

**December 13, 2016
Medway Planning and Economic Development Board Meeting
155 Village Street
Medway, MA 02053**

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	X	X	X	X	X

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Steve Bouley, Tetra Tech Engineering

The Chairman opened the meeting at 7:03 p.m.

Tri Valley Commons Project Completion

The Board is in receipt of the following documents (**See Attached**):

- As Built Plan by Bohler Engineering (11-30-16)
- Tetra Tech sign off on as-built plan (12-5-16)
- Bohler Engineering Certification of project completion (12-6-16)
- Tetra Tech bond estimate \$161,679 (12-24-15)
- Tetra Tech email/inspection report (12-8-16)
- Series of emails re: drainage system (11/4/16 – 12/8/16)
- Endorsed site plan (9-8-15)
- Draft PEDB Certificate of Completion (12-12-16)
- Photos from Bridget Graziano dated (12-13-16)

The applicant Rich Landry was present. Tri Valley Commons has requested a Certificate of Site Plan Project Completion and release of performance security in the amount of \$161,679. The as built plan is complete. The taxes are also current.

The Board was made aware that the fencing on top of the retaining wall and some landscaping have not been completed. Mr. Landry indicated that there are three trees which need to be installed and he has not asked to be relieved of this item. Consultant Bouley indicated that there was work on the rip rap which was done as mitigation so that the silt would not go into the basin. Susy did call DPS about whether there were any issues with the site but has not heard back.

On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to approve the Certificate of Site Plan Completion for Tri Valley with the expectation that the shrubbery and trees need to be installed on the southern end of the detention area on Lot 2 by June 30, 2017.

Reduction of Bond:

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to reduce the bond amount for Tri Valley Commons to \$40,000.

The current property owner, Marianne Connaughton, informed the Board that irrigation is still not allowed. The developer trucked in water to maintain the landscaping. Member Tucker has an issue with the Town not allowing irrigation on private property when there are Town properties using irrigation. This is not consistent or fair.

The Board signed the Certificate of Site Plan Completion.

97 Winthrop Street ANR Plan:

The Board is in receipt of the following documents (**See Attached**)

- ANR Application for 97 Winthrop Street
- ANR Plan for Winthrop Street prepared by Douglas Design Group dated 12/6/2016.
- PGC review letter
- Revised plan dated December 6, 2016

The subject parcel is at the southwest corner of Lovering and Partridge Streets. The plan shows 5+ acres to be divided into three lots with one lot reserved for the existing house.

On a motion made by Bob Tucker and seconded by Rich Di Iulio, the Board voted unanimously to endorse the plan for 97 Winthrop Street upon receipt of the stamped Mylar.

Pine Ridge and Candlewood:

The Board is in receipt of the following documents (**See Attached**)

- Pine Ridge/Candlewood Inspection Report (12/8/16) Tetra Tech
- Updated Pine Ridge Bond Estimate (12/8/16) Tetra Tech - \$17,380
- DPS punch list from summer 2016
- Candlewood Drive/Island Road Bond Estimate (12/8/16) Tetra Tech (based on DPS punch list from summer 2016) - \$56,430
- 2006 drawing for emergency access way from definitive plan (9/6/2016)
- Bond estimate for Emergency Access Way (12-8-16) Tetra Tech - \$54,050.

The Board was made aware that Susy met with DPS Director Tom Holder, Tetra Tech Consultant Steve Bouley, Fire Chief Lynch and Conservation Agent Bridget Graziano to discuss Pine Ridge and Candlewood. The discussion was about how to redesign the original plan for the emergency access-way between Candlewood Drive and Island Road as shown of the approved Pine Ridge plan from 2006. Current standards require an upgrade to the design of the emergency access way to accommodate a 75,000 pound fire vehicle. This may involve construction of a box culvert under the access-way. This will need to be evaluated and determined during the design phase. This will require a filing with the Conservation Commission.

Consultant Bouley from Tetra Tech prepared preliminary cost estimates for the emergency access-way. This estimate included preparing a redesign and the permitting with the Conservation Commission.

The remaining funds in the bonds includes:

- Candlewood cash bond = \$38,682 (6-30-16)
- Pine Ridge cash bond = \$40,289 (6-30-16)

The bond amounts are not enough to cover the punch list items which totals \$127,860. The shortfall is \$48,889.00.

The Board did condition the Pine Ridge project with the requirement that the emergency access-way would be built. This should have been required to have been constructed early in the process.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the board voted unanimously to send a letter to the developer and attorney to begin the bond seizure process and to hold a public hearing on January 24, 2017.

Medway Gardens Site Plan Modification – Plan Endorsement

The Board is in receipt of the following documents (**See Attached**):

- Site Plan Modification Decision 11-8-2016.
- Revised site plan dated 11-30-16 by Civil Design Group per the site plan modification decision
- Certificate of No Appeal issued by the Town Clerk 11-30-16.

The members were made aware that all the items have been addressed and are in order. The taxes are current on the property. The date for completion of all site plan work is December 31, 2017.

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to endorse the site plan modification for Medway Garden.

Consultant Report:

Consultant Carlucci informed the board that there was a meeting about a proposed commuter rail route from Walpole to Gillette Stadium in Foxboro. There will be a study done of the proposed lines. There was also discussion about running some trains from Walpole to Boston as an express.

FY 2018 Budget:

The members are in receipt of the FY2018 proposed budget and following documents (**See Attached**)

- BOS FY18 Budget policy 2018
- PEDB budget synopsis (FY 13 – proposed FY18)

- Calendar for FY 18 Budget and May 2017 town meeting

Susy informed the members that she would like to add \$5,000 to the budget to have a consultant work on an addendum to the Design Review Guidelines to address municipal projects. The current Design Review Guidelines do not specifically address municipal projects. Susy also asked that some funding be put into the budget so she could be reimbursed for the expense of refreshments for various local meetings/gatherings sponsored by the PEDB.

There was also discussion about applying for technical assistance from MAPC for researching tiny houses and what is needed in relation to zoning, board of health standards and building code requirements.

Planning Coordinator's Report

- **Update on Affordable Housing Bylaw Revisions** - The town has been working with MAPC on revisions to the affordable housing bylaw. All the revisions will be submitted back to MAPC. There will be a presentation by MAPC to the Board of Selectman and the PEDB on January 10, 2017.
- The owners at the end of Kelly Street are looking at options for their land. It is expected that there will be a submittal for a three lot subdivision. It was suggested to have the potential applicant come in for an informal meeting.
- **Eversource Fencing** - There was an administrative site plan approval for the issuance of a new security fence for the Eversource power structures. However, that plan did not show that the footings go down 11 ft. This may need to be elevated to the PEDB for review.
- Exelon got approval from the Energy Facilities Siting Board but it has been appealed by the Conservation Law Foundation.
- **Salmon ARCPUD** - They now own property. It was recently conveyed from the Einis family. The Salmon folks had to bring in a partner for the financing.

Correspondence:

The Board is in receipt of the following documents (**See Attached**):

- MAPC Executive Director's report for October 2016.
- Medway Park Improvements Plan presentation by CBS Landscape Architects from the 12-6-16 meeting/public input session held by the Medway Evaluation of Parks, Fields and Recreational Area Committee (EPFRAC).

PEDB Meeting Minutes:

November 22, 2016:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the minutes from November 22, 2016 were unanimously approved.

Adjournment

On a motion by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 8:50 pm.

Respectfully Submitted,

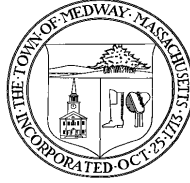
A handwritten signature in blue ink, appearing to read "Amy Sutherland".

Amy Sutherland
Recording Secretary
Compiled from video recording

Reviewed and edited by,

A handwritten signature in black ink, appearing to read "Susan E. Affleck-Childs".

