

**November 14, 2017
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053**

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	Absent with Notice	X	X	Absent with Notice	X

ALSO PRESENT:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Steve Bouley, Tetra Tech Engineering
- Gino Carlucci, PGC Associates
- Amy Sutherland, Recording Secretary

Vice Chairman Bob Tucker opened the meeting at 7:15 pm.

Exelon Site Plan Modification – 9 Summer Street

The Exelon representatives were informed that their appointment will need to be rescheduled to Tuesday, November 28, 2017 at 7:00 pm due to lack of quorum for their particular matter.

NOTE – Tom Gay cannot participate in Exelon discussions due to a conflict of interest.

O'Brien Site Plan Modification – 17 Trotter Drive

The Board is in receipt of the following documents (**See Attached**)

- Public Review Notice dated 11/6/17
- Application for minor modification of a previously approved site plan
- Letter from Meridian Associated dated 11/3/17
- Modified Site plan dated 11/3/17 by Meridian Associates.
- Series of emails between Susy Affleck-Childs and Steve Bouley

Engineer Mark Beaudry was present on behalf of the applicant to explain the proposed changes. He indicated that the intention of the changes is driven by the final building design and reduced footprint to reduce the overall cost of the project. There are no changes to the previously approved waivers.

The modifications include the following:

- Building has been downsized approximately 1,100 sf from 10,531 sq. ft. by trimming 13' off the building length
- Building will be located about 10' further south from the north property line and about 5' further north off of the south property line.
- Parking area has been moved further south with the building (no change in number, size or layout spaces or sidewalk).

- Reduce earthen material exported off site.
- Net reduction of approximately 900 sq. ft. of impervious surfaces.
- Trench drain in loading area is replaced by a catch basin. No other stormwater changes.
- Retaining wall revisions include changing the double wall on east side of the site changed to a single wall and a small wall in loading area removed.
- The changes were approved by Conservation Commission.
- There will be a preconstruction meeting with the applicant, Tetra Tech, Bridget, DPS the site contractor, and the applicant's engineering consultant on November 21, 2017 at 3:00 pm.
- The photometric plan was updated.

Consultant Bouley and Carlucci reviewed the proposed modified plan and have no issues.

Susy will write a one page decision and file it with the Town Clerk.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to approve the minor modification to the previously approved O'Brien site plan as presented and to sign the revised site plan.

Tri Valley Commons – Request for Bond Release

The Board is in receipt of the following documents (**See Attached**)

- Letter dated 10/23/17 from developer Rich Landry requesting release of the remaining bond.
- PEDB Certificate of Site Plan Completion dated 12/13/16.
- Steve Bouley email dated 11/1/17 with results from his site visit on 10/31/17.
- Photos taken 10/12/17 by Conservation Agent Bridget Graziano.

Susy reported that that Conservation Commission did not issue a Certificate of Compliance. The remaining issues will be addressed in spring.

The Board determined that Mr. Landry has completed the work needed for release of the bond.

On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted unanimously to release the bond for Tri-Valley Commons.

Pine Ridge/Candlewood Island Road - Request for Bond Release.

The Board is in receipt of the following documents (**See Attached**)

- Project Completion Agreement signed 6/27/17
- Email to Dave D'Amico dated 11/8/17
- Tetra Tech inspection review email dated 11/6/17 (Pine Ridge)
- As-built plan dated 8/30/17 by McClure Engineering and O'Driscoll Land Surveying. (Pine Ridge)
- Emails between Susy Affleck-Childs and Paul Yorkis. (Pine Ridge)
- Candlewood Drive Limited Utilities schematic dated 8/30/17 by McClure Engineering & O'Driscoll Land Surveying

- Island Road Limited Utilities Schematic dated 10/18/17 by McClure Engineering and O'Driscoll Land Surveying.

The bond information was provided. This amount in June was \$79,067.97. There was work completed per the project agreement although the applicant has not sought a Certificate of Compliance for the work. This will need to be handled by the Conservation Commission.

On a motion made by Tom Gay, and seconded by Rich Di Iulio, the board voted to fully release the bond in the amount of \$26,067.97.

Other Business:

Wingate Farms:

This will be tabled until next meeting. Steve Bouley needs to look at this further and will provide information to the Board. An updated bond estimate and punch list will be provided.

Construction Reports:

The Board is in receipt of the following construction reports (**See Attached**):

- 143 Village Street
- Medway Gardens
- The Haven Subdivision
- Applegate Subdivision

Medway Gardens:

- Email dated 10/16/17 re: railroad tie at entrance

The Board is fine with the recommendation to remove the requirement for the railroad ties.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to remove the requirement for the railroad ties.

143 Village Street:

- Tetra Tech report #1 (11/6/17) 143 Village Street
- Tetra Tech report #2 (11/7/17) 143 Village Street
- Tetra Tech report #3 (11/8/17) 143 Village Street

The applicant is in the process of site demolition and broke ground on Monday November 13, 2017. The drainage facilities have been installed. There was a meeting with Sergeant Watson and it was agreed that a 35 ft. radius at the southwest corner of Village and Sanford Street would work for the site. The applicant understands they are working "at risk" prior to the conclusion of the appeal period.

The Haven Subdivision:

Consultant Bouley indicated that the road has been swept and everything looks good.

Applegate Subdivision:

The Board is in receipt of an email from Bridget Graziano regarding Applegate. There are lots

with unstable erosion controls. The street needs to be swept and cleaned. The catch basins need to be cleaned and siltation sacks replaced. Consultant Bouley will check the site tomorrow.

Millstone Village:

Consultant Bouley indicated there were issues with sediment in the roadway which has been addressed by Millstone Village.

2 Marc Road:

The site at Marc Road looks good and is nearing completion.

Village Estates Subdivision Modification – Plan Endorsement

The Board is in receipt of the following:

- Modified Subdivision Plan

The applicant is current with his taxes.

The Board discussed holding off on plan endorsement until the next meeting when there is a full compliment of the Board since one of the three PEDB members present did not vote in favor of the modification and does not wish to endorse the plan.

Country Cottage Site Plan

The Board is in receipt of the following documents: **(See Attached)**

- Site Plan Decision dated 10/24/17.
- Pre-Endorsement Checklist

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to endorse the site plan for Country Cottage.

Other Reports:

- There will be an Open Space and Recreation Plan Update Task Force meeting on Tuesday, November 21, 2017. The data and evaluations will be reviewed.
- Susy will be speaking at the Medway Business Council breakfast on 11-15-17
- The recent Town Meeting was successful and all warrant articles were approved.
- There was a SWAP meeting this morning and the topic was GIS. Fran Hutton Lee attended. The Town of Medway was impressive in its discussion of what Medway has accomplished with GIS.

PEDB Meeting Minutes:

October 24, 2017:

On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted unanimously to accept the minutes from the October 24, 2017 meeting.

October 30, 2017:

On a motion made by Tom Gay and seconded by Rich Di Iulio, the Board voted unanimously to accept the minutes from the October 30, 2017 meeting.

Adjourn:

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 8:16 pm.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Amy Sutherland".

Amy Sutherland
Recording Secretary

Reviewed and edited by,

A handwritten signature in black ink, appearing to read "Susan E. Affleck-Childs".

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



November 14, 2017
Medway Planning & Economic Development Board
Meeting

O'Brien Site Plan – Minor Modification

- Public review notice dated 11/6/17 (mailed to abutters)
- Application for minor modification to previously approved site plan including “minor modification” determination by Building Commissioner Jack Mee (received 11/6/17)
- Letter from Meridian Associates dated 11/3/17 describing the scope of the planned modification.
- Modified Site Plan dated 11/3/17 by Meridian Associates.
- Series of emails between Susy Affleck-Childs and Steve Bouley. Steve has no comments/concerns.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

November 6, 2017

M.E. O'Brien & Sons Site Plan Modification
17 Trotter Drive
NOTICE OF PUBLIC REVIEW – November 14, 2017

The Medway Planning and Economic Development Board will review a proposed modification to the previously approved site plan for O'Brien and Sons at 17 Trotter Drive during its meeting on Tuesday, November 14, 2017 at 7:05 p.m. at Medway Town Hall, 155 Village Street, Medway, MA

The subject property is 1+ acres and is located at the northeast corner of Trotter Drive and Alder Street in the 495 Business Park in the Industrial III zoning district. The parcel, shown on the Medway Assessors Map as Parcel #54-004-0001, is owned by Marguerite and Anthony Mele of Medway, MA. A portion of the site lies within the 100' buffer zone of wetlands resources and is also subject to review by the Medway Conservation Commission.

The site plan permit was previously approved on August 8, 2017 and the plan was endorsed on October 10, 2017. The approved project includes construction of a 10,531 sq. ft., one story building for offices, storage space used primarily for product literature, and related office functions for M.E. O'Brien & Sons. Also included are 22 parking spaces, landscaping, lighting, utilities, sewer/water connections, and installation of stormwater management facilities. Vehicular access will be provided from both Trotter Drive and Alder Street.

The proposed modification includes the following:

- Building has been downsized approximately 1,100 SF from 10,531 sq. ft. by trimming 13' off the building length (building width same).
- Building will be located about 10' further south from the north property line and about 5' further north off of the south property line.
- Parking area has moved further south with the building (no change in number, size or layout of spaces or sidewalk).

OVER →

- Entrance driveway location on north side is in approved location, but would now be about 10' longer (added driveway area 200 SF).
- Net reduction of approximately 900 SF of impervious (paved or built upon) surfaces
- Building floor elevation is one foot higher to decrease soil export.
- Retaining wall revisions:
 - Double wall on east side changed to a single wall
 - Wall in loading area removed
- Trench drain in loading area replaced by catch basin. No other stormwater changes.
- Six light bollards and one light pole eliminated (refer to photometric analysis)

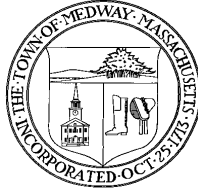
The modification application and proposed modified site plan were filed with the Town on November 6, 2017 and are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed Monday - Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans and application documents will be available for viewing at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/recent-development-applications>.

Interested persons or parties are invited to review the proposed modified plan, attend the public meeting, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. Questions should be directed to the Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser, Chairman

cc: *Planning Boards* – Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen/Town Administrator, Board of Assessors, Board of Health, Building Inspector/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Economic Development Committee, Fire Department, Police Department, Department of Public Services, Treasurer/Collector.



Planning & Economic Development Board - Town of Medway, MA
SITE PLAN REVIEW

***Application to Modify a Previously Approved Site Plan and/or
Site Plan Decision***

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the Medway Zoning Bylaw and the Rules and Regulations for the Submission and Review of Site Plans

The Board may ask the Town's Planning and Engineering Consultants to review the Application and the proposed Site Plan Modification and provide review letters. A copy of those review letters will be provided to you in advance of the meeting.

*You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or Submit such additional information as the Board may request.
Your absence may result in a delay in the Board's review of the proposed modification.*

November 3, 2017

APPLICANT INFORMATION

Applicant's Name: Bottle Cap Lot, LLC; M.E. O'Brien Parent Company

Mailing Address: 93 West Street, Medfield, MA 02052

Name of Primary Contact: Erin O'Brien

Telephone:
Office: 508-359-4200
Cell: _____

Email address: erino'brien@obrienandsons.com

_____ please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PREVIOUS SITE PLAN INFORMATION

Development Name: O'Brien & Sons Corporate Office

Plan Title: Site Plan Review Submittal - O'Brien & Sons Corporate Office

Plan Date: May 23, 2017 (Revised September 1, 2017)

Prepared by:
Name: Mark Beaudry
Firm: Meridian Associates, Inc.

Phone #: 508-871-7030 x23
Email: mbeaudry@meridianassoc.com

Date of Site Plan Decision: August 8, 2017

Date Site Plan was endorsed: September 5, 2017

Date of Constructive Approval by Town Clerk (*usually not applicable*): _____

Was the previously approved site plan a Major or Minor Site Plan? Major

PROPERTY INFORMATION

Location Address: 17 Trotter Drive

The land shown on the plan is shown on Medway Assessor's Map # 54 as Parcel # 004

Total Acreage of Land Area: 47,757 SF

General Description of Property: _____
1.1 acre undeveloped, wooded lot located in the Industrial III zoning district
at the intersection of Trotter Drive and Alder Street in Medway.

Medway Zoning District Classification: Industrial III, Groundwater Protection District

The owner's title to the land that is the subject matter of this application is derived under deed
From: Anthony & Marguerite Mele to Bottle Cap Lot LLC
Dated Sept, 9, 2017 and recorded in Norfolk County Registry of Deeds,
Book 35444 Page 570 or Land Court Certificate of Title Number _____,
Land Court Case Number _____, registered in the Norfolk County Land Registry District
Volume _____, Page _____.

SCOPE OF PROPOSED MODIFICATION

This is a petition to: (check all that apply)

1. X **Amend/Modify/Revise a previously approved Site Plan**

What modifications are proposed? Why does the Plan need to be modified?

Attach a complete description of the proposed modified scope of work.

Plan Modification Title: Site Development Plans - O'Brien & Sons Corporate Office

Plan Date: May 23, 2017 (Revised November 3, 2017)

Prepared by:

Name: Mark Beaudry
Firm: Meridian Associates, Inc.
Phone #: 508-871-7030 x23
Email: mbeaudry@meridianassoc.com

2. N/A **Amend/Modify/Revise a previously approved Site Plan Decision**

How and why does the Decision need to be modified?

Attach a thorough description/explanation.

3. N/A **Request Additional Waivers from the Site Plan Rules and Regulations**

Provide a completed Waiver Request form for each additional waiver request you seek.

No additional waivers requested.

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: Same as Applicant

Mailing Address: _____

Primary Contact: _____

Telephone: _____
Office: _____ Cell: _____

Email address: _____

CONSULTANT INFORMATION

ENGINEER: Meridian Associates, Inc

Mailing Address: 69 Milk Street, Suite 302

Westborough, MA 01581

Primary Contact: Mark Beaudry

Telephone: _____
Office: 508-871-7030 x23 Cell: _____

Email address: mbeaudry@meridianassoc.com

Registered P.E. License #: 38189

SURVEYOR: Meridian Associates, Inc

Mailing Address: 500 Cummings Center, Suite 5950

Beverly, Massachusetts 01915

Primary Contact: Kevin Danahy

Telephone: _____
Office: 978-872-1157 x216 Cell: _____

Email Address: kdanahy@meridianassoc.com

Registered P.L.S. License #: 39683

ARCHITECT: Gorman Richardson Lewis Architects

Mailing Address: 239 South Street

Hopkinton, MA 01748

Primary Contact: Scott Richardson

Telephone:
Office: 508-544-2600 Cell: _____

Email address: srichardson@grlarchitects.com

Registered Architect License #: _____

LANDSCAPE ARCHITECT/DESIGNER: Meridian Associates, Inc

Mailing Address: 69 Milk Street, Suite 302

Westborough, MA 01581

Primary Contact: Jacqueline Trainer

Telephone:
Office: 508-871-7030 x21 Cell: _____

Email address: jtrainer@meridianassoc.com

Registered Landscape Architect License #: 1526

OFFICIAL REPRESENTATIVE INFORMATION

Name: Erin O'Brien

Address: O'Brien & Sons

93 West Street, Medfield, MA 02052

Telephone:
Office: 508-359-4200 Cell: _____

Email address: erino'brien@obrienandsons.com

SIGNATURES

The undersigned, being the Applicant for approval of Site Plan Modification, herewith submits this application and proposed Modified Site Plan to the Medway Planning and Economic Development Board for review and approval.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Mark Beaudry to serve as my Agent/ Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

Signature of Property Owner

Date

Signature of Applicant (if other than Property Owner)

Date

Signature of Agent/Official Representative

Date

SITE PLAN MODIFICATION FEES

Filing Fee – Minor Site Plan Modifications

\$250

Filing Fee - Major Site Plan Modifications

For projects up to 4,999 sq. ft. /gross floor area = \$ 500.

For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$750

For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,000

For projects of 15,000 sq. ft. and more/gross floor area = \$1,500.

Advance on Plan Review Fee

For minor site plan projects = \$500

For major site plan projects = \$1,000

Submit 2 separate checks each made payable to: Town of Medway

Please call the Planning and Economic Development Office with any fee questions. 508-533-3291.

SITE PLAN MODIFICATION APPLICATION CHECKLIST

- ☒ Two (2) original site plan modification applications with signatures.
- ☒ IF APPLICABLE, three (3) full size copies and one (1) 11" x 17" version of the proposed Site Plan Modification prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* plus an electronic version.
- ☐ IF APPLICABLE, Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E. Needed for major modifications.
- ☒ Explanation as to how and why the plan and/or decision need to be modified.
- ☒ A written determination from the Building Commissioner/ Zoning Enforcement Officer as to whether the scope of planned changes constitutes a major or minor modification.
- ☐ IF APPLICABLE, Request(s) for Waivers from the *Medway Site Plan Rules and Regulations* - Form Q.
- ☐ IF APPLICABLE, two (2) copies of revised Stormwater Drainage Calculations prepared in conformance with Section 204 – 3, 3) of the *Site Plan Rules and Regulations*

X Site Plan Modification Filing Fee – Payable to Town of Medway

 Advance of Plan Review Fee – Payable to Town of Medway

10-26-2017 (sac)



November 3, 2017

Mr. Andy Rodenhiser, Chairman
Medway Planning & Economic Development Board (PEDB)
155 Village Street
Medway, Massachusetts 02053

Re: Bottle Cap Lot, LLC (O'Brien & Sons Corporate Office)
17 Trotter Drive, Medway, Massachusetts
Minor Site Plan Modification Summary
MAI Project No. 8477

Dear Chairman Rodenhiser and Members of the Board:

On behalf of the Applicant/Owner, Bottle Cap Lot, LLC (O'Brien & Sons), Meridian Associates, Inc. (MAI) has revised the design layout for the site to accommodate the reduced building design regarding the proposed site development project entitled "O'Brien & Sons Corporate Office". A summary of these revisions are provided below as follows:

- Building has been downsized approximately 1,100 SF by trimming 13' off the building length (building width same).
- Building is now about 10' further off north property line and about 5' further off south property line.
- Parking has moved further south with the building (no change in number, size or layout of spaces or sidewalk).
- Entrance driveway location on north side is in approved location, but now about 10' longer (added driveway area 200 SF).
- Net reduction of approximately 900 SF of impervious.
- Building floor elevation is one foot higher to decrease soil export.
- Retaining wall revisions:
 - Only single wall on east side now
 - Wall in loading area removed
- Trench drain in loading area replaced by catch basin.
- Six light bollards and one light pole eliminated (refer to photometric analysis).



The intention of these changes, driven by the final building design and reduced footprint, is to reduce the overall cost of the project. No changes to the approved waivers are requested or needed. We look forward to discussing these layout changes to the project in more detail with the Board at the meeting scheduled for November 14, 2017. We intend to submit new mylars for endorsement at this meeting if the PEDB finds the minor modifications to be acceptable.

Sincerely,

MERIDIAN ASSOCIATES, INC.

Mark E. Beaudry, PE
Senior Associate

Copy: Gorman Richardson Lewis Architects
Bottle Cap Lot, LLC

Copyright Meridian Associates 2017
Plotted: 11/3/2017 12:35 PM
DVG Location: G:\-8477 MEDWAY\DWG\8477 SITE.DWG

SITE DEVELOPMENT PLANS

O'BRIEN & SONS CORPORATE OFFICE

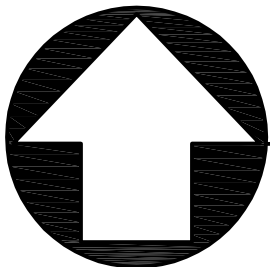
17 TROTTER DRIVE
(MAP 54, PARCEL 1)
MEDWAY, MASSACHUSETTS 02053

ZONING DISTRICT: INDUSTRIAL III
GROUNDWATER PROTECTION DISTRICT/ZONE II

MAY 23, 2017
REVISED NOVEMBER 3, 2017



NORTH



LOCUS MAP

SCALE: 1' = 500'

DRAWING INDEX:

- C-0 COVER SHEET/LOCUS MAP
- C-1 EXISTING CONDITIONS PLAN
- C-2 LAYOUT AND MATERIALS PLAN
- C-3 GRADING, DRAINAGE & UTILITIES PLAN
- C-4 LANDSCAPE PLAN
- C-5 CONSTRUCTION DETAILS
- C-6 CONSTRUCTION DETAILS
- C-7 CONSTRUCTION DETAILS
- C-8 CONSTRUCTION DETAILS
- A1.0 FIRST FLOOR PLAN
- A3.1 EXTERIOR ELEVATIONS
- L-1 LIGHTING PLAN

APPROVED WAIVERS:

SITE PLAN RULES AND REGULATIONS:

- SECTION 204-5 C.3. (EXISTING LANDSCAPE INVENTORY) TO NOT SHOW TREES BETWEEN 12" AND 18" (TREES 18" AND LARGER SHOWN).
- SECTION 205-6 G.3.a - PARKING STALL DESIGN SHALL BE 10'x20'. SITE COMPLIES WITH THE ZONING BY-LAW (7.1.1.E.3.a.) STATING 9'x18' AS THE REGULATION (9'x18' STANDARD).
- SECTION 205-6 G.3.b (WHEEL STOPS ABUTTING A WALKWAY) NOT PROVIDED, 7' WIDE SIDEWALK PROPOSED TO ACCOMMODATE VEHICLE OVERHANG.
- SECTION 205-6 G.4.a (PARKING PROHIBITED IN BUILDING ENTRANCE "AREA" AND LOADING DOCK "AREA") RELIEF REQUESTED.
- SECTION 205-6 G.4.b (NO PART OF ANY PARKING SHALL BE LOCATED WITHIN 15' OF A SIDE PROPERTY LINE.) 7.1' PROPOSED AT SOUTH PROPERTY LINE. ALDER STREET CUL-DE-SAC ALTERATION PROPOSED.
- SECTION 205-6 G.4.d (THE LAST PARKING STALL IN ANY DEAD END ROW SHALL BE 12' LONG X 20' WIDE TURNING AREA). PROVIDING 6'X24' AREA.
- SECTION 205-6 H. (PARKING AREA TO BE BOUNDED WITH VERTICAL GRANITE CURB) PRECAST CONCRETE CURB PROPOSED.

FORMER OWNER

ANTHONY & MARGURITE MELE
203 MAIN STREET
MEDWAY, MASSACHUSETTS 02053

OWNER/APPLICANT

BOTTLE CAP LOT, LLC
93 WEST STREET
MEDFIELD, MASSACHUSETTS 02052

CIVIL ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE



69 MILK STREET, SUITE 302
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030

500 CUMMINGS CENTER, SUITE 5950
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447

ARCHITECTURE GIRILIA

Gorman Richardson Lewis Architects
239 South Street Hopkinton, MA 01748
T - 508.544.2600 F - 508.435.0072
www.grlaarchitect.com

REGISTRY USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

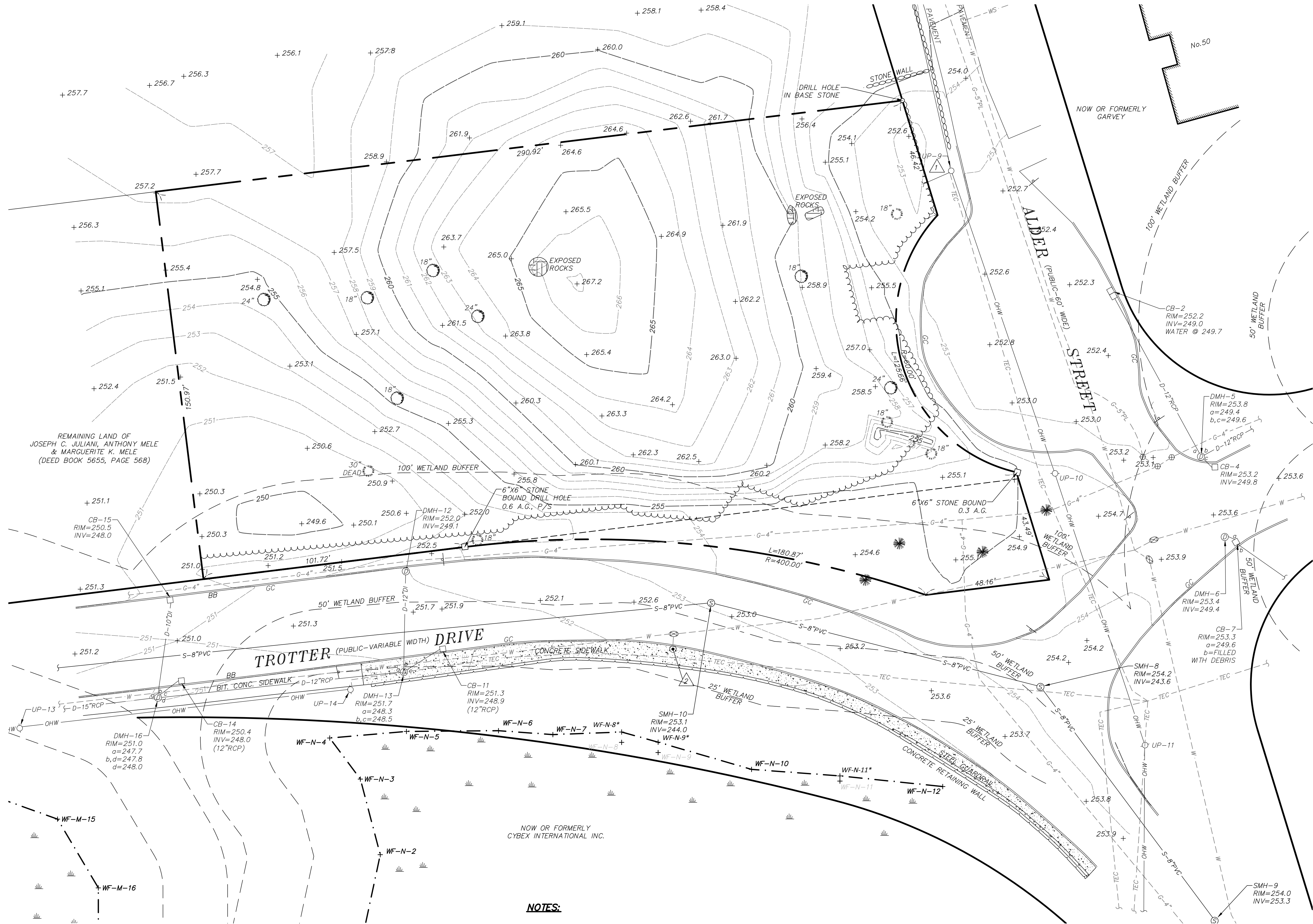
I HEREBY CERTIFY THAT NOTICE OF
APPROVAL OF THIS PLAN BY THE MEDWAY
PLANNING BOARD WAS RECEIVED AND
RECORDED AT THIS OFFICE AND THAT NO
NOTICE OF APPEAL WAS FILED IN 20 DAYS
FOLLOWING SAID RECEIPT AND RECORDING.

TOWN CLERK, MEDWAY, MA. DATE

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

APPROVAL DATE

ENDORSEMENT DATE



TEMPORARY BENCHMARK CHART:

T.B.M.#	DESCRIPTION	ELEVATION
1	CUT SPIKE IN UTILITY POLE 9, 1.0' A.G.	254.04
2	X-CUT FRONT CAP BOLT HYDRANT 2.0' A.G.	254.86

(SEE NOTE 7)

RECORD OWNER:
JOSEPH C. JULIANI, ANTHONY MELE & MARGUERITE K. MELE
198 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
-DEED BOOK 5655, PAGE 568
-DEED BOOK 13323, PAGE 520

REFERENCES:
-PLAN BOOK 305, PLAN 822
-PLAN BOOK 304, PLAN 664
-PLAN BOOK 227, PLAN 643
-PLAN 1116 OF 1959
-PLAN BOOK 294, PLAN 9
-PLAN BOOK 263, PLAN 834
-PLAN BOOK 464, PLAN 180
-UNRECORDED PLAN BY COLONIAL ENGINEERING, INC DATED FEBRUARY 7, 2017 PREPARED FOR ANTHONY & MARGUERITE MELE OBTAINED FROM THE TOWN OF MEDWAY PLANNING BOARD

LEGEND:

253	ONE FOOT CONTOUR
255	FIVE FOOT CONTOUR
+254.5	SPOT ELEVATION
BIT. CONC.	BITUMINOUS CONCRETE
DI	DUCTILE IRON
GC	GRANITE CURB
INV	INVERT
P/S	PLUMB/SOLID
PL	PLASTIC
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S.F.	SQUARE FEET
18"	CONIFEROUS TREE W/ DIAMETER
24"	DECIDUOUS TREE W/ DIAMETER
*	COMPILED CONIFEROUS TREE
STEEL GUARDRAIL	
STONE WALL	
RETAINING WALL	
CONCRETE	
EXPOSED ROCKS	
SIGN	BORDERING VEGETATED WETLANDS
WF	WETLAND FLAG
WF*	REVISED WETLAND FLAG LOCATION
---	LIMIT OF BUFFER ZONE
G	COMPILED GAS LINE
GS	COMPILED GAS SERVICE LINE
GC	COMPILED COMMUNICATIONS LINE
OHW	OVERHEAD WIRES
U	UTILITY POLE
GUY WIRE	
OBSERVED DRAIN LINE	
DRAIN MANHOLE	
CATCH BASIN	
DOUBLE CATCH BASIN	
COMPILED WATER LINE	
WS	COMPILED WATER SERVICE LINE
WATER GATE	
HYDRANT	
OBSERVED SEWER LINE	
SEWER MANHOLE	
TERMINUS UNKNOWN	
STONE BOUND	
DRILL HOLE	
A.G.	ABOVE GROUND
BIT. CONC.	BITUMINOUS CONCRETE
DI	DUCTILE IRON
GC	GRANITE CURB
INV	INVERT
P/S	PLUMB/SOLID
PL	PLASTIC
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S.F.	SQUARE FEET

NOTES:

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN FEBRUARY 17 & 24, 2017.
- THE SUBJECT PREMISES IS LOCATED IN THE INDUSTRIAL III (I-III) ZONING DISTRICT AND THE GROUNDWATER PROTECTION DISTRICT.
- THE SUBJECT PREMISES IS DEPICTED AS A PORTION OF LOT 4 ON TOWN OF MEDWAY ASSESSOR'S MAP 54, LOT 1 DEPICTED HEREON WAS DERIVED FROM A PLAN OF LAND SUBMITTED TO THE TOWN OF MEDWAY PLANNING BOARD, REFERENCED ABOVE, ENDORSED ON FEBRUARY 28, 2017.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE SUBJECT PREMISES IS LOCATED IN FLOOD ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN; PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25021C0138E DATED JULY 17, 2012.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), DERIVED FROM GPS OBSERVATIONS.
- PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
- THE WETLAND FLAGS DEPICTED HEREON WERE DELINEATED BY MERIDIAN ASSOCIATES, INC. ON FEBRUARY 7, 2017.
- SPECIFIC TREES WITH A DIAMETER OF 18 INCHES OR GREATER ARE LOCATED ON THIS PLAN TO SATISFY THE EXISTING LANDSCAPE INVENTORY (SEE SECTION 204-5, C.3 IN THE MEDWAY SITE PLAN RULES & REGULATIONS) AS REQUESTED AND AGREED TO BY THE PLANNING AND ECONOMIC DEVELOPMENT BOARD.

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCACTION NOR SUBSURFACE VERIFICATION.



I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR MERIDIAN ASSOCIATES, INC. DATE

EXISTING CONDITIONS PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



60 MILK STREET, SUITE 302
WESTFIELD, MASSACHUSETTS 01081
TELEPHONE: (508) 871-7000

Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-1

REVISIONS

NO.	DATE	DESCRIPTION
6	11/03/17	BUILDING REDUCTION
5	9/1/17	FINAL CONDITIONS
4	8/2/17	RESPONSE TO FINAL COMMENTS
3	7/17/17	RESPONSE TO COMMENTS
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS
1	6/8/17	WETLAND FLAGS

BY

CHKD	BY
MEB	MEB
DG	DG
DG	DG
RB	RB
RB	RB
MEB	MEB

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NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

REGISTRY USE ONLY

AGRICULTURAL-RESIDENTIAL II
INDUSTRIAL III

REMAINING LAND OF
JOSEPH C. JULIANI, ANTHONY MELE
& MARGUERITE K. MELE
(DEED BOOK 5655, PAGE 568)

TROTTER (PUBLIC-VARIABLE WIDTH) DRIVE

ALDER STREET
(PUBLIC-60' WIDE)

PROPOSED CONDITIONS LEGEND

	PROPERTY LINE		DCB		CATCH BASIN
	BUILDING		OCs		OUTLET CONTROL STRUCTURE
	RETAINING WALL		FE		FLARED END SECTION
	EROSION CONTROL BARRIER		IB		RIP RAP APRON/ IMPACT BASIN
	LIMIT OF WORK		WG		WATER LINE (1" IF NOT SPECIFIED)
	ELEVATIONAL CONTOUR		PIV		WATER GATE VALVE
	SPOT GRADE		ETC		POST INDICATOR VALVE
	HIGH POINT/LOW POINT		T		ELECTRIC, CABLE & TELEPHONE LINE
	TOP/BOTTOM WALL		G		ELECTRIC TRANSFORMER PAD LOCATION
	DRAIN MANHOLE		GG		NATURAL GAS LINE
	DRAINAGE LINE		GM		GAS GATE
	ROOF DRAINAGE LINE		S		GAS METER
	CATCH BASIN		SMH		SEWER LINE (4" IF NOT SPECIFIED)
					SEWER MANHOLE

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE
WITH THE RULES AND REGULATIONS OF THE
REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THE PROPERTY LINES DEPICTED ARE THE LINES DIVIDING
EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND
WAYS DEPICTED ARE THOSE OF PUBLIC OR PRIVATE
STREETS AND WAYS ALREADY ESTABLISHED, AND THAT
NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS
OR FOR NEW STREETS AND WAYS ARE DEPICTED.
(MASS. GEN. LAWS CHAP. 41, SECT. 81-X)

FOR MERIDIAN ASSOCIATES, INC. DATE

ZONING SUMMARY

ZONING DISTRICT: INDUSTRIAL III, GROUNDWATER PROTECTION DISTRICT		
BULK & DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA (S.F.)	40,000	47,757
MINIMUM LOT FRONTAGE (FT)	100	546
MINIMUM FRONT YARD (FT)	30	35
MINIMUM SIDE YARD (FT)	20	30
MINIMUM REAR YARD (FT)	30	N/A
MAXIMUM BUILDING HEIGHT (FT)	60	20
MAXIMUM LOT COVERAGE (%)	N/A	20
MAXIMUM IMPERVIOUS COVERAGE (%)	80	44
MINIMUM OPEN SPACE (%)	20	56

PARKING SUMMARY

BUILDING USES	BUSINESS/OFFICE/ RETAIL (1 : 300SF)	WAREHOUSE (1 : 2 SHIFT EMP. + 1 : 1,000 S.F.)
PARKING REQUIRED	22*	0**
PARKING PROVIDED	22***	0

*6,600 SF OFFICE / 300 = 22 SPACES

**3,931 SF STORAGE = 0 SPACES (NO ADDED EMPLOYEES FOR STORAGE AREAS)

***21 STANDARD & 1 VAN ACCESSIBLE SPACE

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE FOR RESOLUTION.

THE CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, "UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRSI'S "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 308R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

FACE OF GUARDRAILS TO BE LOCATED TWO FEET SIX INCHES (2.5') FROM FACE OF CURB OR BACK OF WALK UNLESS OTHERWISE NOTED.

PAVEMENT REMOVAL WITHIN THE ALDER STREET CUL-DE-SAC-SUBJECT TO MEDWAY DEPT. OF PUBLIC SERVICES APPROVAL.

PROPOSED ROOF TO BE RUBBER TYPE EPDM, TPO OR APPROVED EQUAL.

REVISIONS

NO.	DATE	DESCRIPTION	BY
6	11/03/17	BUILDING REDUCTION	MEB
5	9/14/17	FINAL CONDITIONS	DG
4	8/2/17	RESPONSE TO FINAL COMMENTS	DG
3	7/17/17	RESPONSE TO COMMENTS	MEB
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	RB
1	6/8/17	WETLAND FLAGS	MEB



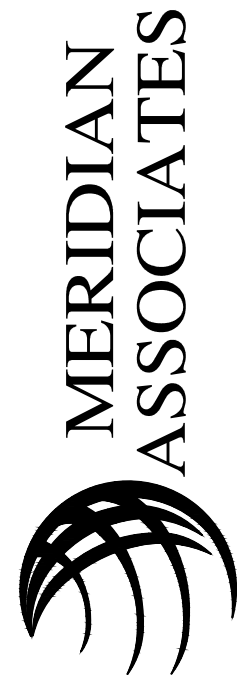
LAYOUT & MATERIALS PLAN
O'BRIEN & SONS CORPORATE OFFICES

17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053

Prepared for:

BOTTLE CAP LOT, LLC
93 West Street

Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 500
BOSTON, MASSACHUSETTS 02115
TELEPHONE: (617) 299-0447

Date:
MAY 23, 2017
(See Revisions)

Scale:

1"=20'

Project No.

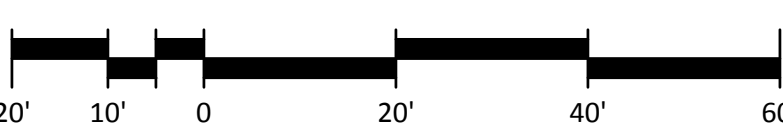
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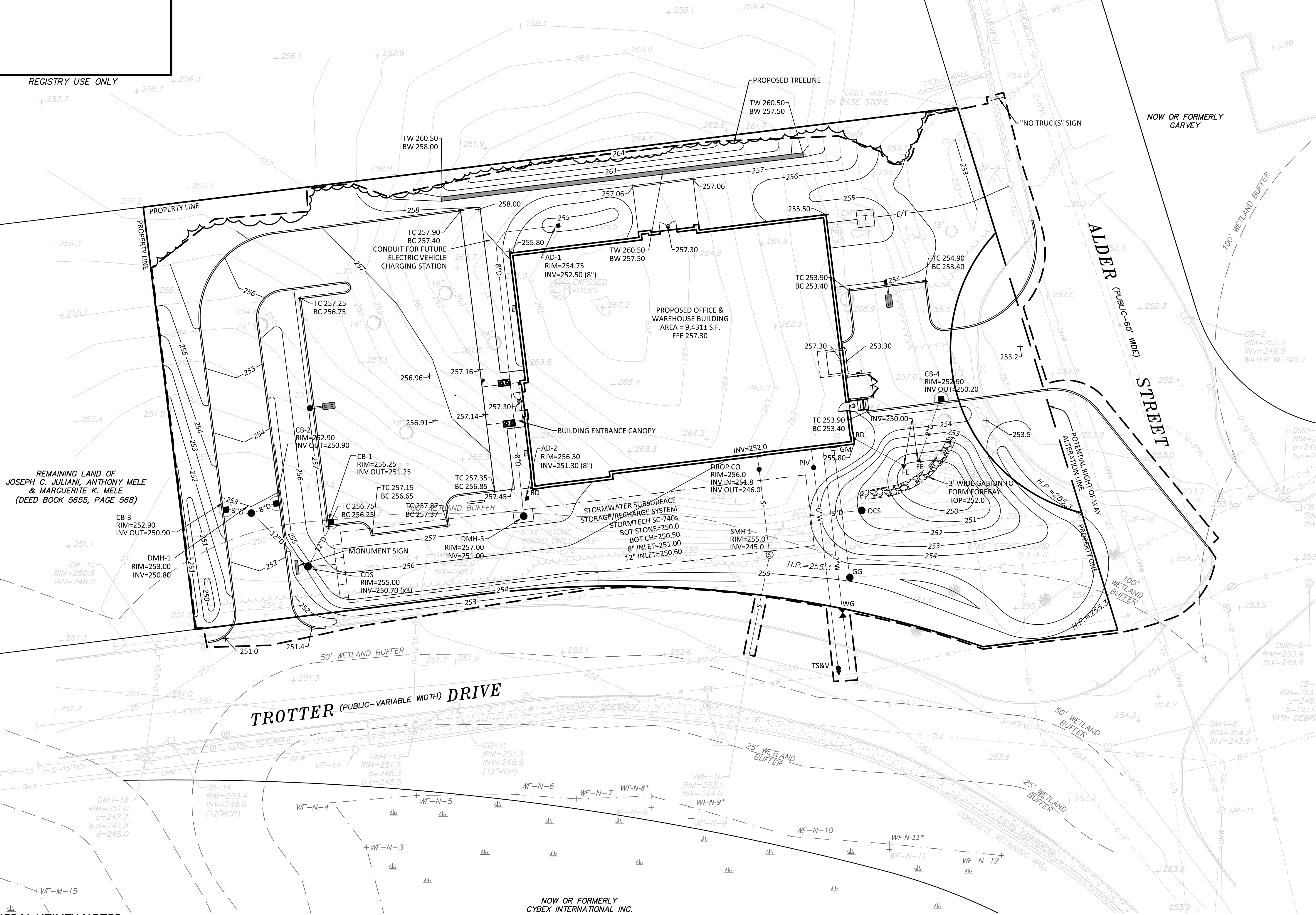
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I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

NOW OR FORMERLY
NEW ENGLAND POWER COMPANY
FOR MERIDIAN ASSOCIATES, INC. DATE



GENERAL UTILITY NOTES:

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL OBTAIN INSTRUCTIONS AND FINAL CONSTRUCTION DETAILS FOR MECHANICAL PADS FROM THE UTILITY COMPANIES.

ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATIONS, LOCATION, ETC., PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK. ALL EXISTING UTILITIES UNCOVERED OR DAMAGED DURING EXCAVATIONS AND CONSTRUCTION SHALL BE PLUGGED, CAPPED, RE-ROUTED OR RELOCATED AS DIRECTED BY THE OWNER SO AS NOT TO INTERRUPT THE OPERATION OF ANY OF THE EXISTING SYSTEMS.

TRENCH FOR PIPE SHALL BE EXCAVATED TO THE REQUIRED LINE AND GRADE AND OF SUFFICIENT WIDTH TO PERMIT THOROUGH TAMPING OF THE FILL MATERIAL UNDER THE HAUNCHES AND AROUND THE PIPE. SOFT OR UNSUITABLE MATERIAL ENCOUNTERED BELOW THE NORMAL BEDDING LINE OF THE PIPE SHALL BE REMOVED AS DIRECTED, REPLACED WITH CRUSHED STONE AND THOROUGHLY COMPACTED. THE BOTTOM OF THE TRENCH SHALL BE SHAPED TO CONFORM TO THE CURVATURE OF THE PIPE AND EXCAVATED FOR THE BELLS OF PIPES. THE TRENCH MAY BE RAISED OR LOWERED ONLY AS APPROVED BY THE ENGINEER. USE CONCRETE OR OTHER APPROVED SUPPORT UNDER EXISTING PIPES PASSING THROUGH THE TRENCH.

PIPE SHALL BE LAID TRUE TO THE SPECIFIED LINES AND GRADES.

NO BACKFILLING OF ANY UTILITY SHALL TAKE PLACE UNTIL ALL NECESSARY INSPECTIONS AND TESTING HAS OCCURRED AND HAS BEEN APPROVED. A COPY OF ALL TEST RESULTS ARE TO BE SUPPLIED TO THE ENGINEER UPON RECEIPT.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

TESTING OF SANITARY SEWERS AND SEWER MANHOLES SHALL BE IN CONFORMANCE WITH ALL TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS.

