

Tuesday, January 5, 2021
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio	Jessica Chabot
Attendance	X Remote	X Remote	X Remote	X Remote	X Remote	X Remote

Pursuant to Governor Baker’s Orders imposing strict limitations on the number of people that may gather inside in one place, attendance by members of the public will be limited due to the size of the meeting space. All persons attending this meeting are required to wear a face covering, unless prevented by a medical or disabling condition. Meeting access via ZOOM is also provided and members of the public are encouraged to use ZOOM for the opportunity for public participation; information for participating via ZOOM is included at the end of the Agenda. Members of the public may watch the meeting on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

PRESENT VIA ZOOM MEETING:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland. Recording Secretary

PUBLIC COMMENTS:

- There were no public comments

CONTINUATION PUBLIC HEARING -Good Feels – Marijuana Special Permit:

The Board is in receipt of the following documents (**See Attached**):

- 12-29-20 Public Hearing Continuation Hearing Notice
- Other submittals provided by the applicant
- Transportation Overview
- Odor Control letter from Fuss & O’Neil dated December 18, 2020
- Odor Memorandum from SED Associates dated December 18, 2020
- Email from Noise Control Engineering dated December 27, 2020 in response for additional information.
- Email from Building Commissioner Jack Mee dated December 23, 2020
- DRAFT Special Permit Decision dated January 4, 2021
- Email from Bruce Straughan, the Board’s odor consultant, dated January 4, 2021.
- Email from Chris Menge, the Board’s noise consultant, dated January 4, 2021.

The Chairman opened the continued public hearing for the Good Feels marijuana establishment special permit

NOTE – Applicant Jason Reposa and his architect, Alex Siekierski participated in the meeting via ZOOM.

The Board was informed that Fuss & O’Neil provided a report to the applicant on odor control for 23 Jayar Road. The report explained that cannabis oil distillate is stripped of all plant-based components that produce an identifiable cannabis odor. The narrative has determined that an odor mitigation system related to the edibles manufacturing process using THC distillate due to the absence of the components that would produce an offensive odor is not necessary. The applicant also explained that there was an email from Sean Harrison from Commonwealth Alternative Care, one of his likely suppliers of cannabis oil distillate. It was explained that the process distills off and purifiers the molecular compounds. The final product is completely void of any distinct scent commonly attributed to cannabis. This leaves a very faint “burnt popcorn” smell if any smell at all. The applicant also referred to an email from Gene Ray, VP of Laboratory Operations with Garden Remedies Cannabis, another supplier, who has noted that the distillate is stripped of its essential oil (terpenes) that give it the “weed” smell. The final product of distillate typically has a potency around +85% THC, which is then utilized to make infused items.

Mr. Raposa provided a slide presentation via SHARE SCREEN. (**See attached**). This presentation explained that there were reports provided two odor engineers along with statements from various suppliers of the cannabis oil distillate product. There was also a peer review report from the town’s odor consultant (Bruce Straughan). The conclusion of the report from Timothy St. Germain of Fuss and O’Neill noted that an “odor mitigation system related to the edibles manufacturing process using THC distillate would be unnecessary due to the absence of the components that would produce an offensive cannabis odor. There was also documentation provided by Martin Richardson of SED Associates Consulting Engineers that upon his review, the “facility will be in full compliance with the Town of Medway’s Bylaws for Environmental Standards. Sean Harrison from the Commonwealth Alternative Care noted that the final product is completely void of any distinct scent commonly attributed to cannabis. The peer review report from the town’s odor consultant, Bruce Straughan, indicated that he agrees with the conclusion reached by Fuss & O’Neil.

The next part of the presentation focused on Noise. Senior Engineer Jeffrey Komrower of Noise Control Engineering, the applicant’s noise consultant, communicated in a letter that the “calculated noise levels at the property lines from operation of the proposed rooftop unit are well below both the overall dB(a) requirements for both daytime and nighttime operations as well as the individual octave band limits. The operation of the rooftop unit will result in no noise pollution as described in the Town of Medway Environmental Standards.”

The anticipated timeline is that the full license will be granted by the Cannabis Control Commission in May 2021. The production could begin in June 2021.

Member Gay noted that the odor standards were put in place not just for marijuana. There may be a burnt popcorn smell and also smells from the associated flavoring to be added to products. What is the mitigation going to be for those? The applicant responded that this is a

contained smell within the building and it will disappear. The example he gave is that this is like a candle. This will be in a closed HVAC system processing room. There was also information provided that this will be temperature controlled environment. The Board informed the applicant that there are odor thresholds put in place via the Bylaw that will have to be met.

The applicant informed Susy that there was additional information provided today about the noise. They plan to change the HVAC equipment to Mitsubishi which will meet the standards. This information will be forwarded to Chris Menge, the Town's noise consultant.

Resident, John Lally was present for the ZOOM call. Mr. Lally wanted to know if the HVAC unit will comply with the new noise and odor standards. The applicant responded that he will comply with the proposed new standards, but those have not yet been voted on by town meeting. He asked why he would be held to those standards if they are not approved. It was explained that this is a special permit application and those new standards were vetted for over a year and those are not just for marijuana. The Special Permit allows for more stringent rules and regulations.

The draft decision was reviewed.

The following were recommended changes to the FINDINGS section:

- Page 5: #10 Include language from the consultants.
- Page 7: Add language that the applicant does not have to provide a noise mitigation plan due to limited nature of this enterprise.

Member Di Iulio does not want to vote on the FINDINGS section of the decision until the recommended language is incorporated into the decision.

On a motion made Matt Hayes, seconded by Bob Tucker, the Board voted by roll call to accept the FINDINGS as written with the edits as discussed.

Roll Call Vote:

Bob Tucker	aye
Tom Gay	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	nay

The Board discussed the proposed Conditions as presented.

The was discussion about the dumpster. Usually, the Board requires dumpsters to be enclosed. The applicant communicated that he does not have a lot of trash and would probably just take it off site instead of using a dumpster at 23 Jayar Road. The property manager for the building said that he can take his trash to their other building at 85 Main Street. There was also discussion about the outdoor location of the back-up generator and if this will be on site permanently. The applicant explained that the generator will be not be permanently installed outside but will be a portable device. When the unit is not in use outside, it will be kept inside. For hours of operation, the applicant would like to have the permit be for Sunday through Saturday. The applicant does not think he will begin the operations until 10:00 am. The Board recommends that the hours be

from Monday through Sunday from 7:00 am to 9:00 pm. This provides for flexibility for possible deliveries on weekends.

On a motion made Bob Tucker, seconded by Matt Hayes, the Board voted by Roll Call to Approve the Conditions as written and amended.

Roll Call Vote:

Bob Tucker	aye
Tom Gay	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	nay

All the information provided will be added to the draft decision. This will be reviewed further at the meeting on January 12, 2021.

On a motion made by Bob Tucker, seconded by Rich Di Iulio, the Board voted by Roll Call to continue the hearing to January 12, 2021 at 7:00 pm.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

PEDB MEETING MINUTES:

December 8, 2020:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted by Roll Call to approve the PEDB meeting minutes of December 8, 2020 as presented.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

CONSTRUCTION REPORTS:

The Board is in receipt of the following: (See Attached)

- Project Engineer's Report on William Wallace Village from Dan Merrikin dated December 18, 2020.
- Project Engineer's Report on Evergreen's Village from Ron Tiberi dated December 31, 2020.

OTHER BUSINESS:

- The RFP for the Master Plan was issued on January 4, 2021.

FUTURE MEETING:

- Tuesday, January 12, 2020

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to adjourn the meeting.

Roll Call Vote:

Andy Rodenhiser	aye
Bob Tucker	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

The meeting was adjourned at 8:15 pm.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



January 5, 2021

**Medway Planning & Economic Development Board
Meeting**

Good Feels Marijuana Special Permit

UPDATED

- 12-29-20 Public Hearing Continuation Notice
- Other Submittals provided by the Applicant
- ❖ Transportation (Delivery) Overview
- ❖ Odor Control letter from Fuss & O'Neil dated December 18, 2020
- ❖ Odor Memorandum from SED Associates dated December 18, 2020
- ❖ Email from Noise Control Engineering dated December 27, 2020 in response to the Board's noise consultant's (HMMH) request for additional information
- Email from Building Commissioner Jack Mee dated December 23, 2020
- DRAFT Special Permit Decision dated January 4, 2021
- **Email from Bruce Straughan, the Board's odor consultant, dated January 4, 2021**
- **Email from Chris Menge, the Board's noise consultant, dated January 4, 2021 with SAC's follow-up email to the applicant dated January 5, 2021**

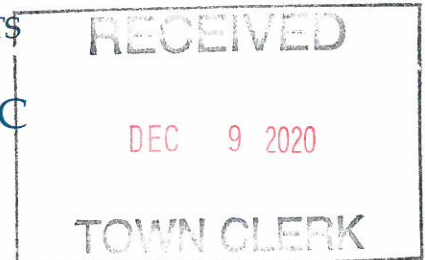
Board Members

Andy Rodenhiser, Chair
Robert Tucker, Vice Chair
Thomas Gay, Clerk
Matthew Hayes, P.E.,
Member
Richard Di Iulio, Member
Jessica Chabot, Associate
Member



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TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
**PLANNING AND ECONOMIC
DEVELOPMENT BOARD**



MEMORANDUM

December 9, 2020

TO: Maryjane White, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: ***Public Hearing Continuation for Good Feels, Inc. – Marijuana Establishment
Special Permit***
23 Jayar Road
Public Hearing Continuation Date – Tuesday, January 5, 2021 at 7:00 p.m.

At its December 8, 2020 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of Good Feels, Inc. of Medway, MA for approval of a marijuana establishment special permit to Tuesday, January 5, 2021 at 7:00 p.m.

The applicant proposes to use 1,896 sq. ft. of the existing, multi-tenant, commercial/industrial building at 23 Jayar Road for the production and packaging of marijuana infused products for adult recreational use. Neither a retail marijuana operation nor a marijuana cultivation facility are proposed for this site.

The planned scope of work includes interior renovations to the existing building to accommodate the proposed new use including the creation of interior space for storage, processing, offices, shipping and receiving. The work is shown on *Good Feels Inc. Permit Plan*, dated October 23, 2020, prepared by Joe the Architect, LLC of Somerville, MA. Except for the installation of an outside generator and rooftop HVAC system, no site improvements are planned.

The application and associated documents are on file at the offices of the Town Clerk and the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The application materials have been posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/good-feels-inc-23-jayar-road-recreational-marijuana>

We welcome any review comments you may wish to offer. The Board expects to vote a decision at the January 5th meeting. Please forward any comments to me by December 16th. Please don't hesitate to contact me if you have any questions.



GNL - Transportation Overview

Good Feels Inc.

Version:	1
Effective Date:	09/24/2019
Last Revised:	12/16/2019

Policy:

Good Feels Inc may transport its marijuana products to other licensed marijuana establishments or MTCs. Deliveries will only take place between Good Feels Inc's approved hours, unless otherwise approved by the Commission. Good Feels Inc will report the following that occur during transport to the Commission:

- Vehicle accidents or circumstances that render the vehicle immobile;
- Diversions;
- Losses; or
- Other reportable events.

Only authorized Good Feels Inc personnel will transfer inventory from Good Feels Inc's secure inventory storage area to the room designated for shipping and receiving.

All marijuana products will be tracked in METRC via a manifest and Good Feels Inc's chosen computerized seed-to-sale system.

During shipment preparation, inventory will be weighed while under video surveillance, and undergo quality assurance inspections. Unsafe and unsatisfactory items will be rejected and either corrected (for example, being re-labeled or re-packaged), quarantined, inspected, and destroyed.

The vehicle(s) used for transporting Good Feels Inc's wholesale inventory will:

- Be exclusively owned or leased by Good Feels Inc;
- Properly registered and insured in Massachusetts;
- Be capable of shielding marijuana from public view during transport;
- Have a secure, locked storage compartment that is a part of the vehicle transporting the marijuana products. **Note:** The storage compartment must be sufficiently secure so that it cannot be easily removed.
- Have no markings that identify or indicate that the vehicle is being used to transport marijuana. **Note:** Transport vehicles cannot have Good Feels Inc's name.
- Be equipped with:
 - A Commission-approved alarm system;
 - A GPS system that is:
 - Not an easily removable mobile device;
 - Attached to the vehicle at all times that the vehicle contains marijuana products;
 - Monitored by Good Feels Inc during the transport of marijuana products; and
 - Inspected by the Commission prior to initial transportation of marijuana products, and after any alteration to the locked storage compartment.
 - A video system that:
 - Includes one or more video cameras in the storage and driver areas of the vehicle.
 - Must remain operational at all times during the entire transport process and must have:
 - The ability to produce a clear color still photo whether live or recorded; and
 - A date and time stamp embedded in all recordings which must always be synchronized, set correctly, and cannot significantly obscure the picture.
- Be subject to inspection by the Commission or its delegates, law enforcement, or other federal, state or local government officials;
- Be equipped with functioning heating and air conditioning systems to maintain correct temperatures for marijuana products;
- Not store firearms; and
- Not store any other products when marijuana is transported.

Only designated Good Feels Inc delivery team members are allowed to transport marijuana products. Good Feels Inc's delivery team must have at least two people. At least one delivery team member must remain with the transport vehicle at all times when the vehicle contains marijuana. The delivery team will be trained for vehicle stoppages and inspections. A copy of the manifest must be produced to the Commission or a law enforcement official upon request. Each member of the delivery team will:

- Have a valid agent registry identification card;

- Be agents of Good Feels Inc's facility;
- Have a valid Massachusetts Driver's License for the class of vehicle being driven; and
- Physically possess the following while operating the transport vehicle:
 - Agent registration identification card;
 - Driver's license;
 - Vehicle registration; and
 - Vehicle insurance.

The delivery team must have access to a secure form of communication at all times that the vehicle contains marijuana products, including but not limited to:

- Two-way digital or analog radio (UHF or VHF);
- Cell phone; or
- Satellite phone.

When choosing a type of secure communication, Good Feels Inc will take the following into consideration:

- Cellular signal coverage;
- Transportation area;
- Base capabilities;
- Antenna coverage; and
- Frequency of transportation. **Note:** Good Feels Inc must assign an agent to monitor the GPS unit and secure form of communication, and log all of communications with the delivery team.

Good Feels Inc may request alternative safeguards from the Commission if Good Feels Inc is transporting marijuana products to other establishments.

If Good Feels Inc is a CMO:

- SOPs and records must reflect medical and adult-use regulations;
- Records must be kept separate and designated by adult or medical use; and
- SOPs can be in one document, providing that it complies with both medical and adult-use regulations for SOPs. Otherwise, Good Feels Inc may maintain two sets of operating procedures; one for medical use, and one for adult use.

Policy Citations: CMR 935.500.110.(4)(d) (2019); CMR 935.501.110.(4)(d) (2019); CMR 935.500.120(12)(d) (2019); CMR 935.501.120(12)(d) (2019); CMR 935.500.130(5)(d) (2019); CMR 935.501.130(5)(d) (2019); CMR 935.500.105(13) (2019); CMR 935.501.105(13) (2019); CMR 935.502.105(1) (2019); CMR 935.502.105(9) (2019)

Purpose:

This SOP covers wholesale transportation of Good Feels Inc's own product. This document describes the guidelines implemented by Good Feels Inc to safely transport wholesale inventory from Good Feels Inc's licensed facility to another licensed facility in the state of Massachusetts, and, if applicable, licensed approved laboratories.

Scope:

Transportation, Security

Employee Responsible:

Delivery Team Members, Inventory Manager

Definitions:

Agent Registration Card - an identification card issued by the Commission to a Marijuana Establishment or Laboratory Agent. The Registration Card allows access into Commission-supported databases. The Registration Card facilitates verification of an individual registrant's status, including, but not limited to the identification by the Commission and Law Enforcement Authorities.

Commission - the Massachusetts Cannabis Control Commission. The Commission has authority to implement all Massachusetts marijuana laws.

CMO - (Colocated Marijuana Operations) - an MTC operating under a medical license, and a Marijuana Establishment operating under at least one adult-use license on the same premises. Colocated Marijuana Operations pertain to cultivation, product manufacturing, and retail licenses, but not any other adult-use license.

Good Feels Inc's Chosen Computerized Seed to Sale System - PC-based software designed to track the cultivation, manufacturing and sale of marijuana and marijuana product. Good Feels Inc's chosen computerized seed to sale system shall be used to track and record all commercial marijuana activity at the facility, and must integrate with the System of Record (SOR) in a form and manner determined by the Commission.

Facsimile - an exact copy, especially of written or printed material.

Marijuana Establishment - a Marijuana Cultivator (Indoor or Outdoor), Craft Marijuana Cooperative, Marijuana Product Manufacturer, Marijuana Microbusiness, Independent Testing Laboratory, Marijuana Retailer, Marijuana Transporter, DeliveryOnly Licensee, Marijuana Research Facility, Social Consumption Establishment or any other type of licensed Marijuana-related business, except a Medical Marijuana Treatment Center (MTC).

METRC (Seed-to-Sale Electronic Tracking System) -a system designated by the Commission as the system of record (Seed-to-sale SOR) or a secondary electronic tracking system used by a Marijuana Establishment or an MTC or an Independent Testing Laboratory. This system shall capture everything that happens to an individual marijuana plant, from seed and cultivation, through growth, harvest and manufacture of marijuana products and MIPs, including transportation, if any, to final sale of finished products. Seed-to-sale Electronic Tracking System shall utilize a unique-plant identification and unique batch identification. It will also be able to track agents' and Registrants' involvement with the Marijuana Product. Any secondary system used by the Marijuana Establishment or an MTC must integrate with the SOR in a form and manner determined by the Commission.

Medical Marijuana Treatment Center (MTC) - formerly known as a Registered Marijuana Dispensary (RMD) a licensed entity that acquires, cultivates, possesses, Processes (including development of related products such as Edible Marijuana or Marijuana Products, MIPs, Tinctures, aerosols, oils, or ointments), transports, sells, distributes, delivers, dispenses, or administers Marijuana, products containing Cannabis or Marijuana, related supplies, or educational materials to Registered Qualifying Patients or their Personal Caregivers for medical use. Unless otherwise specified, MTC refers to the site(s) of dispensing, cultivation, and preparation of Cannabis or Marijuana for medical use.

RFID - Radio Frequency Identification - a form of wireless communication that incorporates the use of electromagnetic or electrostatic coupling in the radio frequency portion of the electromagnetic spectrum to uniquely identify an object, animal or person. RFID tags are used in conjunction with METRC to secure chain of custody.

Resources:

Transportation vehicle, shipping manifest, valid driver's license, employee identification card or badge, vehicle registration, proof of valid insurance, GPS device, communication device, route plan, Transportation Log, Transport Communication Log, tamper-evident tape

GNL - Transportation Overview

A. Preparing Inventory for Wholesale Transport

- Under video surveillance, weigh, audit, and account for all marijuana products to be transported. Confirm that the camera is recording:

- Each product being weighed;
- The weight of each product; and
- The manifest.

CMR 935.500.105(13)(a)(7)
(2019)

CMR 935.501.105(13)(a)(7)
(2019)

CMR 935.500.105(13)(a)(9)
(2019)

CMR 935.501.105(13)(a)(9)
(2019)

- Perform a quality assurance check on all products, packaging, and labeling. **Note:** Simplifya provides a Packaging and Labeling Checklist that is free with your subscription.
- Generate a shipping manifest in BioTrack for each facility that Good Feels Inc will be transporting products to, and ensure all routes are randomized.

CMR
935.500.105(13)(a)(4)
(2019)

CMR
935.501.105(13)(a)(4)
(2019)

CMR
935.500.105(13)(f)(2)
(2019)

CMR
935.501.105(13)(f)(2)
(2019)

CMR
935.500.105(13)(a)(12)
(2019)

CMR
935.501.105(13)(a)(12)
(2019)

- Transmit a copy to the destination license prior to transport by facsimile or email.

CMR 935.500.105(13)(a)(4)
(2019)

CMR 935.501.105(13)(a)(4)
(2019)

CMR 935.500.105(13)(f)(2)
(2019)

CMR 935.501.105(13)(f)(2)
(2019)

- Obtain three hard copies of the shipping manifest.
 - Leave the original manifest at Good Feels Inc's facility;
 - Maintain a copy to be kept with the delivery team during transportation, and returned to Good Feels Inc's facility after completion of transport; and
 - Maintain another copy to be given to the destination license upon arrival.

CMR 935.500.105(13)(f)(1) (2019)

CMR 935.501.105(13)(f)(1) (2019)

- Perform a quality assurance check on the shipping manifest. Look over the following:
 - Good Feels Inc's name, address, and registration number;
 - The names and registration numbers of the agents transporting the marijuana products;
 - The name and registration number of the Good Feels Inc agent who prepared the manifest;
 - The destination facility's name, address, and registration number;
 - A description of the marijuana products being transported, including the weight and form or type of product;
 - Mileage of the transporting vehicle at departure from Good Feels Inc 's facility and mileage on arrival at destination facility, as well as mileage on return to Good Feels Inc's facility;
 - The date and time of departure from Good Feels Inc's facility and arrival at destination facility for each transportation;

- A signature line for the agent who receives the marijuana products;
- The weight and inventory before departure and on receipt;
- The date and time that the transported products were re-weighed and re-inventoried **Note:**
Destination licenses have 8 hours to re-weigh and re-inventory incoming wholesale shipments. However, checking the manifest for accuracy is an important chain of custody checkpoint. Please see Good Feels Inc's Acquiring Wholesale Marijuana SOP for more information.
- The name of the agent at the destination MTC who reweighed and re-inventoried products; and
- The vehicle make, model and license plate number.

CMR 935.500.105(13)(a)(7) (2019)	CMR 935.501.105(13)(a)(7) (2019)	CMR 935.500.105(13)(a)(9) (2019)	CMR 935.501.105(13)(a)(9) (2019)
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7. Conduct a physical audit against the shipping manifest.

- Confirm that the physical RFID tags match the RFID numbers on the manifest.
- Physically count all items and ensure the product counts match the counts on the manifest.
- Confirm that all weights on the manifest match the weights noted on the scale.

CMR 935.500.105(13)(a)(7) (2019)

CMR 935.501.105(13)(a)(7) (2019)

CMR 935.500.105(13)(a)(9) (2019)

CMR 935.501.105(13)(a)(9) (2019)

8. After the information is confirmed to be accurate, seal each package of goods with tamper-evident tape, and have the Inventory Manager sign-off on the verification of the audit.

CMR 935.500.105(13)(a)(10) (2019)

CMR 935.501.105(13)(a)(10) (2019)

9. In the room designated for shipping and receiving inventory, pack each item in the shipment into an appropriate shipping container.

[Best Practice](#)

B. Preparing Vehicle for Transportation of Marijuana

1. Check that the transportation vehicle has enough fuel to reach the destination(s) without the need for stops along the way.

[Best Practice](#)

2. Confirm the following for the transport vehicle are functioning properly:

- Heating and air conditioning;
- Alarm system;
- GPS; and
- Video systems.

CMR 935.500.105(13)(c)(d) (2019)	CMR 935.501.105(13)(c)(d) (2019)	CMR 935.500.105(13)(e)(1)(b) (2019)	CMR 935.501.105(13)(e)(1)(b) (2019)	CMR 935.500.105(13)(e)(1)(c) (2019)	CMR 935.501.105(13)(e)(1)(c) (2019)	CMR 935.500.105(13)(a)(14) (2019)	CMR 935.501.105(13)(a)(14) (2019)	CMR 935.500.105(13)(a)(15) (2019)	CMR 935.501.105(13)(a)(15) (2019)	CMR 935.500.105(13)(c)(1)(c) (2019)	CMR 935.501.105(13)(c)(1)(c) (2019)
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3. Test the operability of both the GPS system and the chosen form of secure communication with the Good Feels Inc agent responsible for monitoring the GPS unit.

CMR 935.500.105(13)(e)(5) (2019)

CMR 935.501.105(13)(e)(5) (2019)

CMR 935.500.105(13)(e)(8) (2019)

CMR 935.501.105(13)(e)(8) (2019)

4. Make sure both agents have all of the following items on-hand prior to transport:

- A secure form of communication;
- Your valid driver's license;
- Your agent registration card;
- A copy of Good Feels Inc's registered organization license;
- Two hard copies of the transport manifest;
- The transportation vehicle's registration; and
- Valid car insurance.

CMR 935.500.105(13)(e)(2) (2019)	CMR 935.501.105(13)(e)(2) (2019)	CMR 935.500.105(13)(c)(1)(b) (2019)	CMR 935.501.105(13)(c)(1)(b) (2019)	CMR 935.500.105(13)(f)(1) (2019)	CMR 935.501.105(13)(f)(1) (2019)	CMR 935.500.105(13)(g)(1) (2019)	CMR 935.500.105(13)(g)(2) (2019)	CMR 935.501.105(13)(g)(1) (2019)	CMR 935.501.105(13)(g)(2) (2019)	CMR 935.500.105(13)(a)(6) (2019)	CMR 935.501.105(13)(a)(6) (2019)
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5. Exit the shipping and receiving room and transfer the containers into the locked storage compartment of the transport vehicle.

CMR 935.500.105(13)(d)(1) (2019) CMR 935.501.105(13)(d)(1) (2019)

6. If inventory being transported is perishable, store the container that holds perishable inventory in the temperature-controlled space of the vehicle.

CMR 935.500.105(13)(a)(14) (2019)	CMR 935.501.105(13)(a)(14) (2019)	CMR 935.500.105(13)(c)(1)(d) (2019)	CMR 935.501.105(13)(c)(1)(d) (2019)
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7. Confirm that the marijuana products are not visible from outside the vehicle.

CMR 935.500.105(13)(c)(2) (2019) CMR 935.501.105(13)(c)(2) (2019)

8. Confirm that there are no firearms in the vehicle or on either transporting agents' person.

CMR 935.500.105(13)(c)(5) (2019) CMR 935.501.105(13)(c)(5) (2019)

9. Ensure that no other products other than wholesale marijuana products to be transported are in the vehicle.

CMR 935.500.105(13)(c)(4) (2019) CMR 935.501.105(13)(c)(4) (2019)

C. Transportation Route

1. Immediately after leaving Good Feels Inc's facility, contact Good Feels Inc's agent that is assigned to monitoring the GPS unit to ensure communications and the GPS system are working correctly.

- Contact Good Feels Inc's facility when stopping and leaving any assigned location, or at least every 30 minutes.
- Immediately return to Good Feels Inc's facility if the GPS and/or communication system stop working.

CMR 935.500.105(13)(e)(5) (2019)	CMR 935.500.105(13)(e)(8) (2019)	CMR 935.501.105(13)(e)(8) (2019)	MR 935.501.105(13)(e)(5) (2019)	CMR 935.500.105(13)(e)(6) (2019)	CMR 935.501.105(13)(e)(6) (2019)	CMR 935.500.105(13)(e)(7) (2019)	CMR 935.501.105(13)(e)(7) (2019)
--	--	--	---------------------------------------	--	--	--	--

2. Do not alter the manifest in any way once the shipment leaves the premises.

[Best Practice](#)

3. Only travel from Good Feels Inc's facility to destination licensed facilities, along randomized routes and during

randomized times.

CMR
935.500.105(13)(a)(12)
(2019)

CMR
935.501.105(13)(a)(12)
(2019)

CMR
935.500.105(13)(a)(1)
(2019)

CMR
935.501.105(13)(a)(1)
(2019)

4. Only travel within the Commonwealth of Massachusetts.

CMR 935.500.105(13)(a)(13) (2019)

CMR 935.501.105(13)(a)(13) (2019)

5. Do not engage in any activities outside of transporting inventory except for fuel, vehicle repair, medical issues, or because the continued route is unsafe, impossible, or impracticable.

CMR 935.500.105(13)(a)(1)
(2019)

CMR 935.501.105(13)(a)(1)
(2019)

CMR 935.500.105(13)(a)(2)
(2019)

CMR 935.501.105(13)(a)(2)
(2019)

6. Document emergency stops in Good Feels Inc's Transport Log. Include the following information about the emergency stop in the Transport Log:

- Reason;
- Duration;
- Location; and
- Activities of Good Feels Inc staff that exit the vehicle.

CMR 935.500.105(13)(a)(11) (2019)

CMR 935.501.105(13)(a)(11) (2019)

7. Notify the Commission and local law enforcement authorities within 24 hours of any vehicular accident, marijuana loss or diversion, or any other reportable incident that occurs during transport. Please see Good Feels Inc's Incident Reporting SOP for more information on this process.

CMR 935.500.105(13)(b)(2) (2019)

CMR 935.501.105(13)(b)(2) (2019)

8. Allow the following individuals access to Good Feels Inc's vehicle:

- Commission representatives or Delegates;
- Law enforcement;
- Local public health inspection agents;
- Inspection service agents;
- Representatives of other Massachusetts state agencies;
- Emergency responders who are performing their duties; and
- Any other permit-granting agents acting within lawful jurisdiction.

CMR
935.500.105(14)(a)(1)
(2019)

CMR
935.500.105(14)(a)(2)
(2019)

CMR
935.500.105(14)(b)
(2019)

CMR
935.501.105(14)(a)(1)
(2019)

CMR
935.501.105(14)(a)(2)
(2019)

CMR
935.501.105(14)(b)
(2019)

CMR
935.500.105(14)(a)(3)
(2019)

CMR
935.501.105(14)(a)(3)
(2019)

D. Arrival to the Destination License

1. Commence with the receiving procedures required by the receiving facility. Park as close to the receiving door at the destination licensed premises as possible.

[Best Practice](#)

2. Make sure the other delivery team member you are with stays in the vehicle at all times that the vehicle contains marijuana or marijuana products.

CMR 935.500.105(13)(a)(6) (2019) CMR 935.501.105(13)(a)(6) (2019)

3. Provide identifying documents (current driver's license, agent registration card, and Good Feels Inc-issued identification documents, all with matching information) and the shipping manifest to the receiving team.

CMR 935.500.105(13)(f)(1) (2019) CMR 935.501.105(13)(f)(1) (2019)

4. Standby while the receiving team member compares the physical manifest with the manifest sent to them via facsimile or email.

CMR 935.500.105(13)(f)(3) (2019) CMR 935.501.105(13)(f)(3) (2019)

5. If any marijuana product is undeliverable or refused:
 - Replace all marijuana products back into their shipping container.
 - Seal the shipping containers with tamper-evident tape; and
 - Contact Good Feels Inc's Inventory Manager to inform them of the refusal.
 - Transport the refused or undeliverable products back to Good Feels Inc's facility.

CMR 935.500.105(13)(a)(5) (2019) CMR 935.501.105(13)(a)(5) (2019)

6. Once all documents, including the shipping manifest, are verified, unload the product shipment, following reasonable directions from the receiving team on unpackaging the shipment in a secure area within the view of a functioning surveillance system.

[Best Practice](#)

7. Stand by while the receiving team member:
 - Conducts a physical audit of the products against the transport manifest to confirm the accuracy of the shipment;
 - Inspects for packaging and labeling for compliance; and
 - Ensures goods are undamaged, unexpired, and otherwise satisfactory.

[Best Practice](#)

8. Request the dated signature of the dispensing facility employee or laboratory employee responsible for receiving the shipment on Good Feels Inc's copy of the shipping manifest.

CMR 935.500.105(13)(f)(3)(h) (2019) CMR 935.501.105(13)(f)(3)(h) (2019)

9. Maintain the signed and dated copy of the shipping manifest to be filed at the originating facility for Good Feels Inc's records.

[Best Practice](#)

10. When applicable, continue to the next identified stop on the route plan and repeat this process.

[Best Practice](#)

E. Recordkeeping Requirements

1. Maintain the following transport records for at least two years after the closure of Good Feels Inc, and make them available to the Commission upon request:
- Transport manifests;

◦ Transport vehicle insurance and registration;

◦ Commission approval for the transport vehicle’s alarm system;

◦ Transport Communication Logs; and

◦ Contracts with Third-Party Transporters, if applicable. **Note:** Manifests are required to be maintained for one year, but it is a best business practice to maintain all records for the longest time frame given by the Commission.

CMR 935.500.105(9)(g) (2019)	CMR 935.501.105(9)(g) (2019)	CMR 935.500.105(9)(c) (2019)	CMR 935.501.105(9)(c) (2019)	CMR 935.500.105(9)(e)(4) (2019)	CMR 935.501.105(9)(e)(4) (2019)	CMR 935.500.105(13)(c)(1)(c) (2019)	CMR 935.501.105(13)(c)(1)(c) (2019)	CMR 935.500.105(13)(c)(1)(b) (2019)	CMR 935.501.105(13)(c)(1)(b) (2019)	CMR 935.500.105(13)(f)(5) (2019)	CMR 935.501.105(13)(f)(5) (2019)
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FUSS & O'NEILL

December 21, 2020

Town of Medway Planning &
Economic Development Board
155 Village Street
Medway, MA 02053

Re: Odor Control Exhibit Supplemental to Special Use Permit Application
Property Address: 23 Jayar Road, Medway, MA 02053
Applicant: Good Feels, Inc.

Dear Members of the Planning and Economic Development Board:

As an exhibit to the Good Feels, Inc. Special Use Permit Application, Fuss & O'Neill, Inc. is providing this letter to verify that we have reviewed our client's architectural plans for the proposed facility at 23 Jayar Road along with State Licensed wholesale supplier statements related to the sourcing and procurement of odorless THC distillate. This product will be used as the base cannabinoid ingredient for Good Feels, Inc.'s cannabis edibles manufacturing business.

Per the Town of Medway's Zoning Bylaw 8.9 (Registered Medical Marijuana Facilities) the Town outlines an odor mitigation system requirement under Section J (Special Use Permit Requirements), Article 4, Subsection J as noted:

"A comprehensive odor control, abatement and mitigation plan prepared by a certified environmental engineer or certificated environmental professional with demonstrated experience in the area of marijuana odor mitigation."

As a statement of qualification, Fuss & O'Neill has been providing professional services and engineering consulting services as experts in the design, construction and compliance of Registered Medical Marijuana facilities in Massachusetts for the last five years. We have provided deliverables for applicants in local municipal permitting efforts, Department of Public Health compliance efforts, Cannabis Control Commission documentation and on-call auditing services of the State's Licensed Laboratories for the Department of Public Health.

THC distillate is a botanically extracted product that is reduced to a molecular level to only include a refined cannabinoid (THC and THC-A) as the basis of the active ingredient in the resulting manufactured product that Good Feels, Inc. intends to produce. Prior to delivery to the Good Feels, Inc. facility, this product is stripped of all plant based components that produce an identifiable cannabis odor.

1550 Main Street
Suite 400
Springfield, MA
01103
t 413.452.0445
800.286.2469
f 413.846.0497
www.fando.com

California

Connecticut

Maine

Massachusetts

New Hampshire

Rhode Island

Vermont



FUSS & O'NEILL

Town of Medway Planning &
Economic Development Board
December 21, 2020
Page 2

Based on our review of the plans and statements provided by Good Feels, Inc. and its distillate suppliers, an odor mitigation system, related to the edibles manufacturing process using THC distillate as described above, would be unnecessary due to the absence of the components that would produce an offensive cannabis odor.

Please find the attached statements provided to us from well known Registered Medical Marijuana producers and manufacturers as a supplement to this letter. We would respectfully recommend that the applicant be provided a waiver for this requirement in their application. We are happy to discuss this matter and this technical requirement in further detail with the Planning & Economic Development Board at their convenience.

Sincerely,

Timothy J. St. Germain, P.E.
Senior Vice President



Attachments: Wholesale supplier statements
Architectural Sheet

12/21/2020

Attachment

Wholesale supplier statements

Kurt Smith

From: Jason Reposa <jason@getgoodfeels.com>
Sent: Friday, December 18, 2020 6:44 PM
To: Kurt Smith
Subject: [External] Fwd: Distilled cannabinoids

----- Forwarded message -----

From: **Sean Harrison** <sharrison@commonwealthaltcare.org>
Date: Fri, Dec 18, 2020 at 6:43 PM
Subject: Distilled cannabinoids
To: <jason@getgoodfeels.com>

Hi Jason,

We are looking forward to working with you. As discussed the distillate we offer for wholesale has gone through a chemical manufacturing and refinement process in which the end result is void of any of the original plant based terpenes and or flavonoids. The terpenes are what predominantly give the cannabis plant its distinct smell and essence. These are highly volatile compounds, secondary metabolites, which are fractionated off during the extraction and refinement process. Once the remaining oleoresins are concentrated, they go through additional refinement before being put through the molecular pot distillation process. This process distills off and purifies the molecular compounds we are targeting, the cannabinoids. Again the final product is completely void of any distinct scent commonly attributed to cannabis. What is left is commonly referenced as having a very faint "burnt popcorn" smell if anything.

Feel free to reach out for any additional information.

Best,

--

COMMONWEALTH ALTERNATIVE CARE
Sean Harrison

Processing Director
sharrison@commonwealthaltcare.org
commonwealthaltcare.org | 847.341.5983
[Press](#) | [Instagram](#) | [Facebook](#)

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Jason Reposa <jason@reposa.name>

Wholesale Distillate

Gene Ray <gener@gardenremedies.com>

Mon, Dec 7, 2020 at 2:29 PM

To: Jason Reposa <jason@getgoodfeels.com>

Cc: Celena Vello <cvello@gardenremedies.com>, Jimmy Wagner <jwagner@gardenremedies.com>

Hi Jason,

Our distillate is stripped of its essential oil (or terpenes) that give it signature “weed” smell. Our bulk flower goes through a multistep process before it is finally refined into distillate. Therefore all of the of remaining plant compounds are out of the final product. The final product of distillate typically has a potency around +85% THC, which is then utilized to make our infused items. Our infused items, or edibles, heavily rely on distillate due to its non-existing taste of “weed”.

Hope this helps.

Best,

Gene Ray

VP of Laboratory Operations

Garden Remedies

gener@gardenremedies.com

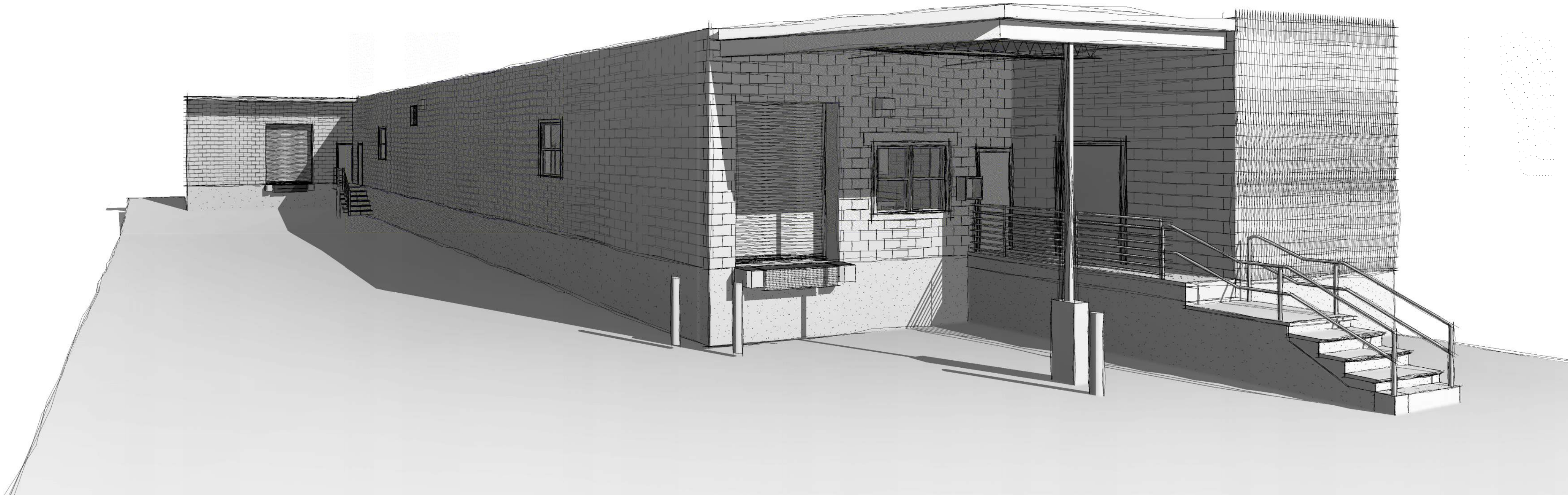
(844) 344-2420



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Attachment

Architectural Sheet



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Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.



project number 302 drawing number A000 revision 2 10/23/2020

Index of Drawings

SHEET LIST	
Sheet Number	Sheet Name
A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A010	MEANS OF EGRESS PLAN
A030	EXISTING FLOOR PLAN & REFLECTED CEILING
A031	EXISTING ELEVATIONS
A040	DEMOLITION PLAN
A110	FLOOR PLAN & FINISH PLAN
A111	EQUIPMENT PLAN
A120	REFLECTED CEILING & SWITCHING PLAN
A200	EXTERIOR ELEVATIONS
A600	INTERNAL ELEVATIONS
A601	INTERNAL ELEVATIONS
S0000	COVER SHEET SECURITY
S0001	SECURITY PLAN DRAWING

PROJECT ROSTER

CLIENT	ARCHITECTURE	CONTRACTOR	BUILDING OWNER
Jason Reposa CEO Good Feels Inc. 1 Shady Lane Medway, MA 02053 (617) 201-6025 jason@getgoodfeels.com	Alex Siekierski Project Manager Joe The Architect, LLC 343 Medford Street, 4C Somerville, MA 02145 Phone: 617-764-3593 alex@joethearchitect.com	Adam Amontea Principal Cafco Construction Management 77 Charles Street South Boston MA 02116 Phone: 617-426-7600 aamontea@cafcoconstruction.com	Reardon Properties 89 Main Street Suite 105 PO Box 98 Medway, MA 02053 reardonproperties89@gmail.com

For Permit

PROJECT NAME:
Good Feels Inc. Medway Suite 6

PROJECT ADDRESS:
23 Jayar Road, Medway, MA 02053

PROJECT NO: 302
11/6/2020 1:00:08 PM

ISSUE DATE: 10/23/2020

CLIENT NAME:
Good Feels Inc.

CLIENT ADDRESS:
23 Jayar Road, Medway, MA 02053

JOE THE ARCHITECT
343 Medford Street, Suite 4C,
Somerville, MA 02145
t: +1(617) 764-3593
e: info@joethearchitect.com
www.joethearchitect.com

J t A

good feels™



EXISTING NORTH-WEST CORNER



EXISTING NORTH-WEST CORNER



EXISTING SOUTH-WEST CORNER



EXISTING TENANT SPACE (TOWARD EAST)



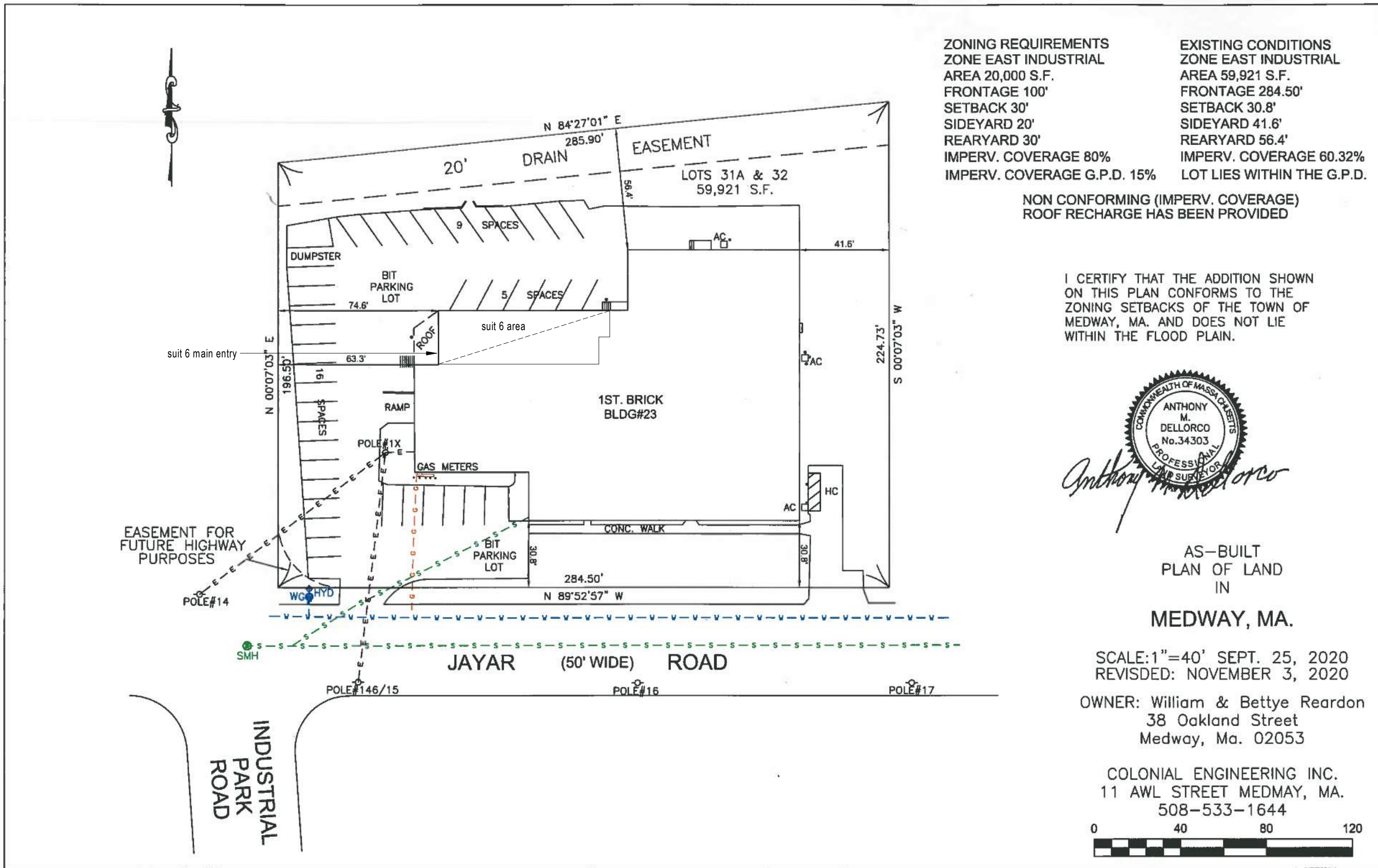
EXISTING TENANT SPACE (TOWARD WEST)

PRIMARY ENTRANCE
LOADING DOCK DOOR

SECOND MEANS OF EGRESS

TENANT AREA AROUND CORNER

LOADING DOCK DOOR
PRIMARY ENTRANCE



LOCUS MAP



23 JAYAR ROAD, MEDWAY, MA

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts state building code 780 CMR 9th edition/ international building code			
		Existing	Proposed
Use Group (780 CMR Section 304)	F-2 Factory Industrial	F-2 Factory Industrial	
Type of construction (780 CMR Section 602)	IIB	IIB	
Number of stories	1	1	
Fire Protection	NS - Not Sprinklered		
Building Element (780 CMR Section 601)		Fire Resistance Rating	
primary structural frame		0	
bearing walls		0	
exterior walls		0	
interior walls		0	
non bearing walls and interior		0	
floor construction and secondary members		0	
roof construction and secondary members		0	

OCCUPANT LOAD ANALYSIS (780 CMR CH 10)

Area Analysis		Gross Areas		Net (Usable) Areas	
First Floor	18185	GSF	Tenant Suite 6	1695	Net
Total Building Area	18185	GSF	Total Building Area	18185	Net
Floor	Function of Space (Use) Table 1004.1.2	Occupant Load Factor		Area (SF)	Occupancy
1	F-2 Low-hazard Factory Industrial	100	Gross	1695	16 allowable
Total Occupant Load				16	

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Property Class	E1 - East Industrial							
Map/Lot	24-014							
Neighborhood	East Industrial							
Zoning Ordinance	Medway Zoning & Bylaw Map including amendments November 18, 2019							
Use & Lot	Zoning Data		Required		Existing		Proposed	
	Use		Industrial					
	Lot Area		20000	sf	59920	units	59920	units
	Impervious Coverage		80	%	63	%	63	%
	Gross Floor Area Footprints				18185	gsf	18185	gsf
	Front Yard Setback		30	ft	30.8	ft	30.8	ft
	Rear Yard Setback		30	ft	56.4	ft	56.4	ft
	Side Yard Setback (left)		20	ft	63.3	ft	63.3	ft
Building Setbacks	Side Yard Setback (right)		20	ft	41.6	ft	41.6	ft
	Street Frontage		100	ft	284.50	ft	284.50	ft
	# of Parking Spaces				37		37	
	# of Loading Spaces				3		3	
Parking Analysis								

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition
Residential	International Residential Code 2015 (IRC 2015)
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	302
Project Title	Good Feels Inc. Medway Suite 6
Project Address	23 Jayar Road, Medway, MA 02053
Client Name	Good Feels Inc.
Client Address	23 Jayar Road, Medway, MA 02053

PROJECT DESCRIPTION

Client if building out roughly 1600sf for the processing and bottling of liquid based THC. The existing egress hallway and life safety devices will remain in place. The scope of work includes a secured storage space, processing area, open office, secure reception/greeting area, shipping and receiving, open storage and utility closet. All processing odors and noise will be contained within the building envelope.

WARNING: Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scale Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards. © 2020 - all rights reserved.

consultant / contractor information:

stamp



revision

2

revision description

FOR PERMIT

date

10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. good feels™

23 Jayar Road, Medway, MA 02053

J t A

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343 Medford Street, Suite 40 Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
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For Permit

drawing title
SITE CONTEXT AND
CODE ANALYSIS

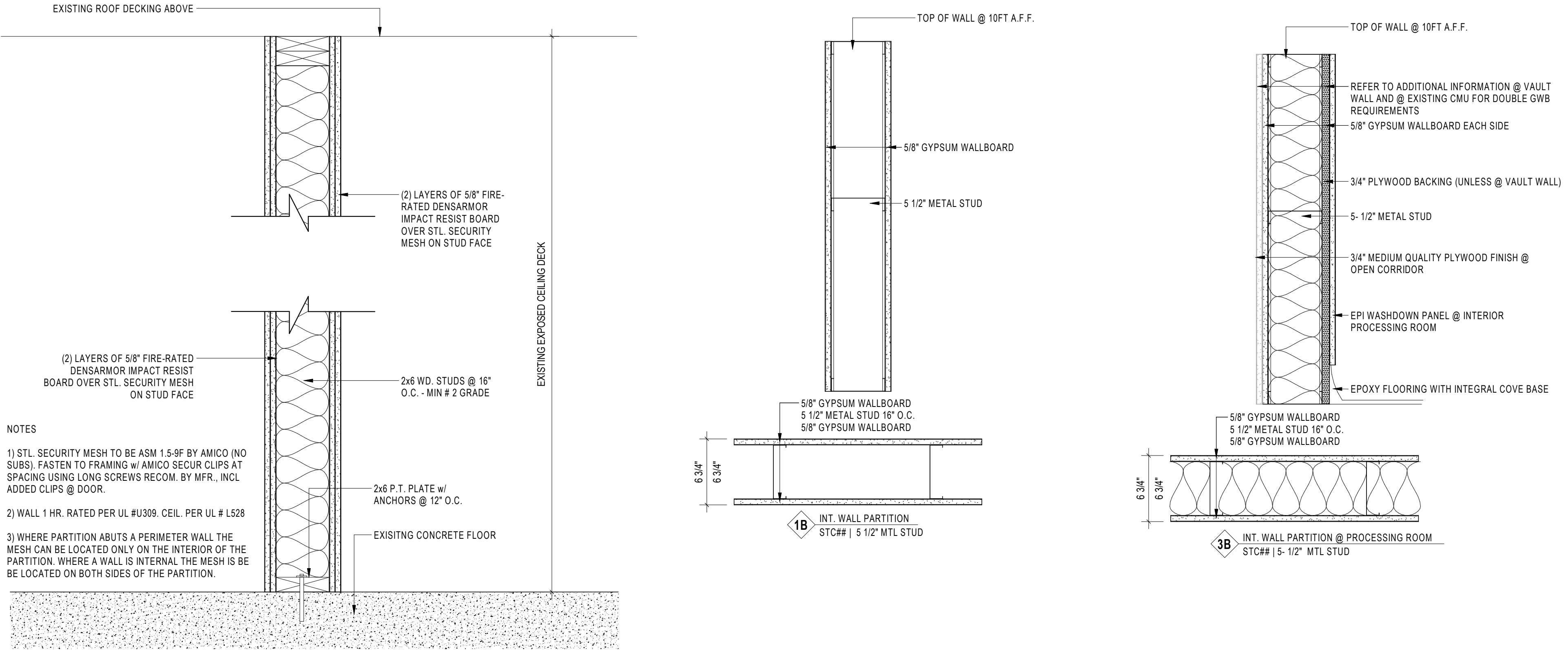
project number
302

drawing scale
As indicated

approver
Approver

revision
2

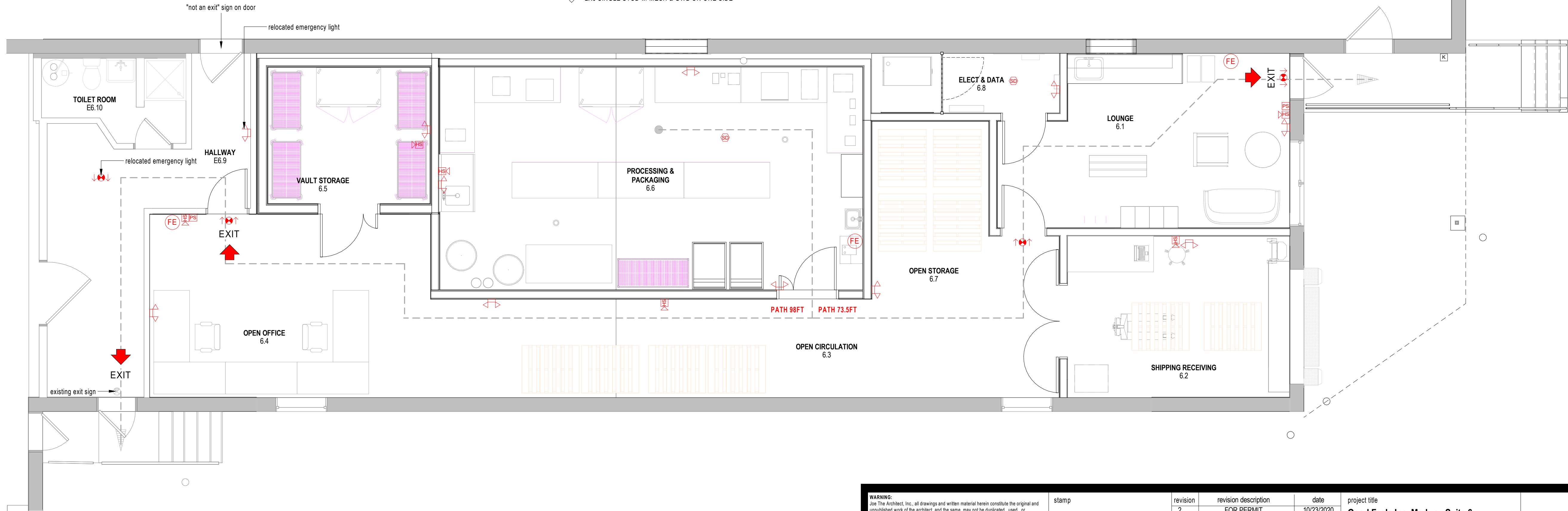
A001



NOTES

- STL SECURITY MESH TO BE ASM 1.5-9F BY AMICO (NO SUBS). FASTEN TO FRAMING w/ AMICO SECUR CLIPS AT SPACING USING LONG SCREWS RECOM. BY MFR. INCL ADDED CLIPS @ DOOR.
- WALL 1 HR. RATED PER UL #U309. CEIL. PER UL # L528
- WHERE PARTITION ABUTS A PERIMETER WALL THE MESH CAN BE LOCATED ONLY ON THE INTERIOR OF THE PARTITION. WHERE A WALL IS INTERNAL THE MESH IS BE LOCATED ON BOTH SIDES OF THE PARTITION.

- 7 3/4"
- 7 3/4"
- 2A INT. WALL PARTITION
2X6 SINGLE STUD w/ MESH ON INTERIOR ONLY
- 2B INT. WALL PARTITION
2X6 SINGLE STUD w/ MESH ON BOTH SIDES
- 2C INT. WALL PARTITION
2X6 SINGLE STUD w/ MESH & GWB ON ONE SIDE



1
A010

PROPOSED EGRESS PLAN
1/4" = 1'-0"

GENERAL NOTES AND LEGENDS
LIFE SAFETY

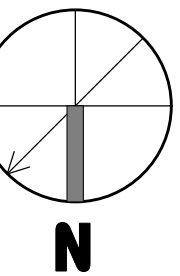
- FSI sprinkler | standard; concealed upright
- FACP fire alarm pull station
- RFAP fire alarm control panel
- FEC fire alarm remote panel
- FE fire extinguisher cabinet
- FSH fire extinguisher wall hung
- FSH fire alarm horn & strobe
- SD photoelectric smoke detector
- CM carbon monoxide detector
- SC smoke / carbon monoxide detector
- EL emergency lighting; battery pack
- EXIT exit signage with direction indicator
- building exit arrow indicator
- egress path of travel indicator
- egress exit triangle indicator
- egress exit triangle indicator; horizontal exit
- egress exit triangle indicator; exit discharge
- door mark indicator number

GENERAL NOTES AND LEGENDS
EGRESS NOTES

- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
- the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect, LLC.
- refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
- refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
- refer to plumbing drawings if applicable for all plumbing fixture counts.
- refer to structural drawings if applicable for all structural loads.

ROOM SCHEDULE

Number	Room Name	Level	Area
6.1	LOUNGE	Main floor	226 SF
6.2	SHIPPING RECEIVING	Main floor	175 SF
6.3	OPEN CIRCULATION	Main floor	441 SF
6.4	OPEN OFFICE	Main floor	135 SF
6.5	VAULT STORAGE	Main floor	108 SF
6.6	PROCESSING & PACKAGING	Main floor	491 SF
6.7	OPEN STORAGE	Main floor	101 SF
6.8	ELECT & DATA	Main floor	55 SF
8			1731 SF



For Permit

drawing title
**MEANS OF EGRESS
PLAN**

project number 302	drawing scale As indicated	approver Approver
drawing number A010		revision 2

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consultant / contractor information:

stamp



revision

2

revision description

FOR PERMIT

date

10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

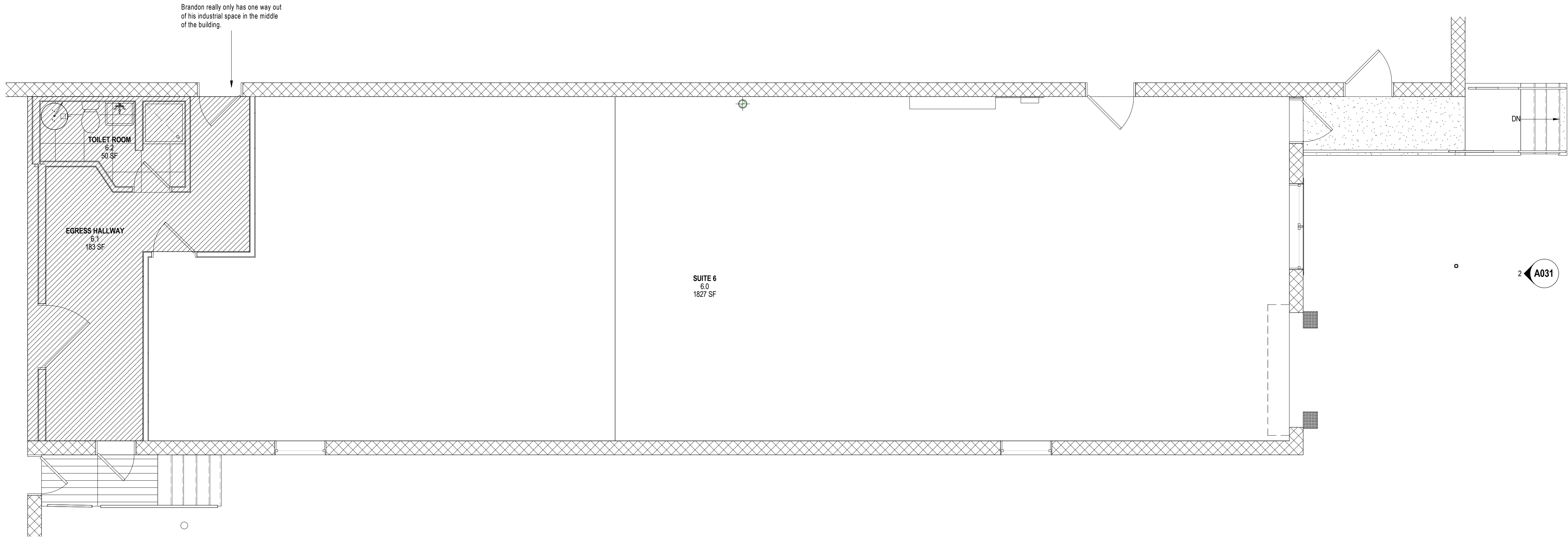
Good Feels Inc.

23 Jayar Road, Medway, MA 02053

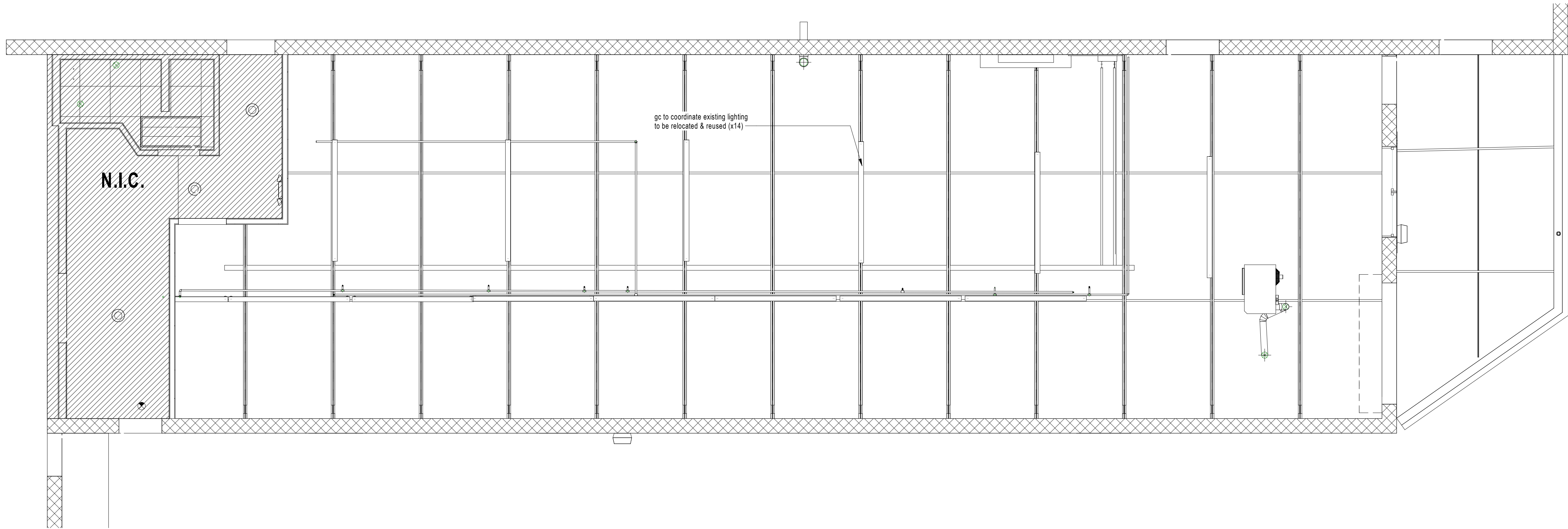
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t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

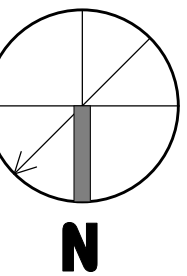


2 EXISTING FLOOR PLAN
1/4" = 1'-0"



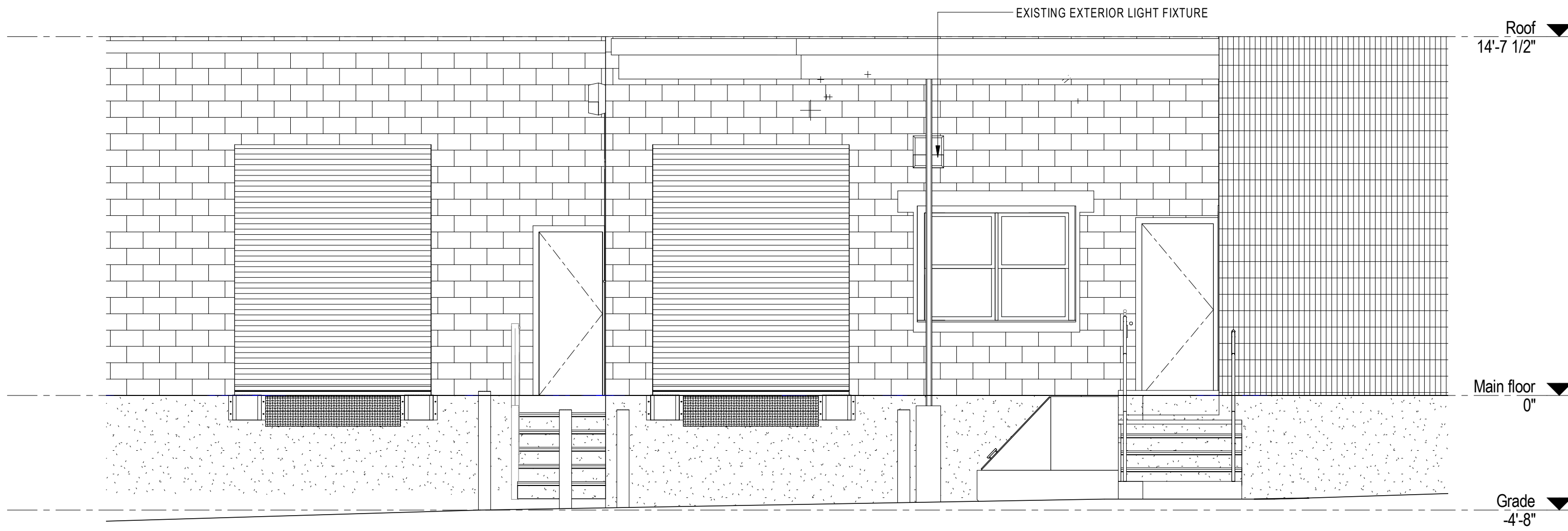
1 EXISTING REFLECTED CEILING
1/4" = 1'-0"

CONSTRUCTION LEGEND	
existing full height solid, glazed or part glazed partition to remain.	
existing full height solid, glazed or part glazed partition to be demolished	
new full height solid, glazed or part glazed partition to be demolished	
existing door to be demolished	
existing wall finish to be removed, to be read in conjunction with proposed works	
existing door to remain	
new door	
demolition hatch	
partial area demolition	
NIC - Not In Construct Hatch	

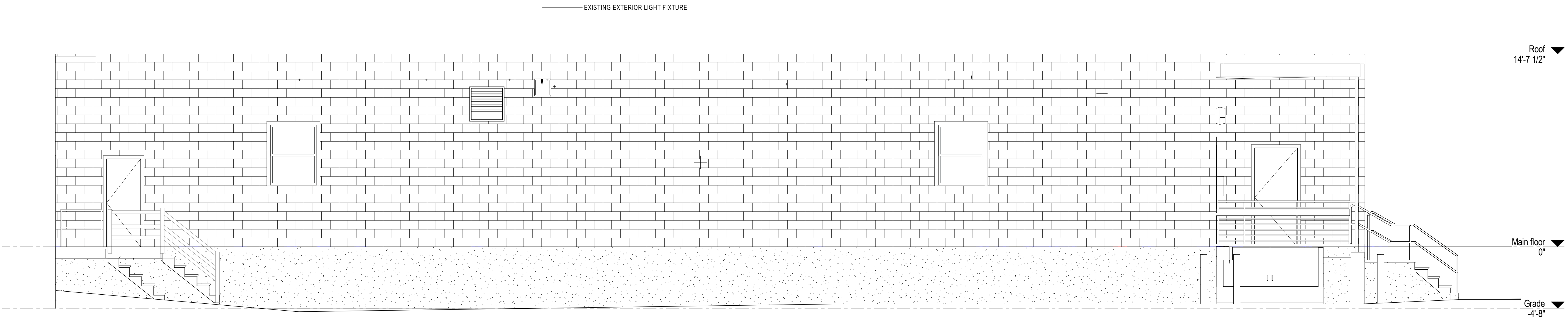


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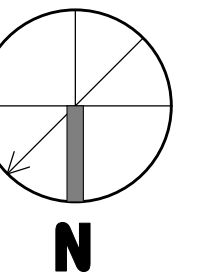
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consultant / contractor information:											drawing number A030		revision 2



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



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drawing title
EXISTING ELEVATIONS

project number 302	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A031	revision 2	

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consultant / contractor information:

stamp



revision

2

revision description

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date

10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc.

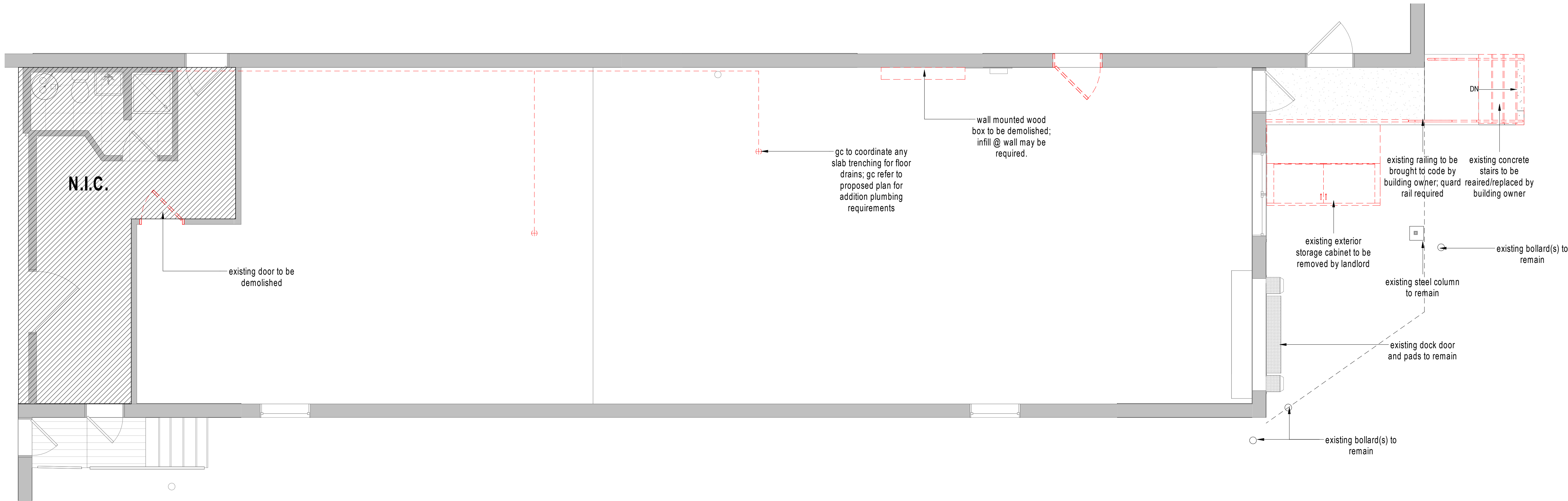
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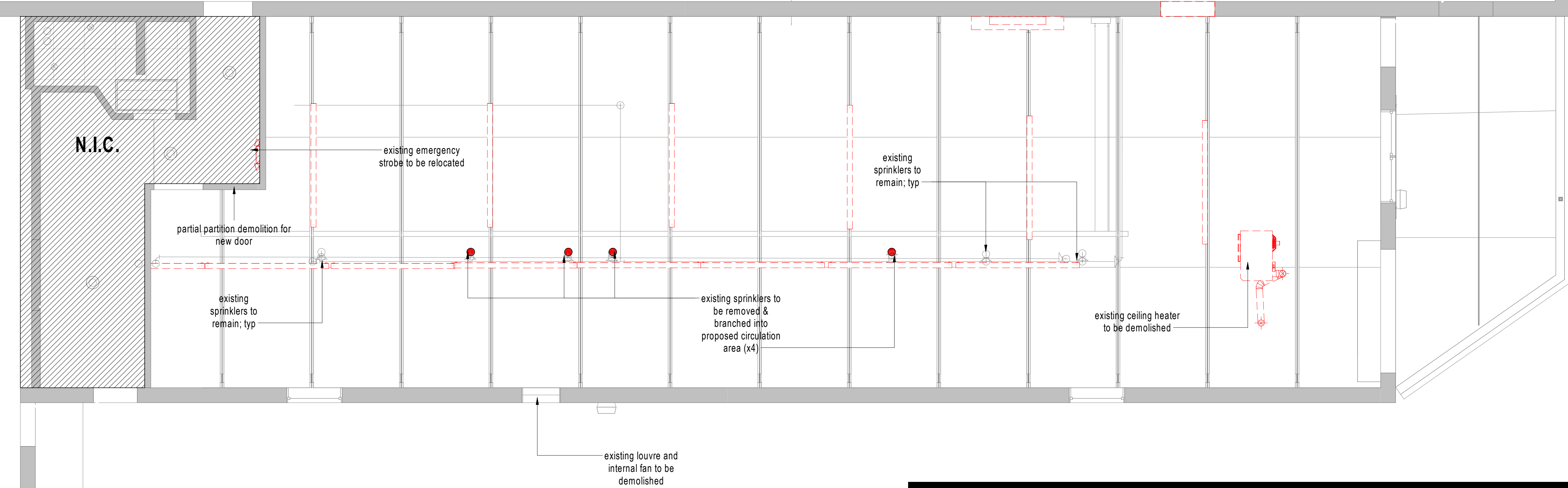
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1 DEMOLITION PLAN SUITE 6
1/4" = 1'-0"



2 1 First Floor RCP D
1/4" = 1'-0"

CONSTRUCTION LEGEND

existing full height solid, glazed or part glazed partition to remain.

existing full height solid, glazed or part glazed partition to be demolished

new full height solid, glazed or part glazed partition to be demolished

existing door to be demolished

existing wall finish to be removed, to be read in conjunction with proposed works

existing door to remain

new door

demolition hatch

partial area demolition

NIC - Not In Construct Hatch

**GENERAL NOTES AND LEGENDS
DEMOLITION**

- see general construction notes on sheet A000.
- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set. in such an event, the contractor shall contact the architect immediately.
- selectively demo walls, ceiling, and floor finishes as shown and as required for new layout and systems.
- gc to coordinate cutting of new door openings with required dims for units as shown on floor plans, elevations, and door schedule. notify architect of any conflicts.
- the contractor shall perform demo as required for wall mounted fixtures, shelving, accessories, etc, whether specifically shown or not.
- where removal of existing construction is required for performance of any work under this contract, removal & reinstallation shall be accomplished under the base contract, whether specifically shown or not, including restoration of utilities and any temporary shoring of structural components.
- protect all existing walls, doors, etc. to remain; the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes.
- see electrical, mechanical, plumbing, fire protection drawings and specifications for relevant info and coordination for systems work. cut penetrations for mep/tp, security and data systems, through wall, through ceiling, through floor and through roof as required.
- all new sprinklers & piping shall be installed prior to demolishing the (e) system & making final connections, in order to minimize the impacts of shutdowns, drain down, system re-fill, and fire watches.
- it is the intent of the demolition scope to remove all existing items that will conflict with new work whether shown or not. all existing non-structural partitions, ceilings, casework, mep/tp items, furr-outs, finish materials, stairs, doors, windows and industrial equipment shall be removed. the contractor shall visit the site prior of the start of any work to become familiar with the existing conditions.
- refer to structural documents for additional information regarding removal and shoring of structural elements.
- refer to civil engineering and landscape architecture documents for additional information regarding removal of site related fixtures, equipment, and associated accessories.
- roofing subcontractor is responsible for removal of all roofing, including non-structural substrates, gutters, and associated flashings. removed material shall be disposed of by the general contractor.
- coordinate all demolition with hazardous material removal/abatement requirements.
- general contractor is responsible for disposal of all excess salvaged items not used in the project or requested to be returned to the owner.
- the contractor shall verify all existing conditions and review with all trades the extent of demolition required.
- the contractor shall protect all materials and equipment noted to remain. all material indicated to be salvaged or reinstalled shall be stored and protected from damage until ready to be permanently reinstalled.
- all material indicated to be removed shall be disposed of in accordance to applicable codes and laws. the owner retains the right to reclaim any existing material. such material shall be protected from damage and delivered to the owner as per owner's requirements and compliance with sustainable practices. at the end of demolition, leave the area free and clear. broom clean for the application of new work.
- the contractor shall provide protection around and over all floor openings. coordinate all new floor opening dimensions with architectural drawings.
- where floor finish removal is indicated, remove the flooring materials down to substrate.
- clean any residue from concrete surface, prep substrate to receive finish as indicated on finish schedule and per flooring manufactures recommendations.
- where ceiling removal is indicated, remove all components of existing ceiling. remove all fasteners. all materials and equipment shall be disposed of on the side of structure above. prep structure for underside of structure for new finish per architectural drawings.
- see mechanical, plumbing, fire protection, and electrical drawings for scope of mechanical, plumbing, fire protection, and electrical demolition. cut, cap, and make safe all piping, conduit, and wiring as indicated on related drawings.
- contractor to provide temporary protection for interior partitions, doors, etc. to remain. provide temporary protection for exterior walls and roof which will remain after demolition.
- provide temporary enclosure of all exterior openings created as a result of demolition until permanent enclosures are installed.
- provide temporary shoring at all demolition of new openings to install new lintel as indicated.

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revision

2

revision description

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date

10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc.

23 Jayar Road, Medway, MA 02053

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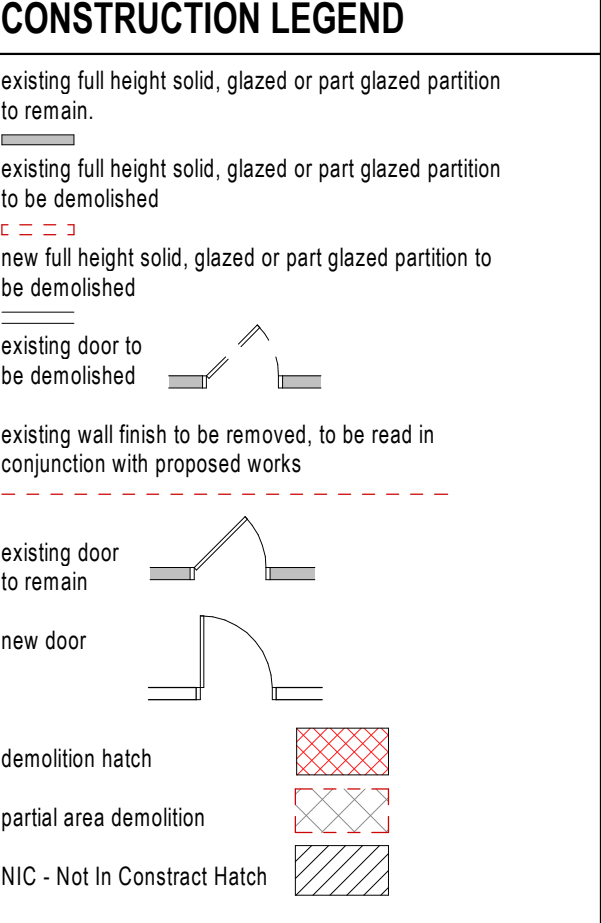
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DEMOLITION PLAN

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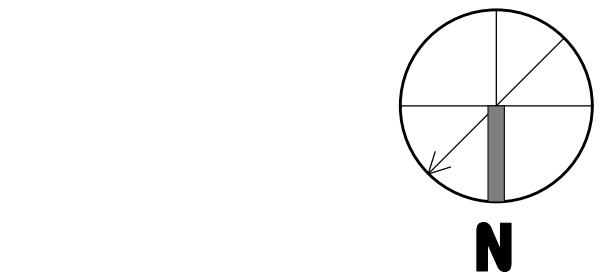
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- ## GENERAL NOTES AND LEGENDS CONSTRUCTION
1. see interior elevations for additional information on wall finish materials and typical mounting heights required.
 2. see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
 3. all locations where infill walls meet existing walls will new gwb finish materials shall align at adjacent edges unless otherwise noted.
 4. existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned on. partitions should be built and finished according to partition and finish schedule.
 5. coordinate awayward drains and floor drains.
 6. provide blocking for wall, plumbing equipment, fixtures, mill work at all require locations.
 7. all dimensions indicated with a + represent field measurements to be provided to architect and verified by contractor.
 8. see door schedule for all door sizes, doors info and details.
 9. all glass within 18" a.f.f. and within 4'-0" of a door swing shall be tempered safety glass.
 10. all partitions to be patched where existing doors/walls were removed.
 11. existing concrete floor areas to be cleaned/ground/floor patch and patched were needed.
 12. no flooring transitions are to exceed 1/2" in height.
 13. provide in-wall blocking as required.
 14. provide in-wall blocking for all future built-in casework where indicated.
 15. patch existing gwb at all locations where a partition has been removed.
 16. at all areas of mep/p equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
 17. seal air tight any penetrations made through air & vapor barriers.
 18. paint all (n) and (e) gwb & plaster finishes in work area unless noted
 19. interior dimensions are indicated to finish wall (cmu or gypsum board) materials, u.n.o.
 20. mep/p elements shown are schematic and are provided for reference, only. refer to mep/p drawings & specifications for more information.
 21. all material installation to be level & plumb.
 22. see finish plan for additional information.
 23. painting scope:
 - A. all exterior walls to be painted standard white; commercial grade paint
 - B. all existing cmu exterior partitions and exposed structure to NOT be painted.

DOOR AND FRAME SCHEDULE					
Number	Location	Door Dimensions		Hardware Type	Comments
		Width	Height		
6.1B	LOUNGE	3'-0"	7'-0"		VISION PANEL
6.1C	ELECT & DATA	3'-0"	7'-0"		LOUVRE DOOR PANEL FOR AIR FLOW
6.3A	OPEN CIRCULATION	5'-0"	6'-8"		
6.3B	OPEN CIRCULATION	4'-0"	7'-0"		
6.6A	PROCESSING & PACKAGING	4'-0"	7'-0"		
6.9A	HALLWAY	2'-9"	7'-0"		

WINDOW SCHEDULE					
TYPE MARK	SIZE		QUANTITY	MATERIAL	NOTES
	WIDTH	HEIGHT			
W1	3'-7"	4'-8"	2		GLAZING TO RECEIVE PRIVACY FILM & 3M SECURITY FILM; WHITE FILM PREFERRED OVER TINTED
W2	6'-0"	4'-6"	1		GLAZING TO RECEIVE PRIVACY FILM & 3M SECURITY FILM; WHITE FILM PREFERRED OVER TINTED



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<p>consultant / contractor information:</p>				<p>client Good Feels Inc. good feels™</p>	<p>JOE THE ARCHITECT 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com</p>
				<p>23 Jayar Road, Medway, MA 02053</p>	

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EQUIPMENT SCHEDULE		
Type Mark	Description	Count
EE1	MANUAL TRANSFER SWITCH	1
EE2	POWERWALL BATTERY STORAGE	1
EE3	PORTABLE GENERATOR	1
EE5	DATA SERVER CABINET	1
EP1	COMMERCIAL HANDSINK	1
EP2	COMMERCIAL DISHWASHER	1
EP3	OVERMOUNT SINK	1
EP4	30x48 SS WORK TABLE & SINK	1
EP5	PROCESSING ROOM FLOOR DRAIN	2
EP6	TABLE TOP LABELER	1
EQ1	STAINLESS STEEL WORKTABLE (VERIFY BACKSPLASH)	5
EQ2	STAINLESS STEEL WORKTABLE (NO BACKSPLASH)	3
EQ3	NTEP CERTIFIED SCALE	1
EQ4	MAGNETIC STIRRER	2
EQ5	TABLE TOP LABELER	1
EQ6	PERISTALTIC PUMP	1
EQ8	STAINLESS STEEL SHELF; WALL MOUNTED	5
EQ9	DISHWASHER	1
EQ10	PROCESS LIQUID VESSEL	1
EQ11	PIEZOELECTRIC TRANSDUCER	1
EQ12	ULTRASONIC GENERATOR	1
EQ14	TABLE TOP BOTTLE FILLER	1
EQ15	COMMERCIAL REACH-IN REFRIGERATOR	2
EQ16	CHEMICAL STORAGE CABINET	1
EQ17	MICRO BOTTLING MACHINE	1
EQ18	STAINLESS STEEL WORKTABLE (NO SHELF BELOW)	1
EQ19	LARGE WASTE/RECYCLING BINS, SECURED/LOCKED	2
EQ20	STAINLESS STEEL SHELF W/ HOOKS; WALL MOUNTED	1
EQ21	20LB CO2 TANK	2
EQ22	SINK PEDAL VALVE (HANDS FREE ACTIVATION)	2
EQ23	35.7 GALLON BRUTE TANK	2
EQ24	WATER RO SYSTEM	1
ES1	5 TIER METRO SHELVING RACK	1
ES2	EYE WASH STATION; WALL MOUNTED	1
ES5	EMPLOYEE/GUEST LOCKER; METAL	4
ES6	STANDARD SIZE WOOD PALLET	10
ES7	METAL DOUBLE DOOR STORAGE CABINET	1
ES8	HAND TRUCK/DOLLIE	1
ES9	PALLET JACK	1
ES10	SOAP DISPENSER; WALL MOUNTED	3
ES11	PAPER TOWEL DISPENSER; WALL MOUNTED	3
ES12	SANITARY LIQUID DISPENSER; WALL MOUNTED	1
ES13	SMALL WASTE/RECYCLING BINS	2
ES14	LOUNGE UNDERCOUNTER REFRIGERATOR	1
ES15	Mobile Shelving Unit, Polymer/Wire, 5-Tier	4
Grand total: 82		

GENERAL NOTES AND LEGENDS CONSTRUCTION

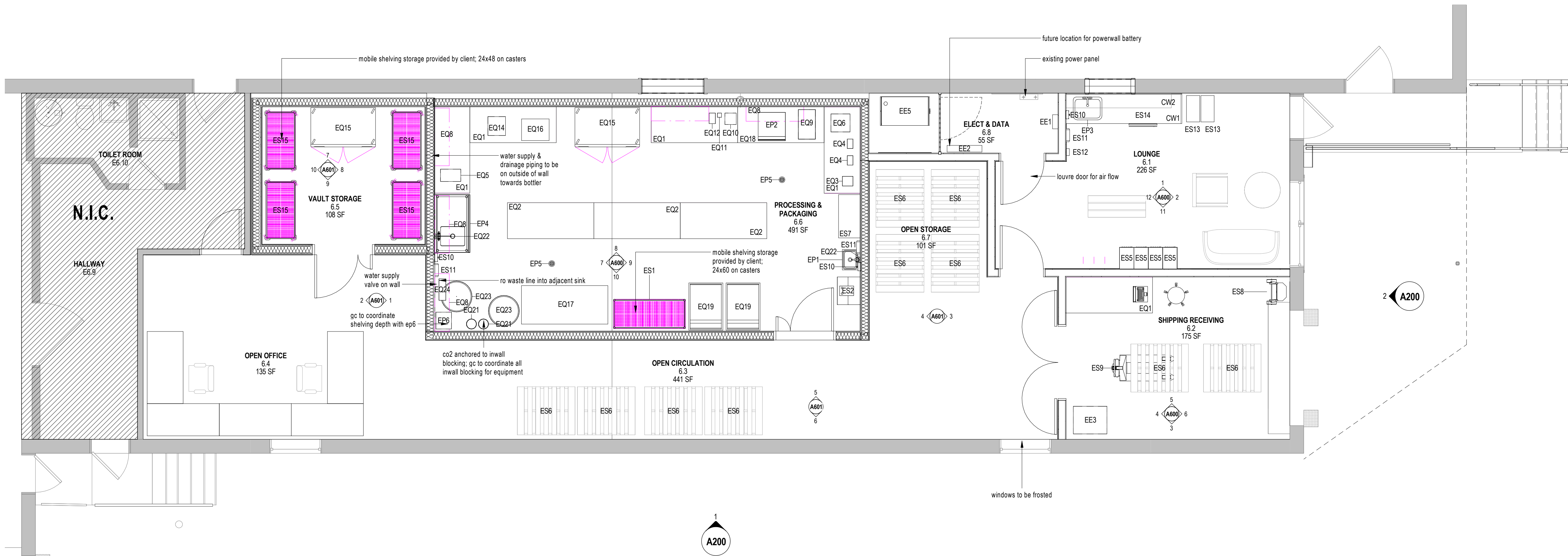
- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule.
- coordinate areaway drains and floor drains.
- provide blocking for wall hung equipment, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a \pm represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing doors/walls were removed.
- existing concrete floor areas to be cleaned/ground flush and patched were needed.
- no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of mep/lp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted.
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
- mep/lp elements shown are schematic and are provided for reference. only refer to mep/lp drawings & specifications for more information.
- all material installation to be level & plumb.
- see finish plan for additional information.
- painting scope:
 - all interior walls to be painted standard white; commercial grade paint
 - all existing cmu exterior partitions and exposed structure to NOT be painted.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

EQUIPMENT DESIGNATIONS

EE - EQUIPMENT ELECTRICAL
EP - EQUIPMENT PLUMBING
ES - EQUIPMENT SPECIALTIES
EQ - GENERAL/LAB EQUIPMENT
CW - CASEWORK



1
A111
PROPOSED FLOOR PLAN
1/4" = 1'-0"

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10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

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drawing title
EQUIPMENT PLAN

project number

302

drawing scale

As indicated

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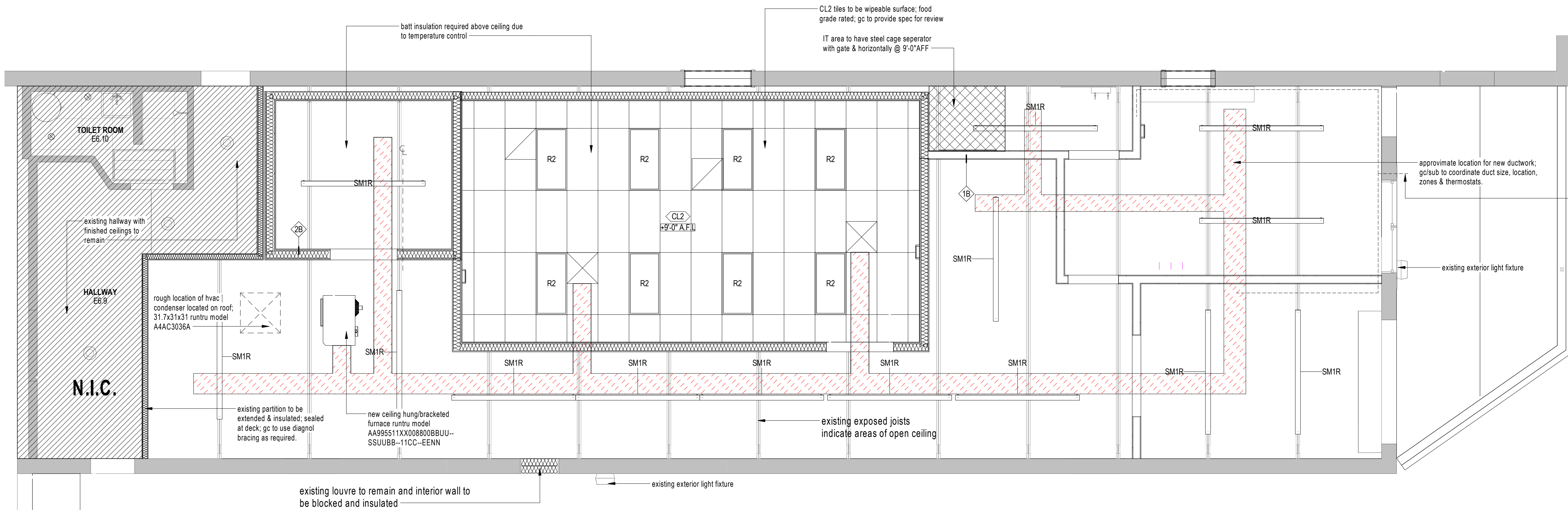
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1 PROPOSED CEILING PLAN
1/4" = 1'-0"

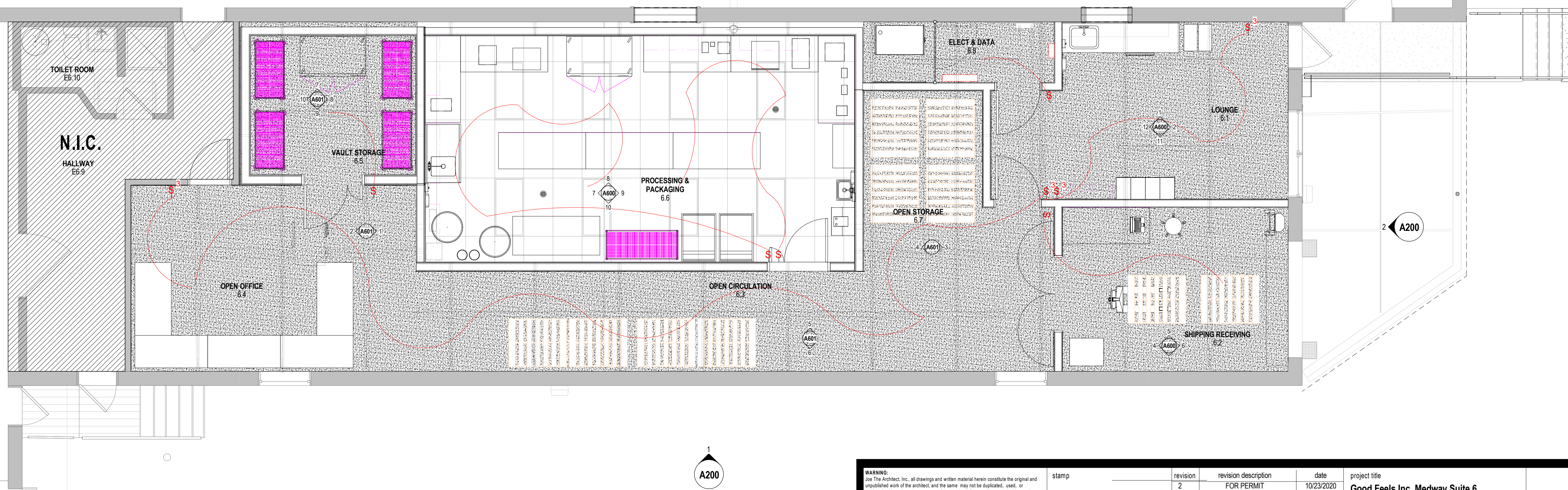
LIGHTING SCHEDULE												
Type Mark	Count	Description	Manufacturer	Model	Dimensions	Lamp	Watts	Control	Cost	Remarks	Location	Mounting
R2	8		TBD									RECESSED
SM1R	14	RELOCATED FIXTURES										SURFACE MOUNTED

REFLECTED CEILING SYMBOLS

- return register; size varies
- supply register; size varies
- occupancy; motion sensor
- sprinkler | standard/concealed/upright
- emergency lighting; battery pack
- exit signage with direction indicator
- ceiling mounted recessed fixture; see schedule for size, lens style; light direction
- round recessed/surface mounted downlight and wall washer
- linear surface mounted light fixture
- not in contract hatch
- ACT1 - acoustic ceiling tile; washable
- GWB - gypsum ceiling

- GENERAL NOTES AND LEGENDS**
- POWER NOTES**
- refer to general demolition notes for additional requirements.
 - receptacles, switches and devices shall be installed at mounting heights and locations as indicated per code. contractor shall refer to the architectural drawings for additional information.
 - exact circuit numbers shall be determined in field and shall be noted on the contractors as-built drawings.
 - coordinate exact location of all mechanical equipment with hvac, plumbing and fire protection shop drawings.
 - conducts and light fixture chains will be mask off and protect from being painted over.
 - gc to protect all cat 5e and any other power device wires close to ceiling prior to painting.
 - contractor to coordinate with electrical subcontractor all additional power requirements based on client provided equipment specifications and security consultant specifications.
 - all lighting to be on dimmable switches.

- REFLECTED CEILING NOTES**
- see general construction notes on sheet a000.
 - field verify all existing ceiling conditions including dimensions, structure, utility lines, etc. discrepancies with the drawings shall be reported to the architect.
 - dimensions:
 - dimensions noted as "crl." mean clear dimension to face of finish.
 - all horizontal dims. are shown on plans and vertical dims.
 - all ceiling elevations noted on the rcp are from finish floor elevation unless noted.
 - the contractor shall protect all ceiling materials and equipment's noted to remain.
 - see mechanical, electrical and fire protection drawings for all light fixture types, exit signs, sprinkler head locations, and air registers. see architectural drawings for final location of all light fixture and ceiling equipments.
 - all sprinkler heads to align with lighting, door openings, windows, and should be centered on ceiling tiles. contractor shall be responsible for sprinkler coordination.
 - all exposed duct work, pipes, conduit, etc. to be primed and painted.
 - underside of existing and new concrete deck, & all existing exposed concrete encased steel beams to be primed, and painted.
 - all ceiling tiles to be 2' x 2' uno and all ceiling tile grids to be centered in room, uno
 - where no ceiling material is indicated, finish is to be underside of exposed slab and beams, cleaned, primed, and painted.
 - center a.c.t. in room in both directions u.o.n. no a.c.t. shall be no less than half a tile.
 - cut a.c.t. as req'd to center hvac registers/diffusers when smaller than a.c.t.
 - where (e) plaster or gypboard clgs are to be infilled or patched, patch such that the joint is smooth, flush and invisible when completed.
 - align ceiling devices including smoke detectors, sprinkler heads, etc. with ceiling mounted lighting fixtures and center between elements or within grid in both directions as shown, u.o.n.
 - paint all (n) + (e) gwb & plaster finishes in the ceiling area.
 - align fire alarm, and all other electric devices, w/lighting as shown.
 - see sheet axxx for partition types.



2 1 First Floor Electrical
1/4" = 1'-0"

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23 Jayar Road, Medway, MA 02053

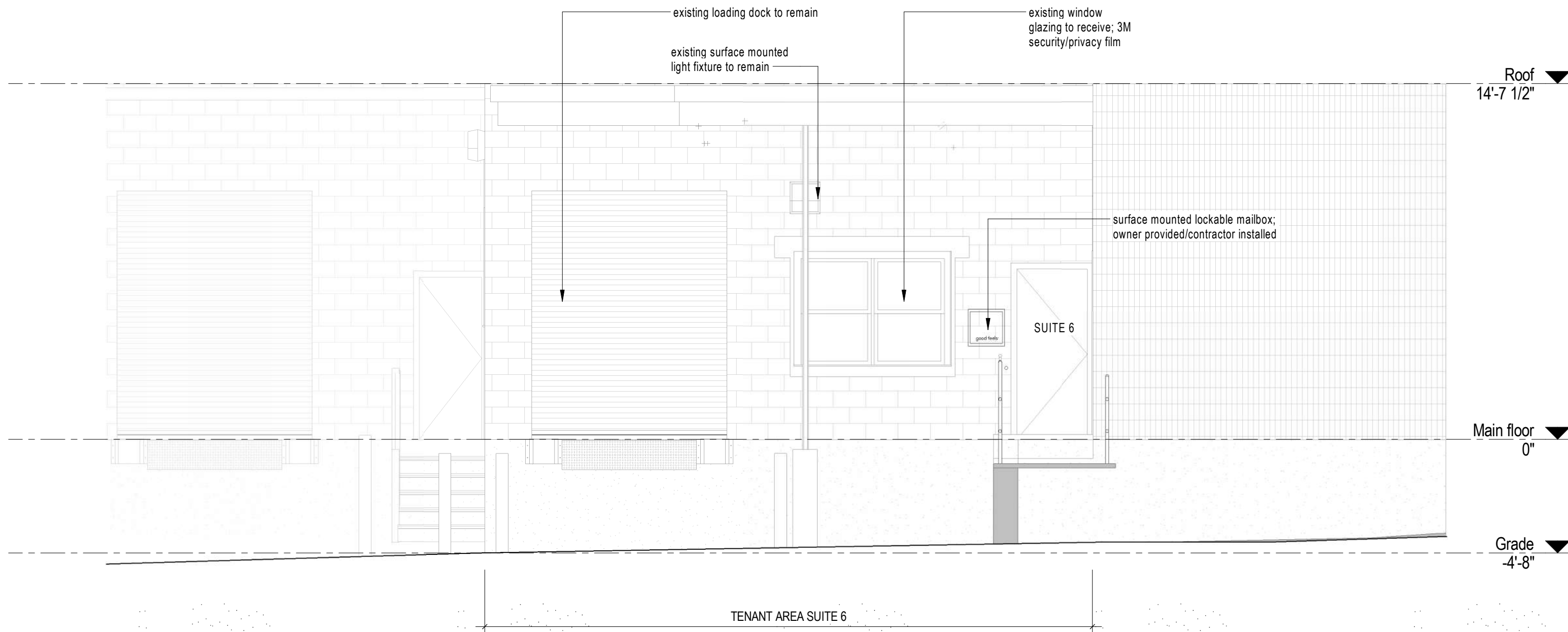
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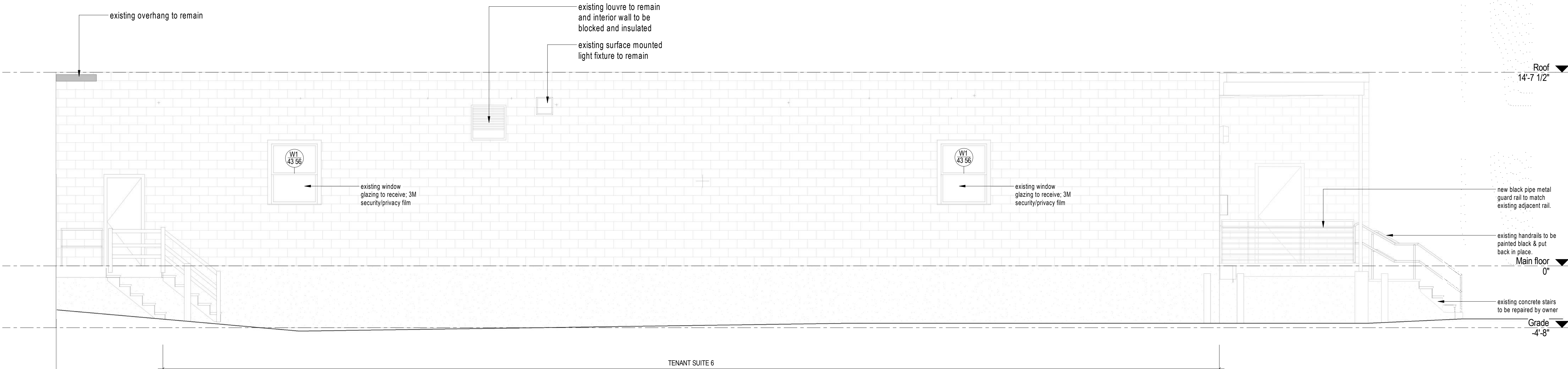
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drawing title
REFLECTED CEILING & SWITCHING PLAN

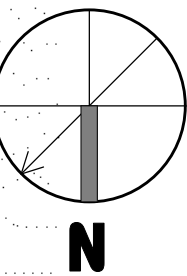
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drawing number A120		revision 2



2 PROPOSED WEST ELEVATION
A200 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
A200 1/4" = 1'-0"



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23 Jayar Road, Medway, MA 02053

client

Good Feels Inc. **good feels™**
23 Jayar Road, Medway, MA 02053

J t A

JOE THE ARCHITECT
343 Medford Street, Suite 40C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

For Information

drawing title
EXTERIOR ELEVATIONS

project number
302

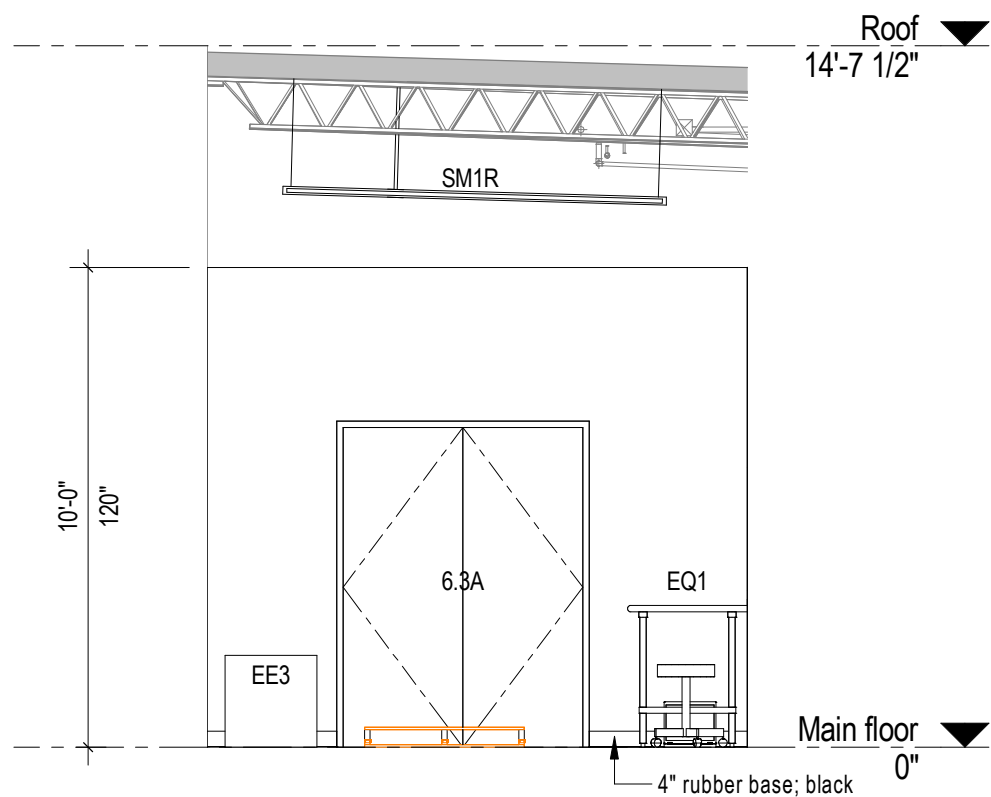
drawing scale
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approver
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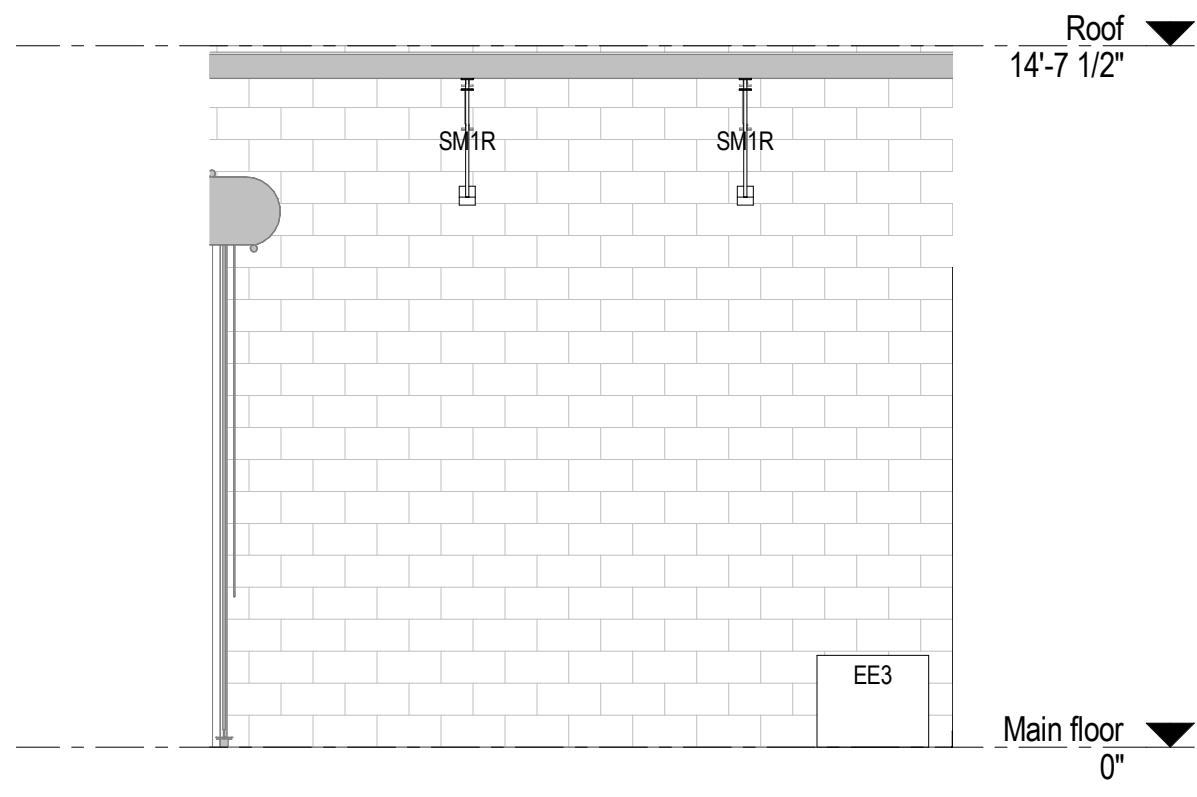
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A200

revision
2

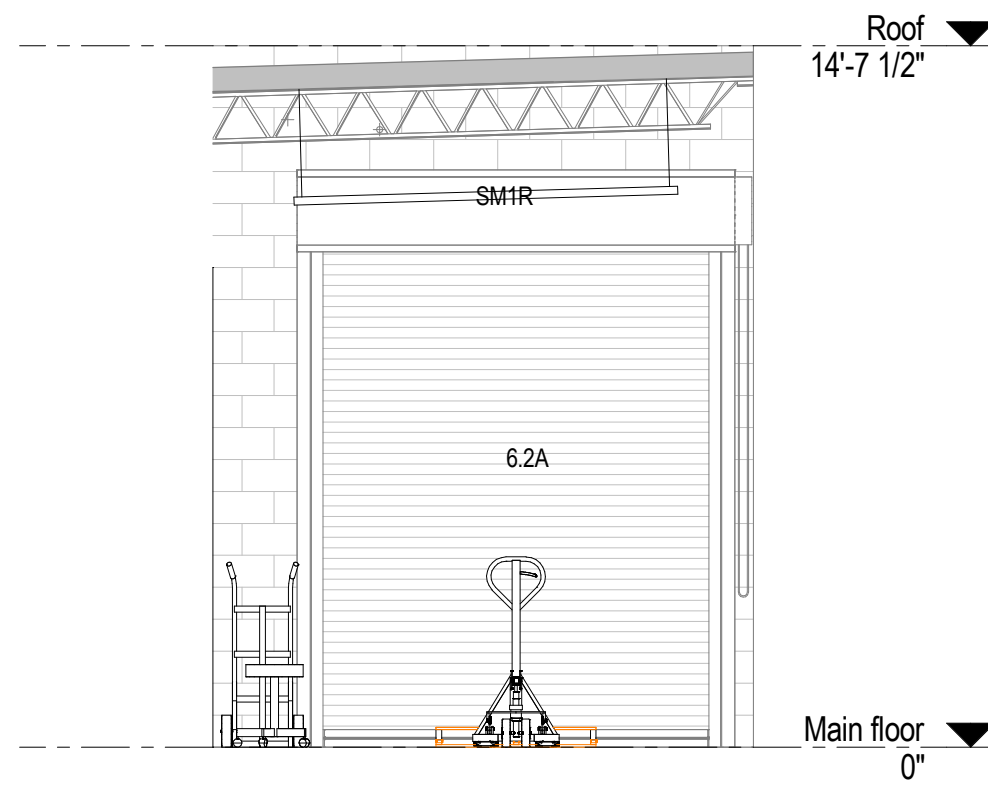
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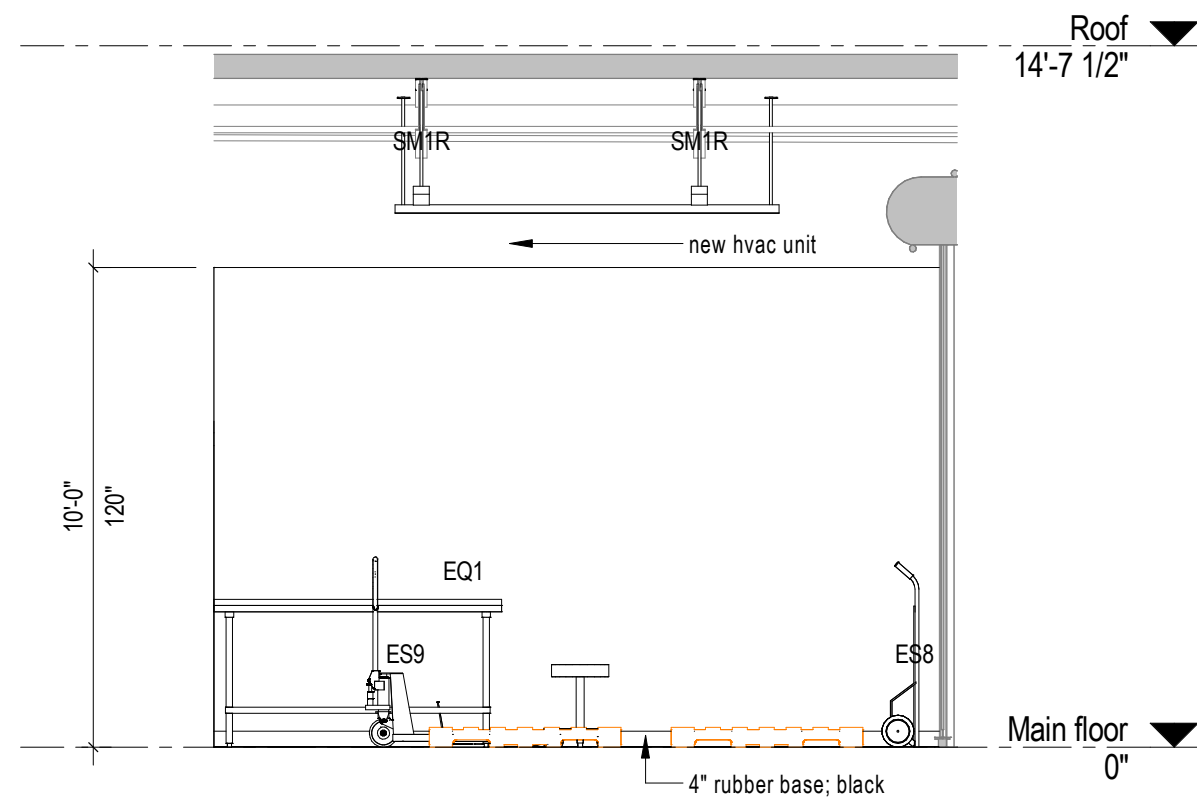
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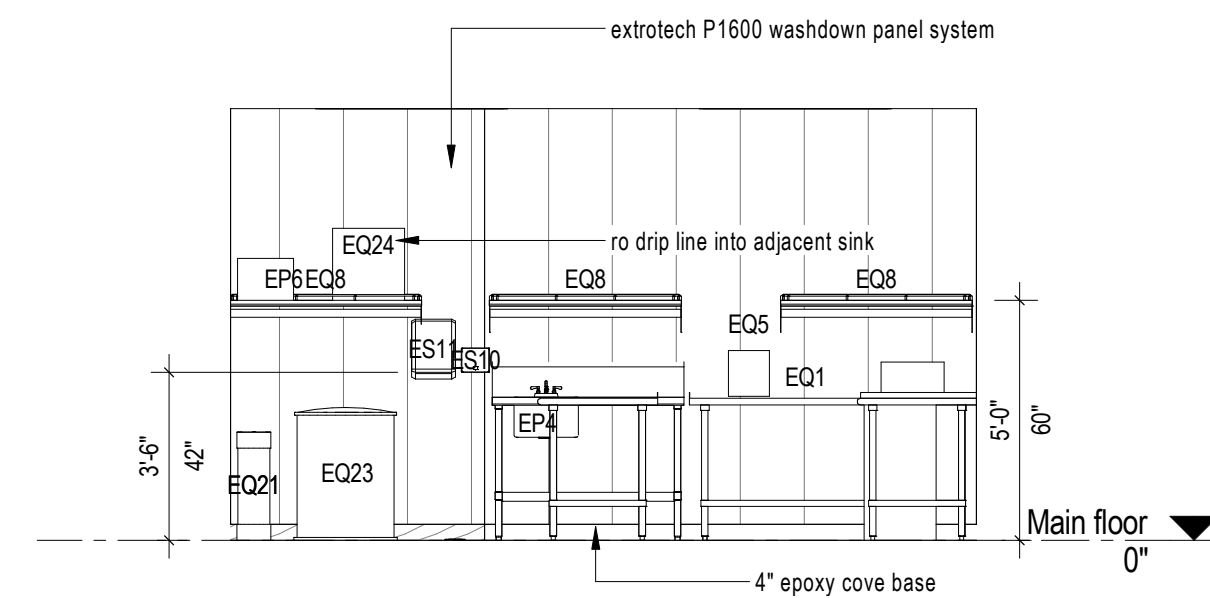
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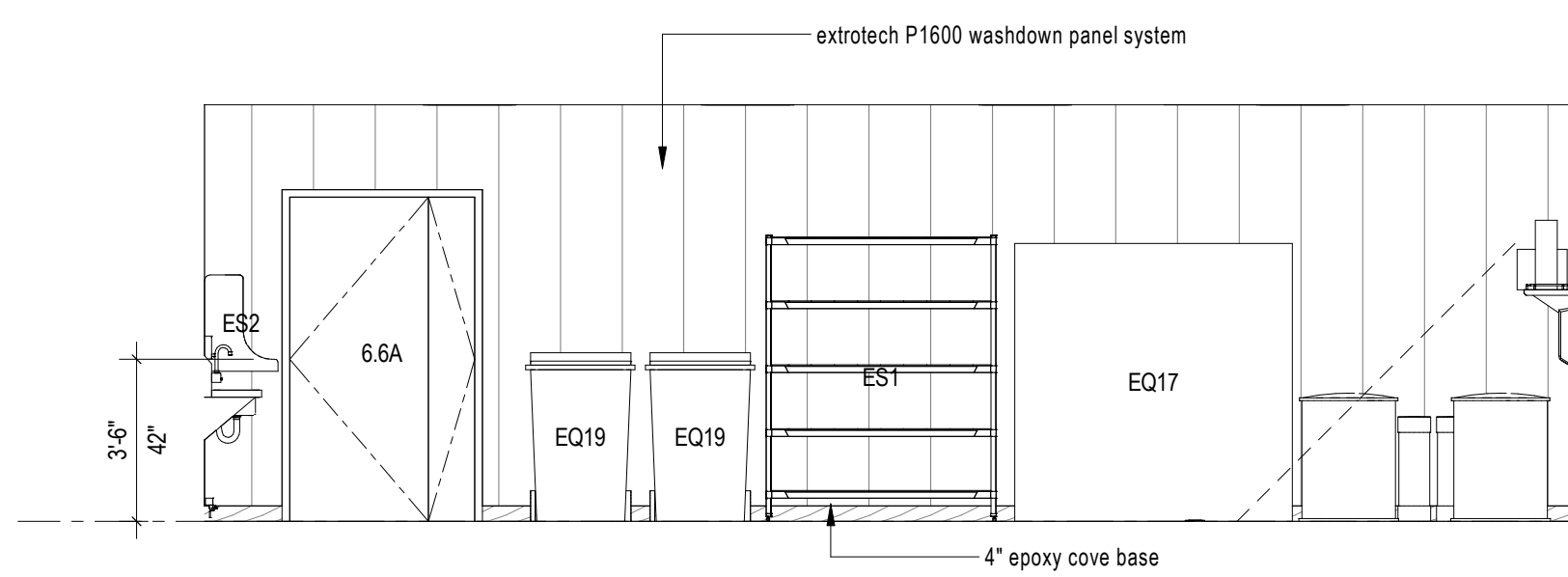
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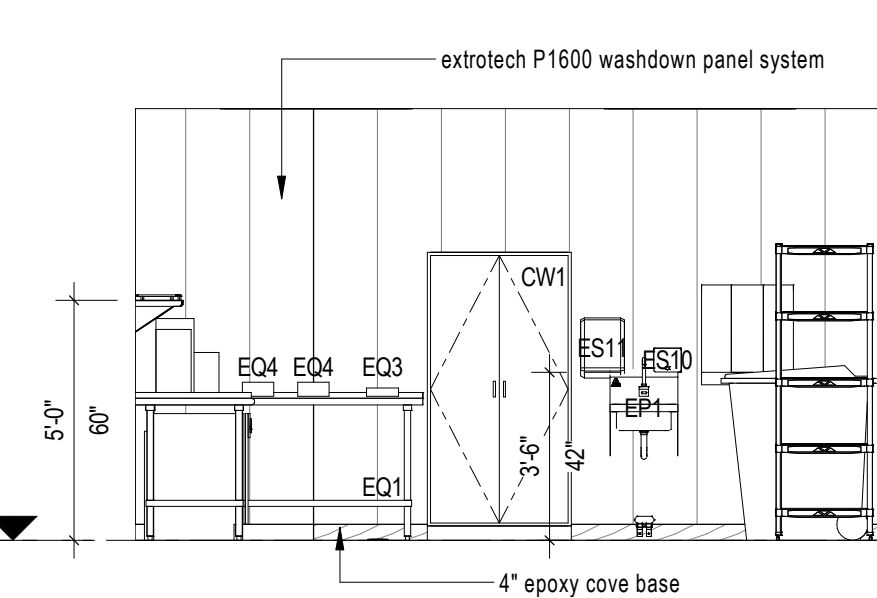
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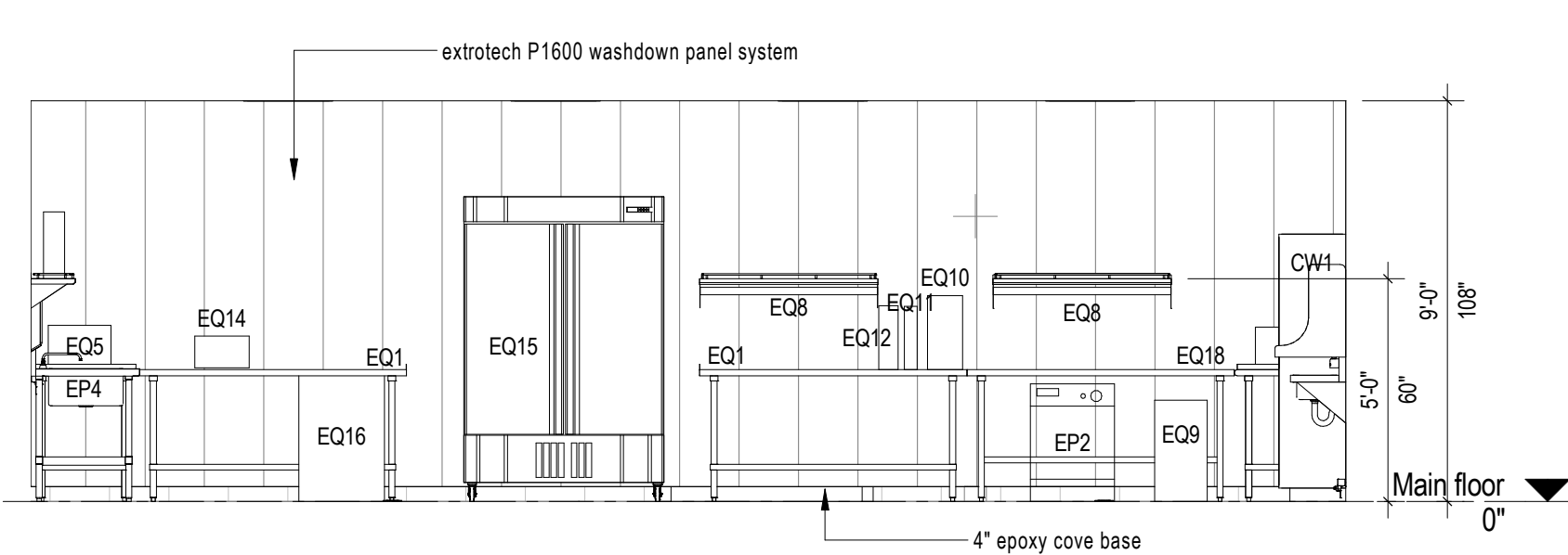
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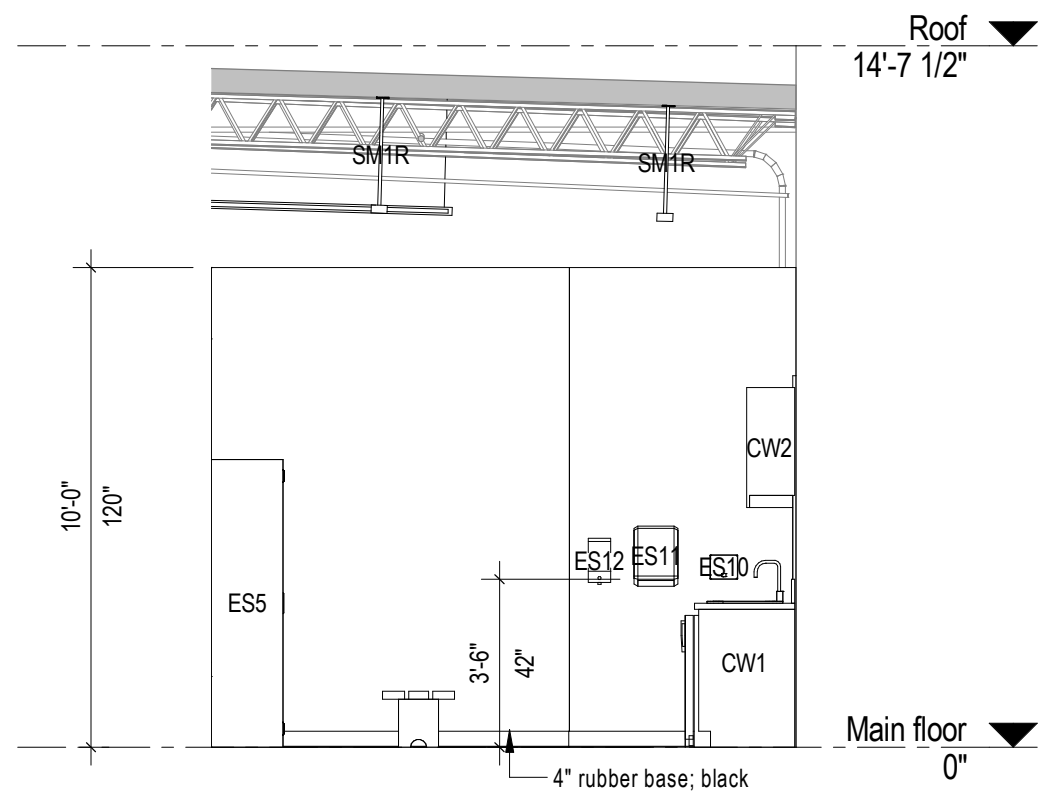
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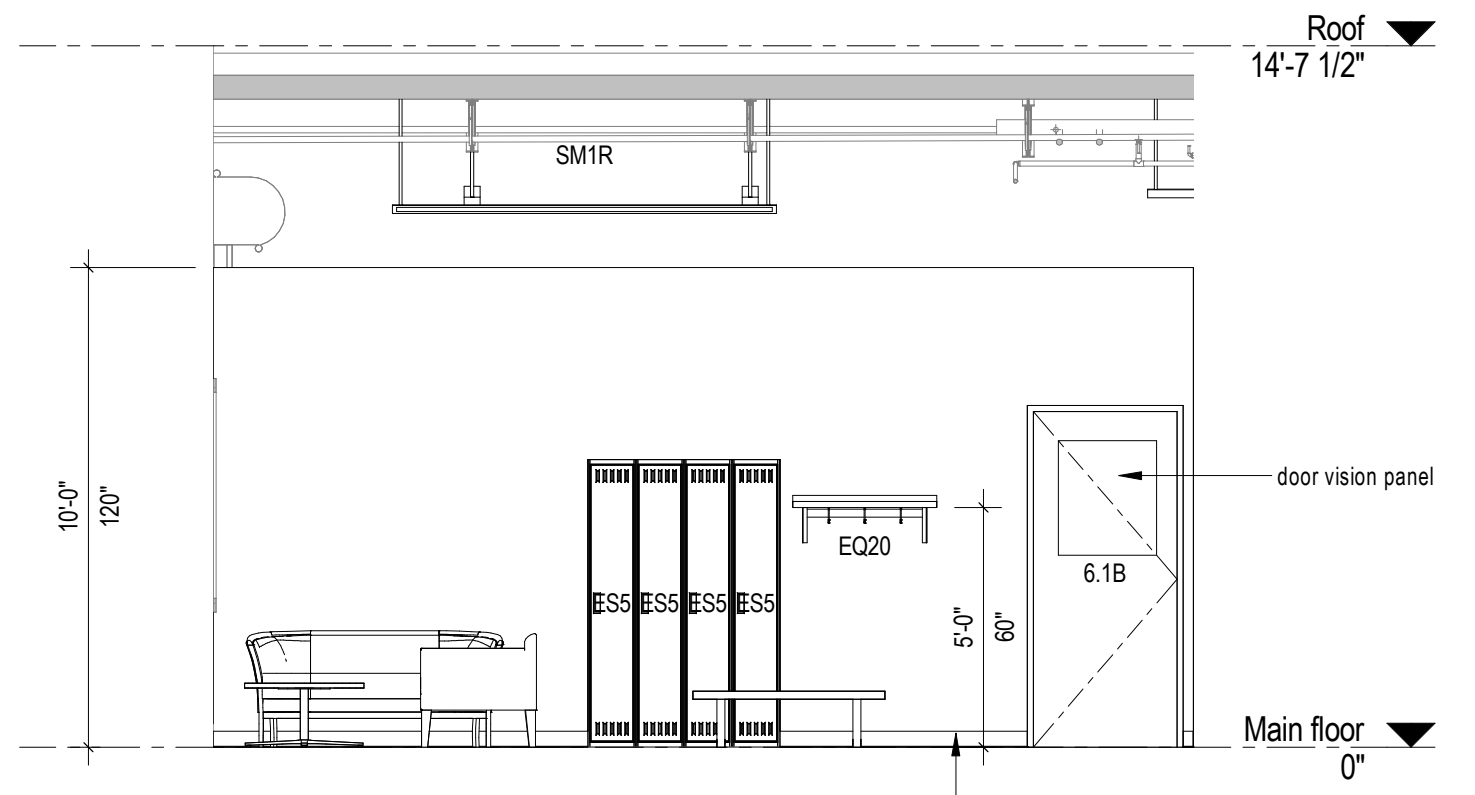
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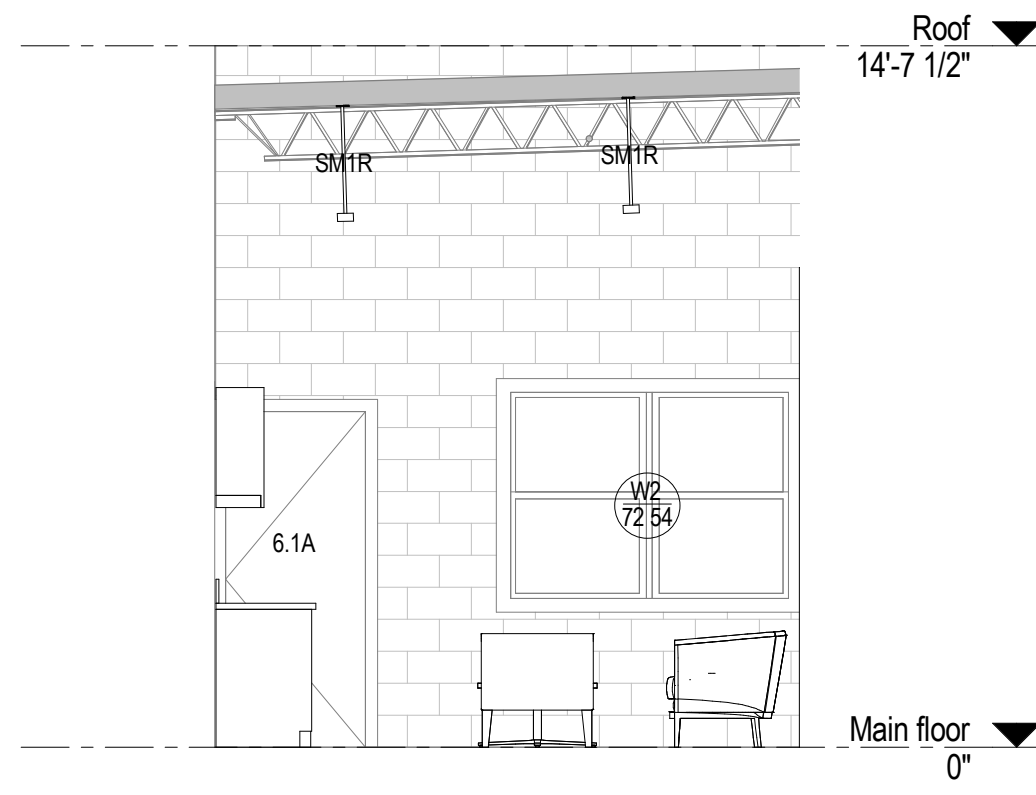
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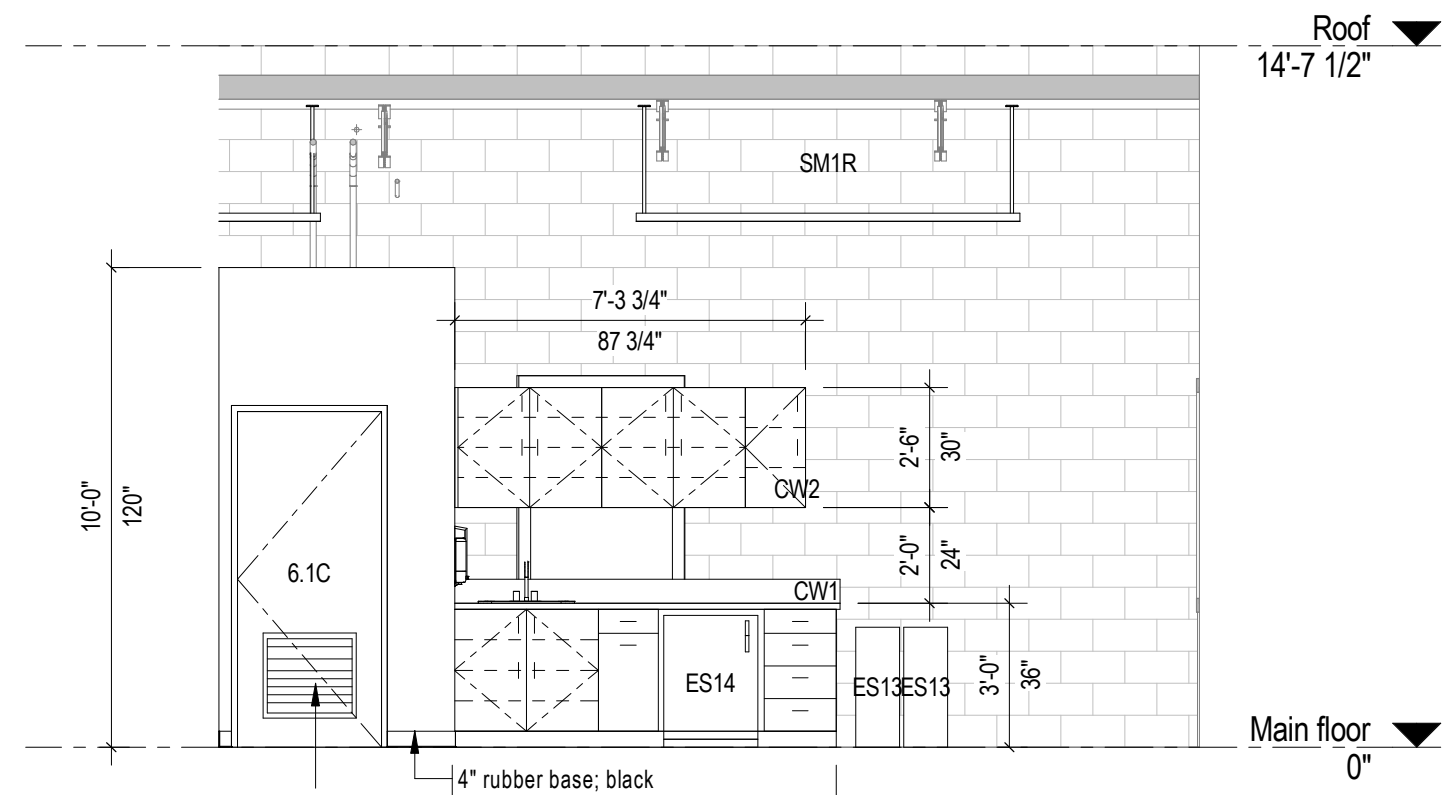
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11 LOUNGE C
A600 1/4" = 1'-0"



2 LOUNGE B
A600 1/4" = 1'-0"



1 LOUNGE A
A600 1/4" = 1'-0"

WARNING:
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consultant / contractor information:

stamp



revision

2

revision description

FOR PERMIT

date

10/23/2020

project title

Good Feels Inc. Medway Suite 6

23 Jayar Road, Medway, MA 02053

client

Good Feels Inc.

23 Jayar Road, Medway, MA 02053

good feels™

JOE THE ARCHITECT

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For Permit

drawing title
INTERNAL ELEVATIONS

project number

302

drawing scale

1/4" = 1'-0"

approver

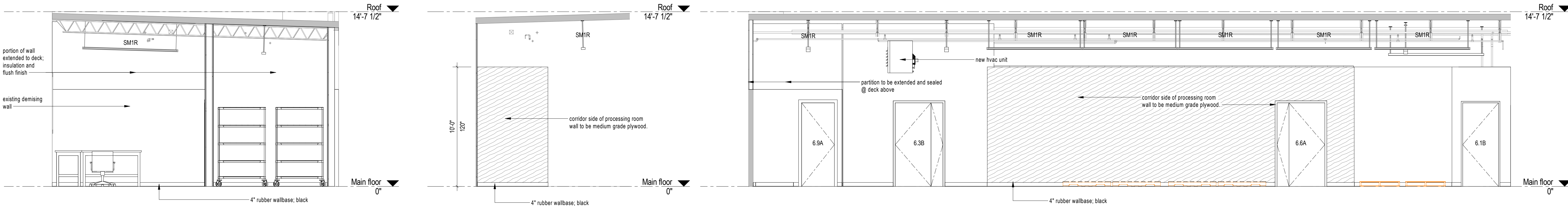
Approver

drawing number

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revision

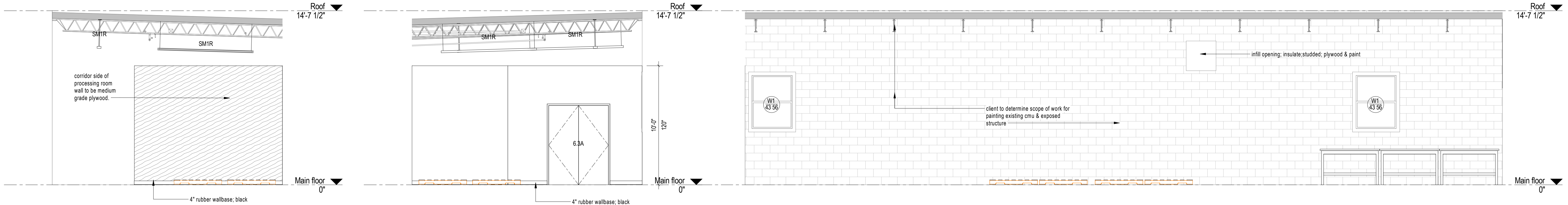
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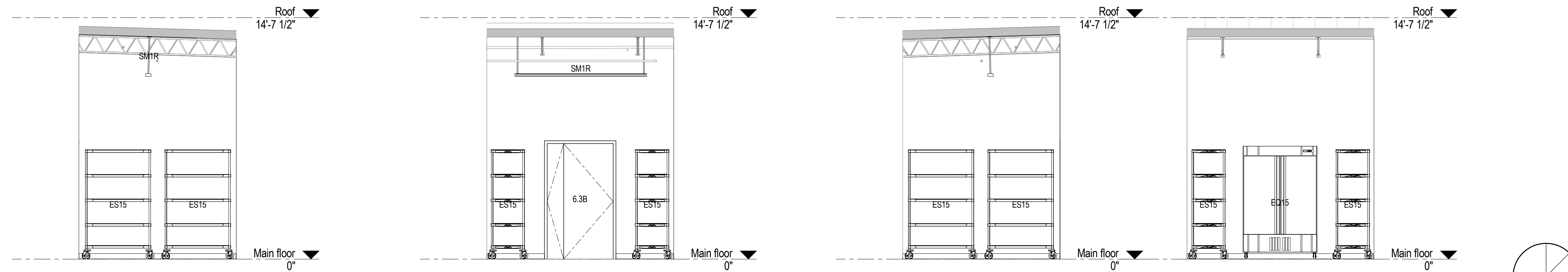
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6 STORAGE CORRIDOR C
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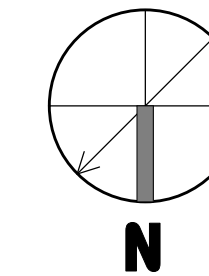


10 VAULT D
1/4" = 1'-0"

9 VAULT C
1/4" = 1'-0"

8 VAULT B
1/4" = 1'-0"

7 VAULT A
1/4" = 1'-0"



<p>WARNING: The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Installation. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or traced. All work to comply with I.B.C. Regulations and relevant American Standards. © 2020 - all rights reserved</p>				<p>stamp</p>		<p>revision 2 FOR PERMIT 10/23/2020</p>		<p>project title Good Feels Inc. Medway Suite 6 23 Jayar Road, Medway, MA 02053</p>		<p>client Good Feels Inc. good feels™ 23 Jayar Road, Medway, MA 02053</p>		<p>J t A JOE THE ARCHITECT 343 Medford Street, Suite 40 Somerville, MA 02145 t: +1(617) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com</p>		<p>For Permit drawing title INTERNAL ELEVATIONS</p>	
<p>consultant / contractor information:</p>										<p>project number 302</p>		<p>drawing scale 1/4" = 1'-0"</p>		<p>approver Approver</p>	
										<p>drawing number A601</p>		<p>revision 2</p>			



MEMORANDUM

DATE: December 18, 2020

TO: Jason Reposa – Good Feels, Inc.

FROM: Martin R Richardson – SED Associates Corp

PROJECT: Cannabis Infusion Facility, 23 Jayar Rd., Medway, MA

SUBJECT: Town of Medway Odor Compliance

Good Feels, Inc. proposed cannabis infusion facility to be located at 23 Jayar Rd. in Medway, MA will be located within the confines of an existing industrial park. There is no planned cultivation or processing of any plant material at the location. This facility will use distillate oil derived from cannabis for the infusion into edible type products.

The distillate oil, which will be processed at another facility, is derived from an extraction process. It is stripped of any of its essential oils, or terpenes, that give it its signature smell and taste. This is done so as not to impart the taste into the products that will be infused.

Based upon the sole use of this distillate oil as stated by yourself, we find that this facility will be in full compliance with the Town of Medway's Bylaws for Environmental Standards. If the use of any other form of cannabis plant material or extracted oils are to be used, further investigation into their odors would need to be reviewed to ensure compliance.

If you have any questions or comments, please contact our offices at (617) 350-7245.

By:



Attachments: none

Susan Affleck-Childs

From: Jeff Komrower <jeffk@noise-control.com>
Sent: Sunday, December 27, 2020 5:20 PM
To: Jason Reposa
Cc: Susan Affleck-Childs
Subject: RE: FW: Marijuana facility at 23 Jayar Road in Medway, MA
Attachments: Good Feels - NCE LLC Job Memo 2020-039 Revised.pdf

Hi Jason,

Attached please find a revised memo based on some of the comments that were received by Susan Affleck-Childs by Chris Menge at HMMH. I'll address these as they were addressed in the revised memo:

- 1) The overall A-weighted values in the Town of Medway tables are not mixed up with the unweighted values – the overall unweighted value is not presented in the Table. Similarly, in the original table presented, the overall unweighted values were not presented. To avoid confusion, I did present both values in the final table in the revised document. I did notice, however, in the original table that there was a mistake in the calculated A-weighted overall levels – they were actually lower than presented.
- 2) Based on the location of the HVAC unit on the roof and the location of the property lines, it is not expected that there would be ANY significant contribution due to rooftop or ground reflections. However, to take the conservative approach, I did use the hemispherical spreading calculation in the revised calculations as suggested by Chris Menge. The values are still well below the town specifications.
- 3) Originally, based on the intent of the ordinances, and since there is only woods and nothing else beyond the North property line, I calculated the noise levels at the property line to the closest abutter where any high noise levels would be an issue. However, yes, technically these noise levels should be calculated at the closet property line, which is the North property line as pointed out by Chris. So, in the revised memo, I calculated for both these property line. The values are still well below the town specifications even at the closet property line.

Please let me know if you have any questions. Thanks!

Best regards,

Jeff

Jeffrey M. Komrower
Noise Control Engineering, LLC
978-584-3026 (direct line)
410-960-9243 (mobile)
www.noise-control.com

From: Jason Reposa <jason@getgoodfeels.com>
Sent: Tuesday, December 22, 2020 1:26 PM
To: Jeff Komrower <jeffk@noise-control.com>
Subject: Fwd: FW: Marijuana facility at 23 Jayar Road in Medway, MA

Hi Jeff,

Can you take a look at this?

Thanks,
Jason

----- Forwarded message -----

From: **Susan Affleck-Childs** <sachilds@townofmedway.org>
Date: Tue, Dec 22, 2020 at 11:53 AM
Subject: FW: Marijuana facility at 23 Jayar Road in Medway, MA
To: Jason Reposa <jason@getgoodfeels.com>
Cc: Jeff Komrower (jeffk@noise-control.com) <jeffk@noise-control.com>, Andy Rodenhiser <andy@rodenhiser.com>

Hi Jason,

See note below received this morning from our noise consultant, Chris Menge, at HMMH. He has some preliminary comments and questions on the noise information provided.

Please authorize Jeff Komrower to provide additional information and/or reach out directly to Mr. Menge to discuss.

Thanks.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

Medway, MA 02053

508-533-3291

sachilds@townofmedway.org

From: Christopher Menge [mailto:cmenge@hmmh.com]
Sent: Tuesday, December 22, 2020 11:03 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Marijuana facility at 23 Jayar Road in Medway, MA

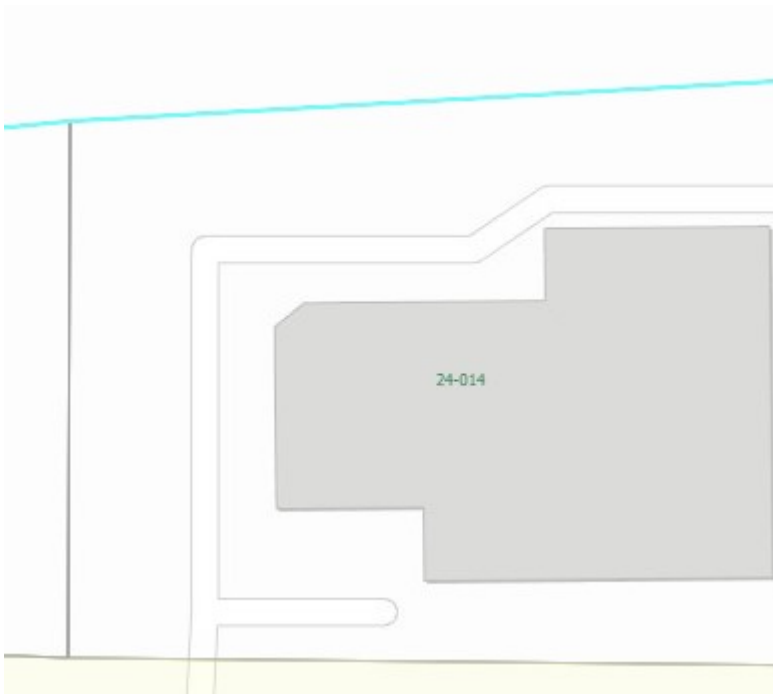
Hello Susan,

In my preliminary review of the NCE report, I've found three issues that I think you should have them address in a revised report prior to my formal review.

The first is that they have mixed A-weighted octave band values for the sound power levels and predicted sound pressure levels with the un-weighted octave band limits that the town has. I determined this via adding the octave band energy values and comparing with the stated A-weighted values.

Another issue is that to determine the sound levels at the property line, NCE used the equation for "spherical spreading" from the noise source. This assumption is not as conservative as "hemispherical spreading," which assumes sound reflection from the ground and/or building roof during sound propagation. We recommend using hemispherical spreading because such reflections will occur. Hemispherical spreading yields sound levels approximately 3 to 4 decibels higher, due to the reflection from the ground/rooftop.

Finally, NCE assumed that the property line at Jayar Rd. was the closest to the noise source. The existing noise standard specifies that the noise levels should be determined at the property line nearest to the noise source. We looked at the Town of Medway's parcel boundaries for 23 Jayar Rd in the Town's GIS system. An image of that parcel, its boundaries and the building's placement on the parcel is shown below. These boundaries suggest that the north property line is approximately 80 feet from the proposed location of the HVAC unit on the building, and the west property line is approximately 91 feet away.



Sincerely,

Chris

Christopher Menge, INCE

Sr. Vice President/Principal Consultant

HMMH

www.hmmh.com

○ 781.852.3153 | M 781.223.8944

cmenge@hmmh.com

Susan Affleck-Childs

From: Jack Mee
Sent: Wednesday, December 23, 2020 11:31 AM
To: Susan Affleck-Childs
Subject: RE: Good Feels, 23 Jayar Road
Attachments: 2020-11-06 Adrienne Dean Letter to PEDB re school definition (with attac....pdf

Dear Susy & all members of the Planning & Economic Development Board,

I have read and reviewed the attached letter dated November 6, 2020 by Adrienne Dean, Esq. from Yoo Dean Law. This letter was generated by the applicant's attorney to confirm that this location (23 Jayar Road) complies with the Special Permit requirement of the Medway Zoning Bylaw section 8.10 E(4). This section states; "No RME is not located on a lot within 500 linear feet of any lot of an existing public or private school serving students in grades K-12."

It is my determination that the Medway Dance Authority which is located within the same building is NOT a private or public school and should not restrict the Board from issuing this special permit (if this is their wish).

Regards,

Jack Mee
Building Commissioner
Town of Medway
(508) 533-3253

January 4, 2021 DRAFT

***SPECIAL PERMIT DECISION
Adult Recreational Marijuana Establishment
Good Feels, Inc. – 23 Jayar Road
_____ with Conditions***

Decision Date: _____

Name/Address of Applicant: Jason Reposa
Good Feels, Inc.
1 Shady Lane
Medway, MA 02053

Name/Address of Property Owner: William F. Reardon Revocable Trust
89 Main Street, Suite 105
Medway, MA 02053

Location: 23 Jayar Road

Assessors' Reference: Map 24, Parcel 014

Zoning District: East Industrial

I. PROJECT DESCRIPTION – The Applicant seeks a special permit pursuant to sub-Section 8.10 of the Medway *Zoning Bylaw* for authorization to use 1,896 sq. ft. of the existing commercial/industrial building at 23 Jayar Road on the north side of Jayar Road in the East Industrial zoning district to operate a registered marijuana establishment (Good Feels, Inc.) to manufacture, process and package marijuana infused products for adult recreational use. This application does not request cultivation or retail sale of adult recreational marijuana on the premises.

II. VOTE OF THE BOARD – After reviewing the application and information gathered during the public hearing and review process, including statements of the Applicant and its representatives and comments offered by the public, the Medway Planning and Economic Development Board, on _____, on a motion made by _____ and seconded by _____, voted to _____ with CONDITIONS as specified herein a recreational marijuana establishment special permit to operate a business to manufacture and package marijuana infused products in a specified portion of the building located at 23 Jayar Road in Medway, MA.

The vote was _____ by a vote of ____ in favor and ____ opposed.

Planning & Economic Development Board Member **Vote**

Richard Di Iulio
Matthew Hayes
Thomas A. Gay
Andy Rodenhiser
Robert Tucker

III. PROCEDURAL HISTORY

- A. November 9, 2020 – Special permit application filed with the Board; filed with the Town Clerk on November 10, 2020.
- B. November 12, 2020 – Public hearing notice filed with the Town Clerk and posted at the Town of Medway web site.
- C. October 12, 2020 - Public hearing notice mailed to parties in interest by certified sent mail.
- D. November 23, 2020 and December 1, 2020 - Public hearing notice advertised in *Milford Daily News*.
- E. December 8, 2020 - Public hearing commenced. The public hearing was continued to January 5, 2021 and _____ when the hearing was closed and a decision rendered.

IV. INDEX OF DOCUMENTS

- A. The special permit application materials for the proposed use of the building at 23 Jayar Road for a recreational marijuana establishment included the following information that was provided to the Board at the time the application was filed:
 - Marijuana Establishment special permit application dated November 9, 2020

- Good Feels Project Description prepared by Jason Reposa, received November 9, 2020
- Status of application to Cannabis Control Commission, prepared and submitted by the applicant November 9, 2020
- Certified abutters' lists prepared by the Medway and Millis Assessors
- Letter dated September 18, 2020 from David Moniz, property manager for property owner Reardon Properties, lease for 23 Jayar Road space between Good Feels and Reardon Properties, and property deed dated March 22, 2007 confirming property ownership of 23 Jayar Road.
- Building fit-out plans dated October 23, 2020 prepared by Joe The Architect
- As-Built Plan of Land, dated November 3, 2020 prepared by Colonial Engineering
- Host Community Agreement with the Town of Medway dated September 8, 2020
- Notarized Declaration of Ownership Affidavit dated November 9, 2020
- Prior ZBA decisions for 23 Jayar Road dated January 17, 1990 and May 2, 2001.
- Memorandum dated November 6, 2020 from Attorney Adrienne Dean
- Memorandum dated November 5, 2020 from Jeff Komrower of Noise Control Engineering (on behalf of the applicant) re: noise generation
- Odor generation documentation submitted by the applicant

B. During the course of the review, a variety of other materials were submitted to the Board by the Applicant, its representatives, Town staff, and the Town's consultants:

- Review memo dated November 16, 2020 from Charles River Pollution Control District
- Good Feels Security Plan received November 25, 2020
- Overview of Types of Products to be Manufactured received November 30, 2020
- Applicant's attestation of completion of the required community outreach meeting, held October 20, 2020, as required by the Cannabis Control Commission
- Documentation provided by the Cannabis Control Commission of its receipt of the Good Feels, Inc.'s application and subsequent follow-up communications from the CCC to the applicant
- Project review memorandum dated December 2, 2020 from Susy Affleck-Childs, Planning and Economic Development Coordinator
- Letter dated December 7, 2020 from Medway Police Chief Allen Tingley
- Email dated December 7, 2020 from Garden Remedies (marijuana oil distillate vendor)
- Memorandum dated December 18, 2020 from SED Associates Consulting Engineers (odor consultant for the applicant)
- Letter dated December 21, 2020 from Fuss and O'Neil (odor consultant for the applicant)

- Email dated December 23, 2020 from Medway Building Commissioner Jack Mee
- Good Feels, Inc. Transportation Overview dated December 16, 2019.
- Email dated December 27, 2020 from Noise Control Engineering (noise consultant for the applicant) providing further information as requested 12-22-20 by the Board's noise consultant
- **FORTHCOMING** - Communication dated _____ from Chris Menge, PE, HMMH (noise consultant for the Board)
- **FORTHCOMING** - Communication dated _____ from Bruce Straughan, PE, Straughan Forensics, LLC (odor consultant for the Board)

V. TESTIMONY - In addition to the special permit application materials as submitted and as further provided during the course of its review, the Board heard and received verbal or written testimony from:

- Resident and abutter John Lally, 35 Coffee Street – email dated 12-7-20 and testimony at the 12-8-20 hearing
- Selectman Glenn Trindade - testimony at the 12-8-20 hearing

VI. FINDINGS

The Planning and Economic Development Board, at its meeting on _____, on a motion made by _____ and seconded by _____, voted to approve the following **FINDINGS** regarding the special permit application for adult recreational marijuana establishment for 23 Jayar Road. The motion was _____ by a vote of _____ in favor and _____ opposed.

RECREATIONAL MARIJUANA ESTABLISHMENT SPECIAL PERMIT FINDINGS (Sub-section 8.10 of the Zoning Bylaw)

- (1) Section 8.10.B. Applicability - The proposed use of this space for marijuana product processing and packaging qualifies as a Recreational Marijuana Establishment (RME) as defined in SECTION 2 of the *Zoning Bylaw*. NOTE - The premises shall not be used for cultivation nor retail sales.
- (2) Section 8.10.D. Eligible Location – The property at 23 Jayar Road is located in the East Industrial Zoning District which is one of the eligible locations for an RME as specified in the *Zoning Bylaw*. The site is 1.374 acres. The existing commercial/industrial building on the property is 18,212 sq. ft. in area. The applicant will use 1,896 sq. ft. of the building for the RME establishment; that space is located in the northwest corner of the building and is accessed from the parking lot on the west side of the building.
- (3) Section 8.10.E.1 & 2 - The proposed establishment meets the General Requirements for an RME as specified in Section 8.10 E. including being contained within a proper building which does not include residential uses or doctor's offices.
- (4) Section 8.10.E.3. - At the time of application, the petitioner proposed the hours of 10 a.m. to 4 p.m. Monday through Friday. The specific hours of operation are included as a condition of the special permit.

- (5) Section 8.10.E.4. - The building’s location is more than 500 linear feet from an existing public or private school serving students in grades K-12. The Medway Dance Authority is a private dance school located within the 23 Jayar Road building. However, the Dance Authority is a commercial operation and does not constitute a public or private school in the meaning of the bylaw; instead it most suitably fits the definition of Education/ Instructional Facility, Commercial as included in SECTION 2 Definitions of the Zoning Bylaw. To support this assertion, the applicant has provided a memorandum dated November 6, 2020 from Attorney Adrienne Dean of Yoo Dean Law of Westford, MA which presents a solid explanation to address this criterion. Further, Building Commissioner Jack Mee, in a December 23, 2020 email communication, provided his determination that the Medway Dance Authority is not a public or private school pursuant to the Medway Zoning Bylaw.
- (6) Section 8.10.E.5. - The petitioner has stated, in the application materials, that no smoking, burning or consumption of marijuana or marijuana infused products will be allowed on the premises. Prohibition relative to such activity has been included as a condition of the special permit.
- (7) Section 8.10.E.6. - As proposed, the establishment does not include a drive-through service. A prohibition regarding any drive-through capability has been included as a condition of the special permit.
- (8) Section 8.10.F. Signage - The applicant plans to have a small sign near its entrance (on the west building façade) indicating the name of the business and Suite #6. A sign permit through the Building Department is required. Sign design review with the Design Review Committee is required for any sign six sq. ft. in area or larger. There are no plans for any advertising or primary wall signage on the exterior of the building, no free-standing monument sign, nor does the applicant intend to employ any off-site signage.
- (9) Section 8.10.G. Contact Information - Contact information for purposes of the special permit application and review process has been provided. A condition has been included to require the contact information to be updated to include all management staff and any holders of keys or access devices to the Good Feels premises and that the applicant and operator will provide current information with the Town.
- (10) Section 8.10.H Prohibition Against Nuisances - As conditioned herein, the Board finds that the recreational marijuana establishment will not create a nuisance to abutters or to the surrounding area or create any hazard. Both the Applicant and the Town have contracted with noise and odor consultants for review and

WAITING FOR REVIEW COMMENTS

- (11) Section 8.10.I Openness of Premises - The existing building meets the requirements for “openness of premises” since no activities within the building or displays of products are visible from the exterior of the building, and the front of the building, which includes the primary entrance to the facility, is fully visible from the building’s primary parking lot. All operations are within the restricted building and there is no direct consumer access as

- no retail sales are allowed. As conditioned herein, there will be no displays of marijuana infused products visible from the exterior of the establishment.
- (12) Section 8.10.J. Special Permit Requirements - The special permit authorizes only the following adult recreational marijuana establishment activities: manufacturing, processing and packaging of marijuana and marijuana products and the transport and delivery of such to other recreational marijuana establishments. Neither cultivation nor retail sales are allowed on the premises.
 - (13) Section 8.10.J.2 - This special permit application is not subject to site plan review as it does not meet the threshold requirements of Section 3.5. The business will be located in an existing building, with the only exterior changes the installation of an emergency generator and a sign.
 - (14) Section 8.10.J.5. Application a & b – The applicant has successfully submitted a complete application to the Board for public hearing and review. Copies of all required licenses and permits issued for the RME to the applicant by the Commonwealth of Massachusetts are required to be included with the application. The petitioner has submitted documentation to confirm the filing of its application with the Cannabis Control Commission (CCC) on November 9, 2020. However, the Commission cannot issue even a Provisional License without evidence that the local approval has occurred. Accordingly, it is not possible for the applicant to have a license or permit in hand at this time from the Cannabis Control Commission. Receipt of the required license and permit from the Cannabis Control Commission is included as a condition of the special permit.
 - (15) Section 8.10.J.5. Application c. requires the applicant to provide evidence that they have the right to use the site for an RME. The applicant has submitted a letter dated September 18, 2020 from David Moniz, Property Manager for Reardon Properties, the owner of the subject premises, authorizing the applicant to use the space for the production of cannabis infused items. Also provided is a copy of the applicant's lease for the space dated October 28, 2020.
 - (16) Section 8.10.J.5. Application d. requires the applicant to provide a statement under oath disclosing the applicant's ownership of the proposed registered marijuana establishment. A notarized Declaration of Ownership Affidavit signed November 9, 2020 was provided; it indicates that Jason Reposa is the sole owner of the corporate entity known as Good Feels, Inc. of Medway, MA.
 - (17) Section 8.10.J.5. Application e. requires the applicant to provide a list of all parties entitled to receive notice of the hearing for the special permit application. The area to be notified includes owners of property located within 300 feet of 23 Jayar Road. Certified lists of parties in interest from the Medway and Millis Assessor's offices were provided with the application. See Section III herein for details.
 - (18) Section 8.10.J.5. Application f. requires the applicant to provide a site plan which shows a detailed floor plan of the proposed RME and the various security measures. The applicant has provided building improvement plans dated 10/23/20 by Joe the Architect of Somerville, MA which address these items and include a security plan which has been reviewed and approved by Police Chief Allen Tingley.

- (19) Section 8.10.J.5. Application g. requires the applicant to provide a copy of the policies/procedures for delivery services. The applicant's transportation plan dated December 19, 2019 has been provided. The applicant has indicated their intention to contract with a licensed delivery company to deliver products to various retail marijuana establishments throughout Massachusetts
- (20) Section 8.10.J. Application h. requires the applicant to provide a comprehensive noise mitigation plan.
- (21) Section 8.10.J Application i. requires the applicant to provide a comprehensive odor control, abatement and mitigation plan.
- (22) Section 8.10, J. 6. Procedures, a. requires that the special permit application and public hearing procedure for a RME shall be conducted in accordance with Section 3.4 of the *Zoning Bylaw* and G.L. c. 40A, § 9. The application has been submitted, reviewed and the public hearing has been properly noticed in accordance with the requirements. See Section III herein for details.
- (23) Section 8.10.J.6 Procedures b. requires the Board to make certain mandatory FINDINGS as follows:
- a. The adult recreational marijuana establishment, as conditioned herein, has been designed to minimize any adverse visual or economic impacts on abutters and other parties in interest.
 - b. As conditioned herein, the proposed facility will meet all the permitting requirements of all applicable agencies within the Commonwealth of Massachusetts and will be in compliance with all applicable state laws and regulations.
 - c. As conditioned herein, the Applicant has satisfied the conditions and requirements of this Section 8.10 and Section 3.4 Special Permits of the *Zoning Bylaw*. See below.
- (24) Section 8.10.O. Host Community Agreement - The Town of Medway and Good Feels, Inc. entered into a Host Community Agreement in September 2020 to operate a registered marijuana establishment. Maintenance of the Host Community Agreement is a condition included in this decision.

GENERAL SPECIAL PERMIT FINDINGS (Sub-section 3.4 of the Zoning Bylaw)

- (1) *The proposed site is an appropriate location for the proposed use.*

Section 8.10 of the *Zoning Bylaw*, Recreational Marijuana, specifies that certain recreational marijuana establishments are allowed by special permit in the East and West

Industrial Zoning Districts. The subject site at 23 Jayar Road is located within the East Industrial zone and is therefore an eligible location. The property is within an industrial park and has been used for 40 years for various commercial and industrial uses. The subject site is not within 500 feet from any of the uses where a registered marijuana establishment is prohibited from locating (existing public or private school serving students in grades K-12).

- (2) *Adequate and appropriate facilities will be provided for the operation of the proposed use.*

The subject space is being renovated to create suitable space to operate the proposed recreational marijuana establishment including space for reception, receiving, deliveries, processing, open and secure storage, offices, utilities and shipping. Employee parking is readily available to the west of the building.

- (3) *The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians or the environment.*

The existing site contains suitable driveways, parking areas and stormwater management systems. Reasonable noise and odor mitigation measures are included as Conditions herein.

- (4) *The proposed use will not cause undue traffic congestion or conflicts in the immediate area.*

The proposed establishment is expected to have five employees. Because this is not a retail operation, traffic to the site shall consist of limited employee traffic, receipt of supply deliveries, and transport of finished products to off-site retail operations. The site's access is from Main Street (Route 109), a major east-west arterial roadway, so there is no traffic impact on nearby residential roads or neighborhoods.

- (5) *The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site or operational attributes of the proposed use.*

The proposed establishment is to be located within an existing commercial/industrial building which is located within an industrial park with other manufacturing businesses. The building has housed multiple and varied business tenants over the years since its construction in 1979. There are no plans to expand the building for this particular use. The noise and odor generating aspects of the operation have been explained and reviewed by the Town's outside noise and odor consultants and found to be _____. As conditioned herein, the Board finds that suitable mitigation measures will be taken to comply with the Town's Zoning Bylaw with respect to _____.

- (6) *The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district.*

The proposed use is manufacturing and is therefore consistent with the character of the East Industrial Zoning District and the industrial park in which the subject property is located. This applicant plans use marijuana oil distillate to produce marijuana infused

products. The Board finds that the proposed expanded use will not significantly alter the character of the East Industrial zoning district.

- (7) *The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw.*

The Recreational Marijuana section of the *Zoning Bylaw* (Section 8.10) was adopted by the Town in May 2018 with the specific intent of allowing the limited establishment of non-retail recreational marijuana establishments in Medway. The stated purpose of Section 8.10 is to address possible adverse public health and safety consequences and impacts on the quality of life related to this type of facility by providing for them in an appropriate places and under strict conditions. Therefore, it meets the purpose of the *Zoning Bylaw*.

- (8) *The proposed use is consistent with the goals of the Medway Master Plan.*

The existing facility and the expanded use of the facility is in compliance with Goals 1 and 6 of the Economic Development Goals and Objectives section of the 2009 Medway Master Plan as follows:

- Goal 1: Maximize the area's economic resources
- Goal 6: Attract new (and retain existing) businesses and increase the industrial/manufacturing base.

- (9) *The proposed use will not be detrimental to the public good.*

As a facility in compliance with state and local law, consistent with the goals of the *Medway Master Plan*, and as conditioned herein, the proposed use will not be detrimental to the public good.

VIII. CONDITIONS The *Special and General Conditions* included in this Decision shall assure that the Board's approval of this special permit is consistent with the *Zoning Bylaw* and that the comments of various Town boards and public officials have been adequately addressed, and that concerns of abutters and other town residents which were aired during the public hearing process have been carefully considered. These conditions are binding on the Applicant.

SPECIFIC CONDITIONS OF APPROVAL

- A. This permit is conditioned on the applicant's receipt of the required license and permit from the Cannabis Control Commission to operate the registered marijuana establishment as described in the application, associated materials, and this decision.
- B. All standard requirements included in Section 8.10 Recreational Marijuana of the *Zoning Bylaw* apply to this special permit. These include but are not limited to:
1. Upon approval and prior to commencing operations on the property to manufacture and package marijuana infused products for adult recreational use, the Applicant shall provide the Building Commissioner, Health Agent, Fire Chief, Police Chief, and the Board with a copy of the

applicable state adult recreational marijuana establishment license, permit, and approvals from the Massachusetts Cannabis Control Commission.

2. The Applicant shall provide an annual report of Good Feels, Inc. operations to the Board, Building Commissioner, Health Agent, and Police Chief no later than January 31st of each year, including a copy of all current state licenses and demonstrating continued compliance with the conditions of this special permit. Any change in ownership of Good Feels, Inc. or change in management staff and key holders shall also be reported.
3. This special permit is not transferrable to another party. It shall remain exclusively with the Applicant, Good Feels, Inc. as the owner of the establishment.
4. Smoking, burning and consumption of marijuana or marijuana infused products on the premises is prohibited.
5. The provision of any drive-through service is prohibited.

C. Noise Management

1. The Applicant is required to comply with the noise control provisions of Section 7.3.D of the *Zoning Bylaw*.
2. Any new or altered mechanical equipment installed on the property shall be designed to comply with applicable regulations, including the provisions of Section 7.3 of the *Zoning Bylaw*.
3. xxx

D. Odor Management

1. The Applicant is required to comply with the odor control provisions of Section 7.3.D of the *Zoning Bylaw*.
2. xxx

F. Hours of Operation – The hours of operation for Good Feels, Inc. shall be as follows: _____

- G.** The permit holder shall notify the Building Commissioner, Health Agent, Fire Chief, Police Chief, and the Board in writing within forty-eight hours of the cessation of operation of the marijuana business or the expiration or termination of the license holder's certificates or registration with the Massachusetts Cannabis Control Commission.

- H. There shall be a valid Host Community Agreement in effect at all times during the operation of the registered marijuana establishment.
- I. The permittee is required to provide current information to the Town with updated contact information for all management staff and any holders of keys or access devices to the Good Feels premises.
- J. Limitations - This special permit is limited to the operation of a recreational marijuana manufacturing, processing and packaging establishment at 23 Jayar Road. This permit does not authorize operation of a retail outlet for the sale of adult recreational marijuana products, the cultivation of marijuana, or the operation of a testing facility on the premises.
- K. Delivery of products shall be in accordance with the applicant's transportation plan dated December 19, 2019. Applicant will contract with a licensed delivery company to deliver products to various retail marijuana establishments throughout Massachusetts. Because this RME special permit is only for manufacturing, production and packaging and not for retail, deliveries directly to consumers are prohibited.
- L. The applicant shall provide a site plan showing the following site improvements for the Board's endorsement and recording with this special permit.
 - 1. Relocation of the planned outdoor generator to the area south of the establishment's main entrance to be enclosed by a neutral color, wood appearing fence.
 - 2. Installation of an enclosure around the existing and any new outside solid waste receptacles located in the northwest corner of the building's parking lot.

GENERAL CONDITIONS OF APPROVAL

- A. **Fees** - Prior to the Board's filing of the special permit decision with the Town Clerk, the Applicant shall pay:
 - 1. the balance of any outstanding project review fees owed to the Town for review of the application by the Town's engineering, planning, noise, odor or other consultants;
 - 2. any other outstanding expenses or obligations due the Town of Medway pertaining to this property, including real estate and personal property taxes and business licenses.
- B. **Other Permits** – This special permit does not relieve the Applicant from its responsibility to apply for, obtain, pay for, and comply with all other required federal, state and Town permits, licenses and approvals. The Applicant or agent shall apply for, obtain, pay for, and comply with all other required Town permits.
- C. **Recording** - Within thirty days of recording the Decision, the Applicant shall provide the Board and the Building Commissioner with a receipt from the Norfolk County Registry of Deeds indicating that the Decision has been duly recorded, or supply another alternative verification that such recording has occurred.

- D. **Conflicts** –If there is a conflict between this Decision and the *Zoning Bylaw*, the *Bylaw* shall apply.

IX. APPEAL – Appeals if any, from this Decision shall be made to a court of competent jurisdiction within twenty days of the date the Board files the Decision with the Town Clerk in accordance with the provisions of G. L. Chapter 40A, Section 17.

After the appeal period has expired and before this special permit takes effect, the Applicant must obtain a certified notice from the Town Clerk and provide such certification to the Board before the decision and certificate are recorded. Proof of recording the certificate must be delivered to the Building Commissioner and the Board.

The Board and the Applicant have complied with all statutory requirements for the issuance of this special permit on the terms set forth. A copy of this Decision will be filed with the Medway Town Clerk and mailed to the Applicant, and notice will be mailed to all parties in interest as provided in Massachusetts General Laws chapter 40A, section 15.

Any person aggrieved by the decision of the Board may appeal to the appropriate court pursuant to Massachusetts General Laws, Chapter 40A, §17, which appeal shall be filed within twenty days after the filing of this decision in the office of the Medway Town Clerk.

In accordance with General Laws chapter 40A, section 11, no special permit shall take effect until a copy of the Decision is recorded in the Norfolk County Registry of Deeds, and indexed in the grantor index under the name of the owner of record, or is recorded and noted on the owner's certificate of title, bearing the certification of the Town Clerk, that 20 days have elapsed after the decision has been filed in the office of the Town Clerk and either that no appeal has been filed or the appeal has been filed within such time. The person exercising rights under a duly appealed special permit does so at risk that a court will reverse the permit and that any construction performed under the permit may be ordered undone. The fee for recording or registering shall be paid by the Applicant. A copy of the recorded Decision, and notification by the Applicant of the recording, shall be furnished to the Board.

###

**Medway Planning and Economic Development Board
Adult Recreational Marijuana SPECIAL PERMIT DECISION
Good Feels, Inc. – 23 Jayar Road**

_____ the Medway Planning & Economic Development Board: _____ 2021

AYE:

NAY:

ATTEST:

Susan E. Affleck-Childs
Planning & Economic Development Coordinator

Date

COPIES TO: Michael Boynton, Town Administrator
Dave D’Amico, DPS Director
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Beth Hallal, Health Agent
Jeff Lynch, Fire Chief
Jack Mee, Building Commissioner and Zoning Enforcement Officer
Joanne Russo, Treasurer/Collector
Barbara Saint Andre, Director of Community and Economic Development
Allen Tingley, Police Chief
Jeff Watson, Police Department
Jason Reposa, Good Feels, Inc.
David Moniz, Reardon Properties

January 4, 2021

Susan Affleck - Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
Email: sachilds@townofmedway.org

Re: Good Feels Inc., 23 Jayar Road – Evaluation of Potential Odor

Dear Ms. Affleck - Childs:

This letter documents the findings from my review of documents received related to the facility at 23 Jayar Road in Medway for production of marijuana infused products.

The following documents were received on 11-30-2020:

- Types of Products to be Manufactured - 2 pp.
- 20_11_06 302 Good Feels Inc – Building Permit Drawings R1 - 12 pp.
- Additional Odor Reference Information (11-9-20) – 1 p.
- Cannabis Oil Odor from Matt Catalano of CAC – 1 p.

The following documents were received on 12-23-2020:

- 2009200 Odor Memorandum - SED Associates Corp - 1 p.
- OdorControlExhibit_20201218 - Fuss & O'Neil - 18 pp.

Summary:

In the document “Additional Odor Reference Information (11-9-20),” from Jason Reposa, it is stated that the facility will utilize “Cannabis distillate oil” as the base ingredient in their products. The key word here is “distillate.” While all distillates are oils, not all cannabis oils are distillates. A cannabis oil fits the definition of a distillate only if all other plant matter and compounds, including terpenes, have been removed through chemical and mechanical processes. There are many other types of marijuana oils on the market that have not undergone this type of processing. Any raw oil that has been extracted from a marijuana plant will have a strong odor before it has been processed.

Distillates are cannabis extracts that have been purified and processed to separate the cannabinoids, such as THC and CBD, into concentrated amounts. In order to produce a distillate, multiple processing steps are required, including winterization, decarboxylation, and then finally distillation. Since the terpenes have been removed, distillates do not contain the “skunky” odor that is typical of marijuana plants and unprocessed cannabis oils. The process of producing the distillate is described in the email from Sean Harrison to Jason Reposa dated 12-18-2020 (See OdorControlExhibit_20201218 - Fuss & O'Neil p. 4).

Since the odor removing processes are performed on the distillate prior to being delivered to the Good Feels facility, I agree with the conclusion reached by Fuss & O'Neil that an odor mitigation system related to processes using cannabis oil distillate as described would be unnecessary due to the absence of the components that would produce an offensive cannabis odor. This should hold true as long as the oils used are distillates and no unprocessed cannabis oils are used in the facility.

However, other types of odors may or may not exist due to flavorings of the final products or the cooking or preparation processes of the final products. No documentation of these processes was received for review, thus no opinion is offered regarding any potential odors of that nature.

Respectfully,

A handwritten signature in cursive script that reads "Bruce Straughan".

Bruce Straughan, PE
Straughan Forensic, LLC

Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Tuesday, January 5, 2021 8:08 AM
To: Christopher Menge
Subject: RE: FW: Marijuana facility at 23 Jayar Road in Medway, MA

Thanks Chris.

I forwarded your note to our applicant and asked them to check with the manufacturer and discuss with Jeff Komrower.

Best regards,

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Christopher Menge [mailto:cmenge@hmmh.com]
Sent: Monday, January 4, 2021 10:25 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: FW: Marijuana facility at 23 Jayar Road in Medway, MA

Hello Susan,

In my opinion, there is still a problem with the octave bands and A-weighting used in the NCE calculations. They have assumed that the manufacturer's specified octave band sound power levels for the HVAC unit are unweighted. However, the summing math doesn't work unless we assume that they are A-weighted. When I A-weight the octave band power levels, convert them to energy and add them up, I get an overall (assumed) A-weighted sound power level of 68.2 dBA, not 75 dBA, as the manufacturer specifies. However, if we assume that the octave band levels are A-weighted already, the energy sum is 76.4 dB – much closer to 75. Unless the manufacturer is being extraordinarily conservative with his specified A-weighted sound power level, the math strongly suggests that the values are already A-weighted (which is not an unheard of way to specify sound power levels). Therefore, the octave band would have to be unweighted before being propagated to the property line and compared with the Medway standards.

The only issue here is with the 63 Hz octave band at night. That limit for Medway is 55 dB (unweighted). If we assume that the manufacturer's Lw of 74.7 dB in the 63 band is already A-weighted, the unweighted value would be 101.3 dB, and the sound pressure level in that band would be approximately 66 dB at 80 feet, and 63 dB at 120 feet, exceeding the limit.

Now, if the facility is not planned to operate between 9 PM and 7 AM, the noise levels from the unit are in compliance with all daytime limits, and there will not be any exceedances.

Chris

Christopher Menge
Sr. Vice President/Principal Consultant
HMMH
www.hmmh.com
O 781.852.3153 | M 781.223.8944

cmenge@hmmh.com

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Tuesday, December 29, 2020 8:34 AM
To: Christopher Menge <cmenge@hmmh.com>
Subject: Fw: FW: Marijuana facility at 23 Jayar Road in Medway, MA

[EXTERNAL]

Good morning, Chris.

See email with attachment from Jeff Komrower at Noise Control Engineering in response to your email questions.

Thanks for your help.

Happy almost New Years!

Susy

Susan E. Affleck-Childs
Town of Medway
Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

From: Jeff Komrower <jeffk@noise-control.com>
Sent: Sunday, December 27, 2020 5:19 PM
To: Jason Reposa <jason@getgoodfeels.com>
Cc: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: FW: Marijuana facility at 23 Jayar Road in Medway, MA

Hi Jason,

Attached please find a revised memo based on some of the comments that were received by Susan Affleck-Childs by Chris Menge at HMMH. I'll address these as they were addressed in the revised memo:

1. The overall A-weighted values in the Town of Medway tables are not mixed up with the unweighted values – the overall unweighted value is not presented in the Table. Similarly, in the original table presented, the overall unweighted values were not presented. To avoid confusion, I did present both values in the final table in the revised document. I did notice, however, in the original table that there was a mistake in the calculated A-weighted overall levels – they were actually lower than presented.
2. Based on the location of the HVAC unit on the roof and the location of the property lines, it is not expected that there would be ANY significant contribution due to rooftop or ground reflections. However, to take the conservative approach, I did use the hemispherical spreading calculation in the revised calculations as suggested by Chris Menge. The values are still well below the town specifications.

3. Originally, based on the intent of the ordinances, and since there is only woods and nothing else beyond the North property line, I calculated the noise levels at the property line to the closest abutter where any high noise levels would be an issue. However, yes, technically these noise levels should be calculated at the closet property line, which is the North property line as pointed out by Chris. So, in the revised memo, I calculated for both these property line. The values are still well below the town specifications even at the closet property line.

Please let me know if you have any questions. Thanks!

Best regards,

Jeff

Jeffrey M. Komrower

Noise Control Engineering, LLC

978-584-3026 (direct line)

410-960-9243 (mobile)

www.noise-control.com

From: Jason Reposa <jason@getgoodfeels.com>

Sent: Tuesday, December 22, 2020 1:26 PM

To: Jeff Komrower <jeffk@noise-control.com>

Subject: Fwd: FW: Marijuana facility at 23 Jayar Road in Medway, MA

Hi Jeff,

Can you take a look at this?

Thanks,

Jason

----- Forwarded message -----

From: Susan Affleck-Childs <sachilds@townofmedway.org>

Date: Tue, Dec 22, 2020 at 11:53 AM

Subject: FW: Marijuana facility at 23 Jayar Road in Medway, MA

To: Jason Reposa <jason@getgoodfeels.com>

Cc: Jeff Komrower (jeffk@noise-control.com) <jeffk@noise-control.com>, Andy Rodenhiser <andy@rodenhiser.com>

Hi Jason,

See note below received this morning from our noise consultant, Chris Menge, at HMMH. He has some preliminary comments and questions on the noise information provided.

Please authorize Jeff Komrower to provide additional information and/or reach out directly to Mr. Menge to discuss.

Thanks.

Susy

Susan E. Affleck-Childs

Planning and Economic Development Coordinator

Town of Medway

155 Village Street

From: Christopher Menge [mailto:cmenge@hmmh.com]
Sent: Tuesday, December 22, 2020 11:03 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: RE: Marijuana facility at 23 Jayar Road in Medway, MA

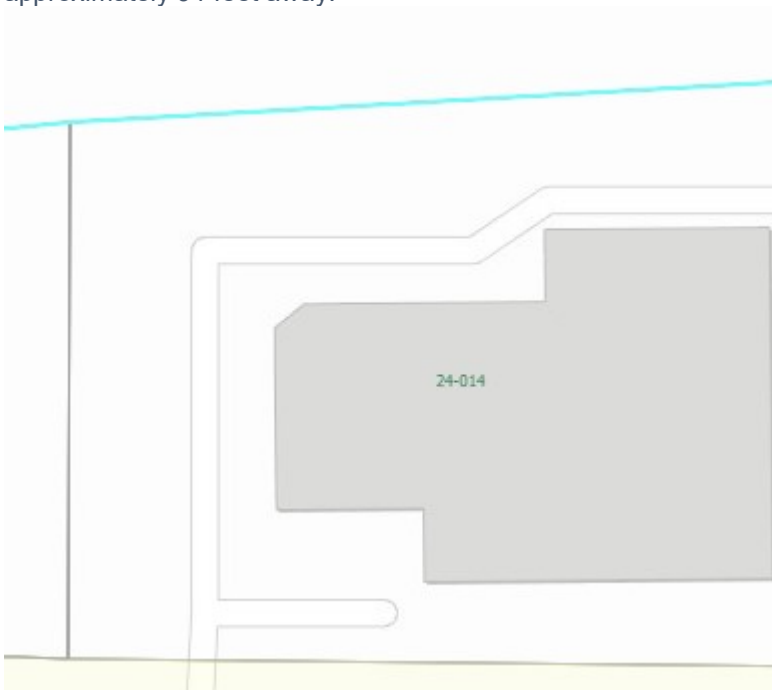
Hello Susan,

In my preliminary review of the NCE report, I've found three issues that I think you should have them address in a revised report prior to my formal review.

The first is that they have mixed A-weighted octave band values for the sound power levels and predicted sound pressure levels with the un-weighted octave band limits that the town has. I determined this via adding the octave band energy values and comparing with the stated A-weighted values.

Another issue is that to determine the sound levels at the property line, NCE used the equation for "spherical spreading" from the noise source. This assumption is not as conservative as "hemispherical spreading," which assumes sound reflection from the ground and/or building roof during sound propagation. We recommend using hemispherical spreading because such reflections will occur. Hemispherical spreading yields sound levels approximately 3 to 4 decibels higher, due to the reflection from the ground/rooftop.

Finally, NCE assumed that the property line at Jayar Rd. was the closest to the noise source. The existing noise standard specifies that the noise levels should be determined at the property line nearest to the noise source. We looked at the Town of Medway's parcel boundaries for 23 Jayar Rd in the Town's GIS system. An image of that parcel, its boundaries and the building's placement on the parcel is shown below. These boundaries suggest that the north property line is approximately 80 feet from the proposed location of the HVAC unit on the building, and the west property line is approximately 91 feet away.



Sincerely,

Chris

Christopher Menge, INCE

Sr. Vice President/Principal Consultant

HMMH

www.hmmh.com

○ 781.852.3153 | M 781.223.8944

cmenge@hmmh.com

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January 5, 2021

**Medway Planning & Economic Development Board
Meeting**

PEDB Meeting Minutes

- Revised DRAFT minutes of the 12-8-20 PEDB meeting

Tuesday, December 8, 2020
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio	Jessica Chabot
Attendance	X Remote	X Remote	X Remote	X Remote	X Remote	X Remote

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor’s Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance will be permitted at this meeting. Board members will attend the meeting via ZOOM. Meeting access for the public is provided via ZOOM for the required opportunity for public participation in a public hearing. Members of the public may watch the meeting on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

PRESENT VIA ZOOM MEETING:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland Recording Secretary
- Steve Bouley, Tetra Tech

PUBLIC COMMENTS:

- There were no public comments

Cottage Cluster Zoning:

The Board was introduced to Ella Wise, Senior Regional Planner with MAPC. Ella provided a Zoom presentation to the Board about cottage cluster zoning. (**See Attached.**) This is a component of the Living Little 2 project Medway is involved in with MAPC and the Towns of Medfield, Sherborn and Foxborough.

The purpose of this bylaw would be to provide a variety of smaller, more affordable housing Choices, including single family units, duplexes, and carriage houses. The intent is to provide housing for the needs of a diverse population. The design of the cottage cluster would provide a common open space to be shared by the neighbors. This would need a granting of a special permit for a cottage cluster for up to 8 units per acre in the AR-1, AR-11, and VR districts. This would require site plan review. The maximum unit size would be for a cottage 1,000 sq. ft., carriage house unit 800 sq. ft., and duplex 2,000 sq. ft. (for 2 units). The minimum lot frontage would be 50 ft. The maximum impervious coverage is 50%. The minimum distance between units is 12 feet. The setbacks from property would be 20 ft.

There were examples shown from the following communities: Concord, MA, Riverwalk; Cottage on Greene in E. Greenwich, RI; Bristol Crossing in Norfolk, MA; and Heritage Sands, Dennis, MA.

The site design requirements need to allow flexibility. A minimum of 75 % of the housing units in a cottage cluster must be developed within a cottage court. Each of the cottage courts shall have a minimum of 4 and a maximum of 16 dwellings units. The front door of every unit in a cottage court shall be oriented towards the abutting courtyard. In regard to parking, dwelling units less than 800 sq. ft. would be required to have a minimum of 1 space per unit, maximum of 1 space per unit. For those dwelling units greater than 800 sq. ft. there would be a minimum of 1 space per unit and maximum of 2 spaces per unit.

Ideas/Questions presented following presentation:

- Create some storage area for vehicles such as a carport instead of garage. Have some options for developers.
- Have a shed or place for bicycles/kayaks etc.
- A suggestion was made to not allow two car garages attached to the unit.
- If a garage is allowed, provide specific maximum dimensions.
- Who will maintain the grounds? Would there be common management?
- Is there a plan for a common swing set or amenities? There would be a common area space, but the specifics would need to be determined.

The Board is in receipt of a draft of the proposed cottage zoning bylaw received November 5, 2020 from MAPC. The revisions reflect comments from the four participating communities and comments from several cottage housing experts (developer, planner and architect) who have reviewed the previous draft of the document. Some definitions need to be added and special permit criteria for “cottage style” architecture should be included. It was also suggested to add illustrations or images of a carriage house. Another definition and images would be needed for “sense of place”. Language guiding the design of the accessory building would need to be included. Section 8.6 on affordable housing would also need to be amended to reference its applicability to cottage developments.

PUBLIC HEARING CONTINUATION: HARMONY VILLAGE MULTI-FAMILY DEVELOPMENT, SITE PLAN AND LAND DISTURBANCE PERMIT

The Board is in receipt of the following documents: (**See Attached**)

- Public Hearing Continuation Notice
- DRAFT Decision prepared by Susy Affleck-Childs with notes and comments offered by the applicant and project engineer.

Applicant Gary Feldman and project engineer Drew Garvin of Meridian Associates were present via ZOOM. The Board is in receipt of the draft decision for Harmony Village. The decision was reviewed.

The following are revisions to be made to the decision:

- Revision to change Harmony Estates to Harmony Village
- Language needs to be added that a leaching catch basin will be constructed at the end of the driveway to catch stormwater prior to entering Main Street. A waiver is no longer needed.
- Language for charging stations should be revised to specify that “charging station conduit will be installed in each of the garages for the 4 new units.
- Add updated deed and conveyance information to reflect the applicant as the current property owner.
- Page 12 Condition #7 – The draft indicates a waiver is needed from the tree replacement requirement. There was a tree inventory performed by Meridian Associates. Two 30” trees are to be removed during site preparation. The initial plan review memo from Gino Carlucci noted that there were more trees than required. The applicant feels they have met the requirements. Susy Affleck-Childs applied Medway’s scenic road tree replacement formula which results in the projects needing more landscaping to mitigate the tree removal than what is proposed. There was a suggestion to see if the Design Review Committee can meet to review the updated landscaping plan prior to the voting on the decision. Member Hayes noted that the formula applied is very rigorous and may not be suitable for tree removal on the interior of lots. He asked Susy to research alternatives.
- Throughout construction, the permittee shall be responsible for keeping the constructed stormwater drainage system in a clean and well-functioning condition. It was suggested that language be added about the required monitoring for the SWWPP and reports that need to be prepared and provided. Susy Affleck-Childs will ask Consultant Bouley for assistance with language and will also look at the standard language the Conservation Commission is including in the Land Disturbance Permits it issues.
- Susy Affleck-Childs will speak with DPW Director Dave D’Amico about language for the I & I requirement he wants included in the decision.
- There needs to be language included about snow removal whereby snow needs to be taken off site with excessive accumulation.

On a motion made by Bob Tucker, and seconded by Tom Gay, the Board voted by Roll Call to continue the hearing for Harmony Village to January 12, 2021 at 7:30 pm.

Roll Call Vote:

Matthew Hayes	aye
Bob Tucker	aye
Rich Di Iulio	aye
Andy Rodenhiser	aye
Tom Gay	aye

PUBLIC HEARING: Good Feels – Marijuana Special Permit:

The Chairman opened the public hearing for Good Feels.

On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted by Roll Call to waive the reading of the public hearing notice.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

The Board is in receipt of the following: (See Attached)

- Public Hearing Notice updated November 30, 2020
- Marijuana Establishment special permit application dated November 9, 2020
- Project Description received November 9, 2020
- Types of Products Manufactured
- Building Fit-Out Plans by Joe the Architect
- As-Built Plan of Land, dated November 3, 2020
- Host Community Agreement with the Town of Medway dated September 8, 2020
- Declaration of Ownership Affidavit dated November 9, 2020
- Memorandum dated November 6, 2020 from Attorney Adrienne Dean
- Good Feels Security Plan
- Memo dated November 5, 2020 from Jeff Komrower of Noise Control Engineering (on behalf of the applicant) re: noise generation
- Odor generation information
- Project review memorandum dated December 2, 2020 from Susy Affleck-Childs
- Email dated November 12, 2020 from Susy Affleck-Childs to Town staff and boards/committed requesting review comments.
- Review memo dated November 16, 2020 from Charles River Pollution Control District
- Consulting services proposal dated 12-1-20 from HMMH to review the noise aspects of the project for the Board.

The applicant, Jason Reposa, was present via ZOOM. He disclosed that Chairman Rodenhiser is a neighbor. The project team is Andy Klein, Security Expert, American Alarm; Alex Siekierski, Senior Project Manager for Joe the Architect; Brady Bankston, Popularis President; Adrienne Dean, attorney; and David Rabinovitz, Advisor.

Mr. Raposa provided a presentation to explain the project. (**See Attached**) The applicant proposes to use 1,896 sq. ft. of the existing commercial/industrial building at 23 Jayar Road (Map 24, Parcel 014) for the production and packaging of marijuana infused products for adult recreational use. A retail marijuana operation is not proposed for this site. This site is 1.374 acres and is located on the north side of Jayar Road in the East Industrial zoning district. There will be some interior renovations to the existing building to accommodate the proposed new use to create paces for storage, processing, offices, shipping and receiving. The facility will not include any cultivation, thus there will be no odors from growing or extracting marijuana. There will be minimal noise from external equipment. The internal noise is contained within

the building envelope. The site is in a discrete location at the back of an industrial park with minimal traffic. There will be a separate loading dock and staircase entry. There will be a total of 5-6 employees by 2022. The production room will be 500 sq. ft. There are no odor concerns since this is highly processed distillate oil. The marijuana smell has been boiled off at another facility before delivery of the oil to this establishment.

In regards to the noise, there will be two pieces of equipment outside, a residential scale HVAC unit on the roof and a back-up generator near the front entrance. The applicant supplied a written letter from Jeff Komrower of Noise Control Engineering confirming compliance with the Town's current and draft noise regulations. The site will have a dumpster from Lawrence Waste. The applicant next explained issues pertaining to groundwater and waste; the property is located in the groundwater protection district. There will be small containers of cleaning supplies from Ecolab. The staff will be trained with spill kits. The applicant spoke with Kristen Mucciarone, District Engineer of the Charles River Pollution Control District. She has provided a written communication indicating there is no issue with the wastewater coming from the establishment. The regular trash/waste will be placed into a locked dumpster from Lawrence Waste Services. The applicant does not see there being any issues with traffic. A security plan has been developed by the American Alarm Company. This will include strict identification requirements for building access along with badges, keycards, and commercial grade locks. There will also be external and internal video surveillance.

The state permit application was submitted to the MA Cannabis Control Commission in October 2020. It is the hope to begin the internal building construction in February 2021 with the provisional license granted in March 2021 and the final license granted May 2021. The production launch would be June 2021. The Board was made aware that the applicant has provided the standard \$500.00 advance of plan review funds for outside consultants. This will not be sufficient for outside noise and odor consultants. Estimates from Straughan Forensics (odor consultant) and HMMH (Noise consultant) were provided. Those quotes have been forwarded to the applicant. Susy Affleck-Childs recommended that the Board vote to hire both the odor and noise consultants and to increase the plan review fee charged to the applicant.

The hearing was opened for discussion.

There was a recommendation that the applicant provide a letter from a mechanical engineer to verify that there will be no odor dispensed into the air from the marijuana oil distillate to be used on the premises.

Selectman Glenn Trindade was present during the Zoom meeting and communicated that he thinks this is a great business for the town and is in support. He further indicated that the applicant is taking a vacant commercial space and making it a productive space.

A comment was brought up about the location of the air condenser unit on the roof and whether this will generate noise of concern. This will need to be reviewed.

Abutter John Lally was present during the Zoom meeting and he supports the application. He wants to make sure that the applicant meets all the requirements for the noise and odor performance standards and the recently proposed revised standards.

The Board agreed to hold a special meeting on January 5th to begin working on a decision. In the meantime, the applicant will secure a review of the odor of marijuana oil distillate from an engineer, Susy will ask outside consultant HMMH to review the equipment for noise compliance, and Mr. Reposa will provide additional funds for the outside consultants.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted by Roll Call to continue the hearing to January 5, 2021 at 7:00 pm.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to invoice the applicant for an additional \$800.00 for consultant services with the funds to be placed in the plan review revolving fund.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

ZBA Petitions:

The Board is in receipt of the following: **(See Attached)**

- 24 Broad Acres Farm Road – Accessory Family Dwelling Unit Special Permit
- 35 Milford Street – Parcel 1A- Two Family Special Permit
- 35 Milford Street – Parcel 2A – Two Family Special Permit

24 Broad Acres Farm:

This application is for an addition to the existing single-family dwelling to create an accessory family dwelling unit with access from main house/garage. The proposed AFDU exceeds 800 sq. ft. in area due to elderly parents with medical issues and the need for a second bedroom for them. The owner will be occupying the main dwelling. The AFDU is in the back of the house. The Board is not opposed to this application.

35 Milford Street:

This petitioner seeks permission to construct a 2-family building on each of the two newly created lots. The intent of this site has changed from the initial concept a few months back when the Board voted to endorse an ANR plan for the land split. At that time, the applicant indicated the intent to construct a single family home on each lot. Board members were concerned about vehicle access onto Milford Street and the incompatibility of two duplexes

with the neighborhood. The Board is opposed to this application. A letter will be provided to the ZBA.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to have a letter sent to the ZBA opposing this petition.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

PEDB MEETING MINUTES:

November 24, 2020:

On a motion made by Matt Hayes and seconded by Bob Tucker, the Board voted by Roll Call to approve the PEDB meeting minutes of November 24, 2020 as presented.

Roll Call Vote:

Bob Tucker	aye
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	abstained

November 18, 2020:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to approve the notes of the November 18, 2020 Central Business District Zoning Community Forum.

Roll Call Vote:

Bob Tucker	abstained
Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	abstained

CONSTRUCTION REPORTS:

The Board is in receipt of the following: **(See Attached)**

- November monthly report on Evergreen Meadow prepared by project engineer Ron Tiberi.
- Tetra Tech Construction reports 5, 6 and 7 for Marzilli Site Plan, 21 Trotter Drive

Consultant Bouley informed the Board that the site has been mobilized. The construction

controls have been established. The erosion controls are installed. The road has been rough graded to subgrade. The permit for water and sewer has been applied for. The Conservation Agent met with Consultant Bouley on site due to concerns about run off into the wetlands.

OTHER BUSINESS:

Millstone ARCPUD:

The Board will not release the performance guarantee until the punch list is completed. There are remaining items which the developer needs address. The future Condominium Association is working with the developer to make sure the items within the house punch lists are addressed. The applicant still needs to provide the as-built plan. The Board took no action on this.

FUTURE MEETING:

- Tuesday, January 5, 2020

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to adjourn the meeting.

Roll Call Vote:

Andy Rodenhiser	aye
Bob Tucker	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

The meeting was adjourned at 10: 25 pm.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



January 5, 2021

**Medway Planning & Economic Development Board
Meeting**

Construction Reports

- Project Engineer's Report on William Wallace Village from Dan Merrikin dated December 18, 2020
- Project Engineer's Report on Evergreen Village from Ron Tiberi dated December 31, 2020.



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

CONSTRUCTION INSPECTION REPORT

Date of Inspection: 12/15/2020

Time On-Site: 2:30pm

Weather: 30F, Sunny

Location: William Wallace Village, 274 Village Street, Medway, MA

Inspection By: Daniel J. Merrikin, P.E.

Date of Report: 12/18/2020

Observation Requested by: DTRT LLC

Medway Planning & Economic Development Board

Activity Summary:

At the time of inspection, construction activities were focused on underslab utility installation within Building 1.

Prior work that has been completed or is underway includes:

- Erosion control installation, including the construction entrance and temporary sediment basins
- Tree clearing and grubbing
- Demolition of some of the concrete slabs on the site
- Installation of gravel fill under some of the rear driveway area, adjacent to the existing dwelling

Erosion Controls:

Perimeter erosion controls were inspected and found to be in good condition, with the exception of some minor maintenance that was needed along the street frontage, although no erosion off-site was evident. The contractor was advised to reset the erosion controls along the street frontage. Two temporary sediment basins have been excavated and appear to be functioning well.

Recommended Improvements:


1. Maintain front perimeter erosion controls.
-





Progress Report

Project Details

Project name	Evergreen	
Location	22 Evergreen Road	Medway MA
Owner	Sampson Pond Development	Medway MA
Reporting period	11-1 thur 11-28 2020	
Report compiled by	Ron Tiberi P.E. 	9 Mass Ave Natick MA
Date inspected/ submitted	12/31/20	

Summary

Site contractor Mobilized; construction controls established. Erosion controls installed. Road rough graded to subgrade

Activities

Activity 1 Construction Controls

Status	Achieved
Objective	Layout & Construction controls set and Provided by Cheney Engineering
Activity dates	
Progress	Set- grade stakes & offsets access road
Comments	Sanitary Facilities on-site , No construction trailers

Activity 2 Erosion Controls

Status	Achieved
Objective	Erosion controls implemented and approved on site
Activity dates	
Progress	Completed & Maintained
Comments	

Activity 3 Access Road

Status	In progress
Objective	Subgrade, Base material installed to subgrade
Activity dates	
Progress	Partially completed 70%
Comments	

Activity 4 Water & Sewer Utilities

Status	Achieved
Objective	Sewer line and water lines connected at Evergreen and complete with stubs to end of access road
Activity dates	
Progress	Completed
Comments	

Activity 5 Building

Status	In Progress
Objective	Foundation area excavated; forms being installed
Activity dates	
Progress	Completed Excavation – Forms in progress at time of inspection
Comments	

Photographs

#1



Road to subgrade

#2



Sewer & utilities backfilled to subgrade

#3



Footings installed & forms being Installed