Susan E. Affleck-Childs
Planning and Economic Development Coordinator



December 13, 2016

Medway Planning & Economic Development Board Meeting

Tri Valley Commons Site Plan Project **Completion & Request for Bond Release**

- As-Built Plan by Bohler Engineering (11-30-16)
- Tetra Tech sign off on as-built plan (12-5-16)
- Bohler Engineering certification of project completion (12-6-16)
- Tetra Tech bond estimate (12-24-15)
- Tetra Tech email/inspection report (12-8-16)
- Series of emails re: drainage system (11/4/16 – 12/8/16)
- Endorsed site plan (9-8-15)
- DRAFT Certificate of Completion

Tri Valley Commons has requested a Certificate of Site Plan Project Completion and release of the performance security (\$161,679 in the form of an insurance bond with Cincinnati Insurance Company). The above noted documents are provided for your review. I believe all issues related to the functioning of the stormwater system have been addressed to Tetra Tech's satisfaction. The as-built plan is complete. Taxes are current. However, there are a few items that have not been completed – fencing on top of the retaining wall and some landscaping. John Kucich of Bohler Engineering will attend the meeting; I am uncertain whether Rich Landry will be there.

- LEGEND
- 124 EXISTING CONTOUR
 - 125 EXISTING SPOT ELEVATION
 - X 121.45 EXISTING TOP OF CURB ELEVATION
 - X G 122.85 EXISTING GUTTER ELEVATION
 - X TW 123.45 EXISTING TOP OF WALL ELEVATION
 - X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
 - X FT 123.45 EXISTING FINISHED FLOOR ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC & TELEPHONE LINE
 - APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
 - APPROX. LOC. UNDERGROUND TELEPHONE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - UTILITY POLE
 - GUY WIRE
 - C/O CLEAN OUT
 - SIGN
 - BOLLARD
 - PAINTED ARROWS
 - UG UNDER GROUND
 - DC DEPRESSURE CURB
 - EOC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - (TYP) TYPICAL
 - DMH DRAINAGE/STORM MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - TMH TELEPHONE MANHOLE
 - UMH UNKNOWN MANHOLE
 - CB CATCH BASIN OR INLET
 - TRF TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DWP DETECTABLE WARNING PAD
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - PVC POLYVINYL CHLORIDE PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - ROOF DRAIN
 - GRAVEL
 - RIPRAP
 - UTO UNABLE TO OPEN

MAP 40, LOT 53
N/F LANDS OF
NAGOG KNOLL
REALTY TRUST
BK. 8372, PG. 317

MAP 40, LOT 49
N/F LANDS OF
FREIL REALTY II, LLC
BK. 2173, PG. 557

LOT 3
(PARCEL A AND PARCEL B COMBINED)
(PER REF #4)

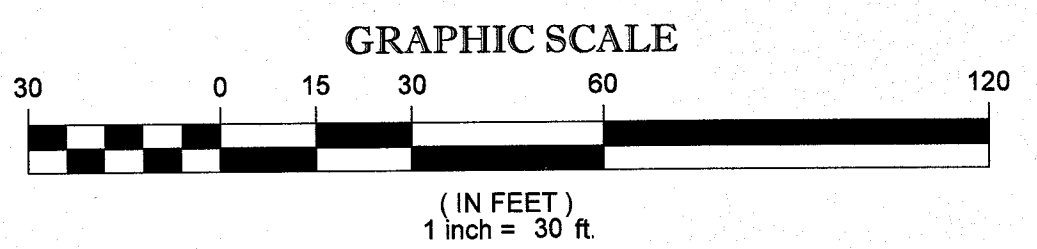
PARCEL A
(PER REF #4)

PARCEL B
(PER REF #4)

MAP 40, LOT 50
N/F LANDS OF
CHARLES RIVER BANK
BK. 13151, PG. 403

MAP 40, LOT 52
N/F LANDS OF
NAGOG KNOLL
REALTY TRUST
BK. 8372, PG. 317

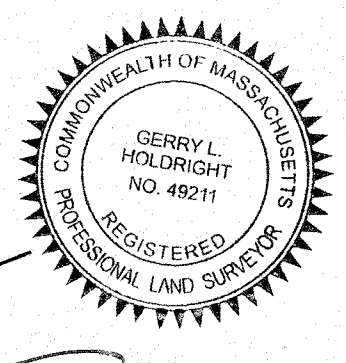
MAIN STREET
(A.K.A. ROUTE 109)
(ASPHALT ROADWAY)



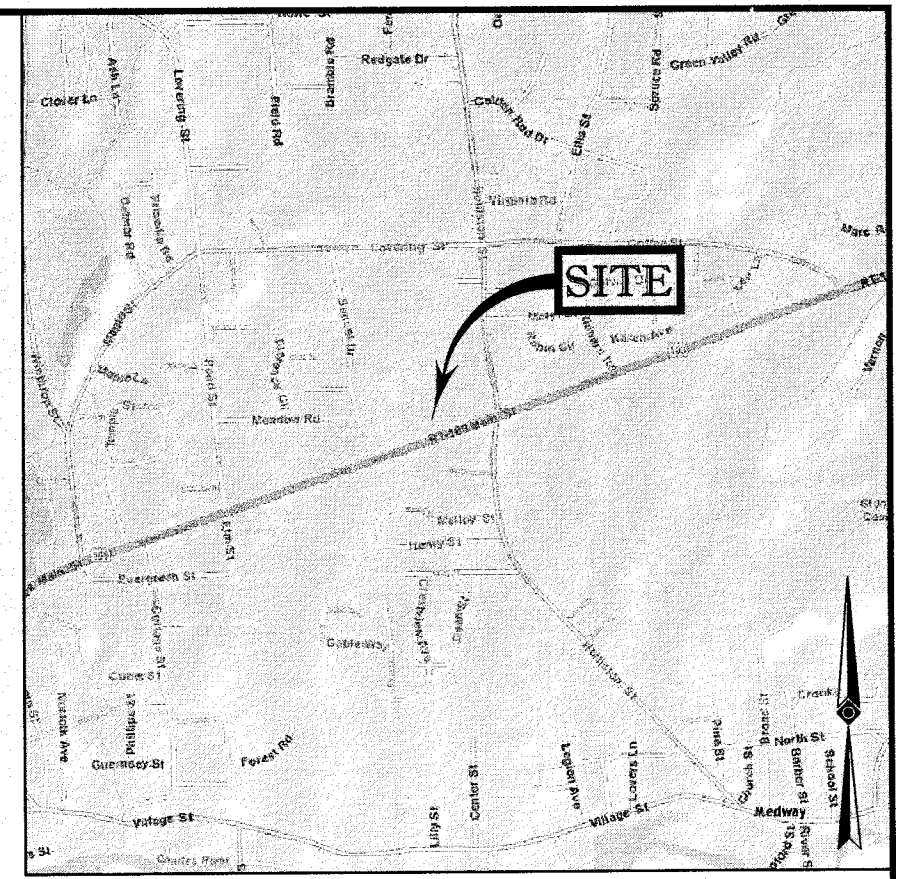
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



DATE 11-30-16



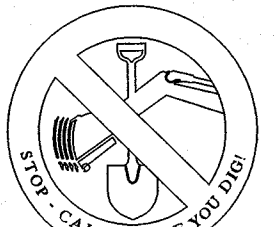
LOCUS MAP
©2013 ESRI WORLD STREET MAPS

- NOTES:
- PROPERTY KNOWN AS LOT 51 AS SHOWN ON THE TOWN OF MEDWAY, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS, ASSESSORS MAP NO. 40.
TOWN OF MEDWAY ASSESSORS DEPARTMENT HAS NOT BEEN UPDATED SINCE THE RECORDING OF THE SUBDIVISION PLAN DATED JULY 27, 2015.
 - AREA= LOT 1 - 64,257 SQUARE FEET OR 1.475 ACRES
LOT 2 - 35,463 SQUARE FEET OR 0.814 ACRES
LOT 3 - 129,498 SQUARE FEET OR 2.914 ACRES
TOTAL = 209,218 SQUARE FEET OR 4.803+ ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. EVIDENCE OF IRRIGATION SYSTEM IN PLACE. NOT FIELD VERIFIED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - ELEVATIONS REFER TO BENCHMARKS ESTABLISHED ON SITE AND PROVIDED TO CPA BY DIXON CONTRACTING, INC.
- TEMPORARY BENCHMARK MARKS SET:
- TBM-A: SPIKE IN NORTHERN SIDE OF MAIN STREET. ELEVATION=259.54
TBM-B: SPIKE IN SOUTH WEST SIDE OF PROPERTY. ELEVATION=271.55
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
 - TOWN OF MEDWAY ASSESSORS DEPARTMENT HAS NOT BEEN UPDATED SINCE THE RECORDING OF THE SUBDIVISION PLAN DATED JULY 27, 2015.
- REFERENCES:
- THE TAX ASSESSOR'S MAP OF MEDWAY, NORFOLK COUNTY, MASSACHUSETTS, SHEET #40.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, PANEL 143 OF 430", MAP NUMBER 25021C0143E, EFFECTIVE DATE: JULY 17, 2012.
 - MAP ENTITLED "SITE DEVELOPMENT PLANS, FOR PROPOSED THURKEN III, LLC, 'TRI VALLEY COMMONS', LOCATION OF SITE, 72 MAIN STREET, TOWN OF MEDWAY, NORFOLK COUNTY, MASSACHUSETTS, MAP 40, LOT 051", PREPARED BY BOHLER ENGINEERING, DATED JANUARY 9, 2015.
 - MAP ENTITLED "PLAN OF LAND IN MEDWAY, MASSACHUSETTS" PREPARED BY GUERRIERE & HANLON, INC., DATED JULY 27, 2015, RECORDED IN THE NORFOLK REGISTRY OF DEEDS IN BOOK 641, PAGE 82.
 - CONTRACTOR REDLINE PLAN PROVIDED BY DIXON CONSTRUCTION INC.

