

Tuesday November 27, 2018
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	Absent with Notice	Absent with Notice	X	X

The meeting is being broadcast and recorded by Medway Cable Access.

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Planning Consultant Gino Carlucci, PGC Associates
Amy Sutherland, Recording Secretary

The Chairman opened the meeting at 7:00 pm

There were no Citizen Comments.

Engineering Consultant Steve Bouley took part in a conference call to speak with the Board about the Millstone bond reduction.

MILLSTONE BOND REDUCTION:

The Board was informed that Millstone developer Steve Venincasa has requested a bond reduction for Millstone. The Board is in receipt of the following documents: (**See Attached**)

- Tetra Tech bond reduction estimate dated 11-13-18 in the amount of \$238,435 to reflect completion of the roadway paving work.
- Millstone bond agreement including the Tetra Tech bond estimate from July 2017 for \$385,510
- *Proposed Trail Relocation Plan* dated 5-3-2018 by GLM Engineering.
- Emails between developer Steve Venincasa and Susy Affleck-Childs

It was indicated that there were concerns about the upkeep and maintenance of the stormwater management system. The Board is in receipt of the bond reduction estimate which includes some funding to repair one of the underground water system. In the prepared bond estimate, there was no adjustment made for the trail work since this is under the jurisdiction of the Conservation Commission due to the conservation restriction on the open space portion of the site. Consultant Bouley did indicate that the site does look great overall with the exception of the drainage issue. The cost got for the drainage in the estimate was \$15,000 which was noted in the report provided. The developer's engineer Rob Truax is aware of the situation and will be addressing the drainage. The Conservation Agent performed a site inspection of the trail and there is a concern that the trail running south/north along the eastern side of the open space

portion of the Millstone site may not have been located completely on Millstone property based on the plan 5-2-2018. The Conservation Agent requires the developer to provide as as-built for the trail.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to reduce the Millstone Bond Reduction to \$238,435 contingent upon a payment of \$3,000.00 for the Millstone construction services account.

BOND ESTIMATE EXELON:

The Board is in receipt of the following documents: **(See Attached)**

- BETA Group inspection reports from 11/14 and 11/19.
- BETA bond estimate dated 11/20.

The Board was informed that Exelon is seeking an occupancy permit for the administration building. The site work is not entirely completed. Exelon is in receipt of the bond estimate which will be covered by Exelon and GEMA.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the bond estimate with the understanding that it would be implemented with two bond agreements – one with Exelon and one with Gemma.

CONSTRUCTION REPORTS:

The Board is in receipt of the following documents: **(See Attached)**

- TT construction report #3 for (9 Trotter Drive) dated 11-19-18.
- TT construction report #4 for (9 Trotter Drive) dated 11-20-18.
- Beals and Thomas monthly status report on construction at Exelon dated 11-9-18.

Consultant Bouley informed the Board that 9 Trotter (CTS) is excavating the proposed stormwater infiltration area #1.

The Beals and Thomas report indicates that the acoustic barrier and doors around the power block have been installed at the Exelon site.

There was discussion that language should be included regarding a requirement for inspection ports and isolated rows for sub-surface stormwater systems. Consultant Bouley will work with Susy to draft language to include in the Board's various rules and regulations.

LOT RELEASE – 6 AUTUMN ROAD:

The Board is in receipt of the following documents: **(See Attached)**

- Lot release for 6 Autumn Road.

The Board was made aware that the Attorney's office representing the current owner of 6 Autumn Road indicated that the title search did not turn up a lot release for this house. This was part of the Summer Hill subdivision which dated back to 1984.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to the lot release for 6 Autumn Road.

The Board signed the lot release document for 6 Autumn Road.

2 Marc Road Special Permit for Cultivation and Processing of Marijuana for Adult Recreational Use:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to open the continued public hearing for the special permit for 2 Marc Road.

The Board is in receipt of the following: **(See Attached)**

- Public Hearing Continuation Notice dated 11-14-18
- Email dated 10-23-18 from Cannabis Control Commission re: receipt of application for cultivation
- Email dated 10-23-18 from Cannabis Control Commission receipt of application for manufacturing/processing
- Email dated 11-16-18 from resident John Lally
- Noise Control Engineering, LLC report dated November 27, 2018
- Email from resident John Lally dated 11-26-18

Developer and property owner Ms. Ellen Rosenfeld was present to inform the Board that she has supplied letters from the Cannabis Control Commission. This acknowledges receipt of the applications for this site. She further explained that work has been done to mitigate the concerns of sound. This included installing blankets, changing temperatures in growing rooms by two degrees, and installing more fans. The sound levels are in compliance per the MA Regulations.

The Board was presented with a report from Noise Control Engineering dated November 27, 2018 for 2 Marc Road. This report was commissioned by the Town. After reviewing the report, the Board of Health Agent communicated that the report indicates that the site is in compliance with the Commonwealth of Massachusetts noise regulations per the 2018 MassDEP standards.

Resident Lally was present and explained that he has a log of the specific dates and times of the noise which is above the conspicuous level. He did thank Ellen for trying to mitigate some of the noise. It is his belief that the second floor of the facility could increase the ambient level and would be detrimental to the neighborhood.

It was suggested it might be possible to put up a fence since Mr. Lally's properties appear to be part of the "ping pong" effect happening between the sound waves. He also asked if there will be any changes to the existing –as-built HVAC system. He would like a condition included in the forthcoming special permit decision that ensures noise levels do not increase with the new facility and if so, mitigation would need to be required.

The Board would like Susy to begin drafting the special permit decision with conditions and include language about an annual evaluation of sound measurement.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to continue the hearing for 2 Marc Road to December 11, 2018 at 7:15 pm.

WARRANT ARTICLES FOR MAY 2019:

The Board is in receipt of the following: **(See Attached)**

- Ideas for Zoning & General Bylaw Work updated 11/26/18 – short list and master list.

The Board was made aware that there was a meeting with Barbara, Jack and Susy to review and update the master list of possible zoning and general bylaw ideas.

The following suggestions were noted:

- Work on clarifying the language for kennels. This will need input from Brenda Hamelin. There was discussion that a doggy day care is different than a kennel. There should be new definitions for the various types of kennels. Differentiate between animals as pets and/or home based business versus a full commercial kennel operation.
- Rezone the southern end of West Street from ARII to some sort of business/industrial classification. It was suggested to get the opinion from the EDC about access. There needs to be discussion about how to get to this industrial area from Farm Street.
- Continue work on Certificate of Zoning Compliance. Susy will work with Gino on language. The Chairman will reach out to Medway Business Counsel to let them know what the town is doing with Administrative Site Plan review.
- Discuss ground mounted solar with the EDC.
- Redefine definition for outside storage to include conex type containers. Establish special regulations in a new section 7.1.4 to address screening, % of parcel to be used for outdoor storage. Add definition for “bulk storage”.
- Discuss use variances with the ZBA to establish some limitations on their use or only allow in non-residential districts.
- Include in the General Bylaw requirement for sidewalk construction along frontages for projects seeking site plan approval.
- Look to include language about GATRA bus stations in the use table.

MEETING MINUTES:

November 6 & 13, 2018:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to approve the minutes from November 6 and 13, 2018 as presented.

MEDWAY COMMUNITY CHURCH SITE PLAN ENDORSEMENT:

The Board was informed that the Certificate of No Appeal was received from the Town Clerk. The applicant also has paid half of the construction services amount of \$3,793.00 since the construction will not begin until spring. The revised plan was received and reviewed by Tetra Tech which found it complied with the various decision conditions. The decision and the long term stormwater and operations maintenance plan were recorded with the Registry of Deeds.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to endorse the site plan for Medway Community Church.

The members will sign the Medway Community Church site plan at the conclusion of the meeting.

OTHER BUSINESS:

Town Line Estates:

The members are in receipt of an email from attorney Paul Kenney dated November 26, 2018. **See Attached.** The Board is asked to approve the request to extend the deadline for the Board to endorse the Town Line Estates Definitive Subdivision Plan to January 31, 2019. This is due to the time required by The Land Court to review and finalize the plan as the subject property is “registered” land.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to extend the deadline for Town Line Estates Definitive Subdivision Plan for to January 31, 2019.

Other News/Reports

- The new owner of 21 High Street has a meeting with Susy and he will be submitting an application for a multifamily housing special permit.
- There will be an ANR application submitted shortly for 13 Olson Circle for action at the December 11, 2018 meeting.
- The draft of the *Site Plan Rules and Regulations* has been circulated to various departments along with three engineering firms. The draft copy will be reviewed at the December 11, 2018 meeting.
- There is a volunteer appreciation event to be held on Monday December 10, 2018 for Town boards and committees. It is being sponsored by the Board of Selectmen.
- There is a MAPC event on Wednesday, December 5, 2018 at Dean College for elected officials (breakfast) and planning staff (lunch). This pertains to MAPC’s process for the development of the MetroCommon 2050 plan.

FUTURE PEDB MEETING:

- Tuesday, December 11, 2018.

ADJOURN:

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to adjourn the meeting.

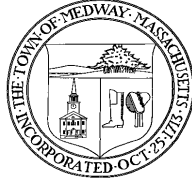
The meeting was adjourned at 9:25 pm.

Prepared by,

Amy Sutherland
Recording Secretary

Reviewed and edited by,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



November 27, 2018
Medway Planning & Economic Development Board
Meeting

MILLSTONE BOND REDUCTION

Millstone developer Steve Venincasa has requested a bond reduction. Roadway paving occurred on November 7th; Tetra Tech was present. Tetra Tech has prepared a bond reduction estimate dated 11-13-18 in the amount of \$238,435 to reflect completion of the roadway paving work. **See Attached.**

The bond estimate from July 2017 for \$385,510 is also provided so you can compare the two. **See Attached.**

NOTE – There continue to be concerns about the developer's inadequate upkeep and maintenance of the stormwater management system. The TT bond estimate includes some funding for repairs to the Cultec system.

NOTE – At my request, the updated TT bond estimate made no adjustment in the bond amount for the trail work. Because of the conservation restriction on the Millstone Open Space area, the Conservation Commission has a level of jurisdiction over the Millstone

open space area and its trails. Accordingly, I asked Conservation Agent Bridget Graziano for her input about completion of the trail for this bond reduction. Based on her site inspection, Bridget is concerned that the trail running north/south along the eastern side of the open space portion of the Millstone site may not have been located completely on Millstone property in accordance with the route shown on the approved *Proposed Trail Relocation Plan* dated 5-3-2018 by GLM Engineering. **See Attached.** Conservation requires an as-built of the trail and contacted GLM Engineering about that.

ADDITIONAL NOTE – The construction of the trail segment going westerly within the developed part of Millstone to connect to the Medway Link Trail will be coordinated by the Medway Trail Task Force with volunteers from various groups/organizations. The 11-19 Town Meeting (Article 2) approved the use of \$88,000 in CPA funds for the needed footbridge, boardwalk and observation platform associated with this trail segment. The Trail Task Force is meeting Monday night 11-26 to work out details and next steps.

Mr. Venincasa objects to not reducing the bond estimate for the trail work. **See Attached emails.**

**TETRA TECH**

Bond Estimate
Millstone Village (Phase I NEW²)
Medway, Massachusetts
November 13, 2018

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course-Main Road	0	TON	\$110.00	\$0
HMA Top Course-Common Road	0	TON	\$110.00	\$0
HMA Top Course-Sidewalk	0	TON	\$110.00	\$0
HMA Binder Course-Sidewalk	0	TON	\$110.00	\$0
Gravel Borrow-Sidewalk	0	CY	\$40.00	\$0
Adjust Castings	0	EA	\$375.00	\$0
Vertical Granite Curb	0	FT	\$50.00	\$0
Cape Cod Berm	0	FT	\$6.00	\$0
Rehandled Topsoil	0	CY	\$30.00	\$0
Seed	0	SY	\$2.00	\$0
Sloped Granite Curb	0	FT	\$45.00	\$0
Line Striping (Binder)	0	LS	\$500.00	\$0
Line Striping (Top) ³	1	LS	\$4,000.00	\$4,000
Signage	0	EA	\$300.00	\$0
Landscaping ³	0	LS	\$20,000.00	\$0
Stormwater System Maintenance	1	LS	\$5,000.00	\$5,000
As-Built Plans	2,505	LF	\$5.00	\$12,525

Subtotal	\$21,525
25% Contingency	\$5,381
Total	<u>\$26,906</u>

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 11/2017 - 11/2018. Quantities for Items shown in gray have changed since our previous bond estimate.
2. This bond estimate is based upon Phasing of the project as shown on updated Phasing Plan dated April 2, 2014.
3. This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.

**TETRA TECH**

**Bond Estimate
Millstone Village (Phase II)
Medway, Massachusetts
November 13, 2018**

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Millstone Construction				
HMA Top Course-Main Road	35	TON	\$108.00	\$3,780
HMA Top Course-Common Road	0	TON	\$108.00	\$0
HMA Top Course-Sidewalk	0	TON	\$108.00	\$0
HMA Binder Course-Sidewalk	0	TON	\$108.00	\$0
Gravel Borrow-Sidewalk	0	CY	\$39.00	\$0
Adjust Castings	0	EA	\$380.00	\$0
Water Service Box Adjusted	1	EA	\$175.00	\$175
Vertical Granite Curb	0	FT	\$42.00	\$0
Point Vertical Granite Curb	1	LS	\$500.00	\$500
Cape Cod Berm	372	FT	\$12.00	\$4,464
Rehandled Topsoil	125	CY	\$20.00	\$2,500
Seed	735	SY	\$2.00	\$1,470
Line Striping (Top)	1	LS	\$2,000.00	\$2,000
Signage	1	EA	\$300.00	\$300
Landscaped Cul-De-Sac Island	0	LS	\$5,000.00	\$0
Landscaping ²	1	LS	\$10,000.00	\$10,000
Stormwater System Maintenance	1	LS	\$10,000.00	\$10,000
Paint Hydrants	1	LS	\$1,400.00	\$1,400
Cultec Recharger 4P Repair	1	LS	\$15,000.00	\$15,000.00
As-Built Plans	2,199	LF	\$5.00	\$10,995
Subtotal				\$62,584
25% Contingency				\$15,646
Total				\$78,230

Openspace Footpath/Parking Area				
Erosion & Sediment Controls	1	LS	\$5,000.00	\$5,000
Clearing & Grubbing ⁴	0.98	A	\$12,000.00	\$11,760
Openspace-Woodchip Trail	946	SY	\$11.50	\$10,879
Openspace-Gravel Parking Area	1	LS	\$18,000.00	\$18,000
Footbridge	122	LF	\$500.00	\$61,000
Subtotal				\$106,639
25% Contingency				\$26,660
Total				\$133,299

Notes:

- Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 11/2017 - 11/2018. Quantities for Items shown in gray have changed since our previous bond estimate.
- This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.
- Openspace-Grass Trail is included in this item. Existing grass meadow shall be mowed to delineate the proposed walking trail.

AMENDMENT #3
Performance Secured by Lender's Agreement
Millstone Village

Planning & Economic Development Board – Town of Medway, MA

WHEREAS, on the 24th day of April, 2015, the Town of Medway, acting through its Planning & Economic Development Board, (hereinafter referred to as "the Board") with an address of 155 Village Street, Medway, MA 02053, Millstone Builders, LLC ("Applicant") with an address of 1 Golden Court, P.O. Box 1205, Westborough, MA 0158, and Cornerstone Bank, successor by merger of Southbridge Savings Bank ("Lender") with an address of P.O. Box 370, Southbridge, MA 01550, entered into a Lender's Agreement to secure the construction of ways and installation of municipal services in accordance General Laws Chapter 41 Section 81U, and all other applicable provisions of the Subdivision Control Law and General Laws on the land shown on an approved Millstone Village Adult Retirement Community Planned Unit Development Plan dated October 15, 2013, last revised July 22, 2014, prepared by GLM Engineering of Holliston, MA showing the development of Parcels A and B at 129 Lovering Street, as recorded in the Norfolk County Registry of Deeds in Plan Book 632, pages 77 – 79 (hereinafter referred to as "the ARCPUD Plan"); and

WHEREAS, the Applicant, Board and Lender amended the Lender's Agreement on June 23, 2015; and

WHEREAS, the Applicant, Board and Lender further amended the Lender's Agreement on May 25, 2016; and

WHEREAS, the Applicant wishes to reduce the bond security to reflect the additional work completed in the Phase 1 and 2 areas since May of 2016; and

WHEREAS, the Board wishes to establish performance security to ensure construction of trails, paths and parking areas as shown on the Millstone ARCPUD plan; and

WHEREAS, the Applicant and Board now need to modify the Lender's Agreement as follows in order to adjust the security to ensure completion of the construction of ways and installation of municipal services and various other site improvements and amenities by:

1. reducing the Phase 1 performance security amount from \$180,021 to \$26,906 for the Phase 1 area in accordance with the bond reduction estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017, and
2. reducing the Phase 2 performance security amount from \$439,285 to \$225,305 for the Phase 2 area in accordance with the bond estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017; and
3. adding performance security in the amount of \$133,299 for the development of trails and parking in accordance with the bond estimate prepared by Tetra Tech Engineering dated June 27, 2017 (as attached) and approved by the Board on July 11, 2017;

for a combined total of \$385,510.

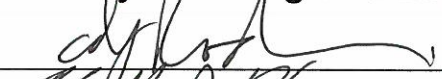
NOW, THEREFORE, the parties agree that the paragraph numbered 1 in the Lender's Agreement shall be further modified to read as follows:


1. The Applicant and Lender hereby bind and obligate themselves, their executors, administrators, devisees, heirs, successors and assigns to the Board in the sum of \$385,510 and have secured this obligation by the Lender retaining said sum of money from said principal sum otherwise due the Applicant ("Retained Funds") to be used to secure the performance by the Applicant of all covenants, conditions, agreements, terms and provisions contained in the following: the Subdivision Control Law (G.L. c. 41 §§ 81K-81GG); the Board's Rules and Regulations for the Review and Approval of Land Subdivisions applicable to this development; the application submitted for approval of this development; the special permit and all conditions of approval; the recommendations of the Board of Health; the ANR Plan and the ARCPUD Plan; all conditions subsequent to approval of this development due to any amendment, modification or revision of the special permit, ANR Plan or the ARCPUD Plan; all of the provisions set forth in this Agreement and any amendments thereto; and the following additional documents: _____ (hereinafter the "Approval Documents")."

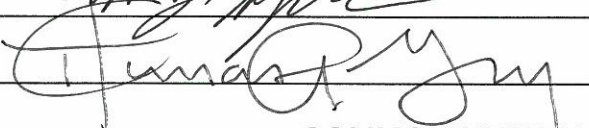
2. All other provisions of the original Lender's Agreement executed April 24, 2015 remain in effect.


IN WITNESS WHEREOF we have hereunto set our hands and seals this 25 day of July, 2017.

Medway Planning and Economic Development Board












Richard DiJulio

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this 25th day of July, 2017, before me, the undersigned notary public, personally appeared the following Members of the Medway Planning & Economic Development Board:

Andy Ridenhiser, Richard DiJulio, Thomas G. By

proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the persons whose names are signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as members of the Medway Planning and Economic Development Board.



Notary Public
My commission expires: Aug 19, 2022

Millstone Builders, LLC

By: Steven F. Venincasa

Title/Position: Manager

Print name: Steven F. Venincasa

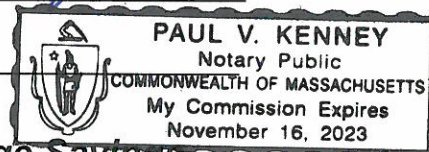
COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS

On this 14th day of August, 2017, before me, the undersigned notary public, personally appeared the above-named Steven F. Venincasa, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as Manager of Millstone Builders, LLC.

Paul V. Kenney
Notary Public

My commission expires: _____



Cornerstone Bank successor by merger of Southbridge Savings

By: James Sandagato

Title/Position: VP Commercial Team Leader

Print name: James Sandagato

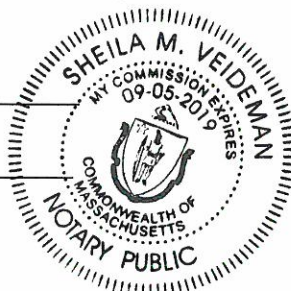
COMMONWEALTH OF MASSACHUSETTS

WORCESTER, SS

On this 20th day of July, 2017, before me, the undersigned notary public, personally appeared the above-named JAMES SANDAGATO, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as VP COMMERCIAL TEAM LEADER of Cornerstone Savings Bank.

Sheila M. Veideman
Notary Public

My commission expires: 9/5/19



July 20, 2017



Bond Estimate
Millstone Village (Phase I NEW²)
Medway, Massachusetts
June 27, 2017

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
HMA Top Course-Main Road	0	TON	\$110.00	\$0
HMA Top Course-Common Road	0	TON	\$110.00	\$0
HMA Top Course-Sidewalk	0	TON	\$110.00	\$0
HMA Binder Course-Sidewalk	0	TON	\$110.00	\$0
Gravel Borrow-Sidewalk	0	CY	\$40.00	\$0
Adjust Castings	0	EA	\$375.00	\$0
Vertical Granite Curb	0	FT	\$50.00	\$0
Cape Cod Berm	0	FT	\$6.00	\$0
Rehandled Topsoil	0	CY	\$30.00	\$0
Seed	0	SY	\$2.00	\$0
Sloped Granite Curb	0	FT	\$45.00	\$0
Line Striping (Binder)	0	LS	\$500.00	\$0
Line Striping (Top) ³	1	LS	\$4,000.00	\$4,000
Signage	0	EA	\$300.00	\$0
Landscaping ³	0	LS	\$20,000.00	\$0
Stormwater System Maintenance	1	LS	\$5,000.00	\$5,000
As-Built Plans	2,505	LF	\$5.00	\$12,525

Subtotal	\$21,525
25% Contingency	\$5,381
Total	\$26,906

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 6/2016 - 6/2017. Quantities for Items shown in gray have changed since our previous bond estimate.
2. This bond estimate is based upon Phasing of the project as shown on updated Phasing Plan dated April 2, 2014.
3. This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.



Bond Estimate
Millstone Village (Phase II NEW²)
Medway, Massachusetts
 June 27, 2017

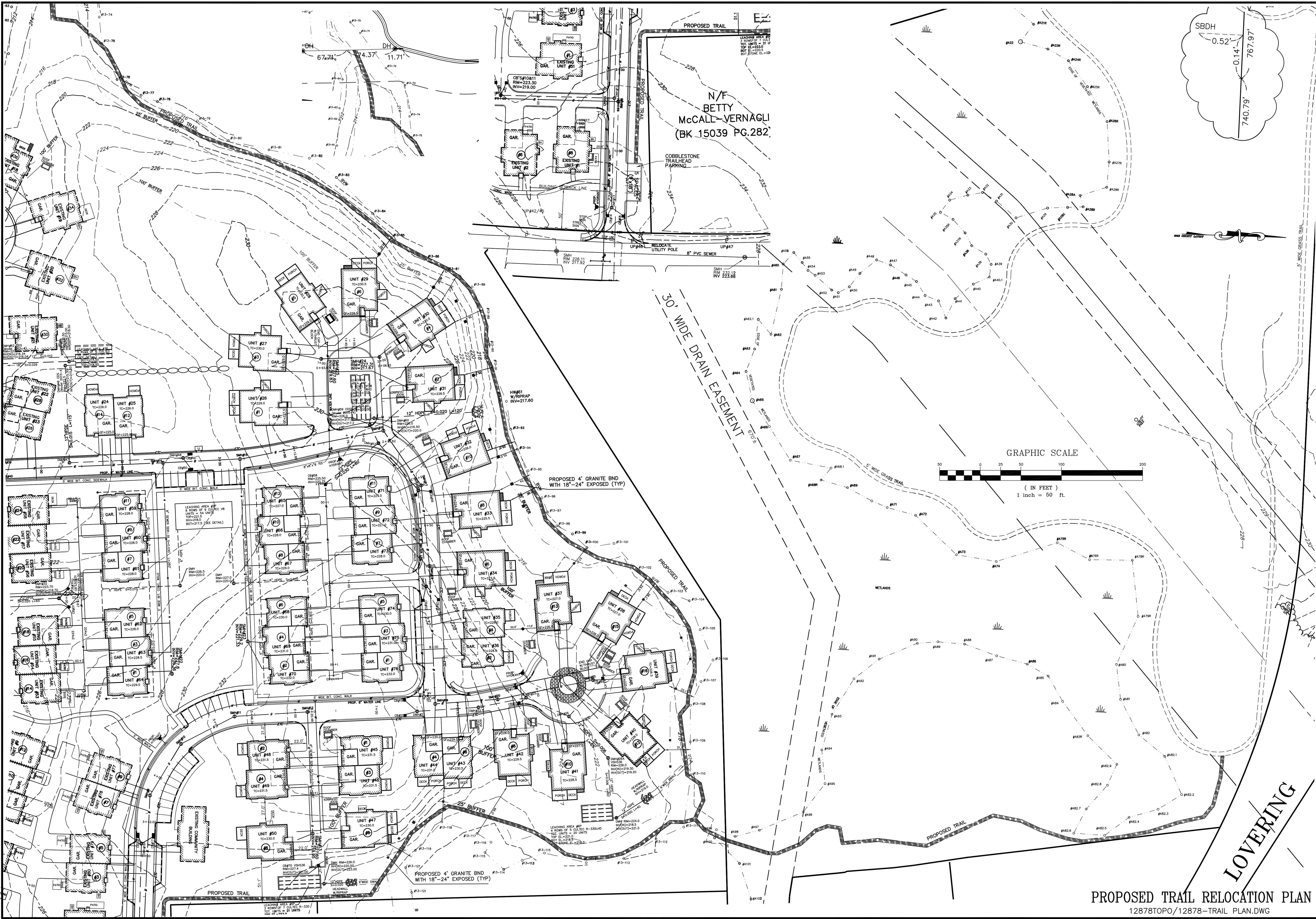
Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Millstone Construction				
HMA Top Course-Main Road	346	TON	\$110.00	\$38,060
HMA Top Course-Common Road	117	TON	\$110.00	\$12,870
HMA Top Course-Sidewalk	71	TON	\$110.00	\$7,810
HMA Binder Course-Common Road	0	TON	\$110.00	\$0
HMA Binder Course-Sidewalk	42	TON	\$110.00	\$4,620
Gravel Borrow-Common Road	0	CY	\$40.00	\$0
Gravel Borrow-Sidewalk	162	CY	\$40.00	\$6,480
Fine Grading and Compacting	0	SY	\$4.00	\$0
Frame and Grate	0	EA	\$800.00	\$0
Frame and Cover	0	EA	\$750.00	\$0
Adjust Castings	41	EA	\$375.00	\$15,375
6" HDPE Pipe	0	FT	\$60.00	\$0
Electrical Services ³	0	LS	\$30,000.00	\$0
Vertical Granite Curb	132	FT	\$50.00	\$6,600
Cape Cod Berm	1,905	FT	\$6.00	\$11,430
Sloped Granite Curb	0	FT	\$45.00	\$0
Rehandled Topsoil	431	CY	\$30.00	\$12,930
Seed	2,587	SY	\$2.00	\$5,174
Line Striping (Top)	1	LS	\$2,000.00	\$2,000
Line Striping (Binder)	0	LS	\$2,000.00	\$0
Signage	3	EA	\$300.00	\$900
Landscaped Cul-De-Sac Island	1	LS	\$5,000.00	\$5,000
Landscaping ³	1	LS	\$30,000.00	\$30,000
Stormwater System Maintenance	1	LS	\$10,000.00	\$10,000
As-Built Plans	2,199	LF	\$5.00	\$10,995
Subtotal				\$180,244
25% Contingency				\$45,061
Total				\$225,305

Openspace Footpath/Parking Area				
Erosion & Sediment Controls	1	LS	\$5,000.00	\$5,000
Clearing & Grubbing ⁴	0.98	A	\$12,000.00	\$11,760
Openspace-Woodchip Trail	946	SY	\$11.50	\$10,879
Openspace-Gravel Parking Area	1	LS	\$18,000.00	\$18,000
Footbridge	122	LF	\$500.00	\$61,000
Subtotal				\$106,639
25% Contingency				\$26,660
Total				\$133,299

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website and have been updated since our previous bond estimate submission. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 6/2016 - 6/2017. Quantities for Items shown in gray have changed since our previous bond estimate.
2. This bond estimate is based upon Phasing of the project as shown on updated Phasing Plan dated April 2, 2014.
3. This item has been updated to reflect current project Phasing as shown on updated Phasing Plan dated April 2, 2014.
4. Openspace-Grass Trail is included in this item. Existing grass meadow shall be mowed to delineate the proposed walking trail.



ADULT RETIREMENT COMMUNITY PLANNED UNIT DEVELOPMENT
"MILLSTONE VILLAGE"
MEDWAY, MASSACHUSETTS

OWNER:
BETTY McCALL-VERNAGLI
12 PARTIDGE STREET
MEDWAY, MASSACHUSETTS 02053

APPLICANT:
ELITE HOME BUILDERS LLC
P.O. BOX 1205
WESTBORO, MASSACHUSETTS 01581

GLM
ENGINEERING
CONSULTANTS, INC.

19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

REVISIONS		FIELD:	
No.	DATE	DESCRIPTION	DESIGN BY:
1	6/06/18	TRAIL PARKING	WML
2	6/07/18	REVISED TRAIL LOCATION	WML
			CHECKED BY: WML

JOB No. 12,878TOPO

SCALE: 1" = 50'

DATE: MAY 3, 2018

SHEET No. A-1

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, November 21, 2018 9:20 AM
To: 'Steven Venincasa'
Subject: RE: Millstone - Bond Reduction Estimate

Hi Steve,

I will share your comments with the Planning and Economic Development Board as it considers the Millstone bond reduction next week.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Steven Venincasa [mailto:sv@casarealty-builders.com]
Sent: Tuesday, November 20, 2018 2:27 PM
To: Susan Affleck-Childs
Subject: Re: Millstone - Bond Reduction Estimate

You already have a line item for the as built. The trail has been complete for some time with the exception of the parking that was built this past summer and recently top coat paved.

Sent from my iPad

On Nov 20, 2018, at 1:33 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Steve,

Thanks for your comments back on the bond reduction estimate prepared by Tetra Tech.

Because of the conservation restriction, the Conservation Commission has a level of jurisdiction over the Millstone open space area and the trail. Accordingly, I asked Conservation Agent Bridget Graziano for her input about completion of the trail for this bond reduction. A question has been raised as to whether the trail as constructed is located completely on Millstone property and in accordance with the route shown on the amended plan sheet. She requires an as-built of the trail and has been in contact with GLM Engineering about that.

The Board may still choose to address the Millstone bond reduction at next week's meeting but it will likely be minus the portion associated with the trail work.

Would you check with GLM about the timing for completion of the trail as-built? Thanks.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Steven Venincasa [<mailto:sv@casarealty-builders.com>]

Sent: Tuesday, November 20, 2018 1:05 PM

To: Susan Affleck-Childs

Subject: Re: Millstone - Bond Reduction Estimate

Phase 1 is ok

Phase 2 should be \$2,000 plus \$10,995

Walking trails are complete and should therefore be zero.

Sent from my iPad

On Nov 13, 2018, at 3:02 PM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Steve,

Here is the bond estimate I received this afternoon from Tetra Tech.

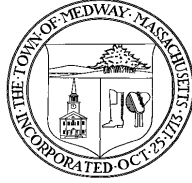
As I noted on our phone call, I will hold this over to the November 27th Planning and Economic Development Board meeting.

Please review and let me know if there are any items of concern. As we discussed, we can adjust the trail portion of the estimate.

Cheers. Happy Thanksgiving.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

<TT Millstone Bond Estimates_2018-11-13.pdf>



November 27, 2018
Medway Planning & Economic Development Board
Meeting

BOND ESTIMATE – EXELON

- BETA Group inspection reports from 11/14 and 11/19
- BETA bond estimate dated 11/20

Exelon is seeking an occupancy permit for the administration building. However, all site work is not yet completed. The above information has been forwarded to Exelon along with information on the various options for performance security. We do not yet know which form of security they will provide. Perhaps I will know more next week.



RESIDENT'S DAILY REPORT

CLIENT: Town of Medway, MA		DATE: November 14, 2018 PAGE: 1 of 1																	
CONTRACT: Exelon Power Facility		<table style="width: 100%; text-align: center;"><tr><td></td><td>S</td><td>M</td><td>T</td><td>W</td><td>T</td><td>F</td><td>S</td></tr><tr><td>DAY OF WEEK:</td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td><td><input type="checkbox"/></td></tr></table>			S	M	T	W	T	F	S	DAY OF WEEK:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	S	M	T	W	T	F	S												
DAY OF WEEK:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>												
CONTRACT NO. NA	BETA Project No. 5491	<table style="width: 100%;"><tr><td></td><td style="text-align: center;">AM</td><td style="text-align: center;">PM</td></tr><tr><td style="text-align: center;">Weather</td><td></td><td>partly cloudy</td></tr><tr><td style="text-align: center;">Temp. Range (°F)</td><td></td><td>35</td></tr></table>			AM	PM	Weather		partly cloudy	Temp. Range (°F)		35							
	AM	PM																	
Weather		partly cloudy																	
Temp. Range (°F)		35																	
LOCATION: 9 Summer Street, Medway, MA		Contractor's Hours of Work: _____ to _____																	
CONTRACTOR: Gemma Power Systems		BETA Resident's Onsite Hours: 1:00 to 2:00																	
SUBCONTRACTORS WORKING ONSITE:		<table style="width: 100%;"><tr><td style="width: 30%;">VISITORS TO JOB SITE:</td><td style="width: 20%;">Arrival</td><td style="width: 50%;">Departure</td></tr><tr><td>(1) Bond Brothers (Excavation)</td><td></td><td></td></tr><tr><td>(2)</td><td></td><td></td></tr><tr><td>(3)</td><td></td><td></td></tr><tr><td>(4)</td><td></td><td></td></tr></table>		VISITORS TO JOB SITE:	Arrival	Departure	(1) Bond Brothers (Excavation)			(2)			(3)			(4)			
VISITORS TO JOB SITE:	Arrival	Departure																	
(1) Bond Brothers (Excavation)																			
(2)																			
(3)																			
(4)																			
DESCRIPTION OF WORK PERFORMED / SUMMARY:																			
BETA was called to be on on site to review site progress and compile a punch list																			
Met with Matt Slaven, Project Engineer, Exelon Power who provided tour of the work.																			
Met with bridget Graziano, Conservation Agent for the Town of Medway and her assistant.																			
Reviewed progress for various civil tasks such as pavement, guardrail, loam, seed, bit berm, excavation, fencing.																			
No progress on the rain garden. Awaiting more favorable planting weather.																			
Restoration of the temporary staging area to the east of site approx. 90% complete.																			
Infiltration basin No. 1 aprox. 95% complete. Infiltration basin No. 2 not constructed, some piping in place.																			
A monitized punch list will be provided to Town of Medway by 11/20/2018.																			
FOR CONTINUATION SEE PAGE: _____ OF _____																			

BETA GROUP, INC. - Resident Representative

Joe DiPilato, Construction Manager

(Printed Name and Title)

(Signature)

Exelon Power
West Medway Facility
Civil Punch list as of 11/20/2018

Item	Total Quantity	Unit	Percent Complete	Quantity Remaining	massDOT Item	massDOT Median Price	Value
Infiltration Basin 01	1	LS	95%	5%	na	na	\$ 5,000.00
Infiltration Basin 02	1	LS	0%	100%	na	na	\$ 5,000.00
Excavation/Grading Restore Trailer site		CY		1500	120	\$ 15.00	\$ 22,500.00
Drainage	1	LS			See breakdown		\$ 10,000.00
Rain Garden Plantings	1	LS	0%	100%	See breakdown		\$ 15,194.50
Site Plantings	1	LS	0%	100%	See breakdown		\$ 111,149.00
Top Soil/Loam **	3800	CY		2333	751	\$ 43.50	\$ 101,485.50
Seeding **	34000	SY		21000	765	\$ 0.55	\$ 11,550.00
Pavement, surface course	650	TON	95%	35	455.23	\$ 96.00	\$ 3,360.00
Pavement Bituminous Berm	4150	LF	95%	200	470.2	\$ 6.00	\$ 1,200.00
Steel Beam Guard Rail	850	LF	90%	85	620.12	\$ 41.50	\$ 3,527.50
Chain Link Fence	3015	LF	15%	2550	645.12	\$ 45.00	\$ 114,750.00
Double Swing Gate	2	EA	0%	2	na	na	\$ 3,000.00
Cant. Slide Gate	1	EA	0%	1	na	na	\$ 10,000.00
Site Cleanup	1	LS	0%	100%	na	na	\$ 5,000.00
As-Built Drawings	1	LS	0%	100%	na	na	\$ 7,500.00
Sub Total*							\$ 430,216.50
25% Contingency							\$ 107,554.13
Total							\$ 537,770.63

- * Does not include building amenities such as pipe bollards, wheel stops, signage, sidewalks etc.
- ** Based on latest drone photograph.
- Town of Medway to coordinate Medway Water, Sewer, Conservation, Building Departments for additional requirements.
- All quantities are approximate.

Drainage

Structure	Description	Value	
AD-01	Replace broken riser	\$	500.00
FE-01	Replace/restore Rip Rap	\$	500.00
CB-16	Install frame and grate	\$	500.00
FE-03	Replace/restore Rip Rap	\$	500.00
DCB-03	Uncover for inspection		
DMH-03	Construct invert	\$	500.00
FE-02	Replace/restore Rip Rap	\$	500.00
DMH-05	Remove concrete from invert	\$	100.00
CB-07	Uncover for inspection		
DMH-06	Construct invert	\$	500.00
CB-08	Uncover for inspection		
DMH-07	Uncover for inspection		
CB-09	Uncover for inspection		
DCB-06	Uncover for inspection		
FE-06	Not constructed	\$	500.00
DMH-13	Not complete?	\$	500.00
FE-04	Not constructed	\$	500.00
WQ1	Remove asphalt from structure	\$	100.00
FE-05	Replace/restore Rip Rap	\$	500.00
		\$	5,700.00
	say	\$	10,000.00

Plant Schedule

Quantity	Key	massDOT Item	MassDOT Median Price	Wholesale Price	Wholesale Factor	Total
Trees						
15	AR	776.551	\$ 1,225.00	\$ 305.00		\$ 18,375.00
19	AS	776.84	na	\$ 235.00	3	\$ 13,395.00
12	AC	783.045	\$ 377.00	\$ 167.00		\$ 4,524.00
9	CF	780.155	na	\$ 242.00	3	\$ 6,534.00
7	QP	777.141	\$ 997.50	\$ 320.00		\$ 6,982.50
28	JV	772.337	na	\$ 170.00	3	\$ 14,280.00
18	PG	774.642	\$ 480.00	\$ 164.00		\$ 8,640.00
14	PS	773.436	\$ 300.00	\$ 134.00		\$ 4,200.00
13	PST	773.439	na	\$ 515.00	3	\$ 20,085.00
13	TP	772.336	\$ 350.00	\$ 137.00		\$ 4,550.00
Shrubs						
35	CA	790.719	\$ 55.00	\$ 34.50		\$ 1,925.00
45	IV	795.157	\$ 66.36	\$ 34.50		\$ 2,986.20
5	IVJ	795.153	\$ 68.86	\$ 59.00		\$ 344.30
32	LB	793.715	na	\$ 18.00	3	\$ 1,728.00
20	RM	787.081	\$ 130.00	\$ 72.00		\$ 2,600.00
						<u>\$ 111,149.00</u>
Rain Garden Plants						
30	AG	NA	na	\$ 7.50	3	\$ 675.00
40	AT	789.725	na	\$ 7.00	3	\$ 840.00
30	CL	794.731	\$ 33.70	\$ 8.50		\$ 1,011.00
30	CP	794.805	na	\$ 9.00	3	\$ 810.00
20	CA	790.719	\$ 55.00	\$ 34.50		\$ 1,100.00
35	IG	785.633	\$ 100.00	\$ 51.00		\$ 3,500.00
165	IV	NA	na	\$ 7.00	3	\$ 3,465.00
15	LB	793.715	na	\$ 18.00	3	\$ 810.00
30	OC	796.729	na	\$ 14.25	3	\$ 1,282.50
12	VD	NA	na	\$ 47.25	3	\$ 1,701.00
						<u>\$ 15,194.50</u>

Wholesale pricing from Sylvan Nursery, 1028 Horseneck Road, Westport, MA 02790, 2017 Wholesale Catalog

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Weighted Bid Prices

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[120.](#) [224.12](#) [455.22](#) [455.32](#) [460.](#) [NEXT 5>>](#)

Line Item Information

Item No:

120.

Item Description:

EARTH EXCAVATION

Measurement System:

English

Unit:

CY

Unit price statistics computed for Period:

11/2017 - 11/2018

Unit price quantity breakouts

Unit Price Statistics

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
45.00 (CY)	2501.88 (CY)	All Districts	<u>21</u>	102	\$15.50	\$46.50	\$30.13	\$30.00
		1	<u>7</u>	38	\$15.00	\$45.00	\$28.32	\$30.00
		2	<u>2</u>	7	\$25.00	\$75.00	\$35.71	\$35.00
		3	<u>4</u>	21	\$16.50	\$49.50	\$30.76	\$30.00
		4	<u>7</u>	36	\$16.50	\$49.50	\$31.29	\$31.00
		6	<u>3</u>	8	\$26.25	\$78.75	\$45.25	\$44.50
2501.88 (CY)	4958.75 (CY)	All Districts	<u>8</u>	44	\$15.00	\$45.00	\$30.08	\$30.00
		1	<u>1</u>	5	\$11.00	\$33.00	\$22.00	\$22.00
		3	<u>1</u>	3	\$17.50	\$52.50	\$32.76	\$35.00
		4	<u>2</u>	8	\$12.50	\$37.50	\$25.58	\$24.50
		5	<u>3</u>	17	\$16.67	\$50.00	\$33.37	\$32.00
		6	<u>1</u>	9	\$17.00	\$51.00	\$31.17	\$34.00
4958.75 (CY)	7415.63 (CY)	All Districts	<u>4</u>	21	\$12.50	\$37.50	\$24.41	\$24.00
		1	<u>1</u>	9	\$12.25	\$36.75	\$24.33	\$24.00
		3	<u>1</u>	5	\$12.00	\$36.00	\$25.00	\$24.00
		4	<u>1</u>	6	\$22.50	\$67.50	\$46.08	\$47.50
		6	<u>1</u>	5	\$12.50	\$37.50	\$24.54	\$24.20

7415.63 (CY)	9872.50 (CY)	All	<u>3</u>	22	\$13.50	\$40.50	\$25.89	\$27.50
		Districts						
		2	<u>2</u>	14	\$13.50	\$40.50	\$25.54	\$28.50
		3	<u>1</u>	8	\$13.50	\$40.50	\$26.50	\$27.00
12329.38 (CY)	14786.25 (CY)	All	<u>3</u>	19	\$13.00	\$39.00	\$25.10	\$26.00
		Districts						
		2	<u>1</u>	6	\$11.75	\$35.25	\$22.37	\$23.50
		4	<u>1</u>	7	\$13.50	\$40.50	\$29.57	\$28.00
		5	<u>1</u>	7	\$14.25	\$42.75	\$25.10	\$28.00
17243.13 (CY)	19700.00 (CY)	All	<u>2</u>	18	\$11.50	\$34.50	\$22.47	\$23.50
		Districts						
		2	<u>1</u>	10	\$9.00	\$27.00	\$19.05	\$18.50
		3	<u>1</u>	8	\$13.50	\$40.50	\$26.75	\$27.00

120. [224.12](#) [455.22](#) [455.32](#) [460.](#) [NEXT 5>>](#)

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Weighted Bid Prices

[Criteria](#)**[Chart](#)**[Graph](#)[Book](#)**455.23****Line Item Information**

Item No:

455.23

Item Description:

SUPERPAVE SURFACE COURSE - 12.5 (SSC - 12.5)

Measurement System:

English

Unit:

TON

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts**

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
10.00 (TON)	7008.75 (TON)	All Districts	<u>50</u>	290	\$55.00	\$165.00	\$106.45	\$100.00
		1	<u>2</u>	8	\$100.00	\$300.00	\$181.88	\$200.00
		2	<u>6</u>	50	\$41.63	\$124.88	\$81.48	\$80.00
		3	<u>14</u>	92	\$50.00	\$150.00	\$101.31	\$96.00
		4	<u>8</u>	51	\$54.59	\$163.77	\$109.41	\$105.00
		5	<u>10</u>	49	\$57.50	\$172.50	\$119.92	\$115.00
		6	<u>10</u>	47	\$72.50	\$217.50	\$136.16	\$128.00
7008.75 (TON)	14007.50 (TON)	All Districts	<u>1</u>	2	\$55.00	\$165.00	\$110.00	\$110.00
		5	<u>1</u>	2	\$55.00	\$165.00	\$110.00	\$110.00
14007.50 (TON)	21006.25 (TON)	All Districts	<u>1</u>	4	\$48.75	\$146.25	\$99.08	\$97.50
		5	<u>1</u>	4	\$48.75	\$146.25	\$99.08	\$97.50
28005.00 (TON)	35003.75 (TON)	All Districts	<u>1</u>	2	\$45.00	\$135.00	\$90.00	\$90.00
		5	<u>1</u>	2	\$45.00	\$135.00	\$90.00	\$90.00
42002.50 (TON)	49001.25 (TON)	All Districts	<u>1</u>	3	\$38.75	\$116.25	\$75.33	\$77.50
		3	<u>1</u>	3	\$38.75	\$116.25	\$75.33	\$77.50
			<u>1</u>	5	\$45.50	\$136.50	\$93.23	\$91.00

49001.25 (TON)	56000.00 (TON)	All Districts						
		3	<u>1</u>	5	\$45.50	\$136.50	\$93.23	\$91.00
			455.23					

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Weighted Bid Prices

[Criteria](#)**[Chart](#)**[Graph](#)[Book](#)**470.2****Line Item Information**

Item No:

470.2

Item Description:

HOT MIX ASPHALT BERM, TYPE A - MODIFIED

Measurement System:

English

Unit:

FT

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
20.00 (FT)	1530.00 (FT)	All Districts	<u>9</u>	44	\$9.25	\$27.75	\$17.82	\$16.00
		1	<u>1</u>	9	\$8.00	\$24.00	\$14.56	\$16.00
		2	<u>3</u>	22	\$9.00	\$27.00	\$18.00	\$17.00
		4	<u>2</u>	8	\$17.50	\$52.50	\$31.89	\$28.83
		5	<u>1</u>	3	\$1.25	\$3.75	\$2.23	\$2.20
		6	<u>1</u>	4	\$10.99	\$32.96	\$22.23	\$21.97
3040.00 (FT)	4550.00 (FT)	All Districts	<u>2</u>	14	\$3.00	\$9.00	\$5.98	\$6.00
		3	<u>2</u>	14	\$3.00	\$9.00	\$5.98	\$6.00
4550.00 (FT)	6060.00 (FT)	All Districts	<u>2</u>	11	\$2.82	\$8.45	\$5.66	\$5.75
		3	<u>1</u>	6	\$2.82	\$8.45	\$5.61	\$5.63
		5	<u>1</u>	5	\$2.69	\$8.07	\$5.72	\$6.50
10590.00 (FT)	12100.00 (FT)	All Districts	<u>1</u>	11	\$2.03	\$6.08	\$4.23	\$4.05
		2	<u>1</u>	11	\$2.03	\$6.08	\$4.23	\$4.05

470.2

Massachusetts Department of Transportation - Highway Division

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Weighted Bid Prices

[Criteria](#)[Chart](#)[Graph](#)[Book](#)**620.12****Line Item Information**

Item No:

620.12

Item Description:

GUARDRAIL, TL-2 (SINGLE FACED)

Measurement System:

English

Unit:

FT

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts**

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
40.00 (FT)	191.25 (FT)	All Districts	<u>3</u>	16	\$20.00	\$60.00	\$42.48	\$40.00
		1	<u>1</u>	6	\$20.00	\$60.00	\$40.23	\$40.00
		4	<u>1</u>	8	\$19.44	\$58.32	\$40.03	\$38.88
		6	<u>1</u>	4	\$30.50	\$91.50	\$61.25	\$61.00
		All Districts	<u>3</u>	23	\$15.43	\$46.29	\$31.76	\$30.71
191.25 (FT)	342.50 (FT)	2	<u>2</u>	15	\$14.50	\$43.50	\$30.66	\$28.00
		5	<u>1</u>	7	\$16.00	\$48.00	\$32.39	\$32.00
		All Districts	<u>2</u>	11	\$17.75	\$53.25	\$34.91	\$35.00
342.50 (FT)	493.75 (FT)	3	<u>1</u>	7	\$18.00	\$54.00	\$35.57	\$36.00
		5	<u>1</u>	4	\$16.25	\$48.75	\$33.75	\$32.50
		All Districts	<u>1</u>	4	\$17.76	\$53.28	\$37.23	\$35.52
493.75 (FT)	645.00 (FT)	1	<u>1</u>	4	\$17.76	\$53.28	\$37.23	\$35.52
		All Districts	<u>1</u>	6	\$20.75	\$62.25	\$41.99	\$41.50
645.00 (FT)	796.25 (FT)	3	<u>1</u>	6	\$20.75	\$62.25	\$41.99	\$41.50
		All Districts	<u>1</u>	6	\$13.23	\$39.68	\$27.82	\$26.45
1098.75 (FT)	1250.00 (FT)	All Districts	<u>1</u>	6	\$13.23	\$39.68	\$27.82	\$26.45

3	<u>1</u>	6	\$13.23	\$39.68	\$27.82	\$26.45
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620.12

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645.172

Line Item Information

Item No:	645.172
Item Description:	72 INCH CHAIN LINK FENCE (PIPE TOP RAIL) VINYL COATED (LINE POST OPTION)
Measurement System:	English
Unit:	FT
Unit price statistics computed for Period:	11/2017 - 11/2018

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
150.00 (FT)	262.50 (FT)	All Districts	<u>1</u>	7	\$20.00	\$60.00	\$41.71	\$40.00
		1	<u>1</u>	7	\$20.00	\$60.00	\$41.71	\$40.00
262.50 (FT)	375.00 (FT)	All Districts	<u>1</u>	7	\$19.50	\$58.50	\$40.17	\$39.00
		3	<u>1</u>	7	\$19.50	\$58.50	\$40.17	\$39.00
937.50 (FT)	1050.00 (FT)	All Districts	<u>1</u>	8	\$22.50	\$67.50	\$48.75	\$45.00
		4	<u>1</u>	8	\$22.50	\$67.50	\$48.75	\$45.00

645.172

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Weighted Bid Prices

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Item No:

Item Description:

Measurement System:

Unit:

Unit price statistics computed for Period:

751.**LOAM BORROW****English****CY****11/2017 - 11/2018****Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
1.00 (CY)	384.63 (CY)	All Districts	<u>66</u>	290	\$28.50	\$85.50	\$56.90	\$55.00
		1	<u>11</u>	52	\$30.00	\$90.00	\$61.56	\$60.00
		2	<u>7</u>	40	\$30.00	\$90.00	\$59.97	\$55.50
		3	<u>9</u>	45	\$29.63	\$88.88	\$55.13	\$55.00
		4	<u>11</u>	60	\$27.50	\$82.50	\$53.65	\$55.00
		5	<u>18</u>	63	\$27.50	\$82.50	\$55.14	\$55.00
		6	<u>10</u>	30	\$29.50	\$88.50	\$58.34	\$59.00
384.63 (CY)	768.25 (CY)	All Districts	<u>14</u>	81	\$24.00	\$72.00	\$48.54	\$48.00
		1	<u>1</u>	2	\$27.50	\$82.50	\$50.00	\$50.00
		2	<u>3</u>	27	\$22.50	\$67.50	\$46.59	\$45.00
		3	<u>2</u>	13	\$22.50	\$67.50	\$44.72	\$45.00
		4	<u>2</u>	12	\$26.13	\$78.38	\$54.13	\$50.00
		5	<u>3</u>	12	\$22.50	\$67.50	\$48.43	\$45.00
		6	<u>3</u>	13	\$22.50	\$67.50	\$47.82	\$46.00
768.25 (CY)	1151.88 (CY)	All Districts	<u>8</u>	34	\$22.50	\$67.50	\$45.86	\$45.50
		2	<u>1</u>	4	\$26.75	\$80.25	\$53.75	\$53.50
		3	<u>4</u>	21	\$22.00	\$66.00	\$43.88	\$45.00

		5	<u>2</u>	8	\$23.25	\$69.75	\$46.25	\$46.50
1151.88 (CY)	1535.50 (CY)	All Districts	<u>7</u>	47	\$22.50	\$67.50	\$46.08	\$45.00
		2	<u>2</u>	15	\$22.00	\$66.00	\$43.77	\$44.00
		3	<u>4</u>	24	\$25.00	\$75.00	\$48.01	\$48.50
		5	<u>1</u>	8	\$22.38	\$67.13	\$44.63	\$44.75
1535.50 (CY)	1919.13 (CY)	All Districts	<u>2</u>	19	\$22.50	\$67.50	\$45.14	\$45.00
		1	<u>1</u>	7	\$22.50	\$67.50	\$49.14	\$45.00
		3	<u>1</u>	12	\$21.00	\$63.00	\$42.80	\$43.50
1919.13 (CY)	2302.75 (CY)	All Districts	<u>2</u>	10	\$21.00	\$63.00	\$43.67	\$41.65
		3	<u>1</u>	3	\$20.20	\$60.60	\$39.90	\$40.40
		4	<u>1</u>	8	\$22.50	\$67.50	\$48.00	\$45.00
2302.75 (CY)	2686.38 (CY)	All Districts	<u>1</u>	4	\$20.00	\$60.00	\$40.50	\$40.00
		3	<u>1</u>	4	\$20.00	\$60.00	\$40.50	\$40.00
2686.38 (CY)	3070.00 (CY)	All Districts	<u>1</u>	7	\$22.50	\$67.50	\$47.25	\$45.00
		6	<u>1</u>	7	\$22.50	\$67.50	\$47.25	\$45.00

751.

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Item No:

Item Description:

Measurement System:

Unit:

Unit price statistics computed for Period:

765.**SEEDING****English****SY****11/2017 - 11/2018****Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
15.00 (SY)	4775.63 (SY)	All Districts	<u>71</u>	298	\$1.00	\$3.00	\$1.92	\$2.00
		1	<u>9</u>	44	\$1.00	\$3.00	\$1.92	\$2.00
		2	<u>9</u>	56	\$0.70	\$2.10	\$1.35	\$1.23
		3	<u>11</u>	32	\$1.05	\$3.14	\$2.07	\$2.00
		4	<u>12</u>	57	\$1.00	\$3.00	\$1.96	\$2.00
		5	<u>20</u>	67	\$1.25	\$3.75	\$2.35	\$2.20
		6	<u>10</u>	32	\$1.24	\$3.72	\$2.28	\$2.23
4775.63 (SY)	9536.25 (SY)	All Districts	<u>12</u>	57	\$0.82	\$2.45	\$1.58	\$1.90
		2	<u>1</u>	8	\$0.50	\$1.50	\$0.91	\$1.00
		3	<u>5</u>	18	\$0.64	\$1.91	\$1.15	\$1.00
		4	<u>1</u>	5	\$1.00	\$3.00	\$2.13	\$2.00
		5	<u>4</u>	20	\$1.00	\$3.00	\$1.78	\$2.00
		6	<u>1</u>	2	\$0.75	\$2.25	\$1.50	\$1.50
9536.25 (SY)	14296.88 (SY)	All Districts	<u>8</u>	43	\$0.50	\$1.50	\$0.90	\$0.95
		1	<u>1</u>	6	\$0.40	\$1.20	\$0.82	\$0.78
		2	<u>1</u>	8	\$0.50	\$1.50	\$0.90	\$0.98
		3	<u>5</u>	22	\$0.50	\$1.50	\$0.90	\$0.95

	4	<u>1</u>	7	\$0.50	\$1.50	\$0.96	\$1.00
14296.88 (SY) 19057.50 (SY)	All Districts	<u>2</u>	5	\$0.95	\$2.85	\$1.93	\$2.00
	3	<u>1</u>	3	\$0.83	\$2.48	\$1.77	\$2.00
	4	<u>1</u>	2	\$0.95	\$2.85	\$2.18	\$2.18
19057.50 (SY) 23818.13 (SY)	All Districts	<u>1</u>	6	\$0.62	\$1.85	\$1.26	\$1.23
	2	<u>1</u>	6	\$0.62	\$1.85	\$1.26	\$1.23
23818.13 (SY) 28578.75 (SY)	All Districts	<u>1</u>	5	\$0.95	\$2.85	\$1.78	\$2.00
	4	<u>1</u>	5	\$0.95	\$2.85	\$1.78	\$2.00
33339.38 (SY) 38100.00 (SY)	All Districts	<u>1</u>	3	\$0.28	\$0.83	\$0.55	\$0.55
	3	<u>1</u>	3	\$0.28	\$0.83	\$0.55	\$0.55

765.

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Weighted Bid Prices

[Criteria](#)**[Chart](#)**[Graph](#)[Book](#)**776.551****Line Item Information**Item No: **776.551**Item Description: **MAPLE - RED - 'OCTOBER GLORY' 3-3.5 INCH CALIPER**Measurement System: **English**Unit: **EA**Unit price statistics computed for Period: **11/2017 - 11/2018****Unit price quantity breakouts**

Min Quantity	Max Quantity	District	Unit Price Statistics					
			No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
2.00 (EA)	2.13 (EA)	All Districts	<u>1</u>	7	\$600.00	\$1,800.00	\$1,160.57	\$1,200.00
		6	<u>1</u>	7	\$600.00	\$1,800.00	\$1,160.57	\$1,200.00
2.88 (EA)	3.00 (EA)	All Districts	<u>1</u>	6	\$612.50	\$1,837.50	\$1,286.50	\$1,225.00
		5	<u>1</u>	6	\$612.50	\$1,837.50	\$1,286.50	\$1,225.00

776.551

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783.045

Line Item Information

Item No:	783.045
Item Description:	SHAD TREE - DOWNY 6-8 FEET
Measurement System:	English
Unit:	EA
Unit price statistics computed for Period:	11/2017 - 11/2018

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
2.00 (EA)	3.75 (EA)	All Districts	1	7	\$200.00	\$600.00	\$390.13	\$400.00
		3	1	7	\$200.00	\$600.00	\$390.13	\$400.00
14.25 (EA)	16.00 (EA)	All Districts	1	7	\$200.50	\$601.50	\$415.29	\$377.00
		4	1	7	\$200.50	\$601.50	\$415.29	\$377.00

783.045

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Weighted Bid Prices

[Criteria](#)[Chart](#)[Graph](#)[Book](#)**777.141****Line Item Information**

Item No: **777.141**
 Item Description: **OAK - PIN 3-3.5 INCH CALIPER**
 Measurement System: **English**
 Unit: **EA**
 Unit price statistics computed for Period: **11/2017 - 11/2018**

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
5.00 (EA)	5.00 (EA)	All Districts	<u>1</u>	8	\$500.00	\$1,500.00	\$1,051.88	\$997.50
		2	<u>1</u>	8	\$500.00	\$1,500.00	\$1,051.88	\$997.50

777.141

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Weighted Bid Prices

[Criteria](#)[Chart](#)[Graph](#)[Book](#)**774.642****Line Item Information**

Item No:

774.642

Item Description:

SPRUCE - WHITE 7-8 FEET

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
3.00 (EA)	3.00 (EA)	All Districts	<u>1</u>	7	\$240.00	\$720.00	\$492.71	\$480.00
		6	<u>1</u>	7	\$240.00	\$720.00	\$492.71	\$480.00

774.642

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Weighted Bid Prices

[Criteria](#)**[Chart](#)**[Graph](#)[Book](#)**773.436****Line Item Information**

Item No:

773.436

Item Description:

PINE - WHITE 5-6 FEET

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
2.00 (EA)	4.13 (EA)	All Districts	<u>2</u>	13	\$157.50	\$472.50	\$329.16	\$310.00
		1	<u>1</u>	6	\$166.50	\$499.50	\$341.00	\$326.50
		3	<u>1</u>	7	\$144.07	\$432.21	\$319.02	\$288.14
4.13 (EA)	6.25 (EA)	All Districts	<u>1</u>	4	\$162.00	\$486.00	\$324.50	\$324.00
		4	<u>1</u>	4	\$162.00	\$486.00	\$324.50	\$324.00
14.75 (EA)	16.88 (EA)	All Districts	<u>1</u>	7	\$150.00	\$450.00	\$329.71	\$300.00
		6	<u>1</u>	7	\$150.00	\$450.00	\$329.71	\$300.00
16.88 (EA)	19.00 (EA)	All Districts	<u>1</u>	8	\$172.50	\$517.50	\$343.13	\$345.00
		4	<u>1</u>	8	\$172.50	\$517.50	\$343.13	\$345.00

773.436

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Weighted Bid Prices

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Item No:

772.336

Item Description:

CEDAR - RED 5-6 FEET

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts****Unit Price Statistics**

Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
1.00 (EA)	2.63 (EA)	All Districts	<u>1</u>	7	\$175.00	\$525.00	\$365.18	\$350.00
		3	<u>1</u>	7	\$175.00	\$525.00	\$365.18	\$350.00
2.63 (EA)	4.25 (EA)	All Districts	<u>1</u>	3	\$166.98	\$500.94	\$313.57	\$333.96
		4	<u>1</u>	3	\$166.98	\$500.94	\$313.57	\$333.96
5.88 (EA)	7.50 (EA)	All Districts	<u>1</u>	7	\$200.00	\$600.00	\$427.42	\$400.00
		5	<u>1</u>	7	\$200.00	\$600.00	\$427.42	\$400.00
12.38 (EA)	14.00 (EA)	All Districts	<u>1</u>	5	\$175.00	\$525.00	\$388.28	\$350.00
		3	<u>1</u>	5	\$175.00	\$525.00	\$388.28	\$350.00

772.336

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Weighted Bid Prices

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Item No:

790.719

Item Description:

DOGWOOD - SILKY 2-3 FEET

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts**

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
3.00 (EA)	3.63 (EA)	All Districts	<u>1</u>	10	\$30.00	\$90.00	\$59.50	\$57.50
		4	<u>1</u>	10	\$30.00	\$90.00	\$59.50	\$57.50
7.38 (EA)	8.00 (EA)	All Districts	<u>1</u>	7	\$27.50	\$82.50	\$55.14	\$55.00
		1	<u>1</u>	7	\$27.50	\$82.50	\$55.14	\$55.00

790.719

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Weighted Bid Prices

[Criteria](#)[Chart](#)[Graph](#)[Book](#)**795.157****Line Item Information**

Item No: **795.157**
Item Description: **WINTERBERRY - FEMALE 24-30 INCH**
Measurement System: **English**
Unit: **EA**
Unit price statistics computed for Period: **11/2017 - 11/2018**

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
10.00 (EA)	10.00 (EA)	All Districts	<u>1</u>	6	\$33.18	\$99.54	\$63.61	\$66.36
		6	<u>1</u>	6	\$33.18	\$99.54	\$63.61	\$66.36

795.157

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795.153

Line Item Information

Item No:	795.153
Item Description:	WINTERBERRY - MALE 24-30 INCH
Measurement System:	English
Unit:	EA
Unit price statistics computed for Period:	11/2017 - 11/2018

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
1.00 (EA)	1.00 (EA)	All Districts	<u>2</u>	10	\$34.43	\$103.29	\$68.47	\$68.86
		5	<u>1</u>	4	\$39.50	\$118.50	\$75.75	\$79.00
		6	<u>1</u>	6	\$33.18	\$99.54	\$63.61	\$66.36

795.153

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787.081

Line Item Information

Item No:	787.081
Item Description:	RHODO - ROSEBAY 24-30 INCH
Measurement System:	English
Unit:	EA
Unit price statistics computed for Period:	11/2017 - 11/2018

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
20.00 (EA)	20.00 (EA)	All Districts	<u>1</u>	8	\$65.00	\$195.00	\$130.75	\$130.00
		4	<u>1</u>	8	\$65.00	\$195.00	\$130.75	\$130.00

787.081

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Weighted Bid Prices

[Criteria](#)[Chart](#)[Graph](#)[Book](#)**794.731****Line Item Information**

Item No:

794.731

Item Description:

SUMMERSWEET SHRUB 18-24 INCH

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts**

Min Quantity	Max Quantity	District	Unit Price Statistics					
			No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
31.00 (EA)	36.38 (EA)	All Districts	<u>1</u>	6	\$19.20	\$57.60	\$33.40	\$33.70
		6	<u>1</u>	6	\$19.20	\$57.60	\$33.40	\$33.70
47.13 (EA)	52.50 (EA)	All Districts	<u>1</u>	8	\$22.00	\$66.00	\$43.63	\$44.00
		4	<u>1</u>	8	\$22.00	\$66.00	\$43.63	\$44.00
68.63 (EA)	74.00 (EA)	All Districts	<u>1</u>	6	\$20.75	\$62.25	\$42.33	\$41.50
		5	<u>1</u>	6	\$20.75	\$62.25	\$42.33	\$41.50

794.731

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Weighted Bid Prices

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Item No:

790.719

Item Description:

DOGWOOD - SILKY 2-3 FEET

Measurement System:

English

Unit:

EA

Unit price statistics computed for Period:

11/2017 - 11/2018**Unit price quantity breakouts**

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
3.00 (EA)	3.63 (EA)	All Districts	<u>1</u>	10	\$30.00	\$90.00	\$59.50	\$57.50
		4	<u>1</u>	10	\$30.00	\$90.00	\$59.50	\$57.50
7.38 (EA)	8.00 (EA)	All Districts	<u>1</u>	7	\$27.50	\$82.50	\$55.14	\$55.00
		1	<u>1</u>	7	\$27.50	\$82.50	\$55.14	\$55.00

790.719

Massachusetts Department of Transportation - Highway Division

Construction Project Estimator

[Highway Home](#) [MassDOT Home](#) [Mass.Gov Home](#) [State Agencies](#) [State Online](#)

[Services](#)

- About
- Projects
- Weighted Bid Prices
- Help
- Logout
-  Email Service Desk

Weighted Bid Prices

- Criteria
- Chart
- Graph
- Book

785.633

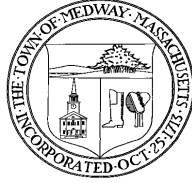
Line Item Information

Item No:	785.633
Item Description:	INKBERRY 2-3 FEET
Measurement System:	English
Unit:	EA
Unit price statistics computed for Period:	11/2017 - 11/2018

Unit price quantity breakouts

		Unit Price Statistics						
Min Quantity	Max Quantity	District	No. of Projects	No. of Bids	Minimum	Maximum	Mean	Median
15.00 (EA)	20.00 (EA)	All Districts	1	5	\$63.64	\$190.91	\$119.71	\$125.00
		6	1	5	\$63.64	\$190.91	\$119.71	\$125.00
50.00 (EA)	55.00 (EA)	All Districts	1	7	\$50.00	\$150.00	\$105.29	\$100.00
		6	1	7	\$50.00	\$150.00	\$105.29	\$100.00

785.633



November 27, 2018
Medway Planning & Economic Development Board
Meeting

CONSTRUCTION REPORTS

- TT construction report #3 for 9 Trotter Drive dated 11-19-18
- TT construction report #4 for 9 Trotter Drive dated 11-20-18
- Beals and Thomas monthly status report on construction at Exelon dated 11-9-18

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Converting Technical Services Facility	Date 11/19/2018	Report No. 3
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. P.M. DRIZZLE	Temperature A.M. P.M. 45°F

FIELD OBSERVATIONS

On Monday, November 19, 2018, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Wet ground surface that is relatively firm with some softer areas. Construction entrance from Trotter Dr. is stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the E side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Trenches for water and sewer installation in Trotter Drive have been patched.
- C. Contractor in the process of excavating for proposed Infiltration Area #1, portions of the excavation contain standing water. TT contacted the design engineer (Peter Bemis) for a meeting on-site tomorrow to confirm if soil conditions were as discovered during test pitting and design/analysis of the proposed system.
- D. The contractor has installed Vortsentry Units #1 and #2 in preparation for connection into Infiltration Area #1.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Skidder	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck				
		Pickup Truck	2			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	12:30 P.M. – 1:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 11/19/2018	Report No. 3
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Contractor plans to continue excavation of Infiltration Area #1 and install stone and Concrete Flow Diffusers tomorrow and Wednesday.

3. New Action Items

- A. Meet with design engineer to confirm if excavation for Infiltration Area #1 is as observed during test pitting.

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection:

- A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project Converting Technical Services Facility	Date 11/20/2018	Report No. 4
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SLEET/SNOW P.M.	Temperature A.M. 35°F P.M.

FIELD OBSERVATIONS

On Tuesday, November 20, 2018, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: Wet ground surface that is relatively firm with some softer areas. Construction entrance from Trotter Dr. is stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the E side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Contractor in the process of excavating for proposed Infiltration Area #1, portions of the excavation contain standing water particularly adjacent to Vortsentry #2 unit. TT met with the design engineer (Peter Bemis) in order to confirm if soil conditions were as observed during test pitting. Mr. Bemis confirmed soils were as observed during test pitting and that surface water entering the excavation would take some time to infiltrate, he did not have any concerns regarding the design.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Skidder	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck				
		Pickup Truck	2			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	9:00 A.M. – 9:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 11/20/2018	Report No. 4
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Contractor plans to pump standing water from the excavation, install the crushed stone bed and concrete flow diffusers for the remainder of today and tomorrow.

3. New Action Items

- A. N/A

4. Previous Open Action Items

- A. Meet with design engineer to confirm if excavation for Infiltration Area #1 is as observed during test pitting. **TT Update: See "Observations" section above for update on site meeting. In our opinion, this item has been addressed.**

5. Materials Delivered to Site Since Last Inspection:

- A. N/A



BEALS + THOMAS

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, MA 01772-210



PROGRESS INSPECTION REPORT

Inspection Date: 11/9/2018

Inspector: Eric J. Las, PE, LEED AP, Beals and Thomas, Inc.

Inspection Report Number: 15

PERMIT COMPLIANCE

Proceeding per approved site plan?

YES ☒ **NO** ☐ If not, note area and explain:

This report has been prepared in compliance with Specific Condition IX.M.4 of the Site Plan Decision, dated July 26, 2016

Project Name:

West Medway II

Location: Medway, MA

B+T Job#: 1422.10

Local Approvals: Order of Conditions DEP File No. 216-0879, Site Plan Decision, Host Community Agreement

Introduction:

Exelon West Medway II LLC respectfully submits this construction progress inspection report for the West Medway II project. The purpose of this report is to document the in-progress work with respect to the approved site plans and associated conditions for the Planning and Economic Development Board. This report summarizes noteworthy activities conducted on site from October 17, 2018 to November 9, 2018. Please also refer to the enclosed Photo Log.

For limited areas of the site not observed by Beals and Thomas, items denoted herein with an () are based on Exelon's Erosion Control Inspection Reports.

Current Work Activities, Comments, and Observations:

- Grading of Infiltration Basin-01 in the southern central portion of the site is complete; construction of basin overflow is in progress.
- Installation of insulation with approved color-coating for the demineralized and raw water tanks is complete.
- Installation of ground grid between the eastern end of the infiltration basin and the site entrance is complete.
- Finish grading and loaming of the central portion of the site is in progress.
- Installation of acoustic barriers and doors around the power block is complete.
- Installation of the acoustic barrier around Compressor Station is in progress.
- Installation of the ammonia tank enclosure is in progress.
- Installation of bituminous cape cod curbing along site driveways throughout the site is complete.
- Installation of guardrails along site driveways is in progress throughout the site.
- Installation of fuel piping and electrical wiring throughout the central portion of the site is in progress.
- Concrete pours have diminished with only a few small miscellaneous pours remaining.
- Various components of the power generating system are being plumbed and wired.
- Various soil stockpiles are actively stabilized via tarps and seeding where necessary.
- *Silt fences, straw bales, and straw wattles are being routinely monitored and maintained as needed.
- *Silt sacks in the catch basins in Summer Street are being routinely monitored and maintained as needed.
- *24/7 security details remain in place at site entrance.


Authorized Signature

11/9/18

Date

PROPERTY OWNER:

Exelon West Medway II, LLC

Attn: Todd Cutler, Esq.

Associate General Counsel

Phone: 610-765-5602

Email: todd.cutler@exeloncorp.com

Attn: Pete Callahan,

Project Director

Phone: 617-381-2332

Email: Pete.Callahan@constellation.com

Attn: Doug Blakeley,

Environmental Monitor

Phone: 518-265-7354

Email: doug.blakeley@aptim.com

TOWN OF MEDWAY

Attn: Michael E. Boynton,

Town Administrator

Phone: 508-533-3264

Email: mboynton@townofmedway.org

Attn: Bridget Graziano,

Conservation Agent

Phone: 508-533-3292

Email: bgraziano@townofmedway.org

Attn: Susan Affleck-Childs, Planning &

Economic Development Coordinator

Phone: 508-533-3291

Email: sachilds@townofmedway.org

ENVIRONMENTAL CONSULTANTS

Beals and Thomas, Inc.

Attn: Eric J. Las, PE, LEED AP

Principal

Phone: 508-366-0560

Email: elas@bealsandthomas.com

Epsilon Associates, Inc.

Attn: Michael Howard

Principal & Manager

Phone: 978-461-6247

Email: mhoward@epsilonassociates.com

**BEALS + THOMAS****Exelon Generation**

PHOTOGRAPHIC LOG

Client Name:Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo
No: 1****Date:**
11/9/18**Description:**

Aerial view facing
northeast.

Work continues in
the central portion of
the site. Acoustic
barriers, guardrails,
and wiring
installation as well
as final grading and
loaming are in
progress.

**Client Name:**Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**



1422.10

**Photo
No: 2****Date:**
11/9/18**Description:**

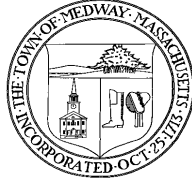
Aerial view facing
west.

Grading of
Infiltration Basin-01
complete.
Installation of
ground grid between
eastern end of
infiltration basin and
the main
entranceway is
complete.



Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 3	Date: 11/9/18		
Description: View facing east. Installation of bituminous cape cod curbing along site driveways is throughout the site is complete.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 4	Date: 11/9/18		
Description: View facing north. Installation of the acoustic barriers and doors around the power block is complete.			

Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 5	Date: 11/9/18		
Description: View facing east. Finish grading and loaming of the central portion and perimeter of the site is in progress.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 6	Date: 11/9/18		
Description: View facing south. Various components of the fuel delivery system and the power generating system are being plumbed and wired.			



November 27, 2018
Medway Planning & Economic Development Board
Meeting

LOT RELEASE – 6 Autumn Road

- Lot release for 6 Autumn Road

The office was contacted by the attorney's office representing the current owner of 6 Autumn Road who is selling their home. The title search did not turn up a lot release for this particular house lot, although there is a record of others at that time. They have requested a lot release so they can proceed to closing. Autumn Road is part of the Summer Hill subdivision which dates back to 1984. This house was built in 1985. The street was "accepted" in May 1990.

I recommend the Board sign the enclosed lot release document.

Release of Restrictive Covenant

Planning & Economic Development Board – Town of Medway, MA

We, the undersigned members, being a majority of the Planning & Economic Development Board of the Town of Medway, Norfolk County, Massachusetts, hereby certify on this date that Lot 30 (now known as 6 Autumn Road) on a plan entitled Summer Hill in Medway, MA, with a final revision date of June 22, 1984, prepared by Guerriere & Halnon, Inc., which is recorded with the Norfolk County Registry of Deeds as Plan Number 1245 of 1984 in Plan Book 316, to which reference may be had for a more particular description, is hereby released from the terms, provisions and conditions as to sale and building thereon as set forth in a Covenant between the Medway Planning and Economic Development Board and Boczanowski, Inc. recorded with the Norfolk County Registry of Deeds in Book 6524, Page 453.

Executed under seal this _____ day of November 2018

Signatures of a majority of the members of the Planning & Economic Development Board of the Town of Medway:

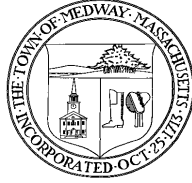
COMMONWEALTH OF MASSACHUSETTS

Norfolk County, SS. _____

On this _____ day of November 2018, before me, the undersigned notary public, personally appeared _____

_____,
members of the Medway Planning and Economic Development Board, proved to me through satisfactory evidence of identification, which was a Massachusetts Drivers License and personal knowledge to be the persons whose names are signed on the above document, and acknowledged to me that they signed it voluntarily and for its stated purpose.

Notary Public
My commission expires:



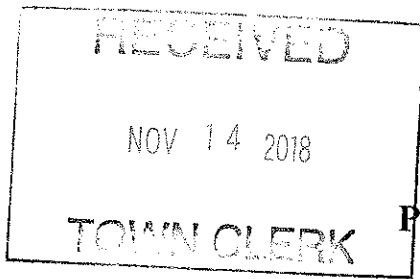
November 27, 2018

**Medway Planning & Economic Development Board
Meeting**

**2 Marc Road Adult Recreational
Marijuana Special Permit – Public
Hearing Continuation**

- Public Hearing Continuation Notice dated 11-14-18
- Email dated 10-23-18 from Cannabis Control Commission to Ellen Rosenfeld acknowledging receipt of application for a license for the cultivation of adult recreational marijuana
- Email dated 10-23-18 from Cannabis Control Commission to Ellen Rosenfeld acknowledging receipt of application for a license for the manufacturing of adult recreational marijuana
- Email dated 11-16-18 from resident John Lally

NOTE – The report from the Town's noise/sound consultant on 2 Marc Road is not yet available.




TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew Hayes, P.E.
Richard Di Iulio

MEMORANDUM

November 14, 2018

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator 

RE: **Public Hearing Continuation: 2 Marc Road – Adult Recreational Marijuana Special Permit**
CONTINUATION DATE: Tuesday, November 27, 2018 at 7:00 p.m.
LOCATION: Medway Town Hall – Sanford Hall, 155 Village Street

At its meeting on November 13, 2018, the Planning and Economic Development Board voted to continue the public hearing on the application of Ellen Realty Trust of Millis, MA for a special permit to operate an adult recreational marijuana cultivation and processing facility at 2 Marc Road to Tuesday, November 27, 2018 at 7:00 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street.

The applicant proposes to use the existing two story, 60,000 sq. ft. industrial building at 2 Marc Road (Parcel 33-001) located on the north side of Marc Road in the East Industrial zoning district. The 6.93 acre property is owned by Ellen Realty Trust of Millis, MA. NOTE - A medical marijuana special permit, site plan, and groundwater protection special permit were previously approved for this property on June 28, 2016. The proposed use pertains to the cultivation, manufacturing, processing, and packaging of marijuana for adult recreational use and the delivery of such products off-site to retail marijuana establishments in other communities. A recreational marijuana retail facility is not proposed at this location.

The application and associated documents are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The materials are also posted at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/current-development-applications>

If Town staff, boards and committees have not yet reviewed this proposal and wish to provide comments, please do so by November 27th so that we can share them with the Board and the applicant and enter them into the public record during the hearing. Please contact me if you have any questions. Thanks.

Susan Affleck-Childs

From: ellen@rosenfeld-law.com
Sent: Wednesday, November 14, 2018 10:33 AM
To: Susan Affleck-Childs
Subject: FW: Notification from the Cannabis Control Commission: License Application Submitted

See below confirmation
Ellen

From: donotreply@mass.gov <donotreply@mass.gov>
Sent: Tuesday, October 23, 2018 3:14 PM
To: ellen@rosenfeld-law.com
Subject: Notification from the Cannabis Control Commission: License Application Submitted

10-23-2018

Application Number: MCN281642

Dear ellen rosenfeld:

This email acknowledges that your Marijuana Cultivator - Application of Intent application packet was submitted to the Cannabis Control Commission via the MassCIP system.

We will contact you if we have questions about your application. When the review is complete, we will email a notification.

Sincerely,
The Cannabis Control Commission

Susan Affleck-Childs

From: ellen@rosenfeld-law.com
Sent: Wednesday, November 14, 2018 10:34 AM
To: Susan Affleck-Childs
Subject: FW: Notification from the Cannabis Control Commission: License Application Submitted

This is for product manufacturer
ellen

From: donotreply@mass.gov <donotreply@mass.gov>
Sent: Tuesday, October 23, 2018 3:45 PM
To: ellen@rosenfeld-law.com
Subject: Notification from the Cannabis Control Commission: License Application Submitted

10-23-2018

Application Number: MPN281508

Dear ellen rosenfeld:

This email acknowledges that your Marijuana Product Manufacturer - Application of Intent application packet was submitted to the Cannabis Control Commission via the MassCIP system.

We will contact you if we have questions about your application. When the review is complete, we will email a notification.

Sincerely,
The Cannabis Control Commission

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Friday, November 16, 2018 12:11 PM
To: ellen@rosenfeld-law.com; Susan Affleck-Childs
Subject: 2 Marc Rd Noise Observations.

Hi Ellen, Hi Suzy,

Thought perhaps it might be helpful to have the specific dates & times when noise was well above the conspicuous level at my house so I listed them below. This is after 14Aug2018 when I think the mitigation was installed. If a history of the facilities climate control/HVAC operations is kept then maybe these observations could be compared against that history to see if there's any correlation? Then if future noise measurements are made they might be targeted accordingly, in addition to targeting any worst case noise producing conditions (if known).

09Sep2018: 2:30AM, Temp=52F
10Sep2018: 7:30PM, Temp=59F
19Sep2018: 4:00AM, Temp=64F
21Sep2018: 4:30AM, Temp=59F
23Sep2018: 6:45AM, Temp=46F
07Oct2018: 7:00PM, Temp=63F
09Nov2018: 8:30PM, Temp=45F

In addition to the above observations that were "well-above" the conspicuous level there were an additional 14 that were "just-above" the conspicuous level. In the interest of brevity I didn't include those here. Let me know if you'd like those too and I'll send them along.

I usually jot down the noise levels when I leave and come home each day so don't know the noise levels outside of those discrete points.

Please feel free to share this email as you see fit.

Thanks,
-John

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, November 6, 2018 8:54 AM
To: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Subject: RE: Upcoming Public Hearing for 2 Marc Road - Adult Recreational Marijuana Special Permit Application

Thanks John. I will share your note with the Board and the applicant.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053

From: Lally, John - 0666 - MITLL [<mailto:jlally@ll.mit.edu>]

Sent: Monday, November 05, 2018 7:34 PM

To: Susan Affleck-Childs

Subject: RE: Upcoming Public Hearing for 2 Marc Road - Adult Recreational Marijuana Special Permit Application

Hi Suzy,

Thank you and the board for keeping me in mind, I do appreciate that very much.

In general the noise levels observed at my house are considerably lower now than before the mitigation was installed. However:

- 1.) Although rare, every once in a while the noise still exceeds the conspicuous level, i.e. it's readily apparent without focusing attention to it.
- 2.) And although after mitigation the noise level is usually not very conspicuous it's not uncommon for it to be louder than the background noise. Prior to the 2 Marc Rd facility, traffic on 109 usually set the background noise level not anything from the industrial park, especially after business hours.

So, have the following questions regarding the additions to 2 Marc Rd:

- 1.) Will there be any changes to the Existing-As-Built HVAC system, either quantity/capacity, type, operating profile etc?
 - a. I did see in the project summary the sentence that reads "No building expansion or changes to the site are planned". However, I didn't know if that applied to the Existing-As-Built HVAC system or the Maximum-As-Planned HVAC system. I seem to recall the Existing-As-Built HVAC system was a fraction of the Maximum-As-Planned.
- 2.) Can conditions be included in the permit that ensure noise levels from the 2 Marc Rd facility do not increase the Pre 2 Marc Rd facility noise levels from the Industrial Park? (i.e. noise levels from the Industrial Park with and without 2 Marc Rd operating are approximately the same).

As usual feel free to distribute the above as you see fit.

Thanks again,

-John

From: Susan Affleck-Childs <sachilds@townofmedway.org>

Sent: Monday, November 5, 2018 5:09 PM

To: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>

Subject: Upcoming Public Hearing for 2 Marc Road - Adult Recreational Marijuana Special Permit Application

Hi John,

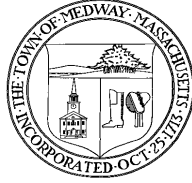
Wanted to let you know that there will be a hearing next week Tuesday night on the application for CommCan to add cultivation and processing of marijuana for adult, recreational uses. At 2 Marc Road. I noticed that you were not included on the list of abutters within 300 feet of the property and I knew you would want to be aware of this.

The Board specifically asked me to reach out to you. Have the installed sound mitigation measures been effective?

Thanks.

Susan E. Affleck-Childs

**Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291**



November 27, 2018

**Medway Planning & Economic Development Board
Meeting**

**2 Marc Road Adult Recreational
Marijuana Special Permit – Public
Hearing Continuation**

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- Email dated 11-16-18 from resident John Lally

NOTE – The report from the Town's noise/sound consultant on 2 Marc Road is not yet available.

Susan Affleck-Childs

From: Lally, John - 0666 - MITLL <jlally@ll.mit.edu>
Sent: Monday, November 26, 2018 6:03 PM
To: Susan Affleck-Childs; ellen@rosenfeld-law.com
Subject: CommCan SP Follow Up
Attachments: Medway medical marijuana facility ready for growth - News - Milford Daily News.pdf

Hi Suzy, Hi Ellen,

I do plan on attending the hearing tomorrow evening but wanted to send the following considerations/questions along in advance and to make sure they get included on the record just in case it turns out I can't make it.

Suzy, please pass along to the board and anyone else as you see fit.

Ellen, feel free to pass along to anyone as you see fit as well.

LINK TO ATTACHED REFERENCE: <https://www.milforddailynews.com/news/20171201/medway-medical-marijuana-facility-ready-for-growth>

Follow Up Considerations/Questions:

- 1.) With regard to HVAC loading versus loudness: It may be overly optimistic to rely on specific HVAC loading conditions as a factor in sound mitigation. Therefore, please consider adding requirements for robust sound mitigation measures that do not depend on HVAC loading conditions: (I do very much appreciate the work Ellen's team has already undertaken in this regard but suggest the board consider attaching formal sound mitigation requirements to the permit).
 - a. Completion of the "missing-pieces" that Ellen referred to at last meeting.
 - b. Addition of sound wall(s) that Ellen referred to.
 - c. Application of sound mitigation to any changes to the HVAC system. While HVAC changes are not anticipated at this time better safe-than-sorry.
 - d. Ellen seemed to indicate the sound mitigation investigation is ongoing, are there any other mitigation measures under consideration? If yes do any look more promising than others?
 - e. Any other measures as the board deems warranted.

Reasons to consider this:

- a.) The facility supports complex environmental controls that mimic outdoor growing conditions including: light, wind, temperature, and humidity (See Ref 1 attached and link above). It seems reasonable to expect this may place variable loading conditions on the HVAC system: lights off/dim/full-on, wide range of outdoor temperature and humidity ranges across the 4 seasons etc.
 - b.) A wide range of sound loudness has been observed (some levels very conspicuous) at my house after existing sound mitigations were installed, and during similar conditions (time of year, day of week, time of day etc.), suggesting there's something variable in the facility operations that contribute to the sound loudness.
 - c.) As a protection against unintended consequences and/or unexpected future facility operations.
- 2.) If within the boards authority please consider requiring a lower acceptable noise criteria than the commonwealths 10dBA over ambient.

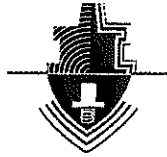
Reasons to consider this:

- a. The pre-mitigation noise measurements in May by Acentech were just below the 10dBA level (acceptable under the commonwealths standard), yet at my house there were very abrasive noise levels and several complaints from residents in the neighborhood.
- b. If the 10dBA standard remains and the current mitigation measures at CommCan prove ineffective or at least intermittently-effective it's possible that the abrasive noise levels and neighbor complaints could recur, yet the facility would be in compliance.
- c. Worse yet, Andy from Acentech indicated that a 10dBA increase in sound pressure level approximated to a doubling of loudness. If the mitigation measures prove not as effective as expected, a 2nd facility could be permitted that's 2x as loud as the detrimental levels experienced in the spring and a 3rd facility could be 4x what we experience in the spring. Perhaps unlikely but this would be extremely detrimental to the neighborhood, yet each of the facilities would be in compliance.

Thanks again,

-John

Noise Control Engineering, LLC



85 Rangeway Road
Building 2, Floor 2
BILLERICA MA 01862
PHONE: 978-670-5339
FAX: 978-667-7047
E-mail: ron@noise-control.com

TO: Beth Hallal
FROM: Ronald Dempsey{ron@noise-control.com}
DATE: November 27, 2016 2018
SUBJECT: MassDEP Noise Survey
2 Marc Road, Medway, MA

1.0 INTRODUCTION

Noise Control Engineering (NCE) has performed a noise-compliance survey for The Town of Medway in response to resident complaints. The offending noise source under investigation is an industrial facility located at 2 Marc Road in Medway, Massachusetts. The complaining resident was identified as being located at 14 Green Valley Road.

2.0 NOISE LIMIT

The Commonwealth of Massachusetts Department of Environmental Protection (MassDEP) has applicable noise regulations which prohibits raising the overall A-weighted noise level at a property line by more than 10 dB above ambient. Further, this regulation prohibits any pure tone condition, which is defined as the sound level in any octave band greater than 3 dB above the two adjacent octave bands, references [1-2]. The latest MassDEP Noise Pollution Policy Interpretation document [3] specifies that the noise levels are to be measured at residences and other buildings with sensitive receptors, not at property lines abutting industrial facilities. The Town of Medway has no specific noise regulations that apply to the facility.

3.0 INSTRUMENTATION

The noise measurements were performed using a Larson Davis Model 831 Integrating Sound Level Meter (SLM). The instrument was field calibrated both prior to and after the measurement procedure using a Larson Davis CAL200 pistonphone. The SLM had also been calibrated to NIST traceable standards within the previous 12 months. A copy of the calibration certificates will be provided upon request. The SLM was outfitted with a windscreen for each measurement. Additionally, the instrument was configured to measure various noise metrics over 30 second intervals.

4.0 NOISE SURVEY

NCE performed a noise survey of the 2 Marc Road facility and two residential abutters, 14 Green Valley Road and 45 Coffee Road. The survey was conducted between 9:00-10:00 PM on October 31, 2018. The locations are shown on a satellite map of the area in Figure 1. The Coffee Road location was the closest residential abutter to the facility and is at the bottom of Figure 1. The complaining residents are located on Green Valley Road at the top of Figure 1.

Noise measurements at the 2 Marc Road Facility were taken at several locations approximating the property lines of the facility with additional measurements at noted locations of high noise levels. NCE did not have access to the facility to adjust operating conditions of the HVAC or other noise producing equipment. Noise measurements at the residential locations were taken from the street in front of the listed residence. NCE had no access to the residences for measurements at the closest property line or the second floors of the structures. For the purposes of determining an appropriate background noise level, measurements were also taken at a residential location sufficiently removed from the industrial park and major roads, 18 Henry Street, in Medway.

FIGURE 1: Survey Locations Showing the Outline of the 2 Marc Road Property (Yellow Rectangle), the Residential Locations (Red Dots).



5.0 RESULTS

The results of the noise survey are presented in Table 1 and Figures 2-4 below. Table 1 lists the overall A-weighted sound pressure level in dB re 20 micro-Pa. The levels at the residences can be compared to background noise levels to determine compliance with the <10 dB increase over background limit specified by MassDEP. For the purposes of this evaluation, the location at on Henry Street (shown in *italics*) has been used as the background noise level. Octave band plots of the noise measurements are provided in Figures 2 and 3. These plots allow for comparison to the pure tone requirement of the Massachusetts DEP. Figure 4 shows a finer resolution one-

third octave band plot of the data from the highest noise location to allow the frequency of a tone to be narrowed down.

TABLE 1: Measured Sound Pressure Levels

Location	Description	Sound Pressure Level, dB(A)
2 Marc Road	North Property Line	49.0
	East Property Line	55.4
	West Property Line	49.0
	South Property Line	49.2
	Loudest Property Line	63.3
	Loudest Position On Site	67.6
45 Coffee Road	Street	46.8
14 Green Valley Rd	Street	40.7
18 Henry Street	Street	39.8

Figure 2: Measured Sound Pressure Levels at 2 Marc Road

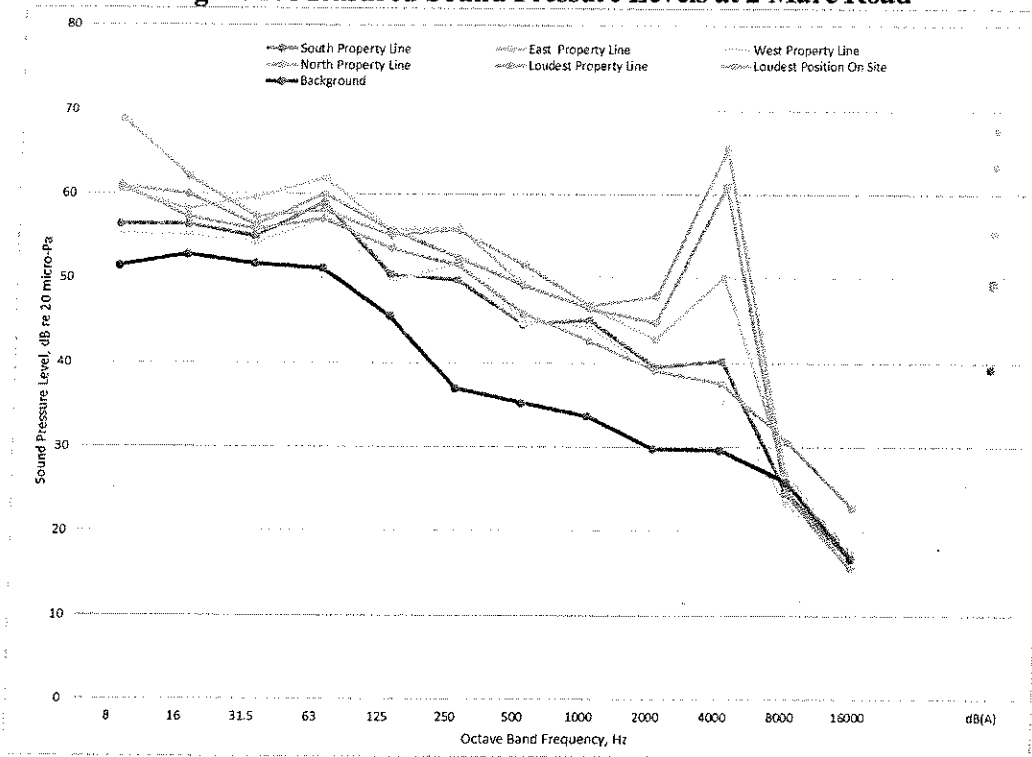


Figure 3: Measured Sound Pressure Levels at Residences

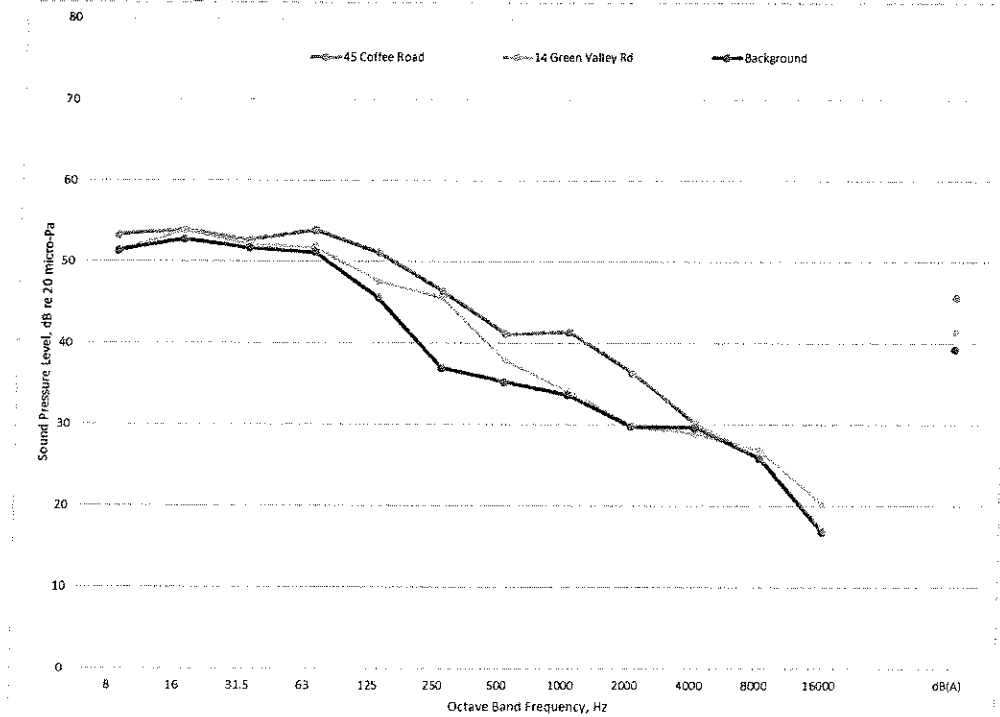
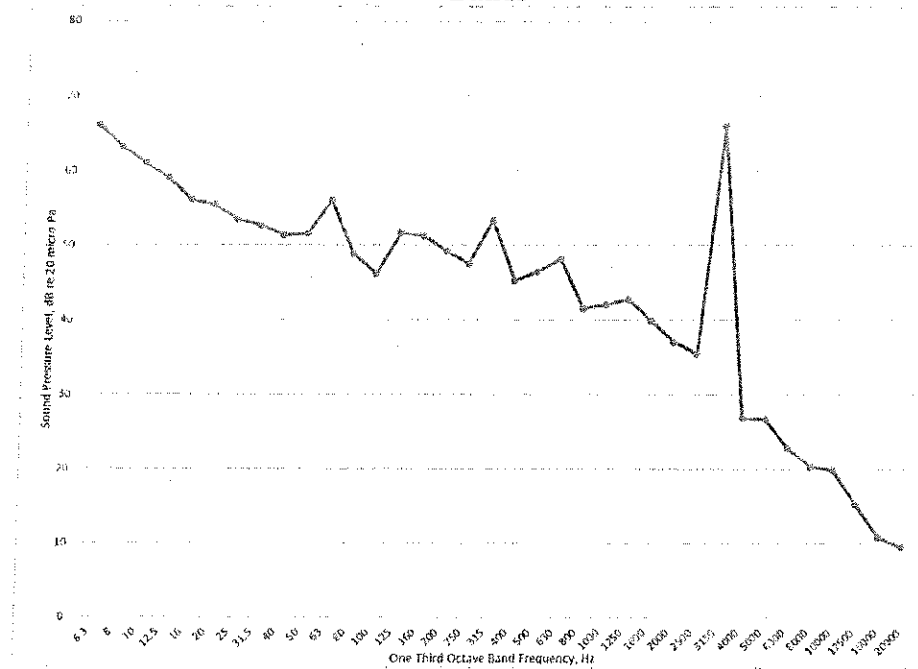


Figure 4: Measured Sound Pressure Level at Worst Location in One-Third Octave Bands



At most positions around the facility, noise levels were within the 10 dB of the background noise levels measured at another location in Medway. These positions include the north, west, and south property lines. However, there was a noticeable tonal noise that appeared to be originating from the south-east corner of the building, near the location of the emergency generator. This tonal noise controlled the noise level on the eastern property line. The highest noise level was measured between the building and the generator and the highest noise level on the property line was at the property line closest to the generator. While this tonal noise would be in excess of the MassDEP limit for pure tones and increase noise levels by more than 10 dB(A) above ambient, the abutter is an industrial facility and is not impacted per MassDEP guidance.

Diagnostic measurements to determine the source of the noise were limited as NCE did not have access to the rooftop or controls for the HVAC system at 2 Marc Road or other adjacent industrial facilities. However, the NCE engineer did confirm that the source of the tone was at the 2 Marc Road facility and not due to other industrial abutters. The frequency of the tone is approximately 3150 Hz, based on the one-third octave band data.

The residential measurements do not show any measurable noise excesses at either location. The noise measurements at both locations are well within 10 dB of the background noise levels and the pure tone could not be seen in the octave band data. These measurements do not indicate that the facility is inaudible, but the noise levels received at the residential abutters do not reach the level of noise pollution per MassDEP.

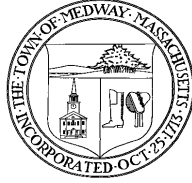
6.0 CONCLUSION

NCE conducted a noise survey of the 2 Marc Road facility and two local abutters in order to determine if the facility was in compliance with MassDEP noise limits. While there is a pure tone condition noted at the facility, no excessive noise levels, either from dB(A) or pure tone perspective, were measured at the residences.

In the opinion of Noise Control Engineering, the 2 Marc Road facility is in compliance with the Commonwealth of Massachusetts noise regulations per the 2018 MassDEP guidance.

REFERENCES

1. The Commonwealth of Massachusetts Department of Environmental Protection (MADEP). Noise Control Regulation 310 CMR 7.10, June 17, 2014.
2. Commonwealth of Massachusetts, Executive Office of Environmental Affairs, Division of Air Quality Control, DAQC Policy #90-001, dated February 1, 1990.
3. Commonwealth of Massachusetts, Executive Office of Environmental Affairs, Department of Environmental Protection, "Noise Pollution Policy Interpretation", dated January 31, 2018



November 27, 2018
Medway Planning & Economic Development Board
Meeting

Discussion on Articles for May 2019
Town Meeting

I would like to discuss with you what items you want to work on for the May 2019 town meeting.

Barbara, Jack and I met on Monday to review and update the MASTER LIST. See Attached.

Attached is a list of our recommendations.

Please think about any Zoning Bylaw changes that you feel are needed.

Ideas for Zoning & General Bylaw Work - UPDATED 11/26/18

		Comments	Notes
	ZONING BYLAW IDEAS		
	NEW ZONING DISTRICTS		
1	Create a new Traditional Neighborhood Development overlay district for new construction that would allow for more dense, Smart Growth type neighborhood - similar to neighborhoods like Ye Olde Village Square in Medfield on east side of Route 27/south of Route 109. Not the same level of density as 40R but denser than what we allow now.	This would be good for the Cassidy property behind Medway Commons. Look at Smart Growth report by Gino Carlucci from several years ago.	Recommend waiting until Town's sewer/water capacity issues are resolved. Also, need to talk with the Cassidy family to see about their long term ideas for the property.
2	Create an Early Suburban Zoning District with dimensional requirements to more closely match what exists on the ground.	This would be suitable for Brentwood and other smaller lot, early post WWII sub-divisions. Most of these areas are currently zoned ARII. Reduce minimum lot size, frontage and setbacks.	
3	Zoning for Oak Grove	Part of Urban Renewal Plan. New mixed use overlay district.	OG Zoning Task Force Established - Can this be done for November 2019 Town Meeting?
4	Create a new industrial zone for west side of West ST	Not to include ground mounted solar. Boundaries? Similar to Industrial I (East Medway Industrial Park or Business Industrial District for uses?)	Need to discuss with EDC
5	Look at a new Cottage Community option	Draw guidance from Living Little/Tiny Houses research report by MAPC issued in late June	
	ZONING MAP REVISIONS		
6	Rezone a portion of the west side of West Street north of Route 126 from ARII to some form of industrial.	EDC does not want ground mounted solar to be allowed in this area.	Need to discuss with EDC
7	Expand boundaries of East Industrial zoning district		
8	Establish another Village Commercial district on Main Street/Route 109 from Medway Mill west toward the Community Church		

		Comments	Notes
	DEFINITIONS - Section 2		
9	Refine definition of 2 family/duplex	Are a 2 family and duplex the same thing? Do we want/need to distinguish between the two? Horizontal vs. vertical separation? Should there be some measure of extent of the connection between the two units?? Must have a shared wall of at least ____% Clean up definition of 2 family/duplex or eliminate. Not sure it is really needed.	Also establish special regulations in a new Section 8.15 to address appearance, parking, open space, curb cuts, height, etc. Eliminate requirement in Use Table that a 2 family has to look like a 1 family.
10	Kennel - Differentiate between animals as pets and/or home based business vs. a full commercial operation	Further discussion needed with Animal Control Officer and Board of Health. ZBA mentioned this as something of interest to them.	
11	Establish a definition for "incidental accessory objects"		
12	Refine definition of "outside storage" to also include conex type containers or other form of storage structure		Also establish special regulations in a new Section 7.1.4 to address screening, % of parcel to be used for outdoor storage, etc.
13	Add definitions for taxi service, limousine service, and other business uses as may be recommended by the EDC	Also determine where such uses would be allowed. Amend Table 1 accordingly.	Check with EDC to see if/how they want to pursue this.
14	Add definition for "bulk storage"	Determine where such uses would be allowed if at all. Amend Table 1 accordingly.	
	ADMINISTRATION - Section 3		
15	Establish a new sub-section for a Certificate of Zoning Compliance	Discuss pros/cons of this with PEDB and Jack Mee	
16	Add a new sub-section to reference Design Review Guidelines		
	ZBA - Section 3.2		
17	Do we want to continue to allow USE Variances?	Discuss with ZBA. One approach is to keep Use Variances but establish some limitations on their use or only allow in non-residential districts	

		Comments	Notes
	SITE PLAN REVIEW - Section 3.5		
18	Amendments as identified thru Site Plan Rules and Regs update process	This may belong more suitably in the General Bylaws	
19	Add requirement for sidewalk construction along frontages for projects seeking site plan approval	Discuss with PEDB. Maybe add to general bylaw instead of ZBL.	
20	ZONING DISTRICT BOUNDARIES - Section 4.4	Are streets zoned? Question raised by Fran and Mackenzie	
	SECTION 5 - USE REGULATIONS		
	SCHEDULE OF USES - Section 5.4 (Table 1)		
21	New industrial/business district for west side of West ST	If created, determine by-right and special permit uses.	Discuss with EDC.
22	Change adult uses from by-right to special permit	Discuss with PEDB	
23	Outside storage as an accessory use in business and industrial districts. Address use of tractor trailers/conex type containers for product storage (permanent and seasonal)	Establish some limitations tied to % of lot. Certain % of lot by right; anything over by special permit. Then add some special regulations to address screening of outside storage.	
24	Move 5.4.1 re special permits in Commercial I to a new Section 8.14 Mixed Use		
25	Determine where newly defined terms would be allowed by right, by special permit, or prohibited.		
26	Add 2 family/duplex by special permit in Village Commercial District		

[illegible]

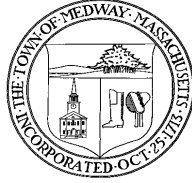
		Comments	Notes
	SECTION 6 - DIMENSIONAL REGULATIONS		
	Section 6.2 General Provisions		
32	Revisit requirement included in recodified bylaw - "An owner shall provide a means of access for vehicles from the frontage to a principal building for emergency services, for deliveries and for off-street parking."	Do you want to require that access to a parcel has to be from its frontage?? What about from a common driveway?	
	Section 6.3 Accessory Structures/Buildings/Appurtenances	New sub-section	
33	Specify what accessory structures/buildings and incidental accessory objects can be included in the standard setback areas and what setbacks would apply	Items to be considered - fences, bus shelters, sheds, mailboxes, light posts, flagpoles, driveways, etc. Review this list.	
34	Allow sheds less than 10' by 12' to be closer than 15' to side and back property lines.	Suggested by Jack Mee. See Walpole bylaw.	
35	Require that sheds and stored boats, trailers, swimming pools, etc. cannot be located within the front setback area of any lot	Suggested by Jack Mee. See Walpole bylaw.	
36	Specify minimum distance of edge of driveway to property line or a minimum distance between driveways		
		Comments	Notes

SECTION 7 GENERAL REGULATIONS			
	OFF STREET PARKING and LOADING REGULATIONS - Section 7.1.1		
37	Update parking standards especially for industrial uses	Look at parking text from Oak Grove zoning work	
38	Add parking provisions for future reserve parking		
39	Address off-premises parking issues		
40	Add language back in about shared parking. Look at November 2013 ZBL for language – I think Judi Barrett removed some text during the recodification		
	FENCES - New Section 7.1.3		
41	Fences - Require shorter fence height (3') in front to at least the front setback line or a certain distance if there are no minimum setbacks	Recommended by Jack Mee	
42	Refer to General Bylaw		
43	Regulations to address safety and sight lines		
44	OUTSIDE STORAGE - New Section 7.1.4	Add special regulations to address screening of outside storage areas and dumpsters	Establish some limitations tied to % of lot. Certain % of lot by right; anything over by special permit. Then add some special regulations to address screening of outside storage.
		Comments	Notes

		Comments	Notes
	COMMON DRIVEWAYS - New Section 8.12		
50	Add regulations for Common Driveways. Allow by right or special permit? Anywhere!?!? NOTE - Common driveways are NOT private roadways. They provide access only, not frontage.	New sub-section to address criteria and basic standards for common driveways. We already have a definition for common driveways.	
51	BACK LOT ZONING - New Section 8.13	New sub-section to provide special permit option to allow a house to be built on an oversized parcel with insufficient frontage - include "driveway standards". This option would remove need for a full subdivision process. We could include provisions for stormwater management.	
52	MIXED USE - New Section 8.14	Move Section 5.4.1 Special Permits in Commercial I to this location and revise.	
53	TWO-FAMILY - New Section 8.15	Establish special permit criteria for two-family special permits	
54	DRIVE-THRU FACILITIES - New Section 8.16	Establish special permit criteria for drive-thrus	Drive-thrus are only allowed by special permit in BI
55	GROUND MOUNTED SOLAR - New Section 8.17	New sub-section to provide a special permit option for large scale solar on undeveloped back lands in ARI. Need to discuss with Energy Committee	
56	MISCELLANEOUS HOUSEKEEPING EDITS	BSA List	

GENERAL BYLAW IDEAS			
		Comments	Notes
A	Revise existing general bylaw and/or establish some stronger property maintenance regulations to address junk, dilapidation, blight, accumulated unregistered vehicles, collections of debris, etc.	Need input from Jack. Property maintenance is an optional part of the Building Code but it pertains to structures, not sites. Is BOS interested in something like this? What do we presently have to address this? BOH statute??	Staff recommends the PEDB discuss this with Jack, Health Agent Beth Hallal, and the BOS.
B	Establish start and stop times for construction work		We have a draft. Needs work.
C	Regulate the amount of and quality of fill being brought onto development sites.	Of interest to Bridget Graziano and Jack Mee. Bob Tucker says there are state laws that address this. Difficult to enforce. Testing is expensive.	We have a draft based on the Salisbury bylaw. Needs thorough discussion and vetting. Will Bridget be lead on this?
D	Revise general bylaw to increase required fence height around pools to 4' to be consistent with state law.	Suggested by Jack Mee	Discussed at 12/8/15 PEDB mtg. Jack to take lead on this.
E	Revise EDC bylaw to allow for non-resident property owners to be a member of the EDC	Discuss with EDC	
F	Noise bylaw	Need to revisit. PEDB was not OK with removing existing noise standards from ZBL. Do we need both general bylaw and zoning bylaw?	
G	Scenic Road bylaw	Take part of the Scenic Road Rules & Regs and turn into a bylaw. Broaden scope beyond the limited scope of the state statute.	
H	Establish bylaw to promote universal accessibility and visitability of dwelling units	Suggested by Sue Rorke at 7/20/15 meeting	Something for a Disability Commission to consider
	<i>Updated 11-26-18</i>		

Possible Zoning Work for May 2019 Town Meeting		
1	Needed revisions to Site Plan section as identified through update process of SP Rules and Regulations.	SAC with notes from Barbara. Also discuss exempting Town projects from site plan review process.
2	Kennel work - Develop new definitions for various types of "kennels"; differentiate between residents with multiple dogs and commercial kennels; changes to Use Table	BSA to discuss with the ZBA. Need to coordinate with Brenda Hamelin
3	Incidental Accessory Items - Define; What can be located in what setbacks and what is completely prohibited in setbacks?	SAC. Sheds under "x" size and height to be allowed in setbacks along with other minor items.
4	Delete 2 family /duplex definition; remove requirement in Table 2 that a 2 family has to look like a single family house	SAC
5	Miscellaneous housekeeping items	BSA list
6	Rezone the southern end of West Street from ARII - new district?	EDC does not want ground mounted solar to be in this area. BSA to discuss with EDC. Perhaps look at uses allowed in the BI district. Also evaluate adding more properties further west.
7	Common Driveway - Where to allow. Special Permit? May also need to adjust 6.2 re: requirement that access has to come from "frontage".	SAC
8	Certificate of Zoning Compliance	SAC - Research needed. Ask Gino to help?
9	Use variance - Keep or eliminate	BSA to discuss with ZBA. Also need to discuss with BOS and PEDB
Possible General Bylaw Work for May 2019 Town Meeting		
A	Land filling general bylaw	BSA to work with Bridget
B	Corner clearance distance - definition and requirement.	BSA
C	Fences - Revise GBL language re: location of fences vis-à-vis setbacks	JM or BSA?
	DRAFT - 11/26/18	



November 27, 2018
Medway Planning & Economic Development Board
Meeting

Medway Community Church
Site Plan Endorsement

We have the Certificate of No Appeal from the Town Clerk. Medway Community Church has paid \$3,793, half of the TT construction services/inspection fee; this seems reasonable as construction will not begin until the spring.

MCC has recorded the site plan decision with the long term stormwater operations and maintenance plan and has provided the requested phosphorous calculations to Tetra Tech.

Tata and Howard submitted the revised site plan Monday, 11/19. It is attached along with the site plan decision. Tetra Tech is reviewing that plan to determine if everything specified in the decision has been included.

I believe all be ready so you can endorse the site plan at the 11/27 meeting, but we await Tetra Tech's review.

MEDWAY TOWN CLERK

155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
(508) 533-3204 • Fax: (508) 533-3287
mwhite@townofmedway.org

MARYJANE WHITE, CMMC

CERTIFIED MASSACHUSETTS MUNICIPAL CLERK

JUSTICE OF THE PEACE

NOTARY PUBLIC

CERTIFICATE

I, Maryjane White, Town Clerk of the Town of Medway, hereby certify that the notice of the site plan decision of the Medway Planning and Economic Development Board, has been received in the matter of

**MEDWAY COMMUNITY CHURCH-PARKING EXPANSION
9&11 SLOCUMB PLACE**

It was received and filed in this office on the following:

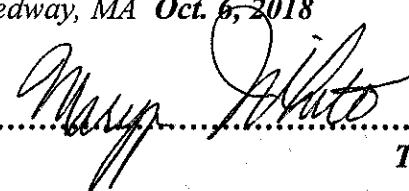
SEPTEMBER 14, 2018

And no appeal was received during the next twenty days after such receipt and recording of said decision.

Dated at Medway, MA Oct. 6, 2018

A true copy

ATTEST.....



Town Clerk



**Medway Community Church
Construction Administration Budget
October 24, 2018**

Item No. ¹	Inspection	Site Visits	Hrs/Inspection ²	Rate	Total
1	Erosion Control Inspections	10	1	\$95	\$950
2	Clearing & Grubbing/Demolition	1	3	\$95	\$285
3	Subgrade/Staking	1	3	\$95	\$285
4	Drainage: Test Pitting	1	3	\$95	\$285
5	Drainage: Sub. Infil. Basins	2	4	\$140	\$1,120
6	Drainage: Piped Infrastructure	2	3	\$95	\$570
7	Site Subbase Gravel/Fine Grading	1	3	\$95	\$285
8	Binder Course Paving	1	4	\$95	\$380
9	Curb/Berm	1	3	\$95	\$285
10	Top Course Paving	1	4	\$95	\$380
11	Landscape/Plantings/Fence	1	3	\$95	\$285
12	Punch List Inspections ³	2	4	\$140	\$1,120
13	As-Built Review ⁴	1	4	\$95	\$380
14	Meetings	6	0.5	\$140	\$420
15	Admin	3	1	\$65	\$195
	Subtotal				\$7,225
	Expenses			5.0%	\$361
	TOTAL				\$7,586

Notes:

¹ Each item includes site visit, inspection and written report. If construction extends beyond June 30, 2019, this estimate will be revised to utilize updated TT/Town of Medway contract hourly rates.

² If installation schedule is longer than that assumed by engineer for any item above, or if additional inspections are required due to issues with the contract work, additional compensation may be required.

³ Punch List Inspections include a substantial completion inspection and Punch List memo provided to the town. It also includes one final inspection to verify that comments from the list have been addressed and one revision to the list if required.

⁴ This item includes review of As-Built Plans, review letter and coordination with the applicant to address any issues on the plans.

Date Approved by Medway Planning and Economic Development Board _____

Certified by: _____ **Date** _____
Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

September 11, 2018

***Minor Site Plan Review Decision and
Stormwater Management and Land Disturbance Permit
Medway Community Church – Parking Expansion
9 & 11 Slocumb Place
APPROVED with Waivers and Conditions***

Decision Date: September 11, 2018

Name/Address of Applicant: Medway Community Church
11 Slocumb Place
Medway, MA 02053

Name/Address of Property Owner: Medway Community Church
11 Slocumb Place
Medway, MA 02053

Project Location: 9 & 11 Slocumb Place

Assessors' Reference: 47-078 and 47-079

Zoning District: Agricultural Residential II and Village Residential

Engineer: Tata and Howard, Inc.
67 Forest Street
Marlborough, MA 01752

Site Plan: *Medway Community Church - 9 & 11 Slocumb Place Site
Improvements
Dated July 24, 2018, last revised August 22, 2018*

NOTE – Religious facilities are exempt under the Massachusetts Zoning Act, Chapter 40A, Section 3. Therefore, this site improvement project can be constructed at this location, despite its inclusion in the Agricultural-Residential II and Village Residential zoning districts. However, the statute also specifies that religious facilities are subject to “*reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements.*” Those aforementioned “reasonable regulations” provide the framework for the Planning and Economic Development Board’s review and decision. Minor site plan review is the process by which the Board considers exempt use developments pursuant to Section 3.4.3.A. 2.d. of the Medway *Zoning Bylaw*.

I. PROJECT DESCRIPTION – The proposed project pertains to the development of a 78 space parking area including site clearing and grubbing, excavation, installation of stormwater management facilities, paving, curbing, walkways, lighting, landscaping and fencing, all in support of the operation of Medway Community Church’s main facility at 196 Main Street.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public review process, the Medway Planning and Economic Development Board, on September 11, 2018, on a motion made by Richard Di Iulio and seconded by Matthew Hayes, **voted to approve with WAIVERS and CONDITIONS** as specified herein, a site plan and a stormwater management and land disturbance permit for the construction of a 78 space parking area with associated site improvements and amenities as shown on *Medway Community Church, 9 & 11 Slocumb Place Site Improvements*, prepared by Tata & Howard, Inc. of Marlborough, MA dated July 24, 2018, last revised August 22, 2018, to be further revised as specified herein.

The motion was approved by a roll call vote of four in favor and none opposed.

Planning & Economic Development Board Member	Vote
Richard Di Iulio	Yes
Matthew Hayes	Yes
Thomas A. Gay	Yes
Andy Rodenhiser	Absent
Robert Tucker	Yes

III. PROCEDURAL HISTORY

- A. July 25, 2018 - Site plan application and associated materials filed with the Medway Planning & Economic Development Board.
- B. July 26, 2018 – Site plan public review notice filed with the Town Clerk and posted at the Town of Medway web site.
- C. July 26, 2018 – Site plan information distributed to Town boards, committees and departments for review and comment.
- D. July 27, 2018 – Site plan application and associated materials field with the Medway Town Clerk
- E. July 27, 2018 – Site plan public review notice mailed to abutters by first class mail.
- F. August 14, 2018 - Site plan public review process commenced during the Planning and Economic Development Board meeting. The public review was

continued to August 28 and September 11, 2018 when a decision was rendered and the public review process was closed.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The site plan application for the proposed Medway Community Church parking expansion project included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application were filed:
1. Minor Site Plan Application dated May 23, 2017 with Project Description, Waiver Requests, certified abutters' list and property access authorization.
 2. *Medway Community Church 9 & 11 Slocumb Place Site Improvements* site plan July 24, 2018 prepared by Tata & Howard of Marlborough, MA.
 3. *9 & 11 Slocumb Place Site Improvements Stormwater Drainage Evaluation, July 2018*, prepared by Tata and Howard of Marlborough, MA.
- B. During the course of the review, a variety of other materials were submitted to the Board by the Applicant and its representatives:
1. Letter dated August 14, 2018 from Jon Gregory, P.E. of Tata & Howard in response to the Tetra Tech site plan review letter dated August 10, 2018
 2. Letter dated August 14, 2018 from Jon Gregory, P.E. of Tata & Howard in response to the PGC site plan review letter dated August 8, 2018.
 3. *Medway Community Church 9 & 11 Slocumb Place Site Improvements* site plan dated July 24, 2018, **revised** August 22, 2018 prepared by Tata & Howard of Marlborough, MA
 4. Letter dated September 6, 2018 from Jon Gregory, P.E. of Tata & Howard in response to the Tetra Tech site plan review letter dated August 24, 2018, with various attachments including pipe/grate sizing calculations, construction period stormwater pollution prevention plan, leaching basin analysis, TSS removal calculation sheets, and a peak hour (Sunday morning) traffic flow plan.
- C. All documents and exhibits received during the public review are contained in the Planning and Economic Development Board's project file.

V. TESTIMONY - In addition to the site plan application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Steve Bouley, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated August 10, August 24 and September 10, 2018 and commentary throughout the public process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letters dated August 8 and August 24, 2018 and commentary throughout the public review process.
- Matthew Barry, project engineer, Tata & Howard

- Email communication dated July 27, 2018 from Fire Chief Jeff Lynch
- Memorandum dated August 11, 2018 from Medway Police Sergeant/Safety Officer Jeffrey Watson
- Letter dated August 14, 2018 from Medway Police Lieutenant Kingsbury
- Review letter dated August 27, 2018 from the Medway Design Review Committee
- Email communication dated August 27, 2018 from Medway Building Commissioner Jack Mee re: exemption from the *Zoning Bylaw's* "impervious lot coverage" requirements
- Pastor Carl Schultz, Medway Community Church
- Peter Simmons, President, Corporation of Medway Community Church
- Email dated August 12, 2018 from residents Eli Rosinha and Rosalea Moore, 4 Highland Street
- Email and attached letter dated August 11, 2018 from Joseph and Bernadette Kobierecki, 2 Highland Street
- Letter dated August 5, 2018 from Mary Liscombe, 8 Highland Street
- Email dated August 1, 2018 from Mathew Holt, 6 Highland Street
- Residents Shawn and Shannon Montana, 13 Slocumb Place
- Resident James Moniz, 6 Highland Street
- Resident Ian Grossman, 15 Slocumb Place
- Resident Eli Rosinha, 4 Highland Street

VI. FINDINGS – In making its findings and reaching the decision described herein, the Board is guided by Board's *Site Plan Rules and Regulations*, and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public hearings and comments submitted by Town departments, boards and committees as well as the Board's peer review consultants and residents placed in the public record during the course of the hearings.

The Planning and Economic Development Board, at its meeting on September 11, 2018, on a motion made by Matthew Hayes and seconded by Richard Di Iulio, voted to approve the following **FINDINGS** regarding the proposed parking expansion project at 9 & 11 Slocumb Place for Medway Community Church. The motion was approved by a roll call vote of four in favor and none opposed.

A. Site Plan Rules and Regulations Findings – The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Planning and Economic Development Board shall determine the following:

1. Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

Internal circulation was a major issue in the review of this project. The church's existing parking lot entrance is located on Slocumb Place where it is wider and further away from abutters on that street. The new parking lot is connected to the existing lot in a manner that allows 2-way traffic flow through the lot. Both of the existing driveways to 9 and 11 Slocumb Place have been eliminated and replaced

by a single curb cut to the new parking area. The use of traffic islands, signage and striping helps control internal circulation. Finally, The Church's "parking team" will continue to operate for Sunday services to guide traffic and further control circulation.

2. Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The site currently has 2 residential buildings on it. Both buildings will be retained in substantially the same form as they are so the character, materials and scale of the buildings will not change. 11 Slocumb Place will be used as the church office and 9 Slocumb Place will serve as a parsonage for one of the church pastors.

3. Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises used and zoned.

No new buildings are proposed. The existing buildings, a proposed fence around almost the entire perimeter of the parking lot, and existing and added vegetation adequately screen the parking lot for abutters. No outside storage is planned. As a result of this project, the church's primary dumpster is being repositioned away from its current location to a less intrusive area, away from an abutter.

4. Is adequate access to each structure for fire and service equipment provided?

The construction of the parking lot improves access to the existing structures for fire and service equipment as access will now be provided from the rear and sides of the buildings as well as the front. The Fire Chief has reviewed the plans and has not noted any issues.

5. Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

- a) the volume of cut and fill;
- b) the number of trees to be removed with particular care taken with mature trees and root systems;
- c) the visual prominence of man-made elements not necessary for safety;
- d) the removal of existing stone walls;
- e) the visibility of building sites from existing streets;
- f) the impacts on waterways and environmental resource areas;
- g) soil pollution and erosion;
- h) noise.

The volume of cuts and fills is minimal since no significant grade changes are planned or needed. Two trees greater than 18 inches in diameter will be removed from the area of the new parking lot. However, most of the trees greater than 18 inches in diameter within the 15-foot buffer area around the perimeter of the site will be retained and new trees and shrubbery will be added where needed to improve screening for the abutters. Care will be taken to minimize damage to the roots of these existing trees and the location of drainage structures has been

selected to minimize root disturbance. New trees will also be added to the two traffic islands within the parking lot for shade and aesthetics.

Fencing, existing and planned vegetation minimize the visual prominence of the parking lot, and the existing buildings are not changed. The existing stone wall at the new driveway entrance will be removed. However, the stones will be used to fill in the gaps across the two existing driveways which are being filled in.

There are no wetlands or waterways or environmental resources on the site. However, there will be a 10-foot buffer area between the new fence and the property line at the rear of the parking lot that will be kept in its natural state and be available for wildlife migration (as well as a buffer for abutters). Proper erosion controls will be used during construction and precautions will be taken during construction to prevent soil pollution. The planned subsurface stormwater management system will prevent post-construction pollution. Construction noise is unavoidable but will be minimized through the specified operating hours. No unreasonable noise will be generated by the normal use of the parking lot.

6. Is pedestrian and vehicular safety both on the site and egressing from it maximized?

The parking lot entrances, signage, traffic islands and striping are designed for vehicular safety. A walkway, separate from the parking, lot will provide a safe pathway between the lot and the Church for pedestrians. The Church's "parking team" will provide another active means of providing safety to supplement the passive elements of the site design. The reconstruction of Route 109 also improves safety or accessing and egressing the site.

7. Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

The Church is a significant historic resource for Medway. The construction will not detract from it and the project integrates the new parking with the existing parking on the Church site. Many of the trees along the perimeter of the parking lot will be retained and supplemented with additional trees and shrubs.

8. Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?

A photometric plan was provided documenting that there would be no light cast onto adjoining properties. Also, the perimeter fence will prevent vehicle headlight glare on abutters. The lighting is designed with cut-off lenses to prevent light pollution within the Town in accordance with the lighting provisions of the Zoning Bylaw

9. Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The proposed limit of work is the minimum necessary to construct the parking lot, and the erosion and sedimentation control plan will prevent environmental damage during construction. The stormwater management system and its operation and maintenance plan will prevent damage to the environment post-construction.

B. Other Findings

1. **Impervious Coverage** – As a result of the parking expansion project, the amount of impervious surface on 11 Slocumb Place is expected to be 57.7%. This exceeds the allowable amount (40%) per the *Zoning Bylaw*, Section 6.1, Table 2. Dimensional and Density Regulations for the AR-II zoning district. Building Commissioner Jack Mee has determined that the impervious coverage zoning requirement is not within the scope of “reasonable regulations” for a religious facility as specified in the Massachusetts Zoning Act. Consequently, the *Zoning Bylaw’s* regulation for impervious coverage does not apply to this particular project.
2. **Land Disturbance Area** - The total land disturbance area for this project is expected to be 7,739 sq. ft. for 9 Slocumb Place and 26,447 sq. ft. for 11 Slocumb Place for a total of 34,186. This amount of land disturbance triggers the applicability of Medway General Bylaws, Section 26. Stormwater Management and Land Disturbance.

VII. WAIVERS – At its September 11, 2018 meeting, the Planning and Economic Development Board, on a motion made by Richard Di Iulio and seconded by Matthew Hayes voted to grant waivers from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Planning and Economic Development Board’s action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

The motion was approved by a roll call vote of four in favor and none opposed.

- A. Section 204-3, 7. Development Impact Statement** - A written *Development Impact Statement* which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent or mitigate adverse impacts. The *Development Impact Statement* shall consist of the following four elements: Traffic Impact, Environmental Impact, Community Impact and Parking Impact.

The Applicant has requested a waiver from the requirement for a Development Impact statement. This project is being undertaken to specifically address current parking difficulties and inadequacies that are evident on Sunday mornings for worship services. A traffic impact report is not needed as the existing traffic conditions are not expected to change due to the expanded parking. Community impacts are discussed in the project narrative. The site does not include any wetland resources and thus there is no review needed by Conservation. Strict compliance with this regulation could be considered to be a burdensome and unreasonable regulation of this religious organization’s development plan. Therefore, the Board APPROVES this waiver request.

B. Section 204-4 B Site Plan Scale - Site plans shall be drawn at a scale of 1" = 40'

The Applicant has requested a waiver from this requirement and has provided plans at a scale of 1" = 20 feet. The Town's Consulting Engineer has opined that the plans as provided at the alternative scale are sufficient to adequately show the proposed work. Therefore, the Board APPROVES this waiver request.

C. Section 204-5 C. 3. Existing Landscape Inventory - An Existing Landscape Inventory shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.

The Applicant has requested a waiver from the full extent of this requirement. An inventory of trees with a diameter of 18" or greater on the property has been provided; the inventory was prepared by personnel from Tata & Howard, the Applicant's project engineer. This variation is consistent with past waiver requests and approvals for other site plan projects approved by the Board within the last two years. The reduced scope of the inventory is acceptable since most of the site has to be cleared for the planned parking expansion. Trees within the setback area around the perimeter of the site are being retained as part of the screening measures. Therefore, the Board APPROVES this waiver request.

D. 204-5, D, 7. Landscape Architecture Plan - A Landscape Architectural Plan shall be prepared by a Landscape Architect licensed in the Commonwealth of Massachusetts. This Plan shall be prepared as an overlay of the existing conditions sheets and shall incorporate, whenever possible, the significant features of the existing site and topography, particularly existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. The Landscape Architectural Plan shall indicate the areas slated for excavation; any woodlands, trees or other existing features or structures to be retained; all new plantings by common and Latin name including their proposed locations and sizes at the time of installation. Plan graphics for tree canopies shall reflect, as closely as possible, the actual canopy dimension of proposed tree plantings at the time of installation with a "lesser" intensity graphic used to represent potential canopy at maturity.

The Applicant has requested a waiver from the regulation specifying that a Landscape Architect prepare the Landscape Plan. Instead, the Landscape Plan was prepared by Tata and Howard personnel. See sheet C-7. The plan is limited in scope since so much of the site is being converted to parking. The plan shows a thorough and thoughtful approach to the use of existing vegetation and stone walls and proposed supplemental landscaping around the perimeter of the properties to screen the parking area from the abutters. Therefore, the Board APPROVES this waiver request.

E. Section 205-3, B, 2) Internal Site Driveways - No part of any driveway shall be located within fifteen (15) feet of a side property line.

The Applicant has asked for a waiver from this regulation. The proposed new curb cut from Slocumb Place to access the new parking area will be located

within 15 feet of the side property line between 9 and 11 Slocumb Place. This driveway location was selected to allow for the best use of the public right-of-way to access the site and to eliminate the choke point to the north of the proposed curb cut where the paved roadway narrows. Because both parcels are owned by Medway Community Church, the need for the driveway setback regulation does not apply in this particular case. Therefore, the Board APPROVES this waiver request.

- F. **Section 205-3, C, 1 Traffic Flow Slope** - The slope of the paved entrance way shall not exceed two (2) percent for the first twenty-five (25) feet measured perpendicular from the front property line. Plantings should be evaluated to ensure adequate sight distance is not affected. The maximum height of vegetation, except trees, at full growth or any other physical object shall not exceed three (3) feet in height to assure sight distance visibility from a vehicle. The entrance shall be clearly delineated by granite curbing or other approved material along the entire radius of the opening and extend at least twelve (12) feet beyond each side along the gutter line of the road, and sloped at the end to prevent a vertical obstruction to exist.

The Applicant has requested relief from this requirement. Due to site constraints and the existing site topography, a 2% grade within the first 25 feet of the driveway entrance from Slocumb Place cannot be met. The driveway grade will be 6%. Strict compliance with this regulation could be considered to be a burdensome and unreasonable regulation of this religious organization's development plan. Therefore, the Board APPROVES this waiver request.

- G. **Section 205-6 H. Curbing** – The perimeter of the parking area shall be bounded with vertical granite curb or similar type of edge treatment to delineate the parking lot.

The Applicant has requested a waiver to allow for the use of bituminous Cape Cod berm on the perimeter of the new parking areas. Vertical granite curbing will be used along the proposed curb cut and driveway entrance from Slocumb Place and along the back of all catch basins. Sloped granite curbing is planned for the landscaped parking islands. Strict compliance with this regulation could be considered to be a burdensome and unreasonable regulation of this religious organization's development plan. Therefore, the Board APPROVES this waiver.

- H. **Section 205-6 G. 4. b)** – Parking spaces and stalls shall not be located within 15' of the front, side or rear property lines.

The Applicant has requested a waiver from the full extent of this requirement. This regulation is met for the parking spaces to be constructed on the 11 Slocumb Place parcel. The setback for the parking area on the 9 Slocumb Place parcel is 15 feet except for the area of the driveway connection between the two parking lots. A waiver is needed from the setback requirement to achieve an adequate two way traffic flow. Therefore, the Board APPROVES this waiver.

- I. **Section 205-9 C. Parking Areas** - Internal landscape planted divisions (*islands and peninsulas*) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2)

inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Planning Board.

The Applicant has requested a waiver from this regulation. With 78 parking spaces proposed, 13 trees are required. Two landscaped islands are included on the plan. However, the construction of additional landscaped islands is not practical due to the location of the two sub-surface stormwater infiltration facilities. The revised site plan dated August 24th, shows 12 new trees to be planted around the perimeter of the parking areas and within the parking islands. Further, the Applicant has committed to retaining existing trees on the perimeter of the parking lots to the greatest extent possible. Therefore, the Board APPROVES this waiver.

- J. **Section 205-9, F. Tree Replacement** - The total diameter of all trees over ten (10) inches in diameter that are removed from the site shall be replaced with trees that equal the total breast height diameter of the removed trees. The replacement trees may be placed on or off site as recommended by the Planning Board.

The Applicant has requested relief from this regulation. Due to the extensive number of trees to be cleared from the middle of the site for the parking areas, the required replacement of all trees over ten inches in diameter is not feasible. According to the revised site plan dated August 22, 2018, two trees over 18" in diameter will be removed from the site. The Applicant has committed to preserving the natural environment of the site to the greatest extent possible. The site plan shows the installation of twelve new shade trees. Strict compliance with this regulation could be considered to be a burdensome and unreasonable regulation of this religious organization's development plan. Therefore, the Board approves this waiver.

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public review process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan for the Medway Community Church parking expansion project at 9 and 11 Slocumb Place, dated July 24, 2018, last revised August 22, 2018, prepared by Tata & Howard of Marlborough, MA shall be further revised to reflect all Conditions and required revisions, including those as follows, and submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). The Applicant shall provide a revised Plan in its final form to the Board for its signature/endorsement. All plan sheets shall be bound together in a complete set.

- B. **Cover Sheet Revisions** – Prior to plan endorsement, the cover sheet of the August 22, 2018 site plan set shall be revised to:
1. List the APPROVED waivers from the *Site Plan Rules and Regulations* as specified herein.
 2. Remove the signature box for the Board of Selectmen and replace with a signature box for the Planning and Economic Development Board including spaces for decision date and endorsement date.
 3. Include a statement for the Town Clerk's signature to certify that no appeals were filed during the 20 day period following the filing of the decision with the Town Clerk's office.
 4. Include a final plan date.
- C. **Other Plan Revisions** – Prior to plan endorsement, the following plan revisions shall be made to the August 22, 2018 Site Plan set.
1. Per the 8-11-18 plan review letter from Police Sergeant/Safety Office Jeff Watson, a stop sign shall be added at the parking lot exit onto Slocumb Place along with a painted stop line.
 2. A detail for the "New England style" light pole shall be included. The color for the light poles and fixtures shall be specified.
 3. A detail describing and illustrating the paving material for the new pedestrian walkway shall be added. Additionally, a continuation of the pedestrian walkway from 9 Slocumb Place through the existing church parking lot shall be striped on the pavement to provide safe pedestrian passageway from the new parking area through the existing parking lot to the church entrance.
 4. The detail for the 6' high privacy fence on Sheet C-8 shall be revised to specify that the fencing material is not shiny and will be of a neutral or natural color.
 5. The plan shall be revised to include a detail for a bicycle rack to comply with the bicycle parking requirements as specified in Section 7.1.1. I. 1. Bicycle Parking of the *Zoning Bylaw*.
 6. The areas comprising the existing driveways for 9 & 11 Slocumb Place which are to be abandoned shall be fully removed and grassed over.
 7. "No Parking" striping shall be included on the pavement at the southern end of the central parking area within the large new parking lot.
 8. Per Tetra Tech's review letter dated August 24, 2018, the plan shall be revised to show the location of the inspection ports to access the isolator row portion of the sub-surface stormwater drainage system
 9. Per Tetra Tech's review letter dated September 10, 2018 the plan shall be revised to show:

- a) Erosion and Sediment Control Plan consistent with the provisions of Section 26.7 of the Medway General Bylaws, Stormwater Management and Land Disturbance Permit. See Tetra Tech review letter dated 9-10-18 (Item #21). This shall include construction entrances and specific erosion control details.
 - b) details of the weir manholes
 - c) locations of final inspection ports for the sub-surface Cultec system.
- D. **Stormwater Management During Construction** – Before site construction commences, the Applicant will install and maintain silt sacks in all of the catch basins in the Slocumb Place cul-de-sac to protect the Town's drainage system during the construction period in the event of intense stormwater runoff from the site. The silt sacks shall be removed at the conclusion of construction.
- E. **Other Documentation to Be Provided Prior to Plan Endorsement** – The Applicant shall provide the following information for review to the satisfaction of the Board's Consulting Engineer for compliance with Medway Bylaws and Rules and Regulations.
 - 1. Calculations for total phosphorus removal at the site.
 - 2. Proof of recording, at the Norfolk County Registry of Deeds, of the approved Long Term Stormwater Operations and Maintenance Plan prepared by Tata and Howard.
- F. **Use Limitations**
 - 1. Parking or use of the parking area at 9 and 11 Slocumb Place shall be limited only to vehicles for the Medway Community Church, its employees, parishioners, visitors, and deliveries. The parking area may not be leased or made available to any other entity for any purpose.
 - 2. Plowed snow for the site shall be stored only in the designated areas shown on the plan or taken off site in times of substantial storms.
- G. **Existing Vegetation**
 - 1. The existing vegetation in the buffer area shall be evaluated during the winter of 2019 to determine where the vegetation is sparse and does not provide suitable buffering. Additional landscaping measures beyond what is shown on Sheet C-7 may be required to be installed in the spring of 2019 to fill in where appropriate.
 - 2. The Applicant shall direct its contractors to preserve the existing vegetation in the buffer area around the parking lots to the greatest extent possible during site preparation and construction.
- H. **Design of Stormwater Management Facilities**
 - 1. As recommended by Tetra Tech, the Applicant's engineering consultant shall observe, during construction, additional test pits in the location of the Underground Drainage Basin #1 subsurface chamber system to verify that soil types and estimated seasonal high groundwater are consistent with the previous test pits and design parameters. The results of this test shall be provided to the Board and its engineering consultant to determine whether

any changes are needed to the stormwater design.

2. First flush and lower intensity storm events shall be routed through the Separator Row. The addition of a weir structure shall provide for the water from high intensity storm events to be diverted to the remaining portions of the sub-surface system
- I. **Site Access** – Access to the Church’s existing and new parking areas is provided from Slocumb Place and Highland Street. The Applicant shall instruct its employees, delivery companies, parishioners and guests to use Slocumb Place to access the Medway Community church property. Any printed or electronic marketing materials that provide directions to the MCC shall indicate the Slocumb Place parking areas and access. Deliveries shall occur only between 7 am and 6 pm.
 - J. **Long Term Stormwater Management Operations and Maintenance Plan** - The Applicant has ongoing responsibility and obligation to carry out the Long Term Stormwater Operations and Maintenance Plan prepared by Tata and Howard, including specified reporting. See Appendix M, pages 1-4, of the 9 & 11 Slocumb Place Site Improvements Stormwater Drainage Evaluation Report, dated July 2018.
 - K. **Lighting**
 1. Lighting shall not result in any light spillage off the property pursuant to Section 7.1.2 of the *Zoning Bylaw*. This may be accomplished through the addition of light shields, the lowering and/or relocating of light fixtures, and other suitable measures.
 2. LED lights shall be of a lower color temperature [2700-3000K] to provide a more natural appearance.
 - L. **Traffic Flow and Parking Management** – Within one year after completion of the parking lot construction project, Medway Community Church shall provide a report evaluating the traffic flow and parking management measures, including review comments and recommendations from the Medway Police Department, to the Board for consideration of further traffic management measures that may be needed.
 - M. **Fencing** – Permanent fencing is planned along most of the perimeter of the site to screen the parking areas from abutters. Until the permanent fencing can be installed, green, temporary construction fencing shall be put into place surrounding the perimeter of the site to buffer site construction for the abutters.
 - N. **Snow Storage and Removal**
 1. Snow storage shall be limited to the 6 parking spaces shown on Sheet C-5.
 2. The Applicant shall make the fullest possible effort to remove accumulated snow which exceeds the capacity of the designated on-site snow storage areas from the premises within 48 hours after the conclusion of a storm event.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:
1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
 2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
 3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.

- B. **Other Permits** – This permit does not relieve the Applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the Applicant or assigns shall obtain, pay and comply with all other required Town permits.

- C. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The Applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.
2. **Neighborhood Relations** – The Applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
3. The Applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.

5. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris and trash may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.

E. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after project completion, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer, the Inspector of Buildings, a Board member, or the Board's designee may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

F. ***Construction Oversight***

1. Construction Account
 - a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the Applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be

satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).

- b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the Applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the Applicant.
2. Pre-Construction Meeting - Prior to the commencement of any work on the Property, the Applicant and the site general contractor shall attend a preconstruction conference with Planning and Economic Development Coordinator, the Building Commissioner, Department of Public Services Director, the Conservation Agent, the Town's Consulting Engineer and other Town staff or Applicant's representatives as may be determined. The general contractor shall request such conference at least one week prior to commencing any work on the property by contacting the Planning and Economic Development office.
 3. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.
 4. The Department of Public Services will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
 5. The Applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

G. Modification of Plan and/or Decision

1. This site plan approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.

2. Any work that deviates from the approved site plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public review including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

H. ***Compliance with Plan and Decision***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision and any modifications thereto.
2. The Town reserves the right to periodically inspect the site during and after construction to ensure compliance with these conditions.
3. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.
4. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

I. ***Project Completion***

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the Applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the Applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, review and decision.
2. The Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work

conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the Applicant shall:

- a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
- b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.

J. ***Performance Security***

1. If performance security is needed, the Applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
 - a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
2. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, parking, pedestrian facilities and all site amenities as specified in the endorsed Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
3. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and

administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the preparation of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.

4. Final release of performance security is contingent on project completion.

K. **Construction Standards** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

L. **Conflicts** – If there is a conflict between the endorsed site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway *Zoning Bylaw*, the *Bylaw* shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the Applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

###

**Medway Planning and Economic Development Board
SITE PLAN DECISION & LAND DISTURBANCE PERMIT
Medway Community Church, 9 & 11 Slocumb Place**

APPROVED with Waivers and Conditions by the Medway Planning & Economic Development Board: September 11, 2018

AYE:

NAY:

ATTEST:

Susan E. Affleck-Childs
Planning & Economic Development Coordinator

Date

COPIES TO: Michael Boynton, Town Administrator
David D'Amico, DPS Director
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Inspector of Buildings and Zoning Enforcement Officer
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community & Economic Development
Jeff Watson, Police Department Safety Officer
Matthew Barry, Tata and Howard
Peter Simmons, Medway Community Church
Rev. Carl Schultz, Medway Community Church
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates

MEDWAY COMMUNITY CHURCH

11 SLOCUMB PLACE
MEDWAY, MASSACHUSETTS

9 & 11 SLOCUMB PLACE
SITE IMPROVEMENTS

APPROVED WAIVERS

9 SLOCUMB PLACE:
11 SLOCUMB PLACE:

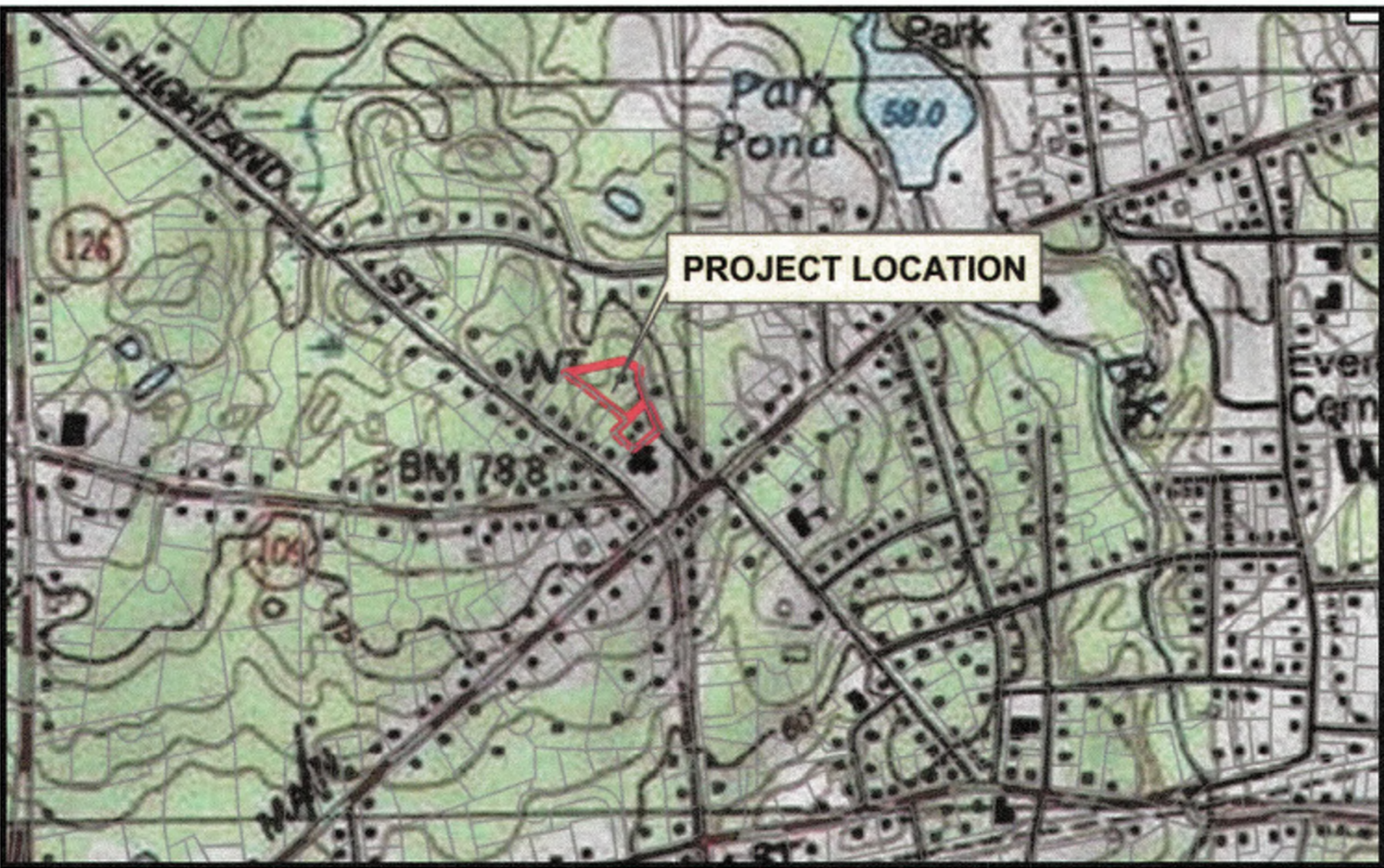
ASSESSORS: MAP 47 LOT 079
ASSESSORS: MAP 47 LOT 078

ZONING DISTRICT: VILLAGE RESIDENTIAL
ZONING DISTRICT: AR-II

SITE PLAN RULES AND REGULATIONS

- 204-3, 7 - (DEVELOPMENT IMPACT STATEMENT) TO NOT SUBMIT THE DEVELOPMENT IMPACT STATEMENT.
- 204-4, B - (SITE PLAN SCALE) TO SHOW A SCALE OF 1"=20' RATHER THAN THE REQUIRED SCALE OF 1"=40'.
- 204-5, C, 3 - (EXISTING LANDSCAPE INVENTORY) TO NOT SHOW TREES BETWEEN 12" AND 18" (TREES 18" AND LARGER SHOWN). ONLY SHOW TREES WITHIN THE SETBACKS.
- 204-5, D, 7 - (LANDSCAPE ARCHITECTURE PLAN) SHALL NOT BE PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS.
- 205-3, B, 2 - (INTERNAL SITE DRIVEWAYS) SHALL BE LOCATED WITHIN 15' OF A SIDE PROPERTY LINE (BOTH PROPERTIES OWNED BY MEDWAY COMMUNITY CHURCH).
- 205-3, C, 1 - (TRAFFIC FLOW) PAVED ENTRANCE SHALL BE 6 PERCENT SLOPE FOR THE FIRST 25'.
- 205-6, G, 4b - (PARKING SPACES/STALLS) ALLOW SPACES/STALLS TO BE LOCATED WITHIN FIFTEEN (15) FEET OF THE SIDE PROPERTY LINES AT #9 SLOCUMB PLACE.
- 205-6, H - (CURBING) THE PERIMETER OF THE PARKING AREA SHALL BE BOUND BY BITUMINOUS CAPE COD BERM UNLESS OTHERWISE NOTED.
- 205-9, C - (PARKING AREAS) TO NOT INSTALL ONE DECIDUOUS TREE PER EVERY SIX (6) PROPOSED PARKING SPACES.
- 205-9, F - (TREE REPLACEMENT) REMOVED TREES GREATER THAN 10" IN DIAMETER SHALL NOT BE REPLACED.

CONTRACT NO. 1



LOCATION PLAN
NO SCALE

NOVEMBER 19, 2018



TATA & HOWARD, INC.
67 FOREST STREET
MARLBOROUGH, MA 01752

SHEET INDEX

- C-1 - EXISTING CONDITIONS
C-2 - PROPOSED CONDITIONS
C-3 - PROPOSED GRADING
C-4 - DRAINAGE PLAN
C-5 - LIGHTING PLAN
C-6 - PHOTOMETRIC PLAN
C-7 - LANDSCAPING PLAN
C-8 - DETAIL SHEET 1
C-9 - DETAIL SHEET 2
EC-1 - EROSION AND SEDIMENT CONTROL PLAN



APPEAL STATEMENT

I HEREBY CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO NOTICE OF APPEAL WAS FILED IN 20 DAYS FOLLOWING SAID RECEIPT AND RECORDING.

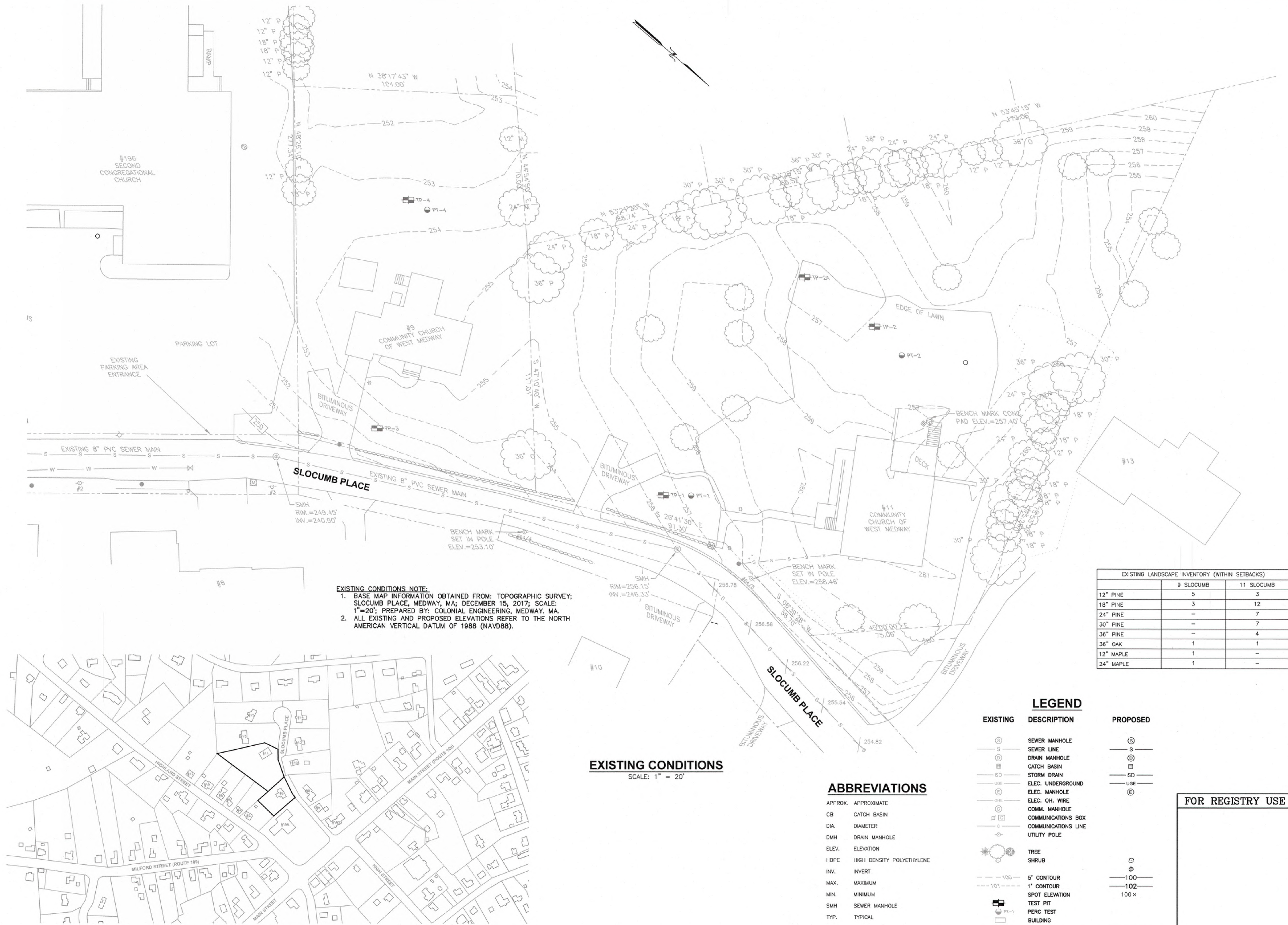
MARYJANE WHITE, TOWN CLERK:

DATE:

PLANNING AND ECONOMIC DEVELOPMENT BOARD SUBMITTAL

ANDY RODENHISER, CHAIRMAN
BOB TUCKER, VICE-CHAIRMAN
THOMAS A. GAY, CLERK
MATTHEW HAYES, P.E.
RICHARD DI LULIO

DECISION DATE ENDORSEMENT DATE



EXISTING CONDITIONS NOTE:
1. BASE MAP INFORMATION OBTAINED FROM: TOPOGRAPHIC SURVEY;
SLOCUMB PLACE, MEDWAY, MA; DECEMBER 15, 2017; SCALE:
1"=20'; PREPARED BY: COLONIAL ENGINEERING, MEDWAY, MA.
2. ALL EXISTING AND PROPOSED ELEVATIONS REFER TO THE NORTH
AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

EXISTING CONDITIONS
SCALE: 1" = 20'

ABBREVIATIONS

APPROX. APPROXIMATE
CB CATCH BASIN
DIA. DIAMETER
DMH DRAIN MANHOLE
ELEV. ELEVATION
HDPE HIGH DENSITY POLYETHYLENE
INV. INVERT
MAX. MAXIMUM
MIN. MINIMUM
SMH SEWER MANHOLE
TYP. TYPICAL

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	SEWER MANHOLE	
	SEWER LINE	
	DRAIN MANHOLE	
	CATCH BASIN	
	STORM DRAIN	
	ELEC. UNDERGROUND	
	ELEC. MANHOLE	
	ELEC. OH. WIRE	
	COMM. MANHOLE	
	COMMUNICATIONS BOX	
	COMMUNICATIONS LINE	
	UTILITY POLE	
	TREE	
	SHRUB	
	5' CONTOUR	
	1' CONTOUR	
	SPOT ELEVATION	
	TEST PIT	
	PERC TEST	
	BUILDING	
	SILT SOCK	
	SIGN POST	

EXISTING LANDSCAPE INVENTORY (WITHIN SETBACKS)		
	9 SLOCUMB	11 SLOCUMB
12" PINE	5	3
18" PINE	3	12
24" PINE	-	7
30" PINE	-	7
36" PINE	-	4
36" OAK	1	1
12" MAPLE	1	-
24" MAPLE	1	-

SITE CONTEXT
SCALE: 1" = 200'

MINOR SITE PLAN APPLICATION

PROPERTY ADDRESS:
9 & 11 SLOCUMB PLACE
MEDWAY, MA 02053
ASSESSORS MAP 47 LOTS 079 & 078

OWNER/APPLICANT:
MEDWAY COMMUNITY CHURCH
11 SLOCUMB PLACE
MEDWAY, MA 02053

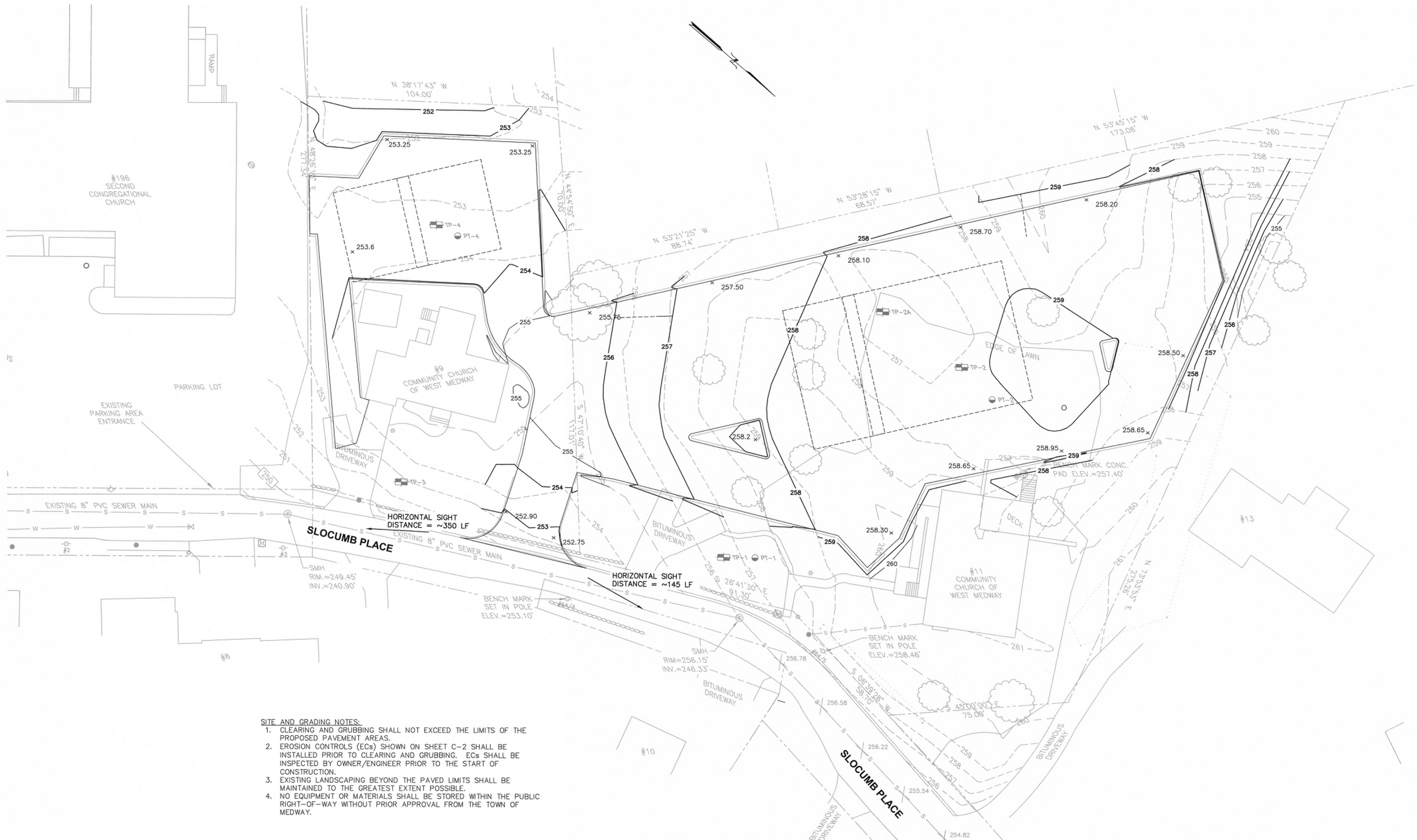
Planning & Econ. Dev. Board Submittal	7/24/18
Planning & Econ. Dev. Board Re-submittal	8/22/18
Final Supplemental Information Submittal	9/18/18
Planning & Econ. Dev. Board Re-submittal	11/19/18
Description	Date
	Rev.

EXISTING CONDITIONS
NOT FOR CONSTRUCTION



TATA & HOWARD
67 FOREST STREET
MARLBOROUGH, MA 01752
(508) 303-9400

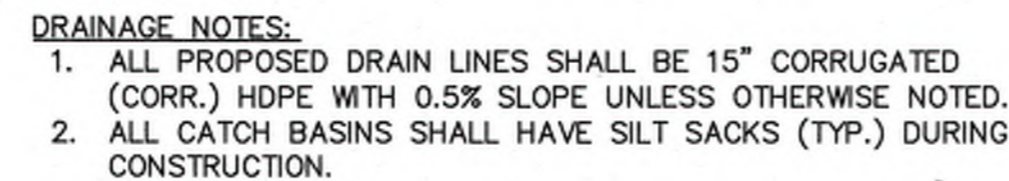
T&H NO.: 5328
DATE: NOVEMBER 2018
SCALE: AS NOTED



- SITE AND GRADING NOTES:**
1. CLEARING AND GRUBBING SHALL NOT EXCEED THE LIMITS OF THE PROPOSED PAVEMENT AREAS.
 2. EROSION CONTROLS (ECs) SHOWN ON SHEET C-2 SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING. ECs SHALL BE INSPECTED BY OWNER/ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 3. EXISTING LANDSCAPING BEYOND THE PAVED LIMITS SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE.
 4. NO EQUIPMENT OR MATERIALS SHALL BE STORED WITHIN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE TOWN OF MEDWAY.

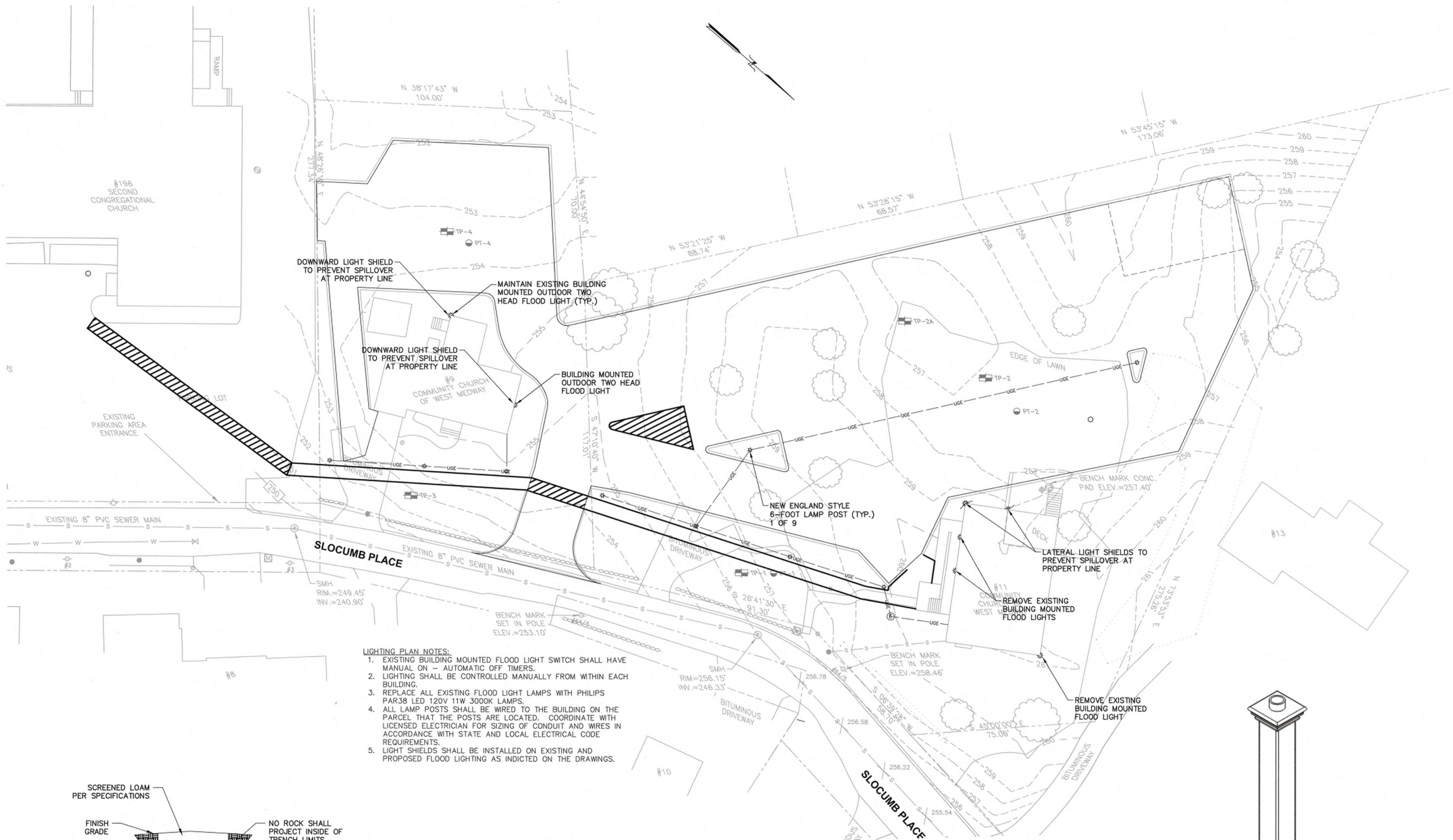
PROPOSED GRADING
SCALE: 1" = 20'

MINOR SITE PLAN APPLICATION			
OWNER/APPLICANT: MEDWAY COMMUNITY CHURCH 11 SLOCUMB PLACE MEDWAY, MA 02053		PROPERTY ADDRESS: 9 & 11 SLOCUMB PLACE MEDWAY, MA 02053 ASSESSORS MAP 47 LOTS 079 & 078	
DATE: 11/19/18		DRAWN BY: USB	
CHECKED BY: S.L.		DESIGNED BY: USB	
APPROVED BY: JMO		REPRODUCTION OF THIS DOCUMENT IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE ENGINEER.	
Description		Date	
Planning & Econ. Dev. Board Submittal		7/24/18	
Planning & Econ. Dev. Board Review		8/22/18	
Planning & Econ. Dev. Board Approval		9/6/18	
Planning & Econ. Dev. Board Construction		11/19/18	
Description		Date	
Proposed Grading		11-19-18	
NOT FOR CONSTRUCTION			
TATA & HOWARD 67 FOREST STREET MARLBOROUGH, MA 01752 (508) 303-9400		T&H NO.: 5328 DATE: NOVEMBER 2018 SCALE: AS NOTED	
C-3			

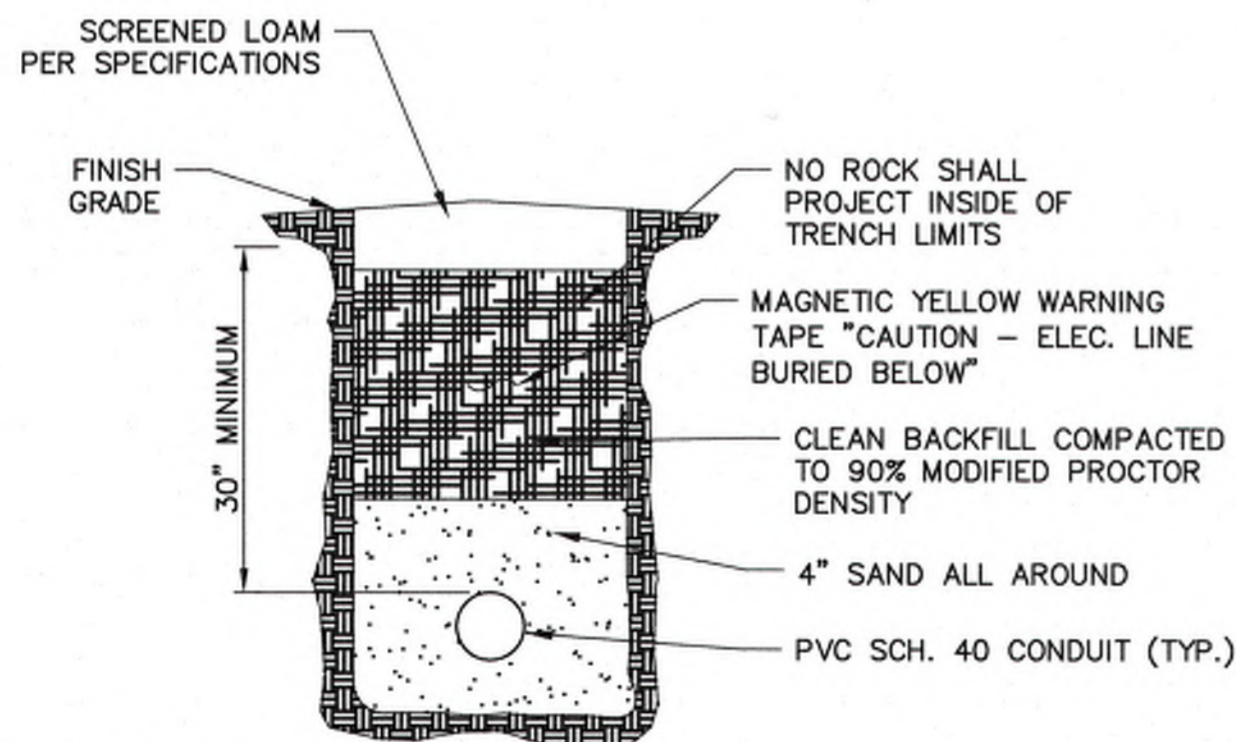


FOR REGISTRY USE ONLY:

C-4



- LIGHTING PLAN NOTES:**
- EXISTING BUILDING MOUNTED FLOOD LIGHT SWITCH SHALL HAVE MANUAL ON - AUTOMATIC OFF TIMERS.
 - LIGHTING SHALL BE CONTROLLED MANUALLY FROM WITHIN EACH BUILDING.
 - REPLACE ALL EXISTING FLOOD LIGHT LAMPS WITH PHILIPS PAR38 LED 120V 11W 3000K LAMPS.
 - ALL LAMP POSTS SHALL BE WIRED TO THE BUILDING ON THE PARCEL THAT THE POSTS ARE LOCATED. COORDINATE WITH LICENSED ELECTRICIAN FOR SIZING OF CONDUIT AND WIRES IN ACCORDANCE WITH STATE AND LOCAL ELECTRICAL CODE REQUIREMENTS.
 - LIGHT SHIELDS SHALL BE INSTALLED ON EXISTING AND PROPOSED FLOOD LIGHTING AS INDICATED ON THE DRAWINGS.



SUBSURFACE WORK NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT DIG-SAFE AND COORDINATE ACTIVITIES PRIOR TO ANY EXCAVATIONS.

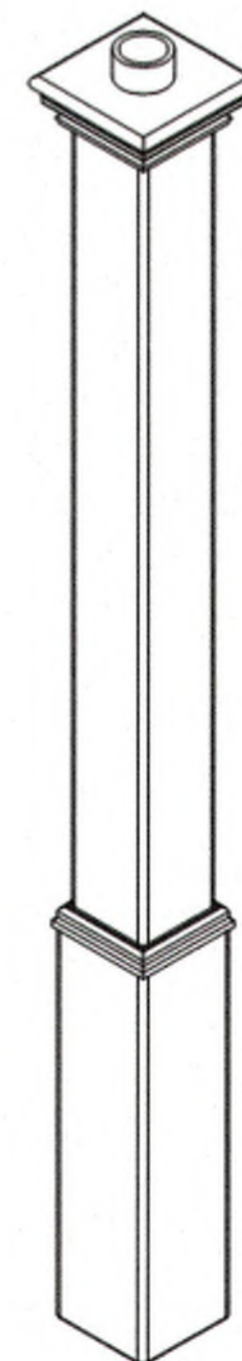
BURIED ELECTRICAL CONDUIT
NOT TO SCALE

LIGHTING PLAN
SCALE: 1" = 20'

OUTDOOR LUMINAIRE SCHEDULE				
SYMBOL	QTY	DESCRIPTION	LUMENS	
⊗	1	BUILDING MOUNTED OUTDOOR TWO HEAD FLOOD LIGHT WITH PHILIPS PAR38 LED 120V 11W 3000K LAMPS	950	
☆	9	NEW ENGLAND ARBORS TRINITY LAMP POST WITH FEIT ELECTRIC T14 LED 120V 4.5W 2100K LAMP	200	
—	7	LANDSCAPE LIGHT SHIELD BY PROGRESS LIGHTING OR EQUAL	N/A	



LANTERN DETAIL
NOT TO SCALE



LAMP POST DETAIL
NOT TO SCALE

- DETAIL NOTES:**
- LANERN AND POST SHALL BE BRONZE IN COLOR.
 - SEE OUTDOOR LUMINAIRE SCHEDULE.

FOR REGISTRY USE ONLY:

MINOR SITE PLAN APPLICATION		PROPERTY ADDRESS: 9 & 11 SLOCUMB PLACE MEDWAY, MA 02053 ASSESSORS MAP 47 LOTS 079 & 078	
OWNER/APPLICANT: MEDWAY COMMUNITY CHURCH 11 SLOCUMB PLACE MEDWAY, MA 02053		DATE: NOVEMBER 2018 SCALE: AS NOTED	
T&H NO.: 5328		C-5	



PHOTOMETRIC NOTES:
1. THE VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MANUFACTURERS.
2. ALL UNITS CALCULATED AND DISPLAYED IN FOOT-CANDLES.

PHOTOMETRIC PLAN
SCALE: 1" = 20'

MINOR SITE PLAN APPLICATION			
OWNER/APPLICANT: MEDWAY COMMUNITY CHURCH 11 SLOCUMB PLACE MEDWAY, MA 02053		PROPERTY ADDRESS: 9 & 11 SLOCUMB PLACE MEDWAY, MA 02053 ASSESSORS MAP 47 LOTS 079 & 078	
PHOTOMETRIC PLAN NOT FOR CONSTRUCTION		T&H NO.: 5328 DATE: NOVEMBER 2018 SCALE: AS NOTED	
FOR REGISTRY USE ONLY:		C-6	

Planning & Econ. Dev. Board Submittal

Planning & Econ. Dev. Board Re-Submittal

Final Supplemental Information Submittal

Planning & Econ. Dev. Board Final Submittal

Date

Rev.

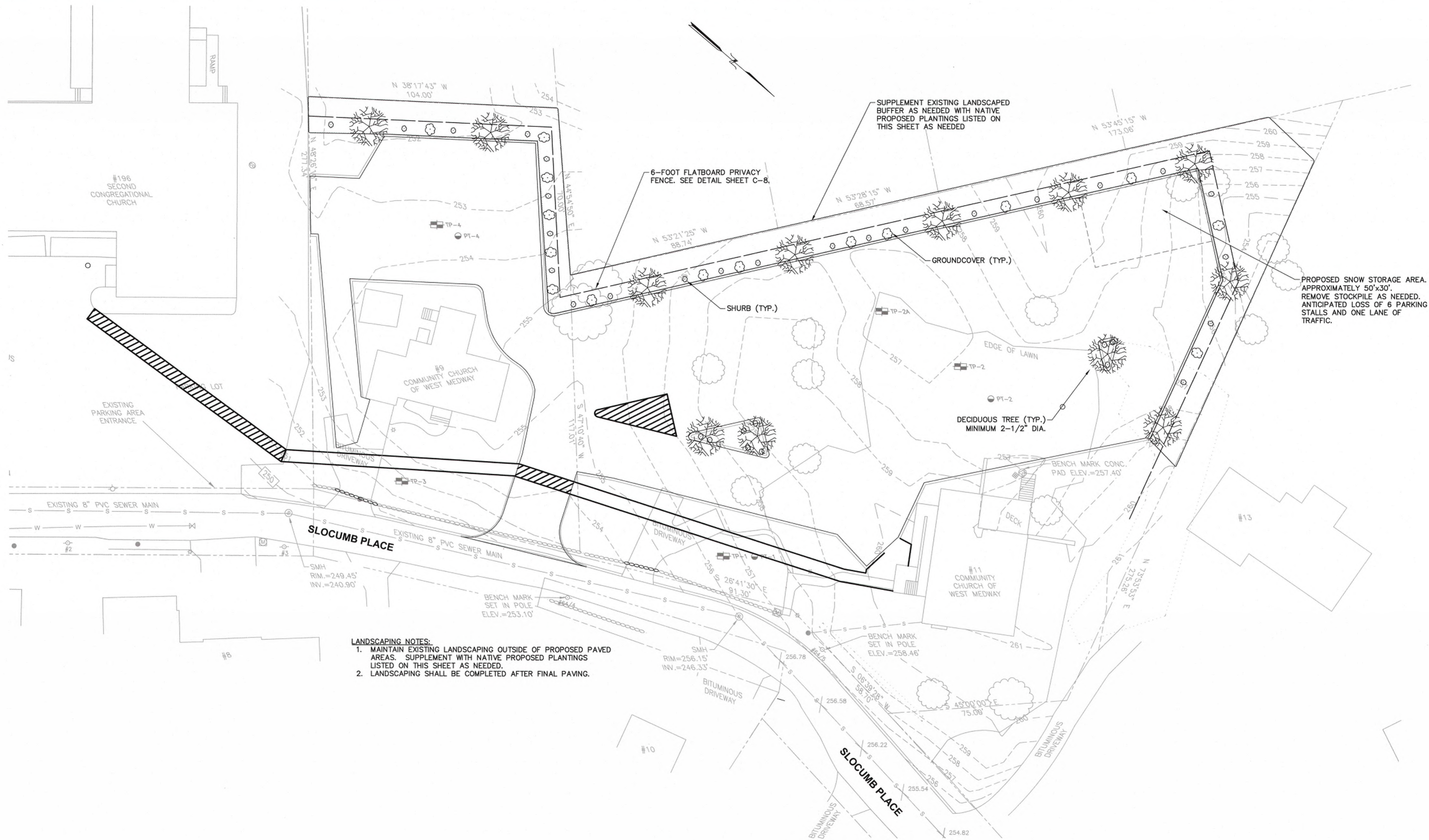
11-19-18

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T&H NO.: 5328
DATE: NOVEMBER 2018
SCALE: AS NOTED

C-6

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- LANDSCAPING NOTES:
1. MAINTAIN EXISTING LANDSCAPING OUTSIDE OF PROPOSED PAVED AREAS. SUPPLEMENT WITH NATIVE PROPOSED PLANTINGS LISTED ON THIS SHEET AS NEEDED.
 2. LANDSCAPING SHALL BE COMPLETED AFTER FINAL PAVING.

PROPOSED PLANTINGS (NATIVE)	
LATIN NAME	COMMON NAME
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR
THUJA OCCIDENTALIS	ATLANTIC WHITE CEDAR (NOT DEER RESISTANT)
TSUGA CANADENSIS	EASTERN WHITE HEMLOCK
PINUS STROBUS	WHITE PINE
PICEA SPP.	SPRUCE
ILEX VERTICILLATE	WINTERBERRY (GROUNDCOVER)
TAXUS CANADENSIS	CANADA YEW (SHRUB)

LANDSCAPING PLAN
SCALE: 1" = 20'

MINOR SITE PLAN APPLICATION

OWNER/APPLICANT:
MEDWAY COMMUNITY CHURCH
11 SLOCUMB PLACE
MEDWAY, MA 02053

PROPERTY ADDRESS:
9 & 11 SLOCUMB PLACE
MEDWAY, MA 02053
ASSESSORS MAP 47 LOTS 079 & 078

7/24/18
8/22/18
9/7/18
11/19/18

Planning & Econ. Dev. Board Submittal
Planning & Econ. Dev. Board for Approval
P&E Board Information Summary
Planning & Econ. Dev. Board Submittal

7/24/18
8/22/18
9/7/18
11/19/18

Date
Rev.

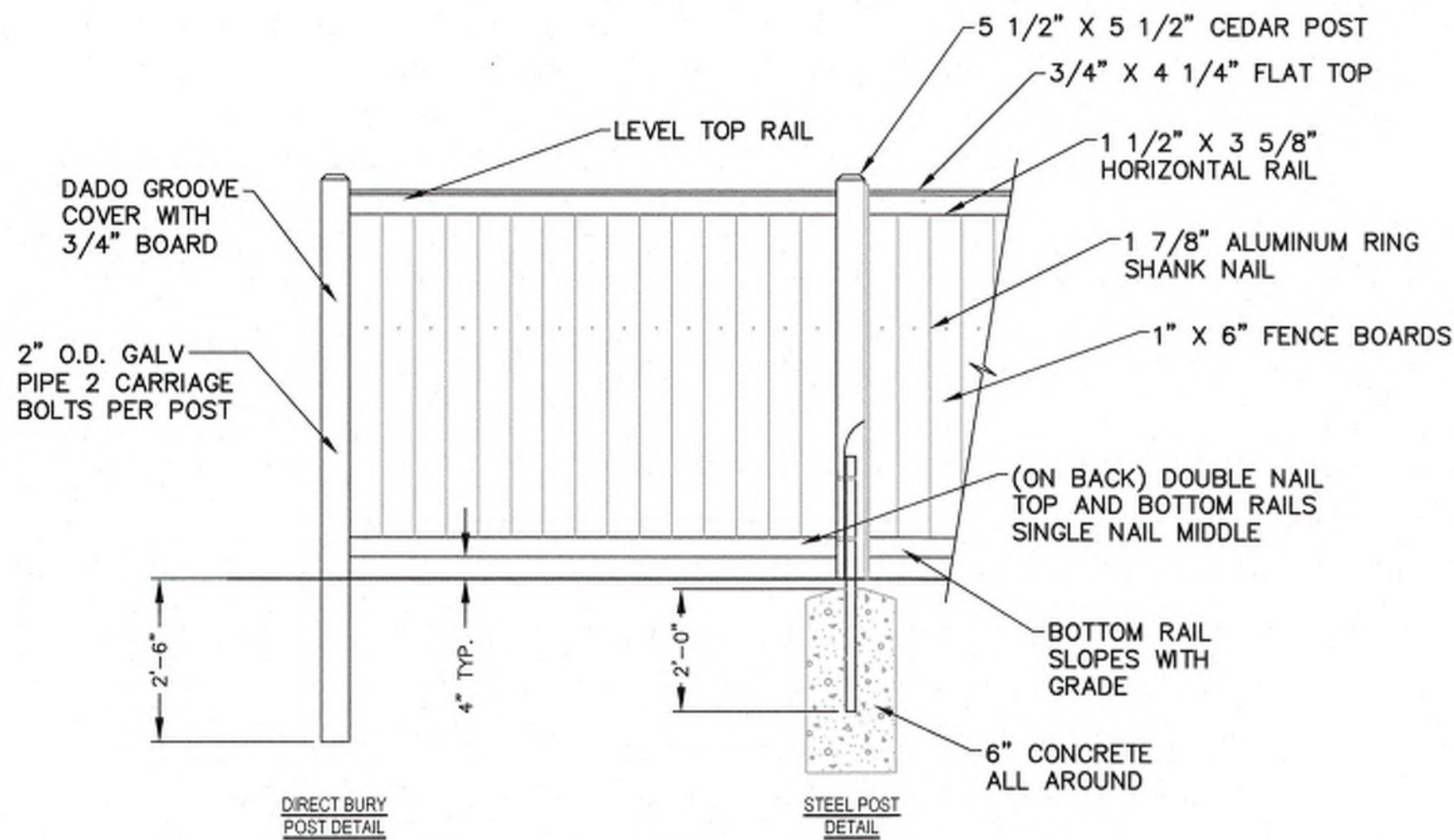
LANDSCAPING PLAN
NOT FOR CONSTRUCTION

11-19-18

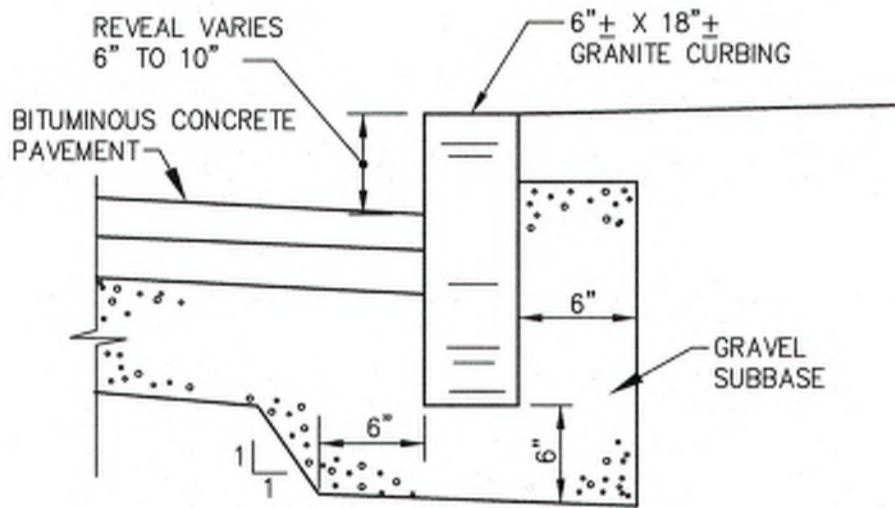
TATA & HOWARD
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(508) 303-9400

T&H NO.: 5328
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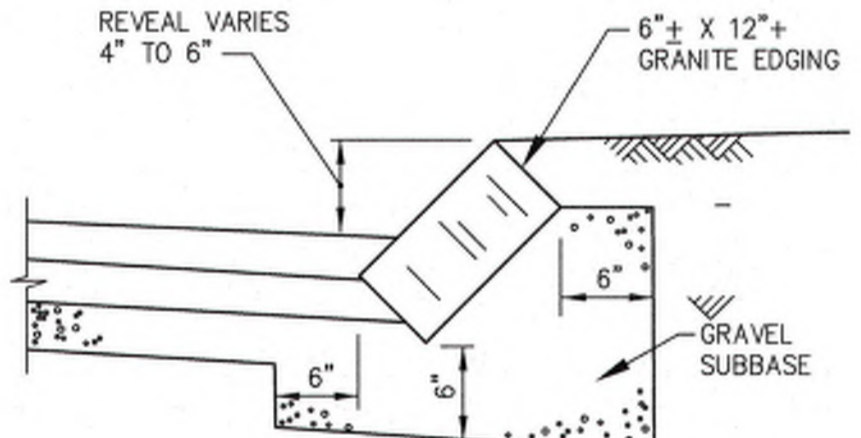
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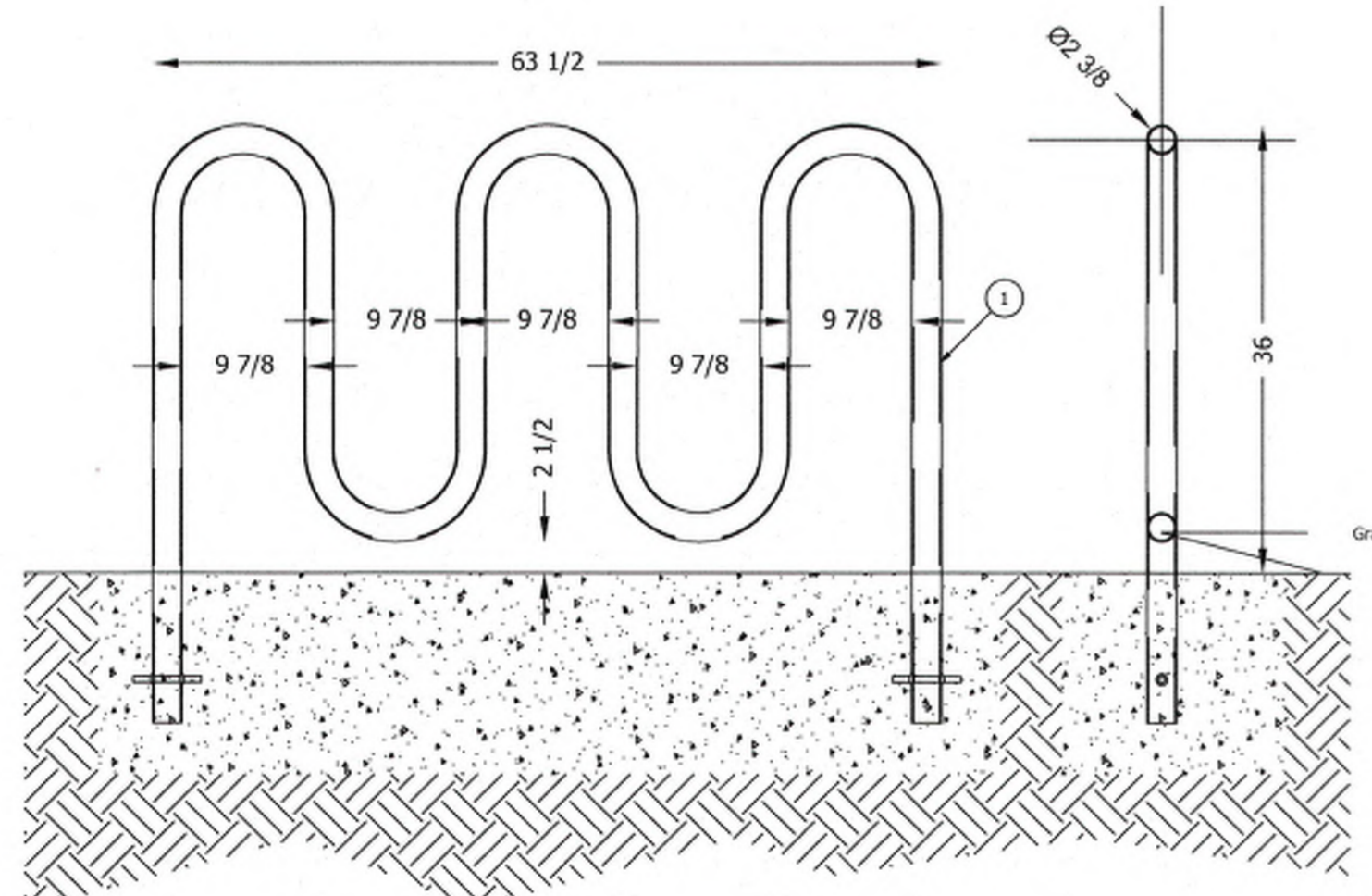
NOTE:
 1. FENCE MATERIAL: NON-GLOSSY FINISH
 2. FENCE COLOR: NEUTRAL/NATURAL COLOR
 3. ABOVE SPECIFICATIONS TO BE CHOSEN BY OWNER



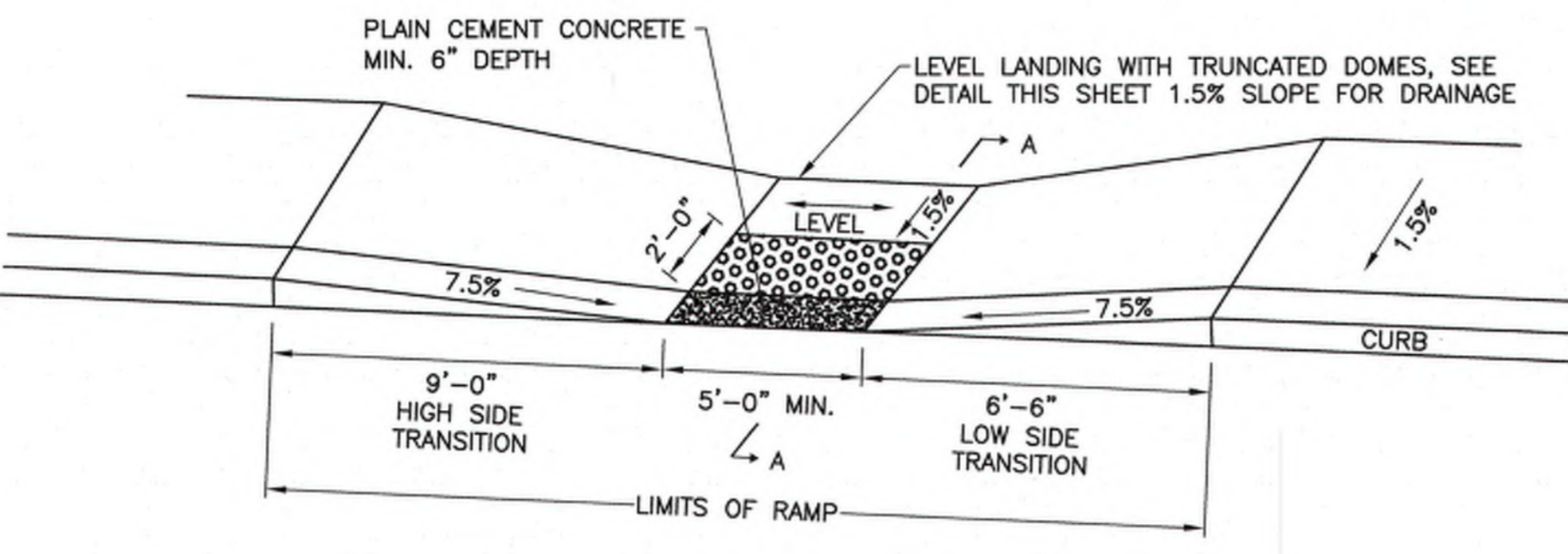
VERTICAL GRANITE CURB
 NOT TO SCALE



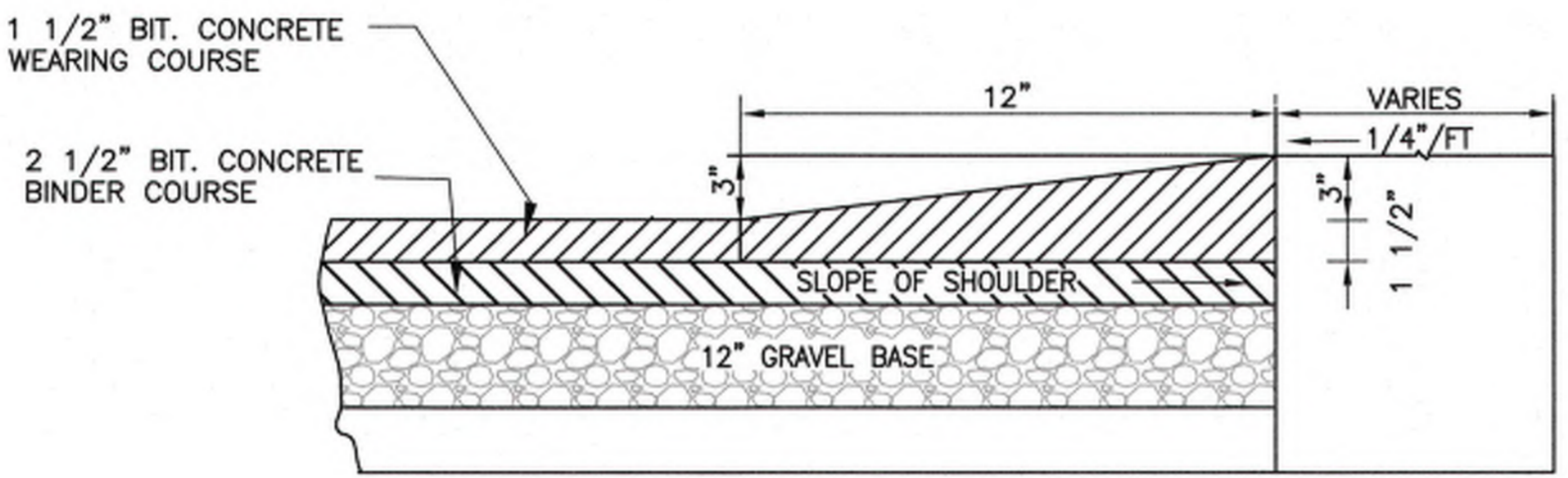
SLOPED GRANITE EDGING
 NOT TO SCALE



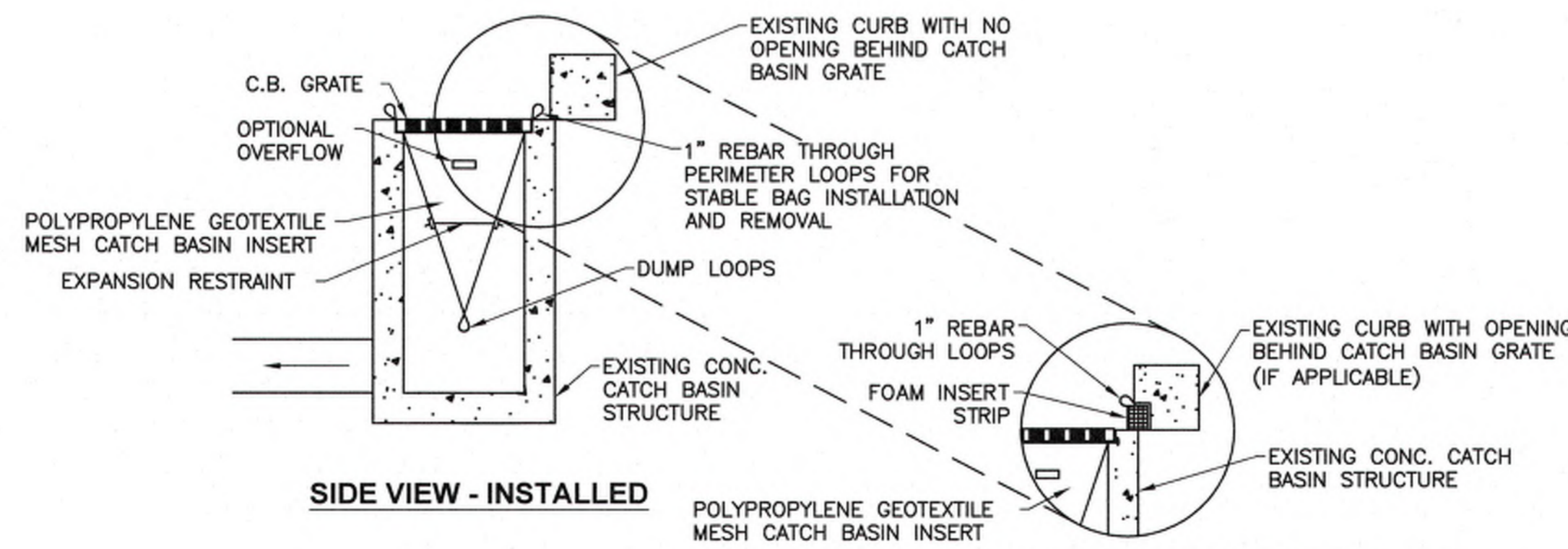
BIKE RACK DETAIL
 SCALE : NONE



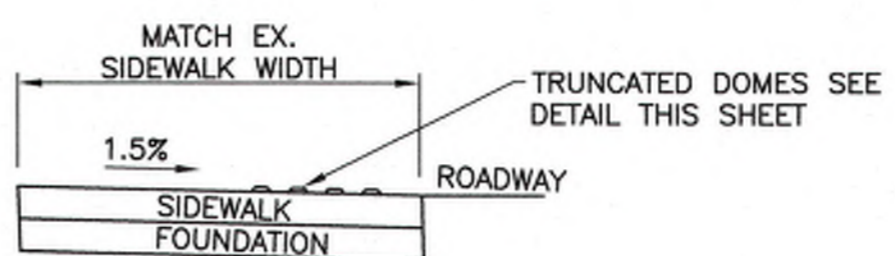
HANDICAP RAMP
 SCALE : NONE



TYPE "A" CAPE COD BERM
 NOT TO SCALE

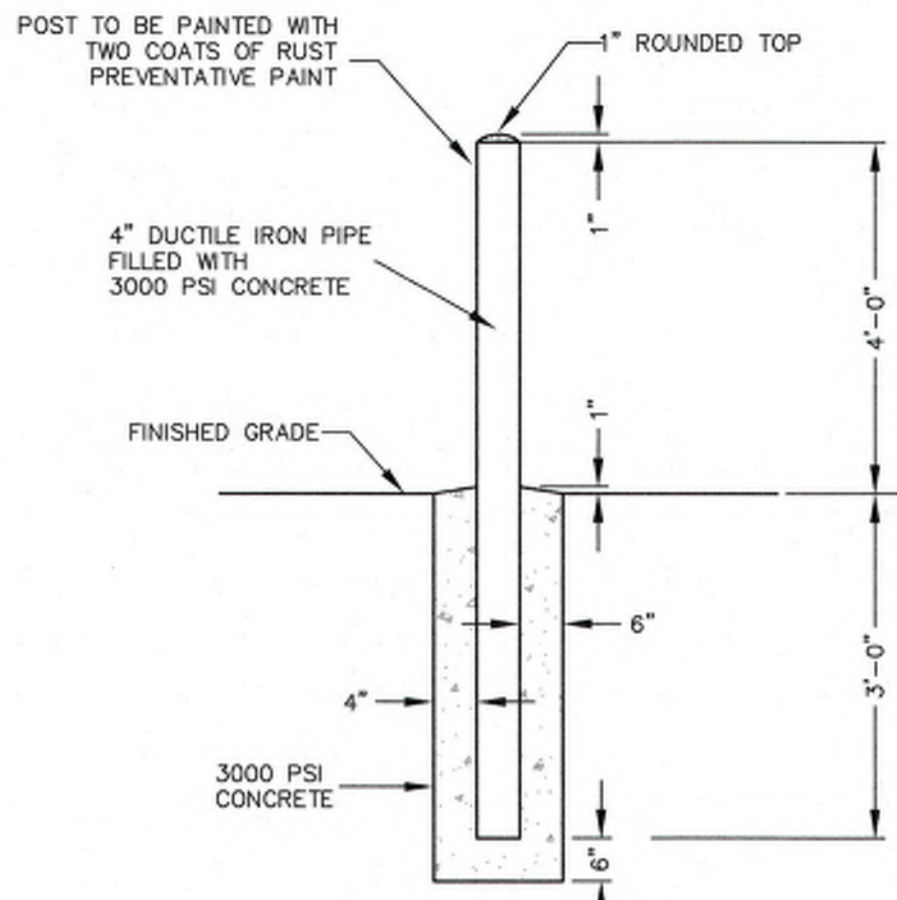


CATCH BASIN SILTATION CONTROL INSERT
 SCALE: NONE

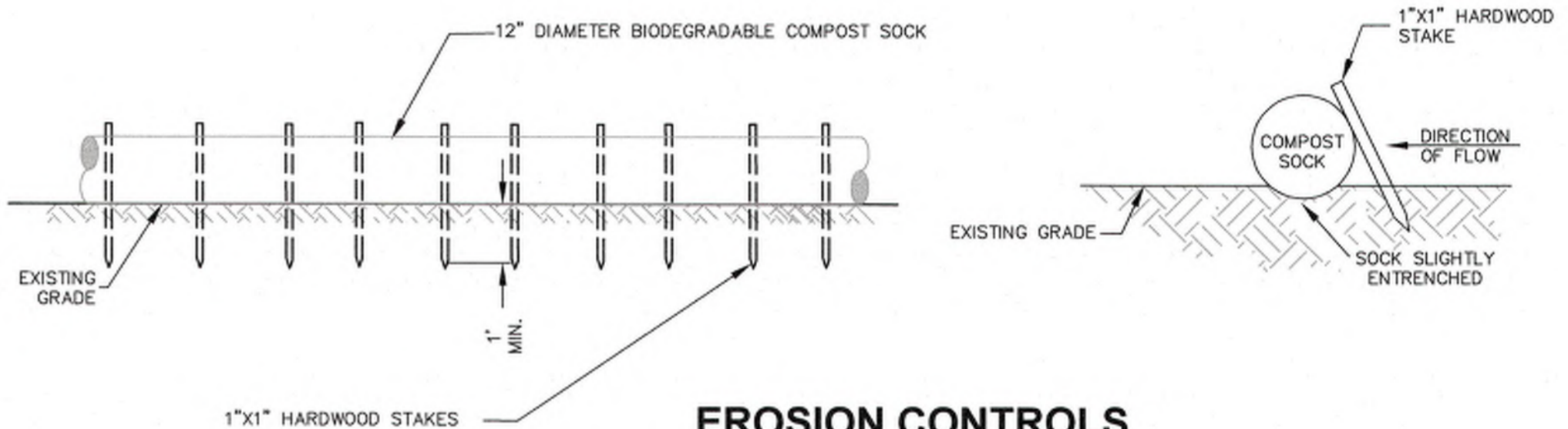


SECTION A-A

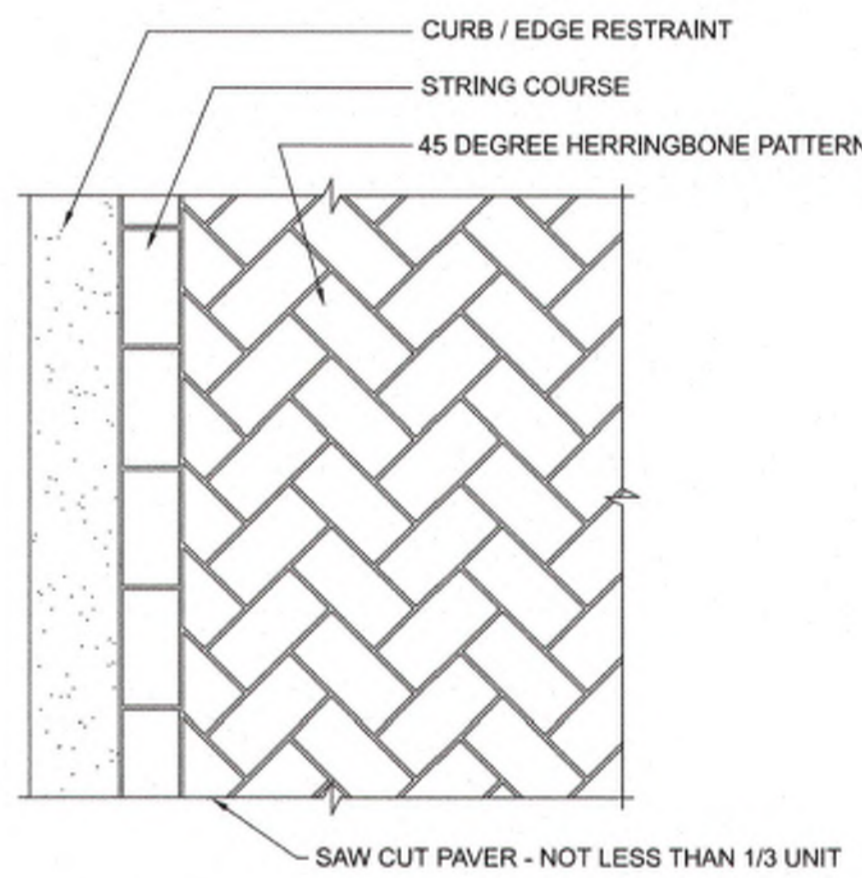
- NOTES:
1. SLOPE TOLERANCE FOR CONSTRUCTION: $\pm 0.5\%$
 2. ADJUST THE HIGH AND LOW SIDE TRANSITION LENGTHS AS REQUIRED IN THE FIELD SO THE CURB REVEAL AT THE LIMIT OF THE HANDICAP RAMP MATCHES THE EXISTING CURB REVEAL. SLOPE OF TRANSITION AREAS SHALL NOT EXCEED $7.5\% \pm 0.5\%$.
 3. WHEELCHAIR RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.



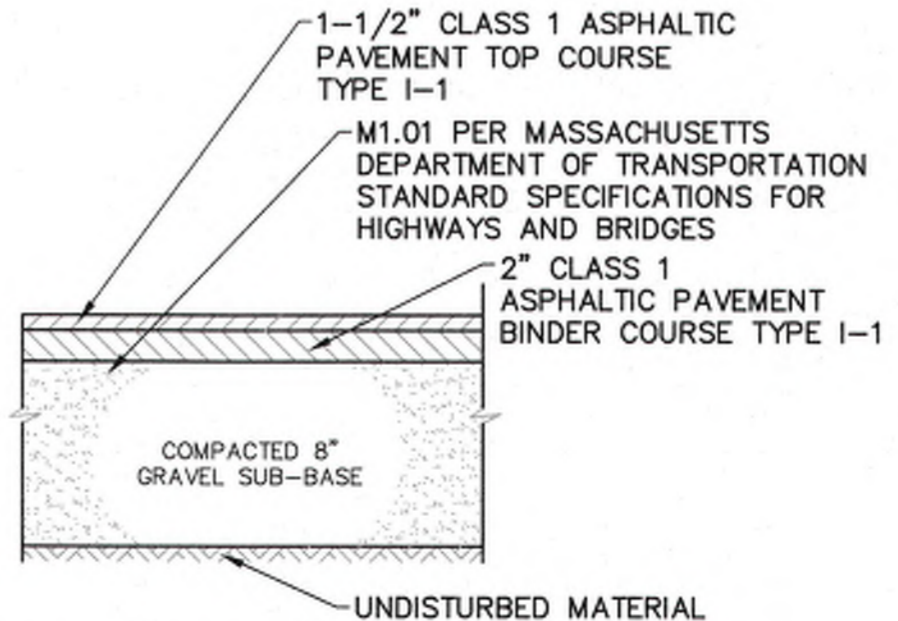
BOLLARD DETAIL
 NOT TO SCALE



EROSION CONTROLS
 NOT TO SCALE



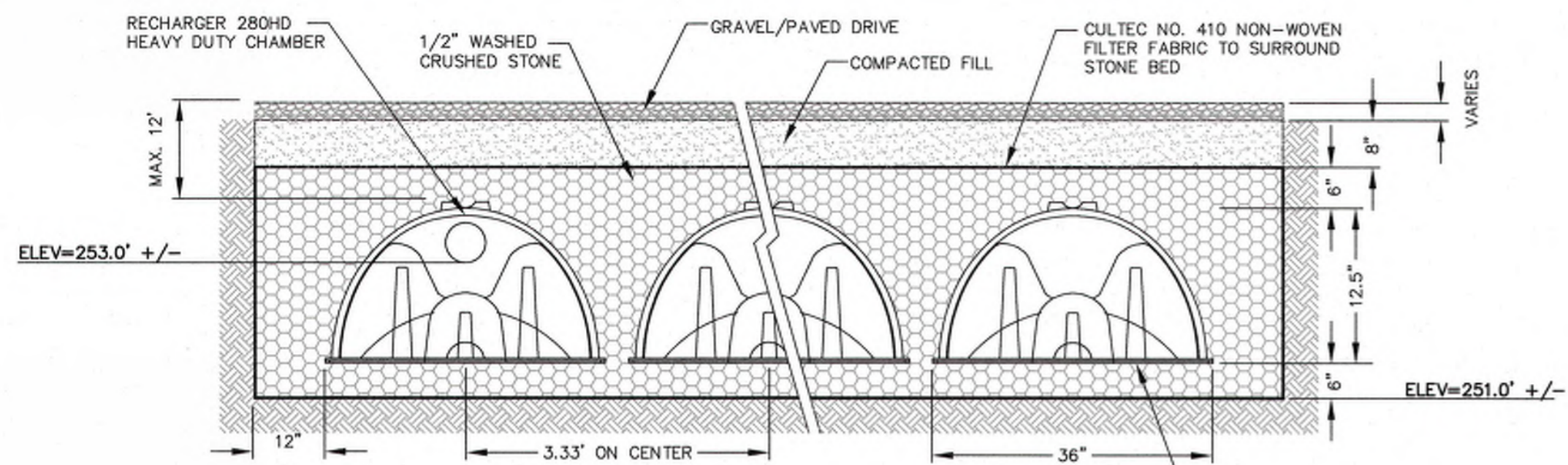
WALKWAY PAVERS DETAIL
 SCALE: NONE



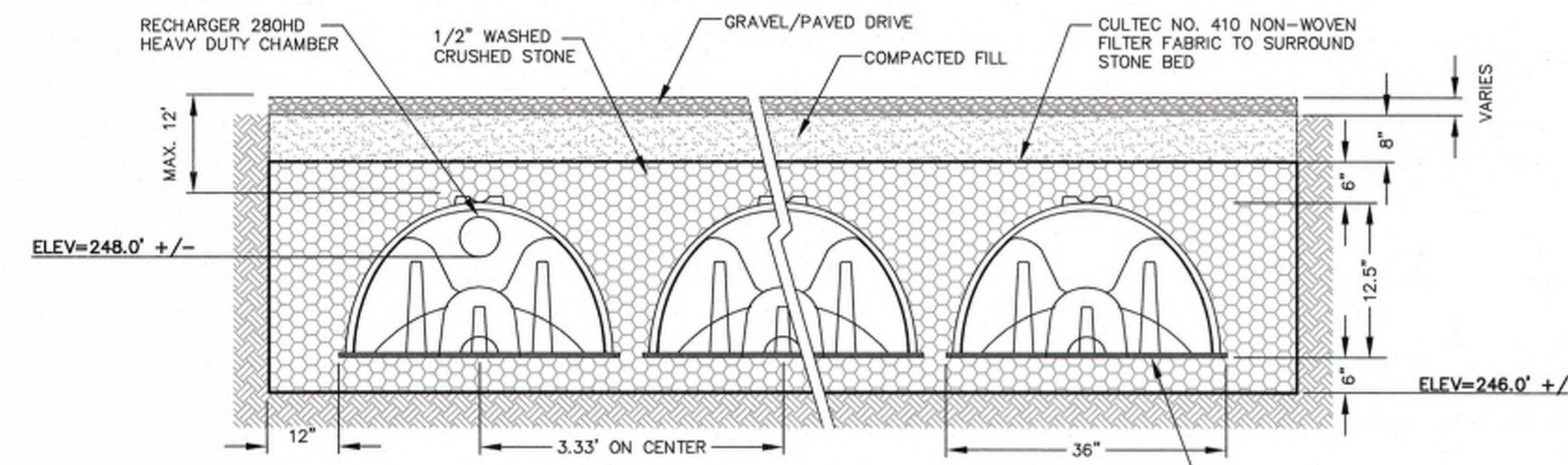
ASPHALTIC PAVEMENT SECTION
 NOT TO SCALE

FOR REGISTRY USE ONLY:

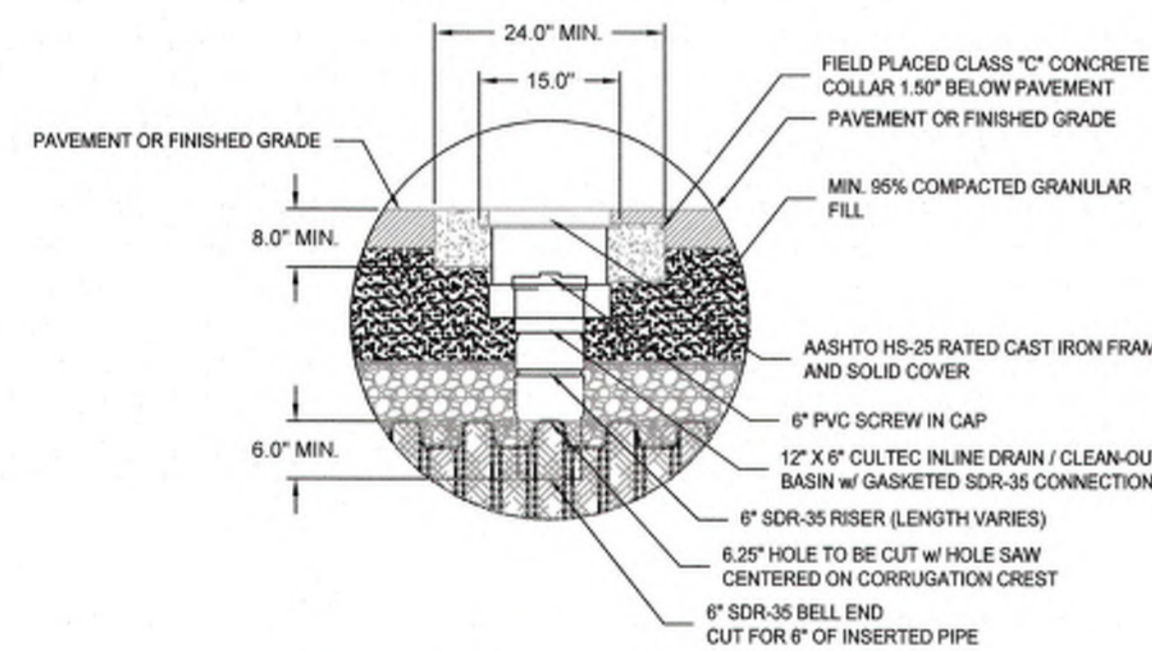
MINOR SITE PLAN APPLICATION OWNER/APPLICANT: MEDWAY COMMUNITY CHURCH 11 SLOCUMB PLACE MEDWAY, MA 02053 ASSESSORS MAP 47 LOTS 079 & 078 PROPERTY ADDRESS: 9 & 11 SLOCUMB PLACE MEDWAY, MA 02053 Assessed By: JAG Drawn By: MJB Checked By: SLL Approved By: JAG				
Planning & Econ. Dev. Board Submittal 7/24/16	Planning & Econ. Dev. Board for-submittal 8/22/16	Planning & Econ. Dev. Board for-submittal 9/9/16	Planning & Econ. Dev. Board for-submittal 11/9/16	Description Date Rec.
DETAIL SHEET 1 NOT FOR CONSTRUCTION				
TATA & HOWARD 67 FOREST STREET MARLBOROUGH, MA 01752 (508) 303-9400				
T&H NO.: 5328 DATE: NOVEMBER 2018 SCALE: AS NOTED C-8				



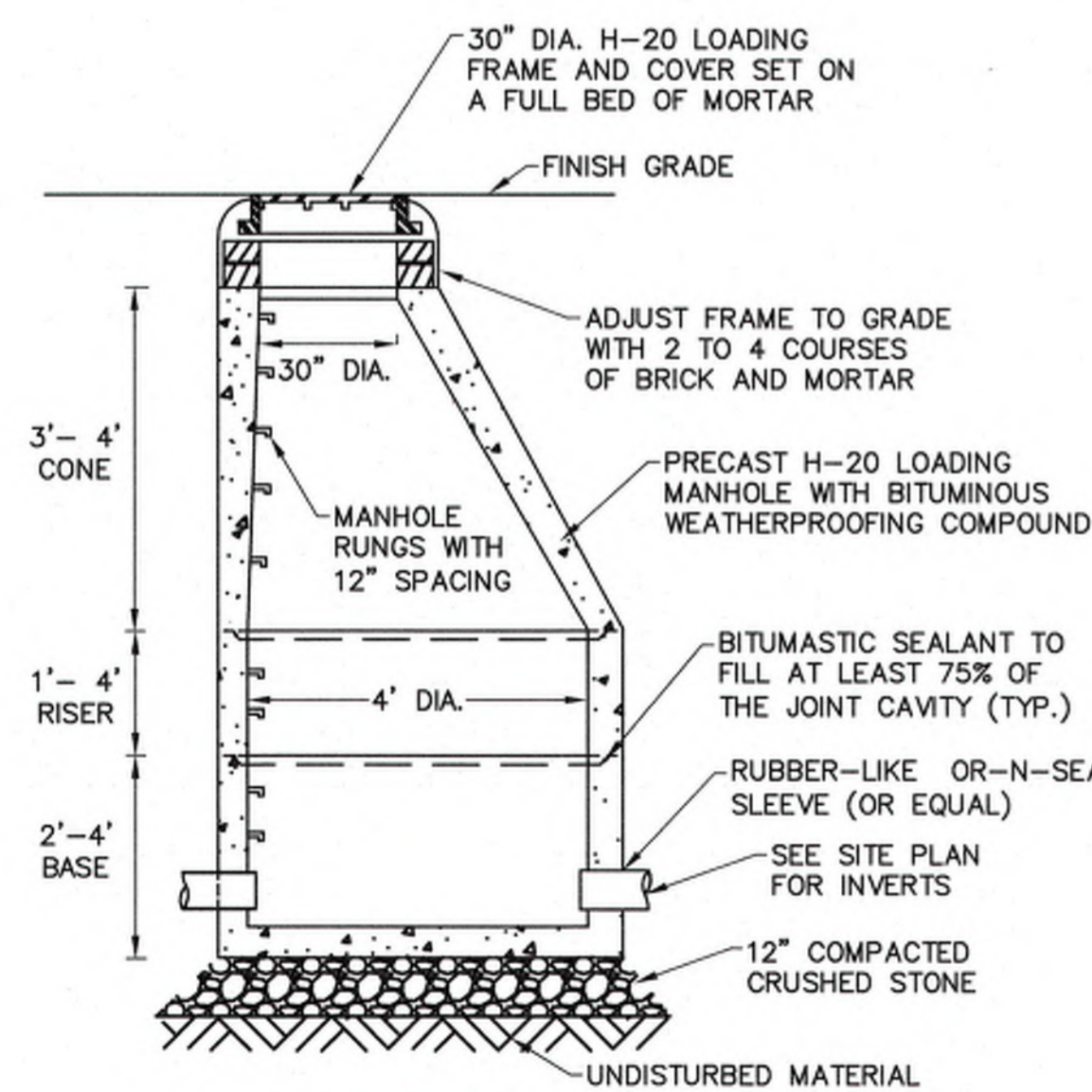
UNDERGROUND DRAINAGE BASIN NO. 1
NOT TO SCALE



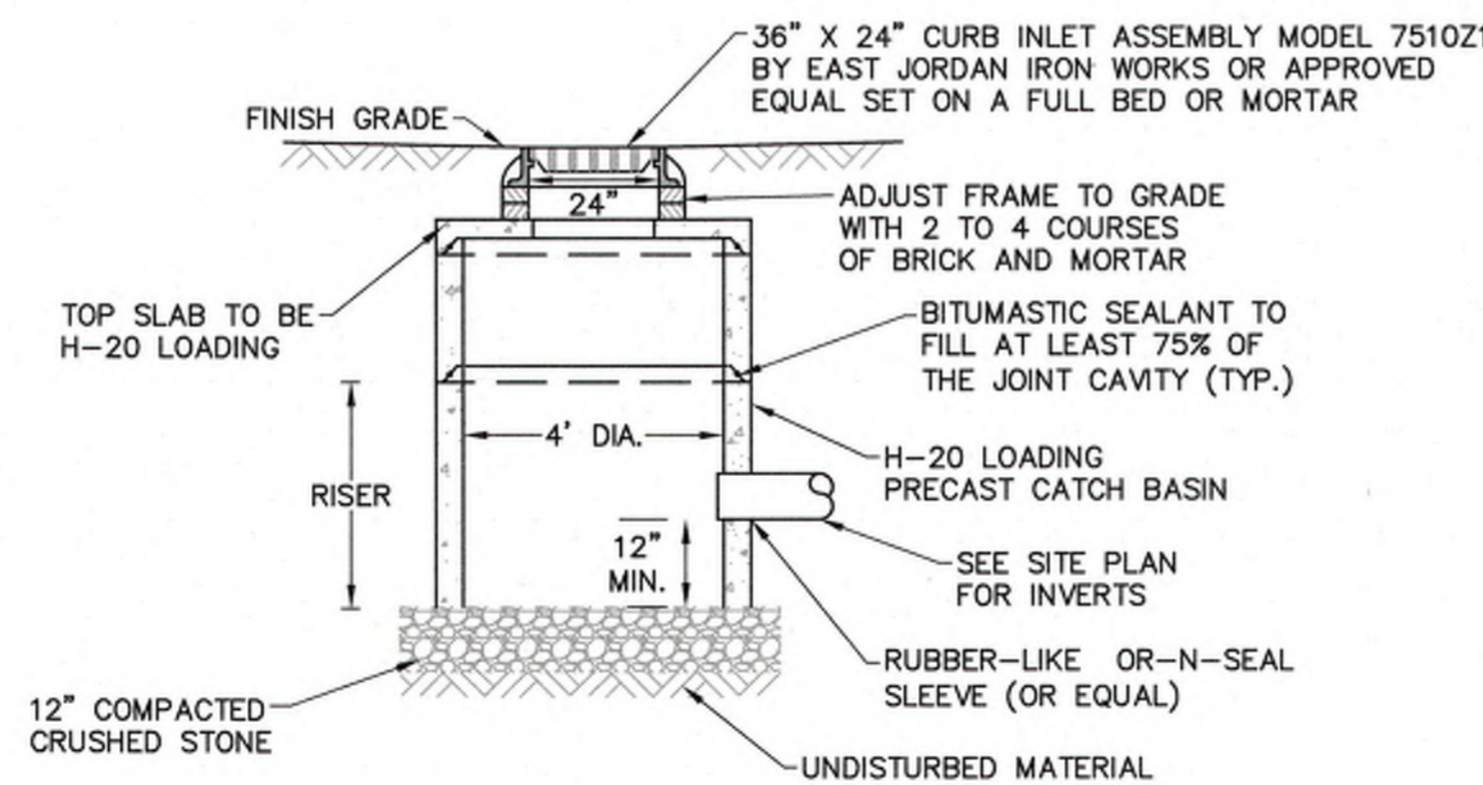
UNDERGROUND DRAINAGE BASIN NO. 2
NOT TO SCALE



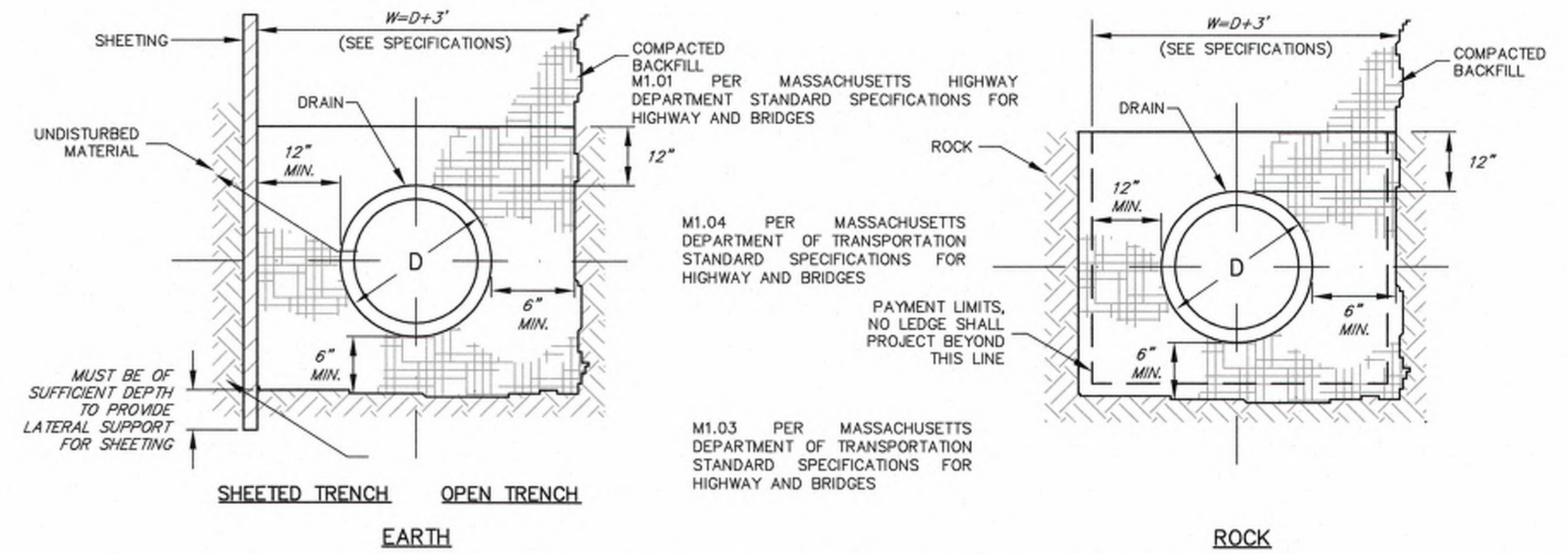
INSPECTION PORT
NOT TO SCALE



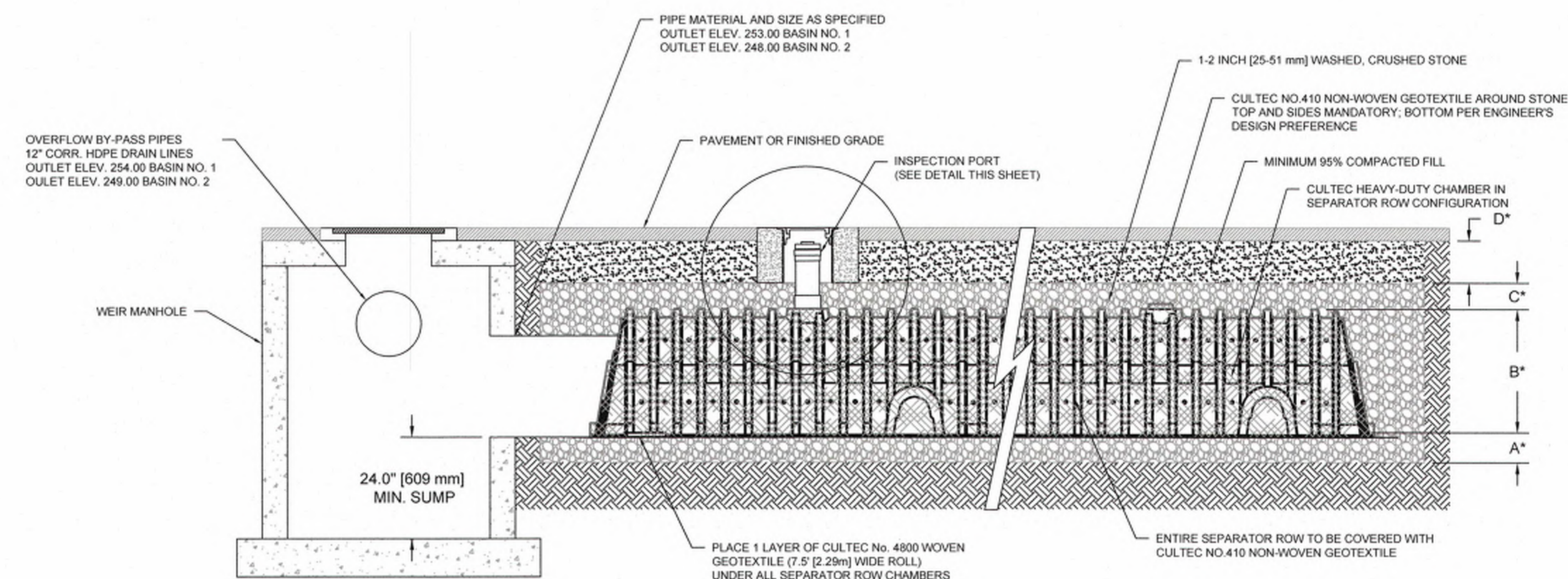
PRECAST DRAIN MANHOLE
SCALE: NONE



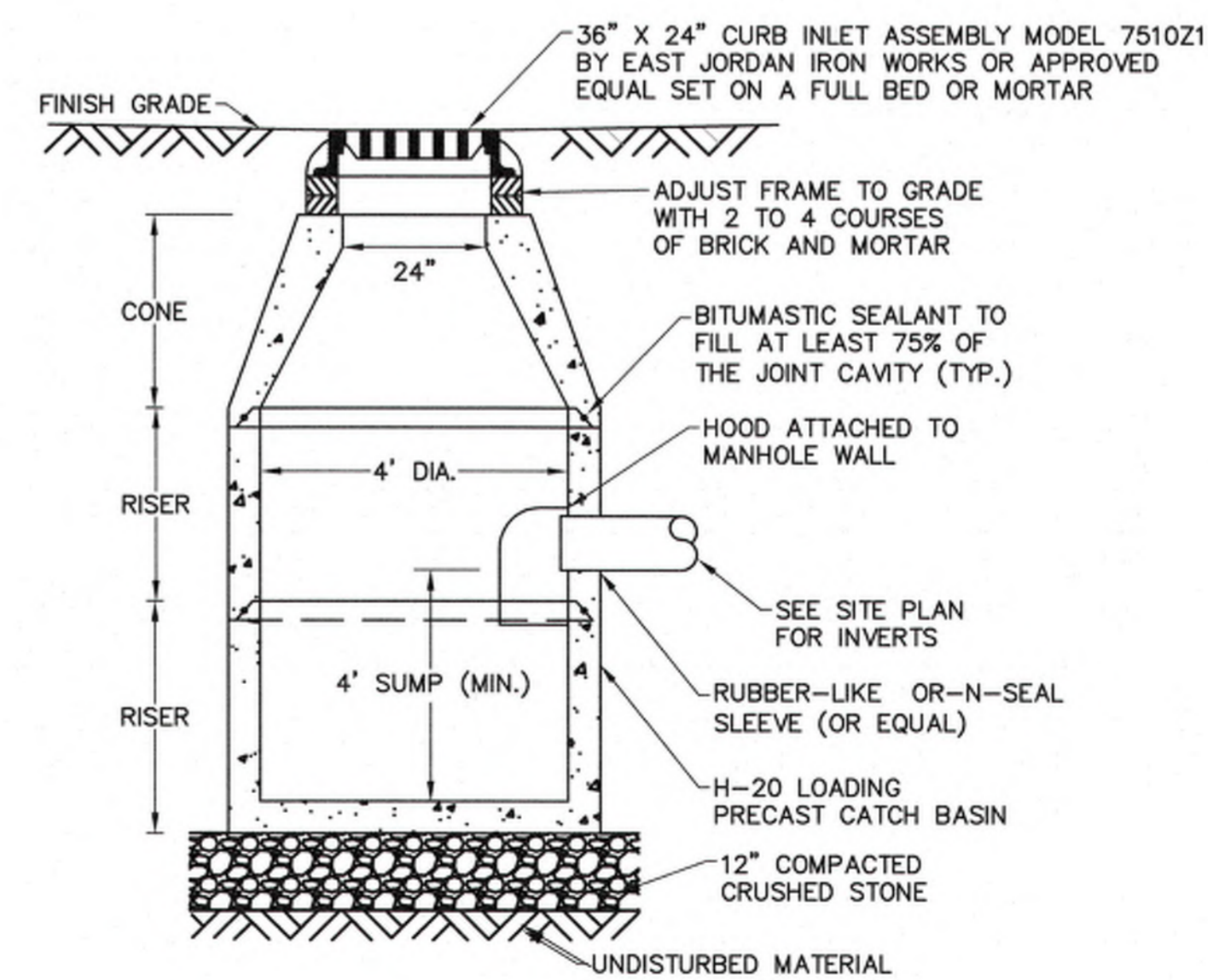
OPEN-BOTTOM PRECAST CATCH BASIN
SCALE: NONE



CORR. HDPE DRAINAGE LINE TRENCH SECTIONS
NOT TO SCALE



TYPICAL SEPARATOR ROW CONFIGURATION CROSS SECTION WITH INSPECTION PORT
NOT TO SCALE



PRECAST CATCH BASIN
SCALE: NONE

FOR REGISTRY USE ONLY:

MINOR SITE PLAN APPLICATION

OWNER/APPLICANT:
MEDWAY COMMUNITY CHURCH
11 SLOCUMB PLACE
MEDWAY, MA 02053

PROPERTY ADDRESS:
9 & 11 SLOCUMB PLACE
MEDWAY, MA 02053
ASSESSORS MAP 47 LOTS 079 & 078

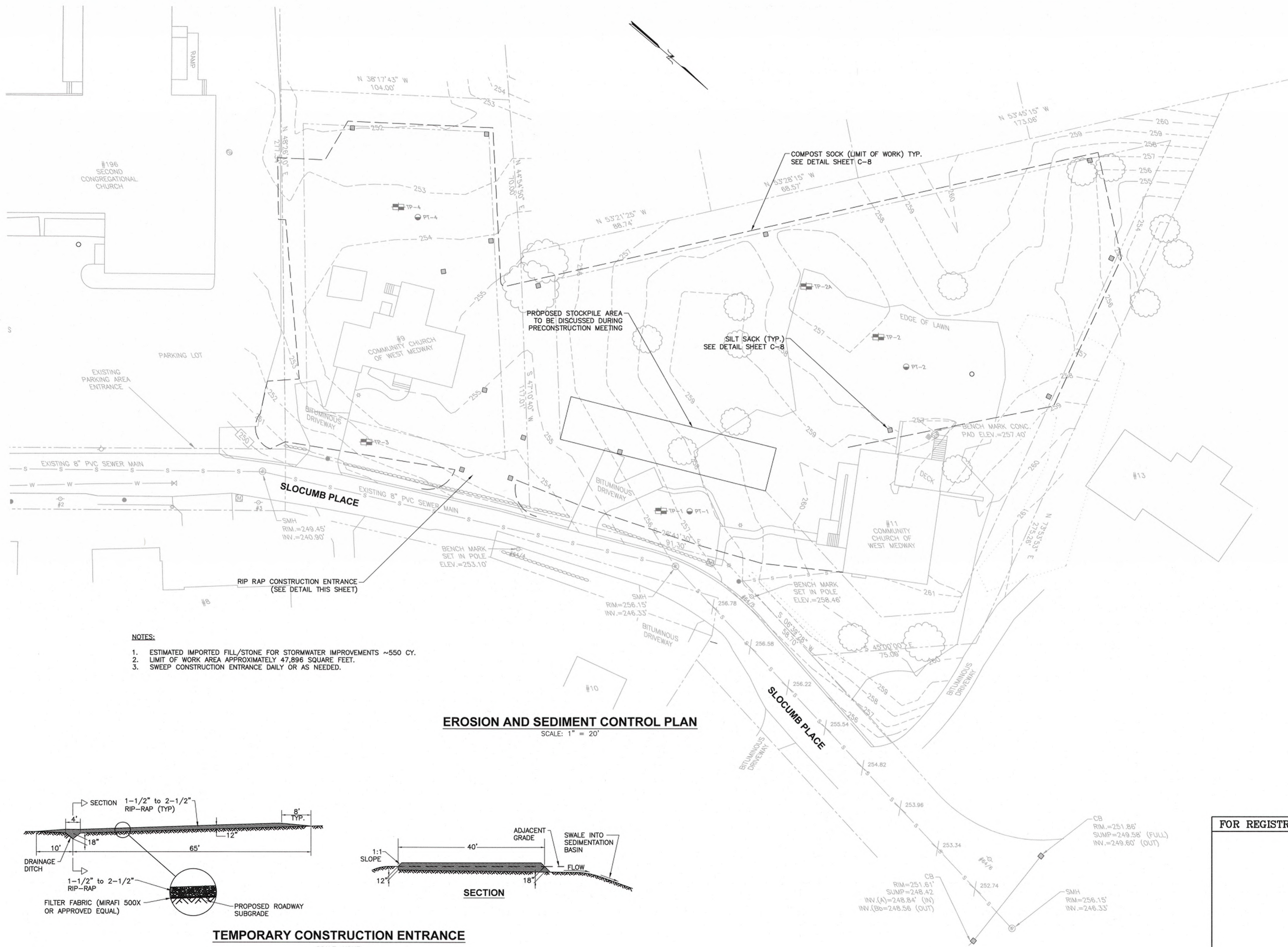
DETAIL SHEET 2
NOT FOR CONSTRUCTION



TATA & HOWARD
67 FOREST STREET
MARLBOROUGH, MA 01752
(508) 303-9400

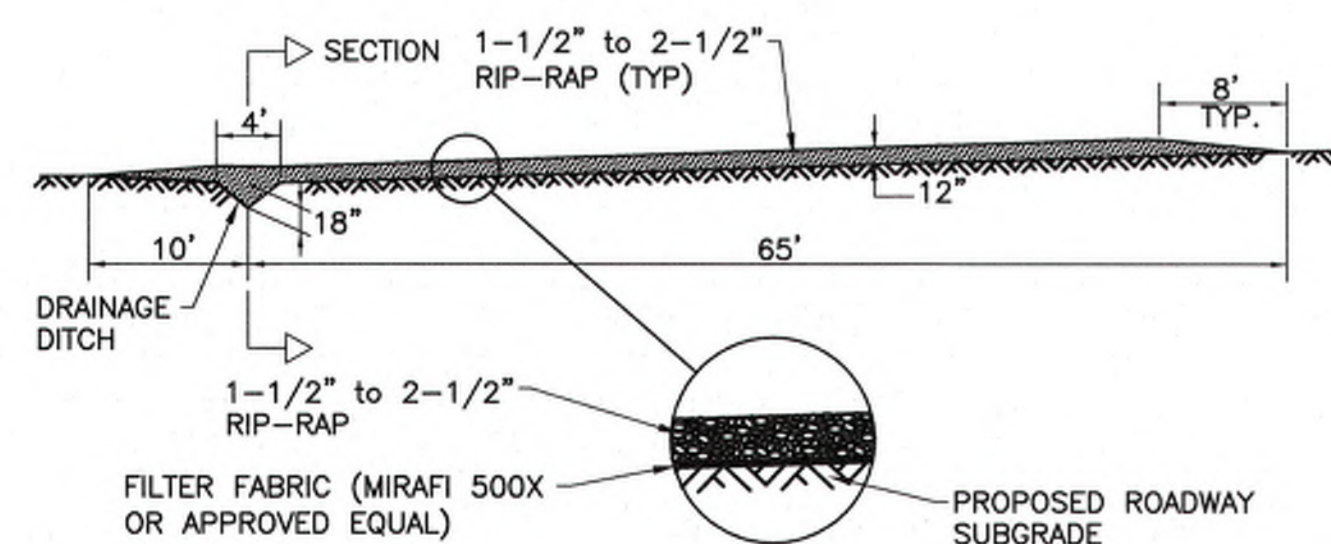
T&H NO.: 5328
DATE: NOVEMBER 2018
SCALE: AS NOTED

C-9

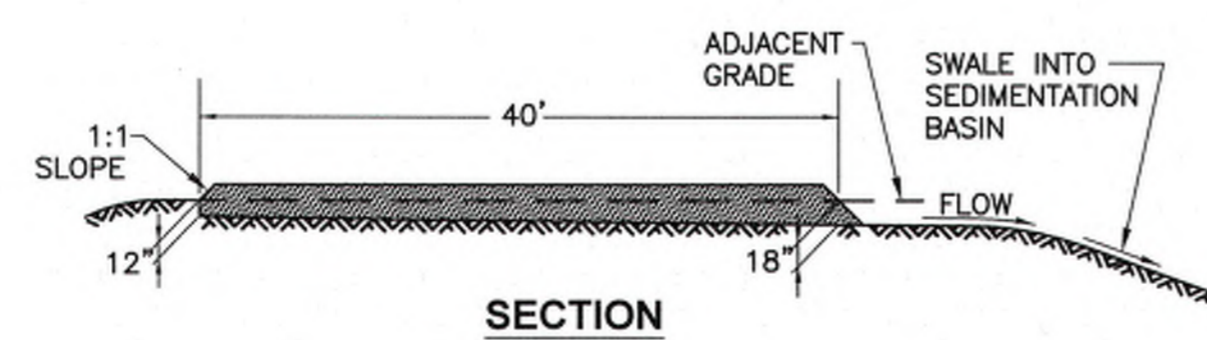


- NOTES:
1. ESTIMATED IMPORTED FILL/STONE FOR STORMWATER IMPROVEMENTS ~550 CY.
 2. LIMIT OF WORK AREA APPROXIMATELY 47,896 SQUARE FEET.
 3. SWEEP CONSTRUCTION ENTRANCE DAILY OR AS NEEDED.

EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 20'



TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NONE



SECTION

FOR REGISTRY USE ONLY:

MINOR SITE PLAN APPLICATION				OWNER/APPLICANT: MEDWAY COMMUNITY CHURCH 11 SLOCUMB PLACE MEDWAY, MA 02053		PROPERTY ADDRESS: 9 & 11 SLOCUMB PLACE MEDWAY, MA 02053 ASSESSORS MAP 47 LOTS 079 & 078	
Planning & Econ. Dev. Board Submittal	7/24/18	Planning & Econ. Dev. Board Review	8/22/18	Planning & Econ. Dev. Board Submittal	9/19/18	Planning & Econ. Dev. Board Review	11/19/18
Description				Date			
Revised				Date			
Erosion and Sediment Control Plan				NOT FOR CONSTRUCTION			
Seal of the Commonwealth of Massachusetts, Department of Transportation, Office of the State Engineer, Civil Engineering Division				11-19-18			
T&H NO.: 5328				DATE: NOVEMBER 2018			
SCALE: AS NOTED				EC-1			

Susan Affleck-Childs

From: Paul Kenney <pkenney@kenney-law.com>
Sent: Monday, November 26, 2018 2:44 PM
To: Susan Affleck-Childs
Cc: rlapinsky@gmail.com; lwasnewski@gmail.com; jeff.kane1@verizon.net; survey@clsurveyma.com
Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

Susy,
Following up on our telephone conference, I have spoken with the Land Court engineer, and there are a couple of additional technical revisions that will need to be made to the plan before we can submit it to the Planning Board. Therefore, I would request an extension until 1/31/19 to submit the plan to the board for endorsement. Please confirm once the extension has been approved. If there are any questions, please let me know. Thank you.
Paul

Paul V. Kenney
Kenney & Kenney
181 Village Street
Medway, MA.
02053
Phone: 508-533-6711
Fax: 508-533-6904

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Thursday, October 11, 2018 11:27 AM
To: Paul Kenney
Cc: rlapinsky@gmail.com; lwasnewski@gmail.com; jeff.kane1@verizon.net; survey@clsurveyma.com
Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

Good morning,

At the October 9, 2018 PEDB meeting, the Board approved your request to extend by 60 days the deadline to present the Town Line Estates definitive subdivision plan to the Board for its endorsement. This extension is needed for the additional time needed by Land Court to continue its pre-filing review of the subdivision plan.

This extension will result in a new deadline of December 16, 2018. If any further extensions are needed, please let me know by December 1st.

Please let me know if you have any questions.

Best regards,

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Paul Kenney [<mailto:pkenney@kenney-law.com>]
Sent: Wednesday, September 26, 2018 11:03 AM
To: Susan Affleck-Childs
Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

Thank you.

Paul V. Kenney
Kenney & Kenney
181 Village Street
Medway, MA.
02053
Phone: 508-533-6711
Fax: 508-533-6904

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Wednesday, September 26, 2018 10:56 AM
To: Paul Kenney
Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

I will inform the board and have them do another 60 day extension. Thanks for attending to these scheduling details.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

From: Paul Kenney [<mailto:pkenney@kenney-law.com>]
Sent: Wednesday, September 26, 2018 10:54 AM
To: Susan Affleck-Childs
Cc: rlapinsky@gmail.com; lwasnewski@gmail.com; jeff.kane1@verizon.net; survey@clsurveyma.com
Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

Susy,
The pre-filing review by the Land Court engineering office is ongoing and will not be completed by October 16, 2018. Therefore, I would request an additional 60 day extension to present the Town Line Estates definitive subdivision plan for endorsement. If there are any questions, please let me know. Thank you.
Paul

Paul V. Kenney
Kenney & Kenney
181 Village Street
Medway, MA.
02053
Phone: 508-533-6711
Fax: 508-533-6904

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Wednesday, June 27, 2018 10:53 AM

To: Paul Kenney

Cc: rlapinsky@gmail.com; lwasnewski@gmail.com; jeff.kane1@verizon.net; survey@clsurveyma.com

Subject: RE: Town Line Estate Subdivision - Extension of plan endorsement deadline

Good morning,

At last night's PEDB meeting, the Board approved your request to extend by 60 days the deadline to present the Town Line Estates definitive subdivision plan for endorsement.

This extension will result in a new deadline of October 16th.

Please let me know if you have any questions.

Best regards,

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Paul Kenney [<mailto:pkenney@kenney-law.com>]

Sent: Tuesday, June 19, 2018 1:44 PM

To: Susan Affleck-Childs

Cc: rlapinsky@gmail.com; lwasnewski@gmail.com; jeff.kane1@verizon.net; survey@clsurveyma.com

Subject: Town Line Estate Subdivision

Susy,

As a follow up to our conversation, please accept this email as a request for a 60 day extension for the approval of the Town Line Estate subdivision. As reason for the request, the property is registered land, and in connection with any subdivision of registered land, the Land Court Engineering office in Boston requires a pre-filing review of the plan with the surveyor's computations, including line closures, perimeter closure, street and lot closures, as well as attested copies of the current Certificate of Title. I am forwarding the required documents to the Land Court, however, the review may take some time to be completed by the engineering office. Once approved by the Land Court engineering office, the final plan signed by the Planning Board can be submitted for approval. If there are any questions, please let me know. Thank you.

Paul

Paul V. Kenney
Kenney & Kenney
181 Village Street
Medway, MA.
02053
Phone: 508-533-6711
Fax: 508-533-6904