800 South Main Street
Mansfield, MA 02048
c. 774.217.3242

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Monday, September 30, 2019 8:02 AM
To: Rachel Whitermore <rwhitermore@willowsatmedway.com>
Cc: Jeff Robinson <jrobinson@salmonhealth.com>
Subject: RE: Willows at Medway - Retaining Walls

Thanks Rachel,

Please provide information on the relative sizes of the two different varieties.

Also, please send me a new update for the web site.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Rachel Whitermore [<mailto:rwhitermore@willowsatmedway.com>]
Sent: Saturday, September 28, 2019 9:02 AM
To: Susan Affleck-Childs
Cc: Jeff Robinson
Subject: Willows at Medway - Retaining Walls

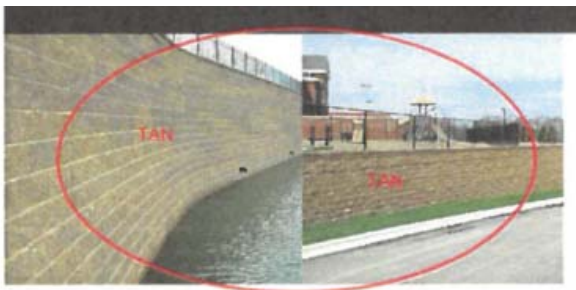
Good Morning Susy,

Over the last few months, we submitted shop drawings for both the timber bridges (Waterside Run and Willow Pond Circle) as well as the retaining walls – most of which are installed now. In reviewing the engineering of both these systems, it was identified that the small Versa-Lok blocks did not have enough structural capacity to provide the load rating at the bridges. The bridge abutments needed to be changed to Bronco Block to meet the load rating.

Bronco Block is manufactured by Versa-Lok but is just bigger and can be filled with concrete. These blocks needed to be modified at the bridge abutments only as the design/engineering did not work. The permitted set of drawings just shows examples of landscape walls and the color so I don't think sizing was specifically mentioned. You will not even see these blocks as they are located under the bridges. I have included sample pictures below to show the minimal difference.

We are preparing to start prep of these bridge areas in the next few weeks and did not want anyone to be surprised when visiting the site. Please advise if you need any further information from me on this item.

Thanks,
Rachel





**The WILLOWS
& WHITNEY PLACE**
INDEPENDENT & ASSISTED LIVING

Rachel Whitermore
Project Manager
800 South Main Street
Mansfield, MA 02048
c. 774.217.3242



October 8, 2019

**Medway Planning & Economic Development Board
Meeting**

**Fall Town Meeting – Zoning Bylaw
Amendments**

UPDATED

- **10-7-19 revised draft of proposed Outdoor Storage amendment. Edits offered by Barbara Saint Andre.**

I would like you to review and discuss the attached draft. There are several items noted in **yellow** that need discussion and refinement.

Outdoor Storage

Revised 10-7-19 (BJS edits)

ARTICLE ____: To see if the Town will vote to amend the Zoning Bylaw by revising the definition of Outdoor Storage in SECTION 2 DEFINITIONS as follows: Added language is **bolded**.

Outdoor Storage – The outside storage or display of materials, **supplies, goods or manufactured products, equipment, machinery, vehicles, and pallets**, produced or used by ~~or associated with~~ the principal use of the property, for more than a twenty-four hour period. **Also includes cargo storage containers and membrane structures which are located on the premises.**

Commented [BSA1]: This seems too vague, and not needed.

And by adding the following definitions in SECTION 2 DEFINITIONS as follows:

Cargo Storage Container – A standardized container that is:

- **Designed for or used in the packing, shipping, movement or transportation of freight, articles, goods or commodities; or**
- **Designed for or capable of being mounted or moved on a rail car; or**
- **Designed for or capable of being mounted on a chassis for movement by a truck trailer or loaded on a ship**

and is used for outside storage accessory to and in support of the principal use on the site. Also known as a shipping container or POD (portable on demand) storage system.

Bulk Storage - Exposed outside storage of sand, lumber, coal, mulch, gravel, stone, soil, aggregate, wood chips, earth materials, or other bulk materials, and bulk storage of liquids in tanks.

Construction Trailer – A modular or portable structure located on the premises of a construction project and used primarily to accommodate temporary offices for developers and contractors during a construction project. May include eating facilities and meeting space. Construction trailers may not be occupied overnight by employees or security personnel, and may not be utilized as a construction equipment storage container.

Dumpster - Any container (other than a conventional trash barrel) intended for the temporary storage of rubbish, garbage, trash, or refuse of any sort and designed to be hoisted and emptied into a truck for removal.

And to add a new sub-section 7.1.3 Outdoor Storage in Section 7.1 Site Development Standards as follows:

7.1.3 Outdoor Storage

- A. Purposes – The purposes of this Sub-Section 7.1.3 are to protect the health, safety, and welfare of the Town's residents, to provide for the appropriate location and design of outdoor storage areas in certain business and industrial zoning districts, to ensure that outdoor storage areas are suitably screened from view for residential abutters and the travelling public, and to establish limitations to mitigate any adverse impacts that outdoor storage may have on adjacent properties and rights-of-way.
- B. Applicability

1. Outdoor storage is allowed as an accessory use for business uses in the Business-Industrial and Energy Resource districts and for industrial uses in the Business-Industrial, Energy Resource, East Industrial, and West Industrial zoning districts, subject to the regulations herein.
2. Outdoor storage and bulk storage are not permitted as a principal use anywhere in the Town of Medway.
3. These regulations do not apply to temporary outdoor storage of construction materials at construction sites with an active building or development permit issued by an agency of the Town of Medway, construction trailers, and dumpsters as defined in the Zoning Bylaw.