4	ROOF DRAINS ADDED	B.S.B.	R.D.N.	G.L.H.	11-30-16
3	UPDATED TOPOGRAPHY	B.S.B.	E.J.L.	G.L.H.	11-17-16
2	UPDATED TOPOGRAPHY	T.M.	J.M.B.	G.L.H.	10-24-16
1	UPDATED TOPOGRAPHY	B.S.B.	J.M.B.	G.L.H.	10-5-16
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE 4-15-16	RECORD SURVEY				
FIELD BOOK NO. N/A	TRI VALLEY COMMONS				
FIELD BOOK PG. N/A	72 MAIN STREET LOT 51, MAP 40 TOWN OF MEDWAY, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD CREW B.S.B.	CONTROL POINT ASSOCIATES, INC.				
DRAWN: J.M.B.	MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2699 CHALFONT, PA 215.712.2800 WARREN, NJ 908.668.0099				
REVIEWED: G.L.H.	APPROVED: G.L.H.	DATE 4-17-16	SCALE 1"=30'	FILE NO. 03-150090	DWG NO. 1 OF 1

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL PREPARED BY: GERRY L. HOLDRIGHT, PLS. NO. 49211. THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EIGENATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Monday, December 05, 2016 9:49 AM
To: Susan Affleck-Childs
Subject: RE: REVISED as-built plan for TVC

Hi Susy,

The plan dated April 15, 2016 and revised November 30, 2016 is ok as submitted. Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Monday, December 05, 2016 9:07 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: REVISED as-built plan for TVC

Hi Steve,

Please let me know if this revised as-built plan shows everything needed and satisfied TT.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: John Kucich [mailto:jkucich@bohlereng.com]
Sent: Thursday, December 01, 2016 1:56 PM
To: Bouley, Steven
Cc: Richard Landry; Reardon, Sean; Susan Affleck-Childs; Nathaniel E. Mahonen
Subject: RE: REVISED as-built plan for TVC

Hi Steve, I wanted to forward you an updated As-built for the site. All issues should have been addressed from your earlier comment including connecting the roof drains for the small overhang portion and adjusting the grade of the basin. Please let me know if you have any questions or need any additional information.

Thanks,
John

John Kucich, P.E. | Associate



352 Turnpike Road | Southborough, MA 01772
P: 508-480-9900 | M: 508-341-1837 | jkucich@bohlereng.com
www.BohlerEngineering.com

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From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Wednesday, November 16, 2016 9:39 AM
To: Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Richard Landry <rl@landryarchitects.com>; John Kucich <jkucich@bohlereng.com>; maryanneconnaughton@gmail.com; Reardon, Sean <sean.reardon@tetrattech.com>
Subject: RE: REVISED as-built plan for TVC

Hi Susy,

Please see attached review of the current As-Built for the site. I expressed these items to Bohler already who are working on correcting the issues now. They have completed grading out the top of the basin/emergency spillway to approved grades as well as placing the stone at the bottom of the basin. Once flows stop entering the basin they will begin measuring for actual draw down performance within its footprint. Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Friday, November 04, 2016 12:51 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: REVISED as-built plan for TVC

Hi Steve,

See revised as-built plan and a letter from Bohler dated 10-31-16 for your review.

I know we need to talk about budget, but wanted to send this along to you asap.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: John Kucich [<mailto:jkucich@bohlereng.com>]
Sent: Friday, November 04, 2016 10:49 AM
To: Susan Affleck-Childs
Subject: RE: as-built plan for TVC

Here you go. Please feel free to call with ?'s.
John

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Friday, November 04, 2016 10:24 AM
To: John Kucich <jkucich@bohlereng.com>
Subject: as-built plan for TVC

Hi John,

Just received the revised as-built plan for TVC. Please forward to me in electronic format.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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BOHLER
ENGINEERING

**352 Turnpike Road
Southborough, MA 01772
PHONE 508.480.9900**

December 6, 2016

Town Of Medway
Planning Board
155 Village Street
Medway, MA 02053

Attn: Susy Affleck Childs

Dear Board Members:

In accordance with the project approval dated June 23, 2015 and modified through August 11, 2015, please allow this letter to serve as our certification that the site work associated with the project (through the interim phasing plan) has been constructed in substantial accordance with the approved plans. This Certification is based on our review of an as-built survey prepared by Control Point Associates dated October 30, 2016 and multiple site observations conducted by Bohler Engineering where surficial features were observed and confirmed. As noted in the approval, we have enclosed six (6) copies of the as-built survey. Based on your review of the attached, we would respectfully request the Board issue a Certificate of Site Plan Completion to the Inspector of Buildings/Zoning Enforcement Officer and release any remaining performance security on the project.

Should you have any questions or need additional information please do not hesitate to call me at 508 480 9900.

Sincerely,

BOHLER ENGINEERING

John Kucich, P.E.

Cc: Richard Landry

**TETRA TECH**

**Bond Estimate
Tri-Valley Commons
Medway, Massachusetts**

December 3, 2015 (revised December 24, 2015)

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Top Course Pavement	0	TON	\$100.00	\$0
Raise Castings	0	EA	\$300.00	\$0
Bollards	13	EA	\$500.00	\$6,500
Concrete Mat	0	SF	\$8.50	\$0
Concrete Walk	0	SF	\$8.50	\$0
ADA Ramps	0	SY	\$80.00	\$0
Guiderail	0	LF	\$52.00	\$0
Chain Link Fence	319	FT	\$31.00	\$9,889
8' Wide Gate	1	LS	\$5,500.00	\$5,500
Trash Enclosure	0	LS	\$8,000.00	\$0
Retaining Wall	1	LS	\$40,000.00	\$40,000
Light Pole and Fixture	4	EA	\$2,000.00	\$8,000
Line Striping	1	LS	\$1,000.00	\$1,000
Monument Sign	1	EA	\$8,000.00	\$8,000
Signage	1	EA	\$300.00	\$300
Bike Rack	1	EA	\$1,000.00	\$1,000
Removable Planters	1	EA	\$1,500.00	\$1,500
Sitting Bench	1	EA	\$2,000.00	\$2,000
Transformer Pads	0	EA	\$500.00	\$0
Transformers (Electrical Installation)	1	LS	\$8,000.00	\$8,000
Trash Receptacle	2	EA	\$2,000.00	\$4,000
Remove Erosion Controls	1	LS	\$1,500.00	\$1,500
Rehandled Topsoil	0	CY	\$25.00	\$0
Seeding ³	4,530	SY	\$1.80	\$8,154
Landscape Walls	1	LS	\$10,000.00	\$10,000
Landscaping	1	LS	\$5,000.00	\$5,000
As-built Plans	1	LS	\$6,000.00	\$6,000
Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal				\$129,343
25% Contingency				\$32,336
Total				\$161,679

Notes:

1. Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 12/2014 - 12/2015. MassDOT pricing supplemented with pricing gathered from site contractor for non-MassDOT standard items.
2. Items included in this estimate were generated based upon Phase I only as shown on Sheet 5 of the approved plan set. Construction in Phase II of the project has not started as of this date.
3. Hydroseeding has been completed throughout this phase but has not yet germinated. TT recommends the PEDB keep seeding in the bond estimate until spring 2016 to determine if additional seeding is required at that time.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetratech.com>
Sent: Thursday, December 08, 2016 7:54 PM
To: Susan Affleck-Childs
Subject: RE: TVC
Attachments: IMG_8361.JPG

Hi Susy,

I visited the site this morning. The only item remaining is to plant the removable planter located adjacent to the electrical transformer (which by the looks of it is going to do absolutely nothing to screen that transformer, see photo). Chain link fence is also required adjacent to the retaining wall but not sure where the line is being drawn between the two phases. There may be a safety concern there with the height of the wall if people want to wander over there but I think it’s far enough away from any possible foot traffic that people should stay away. Let me know how you want to handle that, thanks.

Steve

From: Susan Affleck-Childs [mailto:sachilds@townofmedway.org]
Sent: Wednesday, December 07, 2016 11:34 AM
To: Bouley, Steven <Steven.Bouley@tetratech.com>
Subject: FW: TVC

Hi Steve,

Anything from Rich Landry/John Kucich on the updated stormwater data they were supposed to provide. Also, have you had a chance this week to visit the site and see if everything on the bond estimate list has been completed!?!?

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

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From: Susan Affleck-Childs
Sent: Wednesday, November 30, 2016 10:17 AM
To: 'Bouley, Steven'
Subject: RE: TVC

Great. Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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From: Bouley, Steven [<mailto:Steven.Bouley@tetratech.com>]
Sent: Wednesday, November 30, 2016 9:20 AM
To: Susan Affleck-Childs
Subject: RE: TVC

We have not, I will check in with them now.

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Tuesday, November 29, 2016 12:03 PM

To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: TVC

Hi Steve,

Have you received the additional stormwater information you had asked for from Rich Landry/John Kucich?

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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PMH25167

6815

150-340

WARNING
STOP

Susan Affleck-Childs

From: Reardon, Sean <sean.reardon@tetrattech.com>
Sent: Friday, December 09, 2016 8:21 AM
To: Bouley, Steven; Susan Affleck-Childs
Subject: RE: REVISED as-built plan for TVC - basin drainage

Susy, this appears to address our concerns while also validating what people are seeing following a storm event. Following are the key takeaway points:

- 1. Deviation in design/actual exfiltration rates is within the range of normal variability in these soils.
- 2. Design intent related to recharge is satisfied since the relationship of pre- vs post-recharge is maintained.
- 3. Pre- vs Post- peak rate mitigation is not affected since no credit was taken for exfiltration.
- 4. Standing water (at very shallow depths) should be expected for several days after rain event. It will typically take at least 24 hours after a rain event for all the runoff to get to the basin and another 3-4 days beyond that to draw down.
- 5. The 72-hour drawdown period is a design target and not a hard ceiling. Given the very slow infiltration rates and variability typical in D soils we would consider net performance of the TVC detention basin acceptable.

Feel free to ask any questions.

Sean

Sean P. Reardon, P.E. | Vice President
Direct: 508.786.2230 | Main: 508.786.2200 | Fax: 508.786.2201
sean.reardon@tetrattech.com

Tetra Tech, Inc. | Water, Environment and Infrastructure
Marlborough Technology Park | 100 Nickerson Road | Marlborough, MA 01752 www.tetrattech.com

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From: Nathaniel E. Mahonen [mailto:nmahonen@bohlereng.com]
Sent: Friday, December 09, 2016 8:05 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>; John Kucich <jkucich@bohlereng.com>; Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Richard Landry <rl@landryarchitects.com>; Reardon, Sean <sean.reardon@tetrattech.com>
Subject: RE: REVISED as-built plan for TVC - basin drainage

Steve,

Based upon the site observations the basin drains at a rate of approximately 2in/day or 0.08 in/hr. Per the Rawls table this equates to a D soil which was anticipated as discussed previously. Based upon this observed rate the basin will drawdown in approximately 94 hours per the below calculation.

1,499 CF / ((1/12)*0.08*2400 SF) = 94 HRS

Although as previously discussed this is not within the 72 hour drawdown time noted in the Stormwater Standards the site is comprised solely of D soils and based upon BMPs incorporated into the site design infiltration is being provided to the maximum extent practicable. Please let me know with any questions.

Thanks,

Nathan

Nathaniel E. Mahonen, P.E.



352 Turnpike Road | Southborough, MA 01772
P: 508-480-9900 | nmahonen@bohlereng.com
www.BohlerEngineering.com

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From: Bouley, Steven [mailto:Steven.Bouley@tetrattech.com]
Sent: Thursday, December 08, 2016 2:53 PM
To: John Kucich <jkucich@bohlereng.com>; Susan Affleck-Childs <sachilds@townofmedway.org>
Cc: Richard Landry <rl@landryarchitects.com>; Nathaniel E. Mahonen <nmahonen@bohlereng.com>; Reardon, Sean <sean.reardon@tetrattech.com>
Subject: RE: REVISED as-built plan for TVC - basin drainage

Guys,

I need a calculated “rawls” rate (K value from drawdown formula), that’s all. I cannot (and I shouldn’t be the one calculating this) reach a conclusion based on the information provided since we don’t have elapsed time since water stopped entering the basin as well as an elevation/area associated with the lines drawn on the stake. John, if you could please calculate and forward to me that would be ideal, thanks.

Steve

From: John Kucich [mailto:jkucich@bohlereng.com]
Sent: Thursday, December 08, 2016 1:28 PM
To: Susan Affleck-Childs
Cc: Bouley, Steven ; Richard Landry ; Nathaniel E. Mahonen
Subject: RE: REVISED as-built plan for TVC - basin drainage

Susy, following up our earlier conversation I’ve attached what Rich’s landscaper had provided. Per the attached, the basin is draining but at a slower rate as discussed. The letter refers to the catch basin (detention basin) draining in about 2” per day. As you know this is highly variable based on the storm intensity, when the water stops flowing into the system, and how saturated the bottom of the basin is. As another data point, I was on site this morning and the basin was dry. I hope this gets you the information you requested, but if not don’t hesitate to call. Absent a response I look forward to seeing you on the 13th at 7:00.

Thanks,
John



From: John Kucich
Sent: Monday, December 05, 2016 9:29 AM
To: 'Susan Affleck-Childs' <sachilds@townofmedway.org>
Cc: Steve Bouley <steven.bouley@tetrattech.com>; Richard Landry <rl@landryarchitects.com>
Subject: RE: REVISED as-built plan for TVC

Got it. Rich should have that information and can provide it.
Thanks

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Monday, December 05, 2016 9:20 AM
To: John Kucich <jkucich@bohlereng.com>
Cc: Steve Bouley <steven.bouley@tetrattech.com>; Richard Landry <rl@landryarchitects.com>
Subject: RE: REVISED as-built plan for TVC

Hi John,

Per Steve Bouley’s 12/1 email, he is looking for the final numbers for actual drawdown rates in the basin. You indicated that was forthcoming.

Susy Affleck-Childs

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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From: John Kucich [<mailto:jkucich@bohlereng.com>]
Sent: Monday, December 05, 2016 9:16 AM
To: Susan Affleck-Childs
Cc: Richard E. Landry JR (rl@landryarchitects.com)
Subject: RE: REVISED as-built plan for TVC

Thanks Susy. What additional data are you referring to and I'll be sure Rich provides it. I'm in the process of trying to get a walk with Bridget so I can file a Certificate of Compliance.

Thanks,
John

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Monday, December 05, 2016 9:11 AM
To: John Kucich <jkucich@bohlereng.com>
Subject: RE: REVISED as-built plan for TVC

Hi John,

Thanks for your note. I am in receipt of the revised as-built plan and await a final review from TT.

Also, we await the data referenced in the December 1st email, also for Tetra Tech's review.

What are you doing in terms of finalizing things with Conservation? I understand from Bridget that Rich has not yet filed an application for a Certificate of Compliance.

I need to check with the Treasurer's office on the status of taxes paid on the property.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
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sachilds@townofmedway.org

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From: John Kucich [<mailto:jkucich@bohlereng.com>]
Sent: Friday, December 02, 2016 1:34 PM
To: Susan Affleck-Childs
Cc: Richard E. Landry JR (rl@landryarchitects.com)
Subject: RE: REVISED as-built plan for TVC

Susy, I hope all is well. I wanted to confirm we're still good for the 13th and to confirm if you needed anything from us in advance?

Thanks,
John

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Wednesday, November 16, 2016 10:24 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Cc: Richard Landry <rl@landryarchitects.com>; John Kucich <jkucich@bohlereng.com>; maryanneconnaughton@gmail.com; Reardon, Sean <sean.reardon@tetrattech.com>; Bridget Graziano <bgraziano@townofmedway.org>
Subject: RE: REVISED as-built plan for TVC

Hi,

I spoke yesterday with Rich Landry. We agreed to hold off PEDB consideration of his request for a Certificate of Completion and bond release to the December 13th meeting.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway

155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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From: Bouley, Steven [<mailto:Steven.Bouley@tetrattech.com>]
Sent: Wednesday, November 16, 2016 9:39 AM
To: Susan Affleck-Childs
Cc: Richard Landry; John Kucich; maryanneconnaughton@gmail.com; Reardon, Sean
Subject: RE: REVISED as-built plan for TVC

Hi Susy,

Please see attached review of the current As-Built for the site. I expressed these items to Bohler already who are working on correcting the issues now. They have completed grading out the top of the basin/emergency spillway to approved grades as well as placing the stone at the bottom of the basin. Once flows stop entering the basin they will begin measuring for actual draw down performance within its footprint. Please let me know if you need anything else, thanks.

Steve

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Friday, November 04, 2016 12:51 PM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: REVISED as-built plan for TVC

Hi Steve,

See revised as-built plan and a letter from Bohler dated 10-31-16 for your review.

I know we need to talk about budget, but wanted to send this along to you asap.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

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From: John Kucich [<mailto:jkucich@bohlereng.com>]
Sent: Friday, November 04, 2016 10:49 AM
To: Susan Affleck-Childs
Subject: RE: as-built plan for TVC

Here you go. Please feel free toc all with ?’s.
John

From: Susan Affleck-Childs [<mailto:sachilds@townofmedway.org>]
Sent: Friday, November 04, 2016 10:24 AM
To: John Kucich <jkucich@bohlereng.com>
Subject: as-built plan for TVC

Hi John,

Just received the revised as-built plan for TVC. Please forward to me in electronic format.

Thanks.

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

Town of Medway – **A Massachusetts Green Community**

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Tucker Landscaping

Job Report

Attn: Direct Tire/Advanced Auto Parts

Re: Job Report
72 Main Street
Medway, Ma 02053

On November 14th, 2016 we were asked to drive a stake in the bottom of the catch basin at 72 Main St. Medway to measure the amount of water collected in that catch basin and how fast the water would drain after a rain event. On November 15th we received in the area of a 1" of rain throughout the day and into the evening hours.

November 16th at 10:30 am water was still at a very slow rate trickling out of the tubes feeding the catch basin but the first mark on the stake was made. The next day, November 17th water had completely stopped flowing into the catch basin and the second lower mark was made on the stake. The difference in water depth from the 16th-17th was approximately 1". On November 18th when we returned at 11:23 am the catch basin was completely dry, the difference in water depth from the previous day was approximately 2".

SITE DEVELOPMENT PLANS

FOR:
PROPOSED

THURKEN MEDWAY LLC

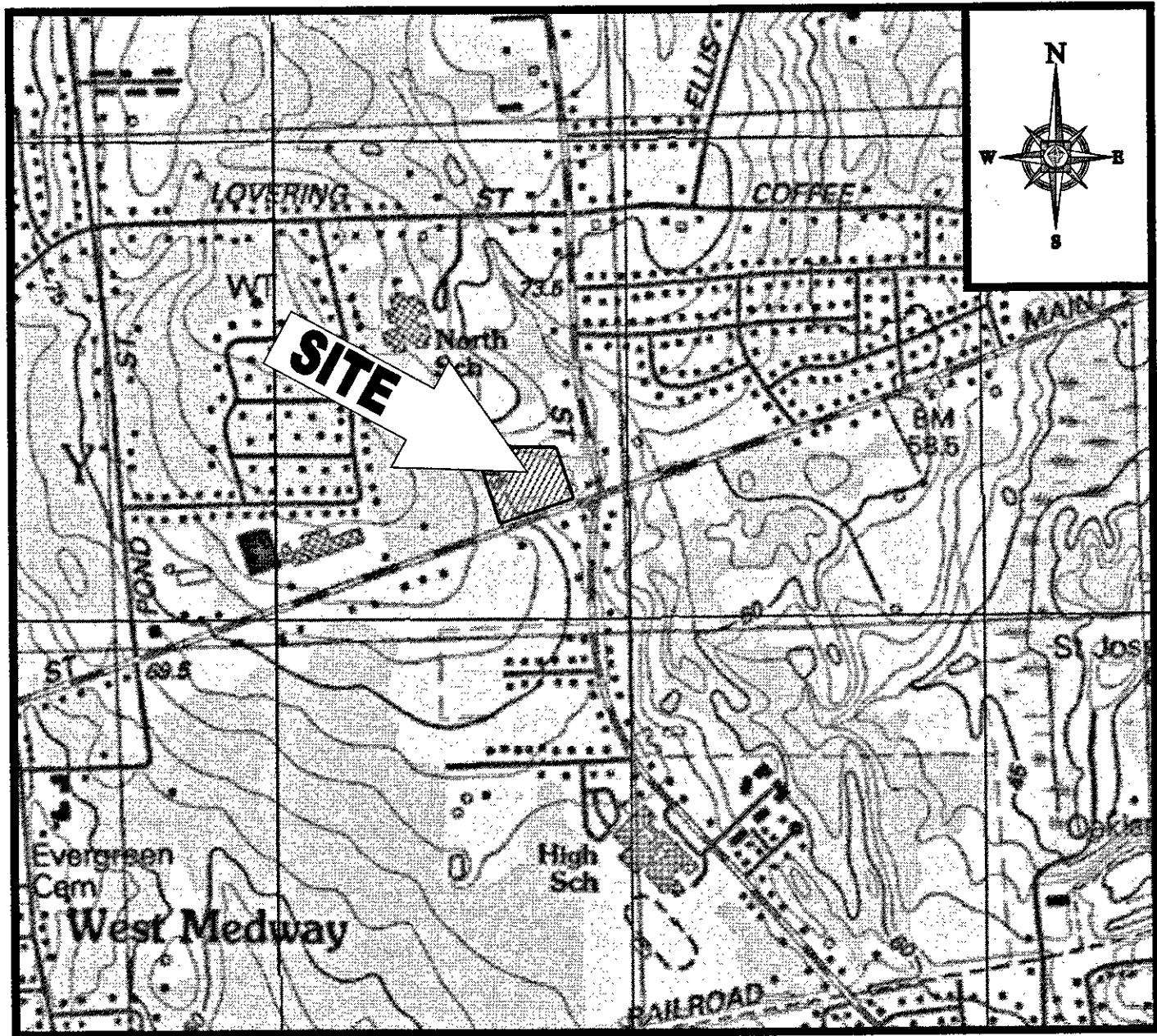
"TRI VALLEY COMMONS"

LOCATION OF SITE:

72 MAIN STREET, TOWN OF MEDWAY
NORFOLK COUNTY, MASSACHUSETTS

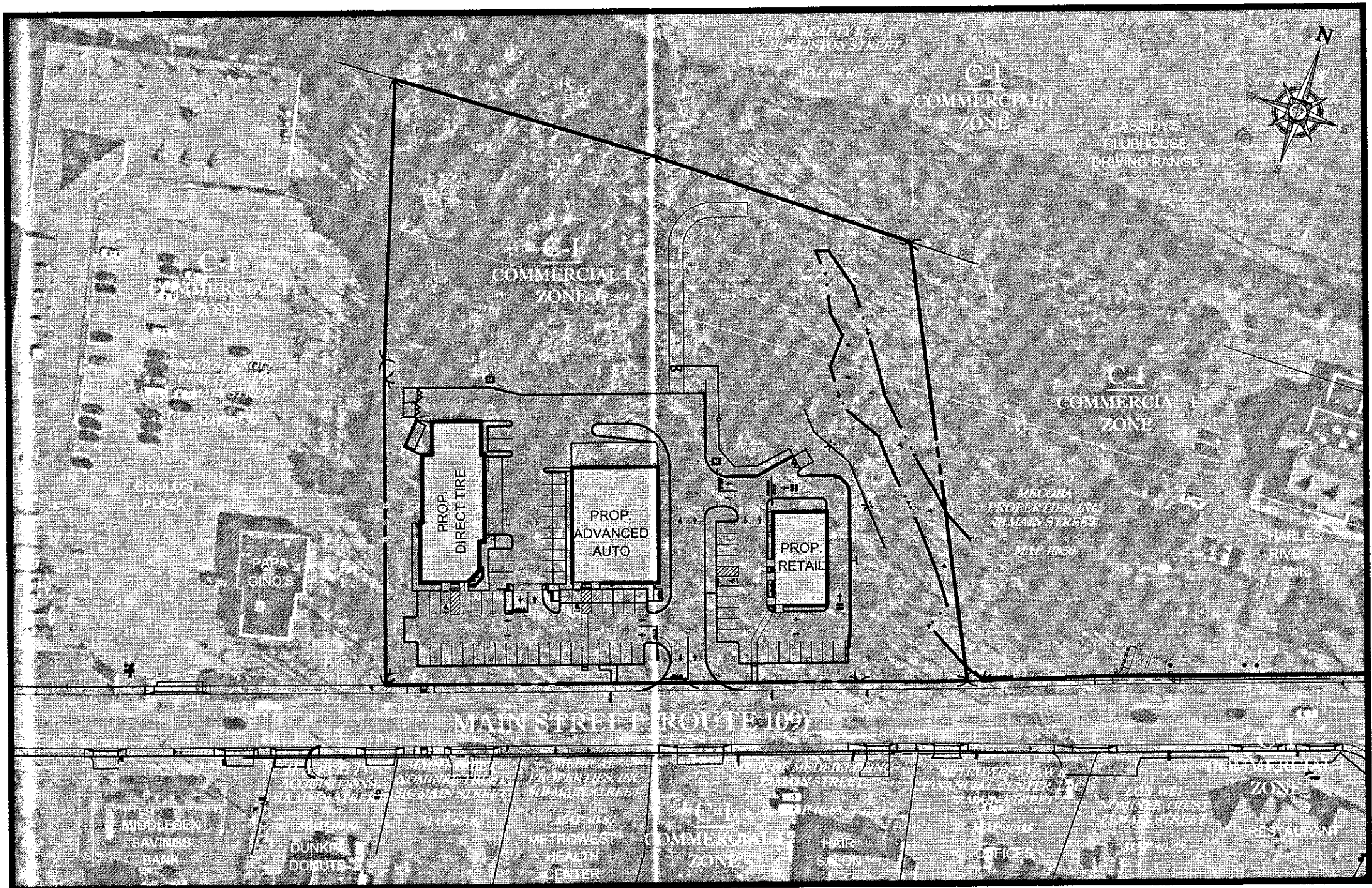
MAP 40, LOT 051

REVISED THROUGH : 9/4/15



LOCATION MAP

SCALE: 1"=100'
PLAN REFERENCE: MEDFIELD MASSACHUSETTS USGS QUADRANGLE



AREA PLAN

SCALE: 1"=100'

SHEET TITLE	SHEET NUMBER
COVER SHEET	1 OF 16
GENERAL NOTES SHEET	2 OF 16
DEMOLITION PLAN	3 OF 16
SITE PLAN	4 OF 16
PHASING PLAN	5 OF 16
GRADING & DRAINAGE PLAN	6 OF 16
UTILITY PLAN	7 OF 16
SOIL EROSION & SEDIMENT CONTROL PLAN	8 OF 16
SOIL EROSION CONTROL NOTES & DETAILS SHEET	9 OF 16
LANDSCAPE PLAN	10 OF 16
LANDSCAPE NOTES & DETAILS SHEET	11 OF 16
LIGHTING PLAN	12 OF 16
CONSTRUCTION DETAIL SHEET	13 OF 16
CONSTRUCTION DETAIL SHEET	14 OF 16
CONSTRUCTION DETAIL SHEET	15 OF 16
CONSTRUCTION DETAIL SHEET	16 OF 16
EXISTING CONDITIONS PLAN (BY OTHERS)	1 OF 1
ARCHITECTURAL ELEVATIONS (BY OTHERS)	A2.1
ARCHITECTURAL ELEVATIONS (BY OTHERS)	A2.2
ARCHITECTURAL ELEVATIONS (BY OTHERS)	A2.3
MASTER SIGNAGE PLAN (BY OTHERS)	A2.4

SHEET INDEX

PLANNING BOARD WAIVERS - APPROVED

204.5.C.3.....EXISTING LANDSCAPE INVENTORY
205.6.G.3.a.....10' X 20' PARKING STALLS DIMENSION REQUIREMENT
205.6.G.3.b.....WHEEL STOPS IN ALL PARKING STALLS BORDERING SIDEWALKS
205.9.F.....TREE REPLACEMENT REQUIREMENT
205.6.H.....VERTICAL GRANITE CURB

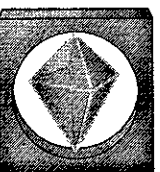
I, Maryanne White RECEIVED AND RECORDED
(TOWN CLERK MEDWAY CLERK)
FROM THE DEPARTMENT OF PLANNING AND ECONOMIC
DEVELOPMENT APPROVAL OF THIS PLAN AND NO APPEAL
HAS BEEN TAKEN FOR 20 DAYS AFTER RECEIPT THEREOF.
Maryanne White Sept 9, 2015
TOWN CLERK DATE

APPROVED DATE: 8-11-15
MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD
John J. White
John J. White
SIGNATURE DATE: 9-8-15
BEING A MAJORITY

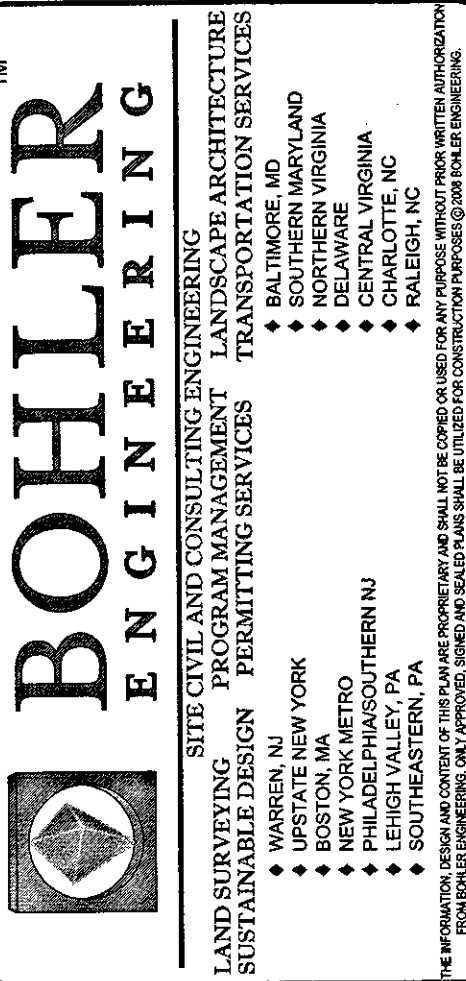
OWNER:
MECOBA PROPERTIES, INC.
70 MAIN STREET
MEDWAY, MA 02053

APPLICANT:
THURKEN MEDWAY, LLC
P.O. BOX 857
NEWCASTLE, NH 03854

PREPARED BY



BOHLER
ENGINEERING



REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLANNING BOARD ENDORSEMENT	EGD
7	07/14/15	PLAN MODIFICATIONS DIRECT THE TENANT	EGD
8	08/5/15	ADDED ANR PROPERTY LINES	EGD
9	09/4/15	PLANNING BOARD ENDORSEMENT	BPB
10			
11			
12			
13			
14			
15			

PLAN ENDORSEMENT

PROJECT No.: W141182
DRAWN BY: CFD/BPB
CHECKED BY: JAB/JAK
DATE: 1/9/2015
SCALE: AS NOTED
CAD I.D.: W141182SSD

PROJECT: **SITE DEVELOPMENT PLANS**
FOR
THURKEN MEDWAY LLC

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

J.A. KUCICH
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE NO. 4030
CIVIL ENGINE LICENSE NO. 2477
RHS ISLAND LICENSE NO. 1016
MASSACHUSETTS LICENSE NO. 4255

SHEET TITLE:
COVER SHEET
SHEET NUMBER:
1
OF 16
REV 9 - 09/4/2015

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "EXISTING CONDITIONS PLAN OF LAND", PREPARED BY GUERRIERE & HALON, INC., DATED 05/20/14.
- "CONCEPTUAL TRAFFIC IMPROVEMENT PLAN PREPARED BY ROLL MILLER AND ASSOCIATES, FILED "TWO-WAY LEFT TURN LANE ROUTE 109", DATED 12/22/14.
- "PLAN AND PROFILE OF MAIN STREET (ROUTE 109) 100% SUBMITTAL" PREPARED BY GREENMAN-PERSEN, INC.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/HIS HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

- ALL ACCESSIBLE (ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. & 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT OR MORE RECENT REQUIREMENTS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT, AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK OR REPAIRS DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADJUSTING WORK.

- CONTRACTOR MUST REFER TO THE ARCHITECTURAL BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

- DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND CONCRETE (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PAVEMENT, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RESURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.

- ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBSIDIARIES AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTINGENT LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBSIDIARIES FROM AND AGAINST ANY DAMAGES, LOSSES, CLAIMS, ACTIONS, LAWSUITS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREINAFTER.

- BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREINAFTER. BOHLER ENGINEERING'S SHOP DRAWINGS REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBSIDIARIES, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERE TO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTORS PRICE.

- ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUBSTITUTES.

- ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTORS FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAILS TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

- OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND DESIGN. OWNER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

- ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

- CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

- CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

- AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE PROFESSIONAL PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE AND IN ACCORDANCE WITH COMMON ACCEPTED PRACTICE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

- CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT OR DISCREPANCY BETWEEN THE DRAWINGS OR SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTORS FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

- THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

- THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, SLOPE, DOOR ACCESS, AND EXTERIOR SHADOWS. THE ARCHITECT IS TO DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY DISCONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHEN A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

- SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTON REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

- ALL FILL, COMPACTON, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTON MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTON AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

- THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

- PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE AND INSTALL NOTATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

- WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

- THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE GRADIENTS, BUT ISLANDS, OUTLETS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY SLOPE GRADIENTS, TO PREVENT IMMEDIATE IDENTITY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY HAVE COULD BE THE PUBLIC SAFETY OR BECAUSE OF THE PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS FEES AND THE LIKE WHICH RESULT FROM SAME.

- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF .075% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION OF SAME.

- REFER TO THIS SHEET FOR ADDITIONAL NOTES.

- IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

- CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

- WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREINAFTER. BOHLER ENGINEERING'S SHOP DRAWINGS REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS II WITH SALT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M224 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SLT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

- STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLE STRUCTURE TO CENTER OF STRUCTURE.

- STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

- SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

- SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

- WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (CIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

- CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

- WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT, DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNING AND CONSTRUCTING METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER, A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOODEGAS CAN BE ADRESSED.

- FOR SINGLE AND TWO-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SUMP ELEVATIONS ARE SCHEMATIC FOR GENERIC BUILDING FOOTPRINT, GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF SIX (6) INCHES BELOW AND OR SIX (6) INCHES BELOW SLOPE, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

- LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

- CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOVE OR UNDER THE PROPERTY.

MUNICIPALITY SPECIFIC NOTES

- PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM WORK.
- WATER AND SEWER WORK WITHIN THE RIGHT-OF-WAY SHOULD BE IN CONFORMANCE WITH THE TOWN OF MEDWAY WATER/SEWER REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.
- TRENCHING UNDER EXISTING ASPHALT IN THE RIGHT-OF-WAY WILL REQUIRE CONTROLLED DENSITY FILL AS BACKFILL MATERIAL.

GENERAL DEMOLITION NOTES

- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

EXISTING CONDITIONS PLAN OF LAND
70 MAIN STREET
MEDWAY MA
PREPARED BY: GUERRIERE & HALON, INC.
MILFORD, MA
052014

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

- CONTRACTOR MUST HAVE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

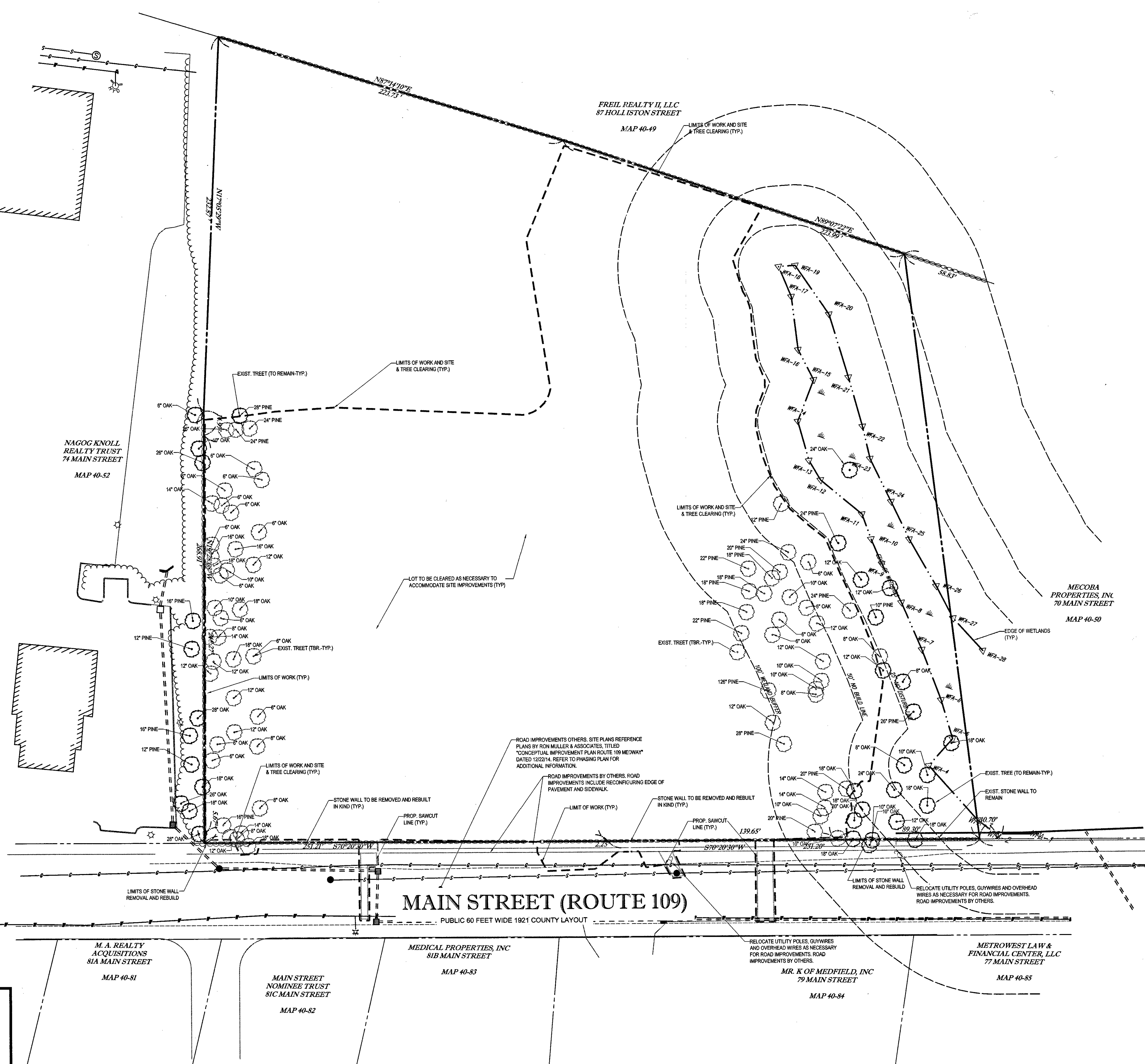
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:

- OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

- INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

- IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKING, IN ADVANCE OF ANY EXCAVATION.