INSTALLATION AND MATERIALS OF DATA/COMMUNICATION AND ELECTRICAL SUPPLY DUCT BANKS AND MANHOLES SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

THE CONTRACTOR SHALL COORDINATE ALL WORK ON UTILITY DUCTS WITH THE APPROPRIATE UTILITY COMPANY INCLUDING WORK BY UTILITY COMPANY FORCES, SERVICE CONNECTIONS AND INSPECTIONS.

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND ASASTO H520-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC. MUST BE WATERTIGHT. BITUMINOUS DAMP-PROOFING SHALL BE PROVIDED ON THE EXTERIOR WALLS OF ALL SANITARY SEWER AND WATER QUALITY INLET STRUCTURES.

UTILITY / MANHOLE INSTALLATIONS SHALL CONFORM TO UTILITY COMPANY REQUIREMENTS.

ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE FULL RESPONSIBILITY AND COST/EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAKE APPLICATION FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THE PROJECT UTILITIES.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

INSULATE SANITARY PIPE WHERE INVERT DEPTH IS LESS THAN (4) FEET BELOW FINISHED GRADE.

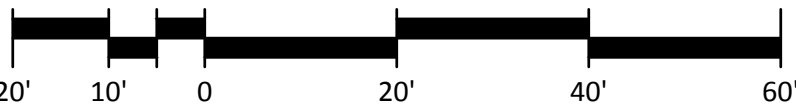
EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

CAP ALL PROPOSED UTILITY STUBS AS APPROPRIATE.



SCALE: 1" = 20'



LEGEND:

SEE SHEET C-3 FOR LEGEND

NOTE:

SITE IS LOCATED WITHIN A ZONE II/GROUNDWATER PROTECTION DISTRICT

GRADING NOTES:

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ALL SITEWORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT.

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK. THIS WORK IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. TEST PITS SHALL BE BACKFILLED, AS SOON AS THE DESIRED INFORMATION HAS BEEN OBTAINED.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE FELLING, CUTTING AND OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADES.

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED. THE CONTRACTOR SHALL BEAR THE FULL COST OF PROVIDING ALL NECESSARY DEWATERING.

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH THE SWPPP AND WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS. ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY INSTALLATION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RE-GRADED AND RESTORED AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

THE CONTRACTOR SHALL REMOVE, AND LEGALLY DISPOSE OF, ALL EXCAVATED MATERIAL CLASSIFIED AS SURPLUS OR UNSATISFACTORY FROM THE SITE.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR BOULDERS ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

DRAINAGE NOTES:

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

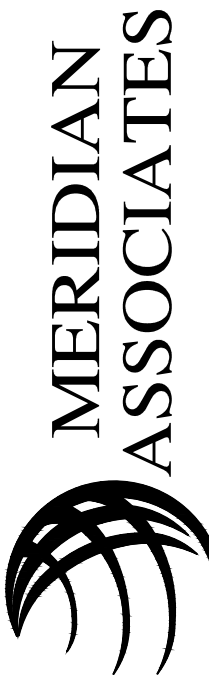
INSTALL PIPE AND FLARED ENDS IN STRICT ACCORDANCE WITH PIPE MANUFACTURER INSTRUCTIONS.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

REVISIONS					
NO.	DATE	DESCRIPTION	BY	CHKD.	
6	11/03/17	BUILDING REDUCTION	DG	WEB	
5	9/4/17	FINAL CONDITIONS	DG	WEB	
4	8/2/17	RESPONSE TO FINAL COMMENTS	DG	WEB	
3	7/17/17	RESPONSE TO COMMENTS	RB	WEB	
2	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	RB	WEB	
1	6/8/17	WETLAND FLAGS	RB	WEB	



GRADING, DRAINAGE & UTILITIES PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



90 CUMMINGS CENTER, SUITE 500
WEST BOSTON, MASSACHUSETTS 02126
TELEPHONE: (617) 299-0447

Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-3

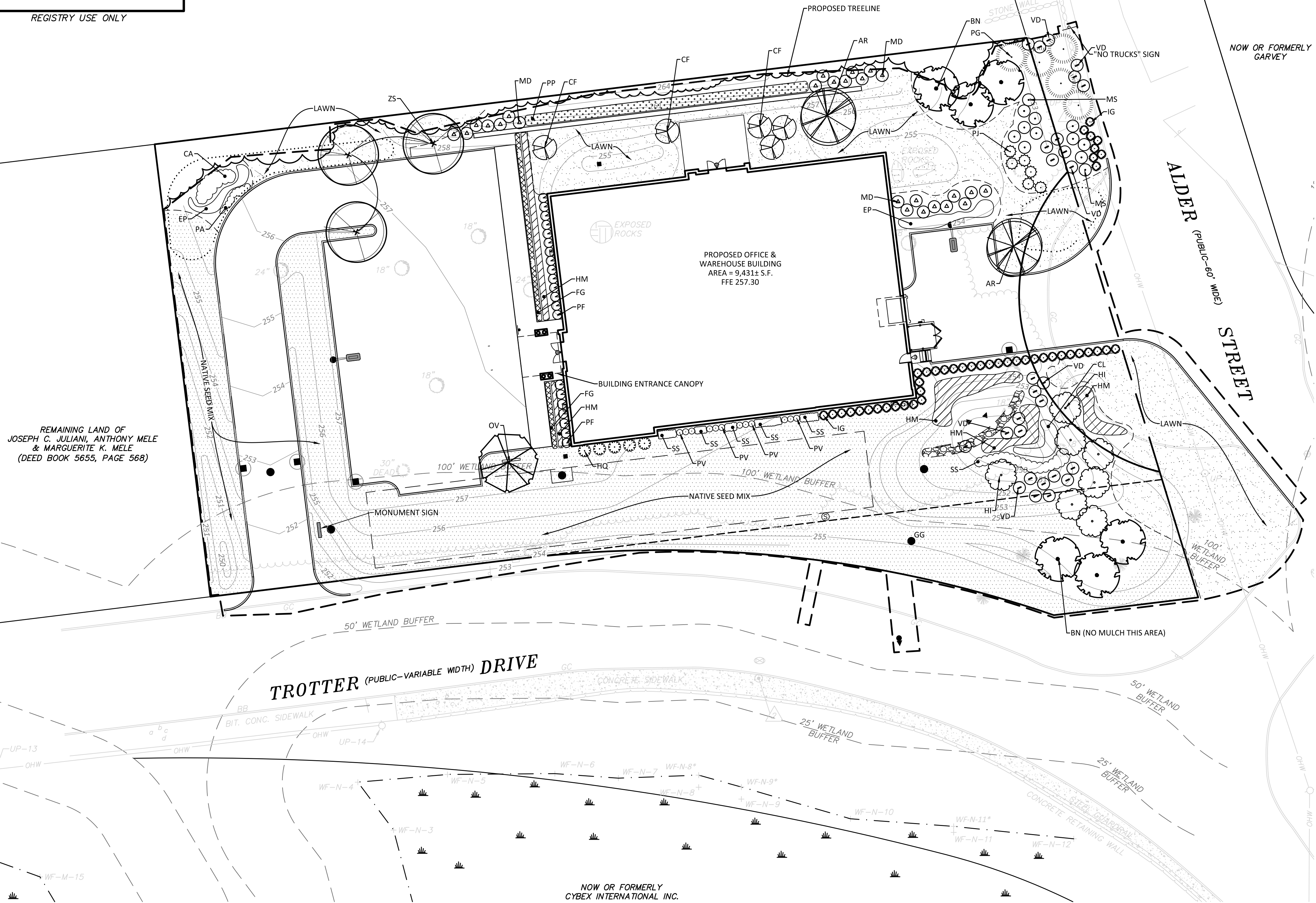
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I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

NOW OR FORMERLY
NEW ENGLAND POWER COMPANY

FOR MERIDIAN ASSOCIATES, INC. DATE

REGISTRY USE ONLY



PROPOSED LEGEND

LIMIT OF WORK LINE

SHRUBS, PERENNIALS, GROUNDCOVERS & VINES

EVERGREEN, SHADE & ORNAMENTAL TREES

PLANT SCHEDULE

TREES				
QTY	SYM	LATIN NAME	COMMON NAME	SIZE
	AR	Acer rubrum	Red Maple	3"-3.5" Cal., B&B
	BN	Betula nigra	River Birch	10'-12' Ht., B&B
	CF	Cornus florida	Flowering Dogwood	2"-2.5" Cal., B&B
	OV	Ostrya virginiana	Eastern Hop Hornbeam	2.5"-3" Cal., B&B
	PG	Picea glauca 'Conica'	Conical White Spruce	3.5'-4' Ht., #10 Pot,
	ZS	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2.5" Cal. B&B
SHRUBS				
	CB	Cornus sericea 'Bud's Yellow'	Bud's Yellow Redosier Dogwood	24"-30" Ht., #3 Pot
	CF	Cornus sericea 'Farrow' Artic Fire	Artic Fire Redosier Dogwood	24"-30" Ht., #3 Pot
	HI	Hamamelis x intermedia 'Arnold Promise'	Arnold Promise Witch Hazel	24"-30" Ht., #10 Pot
	HQ	Hydrangea quercifolia 'Flemygea'	Snow Queen Oakleaf Hydrangea	30"-36" Ht., B&B
	IG	Ilex glabra 'Shamrock'	Shamrock inkberry	24"-30" Ht., B&B
	PJ	Pieris japonica 'Mountain Fire'	Mountain Fire Andromeda	24"-30" Ht., #3 Pot
	PF	Potentilla fruticosa	Shrubby Cinquefoil	18"-24" Ht., #3 Pot
	VD	Viburnum dentatum	Arrowwood Viburnum	36"-60" Ht., #7 Pot
GROUNDCOVER				
	EP	Echinacea purpurea	Purple Coneflower	#1 Pot
	HM	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 Pot
	MD	Microbiota decussata	Russian Cypress	#5 Pot
	PP	Phlox paniculata 'Bright Eyes'	Bright Eyes Phlox	#1 Pot
ORNAMENTAL GRASSES				
	CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#2 Pot
	CL	Chasmanthium latifolium	Northern Sea Oats	#1 Pot
	FG	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 Pot
	MS	Miscanthus Sinensis 'Gracillimus'	Maiden Grass	#3 Pot
	PV	Panicum virgatum 'Northwind'	Northwind Switchgrass	#3 Pot
	PA	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass	#2 Pot
	SS	Schizachyrium scoparium	Little Bluestem	#2 Pot

ABBREVIATIONS:
B&B: BALL AND BURLAP
CAL: CALIPER
DR: DEER RESISTANT
DT: DROUGHT TOLERANT
N: NATIVE
OC: ON CENTER
ST: SALT TOLERANT

LANDSCAPE NOTES

SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.

ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.

ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES.

PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.

PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.

ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE PROVIDED TO CONTRACTOR BY OWNER OR HIS REPRESENTATIVE.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE.

ALL PLANT MATERIALS ARE INTENDED TO BE DROUGHT TOLERANT ONCE ESTABLISHED.

REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO PARAMETERS LISTED BELOW. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.

PLANTING MIX: MIX THE SPECIFIED MATERIALS IN THE FOLLOWING PROPORTIONS:
3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.

PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL DISTURBED AREAS, TURFGRASS LAWN AREAS AND PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE. SCARIFY SUBGRADE TO A DEPTH OF 2" BEFORE PLACING TOPSOIL.

SEED OR PROVIDE SOD FOR ALL TURFGRASS LAWN AREAS WITH A DROUGHT TOLERANT TURFGRASS SEED MIX (80% TALL FESCUE, 10% PERENNIAL RYEGRASS, 10% KENTUCKY BLUEGRASS).

CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN.

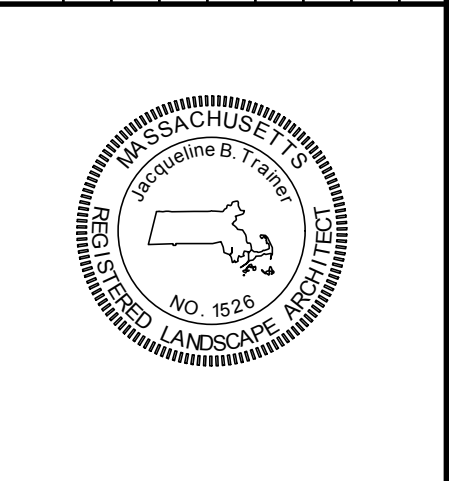
NATIVE SEED MIX SHALL BE "NEW ENGLAND NATIVE WARM SEASON GRASS MIX" AS SUPPLIED FROM NEW ENGLAND WETLAND PLANTS, WWW.NEWP.COM. SPECIES INCLUDED: LITTLE BLUESTEM, (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM, (ANDROPOGON GERARDII), VIRGINIA WILD RYE, (ELYMUS VIRGINICUS), INDIAN GRASS, (SORGHASTRUM NUTANS), CREEPING RED FESCUE, (FESTUCA RUBRA), SWITCH GRASS, (PANICUM VIRGATUM).



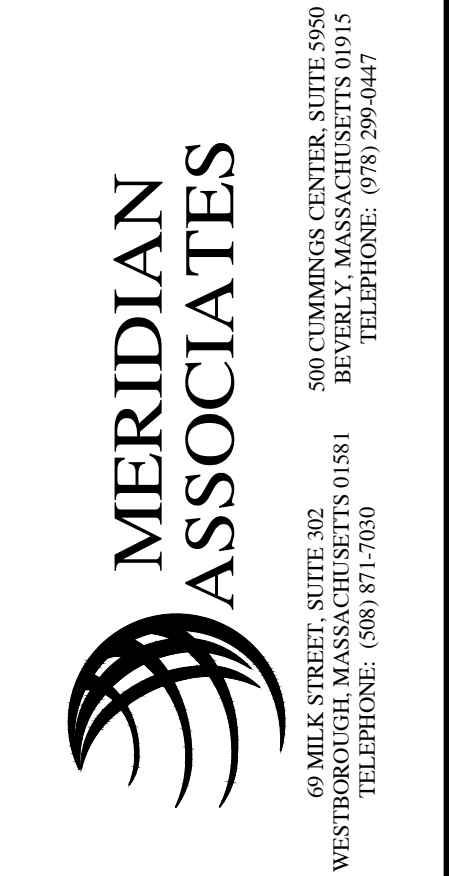
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REVIEWS		REVISIONS		DESCRIPTION	
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LANDSCAPE PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
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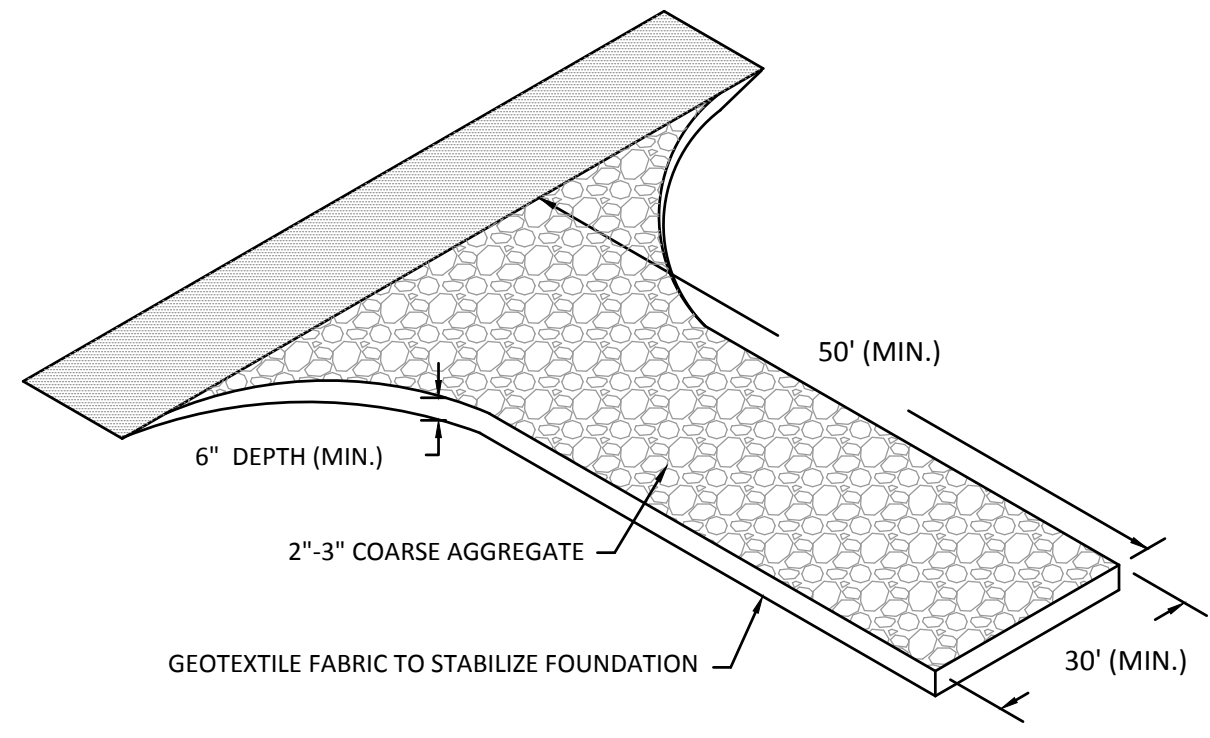
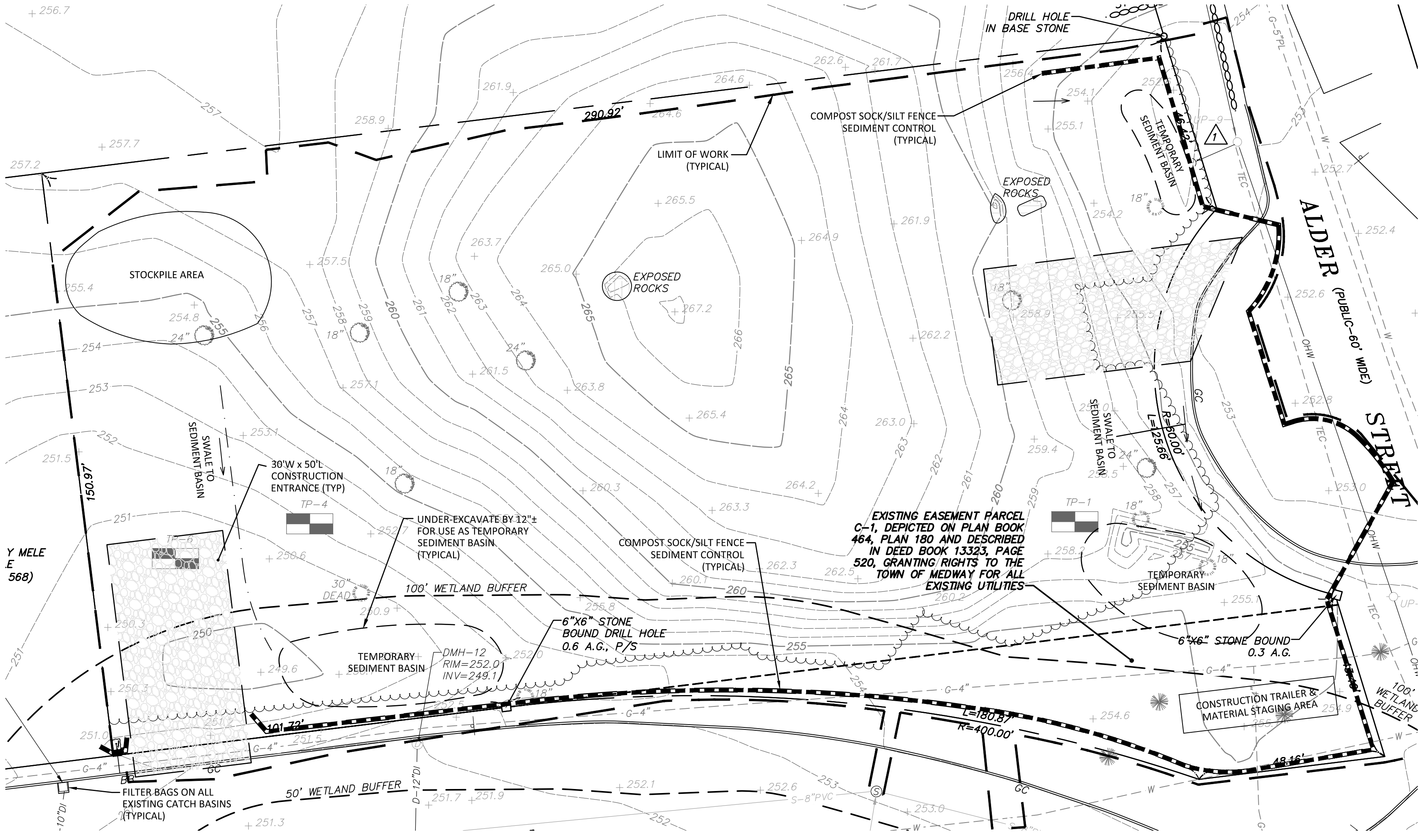
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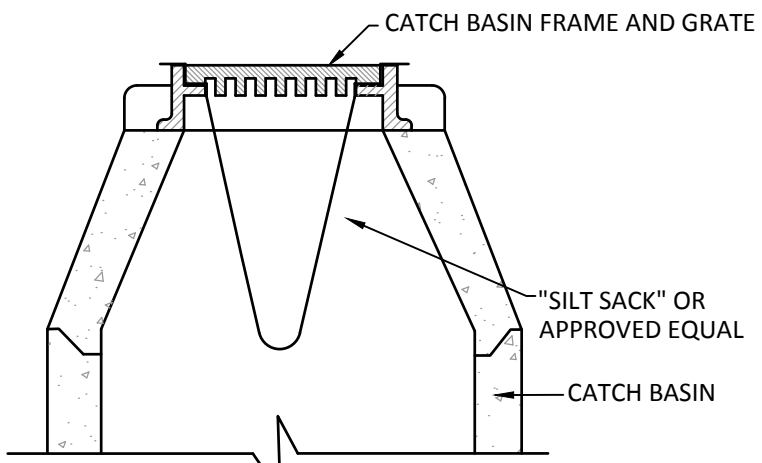
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FOR MERIDIAN ASSOCIATES, INC. DATE

REGISTRY USE ONLY

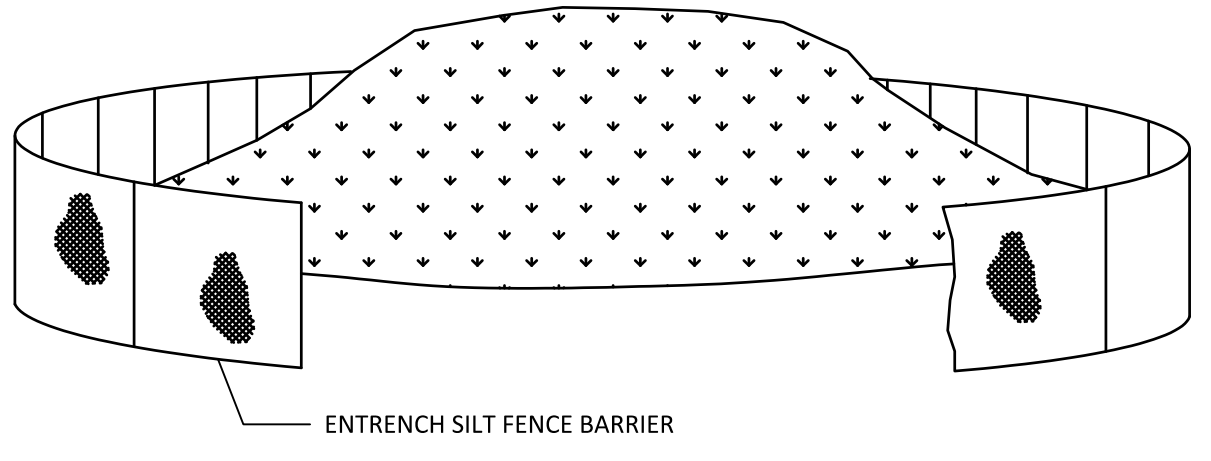


CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)



- NOTES:
1. TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
 2. BOOT ADAPTER MAY BE TRIMMED TO SIZE.

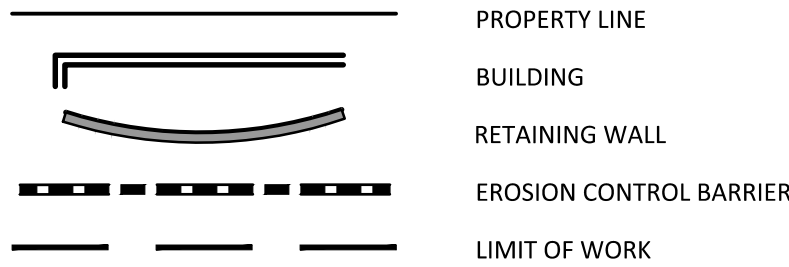
FILTER BAG
(NOT TO SCALE)



- NOTES:
1. LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
 2. STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
(NOT TO SCALE)

PROPOSED CONDITIONS LEGEND



EROSION CONTROL AND STABILIZATION PROGRAM

THE CONTRACTOR SHALL IMPLEMENT THE SWPPP FOR THE PROJECT INCLUDING INSTALLATION AND MAINTENANCE OF ALL CONTROL MEASURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN INCLUDING EROSION CONTROL BARRIERS, ANTI-TRACKING PADS AND OTHER EROSION AND SEDIMENTATION CONTROLS, STORMWATER MANAGEMENT CONTROLS, SOLID WASTE CONTROLS AND SPILL PREVENTION CONTROLS.

THE LOCATION OF EROSION CONTROL BARRIERS AND SEDIMENTATION AND POLLUTION CONTROL SYSTEMS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS. OTHER MEASURES MAY BE WARRANTED BASED UPON EXPERIENCE AT THE SITE. WHEN NO SEDIMENTATION CONTROL SYSTEM IS SHOWN ON THE DRAWING, THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH A SYSTEM TO PREVENT SILTATION OR POLLUTION OF ADJACENT PROPERTY, WETLANDS OR BUFFER ZONES. THE SYSTEMS SHOWN SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PLACING ADDITIONAL BARRIERS OR REPLACING BARRIERS AS REQUIRED BY SITE CONDITIONS. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THESE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AS CONSTRUCTION PROGRESSES AND SEASONAL CONDITIONS DICTATE, MORE SILTATION CONTROL FACILITIES MAY BE REQUIRED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS NEW CONDITIONS THAT MAY BE CREATED.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ON THE SITE, THE OWNER SHALL DESIGNATE AN EROSION CONTROL INSPECTOR TO SERVE DURING THE CONSTRUCTION PROCESS WITH RESPONSIBILITIES IN ACCORDANCE WITH THE SWPPP.

ALL SLOPES WITH SURFACE GRADES EQUAL TO OR STEEPER THAN 3:1 SHALL BE STABILIZED WITH JUTE MATTING.

REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE CONSTRUCTED, CLEARLY VISIBLE, AND IN OPERATION PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME DURING THE CONSTRUCTION PERIOD.

TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS AND ANY DENUDDED SURFACE WHICH WILL BE EXPOSED FOR A PERIOD OF ONE MONTH OR MORE SHALL BE CONSIDERED CRITICAL STABILIZATION AREAS. THESE AREAS SHALL BE MULCHED WITH STRAW. MULCH SHALL BE SPREAD UNIFORMLY IN A CONTINUOUS BLANKET OF SUFFICIENT THICKNESS TO COMPLETELY HIDE THE SOIL FROM VIEW.

SEDIMENT CONTROL MEASURES SHALL BE PROVIDED AROUND ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES AS DETAILED ON THE DRAWINGS OR AS REQUIRED TO PREVENT SEDIMENTATION.

HAYBALE CHECK DAMS ARE TO BE PROVIDED ON TWO HUNDRED (200) FOOT SPACING WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.

HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SILTATION CONTROLS. THE CONTRACTOR SHALL NOT REMOVE ANY SILTATION CONTROLS UNTIL AUTHORIZED (IN WRITING) BY THE OWNER OR HIS REPRESENTATIVE.

THE CONTRACTOR SHALL HAVE, AT THE START OF SOIL DISTURBANCE AN ADEQUATE RESERVE OF SILT FENCE AND HAY BALES IN GOOD CONDITION, AND SUFFICIENT STAKES FOR STAKING THESE BALES.

DENUDDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOADING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK AND STABILIZED TO PREVENT EROSION. STABILIZED CONSTRUCTION ACCESS PADS SHALL BE INSTALLED AT ALL CONSTRUCTION DRIVEWAYS ONTO THE PUBLIC WAYS TO PREVENT THE TRACKING OF SEDIMENT OFF-SITE.

ANY SEDIMENTATION OR EROSION DAMAGE CAUSED AS A RESULT OF THIS PROJECT TO ANY WETLAND RESOURCE AREAS OR IDENTIFIED WETLAND BUFFER ZONES BEYOND THE LIMIT OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND RESTORE AT NO COST TO THE OWNER. IF SEDIMENT REACHES THESE AREAS, THE OWNER SHALL BE CONTACTED IMMEDIATELY BY THE CONTRACTOR. A PLAN FOR ABATEMENT OF THE PROBLEM AND RESTORATION SHALL BE PREPARED BY THE CONTRACTOR AS SOON AS POSSIBLE.

EROSION CONTROL BARRIER SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS REQUESTED BY THE OWNER OR HIS REPRESENTATIVE TO ADDRESS FIELD CONDITIONS.

ALL POINTS OF CONSTRUCTION EGRESS AND INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.

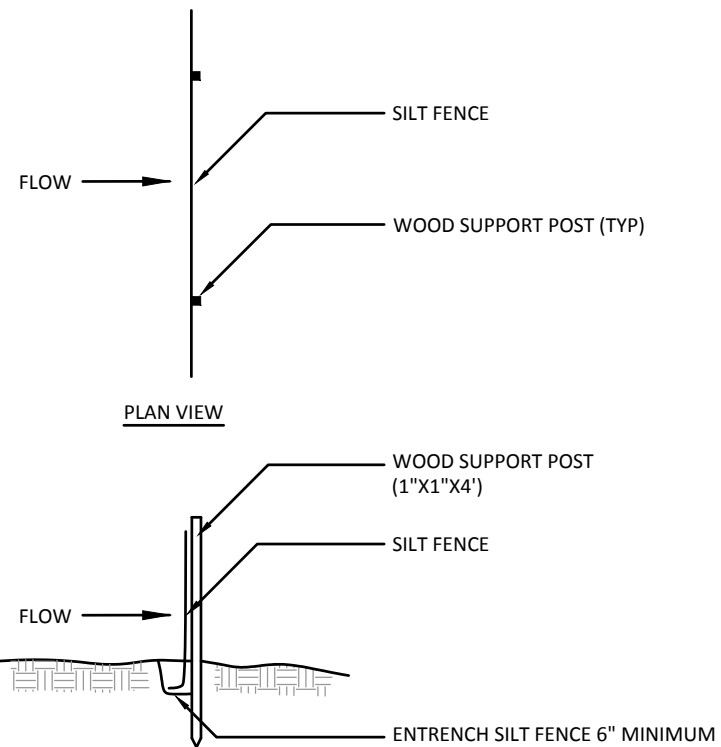
DEWATERING ACTIVITIES SHALL BE CONDUCTED SUCH THAT ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA (MINIMUM 125 FEET FROM ANY WETLAND RESOURCE AREA) AND DISCHARGED INTO HAY BALE CORRALES OR SEDIMENTATION BAGS.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ORDER OF CONDITIONS DEP FILE # (TBD) ISSUED FOR THE PROJECT. EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG EDGE OF PROPOSED DEVELOPMENT AS SHOWN ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS AND AFTER EACH STORM EVENT OF 0.5 INCH OR GREATER DURING CONSTRUCTION TO INSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION BARRIERS ARE INTACT.

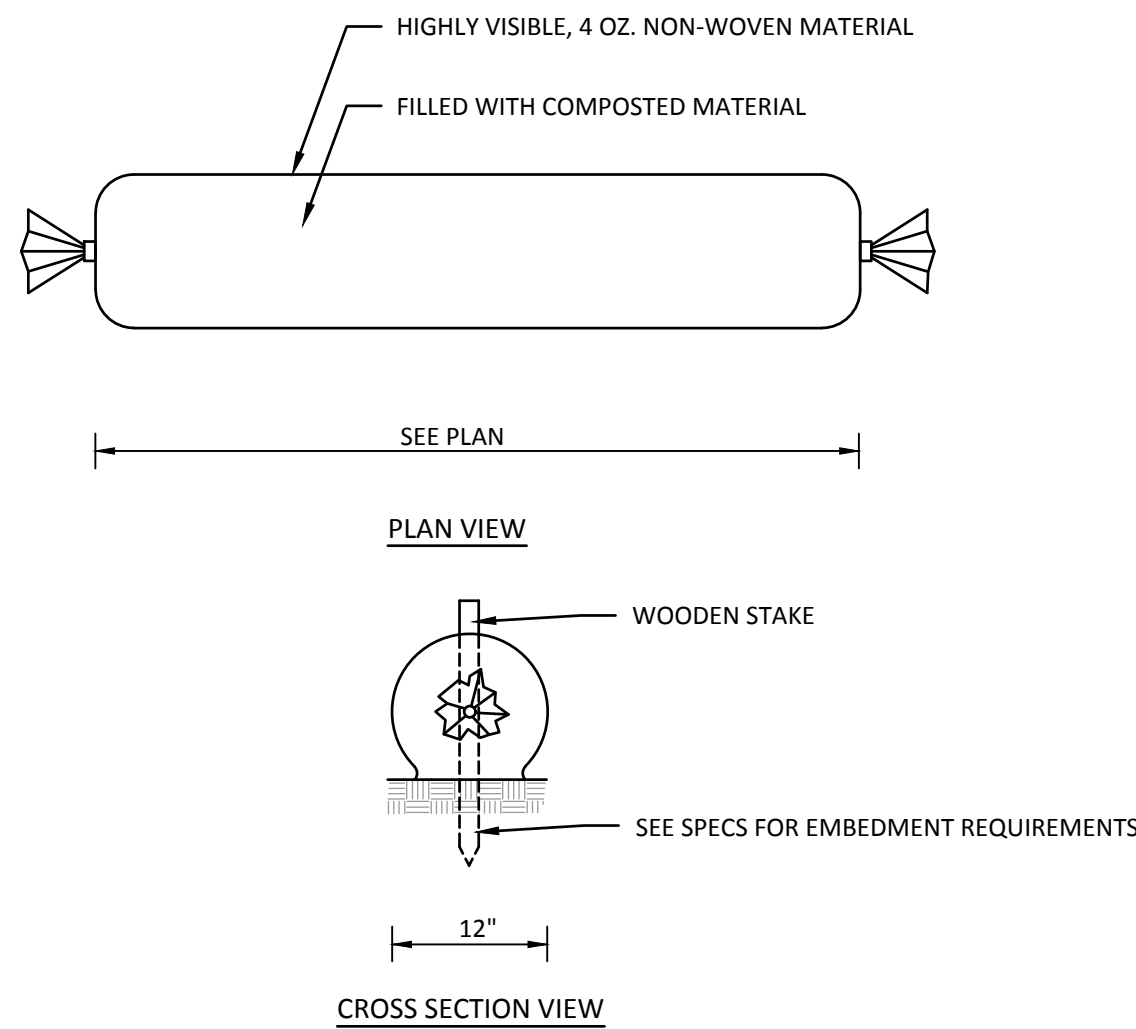
SANITARY WASTES GENERATED DURING CONSTRUCTION WILL BE DISPOSED OFFSITE BY AN APPROVED LICENSED WASTE HAULER.

CONSTRUCTION SITE WASTE MATERIALS WILL BE PROPERLY STORED ON SITE AND DISPOSED OFFSITE AT A LOCATION IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.



NOTE: WOOD SUPPORT POST TO BE DRIVEN 18\"/>

SILT FENCE BARRIER (SFB)
(NOT TO SCALE)



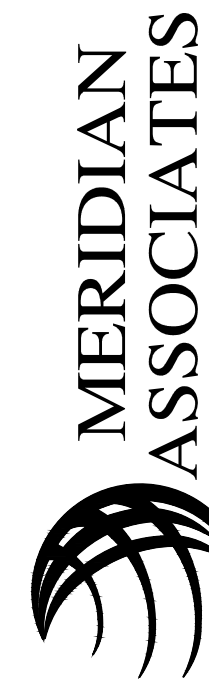
NOTE: THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)

REVISONS		REVISIONS		DATE		DESCRIPTION	
		NO.	DATE	BY	CHKD.		
6	11/03/17	6	11/03/17	MEB		BUILDING REDUCTION	DG
5	9/1/17	5	9/1/17	MEB		FINAL CONDITIONS	DG
4	8/2/17	4	8/2/17	MEB		RESPONSE TO FINAL COMMENTS	DG
3	7/17/17	3	7/17/17	MEB		RESPONSE TO COMMENTS	RB
2	7/16/17	2	7/16/17	MEB		LAYOUT CHANGE / TOWN COMMENTS	RB
1	6/8/17	1	6/8/17	MEB		WETLAND FLAGS	RB



SOIL EROSION AND SEDIMENTATION CONTROL PLAN & DETAILS
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 500
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 717-1800

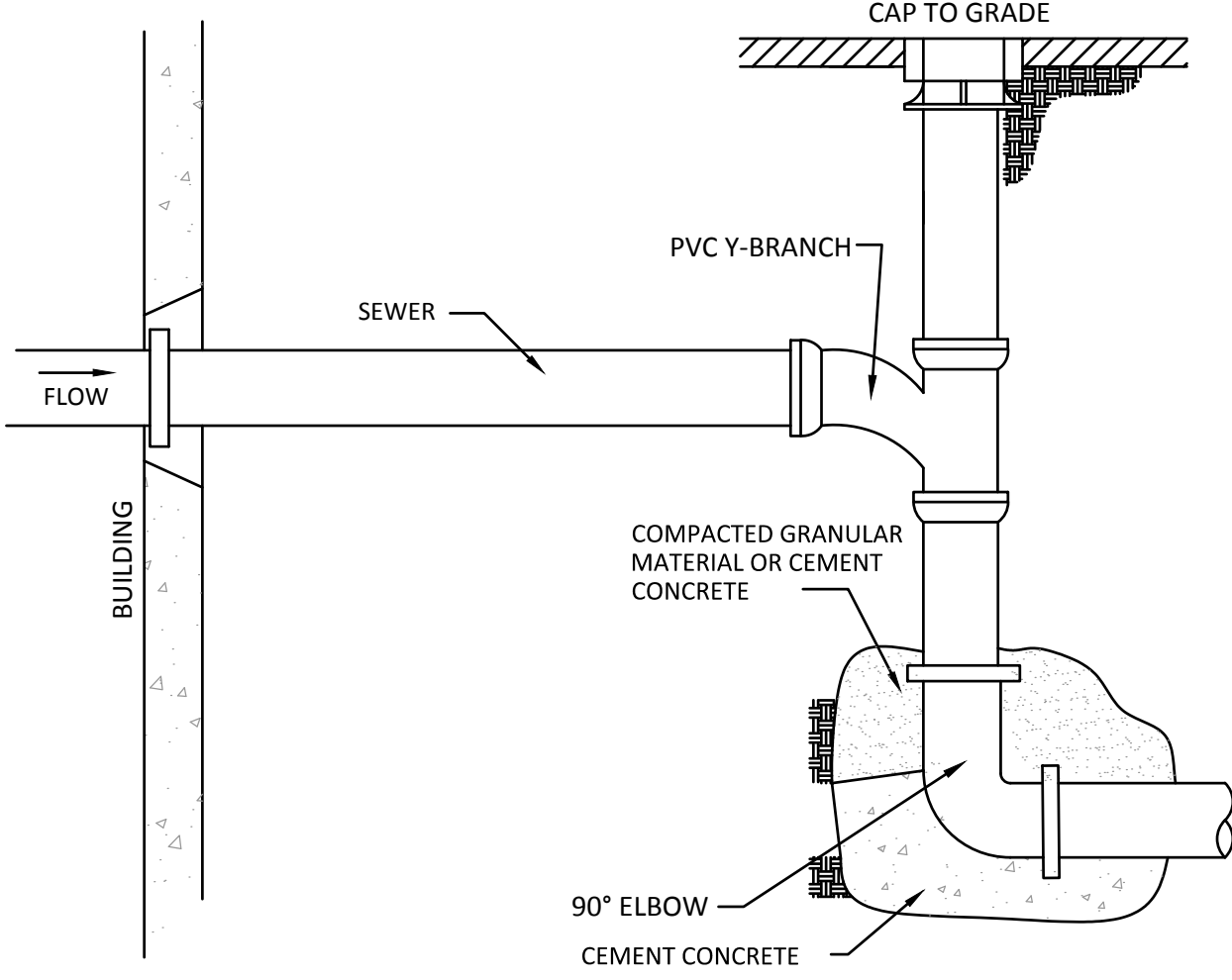
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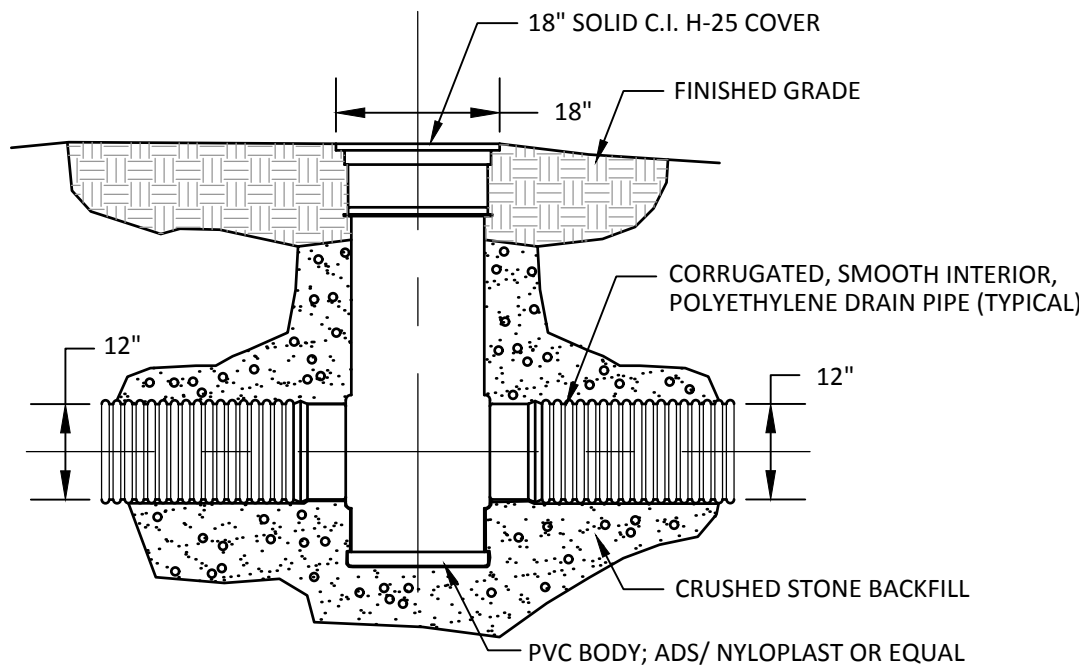
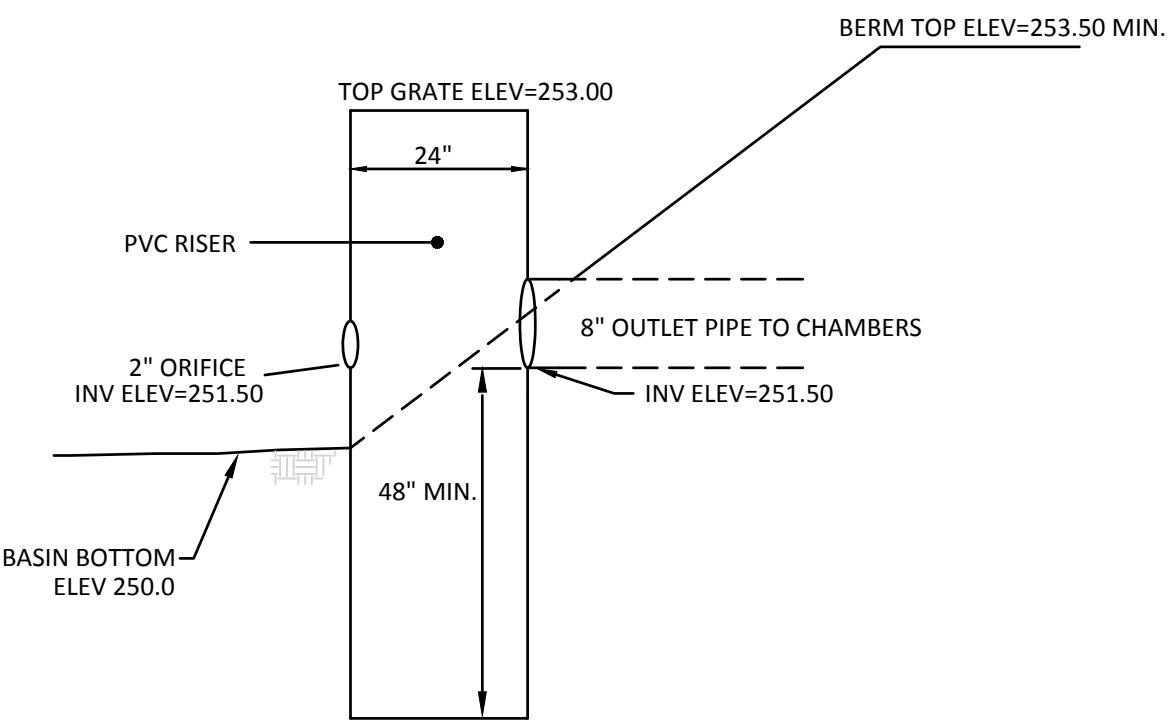
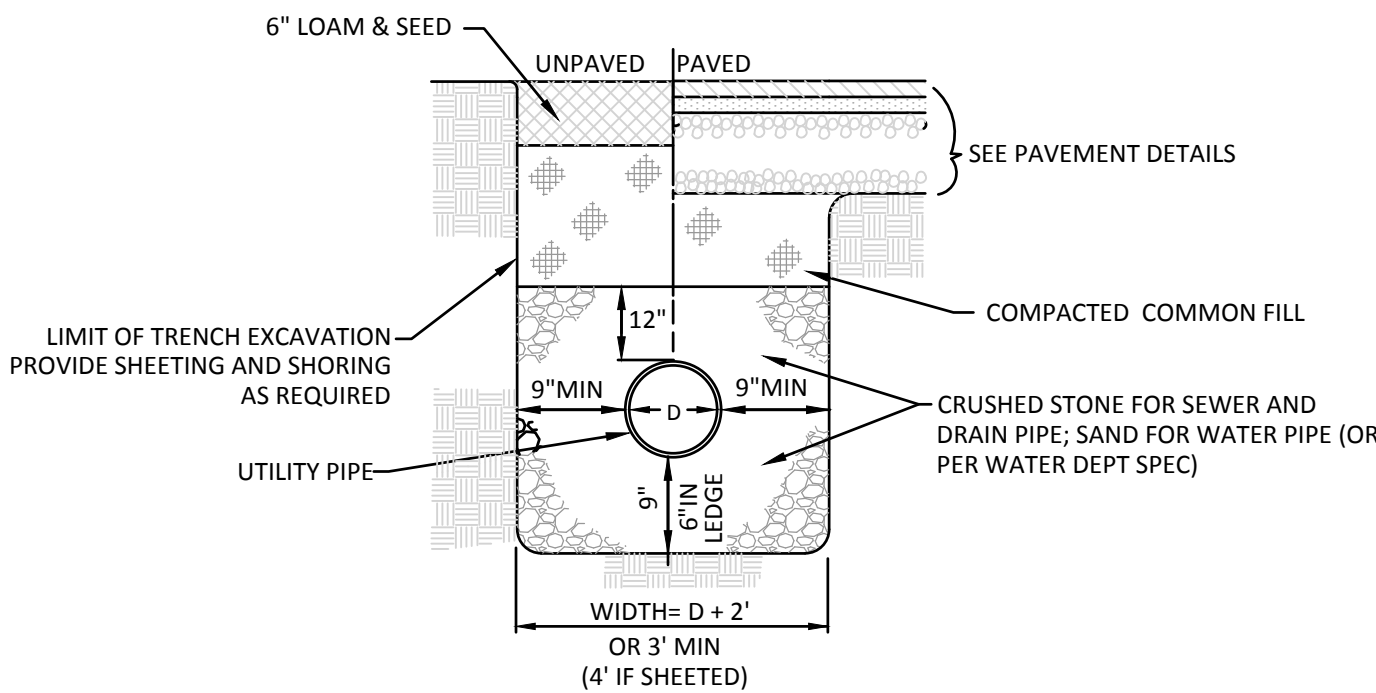
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FOR MERIDIAN ASSOCIATES, INC. DATE

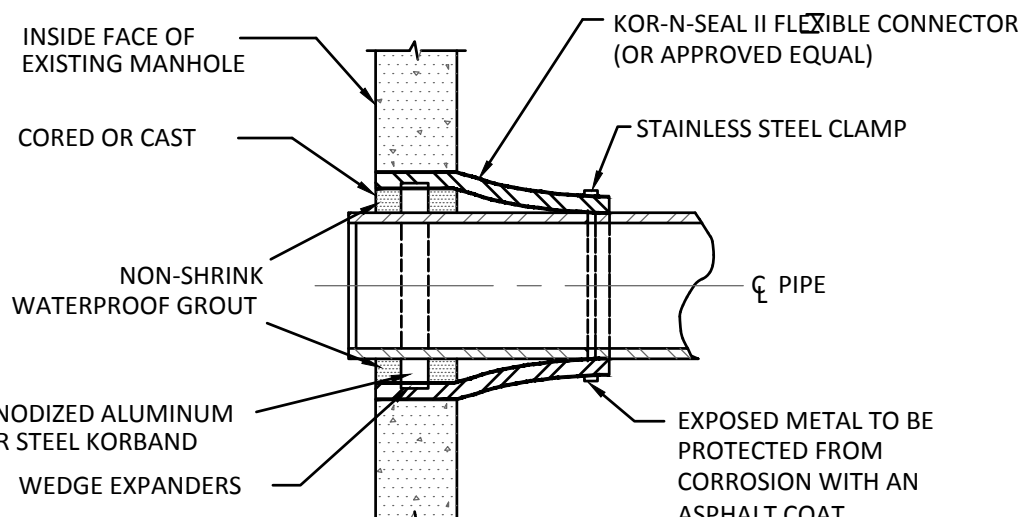
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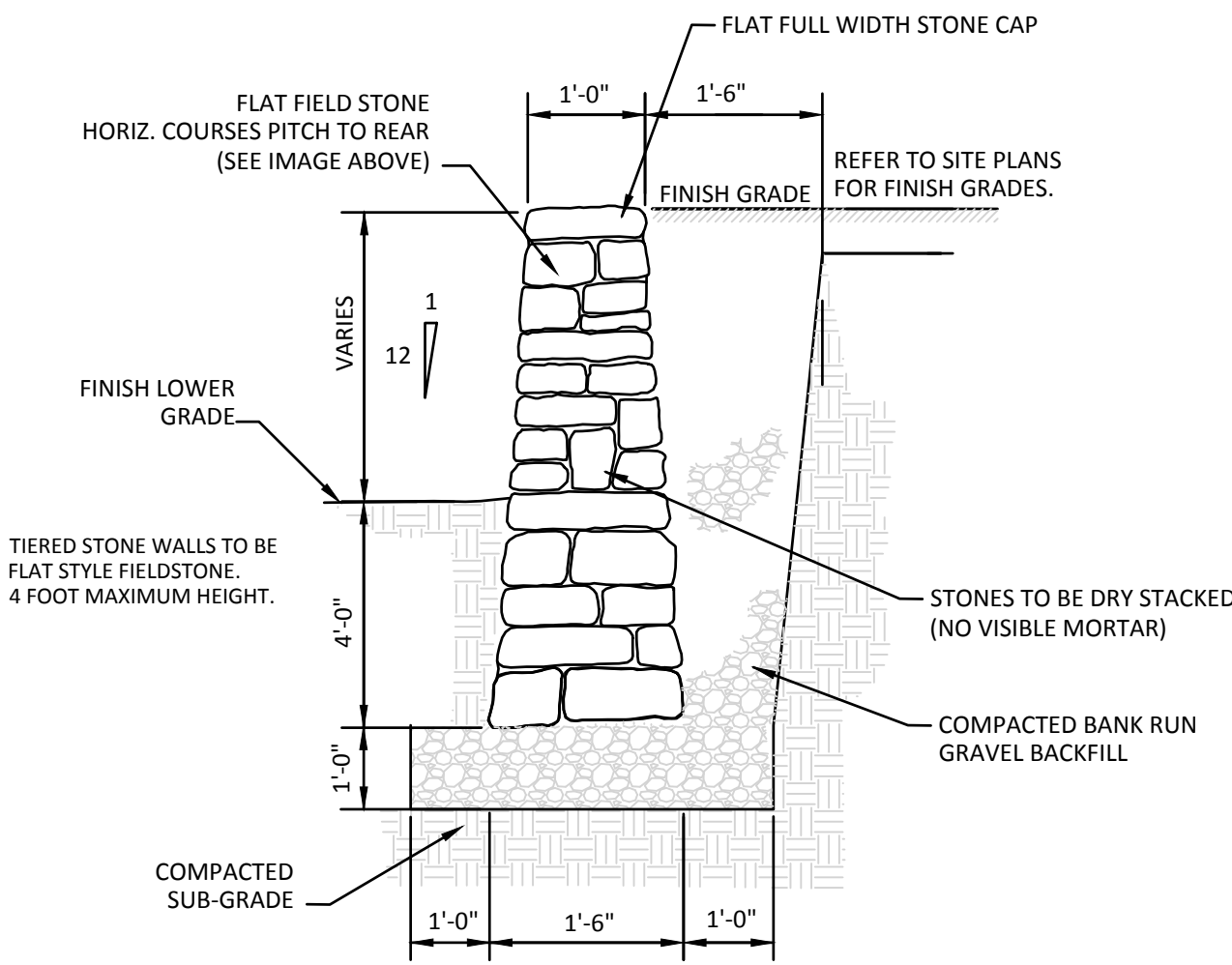
TRENCH WIDTH (W)		
D	W	W
DIAMETER OF PIPE	UNSHEETED	SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'



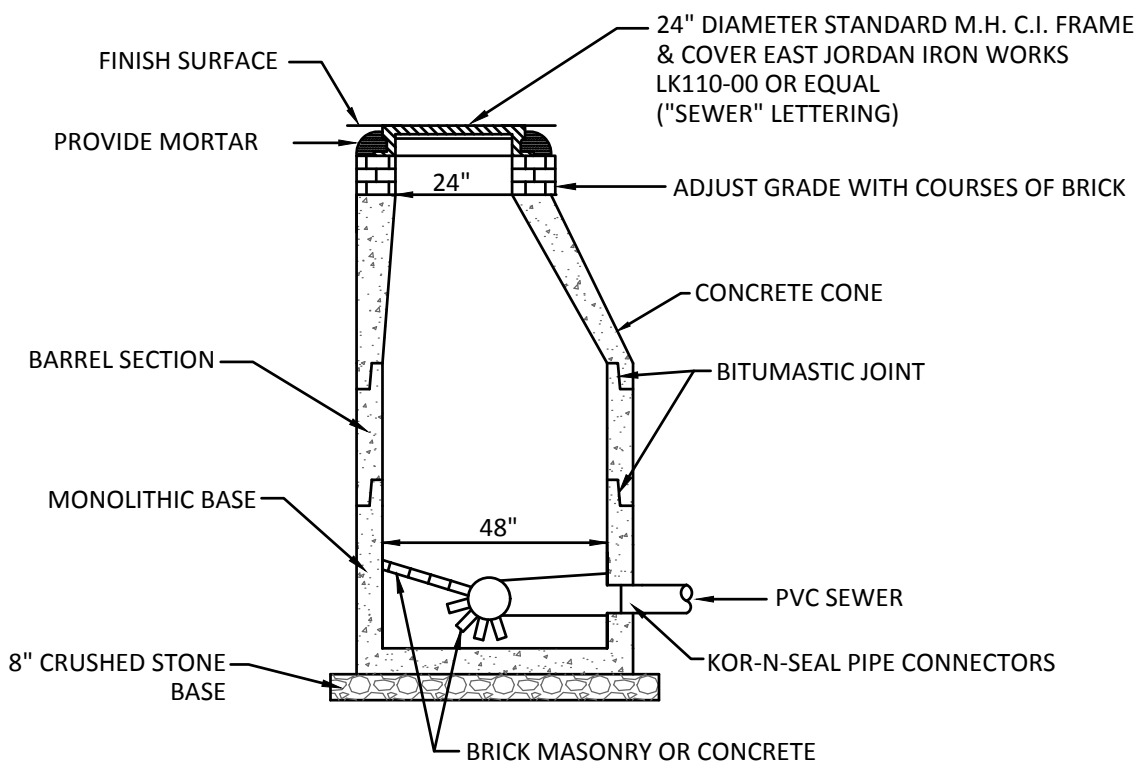
CLEAN OUT DETAIL
(NOT TO SCALE)



MANHOLE AND PUMP STATION
CONNECTION DETAIL
(NOT TO SCALE)

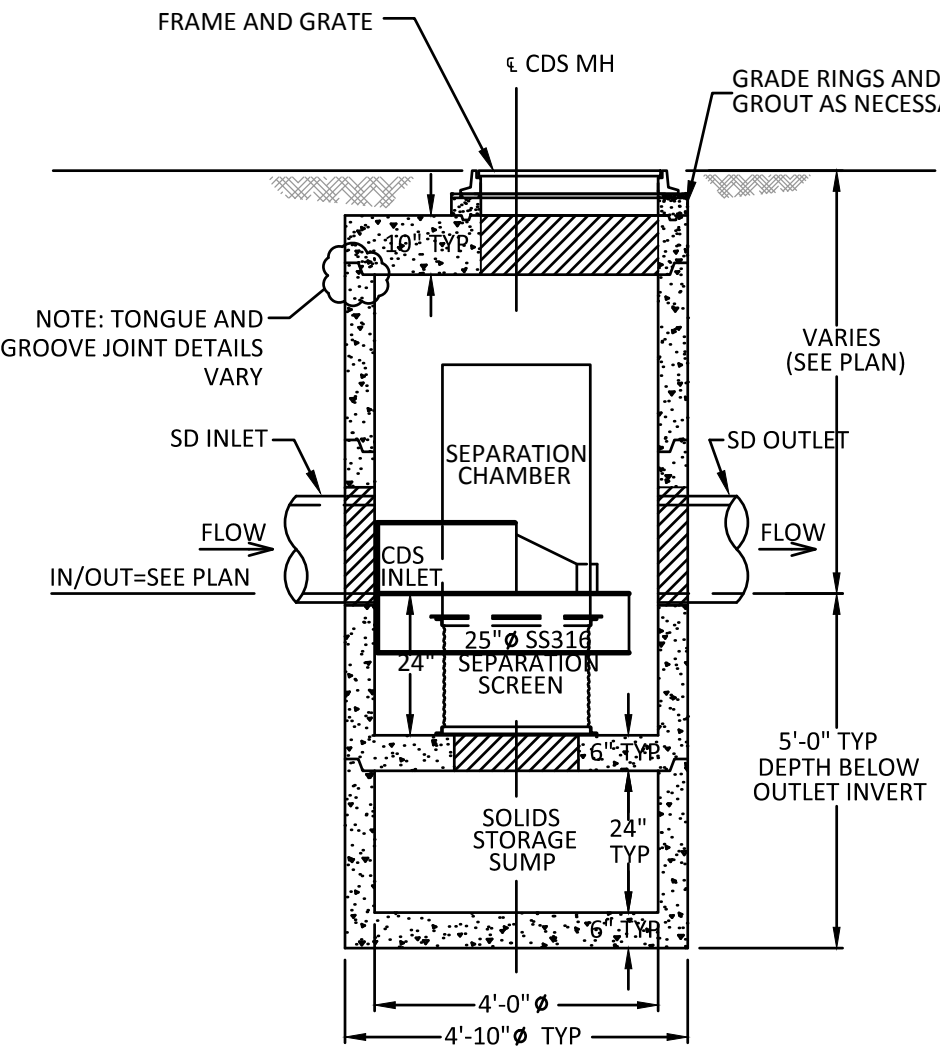


STONE RETAINING WALL
(NOT TO SCALE)

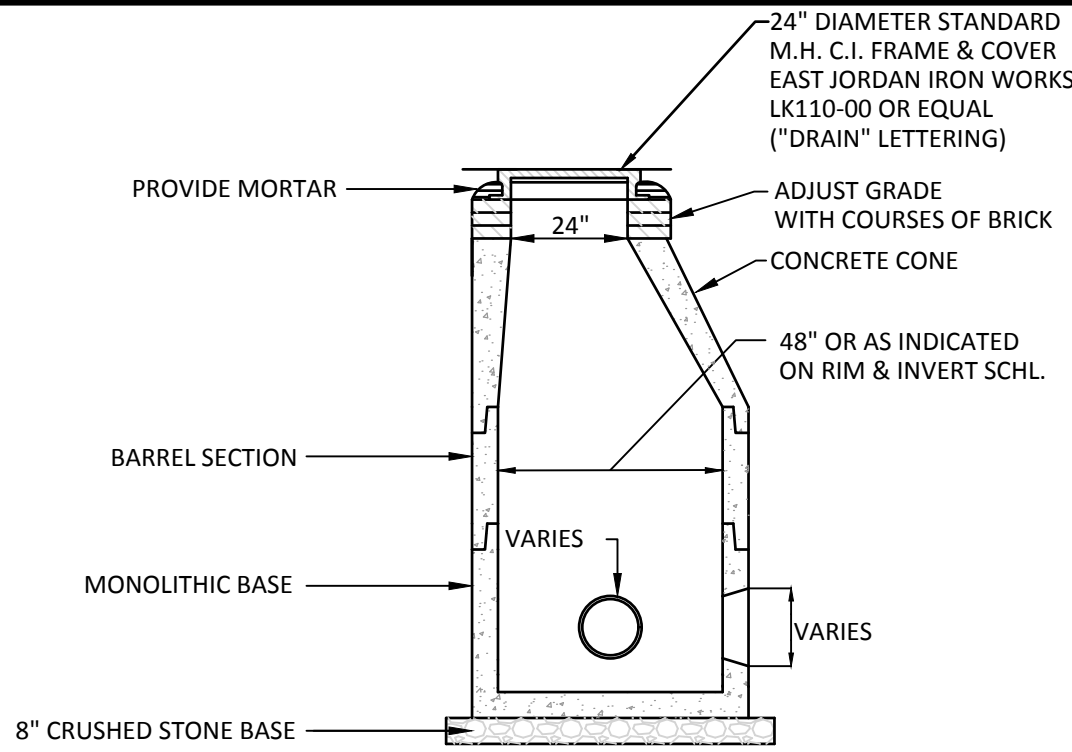


- NOTES:
1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH-4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS-STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

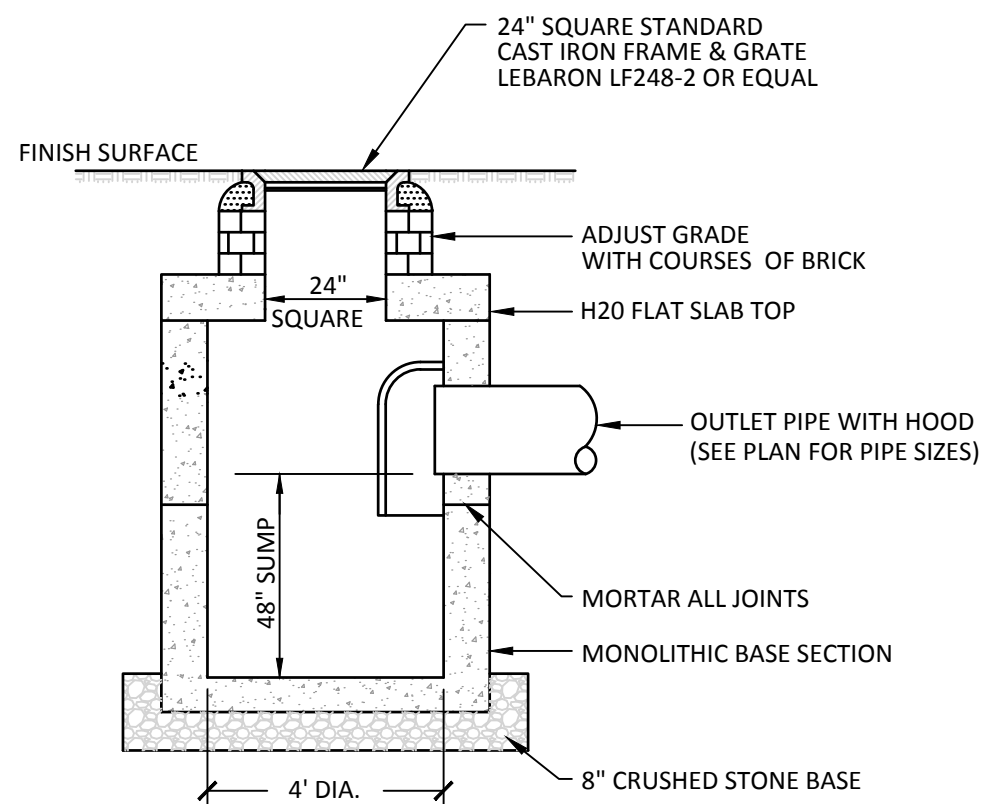


CONTINUOUS DEFLECTIVE SEPARATOR (CDS)
(NOT TO SCALE)



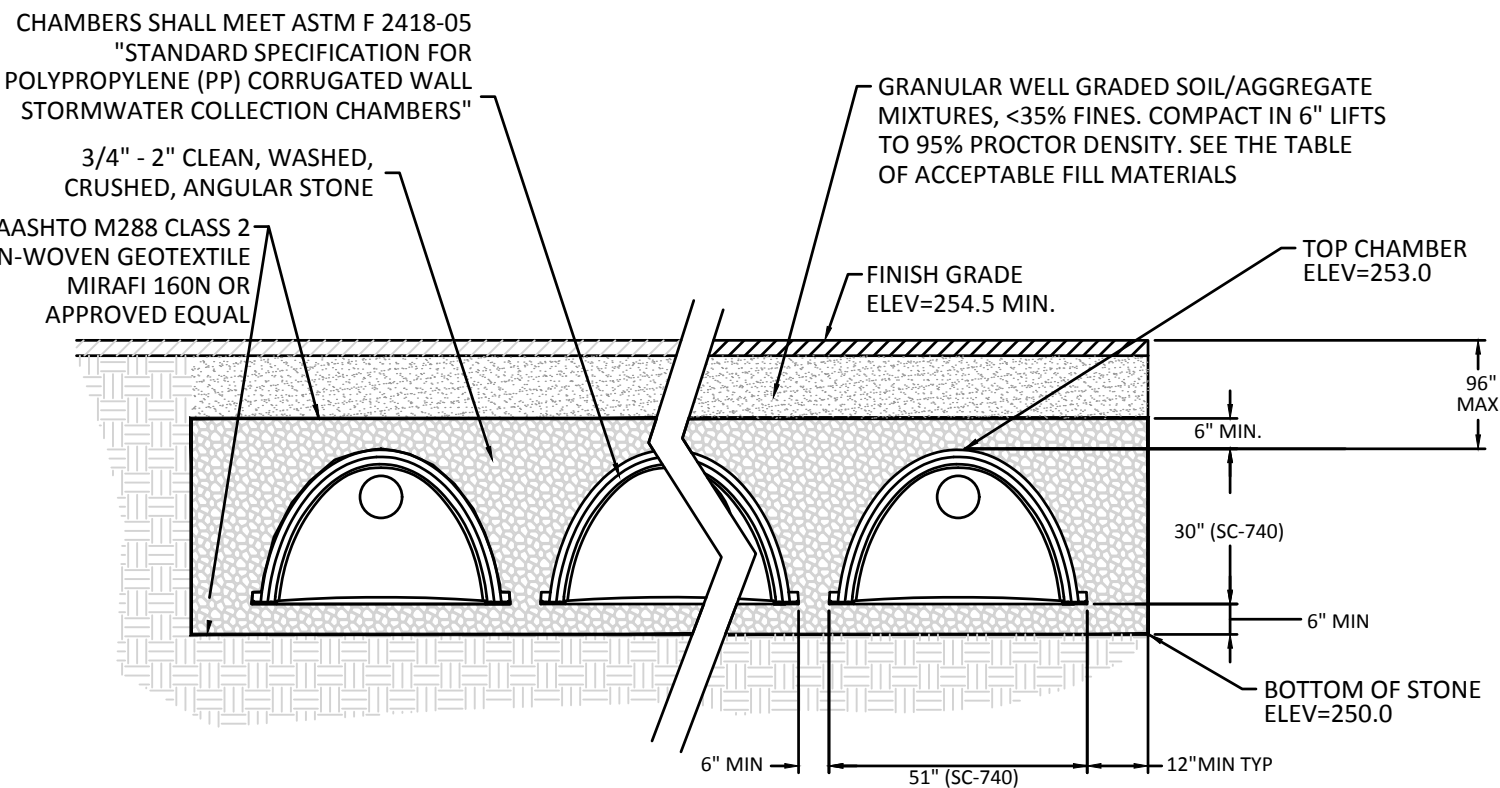
- NOTES:
1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.

PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



- NOTES:
1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)



- NOTES:
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS
- THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- FOR INSTALLATION/LAYOUT QUESTIONS CONTACT THE REGIONAL STORMTECH REPRESENTATIVE ROB LEMIRE @ 1-888-292-7081.

STORMTECH SC 740 UNDERGROUND INFILTRATION SYSTEM

REVISONS		BY		CHNO.	
NO.	DATE	NO.	DATE	NO.	DATE
6	11/03/17	MEB			
5	9/1/17	DG			
4	8/2/17	DG			
3	7/17/17	RB			
2	7/16/17	RB			
1	6/8/17	MEB			



DETAILS SHEET 2
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



500 CUMMINGS CENTER, SUITE 500
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 717-1800

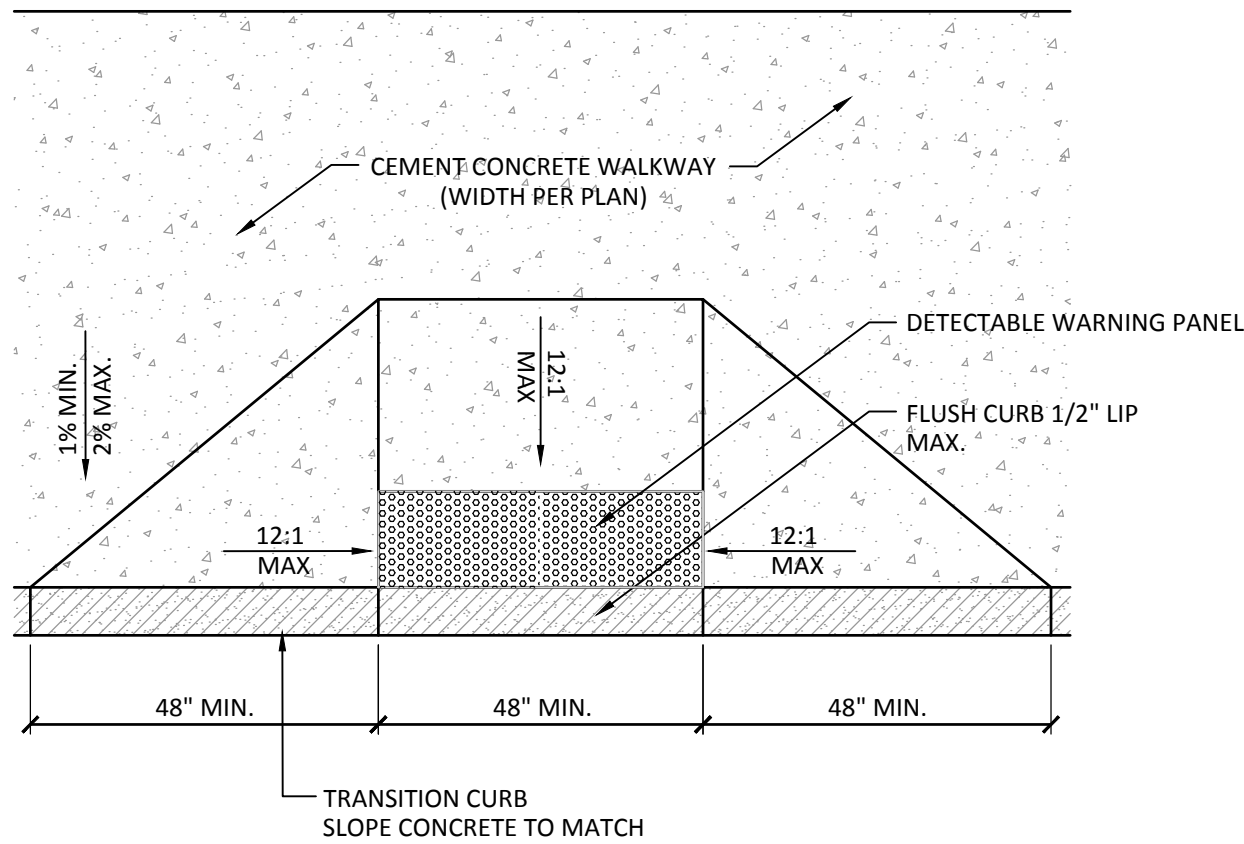
Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-6

Plotted: 11/3/2017 12:15 PM
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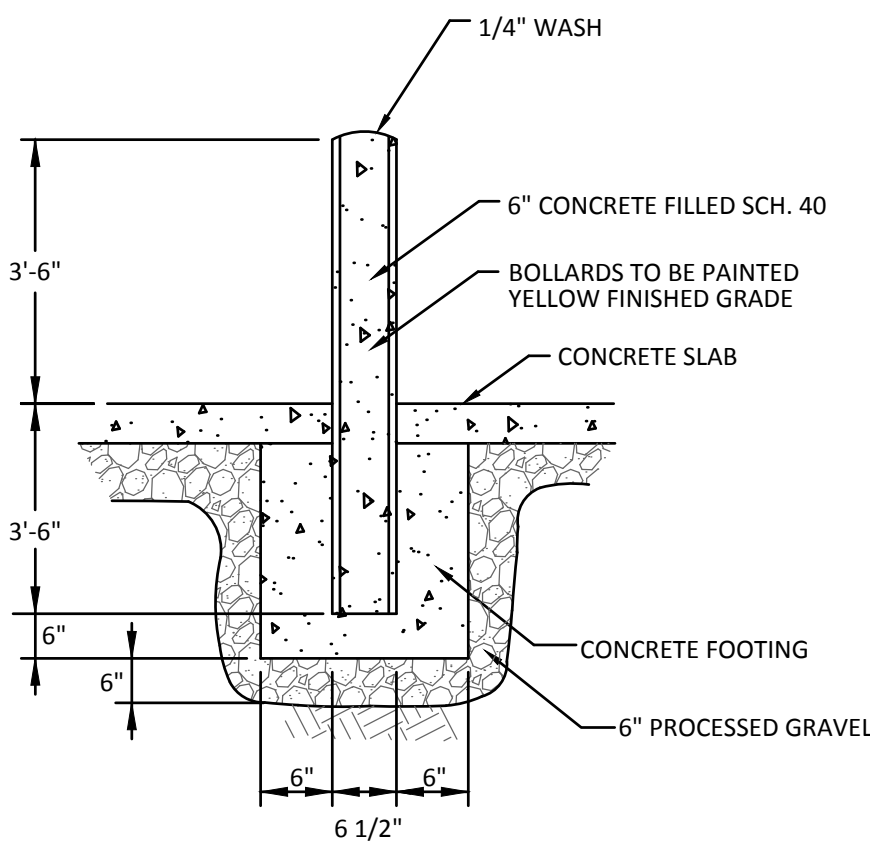
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

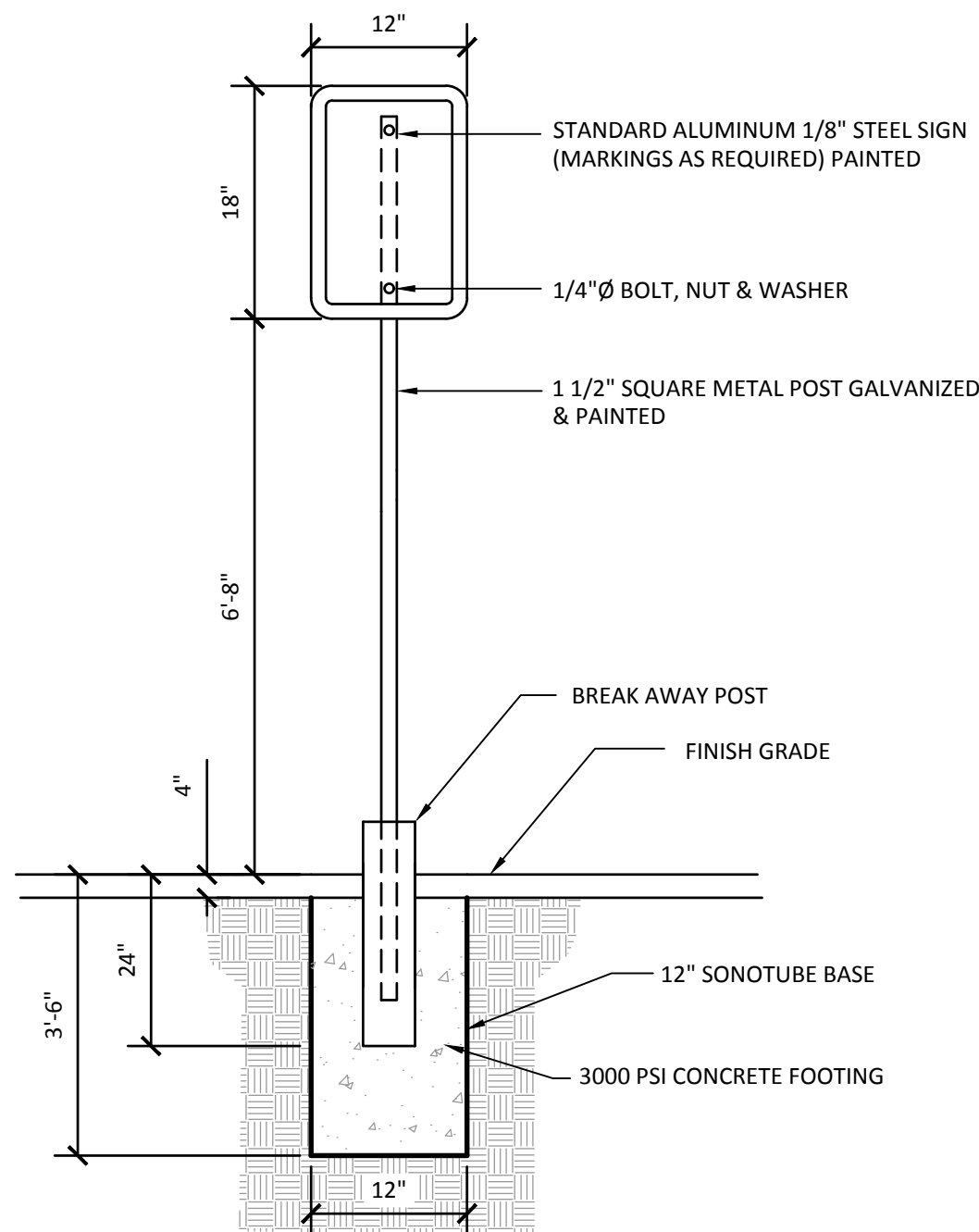
REGISTRY USE ONLY



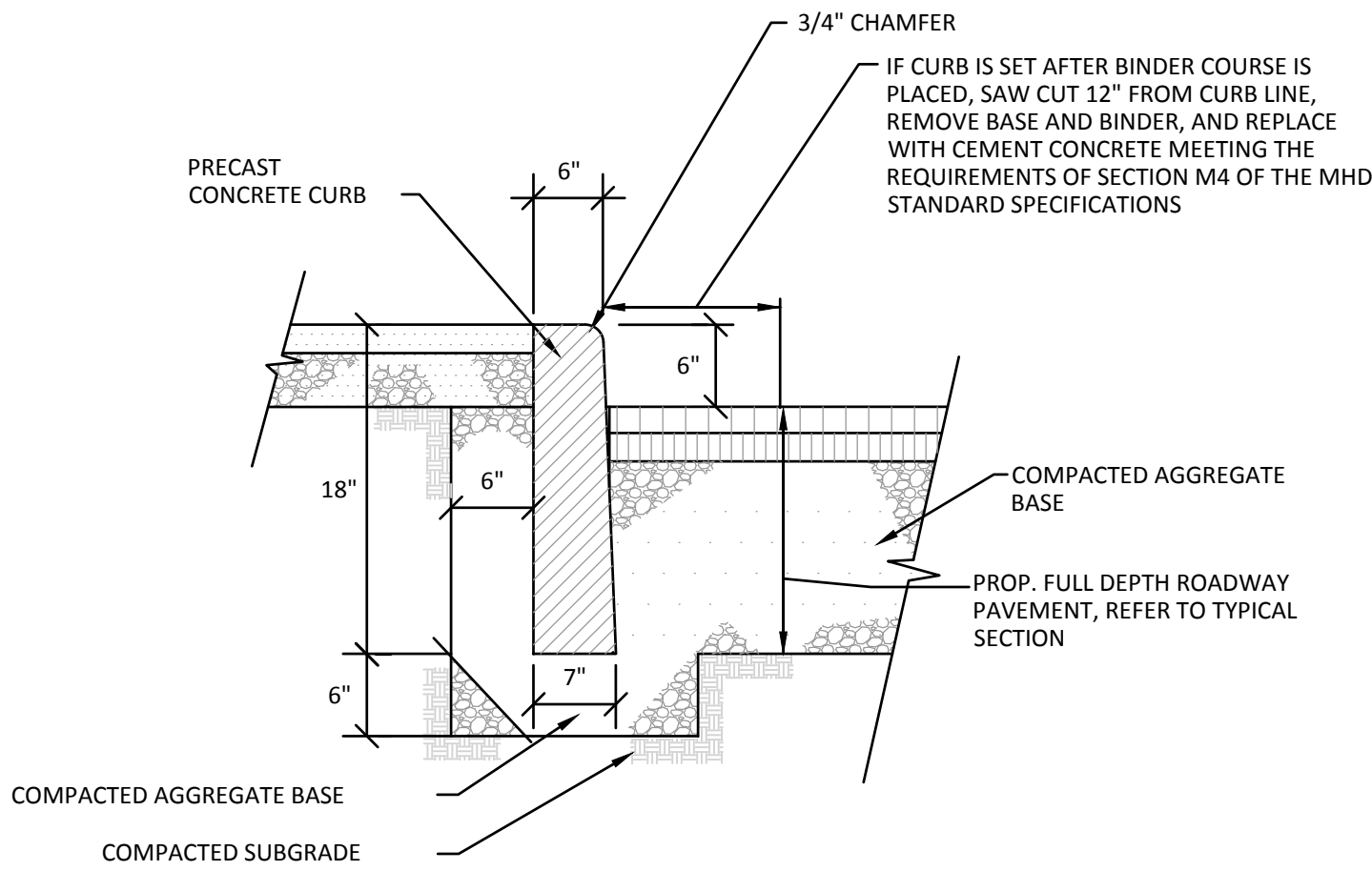
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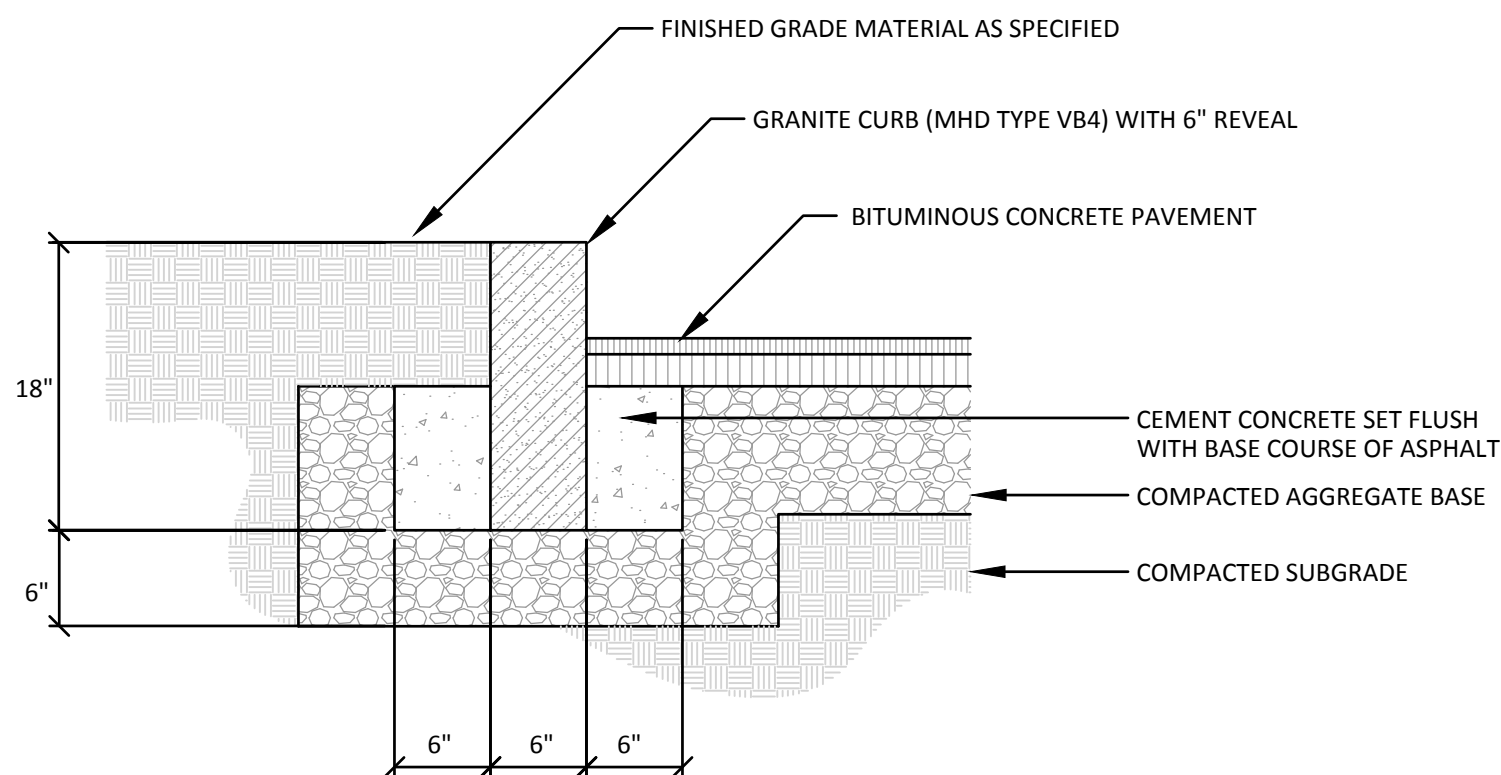
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(NOT TO SCALE)



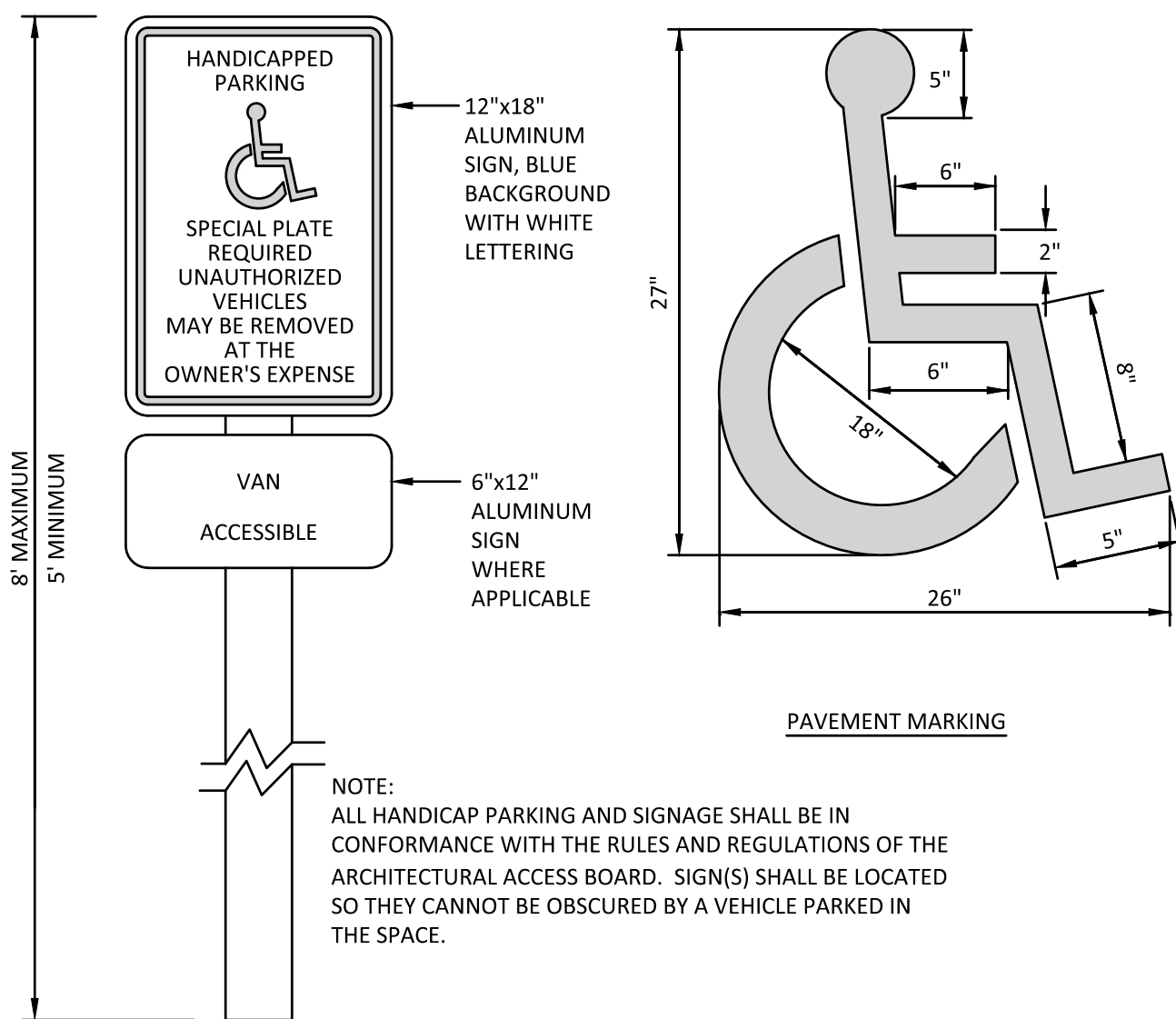
TYPICAL SIGN POST
(NOT TO SCALE)



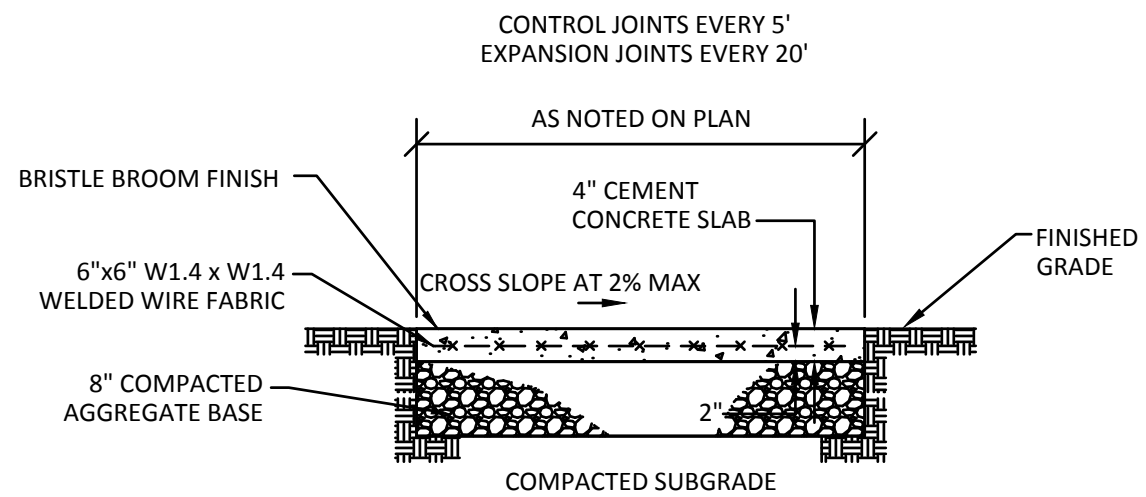
PRECAST CONCRETE CURB DETAIL
(NOT TO SCALE)



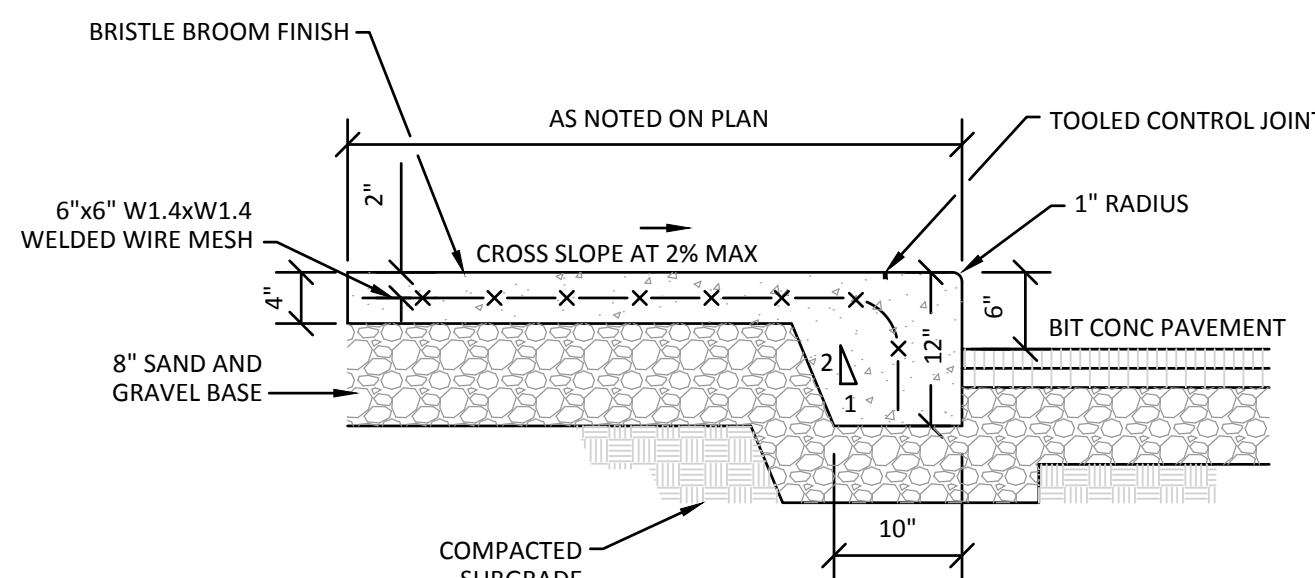
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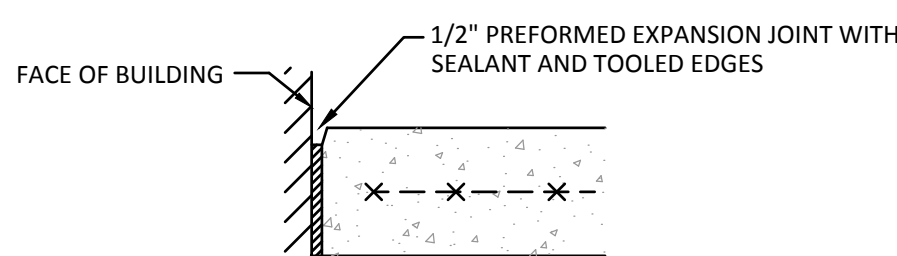
HANDICAP SIGN AND PAVEMENT MARKING
(NOT TO SCALE)



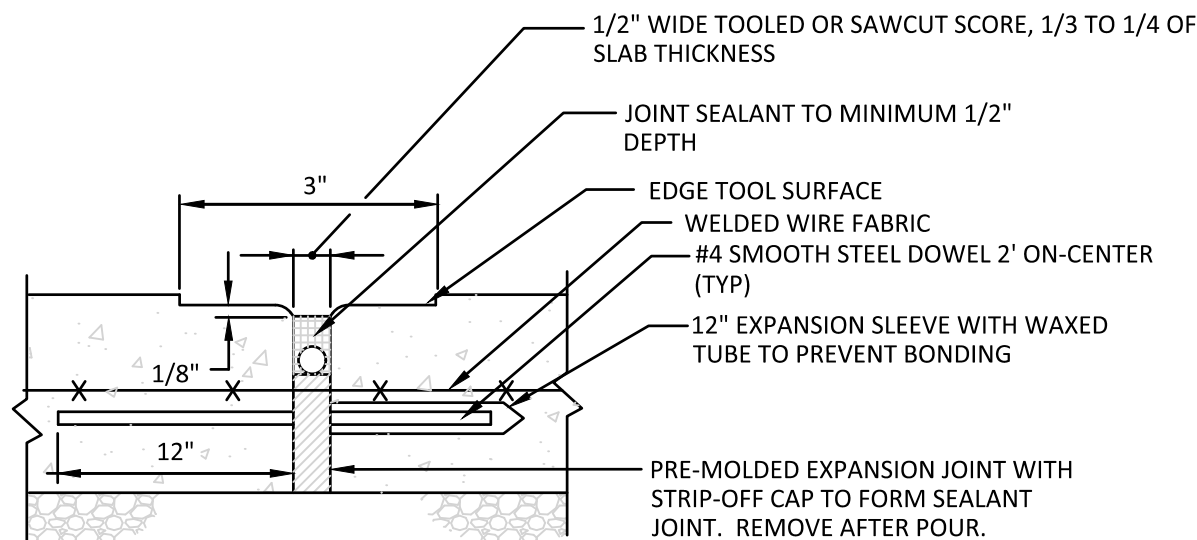
CEMENT CONCRETE WALKWAY
(NOT TO SCALE)



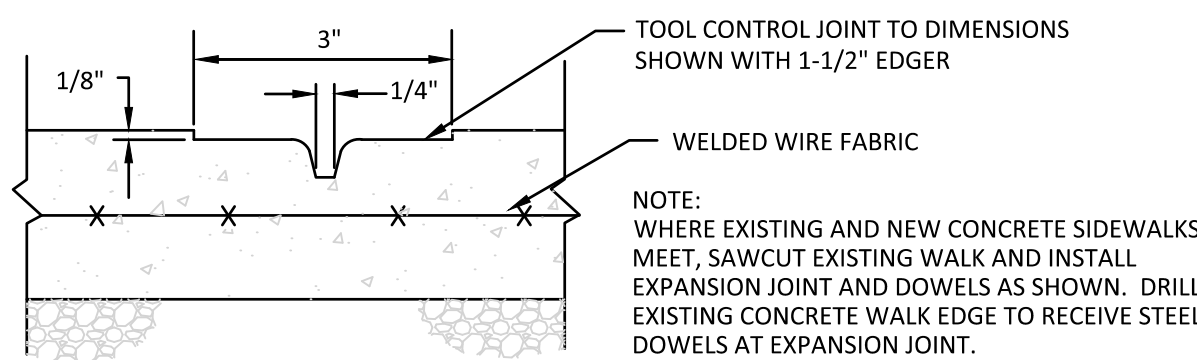
CONCRETE WALKWAY W/ HAUNCH
(NOT TO SCALE)



CONCRETE WALKWAY EXPANSION JOINT
(NOT TO SCALE)

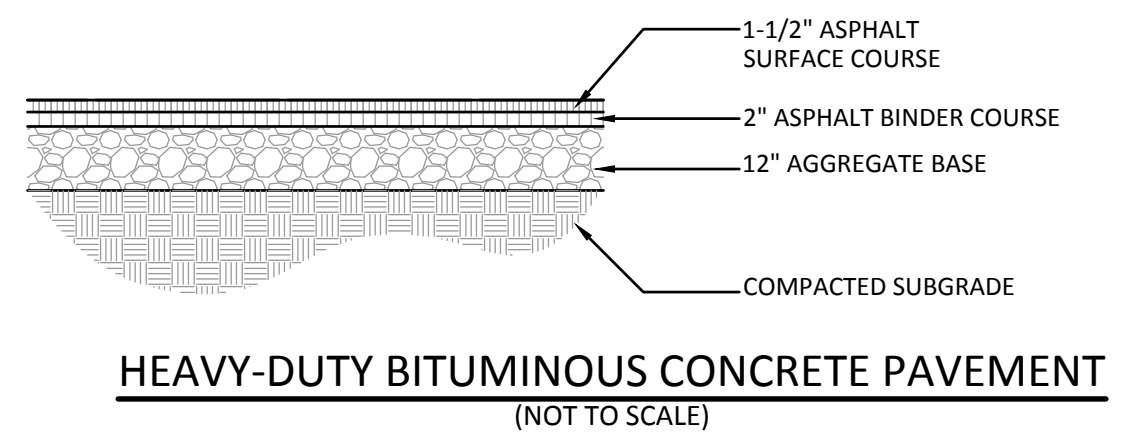


EXPANSION JOINT AT 20'
ON-CENTER (TYP)

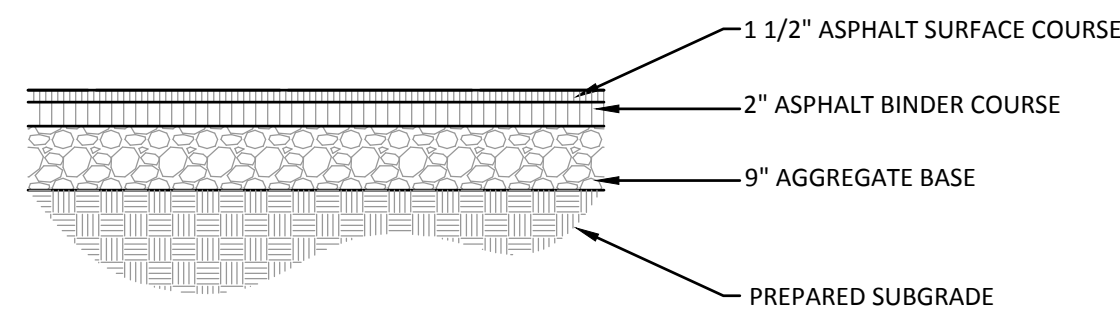


CONTROL JOINT AT 5'
ON-CENTER (TYP)

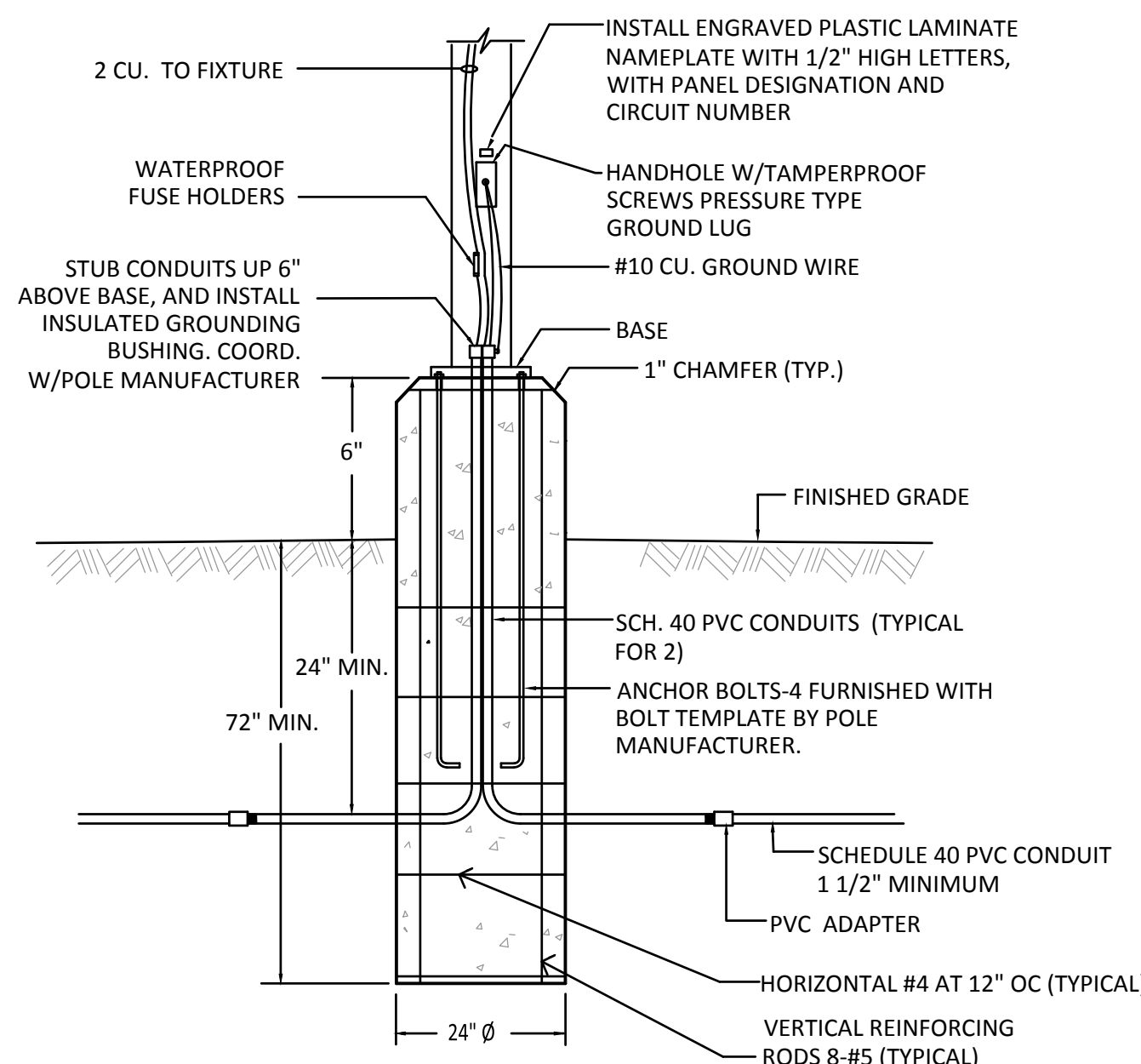
EXPANSION AND CONTROL JOINTS FOR CONCRETE
(NOT TO SCALE)



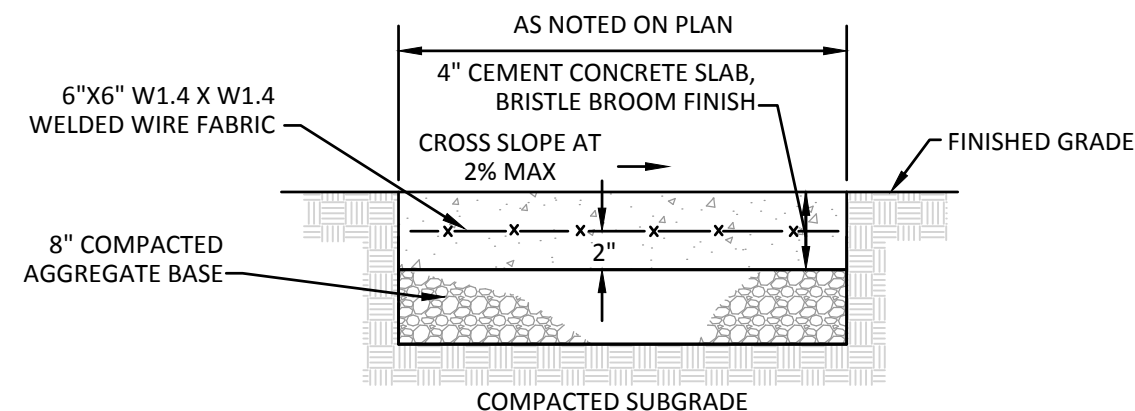
HEAVY-DUTY BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)



BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



TYPICAL LIGHT POLE BASE
(NOT TO SCALE)



CEMENT CONCRETE DUMPSTER PAD
(NOT TO SCALE)

REVISIONS				DESCRIPTION	
NO.	DATE	BY	CHKD.		
6	11/03/17	DG	MEB	BUILDING REDUCTION	
5	9/1/17	DG	MEB	FINAL CONDITIONS	
4	8/2/17	DG	MEB	RESPONSE TO FINAL COMMENTS	
3	7/17/17	RB	MEB	RESPONSE TO COMMENTS	
2	7/16/17	RB	MEB	LAYOUT CHANGE / TOWN COMMENTS	
1	6/8/17	RB	MEB	WETLAND FLAGS	



DETAILS SHEET 3
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052



Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-7

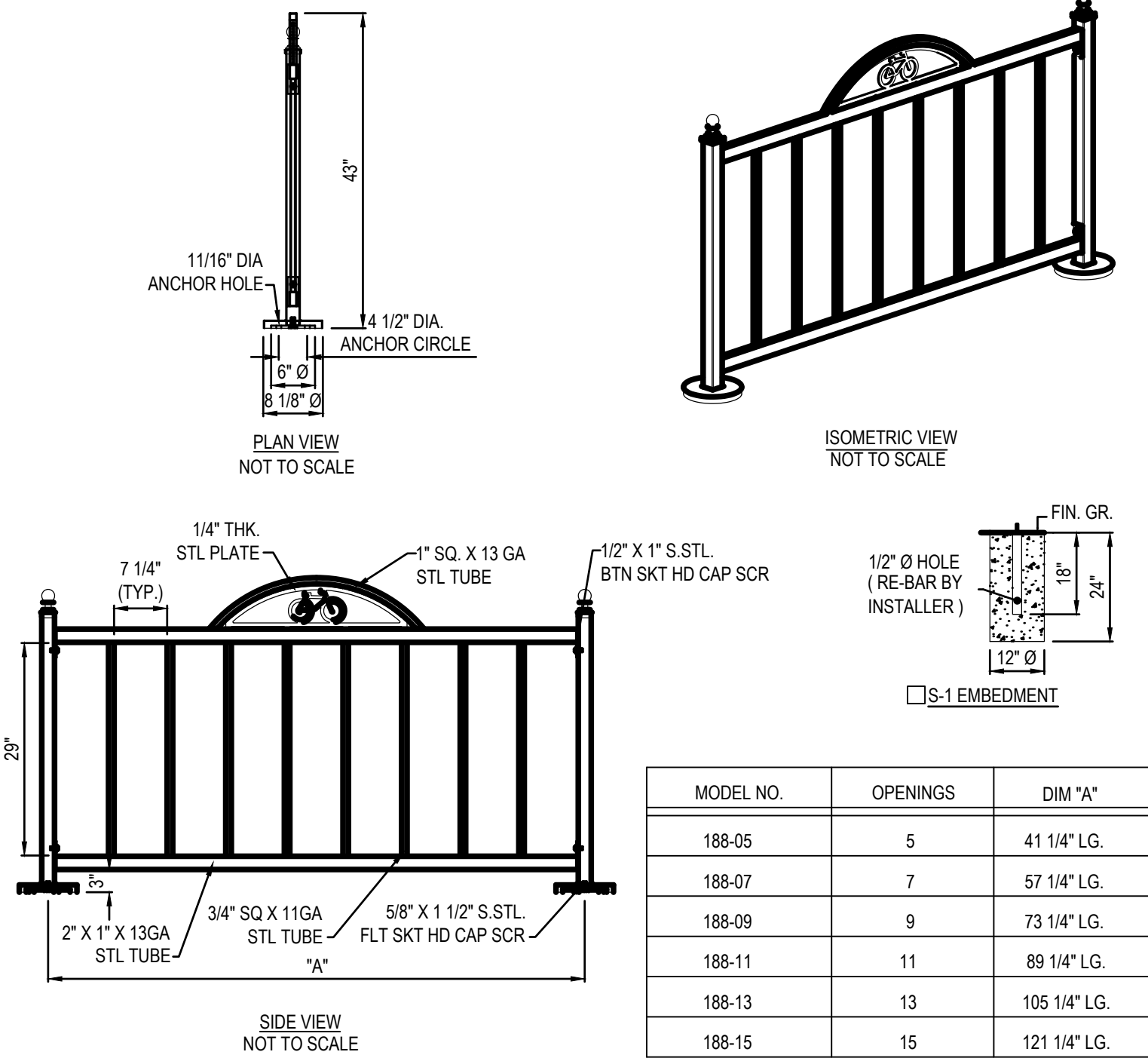
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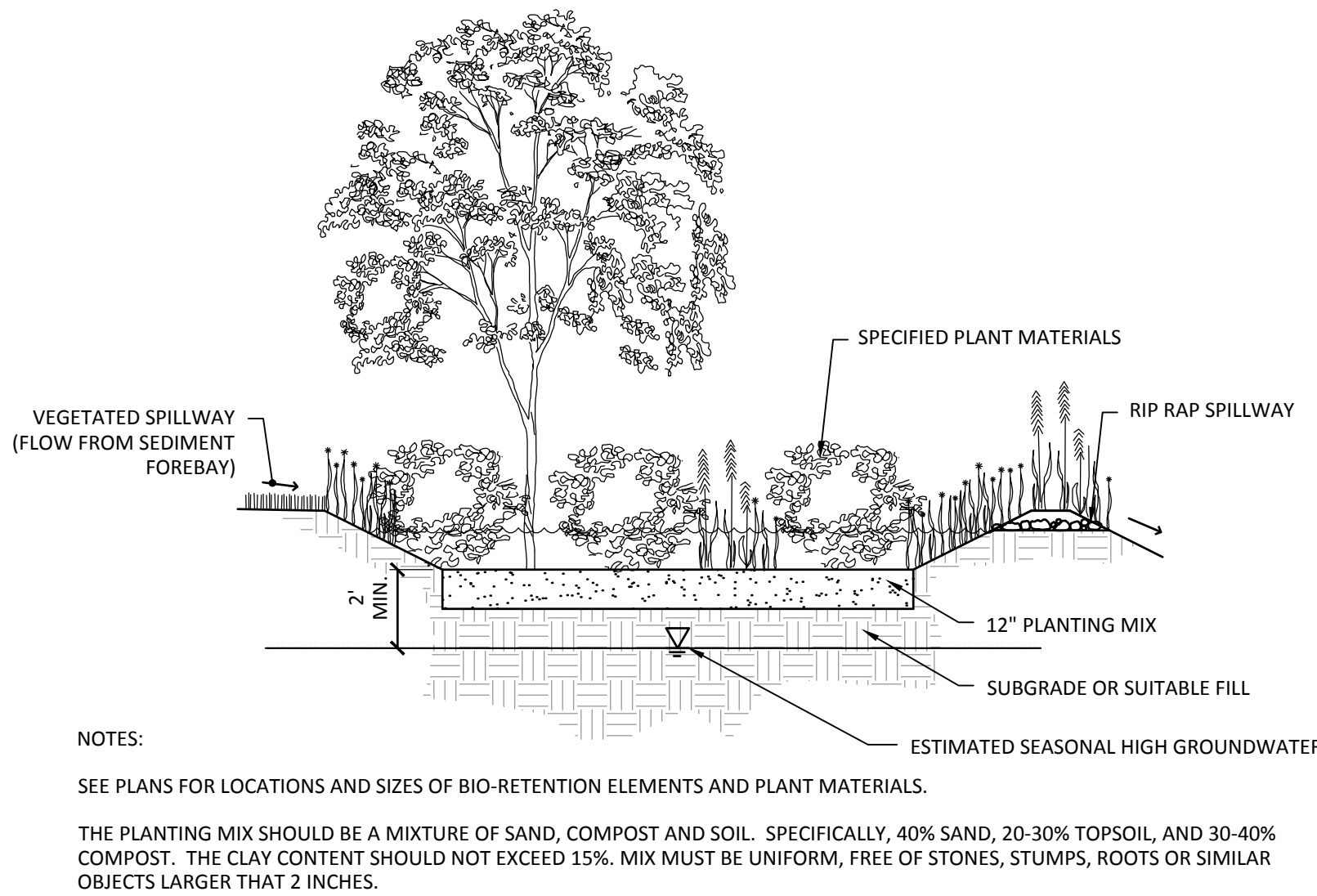
FOR MERIDIAN ASSOCIATES, INC. DATE



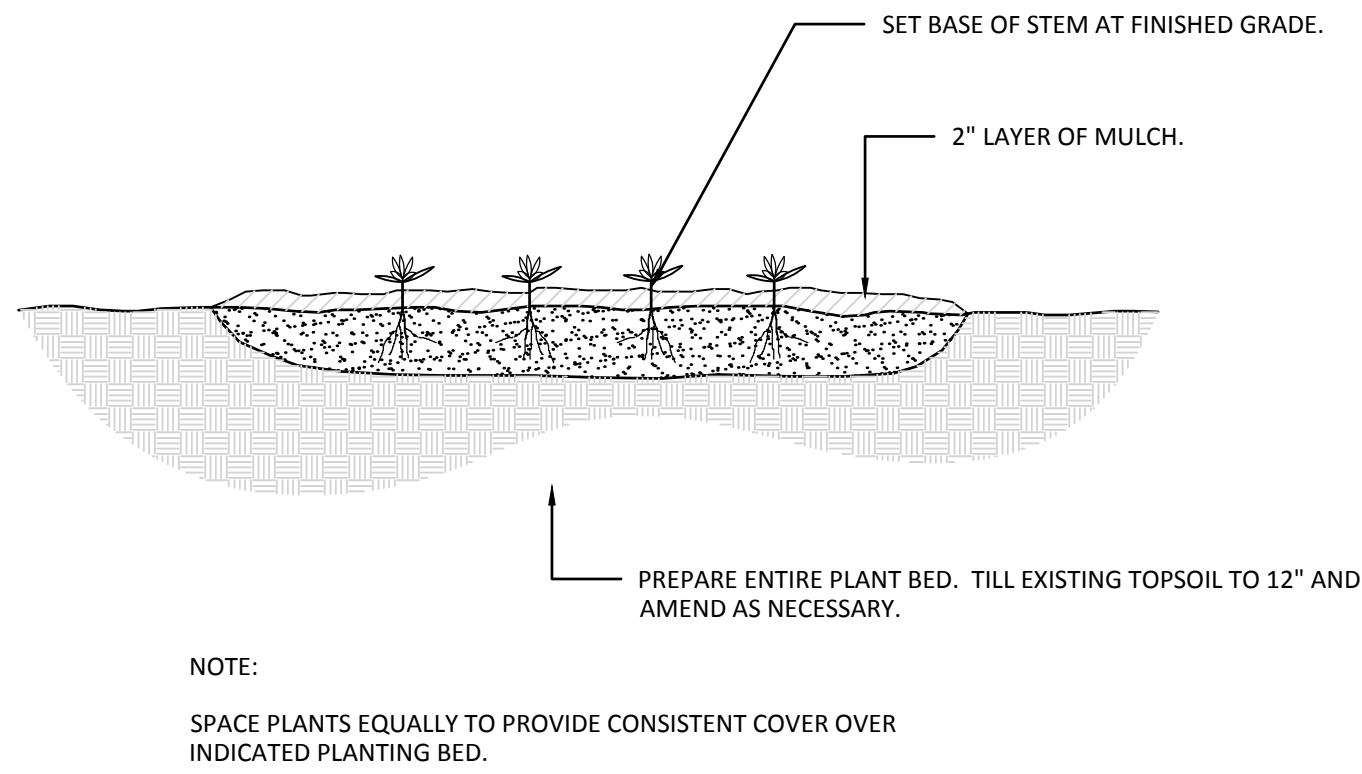
DU MOR, INC.
15 INDUSTRIAL CIRCLE, P.O. BOX 142
MIFFLINTOWN, PA 17059-0142
TOLL FREE: 1-800-598-4018
PHONE: (717) 436-2106
FAX: (717) 436-9839
www.dumor.com



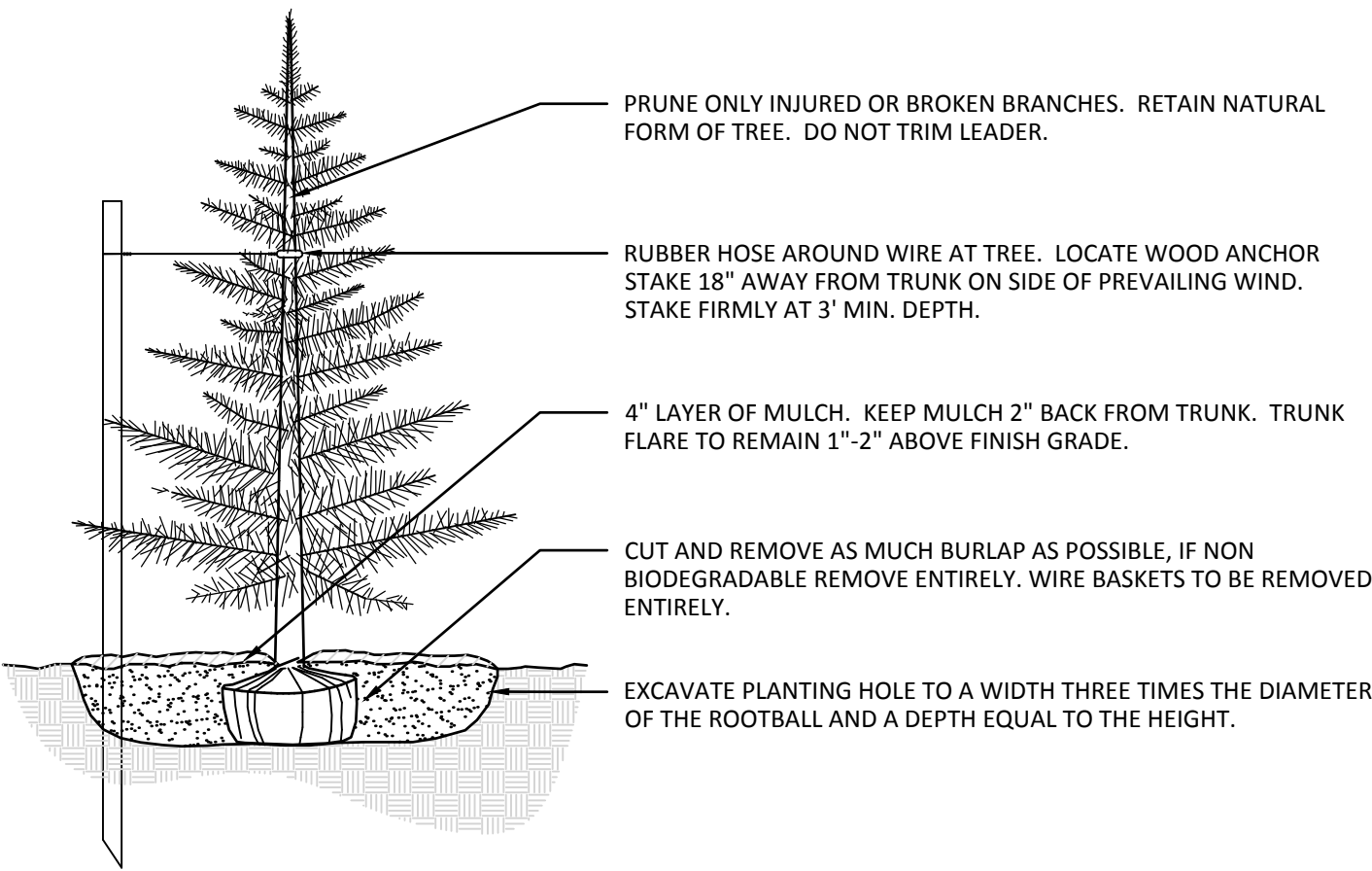
BIKE RACK DETAIL
(NOT TO SCALE)



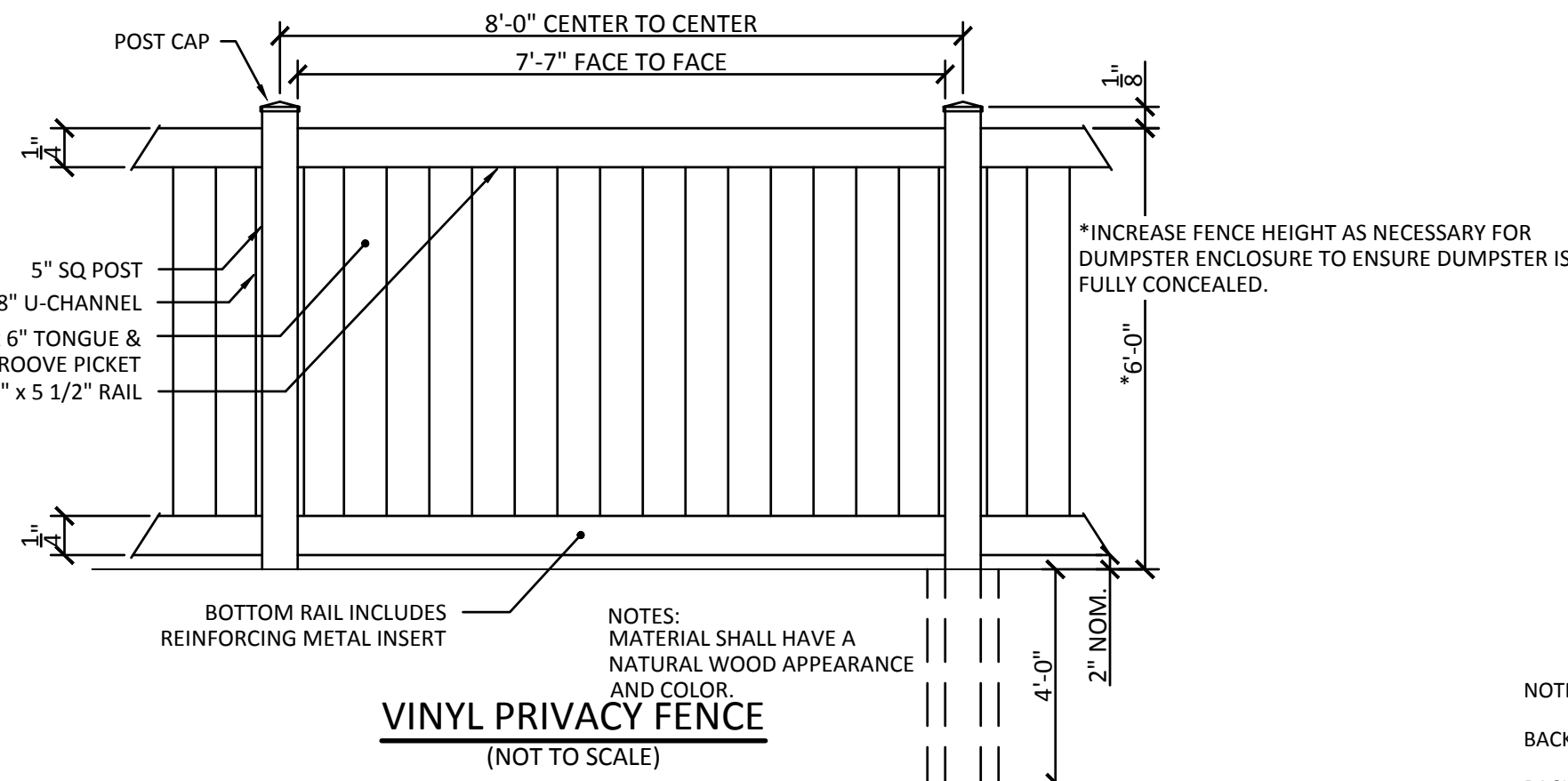
SCHEMATIC OF BIO-RETENTION BASIN
(NOT TO SCALE)



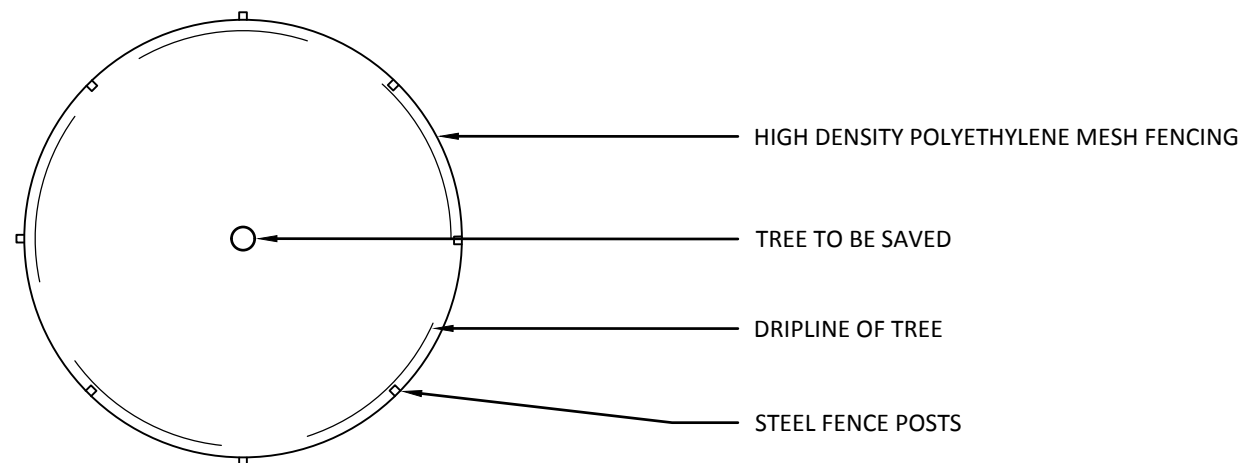
GROUNDCOVER PLANTING
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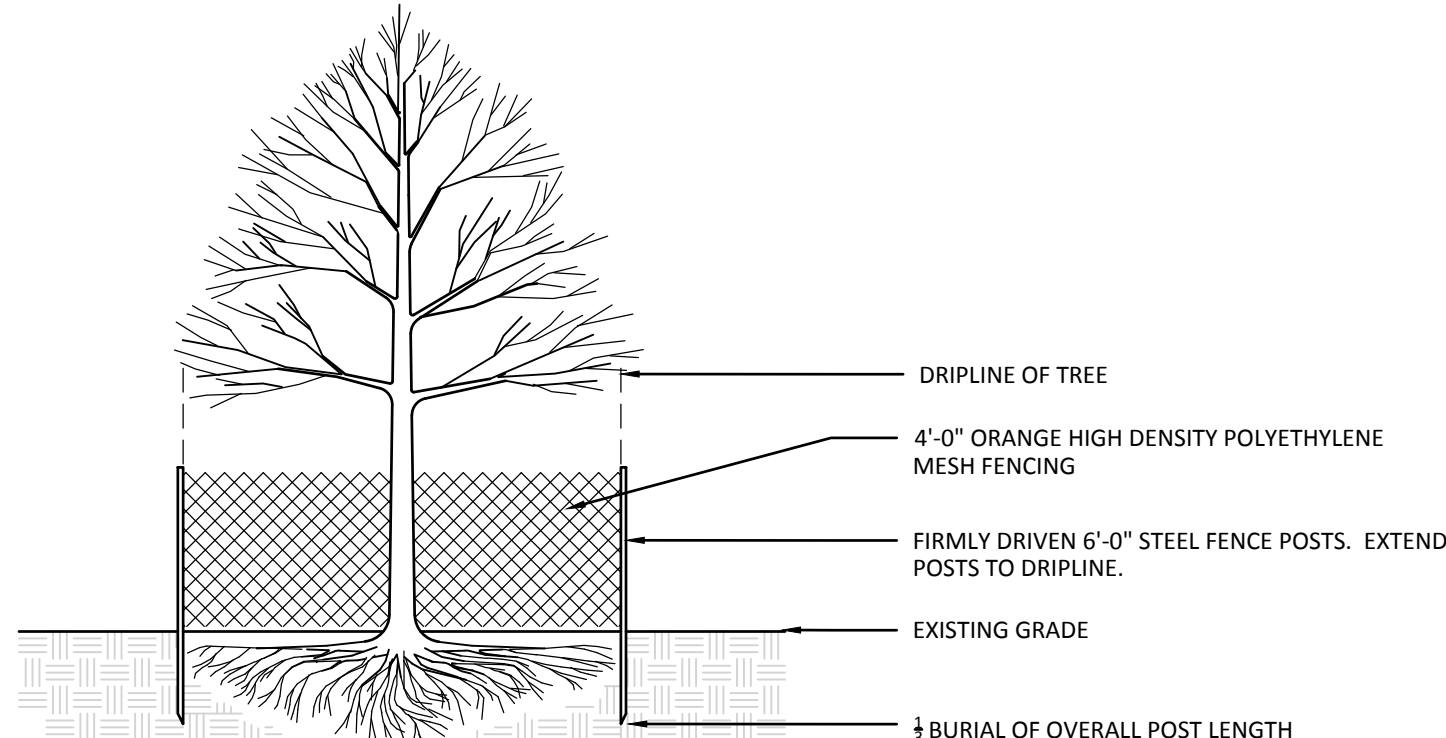
EVERGREEN TREE PLANTING
(NOT TO SCALE)



VINYL PRIVACY FENCE
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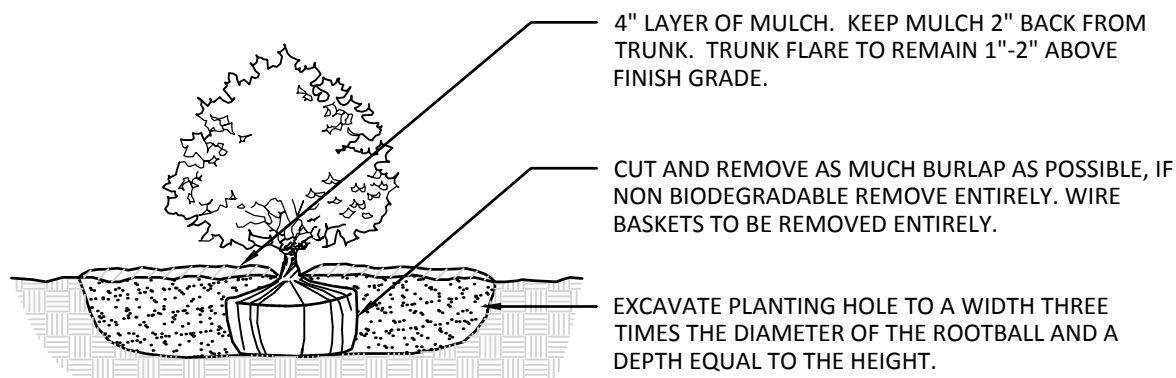


PLAN

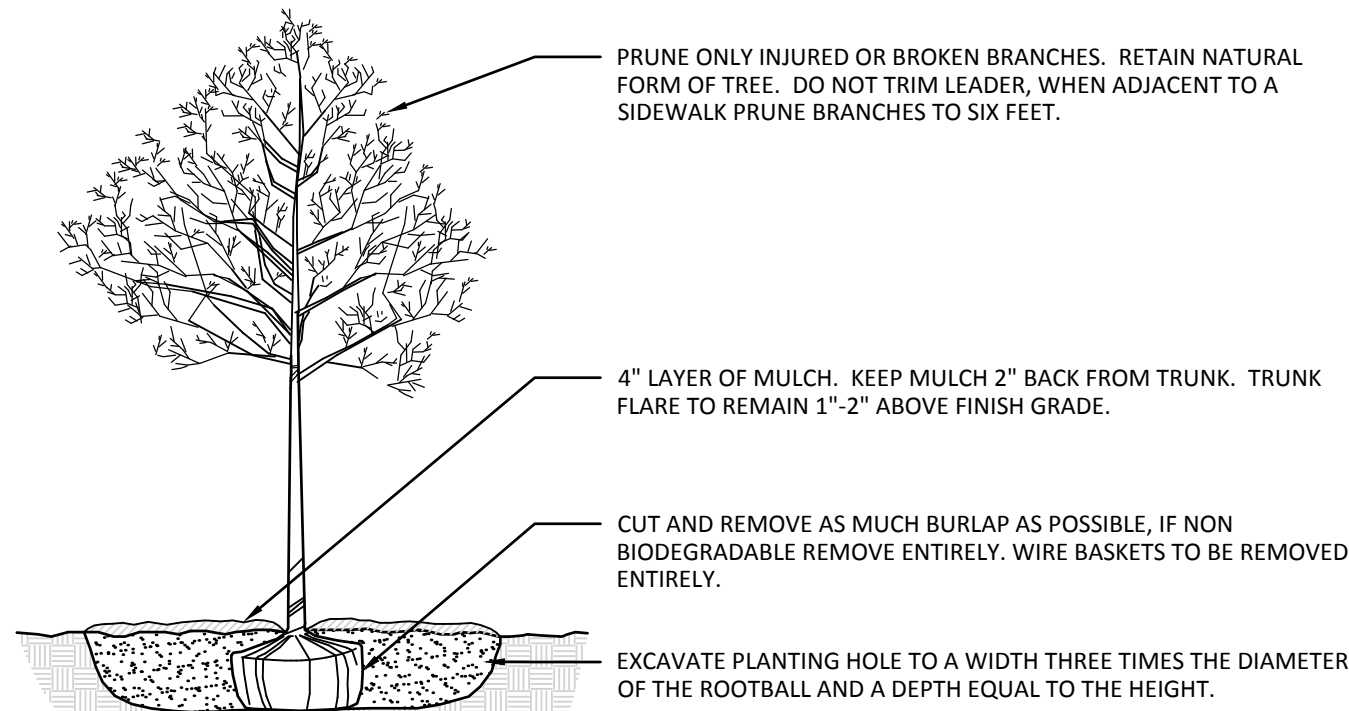


SECTION

TREE PROTECTION
(NOT TO SCALE)



SHRUB PLANTING
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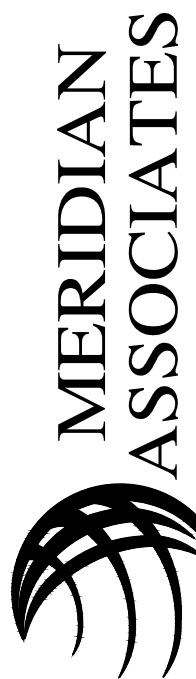


TREE PLANTING
(NOT TO SCALE)

REVISONS		DATE		DESCRIPTION	
NO.	BY	DATE	DESCRIPTION	NO.	BY
6	MEB	11/03/17	BUILDING REDUCTION	6	MEB
5	DG	9/1/17	FINAL CONDITIONS	5	DG
4	DG	8/2/17	RESPONSE TO FINAL COMMENTS	4	DG
3	RB	7/17/17	RESPONSE TO COMMENTS	3	RB
2	MEB	7/16/17	LAYOUT CHANGE / TOWN COMMENTS	2	MEB
1	RB	6/8/17	WETLAND FLAGS	1	RB



DETAILS SHEET 4
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052











500 CUMMINGS CENTER, SUITE 590
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 714-1800

Date:
MAY 23, 2017
(See Revisions)
Scale:
1"=20'
Project No.
8477
Sheet No.
C-8

FOR MERIDIAN ASSOCIATES, INC. DATE



- | | |
|---|--|
|  | NEW DOOR |
|  | NEW WALL |
|  | NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET |
|  | LIMIT OF FLOOR FINISH |
| N.I.C. | NOT IN CONTRACT |

	NEW DOOR
	NEW WALL
	NEW/RELOCATED FIRE EXTINGUISHER/F.E. CABINET
	LIMIT OF FLOOR FINISH
N.I.C.	NOT IN CONTRACT

2016068.01 - O'BRIEN & SONS O'BRIEN & SONS CORPORATE OFFICE PERMIT SET - OCTOBER, 2017

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DATA TRANSMISSION, OR DATA TRANSLATION.

Checked By: SR

A1.0

FOR MERIDIAN ASSOCIATES, INC. DATE

0.1 1 2 3 4 5

12'-0"

32'-0"

HORIZONTAL METAL PANEL, GREY
EL. 273' - 4"
PARAPET
EL. 271' - 4"
ROOF

EL. 267' - 4"
TRANSOM HEADER
EL. 265' - 4"
WINDOW HEAD

HORIZONTAL METAL PANEL, ORANGE
EL. 269' - 0"
WINDOW SILL
EL. 257' - 4"
PROPOSED FIRST FLOOR
EL. 253' - 4"
B.O. FOOTING

PARAPET WITH ALUMINUM COPING

CMU VENEER, SHOT BLAST, DARK
CMU VENEER, BRUSHED, LIGHT

ALUMINUM COPING

HORIZONTAL METAL PANEL, GREY

CMU WALL, SHOT BLAST, DARK
CMU WALL, BRUSHED, LIGHT

EL. 271' - 4"
ROOF

HORIZONTAL METAL PANEL, GREY

HORIZONTAL METAL PANEL, ORANGE

KAVNEER TRI-FAB VG 451T
STOREFRONT SYSTEM

GG HH

1
A6.0

1
A6.0

4 WEST (TROTTER DRIVE) ELEVATION

SCALE: 1/8" = 1'-0"

Architectural elevation drawing of the South (Alder Street) elevation of a building. The drawing shows a long, low structure with a flat roof and a brick facade. Key features include a central overhead door (96' H x 96' W) with a dock seal, a 6-yard dumpster with a 72-inch high fence/gate, and two windows with Kawneer Tri-Fab VG 451T storefront systems. The drawing is annotated with grid lines (A, B, C, C.2, D, E, F), elevations (EL. 271'-4" ROOF, EL. 265'-4" WINDOW HEAD, EL. 260'-0" WINDOW SILL, EL. 257'-4" PROPOSED FIRST FLOOR, EL. 253'-4" B.O. FOOTING), and material specifications (ALUMINUM COPING, CMU WALL, SHOT BLAST, DARK; CMU WALL, BRUSHED, LIGHT; HORIZONTAL METAL PANEL, GREY; HORIZONTAL METAL PANEL, ORANGE). A north arrow and a scale of 1/8" = 1'-0" are also present.

5

4

1
A6.0

3

2

1
A6.2

1

0.1

CMU WALL, SHOT BLAST, DARK
CMU WALL, BRUSHED, LIGHT

ALUMINUM COPING

HORIZONTAL METAL PANEL, ORANGE

HORIZONTAL METAL PANEL WALL, GREY

AA

BB

CC

CMU VENEER

EL. 273' - 4"
PARAPET

EL. 271' - 4"
ROOF

EL. 267' - 4"
TRANSOM HEADER

EL. 265' - 4"
WINDOW HEAD

EL. 260' - 0"
WINDOW SILL

EL. 257' - 4"
PROPOSED FIRST FLOOR

EL. 253' - 4"
B.O. FOOTING

KAWNEER TRI-FAB VG 451T STOREFRONT SYSTEM

KAWNEER TRI-FAB VG 451T STOREFRONT SYSTEM

2

EAST ELEVATION

SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

Labels and Callouts:

- ALUMINUM COPING
- HORIZONTAL METAL PANEL WALL, GREY
- KAWNEER TRI-FAB VG 451T STOREFRONT SYSTEM
- CMU WALL, SHOT BLAST, DARK
- CMU WALL, BRUSHED, LIGHT
- HORIZONTAL METAL PANEL, ORANGE
- TRANSOM HEADER
- WINDOW HEAD
- WINDOW SILL
- PROPOSED FIRST FLOOR
- B.O. FOOTING

Dimensions:

- 38'-8"

Grid Lines: A, B, C, C.2, D, E, F

Section Cut Symbols: 2/A6.0

Elevations:

- EL. 273' - 4" PARAPET
- EL. 271' - 4" ROOF
- EL. 267' - 4" WINDOW HEAD
- EL. 265' - 4" WINDOW HEAD
- EL. 260' - 0" WINDOW SILL
- EL. 257' - 4" PROPOSED FIRST FLOOR
- EL. 253' - 4" B.O. FOOTING

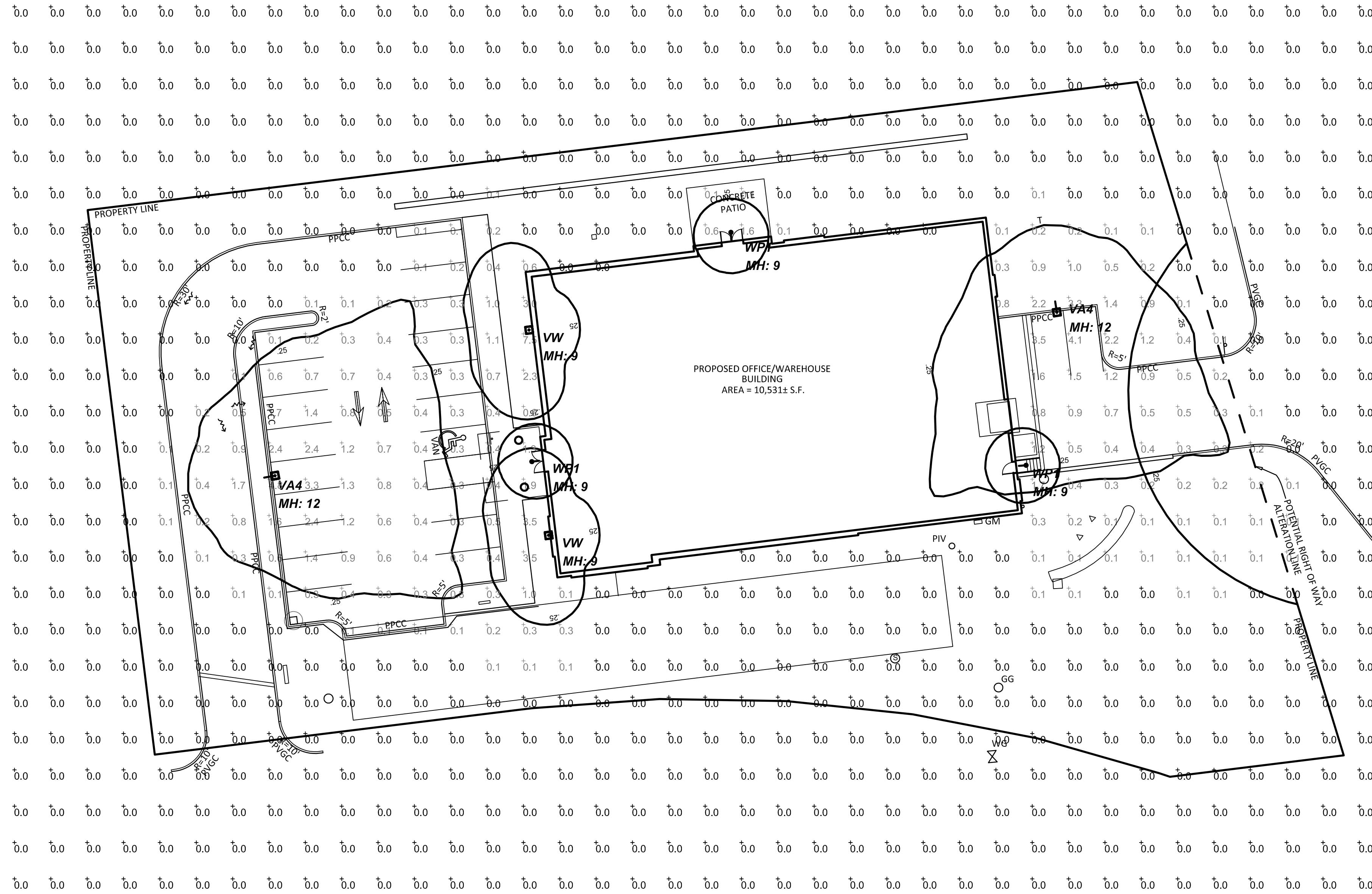
No.	Description	Date

A3.0

11/2/2017 11:06:23 AM C:_Revit Local\6068 - OBRIEN & SONS_JBlattenberger@glarchitects.com.rvt

FOR MERIDIAN ASSOCIATES, INC. DATE

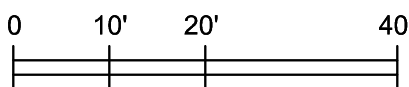
REGISTRY USE ONLY



CalcPts_1

Luminaire Location Summary						
RunNo	Label	X	Y	Z	Orient	Tilt
1	VW	-10325	10252.625	9	187.502	0
2	VA4	-10403.25	10268.5	12	10.04	10
3	WP1	-10195.625	10271.75	9	4.434	0
4	WP1	-10327.625	10273.125	9	198.116	0
5	VW	-10330.375	10309.125	9	187.502	0
6	VA4	-10185.625	10317	12	278.559	10
7	WP1	-10274.75	10334	9	92.553	0

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.15	7.5	0.0	N.A.	N.A.



<p align="center">OMNI-LITE, INC.</p> <p align="center">263 WINN STREET BURLINGTON, MA 01803</p> <p align="center">PH # 781-272-2300; FAX # 781-272-0759 www.omnilight.com</p>	
PROJECT:	
17 Trotter Dr., Medway, MA	
CLIENT:	
O'Brien	
SCALE: 1"=20'	FILE: omni obrien bldg 11.adm
DATE: 11/01/2017	SALES PERSON: Jennifer Foley
<p align="center">THE VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM DATA SUPPLIED BY LAMP MFG. AND TESTING LABS.</p>	

[illegible]

LIGHTING PLAN
O'BRIEN & SONS CORPORATE OFFICES
17 TROTTER DRIVE
MEDWAY, MASSACHUSETTS 02053
Prepared for:
BOTTLE CAP LOT, LLC
93 West Street
Medfield, Massachusetts 02052

OMNI-LITE, INC.

263 WINN STREET BURLINGTON, MA. 01803
PH # 781-272-2300, FAX # 781-272-0759
www.omnilight.com

www.omnilight.com

Date:
JULY 17, 2017
(See Revisions)

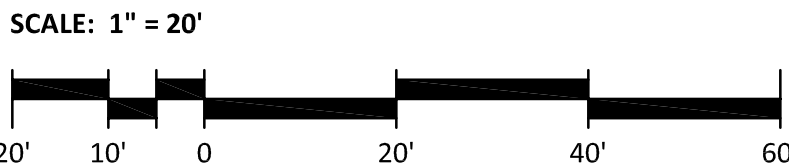
Scale:

1"=20'

Project No.

Sheet No.

L-1



Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Wednesday, November 08, 2017 12:42 PM
To: Susan Affleck-Childs
Subject: RE: 17 Trotter Drive - Modification plans and application

Hi Susy,

Based on their submittal I don't think we will need one, I thought it would be a lot more involved before looking at the plans and narrative. I reviewed the revised plan and have no comments. Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Wednesday, November 08, 2017 11:39 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: 17 Trotter Drive - Modification plans and application

Hi Steve,

Can you send me a change order for the quick review of the O'Brien & Sons proposed modified site plan.

Also, can you get me your review letter/email tomorrow?

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Susan Affleck-Childs
Sent: Monday, November 06, 2017 9:05 AM

To: 'Bouley, Steven'

Subject: RE: 17 Trotter Drive - Modification plans and application

Hi Steve,

Please give me a change order. Then I can invoice them for that amount. Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]

Sent: Monday, November 06, 2017 9:05 AM

To: Susan Affleck-Childs

Subject: RE: 17 Trotter Drive - Modification plans and application

Hi Susy,

Will do. Would you like a change order to the original contract or do you want us to just invoice you for this time? There is no budget left on the original review contract. Let me know, thanks.

Steve

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]

Sent: Friday, November 03, 2017 1:37 PM

To: Bouley, Steven <Steven.Bouley@tetrattech.com>

Subject: FW: 17 Trotter Drive - Modification plans and application

Importance: High

Hi Steve,

O'Brien and Sons is modifying their site plan to reduce the size of the building to reduce project cost. See attached application, letter of explanation and modified site plan. Although the amount of impervious surface is being reduced, they are not changing the design of the stormwater system so it will now have excess capacity.

This will be on the agenda for the 11/14 PEDB meeting. Could you review and provide comments on any of the proposed changes?

I will need a letter from you by November 9th. Do-able??

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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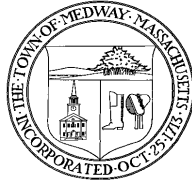
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From: Drew Garvin [<mailto:dgarvin@meridianassoc.com>]
Sent: Friday, November 03, 2017 1:23 PM
To: Susan Affleck-Childs; Bridget Graziano
Cc: Mark Beaudry
Subject: 17 Trotter Drive - Modification plans and application

Hi Susy and Bridget,
I have attached the revised plans for your review, the Application to Modify a Site Plan, and cover letters to each board (PEDB & CC). I will bring hard copies as discussed on Monday morning (11/6).
Please let me know if you need anything else in regards to this modification.
Thanks,
Drew

Drew Garvin | *EIT/ Senior Project Engineer*

Meridian Associates, Inc.
69 Milk Street, Suite 302, Westborough, MA 01581
Phone (508) 871-7030 x34 | Fax (978) 872-1157
www.meridianassoc.com | dgarvin@meridianassoc.com
100% Employee Owned



November 14, 2017
Medway Planning & Economic Development Board
Meeting

Tri Valley Commons – Request for Bond
Release

- Letter dated 10/23/17 from developer Rich Landry requesting release of the remaining bond
- PEDB Certificate of Site Plan Completion dated 12/13/16
- Steve Bouley's email dated 11/1/17 with results from his site visit on 10/31/17.
- Photos taken 10/12/17 by Conservation Agent Bridget Graziano

Developer Rich Landry has requested a final release of the bond for Tri Valley Commons. He presently has an insurance bond in the amount of \$40,000. In December 2016, the Board reduced it from \$160,000 +/- and decided to hold \$40,000 until the landscaping and fencing installation shown on the TV Commons site plan at the southern end of the detention basin were installed. The work was supposed to be completed by June 30, 2017 per the Certificate of Site Plan Completion.

Steve Bouley visited the site on 10/31/17. His comments are provided. I emailed Rich Landry on 11/8, provided Steve Bouley's email/inspection report, and asked Rich what his plans are for seeding the area.

NOTE - ConCom has not issued a Certificate of Compliance for the project. The Commission and Bridget Graziano continue to be concerned that Rich Landry has not done everything he was supposed to do on the site in terms of erosion control, etc. Mr. Landry's request to ConCom for a Certificate of Compliance is on the agenda for the Commission's 11/9/17 meeting.

October 23rd 2017

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053

RE: TVC Bond

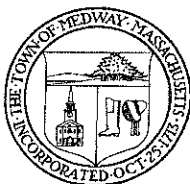
Dear Susan,

I am officially requesting that the \$40,000.00 which is currently in place for the completion of miscellaneous items at 72 Main Street Medway be released all landscaping was completed in the spring and Erosion controls have been removed.

Sincerely

A handwritten signature in black ink, appearing to read 'Richard Landry', with a long horizontal flourish extending to the right.

Richard Landry



TOWN OF MEDWAY
Planning and Economic Development Board

December 13, 2016

Certificate of SITE PLAN Completion
Tri Valley Commons – 72 Main Street

Richard Landry, on behalf of Thurken Medway LLC, has requested that the Medway Planning and Economic Development Board issue a *Certificate of Site Plan Completion* and release the performance security for the following site plan development:

Project Name: Tri Valley Commons

Project Location: 72C & D Main Street

NOTE – This Certificate pertains only to the parcel with the two buildings where Direct Tire and Advance Auto are located and the stormwater system

Assessor's Map/Parcel Numbers: 40-51

Title of Site Plan: *Site Development Plans – Tri Valley Commons*
Bohler Engineering, Southborough, MA

Drawn by: John A. Kucich, P.E., Bohler Engineering

Date of Site Plan: January 9, 2015, last revised September 4, 2015

Date of Site Plan/Special Permit Decision: June 23, 2015; modification approved August 11, 2015

Date of Site Plan Endorsement: Modified Plan - September 8, 2015

Developer's Name: Thurken Medway LLC

Developer's Address: 92 Abigale Lane, New Castle, NH 03854

Current Property Owner: Marianne Connaughton & Timothy R. O'Brien, Trustees of Thirty-Two Freemont Company, 32 Freemont Street, Needham, MA 02492
(property conveyed June 9, 2016)

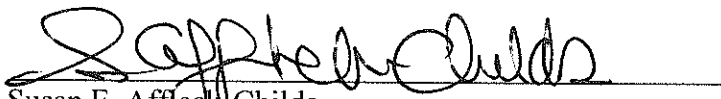
As-built Survey Plan: *Record Survey – Tri Valley Commons*
Control Point Associates, Southborough, MA

Drawn by: Gerry L. Holdright, PLS

Date of As-Built Plan: Dated April 17, 2016, last revised November 30, 2016

Project Status

- OK Final Inspection/CO - Inspector of Buildings:
- *Temporary CO for the Advance Auto building was issued on: November 10, 2016 (expires 2-5-2017)*
 - *Temporary CO for the Direct Tire buildings was issued on November 10, 2016 (expires 2-5-2017)*
- OK Applicant's Project Engineer's Certification of Completion & Compliance for site plan work and/or stormwater management facilities – *Letter dated 12-6-16 from John Kucich, P.E., Bohler Engineering.*
- OK Tetra Tech final site inspection and sign-off: December 8, 2016 and December 9, 2016 emails
- OK Tetra Tech sign-off regarding the as-built plan: *December 5, 2016*
- Pending CONCOM Certificate of Compliance - *Developer Rich Landry has not yet requested a Certificate of Compliance from the Medway Conservation Commission.*
- OK Treasurer's Certification of Taxes Paid: *Confirmed 12-6-16 by Laurie Walker, Assistant Treasurer/Collector*



Susan E. Affleck Childs
Planning and Economic Development Coordinator

12-13-2016
Date

Planning & Economic Development Board Certification

The above noted site plan project has been satisfactorily completed in accordance with the requirements of the Planning Board's *Site Plan Rules and Regulations* applicable to this project, the application submitted for approval of this development, the Site Plan Decision and all conditions of approval, the endorsed Site Plan, and all conditions subsequent to approval of the site plan due to any amendment, modification, or revision of the Site Plan or Decision.


NOTES

1. This Certificate of Site Plan Completion pertains only to the buildings at 72C and 72 Main Street on Parcel 40-051 and the construction of the stormwater system for the entire 3 parcel site. Future development of Parcel 40-051-002 (72A Main Street) and Parcel 40-051-001 (72B Main Street) will be covered under separate site plan applications.
2. This certificate is issued with the understanding that the landscaping installation shown on the plan at the southern end of the detention basin has not yet been installed but will be by June 30, 2017.


All of the provisions set forth in any performance guarantee and any amendments thereto and the following additional documents (if any) (hereinafter "approval instruments") are released from the original bond amount of \$161,679 however a minimum bond amount of \$40,000 is retained until the landscaping installation is completed.

Certificate of SITE PLAN Completion
Tri Valley Commons – 72 Main Street


Planning and Economic Development Board Members


Member

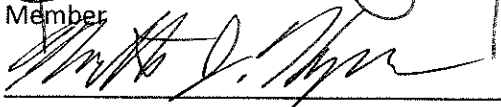
12/13/16
Date


Member

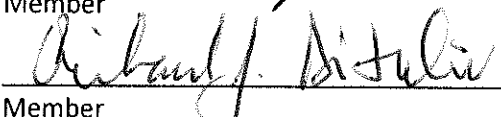
12/13/16
Date


Member

12.13.16
Date


Member

12/13/16
Date


Member

12/13/16
Date

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Wednesday, November 01, 2017 9:59 AM
To: Susan Affleck-Childs
Cc: Andy Rodenhiser ; Bridget Graziano
Subject: RE: TVC - Remaining Items

Hi Susy,

I visited the site and have the following comments regarding the approved site plan and release of the 40k bond:

1. Landscaping at south side of basin has been installed per the plan.
2. Fence has been installed along the retaining wall on eastern side of site per the plan.

Regarding Conservation's Comments:

3. Grass appears to be growing on the jute netted areas at grade on the upper portion of the side adjacent to the roadway. I would say this is ok for an interim condition but conservation may have another view on it.
4. Seeding required at toe of slope south of the retaining wall and adjacent to wetland at area of cleanup from previous erosion into the wetland. This certainly needs to be seeded as it is just bare soil, this is the only action item I have from the visit, all other areas appear to be stable enough to prevent significant erosion in the site's interim condition.

Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Monday, October 30, 2017 3:45 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Andy Rodenhiser <andy@rodenhiser.com>
Subject: TVC - Remaining Items

Hi Steve,

Rich Landry has requested a final release of the subdivision bond for Tri Valley Commons. He has an insurance bond in the amount of \$40,000; it had been reduced from \$160,000+. In December 2016, the Board decided to hold \$40,000 until the landscaping and fencing installation shown on the TV Commons site plan at the southern end of the detention basin was installed, even though you had advised to wait for that work until Phase II. I believe your last correspondence to me on this was 12/9/16. See below.

Would you please visit the site and determine whether the landscaping and fencing has been suitably and completely installed per the plan and let me know?

ALSO, ConCom has not issued a Certificate of Compliance for the project. The Commission and Bridget continue to be concerned that Rich Landry has not done everything he was supposed to do on the site in terms of erosion control, etc. See attached photos dated 10-12-17 from Bridget. Please review these items as well when you are on site. I would appreciate your input on how not addressing these items impacts the Phase II parcel.

I am planning to place this on the agenda for the 11/14 PEDB mtg.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]
Sent: Friday, December 09, 2016 12:15 PM
To: Susan Affleck-Childs
Subject: TVC Remaining Items

Hi Susy,

Per our phone conversation, the following items have not been completed in Phase I per the plans:

1. Landscape screening on the south end of the basin. In my opinion this should wait until Phase 2 construction is complete to prevent the trees/shrubs from being damaged during construction but ultimately should be a question the board should weigh in on. See attached photo looking toward the basin from the Phase II area, the basin is below grade at that point and not visible from the roadway.
2. 4' Chain Link Fence along the retaining wall on the eastern side of the site. Phasing Plan does not say this is required but lack of a fence could pose a safety risk if someone walks over to that area and falls off the wall.
3. Movable planter adjacent to the electric transformer requires planting.

Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, EIT | Project Engineer
Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201
steven.bouley@tetrattech.com

Tetra Tech, Inc. | Water, Environment and Infrastructure
Marlborough Technology Park | 100 Nickerson Road, Suite 200 | Marlborough, MA 01752 www.tetrattech.com

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72 Main Street – 10-12-17



Jute matting added, no grass growth



area at rut filled in, no grass



Too much straw



degraded slopes not addressed – filled with straw



Too much straw seed not taking



10" of boot covered in straw



Edges of erosion control not fixed-graded





Straw



no seed slope still exposed



Slope still exposed and no sign of seed germination



slide of slope once eroded, now seem vector
for continued run-off



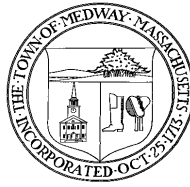
Removal of e&s left slopes unfinished



straw



Piles of straw



November 14, 2017
Medway Planning & Economic Development Board
Meeting

Pine Ridge/Candlewood Bond Release

Paul Yorkis has requested the final release of the remaining bond funds for Pine Ridge/Candlewood & Island Road. See following:

- Project Completion Agreement signed 6/27/17.
- 11/8/17 SAC email to Dave D'Amico/DPS asking for its sign off. As of 11/9/17 at 3:50 pm, no response.

Pine Ridge

- Tetra Tech inspection/review email dated 11/6/17
- As-built plan dated 8/30/17 by McClure Engineering & O'Driscoll Land Surveying
- Emails between Susy and Paul Yorkis. I asked Paul to remove erosion controls and to provide a receipt for the last time John Claffey cleaned the stormwater drainage system.

Candlewood/Island Road

- Candlewood Drive Limited Utilities Schematic dated 8/30/17 by McClure Engineering & O'Driscoll Land Surveying
- Island Road Limited Utilities Schematic dated 10/18/17 by McClure Engineering & O'Driscoll Land Surveying

Bond Amount

\$79,067.97	(June 2017)
- \$48,000.00	transferred to TOM for fire truck – June 2017
- <u>\$ 5,000.00</u>	transferred to TOM sidewalk fund for work on Candlewood RD & Island DR – June 2017
\$26,067.97 +/-	Balance available for refund

I hope to have further information to share with you Tuesday night including something from DPS.

JEPSKY & SACK
ATTORNEYS AT LAW

WILLIAM D. SACK
ANDREW S. JEPSKY
KATHLEEN A. ELIA

1000 FRANKLIN VILLAGE DRIVE
SUITE 102
THE EXECUTIVE CENTER
FRANKLIN, MA 02038
TEL: (508) 520-3300
FAX: (508) 528-6069
EMAIL: closings@jepskysack.com

June 23, 2017

Town of Medway
Planning and Economic Development Board
155 Village Street
Medway, MA 02053

RE: Pine Ridge and Candlewood Drive Sureties

Dear Board Members:

This letter shall serve as a request for a modification of the original terms and conditions of the release of two surety accounts regarding the above-referenced property.

This proposed modification is based on the June 6, 2017 letter to the Medway Planning & Economic Development Board from David D'Amico, Director of the Department of Public Services, attached hereto, and final quotes for the cost of all work set forth in the revised punch list attached to said letter. The proposal also reflects the fact that the Fire Department at this time, approximately eleven years after approval of the Pine Ridge OSRD plan, now prefers the acquisition of a fire vehicle over completion of the emergency access connection, because the emergency access connection, if completed as originally designed, will no longer support the newer, heavier fire vehicles. This proposal also includes the preparation of as-built plans and a large contribution by Developer, Pine Ridge Drive, LLC, (hereinafter referred to as "Pine Ridge") over the surety amount held by the Town.

Pine Ridge will cause the work detailed below to be completed in a professional, workmanlike manner by the subcontractors listed on or before August 31, 2017, weather permitting and barring unforeseen circumstances or the occurrence of a force majeure that may result in a delay.

No funds shall be released to Pine Ridge from the surety accounts until such time as all work detailed below is completed to the satisfaction of the Department of Public Services. However, the sum of \$53,000.00 may be released from the surety accounts to the Town of Medway forthwith upon approval of this modification as follows:

1. \$48,000.00 for the purchase of a fire vehicle; and
2. \$5,000.00 as a contribution to a sidewalk fund.

Upon approval of the work by the Department of Public Services, the Planning and Economic Development Board shall vote and shall release the remaining balance of the surety accounts to Pine Ridge or nominee. Pine Ridge shall cause the following work to be completed at its sole cost and expense:

CANDLEWOOD DRIVE, ISLAND ROAD AND DETENTION BASIN

Vin Boczanowski	(Complete DPS punch list, except for crack seal roads and sidewalks, and mill & overlay trenches 1-8 as covered by the Lorusso work, and shall also excludes as-built plans)	\$ 8,200.00
Vin Boczanowski	(Complete work in Detention Basin)	\$ 9,000.00
Lorusso Corporation	(see invoice for description of work)	\$14,975.00
Contingency for cost overrun		\$ 1,000.00
McClure Engineering	(as built plans)	\$ 4,050.00
TOTAL		\$37,225.00

PINE RIDGE

Vin Boczanowski	(re-clear walking path and post markers per letter from consulting engineer)	\$ 1,000.00
The Line Smith	(striping per letter from consulting engineer)	\$ 100.00
McClure Engineering	(as built plans)	<u>\$ 6,725.00</u>
TOTAL		\$ 7,825.00

TOTAL FOR WORK	\$43,500.00
-----------------------	--------------------

TOTAL SURETY AMOUNT HELD BY TOWN OF MEDWAY	\$79,067.97
---	--------------------

LESS \$53,000 TO BE RETAINED & EXPENDED BY TOWN PER ABOVE ITEMS:
 (Remaining Balance Due to Pine Ridge or nominee (approximately \$26,067.97) Upon Completion and Town Approval of Work Contained As Stipulated Herein.)

Upon approval of the above-referenced work by the DPS and final release by the Planning Board, all enforcement action by the Town against Pine Ridge and Mr. John Claffey will end.

This proposal assumes the following:

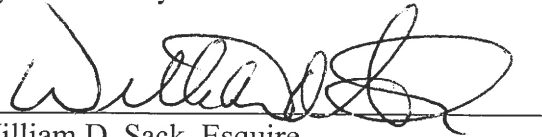
1. No additional fees will be assessed to the Applicant (Pine Ridge or Mr. Claffey) for work to be completed under the expired Order of Conditions (DEP #216-0726) and for the filing of a Request for Certificate of Compliance associated with such work in order to close the Order of Conditions

DEP #216-0726. The Conservation Agent agrees to issue an (Amended) Enforcement Order to authorize any unfinished work under DEP #216-0726 and for the removal of organic and non-organic material in jurisdictional areas (as previously cited by the Agent in an Enforcement Order). The work under the (Amended) Enforcement Order will allow for maintenance of the existing stormwater management system as needed. This will include seeding of any disturbed area with an erosion control mix once completed. John Claffey will request a Certificate of Compliance from the Conservation Commission which shall not be unreasonably withheld.

2. The Walking Path on the Open Space Parcel shall be re-cleared. Following inspection by the Planning & Economic Development Board, the Open Space parcel shall be approved for transfer to the Town. No further action shall be required from Pine Ridge except for the execution of a deed in order to transfer said parcel to the Town.
3. Following satisfactory inspection by the Department of Public Services, the Department will recommend acceptance of the roads.
4. No legal fees are to be paid by Pine Ridge or John Claffey.
5. No additional fees are to be paid by Pine Ridge or John Claffey for future inspections.
6. The "as built" plans to be prepared by McClure Engineering will be final upon submittal.

We believe that this proposal represents the best outcome for the Town and the local residents for an admittedly not ideal situation. We sincerely hope that you share our opinion and that this request for a modification will be granted. Please do not hesitate to contact our office should you have any questions or concerns.

Very truly yours,
Pine Ridge Drive, LLC
By Its Attorney:

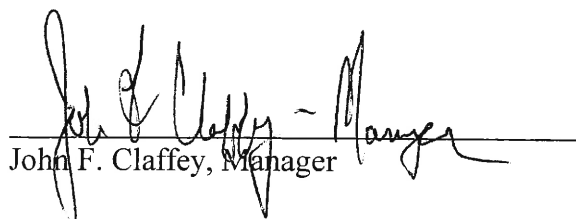


William D. Sack, Esquire
Jepsky & Sack
1000 Franklin Village Drive
Suite 102
Franklin, MA 02038

Pine Ridge Drive, LLC hereby accepts the terms and conditions of the work to be performed herein and further assents to the release of the monies held in the Town of Medway surety account pursuant to the terms and conditions contained herein.

Date: 6-27-17

Pine Ridge Drive, LLC
By:



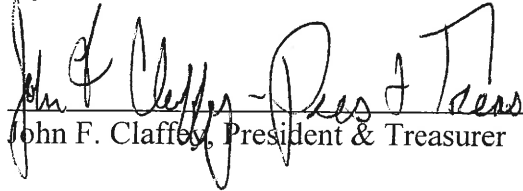
John F. Claffey, Manager

Clafco Builders Corporation hereby assents to the release of the monies held in the Town of Medway surety account pursuant to the terms and conditions contained herein.

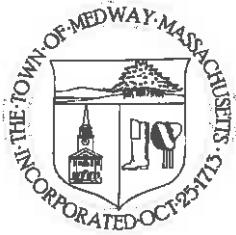
Date: 6-27-17

Clafco Builders Corporation

By:



John F. Claffey, President & Treasurer



TOWN OF MEDWAY
DEPARTMENT OF PUBLIC SERVICES
MEDWAY, MASSACHUSETTS

*Entrusted To
Manage The
Public
Infrastructure*

DAVID D'AMICO
DIRECTOR

BARRY SMITH
DEPUTY DIRECTOR

To: Medway Planning & Economical Development Board

Date: June 6, 2017

Subject: Candlewood Dr. & Island Rd. Punch List / Acceptance

Department of Public Services staff have been working in conjunction with Mr. Claffey and Mr. Yorkis on the above subject roadways. The goal has been to identify the key elements that need to be completed for the Town to accept the roads. This is not intended to be a comprehensive list as would be required for a new development. Instead, we seek to determine those items that will stabilize the roads and associated infrastructure and allow them to operate properly for another decade or more without major incident. In the case of Candlewood Dr. and Island Rd., we believe this to be a prudent course of action.

Attached is a revised punch list that we feel, if completed this year, will meet the stated objective. Also included are some marked up plans and photos to help define the scope of work. The Department would expect to continue to work with the developer and his contractors for inspections and approvals, as needed, as the work progresses. Should the work be completed to the satisfaction of the Department and in a timely manner, we would recommend that both roads be accepted by the Town. Such a recommendation, as always, would merely be in connection with the road construction and not encompass any other aspect of the street acceptance process.

Please let me know if this meets with your satisfaction or if you would like to proceed in any other manner.

Sincerely,

David D'Amico, Director

xc: John Claffey, Developer
Paul Yorkis, Developer's Representative
Michael Boynton, Town Administrator
Stephanie Mercandetti, Economic Development Director
Barry Smith, DPS Deputy Director
Jack Tucker, Highway Superintendent

HIGHWAY - WATER - SEWER - FLEET - PARKS - FACILITIES - SOLID WASTE

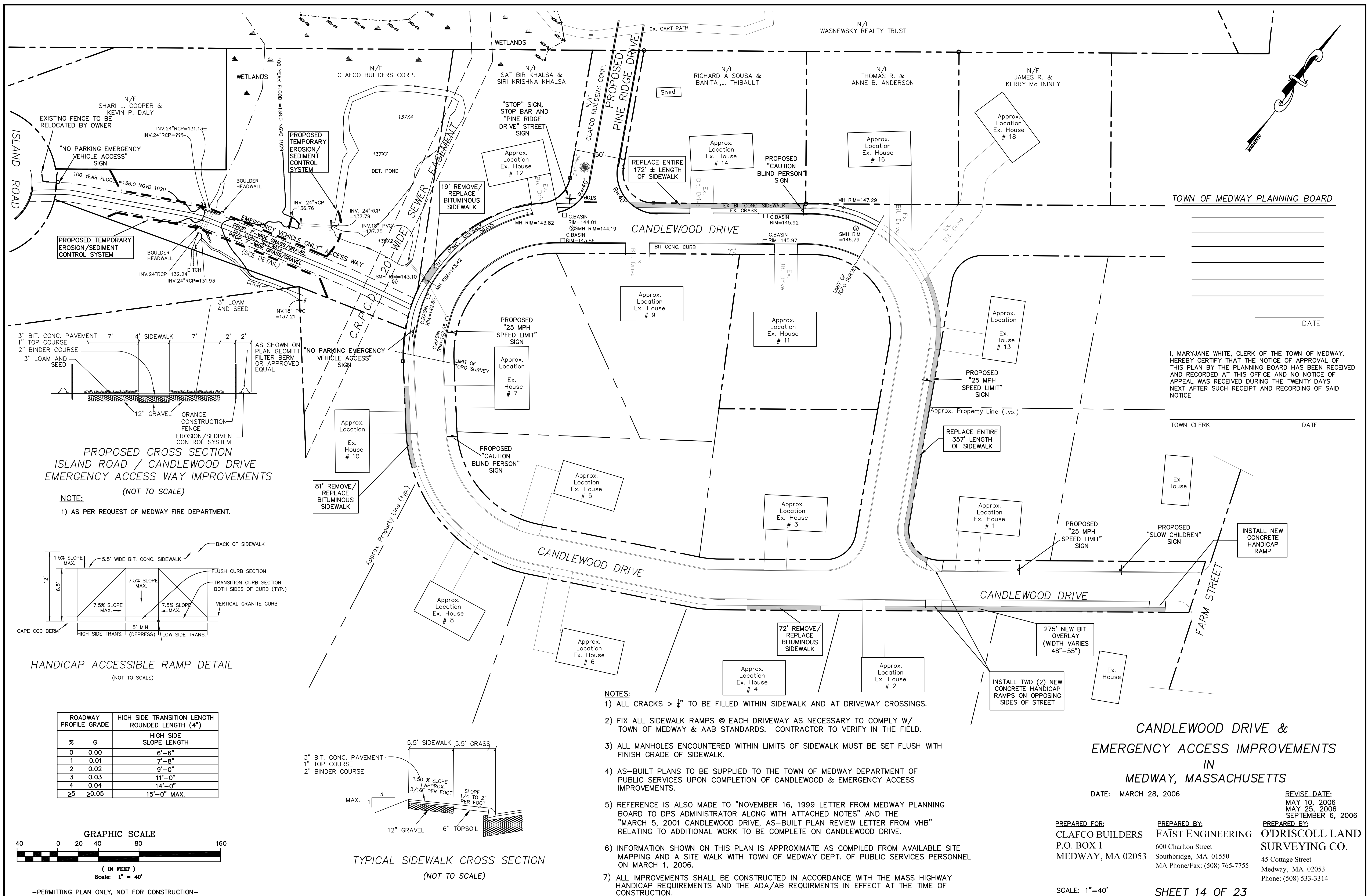
TOWN OFFICES | 45B HOLLISTON STREET | MEDWAY, MASSACHUSETTS 02053 | TEL 508-533-3275

Candlewood Drive Street Acceptance Improvements

- Crack seal road surface throughout road limits.
- Podge bricks of Catch Basin structures. (Catch Basin numbers 1,2,5,8,9*,12,13,16)
*Cement outside of frame
- Fill & Patch Sinkhole
- Mill & overlay cross trenches. (Numbers 1-8)
- Podge lift holes (Catch Basin 16)
- Build Invert on Drain 2.
- Cement around pipes (Drain 8, Catch Basins 13,15)
 - Note: Cellar drains into Catch Basins 10,11,13 & Drain 11
 - Note: Surveyor to plot all utilities on plan, as built.

Island Road Street Acceptance Improvements

- Cement podge Catch Basin collar (Catch Basins 1,2, Drain 1)
- Cement pipe connections (Catch Basins 1,2, Drain 1)
- Podge entire structure (Catch Basin 3)
- Crack seal entire street and sidewalks.
- Replace sewer covers with covers that say "SEWER" (Sewers 1,2,4)
- Replace street sign.



Candlewood Drive

Candlewood Drains

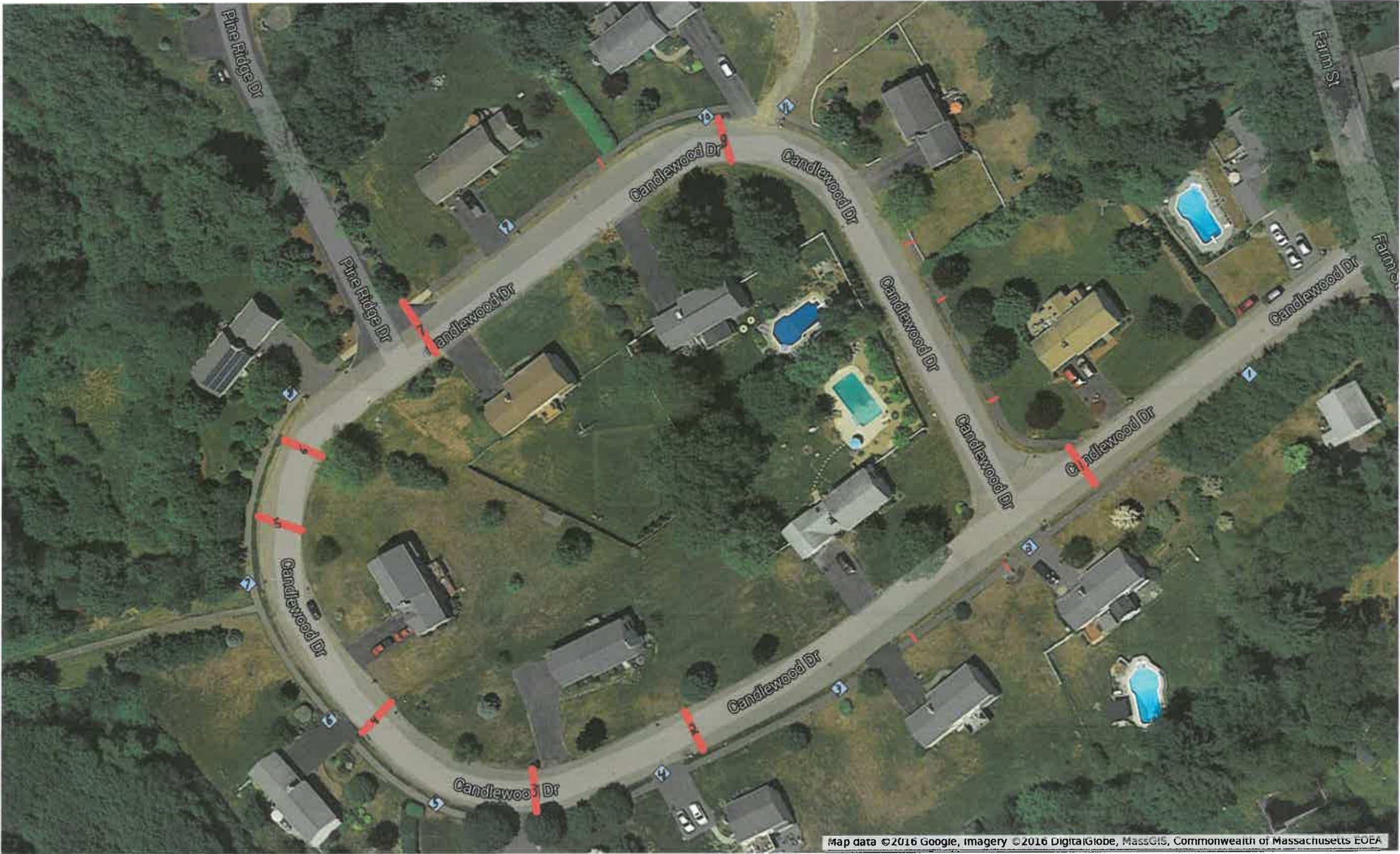
- ◆ Drain 1
- ◆ Drain 2
- ◆ Drain 3
- ◆ Drain 4
- ◆ Drain 5
- ◆ Drain 6
- ◆ Drain 7
- ◆ Drain 8
- ◆ Drain 9
- ◆ Drain 10
- ◆ Drain 11

Candlewood Trenches

- 🔗 Trench 1
- 🔗 Trench 2
- 🔗 Trench 3
- 🔗 Trench 4
- 🔗 Trench 5
- 🔗 Trench 6
- 🔗 Trench 7
- 🔗 Trench 8

Candlewood Sidewalk Patch

- 🔗 Patch 1
- 🔗 Patch 2
- 🔗 Patch 3
- 🔗 Patch 4
- 🔗 Patch 5
- 🔗 Patch 6



Candlewood Drive

Candlewood Basins

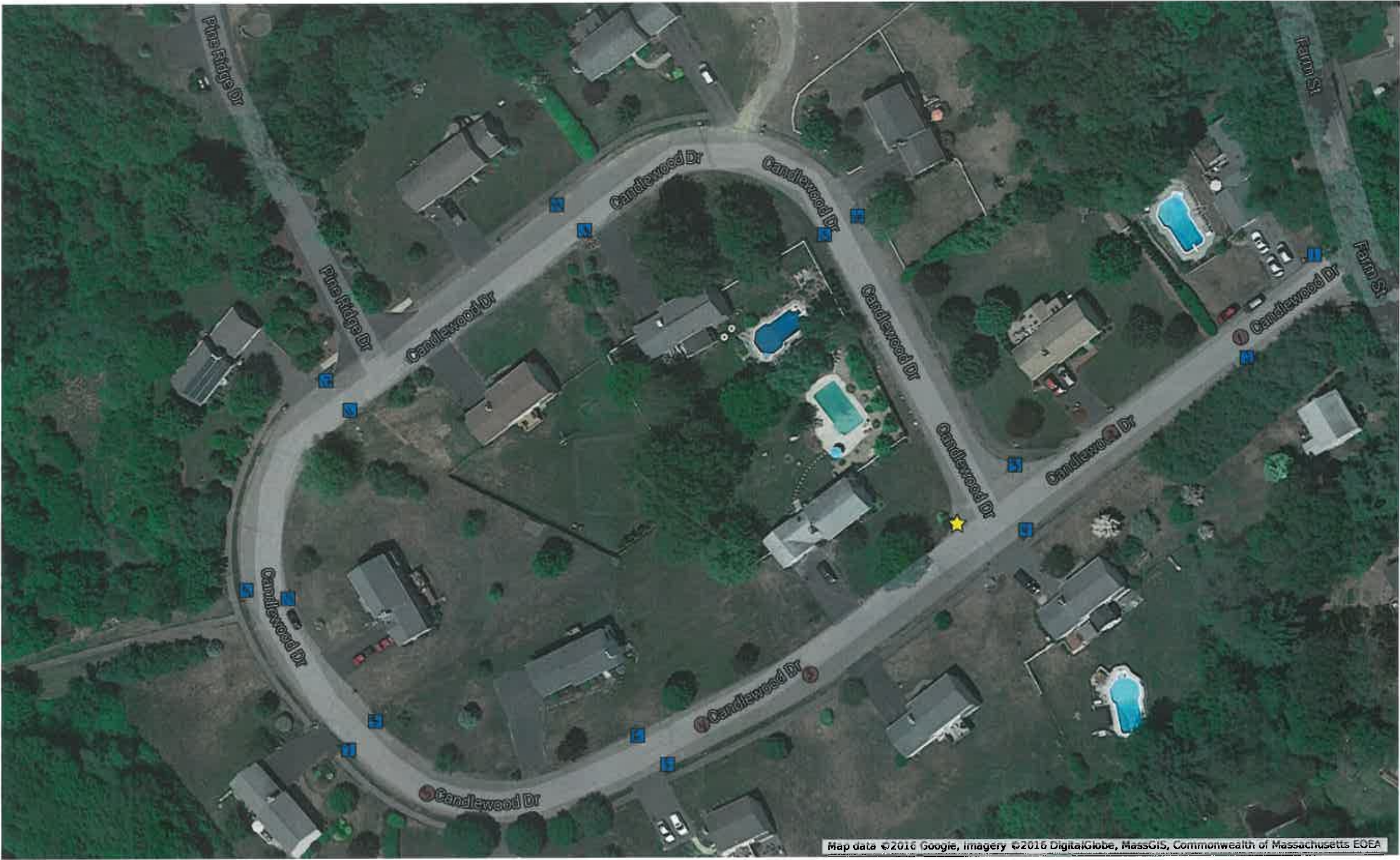
- Basin 1
- Basin 2
- Basin 3
- Basin 4
- Basin 5
- Basin 6
- Basin 7
- Basin 8
- Basin 9
- Basin 10
- Basin 11
- Basin 12
- Basin 13
- Basin 14
- Basin 15
- Basin 16

Candlewood Sewer

- Sewer 1
- Sewer 2
- Sewer 3
- Sewer 5
- Sewer 4

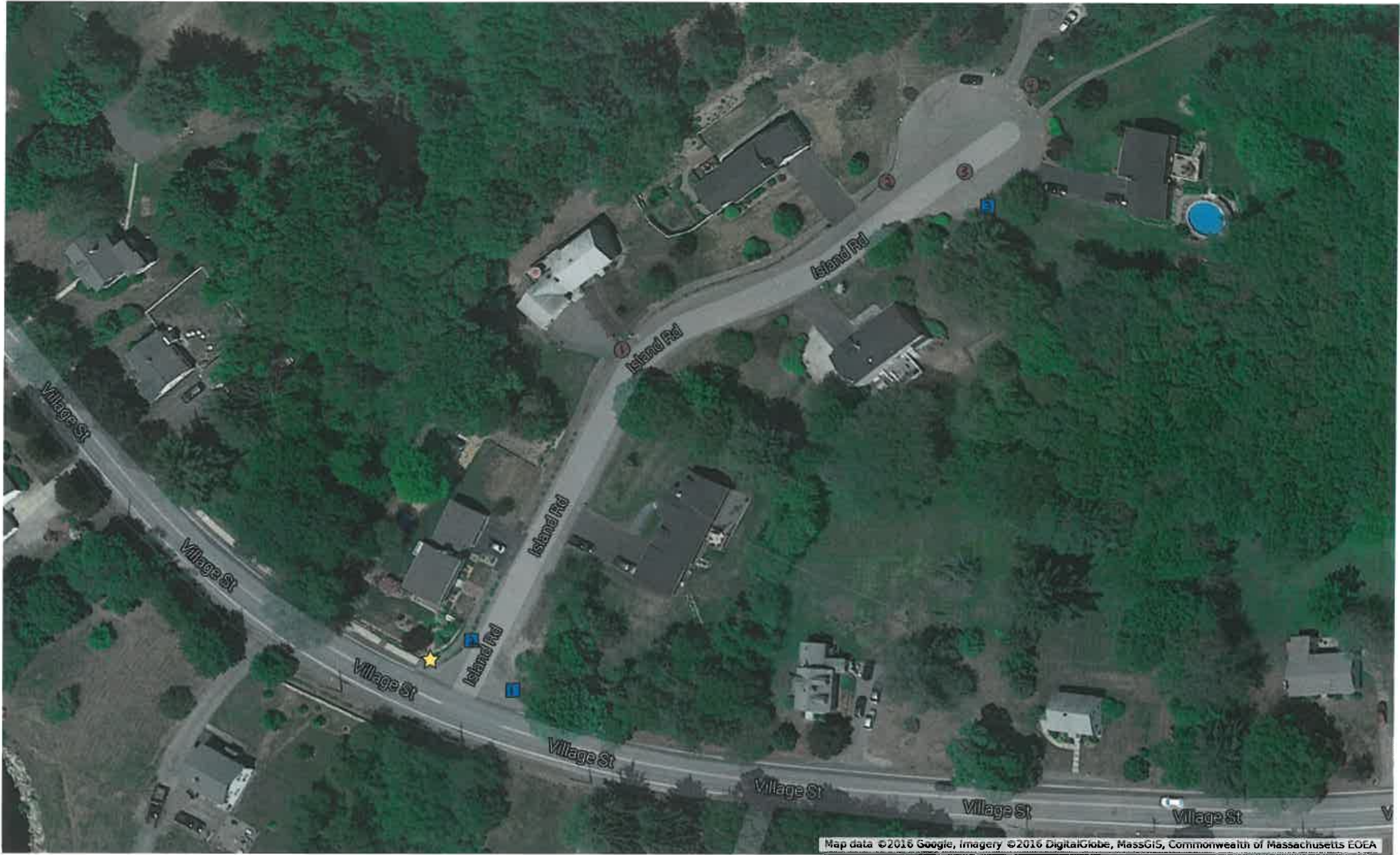
Candlewood Misc.

- Sinkhole



Candlewood Drive/Island Road

- Island Basins
- Basin 1
 - Basin 2
 - Basin 3
- Island Sewer
- Sewer 1
 - Sewer 2
 - Sewer 3
 - Sewer 4
- Island Misc.
- Street Sign



VIN BOCZANOWSKI

Construction- Excavating

17 Highland St.

Medway Ma. 02053

(508-533-2152) (CELL 580-735-5002)

5/5/17-----

est;

PINE RIDGE LLC

PO BOX 1

MEDWAY MA 02053

jobsite;

CANDLEWOOD DR.

ISLAND RD.

SCOPE OF WORK; SEE ATTACHED SHEET AS PER TOWN OF MEDWAY

COMPLETE LIST EXCEPT FOLLOWING ITEMS TO BE DONE BY OTHERS

- A. AS BUILD PLAN
- B. CRACK SEAL STREET & SIDEWALK
- C. MILL & OVERLAY TRENCHES 1-8

LIST WILL BE COMPLETED FOR THE SUM OF..... \$8,200.00

DETENTION BASIN

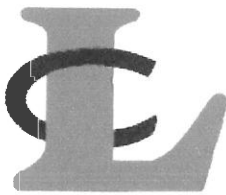
REMOVE & DISPOSE OF BRUSH & GRASS CLIPINGS

CUT & REMOVE TREES IN FLOOR OF BASIN

*SMALL EXCAVATOR WILL BE USED IN BASIN AREA

RE- SEED DISTURBED AREAS..... \$9,000.00

TOTAL..... \$17,200.00



Lorusso Corporation

3 Belcher Street
Plainville, MA 02762
Tel: (508) 695-3252
Fax: (508) 699-0724

To:	Patriot Real Estate	Contact:	Paul Yorkis
Address:	159 Main Street Medway, MA 02053	Phone:	508-533-4321
Project Name:	Candlewood & Island Road - Medway	Bid Number:	
Project Location:	Candlewood Drive & Island Road, Medway, MA	Bid Date:	8/8/2016

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
1	Sawcut/Remove Asphalt/Prep Trench *(9) Gas Trenches On Candlewood *(1) 20x20 Patch On Island Road *(1) 5x5 Patch On Curb Line Of Island Road	250.00	SY	\$29.15	\$7,287.50
2	Asphalt Patching *(9) Candlewood Drive *(2) Island Road	250.00	SY	\$30.75	\$7,687.50

Notes:

- Prices quoted are based on current FOB refinery prices on liquid asphalt. Such quoted prices are NOT guaranteed by the major oil companies and are subject to sudden adjustment during the term of the agreement. The base price of Liquid Asphalt is \$352.50 per liquid ton. Any change in the price of liquid asphalt will require an extra charge of \$ 0.06 per ton for every \$ 1.00 per ton increase in the price of liquid asphalt.
- Estimate based on 1 mobilization(s). For any additional mobilizations, Lorusso Corp will charge at the rate of \$3500.00 each
- This Quote / Proposal-Contract is valid for a period of thirty (30) days and only if executed by an officer or the General Manager of Lorusso Corporation, (hereinafter called "Lorusso Corporation") and credit suitable to Lorusso Corporation is established.
- EXCLUDES; Police, Hot Poured Rubber, Sweeping, Striping, Traffic Control - Safety, Engineering or Lay-out, Adjustment of Structures, Posting, Permits, Testing, Water for Dust Control, material to be used for the Fine Grade operation, Excess Grading Time and additional mobilizations.
- Lorusso Corporation will be given at least two (2) weeks' notice after the surface is fully prepared before commencing its work.
- Lorusso Corporation will not be responsible for defects in the paving resulting from adverse weather conditions or from inadequate design, sub grade, or base conditions.
- Buyer shall bear all losses, damages, and expenses for paving work performed after November 15 or when, despite adverse weather conditions, Buyer has directed Lorusso Corporation to perform work.
- Pricing based on work being completed Monday -Friday 7:30 AM to 3:30 PM
- Project included MA State Sales Tax
- All work after Nov 15th or before April 15th will require a Signed Seasonal Weather Release

Payment Terms:

Terms are net cash due in full within thirty (30) days of invoice. If measurement is necessary and if mutual agreement cannot be reached, measurement by an outside engineer acceptable to Lorusso Corporation shall govern. The charges of such engineer shall be paid forthwith by Buyer. Sales taxes, where applicable, will be charged on labor, material, and/or equipment over and above the contract unit prices. If bills are not paid when due, a carrying charge of 1 % per month will be charged from the due date until date of payment, and Buyer will pay all costs of collection including any charges for materials testing, inspections, surveying, or related engineering services and reasonable attorney's fees.

ACCEPTED: The above prices, specifications and conditions are satisfactory and are hereby accepted. Buyer: _____ Signature: _____ Date of Acceptance: _____	CONFIRMED: Lorusso Corporation Authorized Signature: _____ Estimator: Matt Gannon
---	--

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:
Pine Ridge, LLC Attn: Mr. John Claffey P.O. Box 1 Medway, MA 02053

Proposal #	Date
177-1396-G	06/02/17

Project #	Site Information	PWS ID #	Terms	PO #	Sub #
177-1396-G	Candlewood Drive		Per Agreement		

Description

Candlewood Drive, Medway MA "Limited Utility Location As-Built Sketch"

McClure Engineering, Inc. (McClure) is pleased to provide a Professional Service Agreement (Agreement) to Pine Ridge, LLC (Client). The Agreement was developed at the request of the Client to perform a "limited utility location as-built survey and sketch plan" showing visible utilities located on Candlewood Drive.

The following scope of work is based on our past experience and McClure's 2017 hourly billing rates.

Scope of Work

Fee Estimate

2016 Conservation Permitting Technical Assistance.....\$1,550

- Candlewood Drive – 2016 Emergency Access Conservation Permit Assistance (O'Driscoll / McClure)

Land Surveying Services.....\$1,400

- 1-Day Limited As-Built Field Work survey to locate Candlewood Drive visible catch basins, manholes and utility boxes.

Candlewood Drive "Limited Utility Location As-Built Plan".....\$1,100

- "Candlewood Drive Limited Utility As-Built Sketch Plan" 1 day design/drafting schematic level plan depicting visible utilities and drainage structures and manholes.
- Submittal of Plan to Medway Department of Public Services (DPS).

The total estimated cost to perform the above referenced work.....**\$4,050**

If you accept the terms of this Agreement, please return a signed copy with a **\$2,000 retainer** payable to McClure Engineering, Inc. at your earliest convenience.

Billing for all professional services will be on an hourly basis and reflect the actual time expended to the project. (See attached Services & Hourly Rates Schedule.)

McCLURE

ENGINEERING, INC

PROFESSIONAL SERVICE AGREEMENT

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #

177-1396-G

Site Information

Candlewood Drive

PWS ID #**Terms**

Per Agreement

PO #**Sub #****Description****Please note:**

- The Agreement assumes the Client will provide McClure with any site plans/drawings or other pertinent site information to perform Scope of Work.
- The Agreement assumes O'Driscoll Land Surveying Co. Inc. is providing As-Built survey field work and data in CAD format. O'Driscoll Land Surveying Co. Inc. costs are included with this proposal.
- The Agreement does not include any work relating to "Candlewood Drive Emergency Access Improvements" design revisions, permitting, and/or related engineering/survey services.
- The Agreement does not include:
 - Planning Board or Conservation Commission Meetings
 - Conservation Commission Related Permitting and/or Certificate of Compliance Request
 - Candlewood Drive Plan and Profile
 - Plan Revisions
 - Professional Engineer/Surveyor Certifications
 - Mylar copies of As-Built Plans
 - Identifying/depicting underground utility locations
- The Agreement does not include and additional local/state/federal permits which may be required for the proposed work.
- The Agreement does not include any applicable local/state fees that may be associated with the Scope of Work.
- The Agreement does not include copies, printing, and associated postage. These costs will be billed as accrued.
- Any changes in the Scope of Work will be discussed with the Client and approved prior to initiating the work.

McClure anticipates it will take approximately 45-60 days to complete the above Scope of Work upon authorization to proceed.

Thank you,
David T. Faist, P.E.

TERMS AND CONDITIONS

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #

177-1396-G

Site Information

Candlewood Drive

PWS ID #

Terms

Per Agreement

PO #

Sub #

Description

ESTIMATED COMPLETION DATE: McClure Engineering, Inc. is prepared to commence work upon receipt of this signed agreement. In the event that the Engineer is obstructed or delayed in the completion of said services by any act of the Client or the Client's agents or by any act beyond the control of the Engineer including, but not limited to, inclement weather, illness, strikes, failure of equipment, unanticipated degree of difficulty encountered in performing said services, or delay created within or by approving agencies, then the time herein fixed for the completion of the services shall be extended for a period of time equivalent of the time lost by reason of any or all of the aforementioned causes.

TERMINATION: This agreement may be terminated by either party upon five (5) days written notice in the event of persistent failures of performance of material terms and conditions of this Agreement by the other party through no fault of the terminating party. The Engineer shall then be paid for the services completed up to the time of the termination date based upon the above-described fees.

OWNERSHIP of DOCUMENTS: All documents, including original drawings, estimates, specifications, field notes and data are and shall remain the sole and exclusive property of McClure Engineering, Inc. as instruments of service. The Client may, at his expense, obtain record prints of drawings, in consideration of which the Client will use them solely in connection with the above-described project and not for the purpose of making subsequent extensions or enlargements thereto.

PAYMENT: Unless otherwise specified in this Agreement, payment for the above-described services shall be due within thirty (30) days from the date of the first billing. In the event that said account is unpaid after the thirtieth day subsequent to the date of the first billing, the Client shall be subject to a monthly service charge of (1% - 1 1/2 %) on the then unpaid balance (12% - 18% true annual rate). In the event that any portion of all of this account remains unpaid ninety (90) days subsequent to the first billing date, the Client shall pay all costs of collection including reasonable attorney's fees.

AMENDMENT of AGREEMENT: This Agreement may be amended only in writing signed by the Client and Engineer.

APPLICABLE LAW: Unless otherwise specified, this Agreement shall be governed by the laws of the Commonwealth of Massachusetts.

McCLURE

ENGINEERING, INC

PROFESSIONAL SERVICE AGREEMENT

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #	Site Information	PWS ID #	Terms	PO #	Sub #
177-1396-G	Candlewood Drive		Per Agreement		
Description					
Services and Hourly Rates					
Professional Engineer			\$140.00		
Senior Project Engineer			\$130.00		
Project Management			\$85.00		
Drafting/Design			\$85.00		
Project Engineer			\$75.00		
Certified Operator			\$75.00		
Environmental Scientist			\$60.00		
Survey Crew			\$150.00		
Administration			\$50.00		
Expenses Not Included in Agreements					
(To be paid directly to Town/State, or reimbursed to McClure Engineering, Inc.)					
Permit/Filing Fees to Town Engineering Reviews if Required Inspection Fees Wetland Scientists & Other Subcontractors			Permit/Filing Fees to State Laboratory Testing Printing/Postage Field Supplies		
ACCEPTED: The above price, specifications and conditions are satisfactory and are hereby accepted. McClure Engineering, Inc. is authorized to do the work as specified above.					
Client Authorized Signature		Date		McClure Engineering, Inc. Date	
Client Information Section (Please Complete All Information)					
Contact Name:			Contact Phone:		
Mailing Address:			Fax:		
			E-Mail:		
City, State, Zip:			Alternate Phone:		

McCLURE

ENGINEERING, INC

PROFESSIONAL SERVICE AGREEMENT

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #

177-1396-G

Site Information

Village At Pine Ridge

PWS ID #**Terms**

Per Agreement

PO #**Sub #****Description**

**Village at Pine Ridge – Open Space Residential Development (OSRD), Medway, MA
As-Built Plan and Certification (Revised)**

McClure Engineering, Inc. (McClure) is pleased to provide a Professional Service Agreement (Agreement) to Pine Ridge, LLC (Client). The Agreement was developed at the request of the Client to perform as-built engineering services at the Village at Pine Ridge Condominiums subdivision located at Pine Ridge Drive in Medway, MA. The Agreement is revised to include O'Driscoll Land Surveying, Co. professional land surveying costs, and McClure's 2017 hourly billing rates.

Scope of Work:**Fee Estimate**

Phase I – As-Built Land Surveying Services\$1,725

- Village at Pine Ridge – As-Built Field Survey and provide engineer with survey point locations

Phase II – As-Built Plan Drafting and Professional Engineer Certification.....\$5,000

- 2016 Site Visit with Tetra Tech and Provide Copies of Original Plans to Steve Bouley, EIT
- Design Engineer site inspection and As-Built documentation
- "Village at Pine Ridge As-Built Plan & Profile" drafting
- Professional Engineer Certification Letter
- Submittal of As-Built Plan(s) to Planning Board with Certification Letter

The total estimated cost to perform the above referenced work.....**\$6,725**

If you accept the terms of this Agreement, please return a signed copy with a **\$2,500 retainer** payable to McClure Engineering, Inc. at your earliest convenience.

Billing for all professional services will be on an hourly basis and reflect the actual time expended to the project. (See attached Services & Hourly Rates Schedule.)

McCLURE

ENGINEERING, INC

PROFESSIONAL SERVICE AGREEMENT

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #

177-1396-G

Site Information

Village At Pine Ridge

PWS ID #**Terms**

Per Agreement

PO #**Sub #****Description****Please note:**

- The Agreement assumes the Client will provide McClure with any site plans/drawings or other pertinent site information to perform Scope of Work.
- The Agreement assumes O'Driscoll Land Surveying Co. Inc. is providing As-Built survey field work and data in CAD format. O'Driscoll Land Surveying Co. Inc. costs are included with this proposal.
- The Agreement does not include any work relating to "Candlewood Drive Emergency Access Improvements" design revisions, permitting, and/or related engineering/survey services.
- The Agreement does not include a "Profile View" of the Candlewood Drive subdivision. Limited survey to include locations of visible utilities including catch basins, manholes, and utility boxes.
- The Agreement does not include:
 - Planning Board or Conservation Commission Meetings
 - Conservation Commission Related Permitting and/or Certificate of Compliance Request
 - Candlewood Drive related engineering and/or surveying work
 - Plan Revisions
 - Mylar copies of As-Built Plans
- The Agreement does not include and additional local/state/federal permits which may be required for the proposed work.
- The Agreement does not include any applicable local/state fees that may be associated with the Scope of Work.
- The Agreement does not include copies, printing, and associated postage. These costs will be billed as accrued.
- Any changes in the Scope of Work will be discussed with the Client and approved prior to initiating the work.

McClure anticipates it will take approximately 45-60 days to complete the above Scope of Work upon authorization to proceed.

Thank you,
David T. Faist, P.E.

TERMS AND CONDITIONS

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:
Pine Ridge, LLC Attn: Mr. John Claffey P.O. Box 1 Medway, MA 02053

Proposal #	Date
177-1396-G	06/02/17

Project #	Site Information	PWS ID #	Terms	PO #	Sub #
177-1396-G	Village At Pine Ridge		Per Agreement		

Description

ESTIMATED COMPLETION DATE: McClure Engineering, Inc. is prepared to commence work upon receipt of this signed agreement. In the event that the Engineer is obstructed or delayed in the completion of said services by any act of the Client or the Client's agents or by any act beyond the control of the Engineer including, but not limited to, inclement weather, illness, strikes, failure of equipment, unanticipated degree of difficulty encountered in performing said services, or delay created within or by approving agencies, then the time herein fixed for the completion of the services shall be extended for a period of time equivalent of the time lost by reason of any or all of the aforementioned causes.

TERMINATION: This agreement may be terminated by either party upon five (5) days written notice in the event of persistent failures of performance of material terms and conditions of this Agreement by the other party through no fault of the terminating party. The Engineer shall then be paid for the services completed up to the time of the termination date based upon the above-described fees.

OWNERSHIP of DOCUMENTS: All documents, including original drawings, estimates, specifications, field notes and data are and shall remain the sole and exclusive property of McClure Engineering, Inc. as instruments of service. The Client may, at his expense, obtain record prints of drawings, in consideration of which the Client will use them solely in connection with the above-described project and not for the purpose of making subsequent extensions or enlargements thereto.

PAYMENT: Unless otherwise specified in this Agreement, payment for the above-described services shall be due within thirty (30) days from the date of the first billing. In the event that said account is unpaid after the thirtieth day subsequent to the date of the first billing, the Client shall be subject to a monthly service charge of (1% - 1 1/2 %) on the then unpaid balance (12% - 18% true annual rate). In the event that any portion of all of this account remains unpaid ninety (90) days subsequent to the first billing date, the Client shall pay all costs of collection including reasonable attorney's fees.

AMENDMENT of AGREEMENT: This Agreement may be amended only in writing signed by the Client and Engineer.

APPLICABLE LAW: Unless otherwise specified, this Agreement shall be governed by the laws of the Commonwealth of Massachusetts.

McCLURE

ENGINEERING, INC

PROFESSIONAL SERVICE AGREEMENT

119 Worcester Road
Charlton, MA 01507
T: 508.248.2005
F: 508.248.4887

Client:

Pine Ridge, LLC
Attn: Mr. John Claffey
P.O. Box 1
Medway, MA 02053

Proposal #

177-1396-G

Date

06/02/17

Project #

177-1396-G

Site Information

Village At Pine Ridge

PWS ID #**Terms**

Per Agreement

PO #**Sub #****Description****Services and Hourly Rates**

Professional Engineer	\$140.00
Senior Project Engineer	\$130.00
Project Management	\$85.00
Drafting/Design	\$85.00
Project Engineer	\$75.00
Certified Operator	\$75.00
Environmental Scientist	\$60.00
Survey Crew	\$150.00
Administration	\$50.00

Expenses Not Included in Agreements

(To be paid directly to Town/State, or reimbursed to McClure Engineering, Inc.)

Permit/Filing Fees to Town Engineering Reviews if Required Inspection Fees Wetland Scientists & Other Subcontractors	Permit/Filing Fees to State Laboratory Testing Printing/Postage Field Supplies
---	---

ACCEPTED: The above price, specifications and conditions are satisfactory and are hereby accepted. McClure Engineering, Inc. is authorized to do the work as specified above.

Client Authorized Signature

Date

McClure Engineering, Inc.

Date

Client Information Section

(Please Complete All Information)

Contact Name:

Contact Phone:

Mailing Address:

Fax:

E-Mail:

City, State, Zip:

Alternate Phone:

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, November 08, 2017 5:24 PM
To: David Damico; Jack Tucker; Barry Smith
Subject: RE: Island Rd, Candlewood Dr & Pine Ridge
Attachments: Pine Ridge Agreement with attachments (signed 6-27-17).pdf

Hi,

Paul Yorkis, on behalf of John Claffey, has requested that the Planning and Economic Development Board release the remaining bond funds for Pine Ridge/Candlewood. The Planning and Economic Development Board will consider that request at its 11-14-17 meeting.

You will remember that the Town entered into an agreement with Mr. Claffey in late June, 2017 regarding the completion of Pine Ridge, Candlewood Drive and Island Road. See Attached. *"No funds shall be released to Pine Ridge from the surety accounts until such time as all work detailed below is completed to the satisfaction of the Department of Public Services."* Accordingly, I need a written communication from DPS as to whether the work on Candlewood Drive, Island Road, and the stormwater basin between the two streets has been completed per the agreement.

FYI, I am in receipt of the as-built plans for Pine Ridge, Candlewood Drive and Island Road.

Please send me something in time for Tuesday's PEDB meeting.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: David Damico
Sent: Tuesday, September 26, 2017 12:57 PM
To: Jack Tucker
Cc: Susan Affleck-Childs
Subject: Re: Island Rd, Candlewood Dr

Jack,

Doing well. Going home today.

What you said sounds good. I'm cc'ing Susy here. She can chime in if she sees any issues.

Dave

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Jack Tucker <jtucker@townofmedway.org>
Date: 9/26/17 6:55 AM (GMT-05:00)
To: David Damico <ddamico@townofmedway.org>
Subject: RE: Island Rd, Candlewood Dr

Dave, the last we talked the 5k was in an account and was for us to do the repairs to the sidewalks where needed on Candlewood. I inspected the work that was completed and was planning on having CJP repair some areas of sidewalk on Candlewood. After speaking with Barry yesterday we were going to have CJP repair the 2 small areas on Island Rd while there in.

We are repairing CB's this week and planning on CJP coming after to do the paving and include Candlewood at the same time. If that works, let me know.

I will check Karen and Center St today.

Hope things are going well for you.

Jack

Jack Tucker

Highway Superintendent

Town of Medway

774-993-8418



www.townofmedway.org

[Facebook](#) [Twitter](#)

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From: David Damico
Sent: Monday, September 25, 2017 8:18 PM
To: Jack Tucker; Barry Smith
Subject: Re: Island Rd, Candlewood Dr

Sounds like nothing sidewalk related? The\$5K is for sidewalks in this area I'm told.

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: Jack Tucker <jtucker@townofmedway.org>

Date: 9/25/17 2:11 PM (GMT-05:00)

To: Barry Smith <bsmith@townofmedway.org>, David Damico <ddamico@townofmedway.org>

Subject: Island Rd, Candlewood Dr

After inspecting the work that was done on Island Rd and Candlewood Dr., there are a couple of minor things that still need to be addressed on Island Rd. Next to the paving that was done at the beginning of Island Rd. there are two areas where the asphalt has deteriorated and pot holes have started. One is where Island Rd meets Village St., and the other is approx. 3 ft. from the new asphalt patch. The street sign on Island Rd. still needs to be replaced. Everything on Candlewood Dr. looks good.

Thank You,

Jack Tucker

Highway Superintendent

Town of Medway

774-993-8418



www.townofmedway.org

[Facebook](#) [Twitter](#)

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Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, November 06, 2017 9:55 AM
To: Susan Affleck-Childs
Cc: Andy Rodenhiser
Subject: RE: Pine Ridge
Attachments: TT Memo_Pine Ridge-Candlewood Punch List_2016-04-22 (revised 2016-12-08)....pdf

Susy,

I visited the site and have the following comments based on the items listed in attached punch list for Pine Ridge:

1. This item has been completed.
2. This item has been completed. TT is not being scoped to review as-built.
3. Will need receipt of drainage system cleaning from the applicant.
4. Erosion controls have not been removed throughout the site.
5. Path has been cleared and trees marked with paint for proposed path alignment.

Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Wednesday, November 01, 2017 10:57 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Andy Rodenhiser <andy@rodenhiser.com>
Subject: Pine Ridge

Hi Steve,

Paul Yorkis has informed me that work has been completed at Pine Ridge/Candlewood/Island Road and has requested that the Board refund the balance of the bond funds.

I believe the attached is the last TT inspection report/punch list for Pine Ridge and Candlewood; it dates from December 2016.

DPS is handling the inspection of the Candlewood and Island Road work and the detention basin.

Please visit the Pine Ridge portion of the site and provide a report on the status of **just** the Pine Ridge items you noted in the December 2016 report. This will be on the agenda of the 11/14 PEDB mtg.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway

155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org


Town of Medway – *A Massachusetts Green Community*

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To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven Bouley, EIT – Tetra Tech 

Date: April 22, 2016 (revised December 8, 2016)

Subject: Pine Ridge-Candlewood Drive Punch List

On April 11, 2016 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT), Dave Faist of McClure Engineering, Inc (MEI) and Dan O'Driscoll of O'Driscoll Land Surveying Co. (OLS) met at the Pine Ridge Subdivision location and performed a punch list inspection of the development. Nearby Candlewood Drive Subdivision was also included in the inspection. The inspections were conducted based upon the approved Pine Ridge OSRD Development plan set.

On December 8, 2016 at the request of the PEDB, Steven Bouley from TT conducted a follow-up punch list inspection of the Pine Ridge and Candlewood Drive Subdivisions. The inspections were conducted based upon the approved Pine Ridge OSRD Development plan set.

The following is a list of items and issues that should be repaired or resolved:

Pine Ridge

1. Proposed line striping and stop line has not been painted.
2. As-Built of the development should be submitted for review.
3. It is recommended the applicant clean the drainage system. Cleaning includes removing sediment and debris from catch basin structures, pipe and detention facilities.
4. Erosion control should be removed upon receiving certificate of compliance from Medway Conservation Commission.
5. The proposed 4'-wide walking path requires re-clearing as navigating the path is difficult. The path is inconsistent and markers are not present to direct pedestrians through the area.

Candlewood Drive

6. All items shown on Sheet 14 of 23 "Candlewood Drive and Emergency Access Improvements" of the Village at Pine Ridge OSRD Definitive Plan set have not been completed.
7. The emergency access path is proposed through an area that appears to be jurisdictional to the Medway Conservation Commission (culvert crossing). It is recommended the applicant contact the Conservation Agent prior to commencing work to determine if an open Order of Conditions exists for the project or if this area deemed as "Mosquito Control Maintenance Channel" is indeed jurisdictional area.

8. In addition to items on Sheet 14, it is recommended the applicant clean the existing drainage system and clear brush/trees from the limit of stormwater detention basins for the subdivision.
9. Upon completion of punch list items, as-built and street acceptance plans should be submitted for review.