C. Requirements

1. Outdoor storage is allowed as an accessory use only when located on the same lot as and accessory to a principal use which includes a building of at least [redacted] sq. ft. from which the principal use business is conducted~~its business~~.
2. The ground area devoted to outdoor storage shall not exceed 30% of the lot area. Any outdoor storage area or combination of areas which when combined exceeds 30% of the site requires a special permit from the Zoning Board of Appeals.
3. Outdoor storage areas on commercial or industrial properties which abut residentially used properties shall be fully screened from the abutting residential properties with fencing and/or densely planted landscaping or buffer area at least six feet high ~~or~~ Higher screening may be required if what is stored is greater than six feet in height.
4. Outdoor storage areas on commercial or industrial properties which are visible from a public or private way or from publicly accessible areas shall include fencing (or walls) and/or densely planted landscaping or a buffer area at least six feet high ~~or~~ Higher screening may be required if what is stored is greater than six feet in height.
5. The accumulated height of the contents of an outdoor storage area shall not exceed [redacted] feet.
6. Outdoor storage areas shall not be permitted within any drive aisles, fire lanes, parking spaces, zoning setback areas, floodways, resource areas under the jurisdiction of the Medway Conservation Commission, or on steep slopes of 15% or greater.
7. Outdoor storage areas shall be comprised only of items that are produced or used by ~~associated with~~ a business operating in a building on the premises.
8. Outdoor storage areas on property located within the Groundwater Protection District are also subject to the provisions of Section 5.6.3 herein.
9. Do we want to include an option to allow outdoor storage as an accessory use in other business zoning districts (CB, Village Commercial, and/or Neighborhood Commercial) by special permit from the Zoning Board of Appeals?
10. What about outdoor storage in residential districts, particularly the use of membrane structures to store boats or which are used instead of sheds?

Commented [SA2]: PEDB needs to discuss.

Commented [SA3]: PEDB needs to discuss

Commented [SA4]: PEDB needs to discuss.

Commented [BSA5]: For what it is worth, I would say no, let's not expand it at this point.

Commented [SA6]: PEDB needs to discuss.

Commented [BSA7]: If this is not an issue, perhaps best to leave alone. Isn't this covered by section D. below? Allowed for up to 180 days.

D. Temporary Use of Cargo Storage Containers and Membrane Structures are allowed as follows:

1. During construction of or at a residential building for a period of one hundred and eighty days or less.
2. For any other purpose so long as the temporary cargo storage container or membrane structure remains on site for no longer than one hundred eighty days per year, fits on the driveway or hard surface, does not protrude into the right-of-way, is not positioned within the zoning setback area, and does not impede sight distance.
3. Any use of a cargo storage container or membrane structure as temporary outdoor storage for a period longer than one hundred eighty days requires a special permit from the Zoning Board of Appeals.

E. Outdoor Storage Requirements for Vehicle Sales

1. All vehicles shall be parked on asphalt or concrete or enclosed within a building. They may not be parked on gravel, grass or any other pervious surfaces.
2. All parked vehicles, vehicle parking services, and vehicle displays shall meet the zoning district's setback requirements.
3. All parked vehicles shall not be parked in the right-of-way nor block or impede site access, sidewalks or driving aisles.

And to add item 15. "Bulk Storage" as a prohibited use in Section 5.2 USE REGULATIONS - PROHIBITED USES, B. as follows. **Added text is noted in bold.**

5.2 PROHIBITED USES

- A. Any use not listed in Section 5.4, Schedule of Uses, or otherwise **not** allowable under the provisions of this Zoning Bylaw is prohibited.
- B. All uses that pose a present or potential hazard to human health, safety, welfare, or the environment through emission of smoke, particulate matter, noise or vibration, or through fire or explosive hazard, or glare are expressly prohibited in all zoning districts. In addition, the following uses are expressly prohibited in all zoning districts.
1. Abattoir and commercial slaughtering;
 2. Manufacturing and storage of corrosive, poisonous or malodorous acids and chemicals;
 3. Cement, lime, gypsum and plaster-of-Paris manufacture;
 4. Fertilizer manufacture or fat rendering in manufacture of tallow, grease, and oils;
 5. Glue, size and gelatin manufacture;
 6. Petroleum and kerosene refining or distillation and derivation of by-products;
 7. Manufacture, use, storage, transport or treatment, disposal and/or processing of explosive, toxic or hazardous materials;

8. Smelting and reduction of metals or ores;
9. Asphalt plants;
10. Concrete batch plants;
11. Reclamation and reprocessing of asphalt and/or concrete;
12. Lumber mills;
13. Self-Storage facilities;
14. Any other use that produces disturbing or offensive noise, vibration, smoke, gas, fumes, odors, dust or other objectionable or hazardous features;
15. **Bulk Storage**

No use variance shall be granted for any prohibited use set forth in this sub-section within any district in the Town of Medway.

- C. Mobile homes are prohibited, except that pursuant to Massachusetts G.L. c. 40A, Section 3, a mobile home or temporary manufactured home may be placed on the site of a residence destroyed by fire or natural disaster, for a period not to exceed twelve months while the residence is being rebuilt.

And to amend TABLE 1 Schedule of Uses in Section 5.4 SCHEDULE OF USES to add “Bulk Storage” as a prohibited use in all zoning districts.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

BOARD OF SELECTMEN RECOMMENDATION:

FINANCE COMMITTEE RECOMMENDATION: