

**Tuesday, October 27, 2020**  
**Medway Planning and Economic Development Board**  
**155 Village Street**  
**Medway, MA 02053**

**REMOTE AND LIVE MEETING**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>	<b>Jessica Chabot</b>
<b>Attendance</b>	<b>X</b>	<b>X</b>	<b>X Remote</b>	<b>X</b>	<b>X Remote</b>	<b>X</b>

Pursuant to Governor Baker’s Orders imposing strict limitations on the number of people that may gather inside in one place, attendance by members of the public will be limited due to the size of the meeting space. All persons attending this meeting are required to wear a face covering, unless prevented by a medical or disabling condition. Meeting access via ZOOM is also provided and members of the public are encouraged to use ZOOM for the opportunity for public participation; information for participating via ZOOM is included at the end of the Agenda. Members of the public may watch the meeting on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

**ALSO PRESENT IN LIVE MEETING:**

- Susy Affleck-Childs, Planning and Economic Development Coordinator

**PRESENT VIA ZOOM MEETING:**

- Amy Sutherland Recording Secretary (Zoom Participation)
- Gino Carlucci, PGC Associates (Zoom Participation)
- Steve Bouley, Tetra Tech (Zoom Participation)

Chairman Rodenhiser called the meeting to order at 7 pm.

Susy Affleck-Childs announced that members Tom Gay and Rich Di Iulio were participating remotely.

**MEDWAY PLACE SHOPPING PLAZA SITE PLAN PUBLIC HEARING CONTINUATION:**

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice dated 9-23-20.
- Email request from Attorney Gareth Orsmond dated 10-13-20 to continue the public hearing to 11-24-20.

**On a motion made by Matt Hayes, and seconded by Rich Di Iulio, the Board voted by Roll Call vote to continue the hearing for Medway Place Shopping Plaza Site Plan to November 24, 2020 at 7:15 pm.**

**Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

**CONSTRUCTION REPORTS:**

The Board is in receipt of the following Tetra Tech construction reports: **(See Attached)**

- Salmon Report #56 dated 10-1-20
- Salmon Report #57 dated 10-8-20
- William Wallace Village Report #8 dated 10-8-20

**Salmon:**

Consultant Bouley informed the Board that the western portion of the site along Willow Pond Circle is firm. There are straw wattles placed at the base of the large loam pile at the entrance.

**William Wallace:**

The contractor has started rough grading of Sterling Circle. The footings were poured for the Building for dwelling Units 1 and 2. The construction of foundations will continue.

**Millstone:**

The Millstone drainage modification work is going well. A punch list inspection list has been started. There is a \$96,000.00 bond in place.

**APPLEGATE ROAD-LAYOUT:**

The Board is in receipt of the following: **(See Attached)**

- 10-20-20 email from BOS requesting the Board's recommendation on roadway layout
- Street Acceptance Plan dated October 12, 2020
- Email dated October 22, 2020 from Steve Bouley

The Board is in receipt of an email from the Board of Selectmen requesting that the Planning and Economic Development Board make a recommendation on the roadway layout for Applegate.

**On a motion made by Bob Tucker and seconded by Matt Hayes, the PEDB voted by roll call to recommend that the Board of Selectmen approve the roadway layout for Applegate Road as represented on the Applegate Road Street Acceptance Plan dated October 21, 2020 prepared by GLM.**

**Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

**HARMONY VILLAGE PUBLIC HEARING CONTINUATION:**

The Board is in receipt of the following: (**See Attached**)

- Public Hearing Continuation Notice dated 9-23-20
- Revised Site Plan Concept dated 10-22-20
- Revised building elevations and floor plans dated 10-19-20 for a 4-unit quad building.
- Sheet C-3 of the Harmony Village site plan set dated 9-8-2020 (showing one duplex and one triplex)

The Chairman opened the continued public hearing for Harmony Village.

Applicant Gary Feldman and project engineer Drew Garvin were present and explained that the site plan has been revised. The revised concept plan includes a 4-unit quad building. The previous plan was for a 5 units (one duplex and one triplex). The new plan was shown in Share Screen. The revised plan reduces the massing on site and the impervious surface area. The infrastructure in the front stays the same. There is a turnaround for parking. There will be 21 parking spaces. There was a recommendation to have the applicant present this new revised plan to the Design Review Committee (11-2-20 meeting). The discussion was opened to the Board members. There continues to be concerns about the size of the units. It appears that part of the building is being hidden and does not connect well with Unit 5 and Unit 4. The consensus is this is a better plan but there is a suggestion to reduce the square footage. The Board would like to know if this was reviewed by the Fire Department.

**Abutter Cathy Sutton, 216 Main Street:**

This abutter was asking about the removal of trees and the lighting. The applicant responded that trees will be removed in the middle of the site. The trees will remain in the northwest portion of the site. The perimeter trees will stay. The houses will have light sconces. There are only three lampposts proposed. These are residential scale lamp posts.

**Abutter, Denise Hallman, 212 Main Street:**

She agrees that the reduction of density does help. She asked if the size of the living spaces of the units can be reduced. Do all the units need two car garages? The applicant responded that the average footprint of homes in the area is 1,400 square feet. These units are comparable to what is in the neighborhood except for the garages. The applicant also responded that the two car garages are highly desirable.

**Consultant Comments:**

Consultant Carlucci responded that he likes this alternative and will review once this is fully integrated into the site design. Consultant Bouley will be looking at the stormwater for this

project. Consultant Bouley would like an updated stormwater report with the newly revised plan.

There was a question if there will be patios attached to the houses. The applicant responded that there will be no patios attached to the homes.

Abutter, Cathy Sutton 216 Main Street:

She wanted to know when the applicant was planning on breaking ground.

Gary Feldman responded that they hoped to start in the Spring.

**On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted by Roll Call to continue the public hearing to November 24, 2020 at 7:30 pm.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**MEDWAY DPW BUILDING SITE PLAN COMPLETION STATUS:**

The Board is in receipt of the following: (See Attached)

- As-Built Survey Plan dated September 22, 2020 by Reed Land Surveying, Inc. of Lakeville, MA

The new Medway DPW building project is approaching completion. The Board has received an as-built survey plan. There are no separate construction observation funds and Tetra Tech has not been involved in construction inspections. PEDB Member Matt Hayes will conduct a site visit and review the as-built plan and report back to the Board.

**PEDB MEETING MINUTES:**

**October 13, 2020 and October 20, 2020:**

**On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to approve the PEDB meeting minutes of October 13, 2020 and October 20, 2020 as presented.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye



### **MASS DEVELOPMENT SITE READINESS GRANT:**

The Medway Redevelopment Authority plans to submit an application to MassDevelopment for its Site Readiness grant program for \$100,000 to assist in the predevelopment phase of the Oak Grove Urban Renewal Area. If successful, funds would be used for title search, legal work, appraisals, etc.

**On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted by Roll Call to support the Redevelopment Authority's application for the MassDevelopment Site Readiness Grant Program.**

### **Roll Call Vote:**

<b>Bob Tucker</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

### **TOWN OF MEDWAY WEBSITE:**

The Board viewed the Planning and Economic Development Board web page. Town Manager Michael Boynton has asked that each Department review their pages.

The following suggestions were made:

- Check to make sure the links for the videos of the meetings are posted and working.
- Add photos to the website within the project folders. It was suggested that engineering consultant Bouley could upload and provide photos which could be added to website.
- Try to get more drone photos of development sites
- Include a page for each project.
- Add a section on street acceptance
- Make sure the important links are listed and working.

### **OTHER BUSINESS:**

- There will be a community forum about the Central Business District Zoning with Mr. Brovitz via ZOOM on November 18, 2020. It was suggested to see if there could be breakout sessions when ZOOM meetings happen for the public outreach sessions.
- Town meeting is scheduled for November 16, 2020 at Medway High School.

### **FUTURE MEETINGS:**

- Tuesday, November 10, 2020
- Tuesday, November 24, 2020

### **ADJOURN:**

**On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by Roll Call vote to adjourn the meeting.**

### **Roll Call Vote:**

<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The meeting was adjourned at 8:37 pm.

Prepared by,  
Amy Sutherland  
Recording Secretary

Reviewed and edited by,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator



**October 27, 2020**

**Medway Planning & Economic Development Board  
Meeting**

**Medway Place Shopping Plaza Site Plan  
Public Hearing Continuation**

- Public Hearing continuation notice dated 9-23-20 filed with the Town Clerk
- Email request from attorney Gareth Orsmond dated 10-13-20 to continue the public hearing to 11-24-20

### Board Members

Andy Rodenhiser, Chair  
Robert Tucker, Vice Chair  
Thomas Gay, Clerk  
Matthew Hayes, P.E.,  
Member  
Richard Di Iulio, Member  
Jessica Chabot, Associate  
Member



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[www.townofmedway.org](http://www.townofmedway.org)

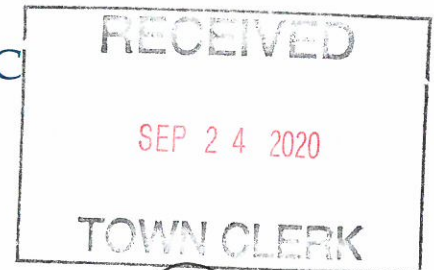
## TOWN OF MEDWAY COMMONWEALTH OF MASSACHUSETTS

### PLANNING AND ECONOMIC DEVELOPMENT BOARD

### MEMORANDUM

September 23, 2020

TO: Maryjane White, Town Clerk  
Town of Medway Departments, Boards and Committees  
FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator  
RE: **Public Hearing Continuation for Medway Place Shopping Plaza Site Plan**  
98, 108 and 114 Main Street  
Continuation Date – Tuesday, October 27, 2020 at 7:00 p.m.



At its September 22, 2020 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Medway Realty LLC of Boston, MA for approval of a site plan for proposed site improvements at the Medway Place shopping plaza to a Tuesday, October 27, 2020 at 7:00 p.m. The continuation was approved at the request of the applicant.

***This continuation is also made pursuant to Chapter 53 of the Acts of 2020, enacted April 3, 2020, which grants authority to Massachusetts planning boards to reschedule public hearings to a date not more than 45 days after termination of the COVID-19 state of emergency. Presently, there is no conclusion date for the Covid-19 emergency.***

Proposed are a series of changes in the layout of and landscaping for the 446 space Medway Place parking lot as a result of the recently completed Route 109 improvement project. The proposed parking lot work will align the plaza's parking space layout with the Mass DOT constructed boulevard style main entrance. Also proposed are new stormwater management controls to treat stormwater collected from the parking lot before it is discharged to the Town's municipal storm drain system.

The site plan and landscaping revisions are shown on *Medway Place Site Plan and Landscape Plan* dated October 16, 2019 by Howard Stein Hudson of Boston, MA. The *Drainage Improvement Plan for 98, 108 and 114 Main Street* is dated September 7, 2019 and was prepared by Grady Consulting, LLC of Kingston, MA. The documents are on file with the Medway Town Clerk and the Community and Economic Development office at Medway Town Hall. The information is also posted at the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/medway-plaza-site-plan> ***Please review the plan and forward any comments to me by October 21, 2020.*** Please don't hesitate to contact me if you have any questions.

## Susan Affleck-Childs

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**From:** Gareth Orsmond <gorsmond@PierceAtwood.com>  
**Sent:** Tuesday, October 13, 2020 12:27 PM  
**To:** Susan Affleck-Childs  
**Subject:** Medway Place Shopping Plaza

Hello Susan,

On behalf of Medway Realty LLC, I respectfully request that you continue the site plan review process to the planning board's hearing on November 24, 2020.

Thank you,

Gareth

**Gareth Orsmond**  
PIERCE ATWOOD LLP

100 Summer Street  
22nd Floor  
Boston, MA 02110  
**PH** 617.488.8181  
**FAX** 617.824.2020

One New Hampshire Ave  
Suite 350  
Portsmouth, NH 03801  
**PH** 617.488.8181  
**FAX** 603.433.6372

[gorsmond@PierceAtwood.com](mailto:gorsmond@PierceAtwood.com)

**BIO > Admitted in MA/NH**

This e-mail was sent from Pierce Atwood. It may contain information that is privileged and confidential. If you suspect that you were not intended to receive it please delete it and notify us as soon as possible.



**October 27, 2020**

**Medway Planning & Economic Development Board  
Meeting**

**Construction Reports**

- Salmon Report #56 dated 10-1-2020
- Salmon Report #57 dated 10-8-2020
- William Wallace Village Report #8 dated 10-8-2020

Brad Picard from Tetra Tech is preparing some additional construction reports. Upon receipt, I will update the file and resend to you, perhaps on Monday or Tuesday.

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 10/01/2020	Report No. 56
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 70°F P.M.

## FIELD OBSERVATIONS

On Thursday, October 1, 2020, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location with Bridget Graziano of Medway Conservation Commission (ConCom) to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm. Stockpiled construction materials, crushed stone, and soil are present throughout the main open portion of the site but appear to be properly protected from erosion. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Water truck on-site to reduce dust migration during dry conditions. Silt fence barrier (SFB) throughout the site appears to be in good condition. Some sections of SFB have fallen off the stakes and require to be reestablished, Contractor to walk the perimeter and reestablish SFB as needed, specifically to the east of Willow Pond Circle where stockpiled materials are located. Catch basins within and adjacent to Waterside Run have silt sacks installed. CB-29 and CB-30 have silt sacks installed that appear to have been recently maintained. Slope adjacent to CB-30 has is stabilized with vegetation from erosion control blankets. Erosion control blankets along the east side of Waterside Run continue to establish vegetation, hydroseeded areas adjacent to Waterside Run are establishing vegetation as well. Rip rap around DCBs, SFB protecting rip rap, and compost filter tube check dams along Waterside Run remain in place and are in good condition. Stockpile of bark mulch on the north side of Walnut is beginning to encroach on the SFB, contractor to move material away from the SFB to ensure barrier is not adversely impacted.
- B. Contractor has started construction of wetland crossing on Willow Pond Circle. Contractor is currently placing Versa-Lok gravity wall blocks on both sides of the wetland, ConCom did not have concerns with work being performed.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	2	Backhoe		Asphalt Reclaimer			
Laborers	5+	Loader	1	Vib. Roller	1		
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer		Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck	1		
		Tri-Axle Dump Truck	5+	Crane Truck			
		Trailer Dump Truck		Lull			
		Art. Dump Truck	1	BOMAG Remote Comp.	1		
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	9:30 A.M. – 11:00 A.M.

Project Salmon Health and Retirement Community	Date 10/01/2020	Report No. 56
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

- C. Contractor has cleared region of walking path to the east of the wetland crossing for Willow Pond Circle. ConCom and TT walked the current limits of the path and did not identify any concerns.

#### **2. SCHEDULE**

- A. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- B. Contractor to continue construction of bridge at the Willow Pond Circle Wetland Crossing.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

#### **3. NEW ACTION ITEMS**

- A. N/A

#### **4. PREVIOUS OPEN ACTION ITEMS**

- A. N/A

#### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

- A. N/A



# FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 10/08/2020	Report No. 57
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M. SUNNY	Temperature A.M. 55°F P.M. 55°F

## FIELD OBSERVATIONS

On Thursday, October 8, 2020, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm. Stockpiled construction materials, crushed stone, and soil are present throughout the main open portion of the site but appear to be properly protected from erosion. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Water truck on-site to reduce dust migration during dry conditions. Silt fence barrier (SFB) throughout the site appears to be in good condition. Some sections of SFB have fallen off the stakes from recent storms and require to be reestablished, Contractor to walk the perimeter and reestablish SFB as needed, specifically to the east of Willow Pond Circle where stockpiled materials are located. Catch basins within and adjacent to Waterside Run have silt sacks installed. Rip rap around DCBs, SFB protecting rip rap, and compost filter tube check dams along Waterside Run remain in place and are in good condition. Catch basins within Willow Pond Circle have silt sacks installed and appear to be recently maintained. Stockpile of bark mulch on the north side of Walnut is beginning to encroach on the SFB, contractor to move material away from the SFB to ensure barrier is not adversely impacted.
- B. Contractor continues construction of wetland crossing on Willow Pond Circle. Contractor has completed placing Versa-Lok Bronco block on both sides of the wetland and are pouring concrete into voids between blocks. Face of walls have been backfilled to proposed elevations and contractor is placing ADS pipe to use as forms for the bridge piers.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	2	Backhoe		Asphalt Reclaimer			
Laborers	5+	Loader	1	Vib. Roller	1		
Drivers	5+	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	3	Skid Steer		Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck	1		
		Tri-Axle Dump Truck	5+	Crane Truck			
		Trailer Dump Truck		Lull			
		Art. Dump Truck	1	BOMAG Remote Comp.	1		
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	11:15 A.M. – 12:15 P.M.

Project Salmon Health and Retirement Community	Date 10/08/2020	Report No. 57
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

- C. Contractor has placed 1.5" stone throughout the roadway to the canoe launch at the southern portion of the site into the Charles River. Filter fabric has been placed between the prepared subbase and the stone. Stone has not been placed at the ramp into the Charles. Contractor is waiting to install geoweb prior to completing stone placement. Contractor to compact stone surface once it is placed.

#### **2. SCHEDULE**

- A. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.  
 B. Contractor to continue construction of bridge at the Willow Pond Circle Wetland Crossing.  
 C. Contractor to continue construction of canoe launch at the Charles River.  
 D. TT will maintain communication with contractor and will inspect the site as construction progresses.

#### **3. NEW ACTION ITEMS**

- A. N/A

#### **4. PREVIOUS OPEN ACTION ITEMS**

- A. N/A

#### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project William Wallace Village	Date 10/08/2020	Report No. 8
Location Village Street, Medway, MA	Project No. 143-21583-19012	Sheet 1 of 2
Contractor M. Phillips Industries (Site Contractor) Larry Rucci (Developer)	Weather A.M. SUNNY P.M.	Temperature A.M. 55 °F P.M.

## FIELD OBSERVATIONS

On Thursday, October 8, 2020, Bradley M. Picard, EIT from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: Dry ground surface that is relatively firm throughout. Excavated sediment basin at the northeast portion of the site still in place, no standing water present in basin upon inspection. Construction entrance from Village Street is stabilized with crushed stone material, and additional crushed stone material remains at the entrance of the demolished bituminous lot adjacent to dwelling at 276 Village Street, no tracking of sediment was observed on Village Street. Stockpiles of excavated material, material from demolition, and gravel for roadway subbase are present throughout the site. Silt fence barrier (SFB) and compost filter tubes have been installed around the perimeter of the site, some sections of SFB have fallen off of stakes from recent storms. Contractor to repair SFB that have fallen off stakes.
- B. Contractor has started rough grading of Sterling Circle. Contractor is referencing stakes at either side of the proposed roadway to determine cut/fill limits for 8" minimum gravel subbase.
- C. Contractor has poured footings for proposed Dwelling Units 1 and 2. Contractor to continue construction of foundation for this structure next week.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers		Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Mini-Excavator		Power Saw		
Electricians		Grader		Conc. Vib.		
Flagpersons		Crane		Tack Truck		
Surveyors		Scraper		Man Lift		
Roofers		Conc. Mixer		Skidder	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Truck		Compact Track Loader		
		Conc. Pump Truck		Porta-John		
		Pickup Truck		Dumpster (15 Yard)		
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details:					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Bradley M. Picard, EIT	10:15 A.M. – 11:15 A.M.

NOTE: Please use reverse side for remarks and sketches

Project William Wallace Village	Date 10/08/2020	Report No. 8
Location Village Street, Medway, MA	Project No. 143-21583-19012	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. SCHEDULE**

- A. Contractor to continue grading of driveway.
- B. Contractor to continue construction of foundation for proposed Dwelling Units 1 and 2.
- C. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. NEW ACTION ITEMS**

- A. N/A

### **4. PREVIOUS OPEN ACTION ITEMS**

- A. Contractor to maintain and repair SFB as needed throughout the site.
- B. Clean leaves and debris from basin at entrance to Bedelia Lane.

### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

- A. N/A



**October 27, 2020**

**Medway Planning & Economic Development Board  
Meeting**

**Applegate Road – Layout**

- 10-20-20 email from Executive Assistant Liz Langley re: the BOS request for the PEDB to provide a recommendation on roadway layout for Applegate Road. NOTE – The BOS public hearing on the layout of Applegate Road is scheduled for its meeting on 11-2-20.
- Street Acceptance Plan dated October 21, 2020 prepared by GLM Engineering.
- Email dated October 22, 20 from Steve Bouley at Tetra Tech re: the Applegate Street Acceptance Plan.

**Recommended Motion:** I move that the Planning and Economic Development Board recommend that the Board of Selectmen approve the roadway layout for Applegate Road as represented on the Applegate Road Street Acceptance Plan dated October 21, 2020 prepared by GLM Engineering.

## Susan Affleck-Childs

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**From:** Liz Langley  
**Sent:** Tuesday, October 20, 2020 7:53 AM  
**To:** Susan Affleck-Childs  
**Subject:** Vote to Layout Applegate Road as a Public Way

Hi Susy:

The Board of Selectmen voted unanimously the following at their meeting last evening:

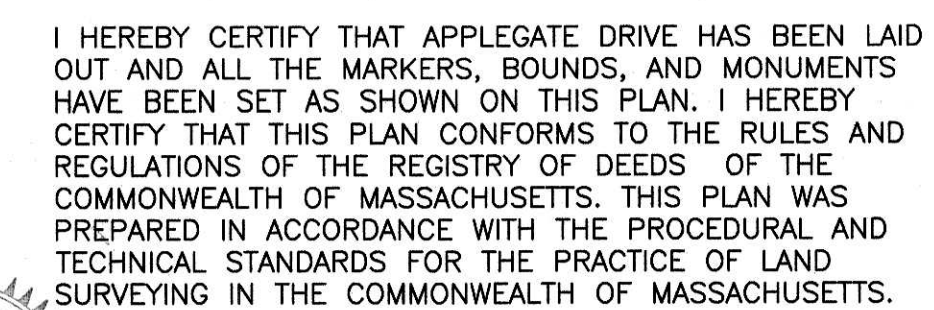
**The Board of Selectmen express its intent to lay out as a public way Applegate Road, for its entire length from its intersection with Ellis Street to its intersection with Coffee Street, as shown on the plan "Amended Definitive Subdivision Applegate Farm Medway, Massachusetts", dated February 20, 2013, latest revision April 28, 2014, prepared by GLM Engineering Consultants, Inc., and to refer this matter to the Planning and Economic Development Board for a report and recommendation.**

Please let me know if you need further information to move forward.

Thanks! Liz

**Liz Langley**  
**Executive Assistant, Town Manager's Office**  
**Town of Medway**  
**155 Village Street**  
**Medway, MA 02053**  
**(508) 533-3264**





JOYCE E. HASTINGS, P.L.S.

10/22/2020  
DATE

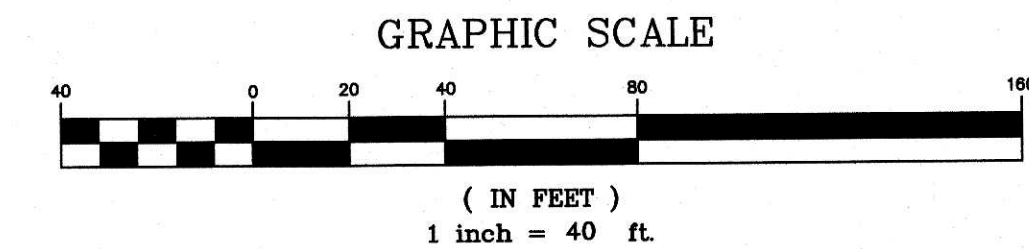
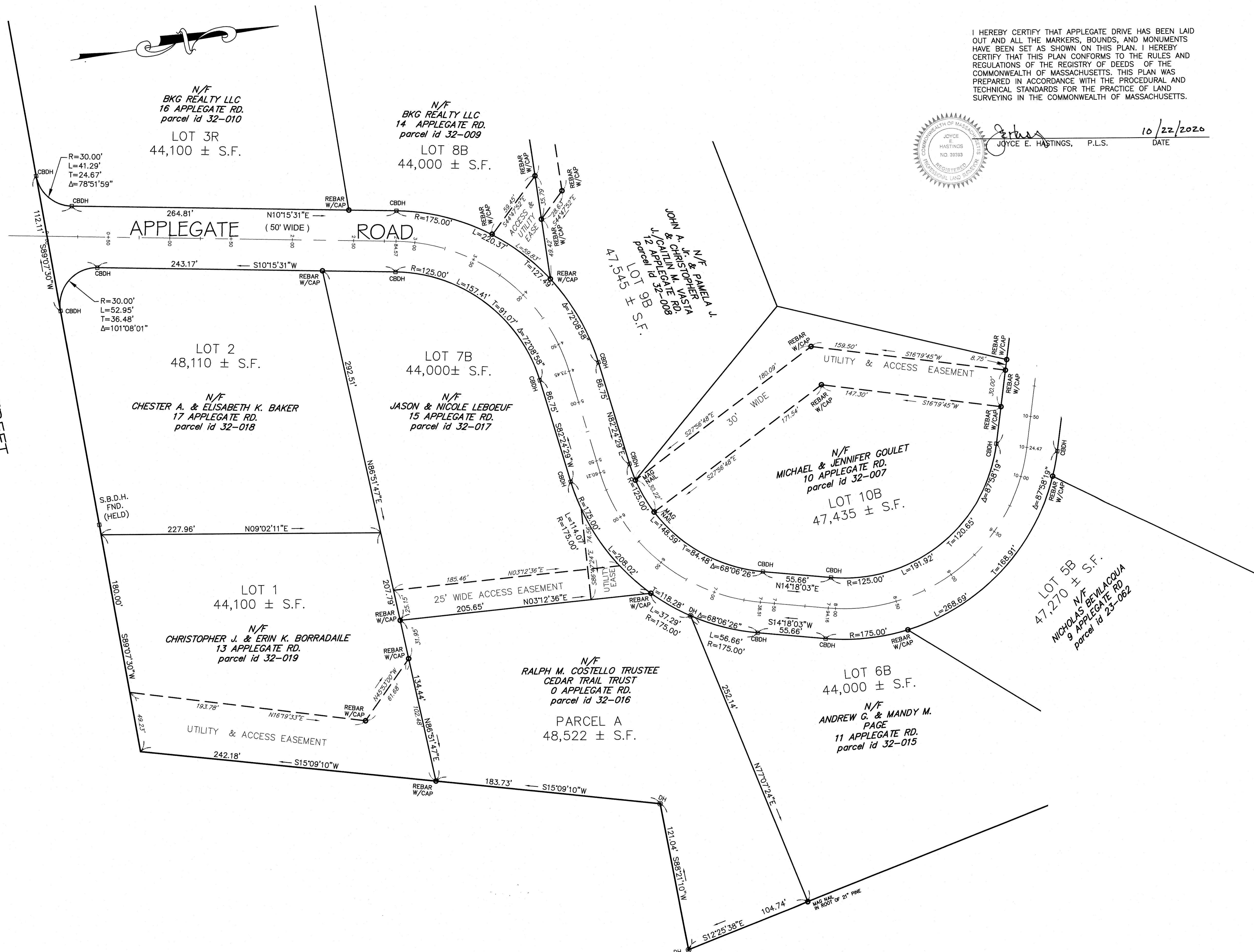
PLAN REFERENCE:  
NORFOLK REGISTRY OF DEEDS  
AMENDED DEFINITIVE SUBDIVISION PLAN  
"APPLAGATE FARM", MEDWAY MA  
RECORDED IN PL.BK. 635, PAGES 25-28

JOB NO.: 16905	SHEET 2 OF 2	PLAN NO. 27,444
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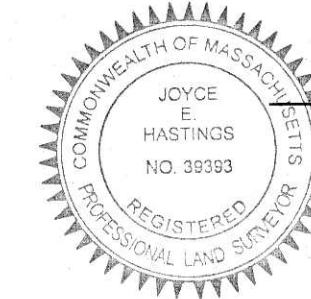
PLAN NO.  
27,444



COFFEE (1957 COUNTY LAYOUT - 60' WIDE) STREET



I HEREBY CERTIFY THAT APPLGATE DRIVE HAS BEEN LAID OUT AND ALL THE MARKERS, BOUNDS, AND MONUMENTS HAVE BEEN SET AS SHOWN ON THIS PLAN. I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS, P.L.S. DATE 10/22/2020

FILED AT THE OFFICE OF THE TOWN CLERK  
DATE: \_\_\_\_\_  
APPROVED BY VOTE OF TOWN MEETING  
DATE: \_\_\_\_\_  
TOWN CLERK: \_\_\_\_\_

APPROVAL BY THE  
MEDWAY BOARD OF SELECTMEN  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

APPROVAL UNDER THE SUBDIVISION CONTROL  
LAW NOT REQUIRED.  
MEDWAY PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

PLAN REFERENCE:  
NORFOLK REGISTRY OF DEEDS  
AMENDED DEFINITIVE SUBDIVISION PLAN  
"APPLGATE FARM", MEDWAY MA  
RECORDED IN P.L.BK. 635, PAGES 25-28

# STREET ACCEPTANCE PLAN "APPLGATE ROAD" STATION 0+00 TO STATION 17+46.52 MEDWAY, MA

October 21, 2020  
SCALE: HORZ. 1"=40'

PREPARED FOR:  
TOWN OF MEDWAY  
155 VILLAGE STREET  
MEDWAY, MA 02053

GLM Engineering  
Consultants, Inc.  
19 EXCHANGE STREET  
HOLLISTON, MA 01746  
P: 508-429-1100 F: 508-429-7160  
www.GLMengineering.com

JOB NO.: 16905	SHEET 1 OF 2	PLAN NO.: 27,444
-------------------	--------------	---------------------



## Susan Affleck-Childs

---

**From:** Bouley, Steven <Steven.Bouley@tetrattech.com>  
**Sent:** Thursday, October 22, 2020 2:37 PM  
**To:** Susan Affleck-Childs  
**Subject:** Applegate Street Acceptance Plan Review  
**Attachments:** BW\_PDF1676.pdf

Hi Susy,

We have reviewed the attached Applegate Road Street Acceptance Plan dated October 21, 2020 (with most recent revisions completed today) and all of our comments have been addressed. Please let me know if you need anything else, thanks.

Steve

**Steven M. Bouley, P.E.** | Senior Project Engineer  
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | [steven.bouley@tetrattech.com](mailto:steven.bouley@tetrattech.com)

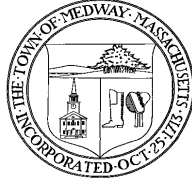
**Tetra Tech** | *Leading with Science*® | United States Infrastructure Division – INE Operating Unit  
100 Nickerson Road, Suite 200 | Marlborough, MA 01752 | [tetrattech.com](http://tetrattech.com)

**While we are operating remotely in response to COVID-19, Tetra Tech teams remain fully connected and hard at work servicing our clients and ongoing projects. We would also like to wish health and wellness to you and your family.**

*This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.*

    Please consider the environment before printing. [Read more](#)





**October 27, 2020**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Harmony Village Public Hearing**  
**Continuation**

- Public Hearing Continuation Notice dated 9-23-20, filed with Town Clerk
- Revised Site Plan Concept dated 10-22-20 – Sheet Q-1 (Meridian & Associates). This shows a concept for a 4 unit (quad) building.
- Revised building elevations and floor plans dated 10-19-20 (Pacific Visions Studio) for a 4-unit (quad) building.
- Sheet C-3 of the Harmony Village site plan set dated 9-8-2020.

Based on the frank discussion at the last hearing, the applicant and team have revised the site plan to now include 4 new units instead of 5. The applicant seeks the Board's feedback on this revised concept.

NOTE - I have also attached the previous site plan dated 9-8-20 showing the site layout for 5 new units so you can readily compare the two versions.

## Board Members

Andy Rodenhiser, Chair  
Robert Tucker, Vice Chair  
Thomas Gay, Clerk  
Matthew Hayes, P.E.,  
Member  
Richard Di Iulio, Member  
Jessica Chabot, Associate  
Member

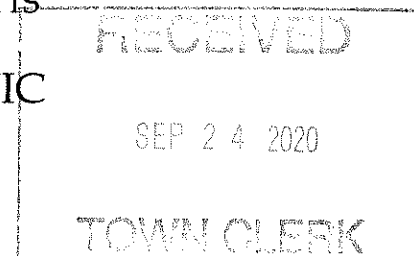


Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Phone (508) 533-3291  
Fax (508) 321-4987  
Email: [planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)  
[www.townofmedway.org](http://www.townofmedway.org)

# TOWN OF MEDWAY

## COMMONWEALTH OF MASSACHUSETTS

### PLANNING AND ECONOMIC DEVELOPMENT BOARD



## MEMORANDUM

September 23, 2020

TO: Maryjane White, Town Clerk  
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: **Public Hearing Continuation for Harmony Village Multi-Family Special Permit,  
Site Plan and Land Disturbance Permit**  
218 and 220 Main Street  
Continuation Date – Tuesday, October 27, 2020 at 7:15 p.m.

At its September 22, 2020 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Harmony Estates, LLC of Milford, MA for approval of a special permit, land disturbance permit, and site plan for the proposed 7-unit Harmony Village multi-family development at 218-220 Main Street to Tuesday, October 27, 2020 at 7:15 p.m.

***This continuation is also made pursuant to Chapter 53 of the Acts of 2020, enacted April 3, 2020, which grants authority to Massachusetts planning boards to reschedule public hearings to a date not more than 45 days after termination of the COVID-19 state of emergency. Presently, there is no conclusion date for the Covid-19 emergency.***

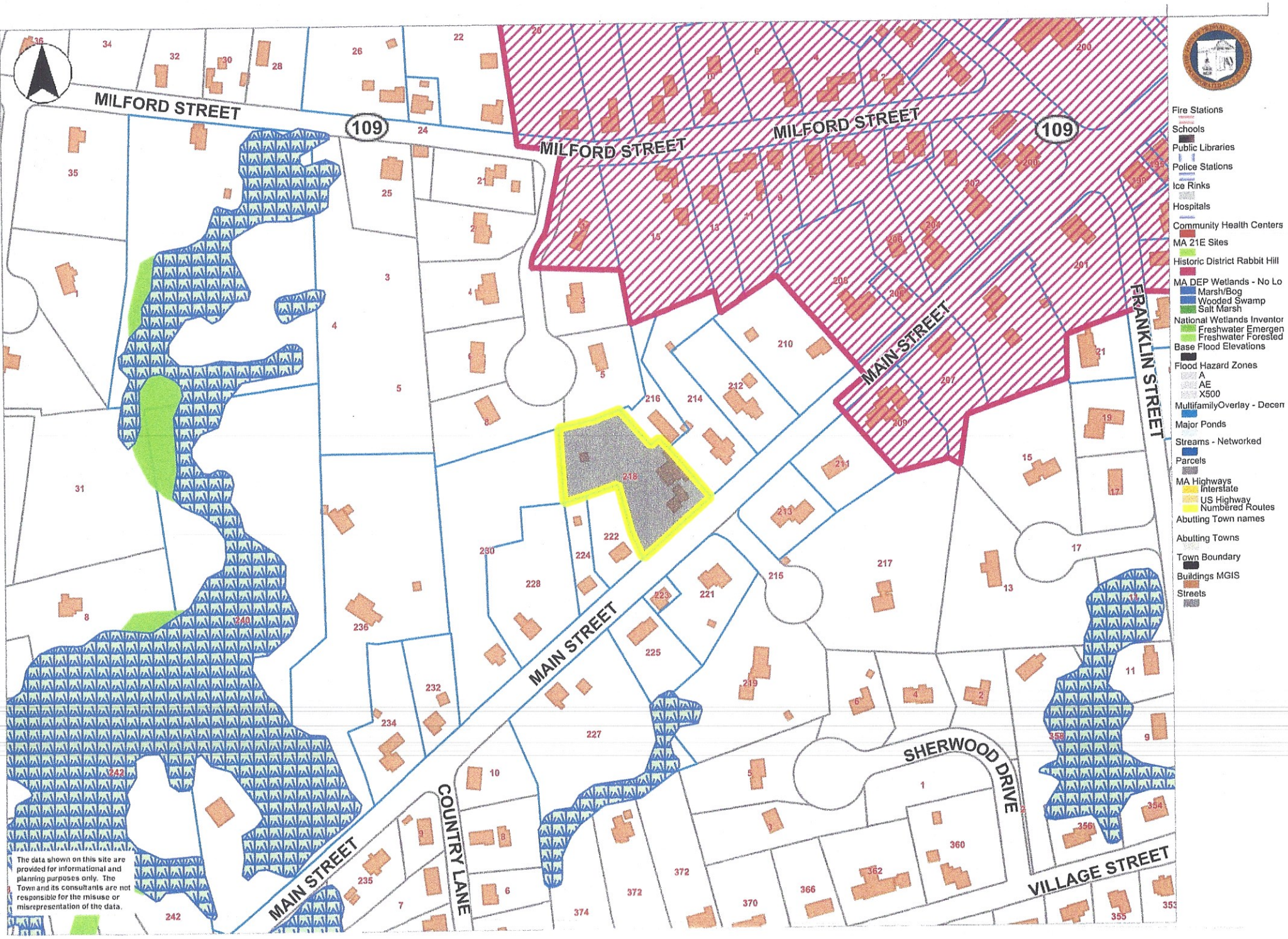
The proposed development will include renovation of two existing single-family houses and construction of a new three-family building and a new two-family building for a total of seven residential units; 26 off-street parking spaces will be provided. Access will be from a single curb cut from Main Street onto a permanent private road. Stormwater management facilities will be constructed to manage stormwater on-site and include a sub-surface infiltration system for roof runoff and a detention basin at the southwest corner of the property. Landscaping, site lighting, buffering and a common outdoor area are planned. Connections will be made to existing Town sewer and water services in Main Street.

The site plan, titled *Site Plan Review Submittal – Harmony Estates 218-220 Main Street*, dated June 9, 2020, last updated September 8, 2020 was prepared by Meridian Associates, Inc. of Westborough, MA. The application documents are on file with the Medway Town Clerk and the Community and Economic Development office at Medway Town Hall. The information is also posted at the Planning and Economic Development Board's page at the Town's web site at:

<https://www.townofmedway.org/planning-economic-development-board/pages/harmony-village-multi-family-housing-development>

*The applicant plans to provide a revised site plan. It will be uploaded to the web page upon receipt. Please review the plan and forward any comments to me by October 21, 2020. Please don't hesitate to contact me if you have any questions.*



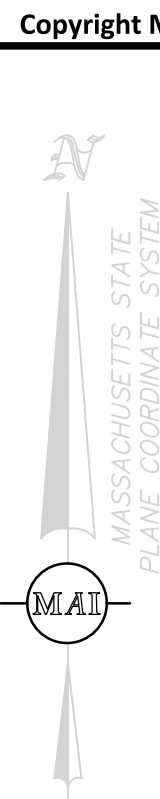


0 350 700 ft

Printed on 04/20/2019 at 11:08 AM

# Town of Medway, MA GIS





FALES STREET

NOW OR FORMERLY  
VICTOR W. JR. & ANN V. TERRANOVA  
DEED BOOK 22299 PAGE 198  
8 FALES STREET

NOW OR FORMERLY  
JOHN WILLIAM PARLEE  
& JAME L. HODGES  
DEED BOOK 32840 PAGE 4  
5 FALES STREET

NOW OR FORMERLY  
CATHY F. SUTTON & WILLIAM A. RITCHIE  
DEED BOOK 8417 PAGE 2  
216 MAIN STREET

NOW OR FORMERLY  
DANIEL M. & JAME A. BERGERON  
DEED BOOK 6899 PAGE 177  
214 MAIN STREET

NOW OR FORMERLY  
RICHARD E. & HELEN M. FORCE  
DEED BOOK 30979 PAGE 576  
230 MAIN STREET

NOW OR FORMERLY  
JENNIFER F. & JASON M. ROMAN  
DEED BOOK 33718 PAGE 185  
228 MAIN STREET

NOW OR FORMERLY  
JOYONTE ALLEN SANTOS  
& MYRIAM SANTOS  
DEED BOOK 35427 PAGE 407  
224 MAIN STREET

NOW OR FORMERLY  
ROBERT E. & MARIAN L. LEONARD  
DEED BOOK 3554 PAGE 451  
222 MAIN STREET

LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING. DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

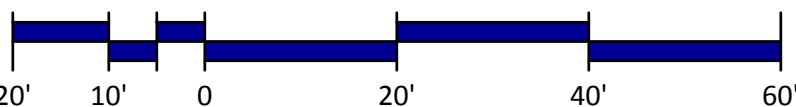
COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
2	10/22/20	QUAD CONCEPT	DG	
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB

QUAD CONCEPT

Multifamily Development

218-220 MAIN STREET  
MEDWAY, MA 02053

Prepared For:

Harmony Village LLC



60 MILK STREET, SUITE 208, WESTBROOK, MA 01581 | 978.871.2020  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.399.0447  
www.MeridianAssoc.com

Date:

June 9, 2020  
(See Revisions)

Scale:

1"=20'

Project No.

8521

Sheet No.

Q-1  
OF



# Medway Multifamily Development (Quadplex) 218-220 Main Street

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020



PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacific-Visions.com



CIVIL ENGINEER  
Drew Garvin  
69 Milk Street, Suite 208  
Westborough, MA 01581  
(508) 871-7030 x34

Medway Multifamily Development (Quadplex)  
**218-220 Main Street**  
218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020

COVER



PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacific-Visions.com

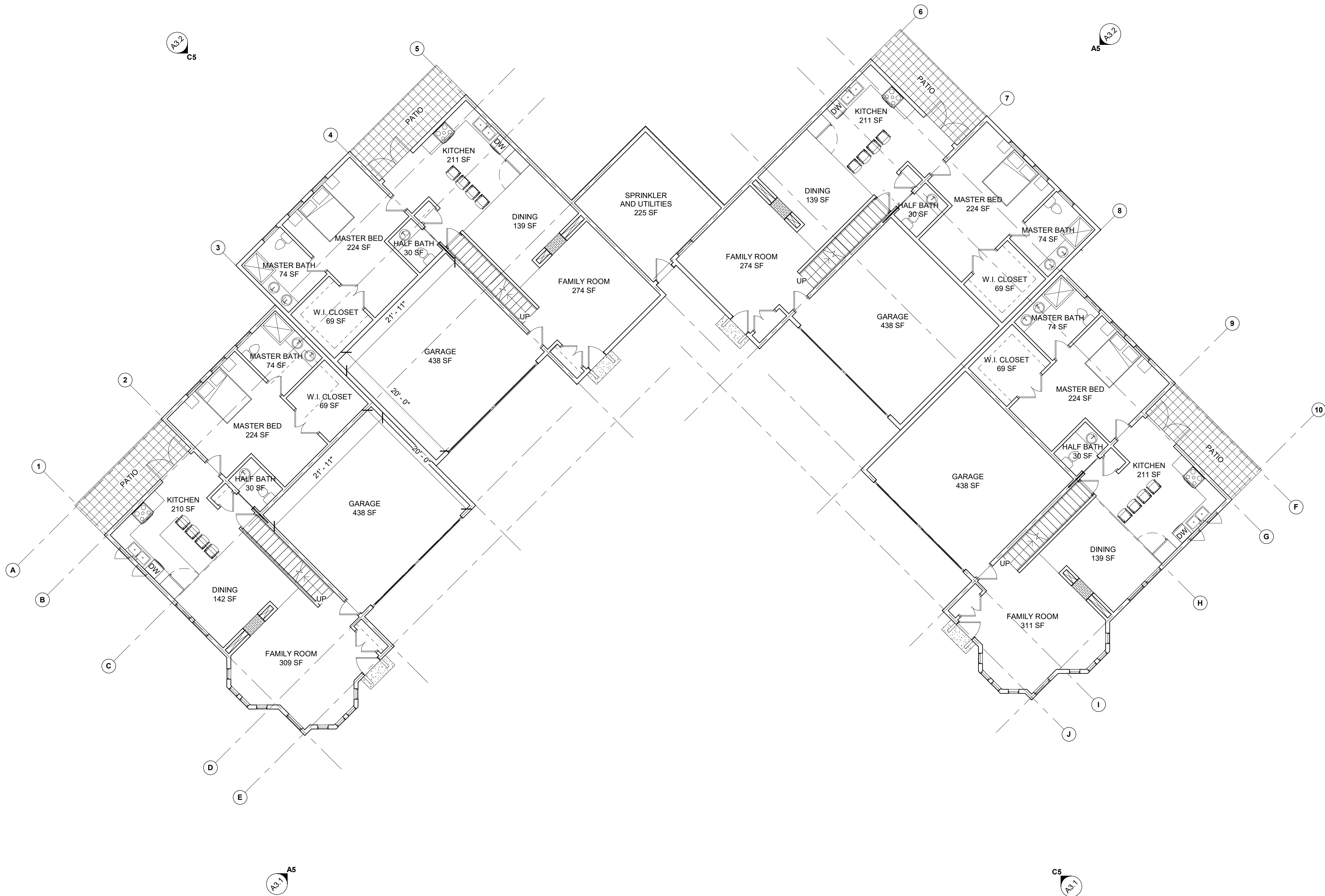
Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020

FIRST FLOOR PLAN

**A1.1**



1 LEVEL 1 FIRST FLOOR PLAN  
A1.1 Scale: 1/8" = 1'-0"





PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacific-Visions.com

Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020

SECOND FLOOR PLAN

A1.2



1 2ND FLOOR  
A1.2 Scale: 1/8" = 1'-0"



PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacific-Visions.com

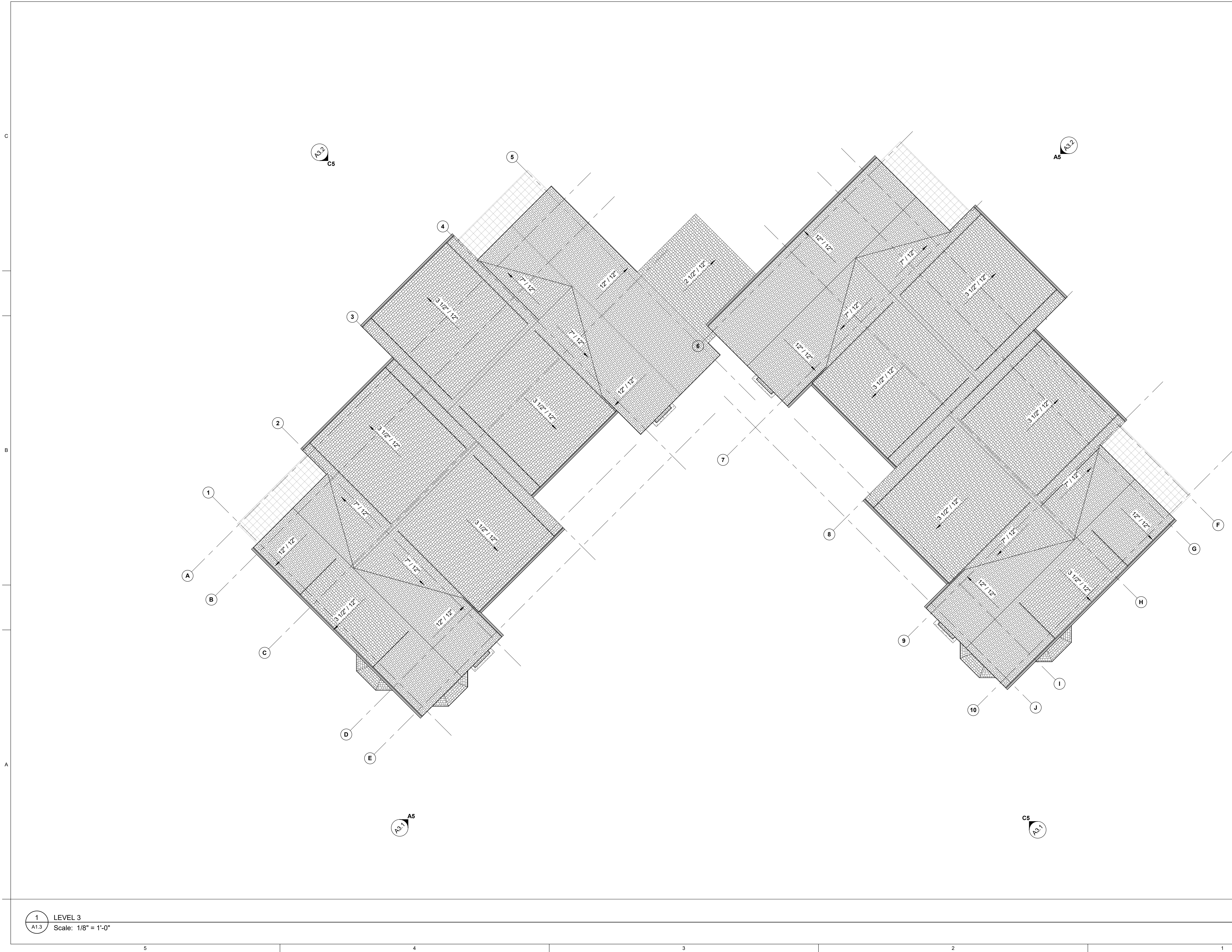
Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
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19 OCTOBER 2020

ROOF PLAN

A1.3



1 LEVEL 3  
A1.3 Scale: 1/8" = 1'-0"





PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacifi-Visions.com

Medway Multifamily Development (Quadplex)  
**218-220 Main Street**  
218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020

EXTERIOR ELEVATIONS

A3.1



C5 EAST ELEVATION  
A3.1 Scale: 3/16" = 1'-0"



A5 SOUTH ELEVATION  
A3.1 Scale: 3/16" = 1'-0"



PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN  
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Bristol, RI  
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Medway Multifamily Development (Quadplex)  
**218-220 Main Street**  
218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
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19 OCTOBER 2020

EXTERIOR ELEVATIONS

A3.2





PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN

38 Thompson Ave.  
Bristol, RI  
774.633.1272

Pacific-Visions.com

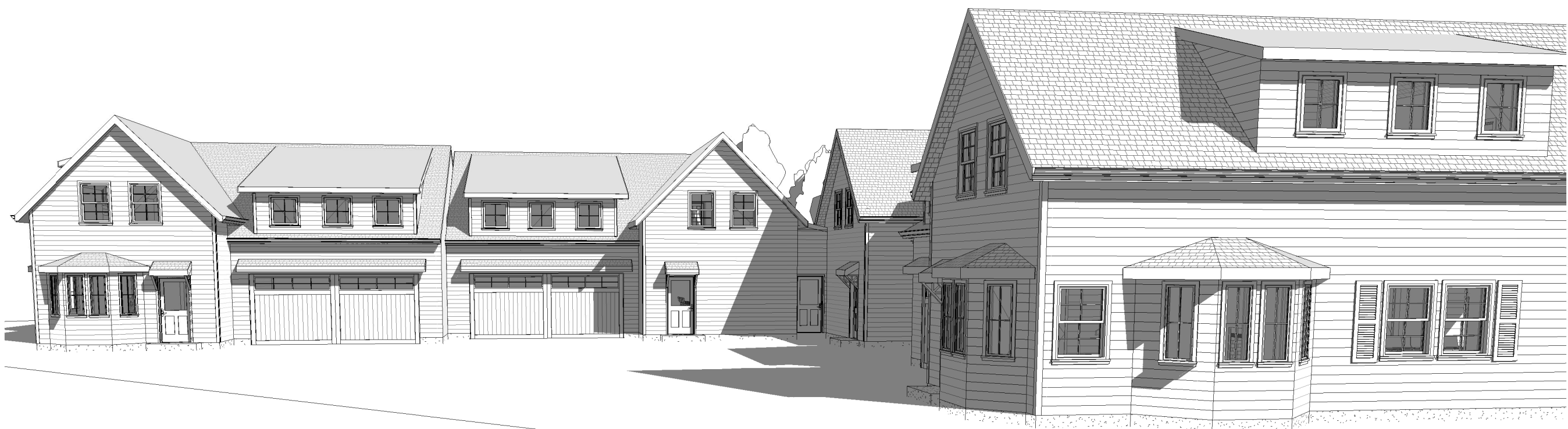
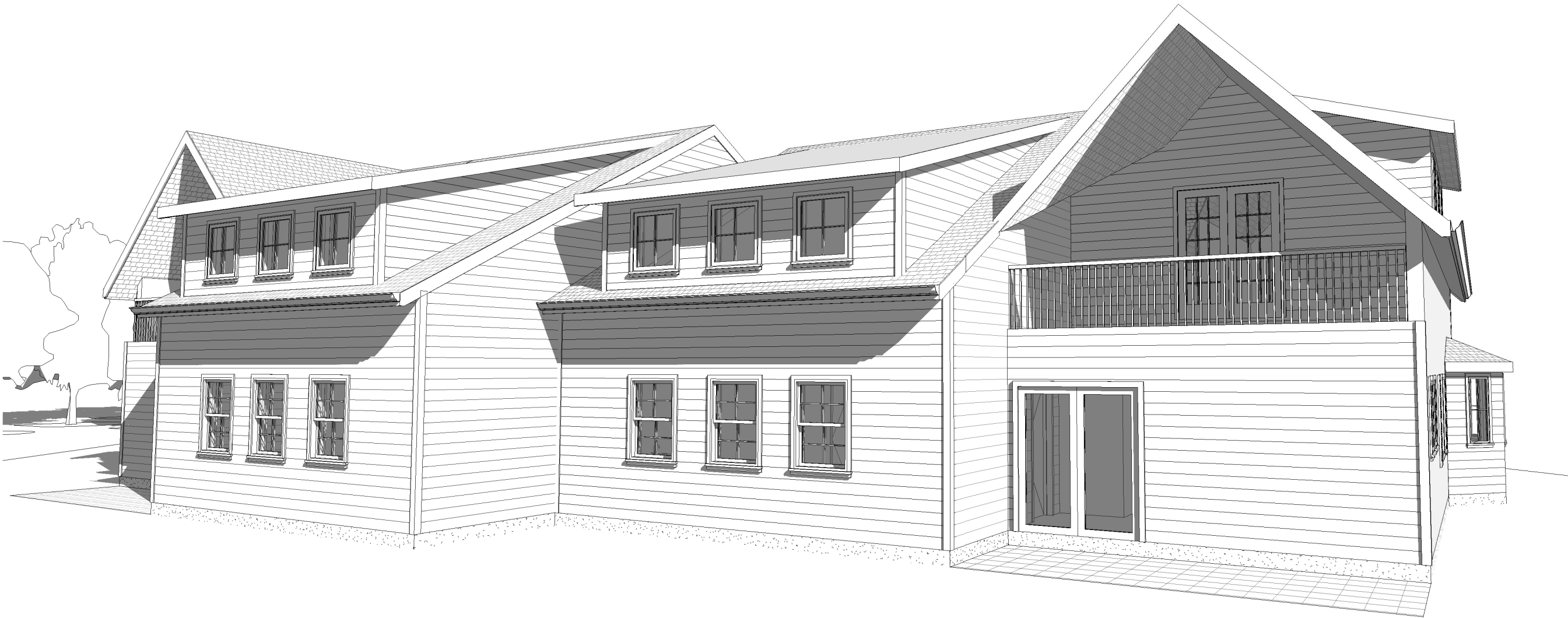
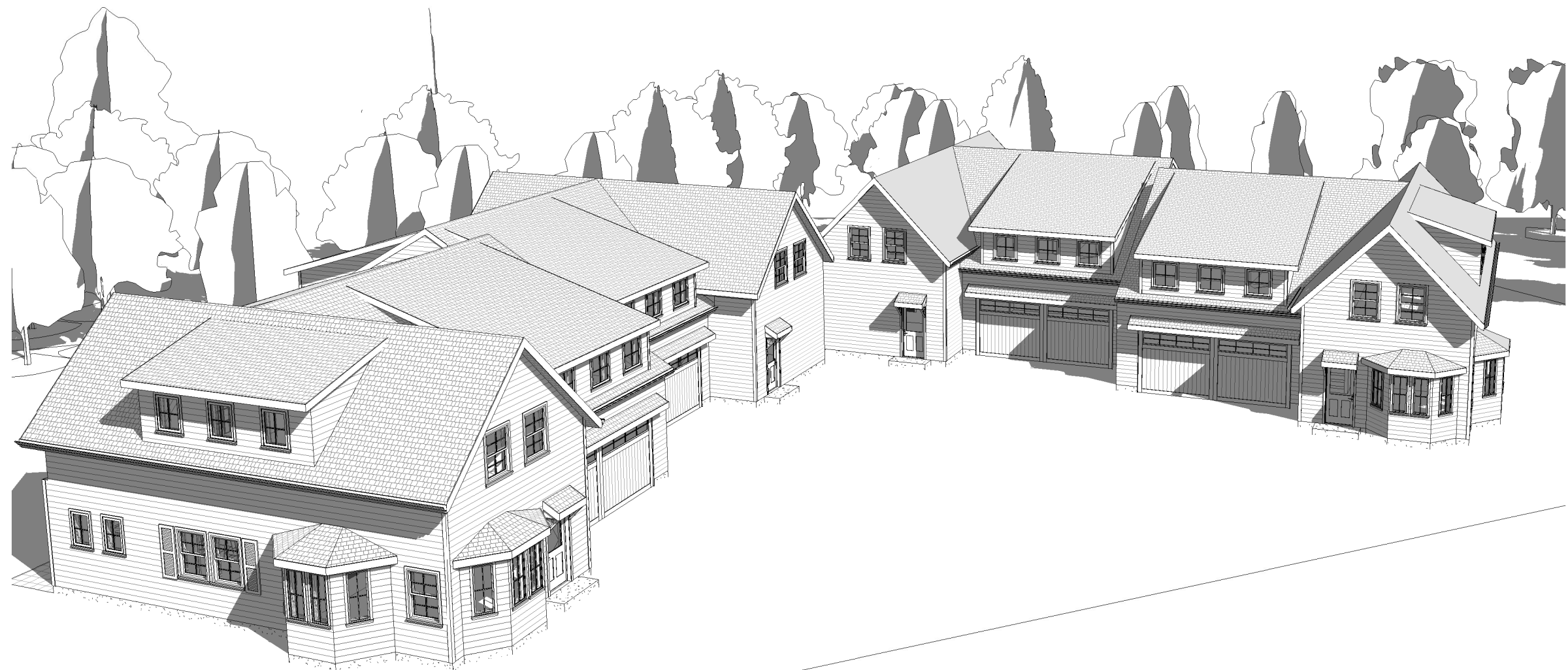
Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
19 OCTOBER 2020

3D VIEWS

A4.0







PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN

38 Thompson Ave.  
Bristol, RI  
774.633.1272

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Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
23 OCTOBER 2020

EXTERIOR BUILDING RENDERING

10/23/20

**A4.1**





**PACIFIC-VISIONS STUDIO LLC**  
ARCHITECTURAL DESIGN  
38 Thompson Ave.  
Bristol, RI  
774.633.1272  
Pacific-Visions.com



Medway Multifamily Development (Quadplex)  
**218-220 Main Street**

218-220 Main Street  
Medway, MA 02053

DESIGN INTENT  
NOT FOR CONSTRUCTION  
23 OCTOBER 2020

EXTERIOR BUILDING RENDERING

10/23/20

**A4.2**





FALES STREET

NOW OR FORMERLY  
VICTOR W. JR. & ANN V. TERRANOVA  
DEED BOOK 22298 PAGE 198  
8 FALES STREET

NOW OR FORMERLY  
JOHN WILLIAM PARLEE  
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216 MAIN STREET

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224 MAIN STREET

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DEED BOOK 3554 PAGE 451  
222 MAIN STREET

LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	□□□□
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

ZONING TABLE:

ZONE: AR-II, MULTIFAMILY HOUSING OVERLAY DISTRICT			
Density and Dimensional Controls	Required	Existing	Proposed
LOT SIZE	30,000 SF	52,993 SF	52,993 SF
FRONTAGE	150'	190.08'	190.08'
FRONT SETBACK	35'	23.6' *	23.6' *
SIDE SETBACK	15'	9.1' *	9.1' *
REAR SETBACK	15'	152'	17'
MAX. BUILDING HEIGHT	35'	30'	30'
MAX. LOT COVERAGE	30%	0.28	0.28
MAX. IMPERVIOUS AREA	40%	15%	39%
MULTIFAMILY UNITS (ALLOWED)	8	2	7 **
MIN. OPEN SPACE/YARD AREA	15%	N/A	33% ***
PARKING SPACES	1.5/UNIT	2/UNIT	3.6/UNIT****
		(4 TOTAL)	(25 TOTAL)

\* PRE-EXISTING NONCONFORMING SETBACK  
ALL PROPOSED UNITS MEET THE REQUIRED DIMENSIONAL SETBACKS

\*\* TOTAL UNITS CONSISTS OF 5 PROPOSED UNITS AND 2 EXISTING HOUSES TO BE REHABILITATED (7 TOTAL)

\*\*\* PROPOSED OPEN SPACE / YARD AREA INCLUDES COMMON SPACE, DETENTION BASIN, FRONT YARD FOR EXISTING HOUSES, AND 800 SF REAR YARD FOR EACH PROPOSED UNIT

\*\*\*\* ACCOUNTS FOR 4 PARKING SPACES AT EACH NEW UNIT (2 IN DRIVEWAY, 2 IN GARAGE) FOR 25 PARKING SPACES TOTAL.

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

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THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:  
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DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.  
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SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

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BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB

Layout & Materials Plan  
**Multifamily Development**  
218-220 MAIN STREET  
MEDWAY, MA 02053  
Prepared For:  
Harmony Village LLC



MERIDIAN  
ASSOCIATES

60 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 978.871.2020  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447  
www.MeridianAssoc.com

Date:

June 9, 2020  
(See Revisions)

Scale:

1"=20'

Project No.

8521

Sheet No.

C-3  
OF





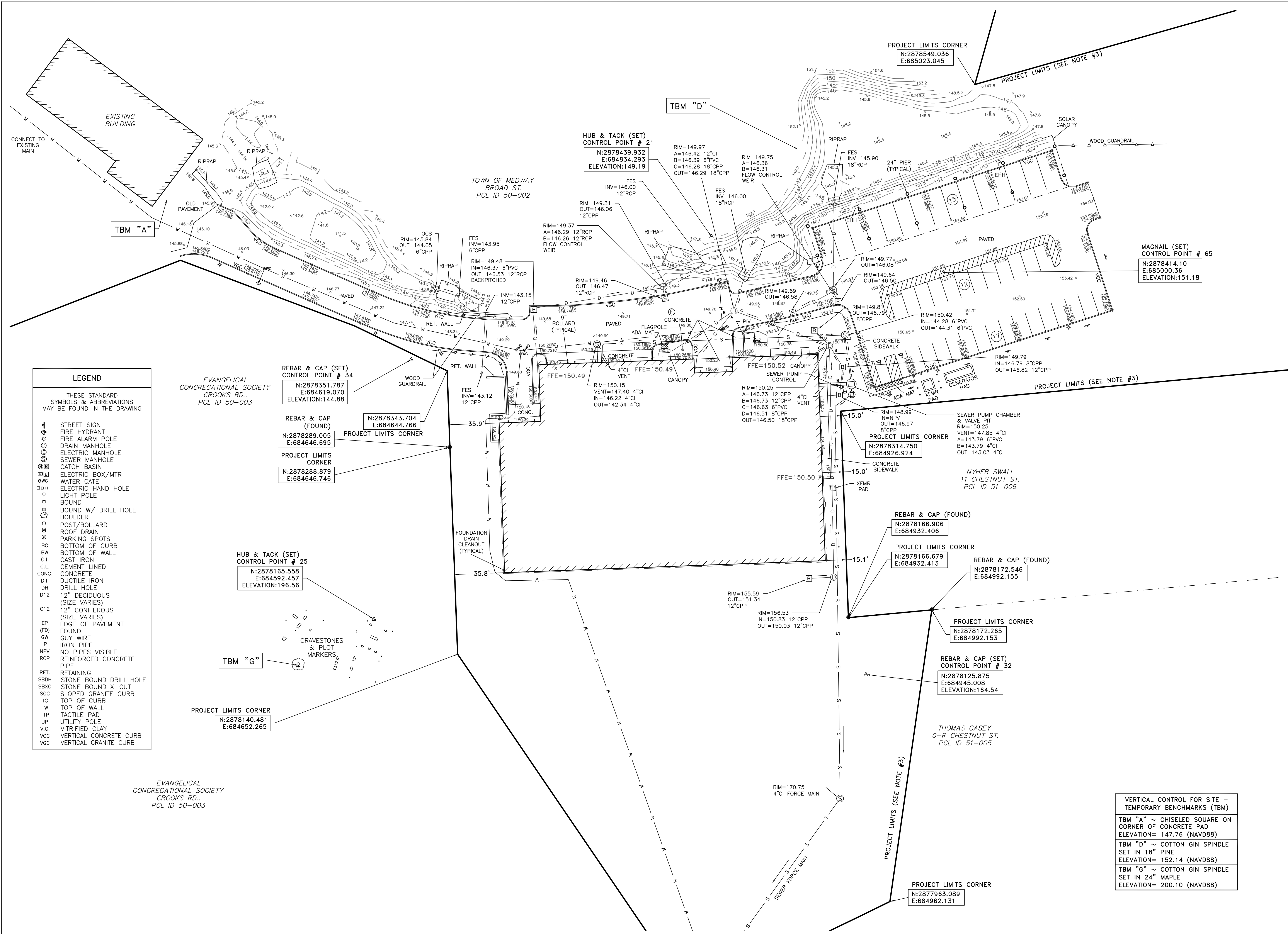
**October 27, 2020**

**Medway Planning & Economic Development Board  
Meeting**


**Medway DPW Building  
Site Plan Completion Status**

The new Medway building project is approaching completion. We have received an as-built survey plan; see attached. DPW and the general contractor (Colantonio, Inc. of Holliston, MA) are aware that a signed statement is required from the project engineer certifying that the project has been completed in substantial compliance with the approved site plan before an occupancy permit is issued by the Building Department. You may recollect that there are no separate construction observation funds and consequently, Tetra Tech has not been involved in construction inspections. Would someone from the PEDB like to visit the site and review as-built conditions vis-à-vis the approved site plan?

- As-Built Survey Plan dated September 22, 2020 by Reed Land Surveying, Inc. of Lakeville, MA.



LEGEND	
THESE STANDARD SYMBOLS & ABBREVIATIONS MAY BE FOUND IN THE DRAWING	
+	STREET SIGN
⊕	FIRE HYDRANT
⊕	FIRE ALARM POLE
⊕	DRAIN MANHOLE
⊕	ELECTRIC MANHOLE
⊕	SEWER MANHOLE
⊕	CATCH BASIN
⊕	ELECTRIC BOX/MTR
⊕	WATER GATE
⊕	ELECTRIC HAND HOLE
⊕	LIGHT POLE
⊕	BOUND
⊕	BOUND W/ DRILL HOLE
⊕	BOULDER
⊕	POST/BOLLARD
⊕	ROOF DRAIN
⊕	PARKING SPOTS
⊕	BOTTOM OF CURB
⊕	BOTTOM OF WALL
⊕	CAST IRON
⊕	CEMENT LINED
⊕	CONCRETE
⊕	D.I. DUCTILE IRON
⊕	DRILL HOLE
⊕	12" DECIDUOUS (SIZE VARIES)
⊕	12" CONIFEROUS (SIZE VARIES)
⊕	EDGE OF PAVEMENT
⊕	FOUND
⊕	GUY WIRE
⊕	IRON PIPE
⊕	NO PIPES VISIBLE
⊕	REINFORCED CONCRETE
⊕	PIPE
⊕	RETAINING
⊕	STONE BOUND DRILL HOLE
⊕	STONE BOUND X-CUT
⊕	SLOPED GRANITE CURB
⊕	TOP OF CURB
⊕	TOP OF WALL
⊕	TACTILE PAD
⊕	UTILITY POLE
⊕	V.C. VITRIFIED CLAY
⊕	VCC VERTICAL CONCRETE CURB
⊕	VGC VERTICAL GRANITE CURB



*Glen D. Reed*  
GLEN D. REED, P.L.S. LICENSE NO. 40766  
AS AGENT FOR REED LAND SURVEYING, INC.  
NOT INDIVIDUALLY

REVISION - ADDED DET. BASINS 10/20/2020


SHEET 1 OF 2

# Reed

Land Surveying, Inc.

109 RHODE ISLAND ROAD, SUITE 4A  
LAKEVILLE, MASSACHUSETTS 02347  
(508) 923-1181 FAX: (508) 923-1191

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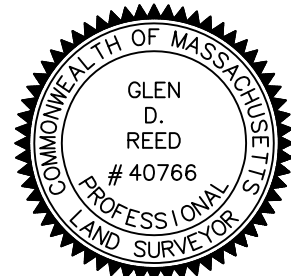
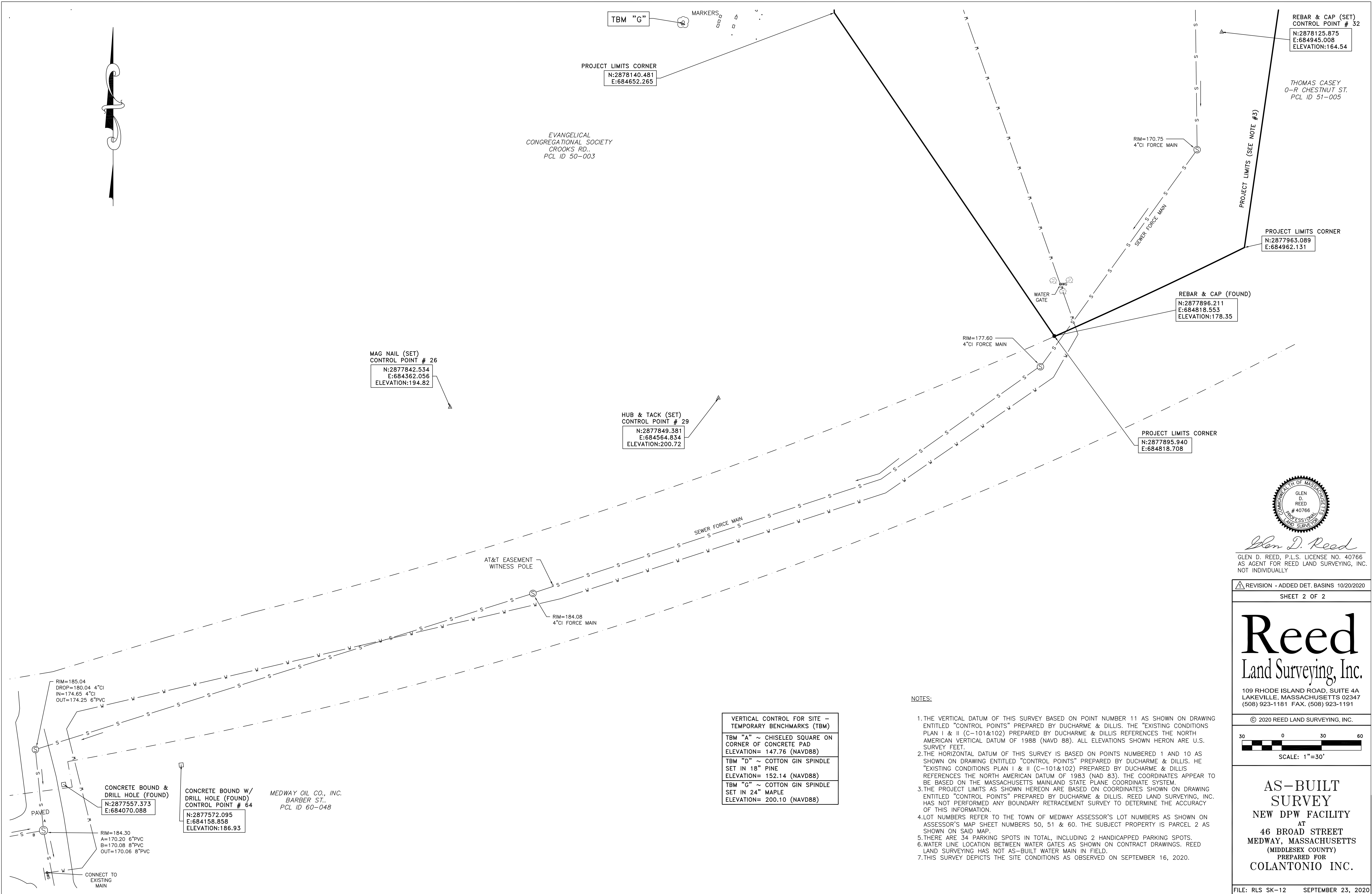
SCALE: 1"=30'

## AS-BUILT SURVEY

NEW DPW FACILITY  
AT  
46 BROAD STREET  
MEDWAY, MASSACHUSETTS  
(MIDDLESEX COUNTY)  
PREPARED FOR  
COLANTONIO INC.

FILE: RLS SK-12 SEPTEMBER 22, 2020

VERTICAL CONTROL FOR SITE - TEMPORARY BENCHMARKS (TBM)	
TBM "A"	~ CHISELED SQUARE ON CORNER OF CONCRETE PAD ELEVATION= 147.76 (NAVD88)
TBM "D"	~ COTTON GIN SPINDLE SET IN 18" PINE ELEVATION= 152.14 (NAVD88)
TBM "G"	~ COTTON GIN SPINDLE SET IN 24" MAPLE ELEVATION= 200.10 (NAVD88)



*Glen D. Reed*  
GLEN D. REED, P.L.S. LICENSE NO. 40766  
AS AGENT FOR REED LAND SURVEYING, INC.  
NOT INDIVIDUALLY

REVISION - ADDED DET. BASINS 10/20/2020  
SHEET 2 OF 2

**Reed**  
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© 2020 REED LAND SURVEYING, INC.

30 0 30 60  
SCALE: 1"=30'

**AS-BUILT  
SURVEY**  
NEW DPW FACILITY  
AT  
46 BROAD STREET  
MEDWAY, MASSACHUSETTS  
(MIDDLESEX COUNTY)  
PREPARED FOR  
COLANTONIO INC.

- NOTES:**
- 1.THE VERTICAL DATUM OF THIS SURVEY BASED ON POINT NUMBER 11 AS SHOWN ON DRAWING ENTITLED "CONTROL POINTS" PREPARED BY DUCHARME & DILLIS. THE "EXISTING CONDITIONS PLAN I & II (C-101&102) PREPARED BY DUCHARME & DILLIS REFERENCES THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ALL ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET.
  - 2.THE HORIZONTAL DATUM OF THIS SURVEY IS BASED ON POINTS NUMBERED 1 AND 10 AS SHOWN ON DRAWING ENTITLED "CONTROL POINTS" PREPARED BY DUCHARME & DILLIS. HE "EXISTING CONDITIONS PLAN I & II (C-101&102) PREPARED BY DUCHARME & DILLIS REFERENCES THE NORTH AMERICAN DATUM OF 1983 (NAD 83). THE COORDINATES APPEAR TO BE BASED ON THE MASSACHUSETTS MAINLAND STATE PLANE COORDINATE SYSTEM.
  - 3.THE PROJECT LIMITS AS SHOWN HEREON ARE BASED ON COORDINATES SHOWN ON DRAWING ENTITLED "CONTROL POINTS" PREPARED BY DUCHARME & DILLIS. REED LAND SURVEYING, INC. HAS NOT PERFORMED ANY BOUNDARY RETRACEMENT SURVEY TO DETERMINE THE ACCURACY OF THIS INFORMATION.
  - 4.LOT NUMBERS REFER TO THE TOWN OF MEDWAY ASSESSOR'S LOT NUMBERS AS SHOWN ON ASSESSOR'S MAP SHEET NUMBERS 50, 51 & 60. THE SUBJECT PROPERTY IS PARCEL 2 AS SHOWN ON SAID MAP.
  - 5.THERE ARE 34 PARKING SPOTS IN TOTAL, INCLUDING 2 HANDICAPPED PARKING SPOTS.
  - 6.WATER LINE LOCATION BETWEEN WATER GATES AS SHOWN ON CONTRACT DRAWINGS. REED LAND SURVEYING HAS NOT AS-BUILT WATER MAIN IN FIELD.
  - 7.THIS SURVEY DEPICTS THE SITE CONDITIONS AS OBSERVED ON SEPTEMBER 16, 2020.



**October 27, 2020**  
**Medway Planning & Economic Development Board**  
**Meeting**

**PEDB Meeting Minutes**

- Draft minutes of the 10-13-2020 regular PEDB meeting
- Draft minutes of the 10-20-2020 special PEDB meeting

**Tuesday, October 13, 2020**  
**Medway Planning and Economic Development Board**  
**155 Village Street**  
**Medway, MA 02053**

**REMOTE MEETING**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>	<b>Jessica Chabot</b>
<b>Attendance</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor's Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance of members of the public will be permitted at this meeting. Board members will participate remotely via ZOOM. Meeting access via ZOOM is provided for the opportunity for public participation; information for participating via ZOOM is included at the end of this Agenda. Members of the public who wish to watch the meeting may do so on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable's Facebook page @medwaycable.

**PRESENT VIA ZOOM MEETING:**

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland Recording Secretary
- Steve Bouley, Tetra Tech
- Barbara Saint Andre, Director of Community and Economic Development
- Jack Mee, Building Commissioner

The Chairman opened the meeting at 7:00 pm. He read a statement about the meeting being held remotely via ZOOM.

**CONSTRUCTION REPORTS:**

The Board is in receipt of the following: **(See Attached)**

- Salmon Senior Living Community – TT Report #53 (9-14-20)
- Salmon Senior Living Community – TT Report #54 (9-17-20)
- Salmon Senior Living Community – TT Report #55 (9-25-20)

Consulting Engineer Steve Bouley of Tetra Tech reviewed the various construction reports with the Board.

**MEDWAY MILL SITE PLAN PUBLIC HEARING CONTINUATION**

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice dated 10-13-20.
- Request dated 9-23-20 from project engineer Amanda Cavaliere to continue the hearing to 10-27-20.
- Request dated 10-13-20 from project engineer Amanda Cavaliere to continue the hearing to 11-10-20.

**On a motion made by Matt Hayes, and seconded by Rich Di Iulio, the Board voted by Roll Call vote to continue the hearing for Medway Mill Site Plan to November 10, 2020 at 7:15 pm.**

**Roll Call Vote:**

Matthew Hayes	aye
Rich Di Iulio	aye
Bob Tucker	aye
Andy Rodenhiser	aye
Tom Gay	aye

**PUBLIC HEARING - ZONING BYLAW AMENDMENTS FOR FALL TOWN MEETING:**

The Chairman opened the public hearing on proposed amendments to the Zoning Bylaw for the Fall Town Meeting.

**On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call vote to waive the reading of the public hearing notice.**

**Roll Call Vote:**

Matthew Hayes	aye
Rich Di Iulio	aye
Bob Tucker	aye
Andy Rodenhiser	aye
Tom Gay	aye

The Board is in receipt of the following. (See Attached)

- Public Hearing Notice
- Collection of 11 Articles (A-K)
- Collection of review comments and requested edits
- Edited version of warrant articles by Town Counsel, Carolyn Murray, of KP Law

**Article B- Energy Resources:**

The Board is in receipt of the following additional documents: (See Attached)

- Email from Barbara Saint Andre re: Use Table terminology
- Email from Paul Yorkis re: definition of renewable energy

**Article F – Environmental Standards:**

- Email and attachment from John Lally re: draft environmental standards dated 9-14-20

- Comments from Town Counsel Carolyn Murray re: draft environmental standards dated 9-14-20
- Email from Paul Yorkis re: construction hours
- Email from noise consultant Jeff Komrower about definition for measurement of vibration

**Article K – Special Permits in the Central Business District:**

- Email from Paul Yorkis re: limitation on including multi-family residential units on the ground floor of a mixed used building.

The Board took the Articles out of order and began discussing Article F. Resident, John Lally was part of the Zoom meeting for this article.

**Article F:**

The Board began discussing Article F regarding the update to the environmental standards. The changes to this article include new definitions. It also establishes procedures for investigation of complaints. John Lally wanted to add language that “compliance is required at all property lines of the noise source and at sensitive receptors located within one thousand feet of a property line of the noise source. Noncompliance at any property line of the noise source and at any sensitive receptor located within one-thousand feet of a property line of the noise source is a violation.” John recommended changing the word from “or” to “and”. The next item was regarding the word “disturbing” in the noise section. There does not seem to be a reliable and accurate instrument only measurement method to assess for impacts. It is reasonable to set the limit for odor at the detection threshold. It was also suggested that under the continuous noise on page 2 to split this into two sentences.

The Board next discussed the comments supplied by Mr. Paul Yorkis in an email dated October 8, 2020. It is his recommendation that the construction noise language should be revised to “No **outside** construction shall take place on Sundays, federal holidays or state legal holidays without the advance written approval of the Building Commissioner. The Board did not concur with his recommendation.

The next item discussed was the included language for farming exemptions. The language added is impacts from agricultural, farm related, or forestry-related activities that are potentially hazardous, harmful to the environment, disturbing, offensive, or objectionable, or constitute a nuisance may be subject to alternative rules, regulations, and enforcement procedures. This language protects farming.

**Article B – Energy Resources:**

The Board is in receipt of an email from Barbara Saint Andre dated October 5, 2020. It was recommended to change the wording in the Schedule of Uses from “other Renewable Energy generating facilities” to “other Renewable Energy **Sources**”.

**Article E – Setbacks (Sight Triangle)**

Mr. Yorkis also provided an email dated October 8, 2020 with recommendations about this article. He noted that this should take into consideration that grass is a planting so the language should include a height limitation. Also, there is no reference to the utility poles, street signs,

traffic signs, existing trees on scenic ways, existing stone walls, and retaining walls. There was a suggestion to have Safety Officer Jeff Watson provide input. Barbara Saint Andre noted that the new language would apply to items going forward; existing items in the sight triangle would be allowed. She also suggested changing the wording “located” to “placed or constructed”.

**Article K – Special Permits in the Central Business District:**

Mr. Yorkis provided another email dated October 8, 2020. This is regarding the multi-family dwelling units may not be located on the ground floor of a mixed-use building or development. He suggested that the restriction may be a violation of the Architectural Access Board or the ADA. It was recommended to consider an additional provision specifically permitting first floor residential units that are constructed to meet the needs of those with a physical disability.

The recommendations will be incorporated the document. It was recommended that this document be further revised. It was suggested to hold another meeting to finalize the discussions.

**On a motion made by Rich Di Iulio, seconded by Bob Tucker, the Board voted by roll call to continue the hearing for the Zoning Bylaw amendments to October 20, 2020 at 7:00 pm.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**PROPOSED MEETING SCHEDULE 2021:**

The Board is in receipt of the proposed meeting schedule for 2021: (See Attached)

- Proposed Meeting scheduled 2021.

**On a motion made by Rich Di Iulio, seconded by Bob Tucker, the Board voted by roll call to accept the proposed meeting schedule for 2021.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**REFUNDS OF BALANCES OF PLAN REVIEW AND CONSTRUCTION OBSERVATION FUNDS:**

The Board is in receipt of the following: (See Attached)

- Plan Review Account Refunds
- Construction Observation Account Refunds



**On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted by Roll Call to refund the plan review and construction account balances for the noted projects from their respective revolving funds.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**PEDB MEETING MINUTES:**

**September 22, 2020:**

**On a motion made by Bob Tucker and seconded by Matt Hayes, the Board voted by Roll Call to approve the minutes of the September 22, 2020 PEDB meeting with revisions.**

**Roll Call Vote:**

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**OTHER BUSINESS:**

- There will be a community forum about the Central Business District with Mr. Browvitz via zoom week of November 17, 2020.
- Town meeting is scheduled for November 16, 2020 at Medway High School

**FUTURE MEETINGS:**

- Tuesday, October 20, 2020 – Special
- Tuesday, October 27, 2020 – Regular

**ADJOURN:**

**On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted by Roll Call vote to adjourn the meeting.**

**Roll Call Vote:**

Andy Rodenhiser	aye
Bob Tucker	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

The meeting was adjourned at 8:46 pm.

Prepared by,  
Amy Sutherland  
Recording Secretary

Reviewed and edited by,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

DRAFT

**Tuesday, October 20, 2020**  
**Medway Planning and Economic Development Board**  
**155 Village Street**  
**Medway, MA 02053**

**REMOTE MEETING**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>	<b>Jessica Chabot</b>
<b>Attendance</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>Absent with Notice</b>

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor's Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance of members of the public will be permitted at this meeting. Board members will participate remotely via ZOOM. Meeting access via ZOOM is provided for the opportunity for public participation; information for participating via ZOOM is included at the end of this Agenda. Members of the public who wish to watch the meeting may do so on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable, or on Medway Cable's Facebook page @medwaycable.

**PRESENT VIA ZOOM MEETING:**

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Barbara Saint Andre, Director of Community and Economic Development

The Chairman called the meeting to order at 7:00 pm. He read the above statement about the meeting being held remotely via ZOOM.

**PUBLIC HEARING CONTINUATION - ZONING BYLAW**  
**AMENDMENTS FOR FALL TOWN MEETING**

The Chairman opened the continued public hearing on proposed amendments to the Zoning Bylaw for consideration at the Fall Town Meeting.

The Board is in receipt of the following. **(See Attached)**

- Public Hearing continuation notice dated 10-14-20 as filed with the Town Clerk
- Collection of 11 Articles with revisions as discussed at 10-6-20 hearing
- Proposed further edits to Article K – Special Permits in Central Business District based on discussion at 10-19-20 BOS meeting

Using the ZOOM Share Screen feature, Susy Affleck-Childs reviewed the collection of revised articles as had been discussed at the 10-6-20 hearing. The edits were shown in **red**. The Board concurred that all the edits shown were OK.

## **ARTICLE F – Environmental Standards**

Resident John Lally of Coffee Street was also present via ZOOM and indicated that his recommended edits to Article F Environmental Standards from the 10-6-20 hearing had been incorporated.

Member Bob Tucker suggested a change in Article F, D. Standards, 3. Vibration. He noted that site blasting related to construction would probably violate this section. It was suggested that blasting authorized by state or local agencies should be exempt. Members agreed. Susy Affleck-Childs will consult with Community and Economic Development Director Barbara Saint Andre to add a suitable clarifying sentence to Article F.

## **ARTICLE K – Special Permits in the Central Business District**

Barbara Saint Andre updated Board members on the conversation at the 10-19-20 BOS meeting. She reported that the BOS had reviewed the Board's 11 articles (as edited) and voted to recommend approval of most of them. Town Manager Michael Boynton suggested adding *municipal* uses to the list of allowed uses in a mixed-use building in Section 3.5.1 E. 1. This would create the opportunity for Town uses to be incorporated into a mixed-use development project in the Central Business District. The Board was amenable to this edit.

Barbara indicated that Selectman Dennis Crowley had expressed concern that the specified minimum percentage requirements of business uses in a mixed-use building was too high. Note, these amounts vary by the number of stories in a building.

All Board members present stated their commitment to the existing language indicating that they wanted to make sure that the primary focus for the central business district is business uses. Barbara Saint Andre concurred. It was further noted that a residential only building could be included when it is set back at least 100 feet from Main Street.

**On a motion made by Rich Di Iulio, seconded by Tom Gay, the Board voted by roll call to approve the various articles as presented and amended.**

### **Roll Call Vote:**

<b>Bob Tucker</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

### **FUTURE MEETINGS:**

- Tuesday, October 27, 2020 – Regular Meeting
- Tuesday, November 10, 2020 – Regular Meeting
- Monday, November 16, 2020 – Town Meeting

**ADJOURN:**

**On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call vote to adjourn the meeting.**

**Roll Call Vote:**

<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Bob Tucker</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The meeting was adjourned at 7:18 pm.

Prepared by,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

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