Additional Items (2016-12-08)

Pine Ridge

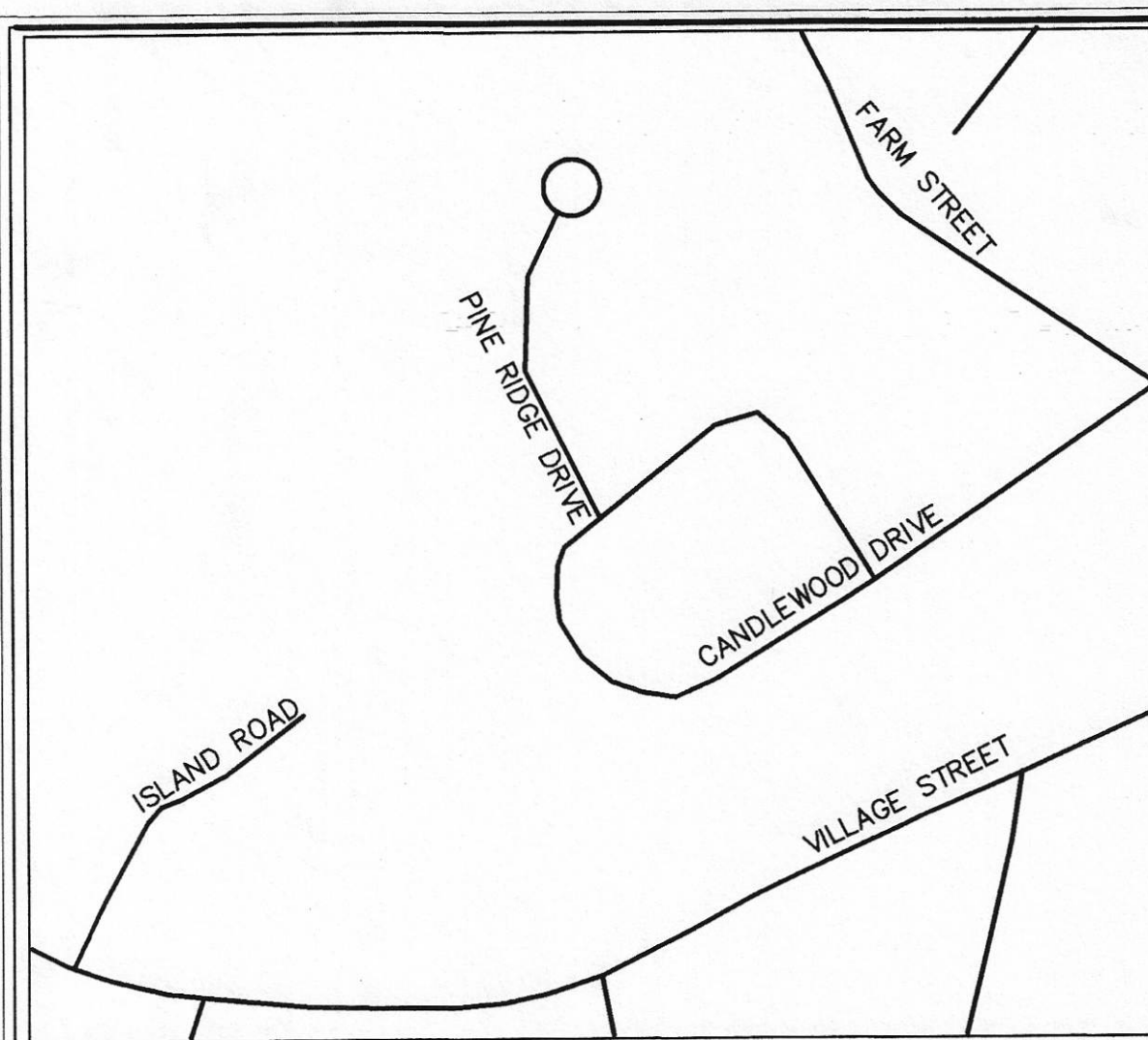
10. Areas of the bituminous concrete roadway are beginning to crack. TT recommends crack sealing these areas to slow migration of cracking.
11. Hydrants shall be painted per town standards (blue and silver), coordinate with Medway DPS.
12. The center island in the cul-de-sac does not contain any larger growth shrubs or trees per the town's standard details, see town detail CD-10. TT has not acquired a landscape plan for the project to determine if landscaping was required at the time of plan approval.

Candlewood Drive

13. The roadway should be crack sealed to prevent further damage.
14. Drain/sewer frames and grates/covers should be replaced to town standard and all grade brick shall be re-grouted. Any frame and grate/cover extending above sidewalk surface shall also be reset to existing grade to prevent tripping hazards.
15. All pipe inverts, lift holes, structure section joints, etc. should be grouted to maintain integrity of pre-cast structures.
16. Electric trenches, which cross the roadway in multiple locations, have settled. These locations should be milled and overlaid.

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-16003 (PINE RIDGE CANDLEWOOD)\DOCS\MEMO_PINE RIDGE-CANDLEWOOD PUNCH LIST_2016-04-22 (REVISED 2016-12-08).DOC



LOCUS PLAN
1" = 300'

LEGEND

N/F	NOW OR FORMERLY
CB DH	CONCRETE BOUND WITH DRILL HOLE
FND.	FOUND
EXIST.	EXISTING
PROP.	PROPOSED
INV.	INVERT
R.C.P.	REINFORCED CONCRETE PIPE
APPROX.	APPROXIMATE
HYDRANT	HYDRANT
SM	SEWER MANHOLE
DM	DRAIN MANHOLE
CB	STORMWATER CATCH BASIN
200	EXISTING CONTOUR LINE
200	PROPOSED CONTOUR LINE
OHW	OVERHEAD WIRES
SFM	SEWER FORCE MAIN
DTH	DEEP TEST HOLE
DET.	DETENTION
UT	UTILITY POLE
FES	FLARED END SECTION
ELEV.	ELEVATION
BIT.	BITUMINOUS
CONC.	CONCRETE
O.C.S.	OUTLET CONTROL STRUCTURE
F.F.	FIRST FLOOR ELEVATION
B.F.	BASEMENT FLOOR ELEVATION
G.F.	GARAGE FLOOR ELEVATION
BM.	BENCHMARK
FA	FIRE ALARM BOX
W	WATER GATE
V.G.C.	VERTICAL GRANITE CURB
ETC	ELECTRIC, TELEPHONE & CABLE
W	WATER SHUTOFF
S	SEWER LINE
D	DRAIN LINE
W	WATER LINE
G	GAS LINE

DRYWELL INF-2
TOTAL= SIX (6)
CULTEC-330 HD
RECHARGER UNITS
10.25'x 36" AREA
INV. OUT = 149.70 (8")
INV. IN (BOT.) = 147.70
BOT. EXCAV = 147.20
ESHW = 145.20

DRYWELL INF-3
TOTAL= FOUR (4)
CULTEC-330 HD
RECHARGER UNITS
10.25'x 20" AREA
INV. OUT = 148.0 (8")
INV. IN (BOT.) = 146.00
BOT. EXCAV = 145.50
ESHW = 143.50

OUTLET CONTROL
STRUCTURE
142.25 = TOP STRUCTURE / GRATE
140.95 = 8" ORIFICE
*(139.65 = 4" ORIFICE)
139.55 = 12" RCP OUTLET

*NOTE: 2" DRAIN PIPE W/ VALVE
NOT INSTALLED PER PLAN.
4" ORIFICE TO BE SEALED.

DRYWELL INF-1A
TOTAL= SIX (6)
CULTEC-330 HD
RECHARGER UNITS
TWO (2) 12'x 18" AREAS
INV. OUT = 155.20 (8")
INV. IN (BOT.) = 153.50
BOT. EXCAV = 153.10
ESHW = 151.10

TOTAL LOT AREA=6.93 ACRES

TOWN OF MEDWAY PLANNING BOARD

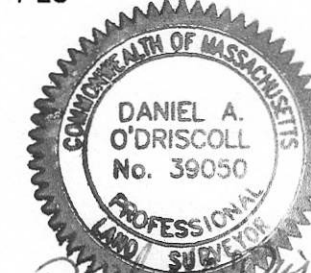
DATE - AS-BUILT PLAN APPROVAL

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY,
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED
AND RECORDED AT THIS OFFICE AND NO NOTICE OF
APPEAL WAS RECEIVED DURING THE TWENTY DAYS
NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID
NOTICE.

TOWN CLERK DATE

- "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED ON JANUARY 7, 2011 & AUGUST 15, 2017"
- "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

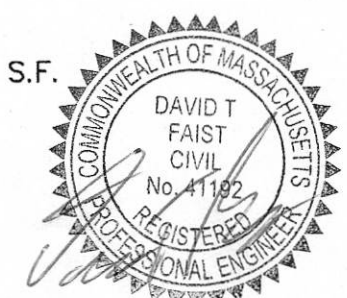
Daniel A. O'Driscoll, PLS
DATE



PREPARED FOR: PINE RIDGE DRIVE LLC
ASSESSORS REFERENCE: MAP 1 PARCEL 1/6A
CURRENT OWNER: THE VILLAGE AT PINE RIDGE CONDOMINIUM
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS
BOOK 25284 PAGE 591
PLAN REFERENCES: PLAN BOOK 561 PAGE No. 40
PLAN BOOK 607 PAGE No. 9

AS BUILT NOTES:

- ORIGINAL PLANS ENTITLED "THE VILLAGE AT PINE RIDGE GRADING AND UTILITIES PLAN OSRD DEVELOPMENT PLAN IN MEDWAY, MASSACHUSETTS" DATE MARCH 28, 2006, REVISE DATE MAY 25, 2006, SEPTEMBER 6, 2006 PREPARED BY FAIST ENGINEERING.
- ORIGINAL CERTIFICATE OF ACTION DATE: JUNE 22, 2006
ORIGINAL PLAN ENDORSEMENT DATE: SEPTEMBER 26, 2006
- ELEVATIONS REFER TO NGVD 1929 DATUM AS SHOWN ON ORIGINAL PLAN.
- UNDERGROUND ELECTRIC/CABLE/TELEPHONE UTILITIES/CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE).
- ALL CATCH BASINS EQUIPPED WITH DEEP SUMPS. *NO HOODS. 6-12" SILT MEASURED IN ALL CATCH BASINS ON 8/15/17.
- OSRD RIGHT-OF-WAY: PINE RIDGE DRIVE
BUILDING ROOF AREA = 39,124 ± S.F.
BITUMINOUS DRIVEWAYS AND WALKS = 43,337 ± S.F.
TOTAL IMPERVIOUS = 82,461 ± S.F. (1.9 ± AC)



DIG-SAFE NOTE (1-888-344-7233):

- CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

REV	DATE	DESCRIPTION	MADE BY

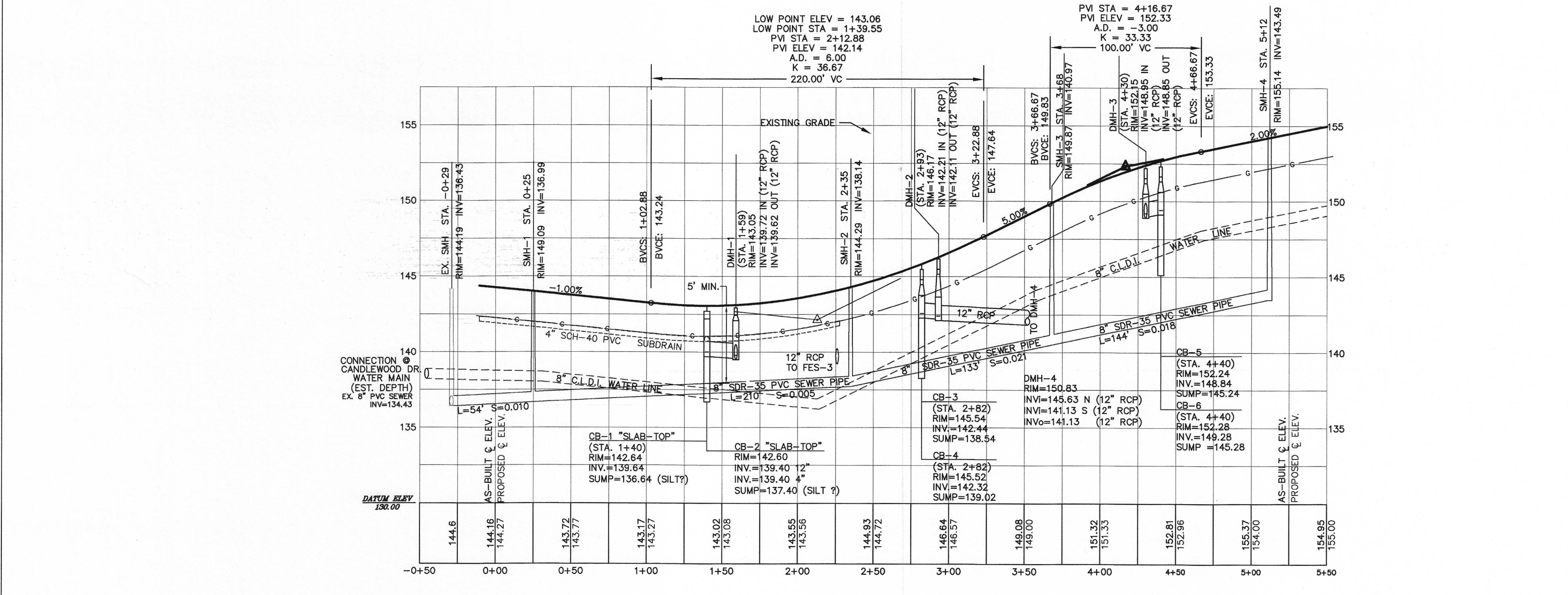
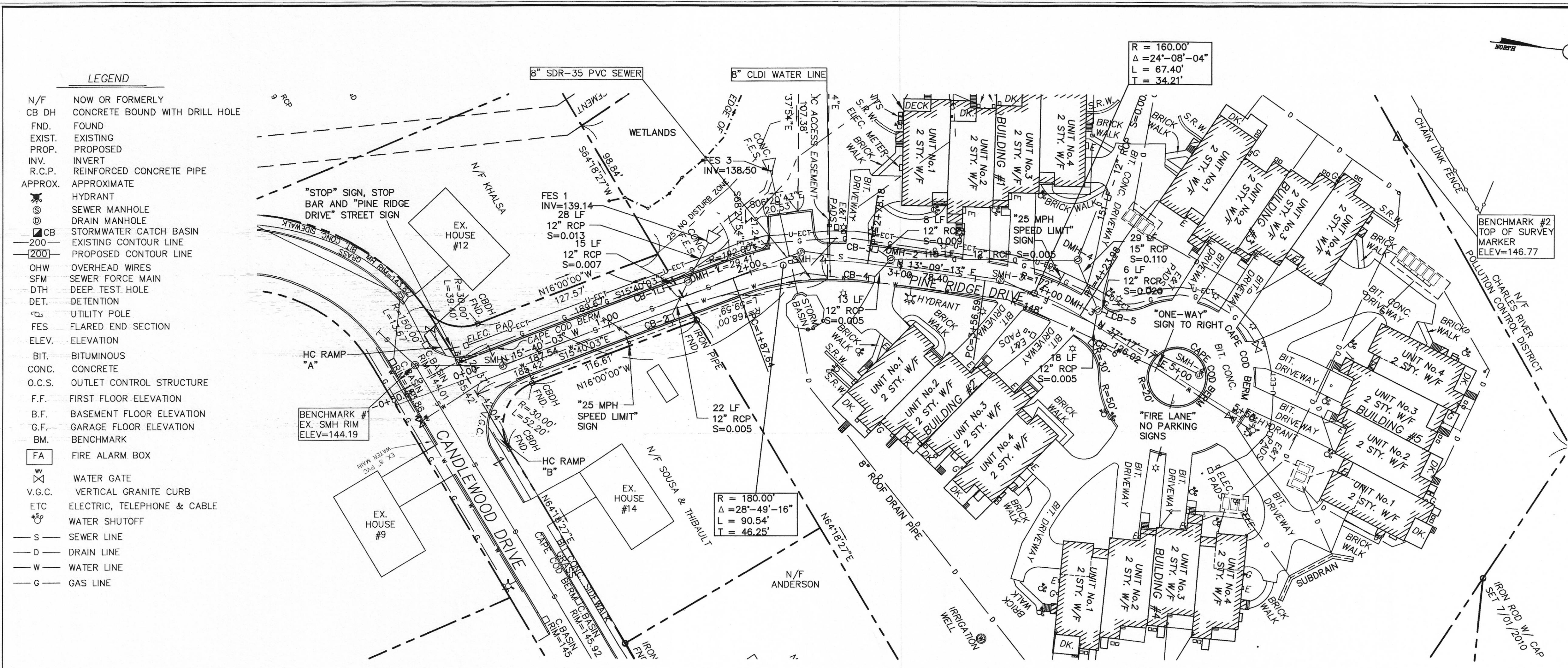
O'DRISCOLL
LAND SURVEYING CO.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053
PHONE: (508) 533-3314

McCLURE
ENGINEERING, INC
Tel: (508) 248-2005
Fax: (508) 248-4887
119 Worcester Road
Charlton, MA 01507
Email: dfaist@mcclureengineers.com

AS-BUILT PLAN
"PINE RIDGE DRIVE"
VILLAGE AT PINE RIDGE OSRD
MEDWAY, MA, 02053
PREPARED FOR
PINE RIDGE DRIVE, LLC
P.O. BOX 1
MEDWAY, MA, 02053

DRAWN BY:	RL
DATE:	8/30/17
CHK BY:	DTF
SCALE:	1"=40'
PROJ. NO.	177-1396-G

AS-BUILT PLAN



DIG-SAFE NOTE (1-888-344-7233):

1. CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

PROFILE "PINE RIDGE DRIVE"
(STA. 0+00 - STA. 5+50)

HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1" = 4'

TOWN OF MEDWAY PLANNING BOARD

RESERVED FOR REGISTRY USE

DATE - AS-BUILT PLAN APPROVAL

I, MARYJANE WHITE, CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED ON JANUARY 7, 2011 & AUGUST 15, 2017"

2.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

Daniel A. O'Driscoll 8/30/2017
DANIEL A. O'DRISCOLL, PLS DATE

PREPARED FOR: PINE RIDGE DRIVE LLC
ASSESSORS REFERENCE: MAP 1 PARCEL 1/6A
CURRENT OWNER: THE VILLAGE AT PINE RIDGE CONDOMINIUM
DEED REFERENCE: NORFOLK COUNTY REGISTRY OF DEEDS BOOK 25284 PAGE 591
PLAN REFERENCES: PLAN BOOK 561 PAGE No. 40
PLAN BOOK 607 PAGE No. 9

AS BUILT NOTES:

1.) ORIGINAL PLANS ENTITLED "THE VILLAGE AT PINE RIDGE GRADING AND UTILITIES PLAN OSRD DEVELOPMENT PLAN IN MEDWAY, MASSACHUSETTS" DATE MARCH 28, 2006, REVISE DATE MAY 25, 2006, SEPTEMBER 6, 2006 PREPARED BY FAIST ENGINEERING.

2.) ORIGINAL CERTIFICATE OF ACTION DATE: JUNE 22, 2006
ORIGINAL PLAN ENDORSEMENT DATE: SEPTEMBER 26, 2006

3.) ELEVATIONS REFER TO NGVD 1929 DATUM AS SHOWN ON ORIGINAL PLAN.

4.) UNDERGROUND ELECTRIC/CABLE/TELEPHONE UTILITY LINES/CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE).

5.) ALL CATCH BASINS EQUIPPED WITH DEEP SUMPS. *NO HOODS.
6-12" SILT MEASURED IN ALL CATCH BASINS ON 8/15/17.

AS-BUILT PLAN & PROFILE
"PINE RIDGE DRIVE"
VILLAGE AT PINE RIDGE OSRD
MEDWAY, MA, 02053
PREPARED FOR
PINE RIDGE, LLC
P.O. BOX 1
MEDWAY, MA, 02053

DRAWN BY: RL
DATE: 8/30/2017
CHK BY: DTF
SCALE: 1"=40'
PROJ. NO. 177-1396-G

AS-BUILT
PLAN & PROFILE

SHEET **2** OF **2**

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Wednesday, November 08, 2017 12:30 PM
To: Paul Yorkis
Subject: FW: Pine Ridge
Attachments: Photo 1.pdf; Photo 2.pdf

Hi,

See note below and photos from Steve B. It is likely that there are other erosion controls scattered about. Whomever you get to remove them should look around carefully to determine if there are any other locations and remove those as well.

Thanks.

Stay tuned on deed.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Wednesday, November 08, 2017 12:19 PM
To: Susan Affleck-Childs
Subject: RE: Pine Ridge

See attached photos.

Photo 1 is located on the left side of the roadway as you are entering the subdivision.

Photo 2 is located west of the detention basin along the walking path.

Those are the only sections I could see, there may be more buried throughout the site under debris.

Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]

Sent: Wednesday, November 08, 2017 12:01 PM

To: Bouley, Steven <Steven.Bouley@tetrattech.com>

Subject: FW: Pine Ridge

Steve,

See note below from Paul Yorkis. I asked him to remove erosion controls. He is asking where they are. Can you provide any additional information that I can pass along to him?

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Paul Yorkis [<mailto:pgyorkis@gmail.com>]

Sent: Wednesday, November 08, 2017 12:01 PM

To: Susan Affleck-Childs

Subject: Re: Pine Ridge

It would be helpful if you can tell me where they are.

Also any word on the two documents that need to be signed by John?

Paul G. Yorkis

Patriot Real Estate, Inc.

Cell 508-509-7860

2017 MAR President

2011 MAR Realtor of the Year

Sent from my iPhone

On Nov 8, 2017, at 9:18 AM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi Paul,

I asked Tetra Tech to do a quick inspection of Pine Ridge. Steve Bouley noted that there are still erosion controls scattered throughout the site that have not been removed. Could you arrange to have those taken away? John should really leave the condo association with a clean and tidy site.

Also, could you provide a receipt from John for his most recent cleaning of the Pine Ridge drainage system?

Thanks for your help.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

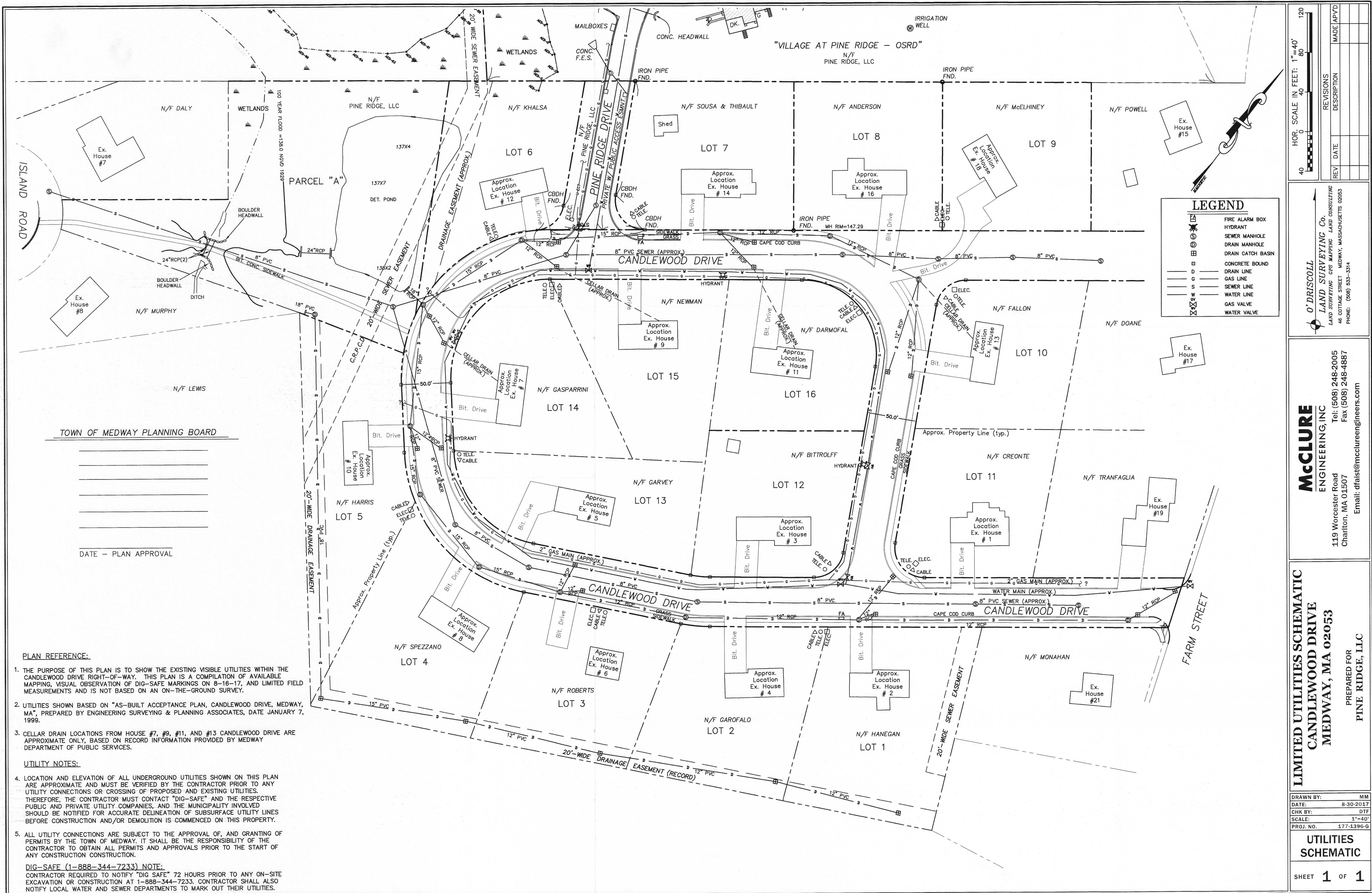
Town of Medway – *A Massachusetts Green Community*

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The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.







PLAN REFERENCE:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING VISIBLE UTILITIES WITHIN THE CANDLEWOOD DRIVE RIGHT-OF-WAY. THIS PLAN IS A COMPILATION OF AVAILABLE MAPPING, VISUAL OBSERVATION OF DIG-SAFE MARKINGS ON 8-16-17, AND LIMITED FIELD MEASUREMENTS AND IS NOT BASED ON AN ON-THE-GROUND SURVEY.
2. UTILITIES SHOWN BASED ON "AS-BUILT ACCEPTANCE PLAN, CANDLEWOOD DRIVE, MEDWAY, MA", PREPARED BY ENGINEERING SURVEYING & PLANNING ASSOCIATES, DATE JANUARY 7, 1999.
3. CELLAR DRAIN LOCATIONS FROM HOUSE #7, #9, #11, AND #13 CANDLEWOOD DRIVE ARE APPROXIMATE ONLY, BASED ON RECORD INFORMATION PROVIDED BY MEDWAY DEPARTMENT OF PUBLIC SERVICES.

UTILITY NOTES:

4. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSING OF PROPOSED AND EXISTING UTILITIES. THEREFORE, THE CONTRACTOR MUST CONTACT "DIG-SAFE" AND THE RESPECTIVE PUBLIC AND PRIVATE UTILITY COMPANIES, AND THE MUNICIPALITY INVOLVED SHOULD BE NOTIFIED FOR ACCURATE DELINEATION OF SUBSURFACE UTILITY LINES BEFORE CONSTRUCTION AND/OR DEMOLITION IS COMMENCED ON THIS PROPERTY.
5. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF ANY CONSTRUCTION CONSTRUCTION.

DIG-SAFE (1-888-344-7233) NOTE:

CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

120
80
40
0
40
HOB. SCALE IN FEET: 1"=40'

REV. DATE DESCRIPTION
MADE APVD

LAND SURVEYING Co.
LAND SURVEYING GPS MAPPING LAND CONSULTING
46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053
PHONE: (508) 533-3314

McCLURE
ENGINEERING, INC

Tel: (508) 248-2005
Fax: (508) 248-4887
119 Worcester Road
Charlton, MA 01507
Email: dfaits@mcclureengineers.com

LIMITED UTILITIES SCHEMATIC
CANDLEWOOD DRIVE
MEDWAY, MA 02053

DRAWN BY: MM
DATE: 8-30-2017
CHK BY: DTF
SCALE: 1"=40'
PROJ. NO. 177-1396-G

UTILITIES
SCHEMATIC

SHEET 1 OF 1

LEGEND

FA

HYDRANT

SEWER MANHOLE

DRAIN MANHOLE

DRAIN CATCH BASIN

CONCRETE BOUND

DRAIN LINE

GAS LINE

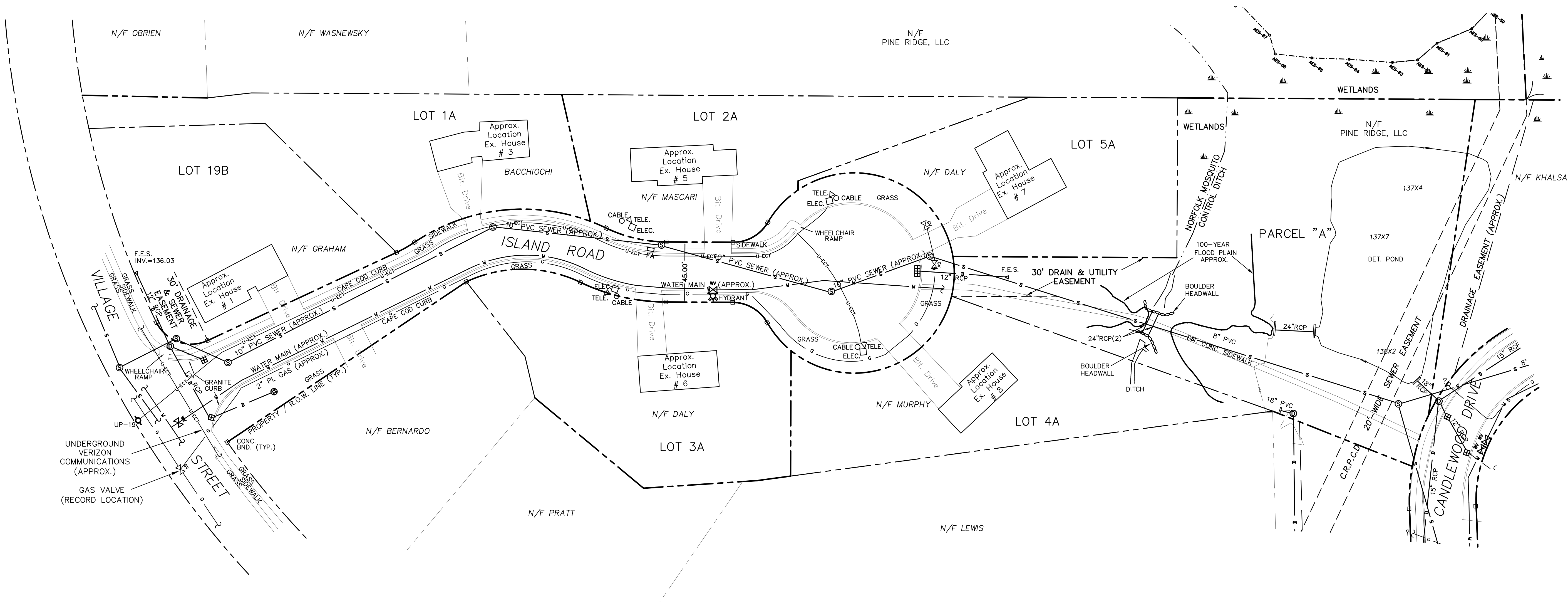
SEWER LINE

WATER LINE

UNDERGROUND ELEC/CABLE/TELE

GAS VALVE

WATER VALVE



PLAN REFERENCE:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING VISIBLE UTILITIES WITHIN THE ISLAND ROAD RIGHT-OF-WAY. THIS PLAN IS A COMPILATION OF AVAILABLE MAPPING, VISUAL OBSERVATION OF DIG-SAFE MARKINGS ON OCTOBER 16, 2017, AND LIMITED FIELD MEASUREMENTS AND IS NOT BASED ON AN ON-THE-GROUND SURVEY.

2. UTILITIES SHOWN BASED ON "SUBDIVISION AS-BUILT PLAN, ISLAND ROAD, MEDWAY, MA", PREPARED BY ENGINEERING SURVEYING & PLANNING ASSOCIATES, DATE FEBRUARY 15, 1995.

UTILITY NOTES:

3. LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY UTILITY CONNECTIONS OR CROSSING OF PROPOSED AND EXISTING UTILITIES. THEREFORE, THE CONTRACTOR MUST CONTACT "DIG-SAFE" AND THE RESPECTIVE PUBLIC AND PRIVATE UTILITY COMPANIES, AND THE MUNICIPALITY INVOLVED SHOULD BE NOTIFIED FOR ACCURATE DELINEATION OF SUBSURFACE UTILITY LINES BEFORE CONSTRUCTION AND/OR DEMOLITION IS COMMENCED ON THIS PROPERTY.

4. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY THE TOWN OF MEDWAY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF ANY CONSTRUCTION CONSTRUCTION.

DIG-SAFE (1-888-344-7233) NOTE:

CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

TOWN OF MEDWAY PLANNING BOARD

DATE — PLAN APPROVAL

DRAWN BY: MM

DATE: 10-18-2017

CHK BY: DTF

SCALE: 1"=40'

PROJ. NO. 177-1396-G

UTILITIES SCHEMATIC

SHEET 1 OF 1

HOR. SCALE IN FEET: 1"=40'

40

0

40

80

120

REV

DATE

DESCRIPTION

MADE APVD

O'DRISCOLL

LAND SURVEYING Co.

LAND SURVEYING GPS MAPPING LAND CONSULTING

46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053

PHONE: (508) 533-3314

McCLURE

ENGINEERING, INC

119 Worcester Road

Charlton, MA 01507

Tel: (508) 248-2005

Fax (508) 248-4887

Email: dfaist@mcclureengineers.com

LIMITED UTILITIES SCHEMATIC

ISLAND ROAD

MEDWAY, MA 02053

PREPARED FOR

PINE RIDGE, LLC

DRAWN BY: MM

DATE: 10-18-2017

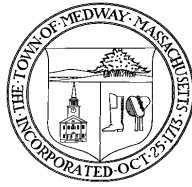
CHK BY: DTF

SCALE: 1"=40'

PROJ. NO. 177-1396-G

UTILITIES SCHEMATIC

SHEET 1 OF 1



November 14, 2017
Medway Planning & Economic Development Board
Meeting

Construction Reports

143 Village Street

- Tetra Tech report #1 (11/6/17)
- Tetra Tech report #2 (11/7/17)
- Tetra Tech report #3 (11/8/17)

Medway Gardens

- Email dated 10/16/17 re: railroad tie at entrance

Exelon

- BETA Group inspection report 11/2/17
- Beals and Thomas monthly report 10/12/17

The Haven Subdivision

- Email dated 11/6/17 from Steve B to Phil Henry, project engineer

Applegate Subdivision

- Email dated 11/9/17 from Bridget Graziano to Ralph Costello

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/6/2017	Report No. 1
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. P.M. CLOUDY/DRIZZLE	Temperature A.M. P.M. 60°

FIELD OBSERVATIONS

On Monday, November 6, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in the process of site demolition. Contractor has removed existing field stone wall and beginning excavation for proposed drainage.
- B. Contractor encountered what appeared to be septic tank which appears to have been abandoned in place in the past. Tank was pumped out, flushed and pumped again, demolished and removed off-site.
- C. It appears the town is prepping for sidewalk installation south of the proposed driveway location. Top course has been sawcut and removed in preparation for installation of extruded concrete curb. Guerrier & Halnon (Engineer) to layout proposed 35' curb radius in the field for review by the town and TT prior to installation. Town expecting to conduct proposed curb installation later this week.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	2	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck	1			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	1:45 P.M. – 2:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/6/2017	Report No. 1
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. Engineer to layout proposed 35' radius at corner of Village and Sanford Streets for review by TT, Engineer and Town.
4. Previous Open Action Items
 - A. N/A
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/7/2017	Report No. 2
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 55°

FIELD OBSERVATIONS

On Tuesday, November 7, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations
 - A. Contractor in the process of excavating for proposed Cultec Chambers located in project driveway. Trench excavated to proposed bottom of stone depth and bottom scarified to maintain positive infiltration under the system.
 - B. Contractor test pitting for existing sewer service. Sewer service encountered approximately where shown on the approved plans. Existing service is 4" white pvc exiting the building (and confirmed through water test) to a 6" sdr 35 pvc stub from the roadway. Service was damaged during test pitting, damaged portions of pipe were sawcut to provide clean edge to connect the repair. Contractor plans to repair once drain pipe is installed to ensure positive pitch.
 - C. TT expressed to contractor that the Cultec separator row was to be installed in this chamber system. Woven fabric to be placed beneath separator row and the row wrapped in non-woven fabric per the approved detail.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	1	Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer					
		Conc. Truck				OFFICIAL VISITORS TO JOB	
		Pickup Truck	1				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, P.E.	12:00 P.M. – 2:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/7/2017	Report No. 2
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. Engineer to layout proposed 35' radius at corner of Village and Sanford Streets for review by TT, Engineer and Town.
5. Materials Delivered to Site Since Last Inspection:
 - A. Woven and Non-Woven filter fabric

Tetra Tech
100 Nickerson Road, Suite 200
Marlborough, MA 01752

FIELD REPORT

Project 143 Village Street	Date 11/8/2017	Report No. 3
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 1 of 2
Contractor LDS Design, Inc.	Weather A.M. SUNNY P.M.	Temperature A.M. 40° P.M.

FIELD OBSERVATIONS

On Wednesday, November 8, 2017, Steven M. Bouley, P.E. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor in the process of installing proposed Cultec Chamber system. Trench has been excavated to proposed elevation and bedded with 1 ½" washed stone per the approved Plans. Woven filter fabric was installed beneath the Separator Row chambers. Separator Row wrapped in non-woven filter fabric as well as sides and top of the excavation. System was backfilled with 1 ½" washed stone per the Plans.
- B. TT, Engineer, Contractor, Town Safety Officer Jeffrey Watson and Town Highway Superintendent Jack Tucker met on-site to discuss 35' radius at intersection of Village and Sanford Street. Engineer installed pins in roadway of proposed face of curb to help the project team visualize the radius. It was determined by all parties that the proposed 35' radius will be satisfactory. Town to complete sidewalk work next week.
- C. Contractor installing proposed Cultec Roof Infiltration Chamber on upper portion of the site. Excavation filled with 1 ½" washed stone, chamber installed and trench wrapped with non-woven filter fabric, backfilled with 1 ½" washed crushed stone.
- D. Contractor has installed sod along western property boundary. Contractor plans to complete landscaping on upper portion of the site tomorrow. TT asked that no tall landscaping be placed on north side of building adjacent to Village Street to ensure traffic queued on Sanford Street has proper sight lines west along Village Street.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer	Guerrier & Halnon	Survey Layout
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer				
		Conc. Truck			OFFICIAL VISITORS TO JOB	
		Pickup Truck	1		Sgt. Jeffrey Watson	Medway Safety Officer
		Tri-Axle Dump Truck			Jack Tucker	DPS Highway Super
		Trailer Dump Truck				
		Mini Excavator	1			
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, P.E.	8:00 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project 143 Village Street	Date 11/7/2017	Report No. 2
Location 143 Village Street, Medway, MA	Project No. 143-21583-17013	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule
 - A. The contractor plans to complete much of the site work in next two weeks. TT will inspect as needed within that time frame.
3. New Action Items
 - A. N/A
4. Previous Open Action Items
 - A. Engineer to layout proposed 35' radius at corner of Village and Sanford Streets for review by TT, Engineer and Town. **TT Update: This item has been addressed to our satisfaction.**
5. Materials Delivered to Site Since Last Inspection:
 - A. N/A

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, October 16, 2017 9:58 AM
To: Susan Affleck-Childs
Cc: Joe Avellino
Subject: RE: Medway Gardens

The issue is the depth needed to excavate for installing the tie will potentially undermine the edge.

He could add some lower profile pavers behind the edge but I still think without them being set low enough that a plow can dislodge them and they would be prone to heaving in the winter. Maintaining consistent grade behind the existing edge would also help.

If the railroad ties are absolutely required then he could install it a few feet into the site and pave up to it but that will create additional joints which is never ideal.

It's up to Joe and his engineer what they would prefer to fix it.

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Monday, October 16, 2017 9:39 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Joe Avellino <joe.medwaygardens@gmail.com>
Subject: RE: Medway Gardens

Steve,

Do you have any recommendations on another way to address this? Is there another form of edging that could be used?

I don't believe the Board is going to be comfortable with changing the decision to requiring the apron paving be kept in an "undamaged state".

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]

Sent: Monday, October 16, 2017 9:35 AM

To: Susan Affleck-Childs

Subject: Medway Gardens

Hi Susy,

I received a call from Joe Avellino last week regarding one of the items on the punch list. The item in question is the "Flush Railroad ties or approved equal" item shown on the plan to provide edge protection for the driveway apron. It wasn't installed when he did the apron paving. He asked if it was necessary to have the railroad ties installed since installing it (it should have been installed first then that edge used as a paving limit) would end up compromising the paving that was already completed, in which I would agree. His question was essentially is there a way the item can be removed from the list and something be written in the decision to state that the apron paving must be kept in an "undamaged state". I don't have Joe's email and he wanted to be cc'd on this message could you please cc him on any replies? Let me know if you need anything else, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer

Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201

steven.bouley@tetrattech.com

Tetra Tech, Inc. | Water, Environment and Infrastructure

Marlborough Technology Park | 100 Nickerson Road, Suite 200 | Marlborough, MA 01752 www.tetrattech.com

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RESIDENT'S DAILY REPORT

CLIENT: Town of Medway, MA		DATE: November 2, 2017 PAGE: 1 of 1																																											
CONTRACT: Exelon Power Facility		<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 25%; text-align: center;">S</td><td style="width: 12.5%; text-align: center;">M</td><td style="width: 12.5%; text-align: center;">T</td><td style="width: 12.5%; text-align: center;">W</td><td style="width: 12.5%; text-align: center;">T</td><td style="width: 12.5%; text-align: center;">F</td><td style="width: 12.5%; text-align: center;">S</td></tr><tr><td colspan="7">DAY OF WEEK:</td></tr><tr><td style="text-align: center;"><input type="checkbox"/></td><td style="text-align: center;"><input type="checkbox"/></td><td style="text-align: center;"><input type="checkbox"/></td><td style="text-align: center;"><input type="checkbox"/></td><td style="text-align: center;"><input checked="" type="checkbox"/></td><td style="text-align: center;"><input type="checkbox"/></td><td style="text-align: center;"><input type="checkbox"/></td></tr><tr><td colspan="3" style="text-align: center;">AM</td><td colspan="4" style="text-align: center;">PM</td></tr><tr><td colspan="3" style="text-align: center;">Weather</td><td colspan="4" style="text-align: center;">Overcast</td></tr><tr><td colspan="3" style="text-align: center;">Temp. Range (°F)</td><td colspan="4" style="text-align: center;">60</td></tr></table>		S	M	T	W	T	F	S	DAY OF WEEK:							<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	AM			PM				Weather			Overcast				Temp. Range (°F)			60			
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AM			PM																																										
Weather			Overcast																																										
Temp. Range (°F)			60																																										
CONTRACT NO. NA	BETA Project No. 5491																																												
LOCATION: 9 Summer Street, Medway, MA																																													
CONTRACTOR: Gemma Power Systems																																													
SUBCONTRACTORS WORKING ONSITE:		<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td style="width: 60%;">VISITORS TO JOB SITE:</td><td style="width: 20%;">Arrival</td><td style="width: 20%;">Departure</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		VISITORS TO JOB SITE:	Arrival	Departure																																							
VISITORS TO JOB SITE:	Arrival	Departure																																											
(1)	Bond Brothers (Excavation)																																												
(2)																																													
(3)																																													
(4)																																													
(5)																																													
DESCRIPTION OF WORK PERFORMED / SUMMARY:																																													
BETA was called to be on on site to review utility installations.																																													
Met with Joe Teixeira, Bond Brothers Superintendant, reviewed current pipe installation procedure.																																													
Observed installation of approximately 300 lf. Of the sewer force main from the sewer manhole just north																																													
of West Street, running northerly across the employee parking lot to the site.																																													
The 4-inch SDR 11 HDPE fused joint pipe was installed on a 6-inch sand base with approximately 12-inches																																													
of sand above.																																													
The trench was then backfilled with 12" (approx.) lifts of existing trench material (gravel) and compacted.																																													
Discussed items requiring Beta on site observation and availability of on site testing firm to provide compaction																																													
testing when required. Also discussed surveying new utility installations for preparation of As Built Drawings.																																													
Reviewed upcoming schedule for utility installations, which would require Beta to be on site some time in the next																																													
week or two. Joe would keep us posted on the schedule.																																													
		FOR CONTINUATION SEE PAGE: ____ OF ____																																											

BETA GROUP, INC. - Resident Representative

Joe DiPilato, Construction Manager

(Printed Name and Title)
BETA REV. 01/2012

(Signature)









BEALS + THOMAS

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, MA 01772-210



PROGRESS INSPECTION REPORT

Inspection Date: 10/12/2017

Inspector: Eric J. Las, PE, LEED AP, Beals and Thomas, Inc.

Inspection Report Number: 2

PERMIT COMPLIANCE

Proceeding per approved site plan?

YES ☒ NO ☐ If not, note area and explain:

This report has been prepared in compliance with Specific Condition IX.M.4 of the Site Plan Decision, dated July 26, 2016

Project Name:

West Medway II

Location: Medway, MA

B+T Job#: 1422.10

Local Approvals: Order of Conditions DEP File No. 216-0879, Site Plan Decision, Host Community Agreement

Introduction:

Exelon West Medway II LLC respectfully submits this construction progress inspection report for the West Medway II project. The purpose of this report is to document the in-progress work with respect to the approved site plans and associated conditions for the Planning and Economic Development Board. This report summarizes noteworthy activities conducted on site from September 21, 2017 to October 12, 2017. Please also refer to the enclosed Photo Log.

For limited areas of the site not observed by Beals and Thomas, items denoted herein with an () are based on Exelon's Erosion Control Inspection Reports.

Current Work Activities, Comments, and Observations:

- *Initial concrete washout station has been decommissioned and a larger concrete washout station has been installed and is being maintained
- Various concrete wall foundations have been poured
- The Contractor Parking Area off West St. has been created and staffed with a security guard during working hours
- Utility trench for temporary utilities (power, water) for construction trailers has been backfilled
- Excavation for the foundation of the gas compression station is in progress
- Inside the station, the pavement has been saw cut and parts of the trench have been excavated for the proposed gas pipeline
- Various material and soil stockpiles have been created throughout the site and are actively stabilized via tarps and seeding where necessary
- Silt fences and straw bales have been installed
- 24/7 security details are in place at site entrance
- Catch basins in Summer Street around the site entrance fitted with silt sacks

Authorized Signature

10/12/17

Date

PROPERTY OWNER:

Exelon West Medway II, LLC

Attn: Todd Cutler, Esq.

Associate General Counsel

Phone: 610-765-5602

Email: todd.cutler@exeloncorp.com

Attn: Pete Callahan,

Project Director

Phone: 617-381-2332

Email: Pete.Callahan@constellation.com

Attn: Doug Blakeley,

Environmental Monitor

Phone: 518-265-7354

Email: doug.blakeley@aptim.com

TOWN OF MEDWAY

Attn: Michael E. Boynton,

Town Administrator

Phone: 508-533-3264

Email: mboynton@townofmedway.org

Attn: Bridget Graziano,

Conservation Agent

Phone: 508-533-3292

Email: bgraziano@townofmedway.org

Attn: Susan Affleck-Childs, Planning &

Economic Development Coordinator

Phone: 508-533-3291

Email: sachilds@townofmedway.org

ENVIRONMENTAL CONSULTANTS

Beals and Thomas, Inc.

Attn: Eric J. Las, PE, LEED AP

Principal

Phone: 508-366-0560

Email: elas@bealsandthomas.com

Epsilon Associates, Inc.

Attn: Jeremy Fennell, PWS, CWS, CESSWI

Senior Scientist

Phone: 978-461-6237

Email: jfennell@epsilonassociates.com

**BEALS + THOMAS****Exelon Generation**

PHOTOGRAPHIC LOG

Client Name:Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo
No: 1****Date:**
10/12/17**Description:**

Aerial view of site
looking south.
Concrete wall
foundations have
been poured.



**Client Name:**Exelon West
Medway II**Photo:** West Medway II**Location:** Medway, MA**Project No:**

1422.10

**Photo
No: 2****Date:**
10/12/17**Description:**

Aerial view of site
looking north.
Various material
stockpiles have
been created
throughout the site.
Stockpiles not in use
are covered in tarps
or are seeded.



Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 3	Date: 10/12/17	<div> Description: Aerial view of site looking west. Site entrance is staffed with a security guard. </div> 	
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 4	Date: 10/12/17	<div> Description: Aerial view of site looking east. Material stockpiles have been created throughout the site. Concrete footings for acoustic walls have been installed. </div> 	

Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 5	Date: 10/12/17		
Description: Crushed stone Construction Parking Area viewed to the north. Construction Gate to the north of the parking area is staffed with a security guard.			
Client Name: Exelon West Medway II		Photo: West Medway II Location: Medway, MA	Project No: 1422.10
Photo No: 6	Date: 10/12/17		
Description: Concrete footings for acoustic walls are complete. Molds for concrete pours are in place for more concrete footings and foundations in the western portion of the site.			

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, November 06, 2017 10:50 AM
To: 'phil.henry@cdgengineering.com'
Cc: Susan Affleck-Childs; Guthman, Frank
Subject: The Haven Sediment Control

Hi Phil,

I drove by the site the other day and noticed sediment on a majority of the roadway and tracking out onto fisher street. Please sweep and maintain the road regularly and also maintain silt sacks in catch basins to prevent sediment from reaching the infiltration chambers. Please let me know if you have any questions, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct: 508.786.2382 | Main: 508.786.2200 | Fax: 508.786.2201
steven.bouley@tetrattech.com

Tetra Tech, Inc. | United States Infrastructure (USI) Division
Marlborough Technology Park | 100 Nickerson Road, Suite 200 | Marlborough, MA 01752 www.tetrattech.com

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Susan Affleck-Childs

From: Bridget Graziano
Sent: Thursday, November 09, 2017 10:29 AM
To: Ralph Costello; ej
Cc: Susan Affleck-Childs; Steve Bouley; Andy Rodenhiser (Andy@rodenhiser.com)
Subject: Applegate Subdivision

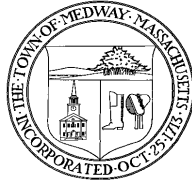
Ralph and Eric;

After a site visit by a Commission member to Applegate Subdivision, it was found that unstable lots have erosion controls down, the street needs to be swept and kept clean, and the catch basins need to be cleaned and siltation sacks replaced. This is part of the Operation and Maintenance Plan and the SWPPP for this site (and stormwater management). Please perform these as required. Our office will be out next Tuesday to check this has been completed.

**Town of Medway
Conservation Commission
Bridget Graziano, Agent
155 Village Street
Medway, MA 02053**

**508.533.3292 (o)
508.918.5986 (c)
bgraziano@townofmedway.org**

A Green Community



November 14, 2017
Medway Planning & Economic Development Board
Meeting

Country Cottage Site Plan Endorsement

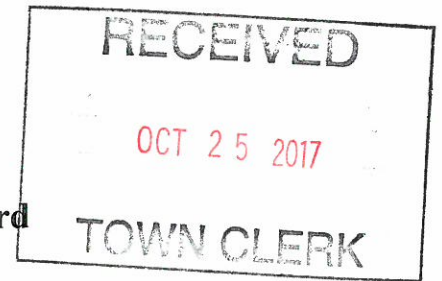
- Site Plan Decision dated 10-24-17
- Pre-Endorsement Checklist

The Country Cottage site plan decision was filed with the Town Clerk on 10/25/17. The 20 day appeal period concludes on 11/13/17. Owner Robin Beaudreau will secure the Certificate of No Appeal from the Town Clerk and provide it to us on 11/14. She also plans to deliver a check for \$ 9,890 for construction services to me on 11/14.

I received the revised site plan on 11/9/17 and forwarded it to Tetra Tech for a quick review to determine if all the additional items required per the site plan decision have been incorporated into the plan set. The TT review is forthcoming. Stay tuned.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053



Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

October 24, 2017

Minor Site Plan Decision
Country Cottage Children's Center – 35 & 37 Summer Street
Approved with Waivers and Conditions

Decision Date: October 24, 2017

Name/Address of Applicant: Robin and David Beaudreau
575 East Hartford Avenue
Uxbridge, MA 01569

Name/Address of Property Owner: Robin and David Beaudreau
575 East Hartford Avenue
Uxbridge, MA 01569

Project Location: 35 and 37 Summer Street

Assessors' Reference: 56-017 and 56-018

Zoning District: Agricultural Residential II

Engineer: Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, MA 01722

Architect: Cubic Architects, Inc.
33 Bow Spirit Lane
Plymouth, MA 02360

Site Plan: *Country Cottage Day Care*
35 Summer Street – Medway, MA
Dated August 24, 2017, revised September 26, 2017, last revised
October 10, 2017

NOTE – Child care facilities are exempt under the Massachusetts Zoning Act, Chapter 40A, Section 3. Therefore, this facility can be constructed at this location, despite its inclusion in the Agricultural-Residential II zoning classification. However, state law also specifies that child care facilities are subject to “reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirement.” Those aforementioned “reasonable regulations” provide the framework for the Planning and Economic Development Board’s review and decision. Minor site plan review is the process by which the Board considers exempt use developments.

I. PROJECT DESCRIPTION – The site plan shows the construction of a single story 5,080 sq. ft., 1-story building with 22 parking spaces, stormwater drainage facilities, outdoor activity areas, fencing, and landscaping. Site traffic will be managed by a two-way access/egress at Rustic Road and a one-way exit only driveway onto Summer Street.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public review process, the Medway Planning and Economic Development Board, on October 24, 2017, on a motion made by Robert Tucker and seconded by Matthew Hayes, **voted to approve with WAIVERS and CONDITIONS** as specified herein, a site plan for the construction of an approximately 5,080 sq. ft. building and site improvements at 35/37 Summer Street as shown on the site plan *County Cottage Day Care* for 35 Summer Street, Medway, MA prepared by Engineering Design Consultants, Inc. of Southborough, MA and Cubic Architects of Plymouth, MA, dated August 24, 2017, revised September 26, 2017, last revised October 10, 2017, to be further revised as specified herein.

The motion was approved by a vote of five in favor and none opposed.

Planning & Economic Development Board Member	Vote
Richard Di Iulio	Yes
Matthew Hayes	Yes
Thomas A. Gay	Yes
Andy Rodenhiser	Yes
Robert Tucker	Yes

III. PROCEDURAL HISTORY

- A. August 24, 2017 - Site plan application and associated materials were filed with the Medway Planning & Economic Development Board and were provided to the Medway Town Clerk on August 30, 2017.
- B. August 25, 2017 - Site plan public review notice was filed with the Town Clerk and posted at the Town of Medway web site.
- C. August 28, 2017 – Site plan public review notice was mailed to abutters by first class mail.
- D. August 30, 2017 – Site plan information distributed to Town boards, committees and departments for review and comment.
- E. September 12, 2017 - Site plan public review commenced. The public briefing was continued to September 26, October 10, and October 24, 2017 when the Board's review of the project concluded and a decision was rendered.

IV. INDEX OF SITE PLAN DOCUMENTS

- A. The site plan application for the proposed Country Cottage Children's Center project included the following plans, studies and information that were provided to the Planning and Economic Development Board at the time the application was filed:
 - 1. Minor Site Plan Application dated August 24, 2017 with Project Description.
 - 2. Certified abutters' list prepared by Medway Assessor's office.

3. *Country Cottage Day Care* site plan dated August 24, 2017, prepared by Engineering Design Consultants, Inc. of Southborough, MA
4. *Country Cottage Children's Center* architectural drawings dated August 25, 2017 prepared by Cubic Architects of Plymouth, MA
5. *Stormwater Calculations for Country Cottage Day Care*, dated August 2, 2017 prepared by Engineering Design Consultants, Inc. of Southborough, MA.

B. During the course of the review, a variety of other materials were submitted to the Board by the applicant and its representatives:

1. Letter dated August 24, 2017 (received September 28, 2017) from Peter Bemis of Engineering Design Consultants, Inc. in response to Tetra Tech's September 11, 2017 review letter.
2. Letter dated August 26, 2017 (received September 28, 2017) from Peter Bemis of Engineering Design Consultants, Inc. in response to PGC Associates September 5, 2017 review letter.
3. *Country Cottage Day Care* site plan dated August 24, 2017, UPDATED September 26, 2017, and UPDATED October 10, 2017, prepared by Engineering Design Consultants, of Southborough, MA.
4. *Supplemental Stormwater Calculations* prepared by Engineering Design Consultants, submitted on September 26, 2017
5. Sign details, prepared by Cubic Architects, submitted on September 28, 2017
6. Turning Radii Sketch, prepared by Engineering Design Consultants, submitted on September 28, 2017
7. Email dated September 28, 2017 from Project Engineer Peter Bemis with deed and easement information for subject parcels
8. Email dated October 16, 2017 from Fire Chief Jeff Lynch to project engineer Peter Bemis regarding the proposed relocation of the fire hydrant.
9. Email dated October 18, 2017 from DPS Deputy Director Barry Smith regarding water and sewer service

C. All documents and exhibits received during the public review process are contained in the Planning and Economic Development Board's project file.

V. TESTIMONY - In addition to the site plan and special permit application materials as submitted and provided during the course of the Board's review, the Board also received verbal or written testimony from:

- Sean Reardon, P.E. and Steve Bouley, P.E. of Tetra Tech, Inc., the Town's Consulting Engineer – Site plan review letters dated September 11, 2017 and October 3, 2017 and commentary throughout the public review process.
- Gino Carlucci, PGC Associates, the Town's Consulting Planner – Site plan review letters dated September 3, 2017 and October 5, 2017 and commentary throughout the public review process.
- Peter Bemis, P.E., Engineering Design Consultants, project engineer for applicant
- Walter Fuller, of Cubic Architects, architect for the applicant
- Review letter from the Medway Design Review Committee dated September 22, 2017
- Review letter from Medway Safety Officer Jeffrey Watson dated September 26, 2017
- Resident Judi Notturmo, 33 Summer Street

- Resident Robert Condon, 3 Rustic Road
- Resident Todd Lundin, 7 Little Tree Road
- Resident Jane Harris, 9 Little Tree Road
- Richard Harris, 9 Little Tree Road
- Resident Adam Houser, 14 Little Tree Road
- Robin and David Beaudreau (applicants) of Uxbridge, MA

VI. FINDINGS – In making its findings and reaching the decision described herein, the Board is guided by Board's *Site Plan Rules and Regulations*, and the *Medway Zoning Bylaw*. The Board also considered evidence and testimony presented at the public hearings and comments submitted by Town departments, boards and committees as well as the Board's peer review consultants and residents placed in the public record during the course of the hearings.

The Planning and Economic Development Board, at its meeting on October 24, 2017, on a motion made by Robert Tucker and seconded by Matthew Hayes, voted to approve the following **FINDINGS** regarding the site plan application for the Country Cottage Children's Center at 35/37 Main Street. The motion was approved by a vote of five in favor and zero opposed.

A. Site Plan Rules and Regulations Findings – The Planning and Economic Development Board shall determine whether the proposed development is in conformance with the standards and criteria set forth in the *Site Plan Rules and Regulations*, unless specifically waived. In making its decision, the Planning and Economic Development Board shall determine the following:

- (1) Has internal circulation, queuing and egress been designed such that traffic safety is protected, access via minor streets servicing residential areas is minimized, and traffic backing up into the public way is minimized?

Exclusive ingress to the premises is from Rustic Road. The primary egress is onto Summer Street (Route 126) with secondary egress onto Rustic Road. The primary internal traffic flow will be one way from Rustic Road, through the property and out to Summer Street. Access to the site via Little Tree Road to Rustic Road and egress from the site via Rustic to Little Tree Road are minimized through signage and instructions to employees and delivery personnel (See Condition VIII. D.). A drop off-area in front of the main entrance is included in the site design along with room for vehicular movement for parking and departure.

- (2) Does the site plan show designs that minimize any departure from the character, materials, and scale of buildings in the vicinity as viewed from public ways and places?

The site is presently vacant. The proposed building abuts residential properties to the west and south. It is bounded by Summer Street on the east and Rustic Road on the north. The style and scale of the Country Cottage Children's Center building has a residential character. The building design and materials have been positively reviewed by the Design Review Committee and found to be suitable. The building coverage ratio is 15% of the site which complies with the Zoning Bylaw standard of 30% for the zoning district.

- (3) Is reasonable use made of building location, grading and vegetation to reduce the visible intrusion of structures, parking areas, outside storage or other outdoor service areas (e.g. waste removal) from public views or from (nearby) premises residentially used and zoned.

The project includes perimeter fencing and landscaping. A proposed dumpster is appropriately screened and is located away from the abutting residential properties.

- (4) Is adequate access to each structure for fire and service equipment provided?

The building is readily accessible from 2 sides – Summer Street and Rustic Road. The Country Cottage site plan was provided to the Fire Chief and no negative comments have been received.

- (5) Will the design and construction minimize, to the extent reasonably possible, the following environmental impacts?

- a) the volume of cut and fill;
- b) the number of trees to be removed with particular care taken with mature trees and root systems;
- c) the visual prominence of man-made elements not necessary for safety;
- d) the removal of existing stone walls;
- e) the visibility of building sites from existing streets;
- f) the impacts on waterways and environmental resource areas;
- g) soil pollution and erosion;
- h) noise.

The volume of cut and fill is the minimum necessary to construct the building and associated site improvements. The site is already cleared. Playground equipment will be installed in the back yard of the property but the play area will be fenced to provide screening to the abutting neighbors. The drainage system has been reviewed by the Town's Consulting Engineer and has been determined to be adequate. No extraordinary noise will be generated by the operation of the business which operates only during daytime hours, Monday – Friday. A Request for Determination of Applicability (RDA) was filed with the Conservation Commission which found that only fencing and grading were within the buffer zone its jurisdiction pursuant to the Medway Wetlands General Bylaw. However, the proposed work does not alter an area subject to protection the Wetlands Protection Act and therefore the filing of a Notice of Intent is not required.

- (6) Is pedestrian and vehicular safety both on the site and egressing from it maximized?

The entrance and egress to the site and its parking have been designed for safe operation and to minimize conflict. Sidewalks are provided along the Summer Street and Rustic Road frontages. The site design has been reviewed by the Town's Consulting Engineer and found to be acceptable.

- (7) Does the design and will the construction incorporate, to the maximum extent possible, the visual prominence of natural and historic features of the site?

The site is presently vacant; the previous residential structure on the property was demolished in 2016. Accordingly, there are no visually prominent natural or historic features on site.

- (8) Does the lighting of structures and parking area avoid glare on adjoining properties and minimize light pollution within the town?
Site lighting has been proposed and modified so that it does not produce glare to adjoining properties.
- (9) Is the proposed limit of work area reasonable and does it protect sensitive environmental and/or cultural resources? The site plan as designed should not cause substantial or irrevocable damage to the environment, which damage could be avoided or ameliorated through an alternative development plan or mitigation measures.

The limit of work is reasonable for the proposed facility. There are no sensitive environmental or cultural resources on or abutting the site.

VII. WAIVERS FROM SITE PLAN RULES AND REGULATIONS – At its October 24, 2017, the Planning and Economic Development Board, on a motion made by Robert Tucker and seconded by Matthew Hayes, voted on waiver requests from the following provisions of the *Rules and Regulations for the Submission and Approval of Site Plans, as amended December 3, 2002*. The Planning and Economic Development Board's action and reasons for granting each waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

The motion was approved by a vote of five in favor and none opposed.

1. **Section 204-3 Planning Board Submittals, A. 7. Development Impact Report**

The applicant shall submit a written *Development Impact Statement* which shall describe the potential and anticipated impacts of the proposed development, identify all positive and adverse impacts, and propose an acceptable program to prevent or mitigate adverse impacts.

At its discretion, the Planning Board, upon written request of the applicant, and based on the Board's preliminary assessment of the scale and type of development proposed, may waive or modify the requirements for submission of any of the elements of the *Development Impact Statement*.

The *Development Impact Statement* shall consist of the following four elements – traffic, environmental, community and parking.

The applicant has requested a waiver from this requirement. A child care facility is an exempt use pursuant to G.L. Chapter 40A, Section 3. Accordingly, the Board may only reasonably regulate exempt uses. Requiring such a development report would constitute an "unreasonable" regulation. Therefore, the Board APPROVES this waiver request.

2. **Section 204 – 4. Standards for Site Plan Preparation – B.** The site plan shall be drawn at a scale of one (1) inch equals forty (40) feet or such other scale that has been approved in advance by the Planning Board and that clearly and adequately represents the proposed improvements.

The applicant has requested a waiver from this requirement and used a 1" = 20' scale instead of the standard 1" = 40'. As the site is relatively small, this scale provides for a clearer and neater plan than can show more detail than a plan at 1" = 40' scale. The Town's Consulting Engineer has no objection to this alternative and has indicated that the scale is sufficient to adequately represent the proposed work. Therefore the Board APPROVES this waiver request.

3. **Section 204 - 5 Site Plan Contents. A. Cover Sheet** – The cover sheet shall include the project name, name and address of owner, name and address of applicant, name and address of engineering and other professional firms responsible for the plan, current date, list of revision dates, project street address, project Assessor's Map and Parcel number, zoning district classification, list of requested waivers from these *Rules and Regulations*, Board of Selectmen's Signature Block, and a list of drawings/ contents.

The applicant has requested a waiver from this requirement and has indicated that Sheet 1 supplies all of the needed information. Staff has recommended against this waiver because Sheet 1 as presented is overly loaded with information making project identification difficult to determine. Therefore, the Board DENIES this waiver request.

4. **Section 204-5 Site Plan Contents C. 3. Existing Landscape Inventory** - An *Existing Landscape Inventory* shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.

The applicant has requested a waiver from the requirement for an inventory of existing landscape features. The site is primarily vacant. However, the existing tree line along the western boundary and a portion of the southern boundary will be retained. Therefore, the Board APPROVES this waiver request.

5. **Section 205-6 Parking, G. Parking Spaces and Stalls, 3. a)** - Car parking spaces/stalls shall be ten (10) feet by twenty (20) feet, except that handicap stalls shall be in accordance with the current ADA standards. Each handicapped space/stall must be identified on the ground surface and by a sign.

The applicant has requested waiver from this regulation and has proposed 22 parking space stalls at a size of 9' by 18' – 9 spaces for employees, 1 handicap space, and 12 spaces designated for parents/caregivers. This is the allowed standard parking space size per Section 7.1.1. E. 3. a. of the Medway Zoning Bylaw which takes precedence over the Site Plan Rules and Regulations. The sidewalk width has been increased to 7' to allow for bumper overhang needed for the shorter parking space length. Further, reduced parking space size reduces the amount of impervious pavement. The Town's Consulting Engineer has no objection to the waiver request. Therefore, the Board APPROVES this request.

6. **Section 205-6 Parking, G. Parking Spaces and Stalls, 3. b)** - Wheel stops are required at the head of each car stall where a space/stall abuts a walkway,

pedestrian way, or special site feature such as an abrupt change in grade. Acceptable materials include pre-cast concrete, granite, or like materials. All wheel stops shall be properly anchored into the ground and located approximately twenty-four (24) inches from the head of a car space/stall.

The applicant has requested a waiver from this requirement. Adjacent wider sidewalks are planned and will provide a suitable alternative to accommodate the overhang of vehicles. The absence of wheel stops also makes for more efficient and easier snowplowing and less costly long term site maintenance. Therefore, the Board APPROVES this waiver.

7. **Section 205-6 Parking, G. Parking Spaces and Stalls, 4. b) - Stalls** shall not be located within 15' of the front, side or rear property lines.

The applicant has requested a waiver from the full extent of this requirement and has proposed a 10' setback in lieu of the standard 15'. This space is needed to incorporate all needed elements for a child care facility – building, parking and required outdoor space. The Town's consulting engineer does not oppose this request. Therefore, the Board APPROVES this waiver.

WAIVER FROM ZONING BYLAW – At its October 24, 2017, the Planning and Economic Development Board, on a motion made by Robert Tucker and seconded by Matthew Hayes, voted to grant a waiver from the following provision of the *Medway Zoning Bylaw* dated July 10, 2017. The Planning and Economic Development Board's action and reasons for granting this waiver request are listed below. All waivers are subject to the *Special and General Conditions of Approval*, which follow this section.

1. **Section 7.1.1. Off-Street Parking and Loading, I. Bicycle Parking, 1. Bicycle parking facilities** shall be provided for any new building, addition or enlargement of an existing facility, or for any change in the occupancy of any new building that results in the need for additional vehicular parking facilities. The minimum required number of bicycle spaces shall be one per twenty motor vehicles unless waived during Site Plan Review . . .

The applicant has requested a waiver from this requirement. Neither employees nor parents/caregivers use bicycles to travel to the site. On the rare occasion when bicycle storage is needed, the area enclosed by the fence can be used. Therefore the Board APPROVES this waiver and authorizes that no bicycle parking facilities need to be provided.

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this site plan is consistent with the *Site Plan Rules and Regulations*, that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public review process have been carefully considered

SPECIFIC CONDITIONS OF APPROVAL

- A. **Plan Endorsement** - Within sixty (60) days after the Board has filed its *Decision* with the Town Clerk, the site plan for the Country Cottage Children's Center project at 35 & 37 Summer Street, dated August 24, 2017, last revised September

26, 2017, prepared by Engineering Design Consultants, Inc. of Southborough, MA and CUBIC Architects of Plymouth, MA shall be further revised to reflect all Conditions and required plan revisions, including those specified as follows, and submitted to the Planning and Economic Development Board to review for compliance with the Board's *Decision*. (*Said plan is hereinafter referred to as the Plan*). The Applicant shall provide a set of the revised Plan in its final form to the Board for its signature/endorsement. All plan sheets shall be bound together in a complete set.

- B. ***Plan Revisions*** – Prior to plan endorsement, the following plan revisions shall be made to the September 26, 2017 plan set.
1. A cover sheet shall be added to the plan set and shall include the information as specified in Section 204 – 5. A. Cover Sheet of the *Site Plan Rules and Regulations*. It shall also include a listing of Approved Waivers, a complete index of all plan sheets including the architectural plans by Cubic Architects.
 2. As requested by Safety Officer Sergeant Watson, a No Left Turn sign at the egress from the facility onto Rustic Road shall be added to the plan.
 3. The location of the relocated fire hydrant shall be shown as approved by the Fire Department and the Department of Public Services.
 4. A sewer easement shall be shown on the plan running along the full length of the eastern section of the property's frontage on Rustic Road.
 5. A screening/privacy fence along the southern boundary of the property with 33 Summer Street running a minimum of 60 linear feet westerly from Summer Street shall be shown on the plan. The fence design shall be noted as a non-shiny, natural color, vinyl product.
 6. Sign detail information provided by Cubic Architects shall be added to the plan set.
 7. The name of the plan shall be revised to Country Cottage Children's Center.
- C. ***Use Limitations*** – Parking or use of the parking area at County Cottage shall be limited only to vehicles for Country Cottage employees, deliveries and customers. The parking area may not be leased or made available to any other business or organization for any purpose.
- D. ***Site Access*** – Access to the site is to be provided only from Rustic Road. Egress is from both Rustic Road and Summer Street. The applicant shall instruct its employees, delivery companies and customers to access Rustic Road from Summer Street and not cut through Little Tree Road to access the property and to egress the property from Summer Street. Any printed or electronic marketing materials that provide directions to the Country Cottage Children's Center site shall indicate the Rustic Road access and Summer Street egress.
- E. ***Trash Removal*** – Trash removal shall be scheduled to occur only between 7 am and 6 pm.
- F. ***Stormwater Management Operations and Maintenance Plan*** - The applicant has ongoing responsibility and obligation to carry out the Long-Term Stormwater Operations and Maintenance Plan as included in the site plan set.
- G. ***Signage*** - A rendering of a proposed monument sign has been provided and its

planned position on the premises is shown on the site plan. A wall sign on the east facing façade is also contemplated. The applicant shall secure sign permits from the Medway Building Department which includes prior review by the Design Review Committee as specified in Section 7.2.6.3 Sign Regulation of the *Zoning Bylaw*.

H. **Lighting**

1. Lighting shall not result in any light spillage off the property. This may be accomplished through the addition of light shields, the lowering and/or relocating of light fixtures, and other suitable measures.
2. LED lights shall be of a lower color temperature [2700-3000K] to provide a more natural appearance.

- I. **Snow Removal** – Snow accumulation that exceeds the on-site storage capacity shall be collected and transported offsite and disposed of at an approved snow disposal facility.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to site plan endorsement by the Planning and Economic Development Board, the Applicant shall pay:

1. the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering, planning or other consultants; and
2. any construction inspection fee that may be required by the Planning and Economic Development Board; and
3. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.

The Applicant's failure to pay these fees in their entirety shall be reason for the Planning and Economic Development Board to withhold plan endorsement.

- B. **Other Permits** – This permit does not relieve the applicant from its responsibility to obtain, pay and comply with all other required federal, state and Town permits. The contractor for the applicant or assigns shall obtain, pay and comply with all other required Town permits.

- C. **Restrictions on Construction Activities** – During construction, all local, state and federal laws shall be followed regarding noise, vibration, dust and blocking of town roads. The applicant and its contractors shall at all times use all reasonable means to minimize inconvenience to abutters and residents in the general area. The following specific restrictions on construction activity shall apply.

1. **Construction Time** - Construction work at the site and in the building and the operation of construction equipment including truck/vehicular and machine start-up and movement shall commence no earlier than 7 a.m. and shall cease no later than 6 p.m. Monday – Saturday. No construction shall take place on Sundays or legal holidays without the advance approval of the Inspector of Buildings.

2. *Neighborhood Relations* – The applicant shall notify neighbors in the general area around the site when site work and construction are scheduled to begin and provide a phone number for them to use for questions and concerns that arise during construction.
3. The applicant shall take all measures necessary to ensure that no excessive dust leaves the premises during construction including use of water spray to wet down dusty surfaces.
4. There shall be no tracking of construction materials onto any public way. Daily sweeping of roadways adjacent to the site shall be done to ensure that any loose gravel/dirt is removed from the roadways and does not create hazardous or deleterious conditions for vehicles, pedestrians or abutting residents. In the event construction debris is carried onto a public way, the Applicant shall be responsible for all clean-up of the roadway which shall occur as soon as possible and in any event within twelve (12) hours of its occurrence.
5. The Applicant is responsible for having the contractor clean-up the construction site and the adjacent properties onto which construction debris may fall on a daily basis.
6. All erosion and siltation control measures shall be installed by the Applicant prior to the start of construction and observed by the Planning and Economic Development Board's consulting engineer and maintained in good repair throughout the construction period.
7. *Construction Traffic/Parking* – During construction, adequate provisions shall be made on-site for the parking, storing, and stacking of construction materials and vehicles. All parking for construction vehicles and construction related traffic shall be maintained on site. No parking of construction and construction related vehicles shall take place on adjacent public or private ways or interfere with the safe movement of persons and vehicles on adjacent properties or roadways.
8. *Noise* - Construction noise shall not exceed the noise standards as specified in the *Zoning Bylaw*, Section 7.3.C.2. Environmental Standards.

E. ***Landscape Maintenance***

1. The site's landscaping shall be maintained in good condition throughout the life of the facility and to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced by the following spring.
2. Within 60 days after two years after the occupancy permit is issued, the Town's Consulting Engineer or the Inspector of Buildings shall conduct an initial inspection of the landscaping to determine whether and which landscape items need replacement or removal and provide a report to the Board. At any time subsequent to this initial inspection, the Town's Consulting Engineer or the Inspector of Buildings may conduct further inspections of the landscaping to determine whether and which landscaping items need replacement or removal and provide a report to the Board. The

Board may seek enforcement remedies with the Inspector of Buildings/Zoning Enforcement Officer to ensure that the comprehensive landscaping plan is maintained.

F. ***Snow Storage and Removal***

1. On-site snow storage shall not encroach upon nor prohibit the use of any parking spaces required by the *Zoning Bylaw*.
2. The applicant shall make the fullest possible effort to remove accumulated snow which exceeds the capacity of the designated on-site snow storage areas from the premises within 48 hours after the conclusion of a storm event.

G. ***Construction Oversight***

1. Construction Account

- a) Inspection of infrastructure and utility construction, installation of site amenities including landscaping, and the review of legal documents by Town Counsel is required. Prior to plan endorsement, the applicant shall establish a construction account with the Planning and Economic Development Board. The funds may be used at the Board's discretion to retain professional outside consultants to perform the items listed above as well as the following other tasks - inspect the site during construction/installation, identify what site plan work remains to be completed, prepare a bond estimate, conduct other reasonable inspections until the site work is completed and determined to be satisfactory, review as-built plans, and advise the Board as it prepares to issue a *Certificate of Site Plan Completion*).
 - b) Prior to plan endorsement, the Applicant shall pay an advance toward the cost of these services to the Town of Medway. The advance amount shall be determined by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer.
 - c) Depending on the scope of professional outside consultant assistance that the Board may need, the Applicant shall provide supplemental payments to the project's construction inspection account, upon invoice from the Board.
 - d) Any funds remaining in the applicant's construction inspection account after the *Certificate of Site Plan Completion* is issued shall be returned to the applicant.
2. Pre-Construction Meeting - Prior to the commencement of any work on the Property, the Applicant and the site general contractor shall attend a preconstruction conference with Planning and Economic Development Coordinator, the Building Commissioner, Department of Public Services Director, the Conservation Agent, the Town's Consulting Engineer and other Town staff or Applicant's representatives as may be determined. The general contractor shall request such conference at least one week prior to commencing any work on the property by contacting the Planning and Economic Development office.

3. Planning and Economic Development Board members, its staff, consultants or other designated Town agents and staff shall have the right to inspect the site at any time, for compliance with the endorsed site plan and the provisions of this Decision.
4. The Department of Public Services will conduct inspections for any construction work occurring in the Town's right-of way in conjunction with the Town of Medway Street Opening/Roadway Access Permit.
5. The applicant shall have a professional engineer licensed in the Commonwealth of Massachusetts conduct progress inspections of the construction of the approved site improvements. Inspections shall occur at least on a monthly basis. The engineer shall prepare a written report of each inspection and provide a copy to the Planning and Economic Development Board within 5 days of inspection.

H. ***Modification of Plan and/or Decision***

1. This site plan and special permit approval is subject to all subsequent conditions that may be imposed by other Town departments, boards, agencies or commissions. Any changes to the site plan that may be required by the decisions of other Town boards, agencies or commissions shall be submitted to the Planning and Economic Development Board for review as site plan modifications.
2. Any work that deviates from the approved site plan or this Decision shall be a violation of the *Medway Zoning Bylaw*, unless the Applicant requests approval of a plan modification pursuant to Section 3.5.2.A.3.c. and such approval is provided in writing by the Planning and Economic Development Board.
3. Whenever additional reviews by the Planning and Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public review process including legal notice and abutter notification. If the proposed revisions affect only specific limited aspects of the site, the Planning and Economic Development Board may reduce the scope of the required review and waive part of the filing and review fees.

I. ***Compliance with Plan and Decision***

1. The Applicant shall construct all improvements in compliance with the approved and endorsed site plan and this Decision any modifications thereto.
2. The Planning and Economic Development Board or its agent(s) shall use all legal options available to it, including referring any violation to the Building Commissioner/Zoning Enforcement Officer for appropriate enforcement action, to ensure compliance with the foregoing Conditions of Approval.

3. The Conditions of Approval are enforceable under Section 3.1. F. of the *Medway Zoning Bylaw* (non-criminal disposition) and violations or non-compliance are subject to the appropriate fine.

J. ***Performance Security***

1. No occupancy permit for the building shall be granted until the Planning and Economic Development Board has provided a written communication to the Inspector of Buildings/Zoning Enforcement Officer that the project, as constructed, conforms completely and fully to the approved site plan and that any conditions including construction of any required on and off-site improvements, have been satisfactorily completed OR that suitable security/performance guarantee has been provided to the Town of Medway, to the Planning and Economic Development Board's satisfaction, to cover the cost of all remaining work.
2. If performance security is needed, the applicant shall propose a form of performance security which shall be of a source and in a form acceptable to the Planning and Economic Development Board, the Treasurer/Collector and Town Counsel. The Board requires that the performance guarantee be accompanied by an agreement which shall define the obligations of the developer and the performance guarantee company including:
 - a) the date by which the developer shall complete construction
 - b) a statement that the agreement does not expire until released in full by the Planning and Economic Development Board
 - c) procedures for collection upon default.
3. The amount of the performance guarantee shall be equal to 100% of the amount that would be required for the Town of Medway to complete construction of the site infrastructure including installation of stormwater management facilities, utilities, services, parking, pedestrian facilities and all site amenities as specified in the Site Plan that remain unfinished at the time the performance guarantee estimate is prepared if the developer failed to do so.
4. The security amount shall be approved by the Planning and Economic Development Board based on an estimate provided by the Town's Consulting Engineer based on the latest weighted average bid prices issued by the Mass Highway Department. The estimate shall reflect the cost for the Town to complete the work as a public works project which may necessitate additional engineering, inspection, legal and administrative services, staff time and public bidding procedures. The estimate shall also include the cost to maintain the infrastructure in the event the developer fails to adequately perform such and the cost for the development of as-built plans. In determining the amount, the Board shall be guided by the following formula in setting the sum: estimate of the Town's Consulting Engineer of the cost to complete the work plus a twenty-five percent (25%) contingency.
5. Final release of performance security is contingent on project completion.

K. ***Project Completion***

1. Site plan approval shall lapse after one (1) year of the grant thereof if substantial use has not commenced except for good cause. Approved site plans shall be completed by the applicant or its assignees within two (2) years of the date of plan endorsement. Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning and Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing, public review process and decision.
 2. Prior to issuance of a final occupancy permit, the Applicant shall secure a ***Certificate of Site Plan Completion*** from the Planning and Economic Development Board and provide the ***Certificate*** to the Inspector of Buildings. The ***Certificate*** serves as the Planning and Economic Development Board's confirmation that the completed work conforms to the approved site plan and any conditions and modifications thereto, including the construction of any required on and off-site improvements. The ***Certificate*** also serves to release any security/performance guarantee that has been provided to the Town of Medway. To secure a ***Certificate*** of Site Plan Completion, the applicant shall:
 - a) provide the Planning and Economic Development Board with written certification from a Professional Engineer registered in the Commonwealth of Massachusetts that all building and site work has been completed in strict compliance with the approved and endorsed site plan, and any modifications thereto; and
 - b) submit an electronic version of an As-Built Plan, prepared by a registered Professional Land Surveyor or Engineer registered in the Commonwealth of Massachusetts, to the Planning and Economic Development Board for its review and approval. The As-Built Plan shall show actual as-built locations and conditions of all buildings and site work shown on the original site plan and any modifications thereto. The final As-Built Plan shall also be provided to the Town in CAD/GIS file format per MASS GIS specifications.
- L. ***Construction Standards*** - All construction shall be completed in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.
- M. ***Conflicts*** – If there is a conflict between the site plan and the Decision's Conditions of Approval, the Decision shall rule. If there is a conflict between this Decision and/or site plan and the Medway Zoning Bylaw, the Bylaw shall apply.

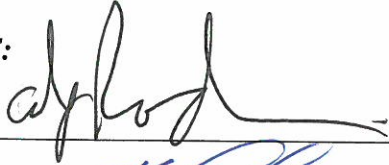
IX. APPEAL – Appeals if any, from this Decision shall be made to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.

After the appeal period has expired, the applicant must obtain a certified notice from the Town Clerk that no appeals have been made and provide such certification to the Planning and Economic Development Board before plan endorsement.

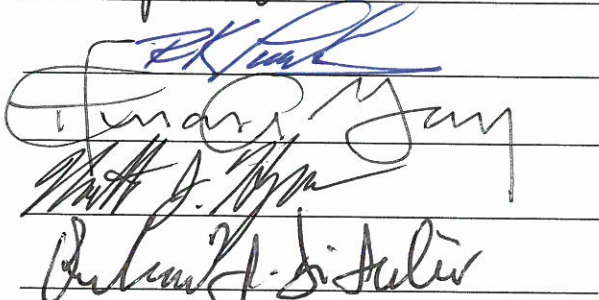
**Medway Planning and Economic Development Board
SITE PLAN and SPECIAL PERMIT DECISION
Country Cottage Children's Center, 35 Summer Street**

APPROVED with Waivers and Conditions by the Medway Planning & Economic Development Board: October 24, 2017

AYE:



NAY:



ATTEST:



Susan E. Affleck-Childs
Planning & Economic Development Coordinator

October 24, 2017
Date

COPIES TO: Michael Boynton, Town Administrator
David D'Amico, DPS Director
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Inspector of Buildings and Zoning Enforcement Officer
Stephanie Mercandetti, Director of Community and Economic Development
Joanne Russo, Treasurer/Collector
Jeff Watson, Police Department Safety Officer
Robin Beaudreau, owner and applicant
Paul Bemis, Engineering Design Consultants
Walter Fuller, Cubic Architects
Steven Bouley, Tetra Tech
Gino Carlucci, PGC Associates



TOWN OF MEDWAY
Planning & Economic Development
155 Village Street
Medway, Massachusetts 02053

October 25, 2017

Country Cottage Children's Center Site Plan
Site Plan Pre-Endorsement Checklist – TO DO

NOTE – The site plan must be endorsed by the Board within 60 days after the Decision is filed with the Town Clerk.

The plan cannot be endorsed until at least 20 days after the Decision is filed with the Town Clerk and the appeal period has concluded. The Decision was filed on October 25th. The appeal period concludes November 13th. Therefore, the soonest date for the Board to endorse the plan is November 14, 2017.

Endorsement Deadline is December 23, 2017.

Applicant's Responsibility:

- _____ 1. Engineering Design Consultants to revise plan per Special Condition B of site plan decision and submit electronically to PED office.
- _____ 2. Secure a Certification of *No Appeal* from the Town Clerk and provide to the PED office after the 20 day appeal period has concluded.
- _____ 3. Pay Construction Services invoice. This is forthcoming. Tetra Tech is preparing an estimate which the Board will review at a meeting on 10/30/17.
- _____ 4. Pay balance of any outstanding Plan Review fees if needed. PEDB office will send an invoice if additional funds are needed.

PEDB Office's Responsibility

- _____ 5. Receive revised plans from Engineering Design Consultants and forward to Tetra Tech for review. Secure sign-off memo from Tetra Tech verifying that plan revisions specified in the site plan decision have been made.
- _____ 6. Contact Treasurer/Collector's office to secure proof that real estate taxes are current and any other liens are resolved. Susy will communicate with Applicant if taxes are not current.