- LOCATING AND PROTECTING ALL UTILITIES AND SERVICES,



. PUBLIC 60 FEET WIDE 1921' COUNTY LAYOUT

**METROWEST LAW &
FINANCIAL CENTER, LLC
77 MAIN STREET**

SHEET TITLE:


**DEMOLITION
PLAN**

SHEET NUMBER:

3

OF 16

REV 9 - 09/4/2015



BOHLERTM

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SITE CIVIL AND CONSULTING ENGINEERING

- LAND SURVEYING
- PROGRAM MANAGEMENT
- PERMITTING SERVICES

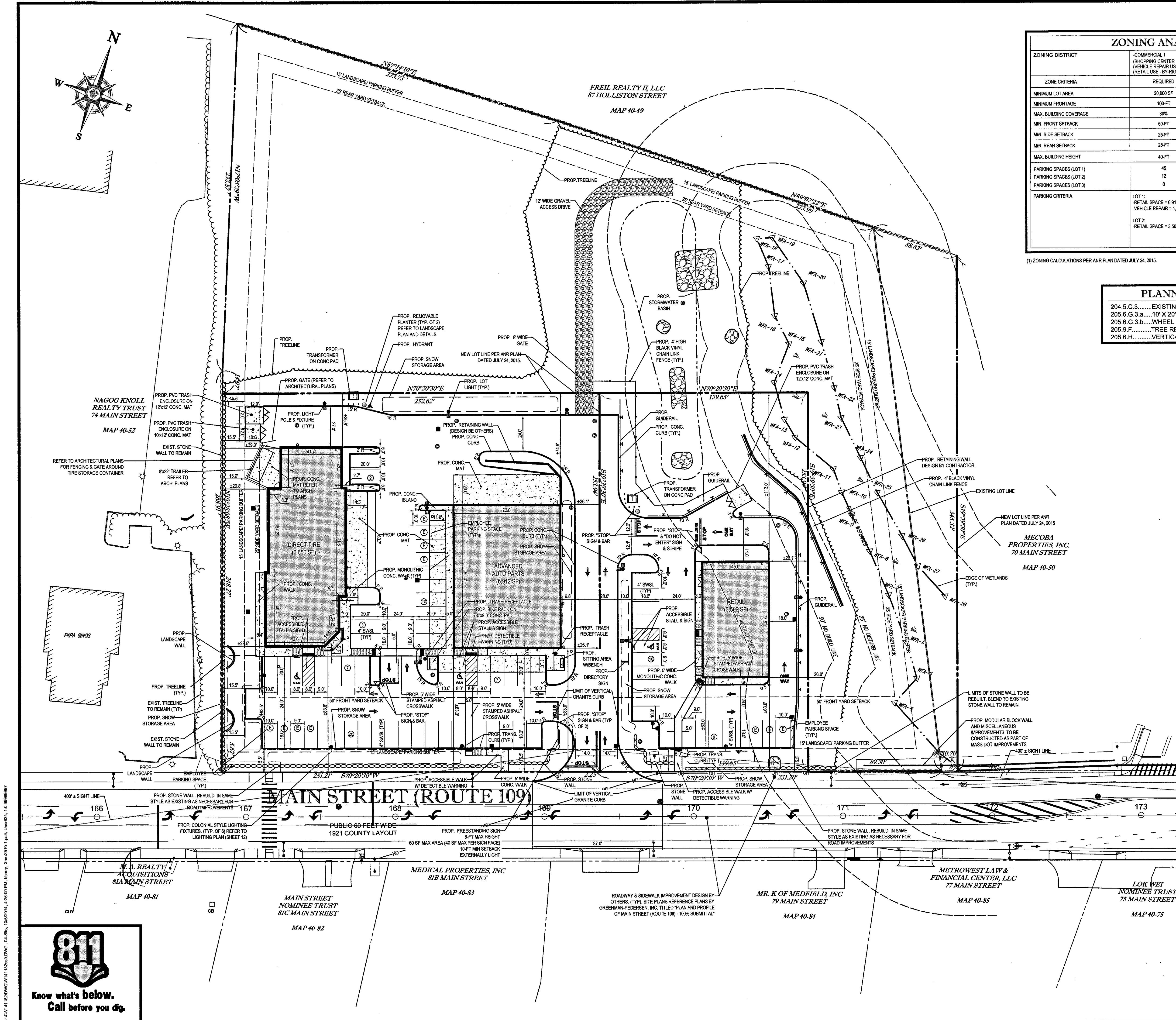
LANDSCAPE ARCHITECTURE

- TRANSPORTATION SERVICES
- SOUTHERN ARIZONA
- NORTHERN VIRGINIA
- CENTRAL VIRGINIA
- CHARLOTTE, NC
- PHILADELPHIA, PA

UPSTATE NEW YORK

- BOSTON, MA
- OTTAWA, ONTARIO
- PHILADELPHIA, SOUTHERN NJ
- LEHIGH VALLEY, PA

BOHLER ENGINEERING, A REGIONAL GROUP OF FIVE PRACTICES, HAS OFFICES IN BOSTON, MA; OTTAWA, ONTARIO; PHILADELPHIA, PA; LEHIGH VALLEY, PA; AND CHARLOTTE, NC. BOHLER ENGINEERING HAS BEEN A LEADER IN THE DESIGN AND CONSTRUCTION OF TRANSPORTATION PROJECTS FOR OVER 30 YEARS. CONTACT US TODAY TO DISCUSS YOUR PROJECTS. WE'LL BE GLAD TO HELP YOU WITH ANY PROJECT.



ZONING ANALYSIS TABLE (SEE NOTE 1)				
ZONING DISTRICT	REQUIRED	LOT 1	LOT 2	LOT 3
MINIMUM LOT AREA	20,000 SF	64,257 SF	35,463 SF	108,496 SF
MINIMUM FRONTAGE	100-FT	251.21-FT	139.65-FT	100.00-FT
MAX. BUILDING COVERAGE	30%	21.1%	9.9%	n/a
MIN. FRONT SETBACK	50-FT	±83.0-FT	±63.0-FT	n/a
MIN. SIDE SETBACK	25-FT	±26.1-FT	±26.0-FT	n/a
MIN. REAR SETBACK	25-FT	±35.8-FT	±113.0-FT	n/a
MAX. BUILDING HEIGHT	40-FT	< 40-FT	< 40-FT	n/a
PARKING SPACES (LOT 1)	45	40	-	-
PARKING SPACES (LOT 2)	12	-	19	-
PARKING SPACES (LOT 3)	0	-	-	0
PARKING CRITERIA	LOT 1: - RETAIL SPACE = 6,912 SF @ 1 SPACE/300 SF = 23.04 - VEHICLE REPAIR = 1,500 SF @ 8 BAYS @ 1 SPACE/800 SF AND 2 SPACE/BAY = 21 LOT 2: - RETAIL SPACE = 3,500 SF @ 1 SPACE/300 SF = 11.67			

(1) ZONING CALCULATIONS PER ANR PLAN DATED JULY 24, 2015.

PLANNING BOARD WAIVERS - APPROVED

204.5.C.3.....EXISTING LANDSCAPE INVENTORY
205.6.G.3.a.....10' X 20' PARKING STALLS DIMENSION REQUIREMENT
205.6.G.3.b.....WHEEL STOPS IN ALL PARKING STALLS BORDERING SIDEWALKS
205.9.F.....TREE REPLACEMENT REQUIREMENT
205.6.H.....VERTICAL GRANITE CURB

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SITE CIVIL AND CONSULTING ENGINEERING
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LANDSCAPE ARCHITECTURE
SUSTAINABILITY DESIGN
PERMITTING SERVICES

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SOUTH BOROUGH, MA 01772
PHONE: (508) 480-9900
FAX: (508) 480-9909
WWW.BOHLERENGINEERING.COM

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REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/08/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/18/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLAN MODIFICATIONS DIRECT TIRE TENANT	EGD
7	07/14/15	ADDED ANR PROPERTY LINES	EGD
8	08/05/15	PLANNING BOARD ENDORSEMENT	BPB
9	09/04/15		
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PLAN ENDORSEMENT

PROJECT NO.: W141182
DRAWN BY: CTD/BPB
CHECKED BY: JAB/JAK
DATE: 10/20/15
SCALE: AS NOTED
CAD I.D.: W141182SSS

SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

APPROVED DATE: 8-11-15
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
SIGNATURE DATE: 9-8-15
BEING A MAJORITY

LARGE ROCKS FOUND DURING CONSTRUCTION WILL BE USED AS LANDSCAPE FEATURES

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR NOTES

BOHLER ENGINEERING

352 TURNPIKE ROAD
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Phone: (508) 480-9900
Fax: (508) 480-9909
www.BohlerEngineering.com

J.A. KUCICH

PROFESSIONAL ENGINEER
MASSACHUSETTS
LICENSE NO. 10000
COMMITTEE LICENSE NO. 10000

SHEET TITLE:

SITE PLAN

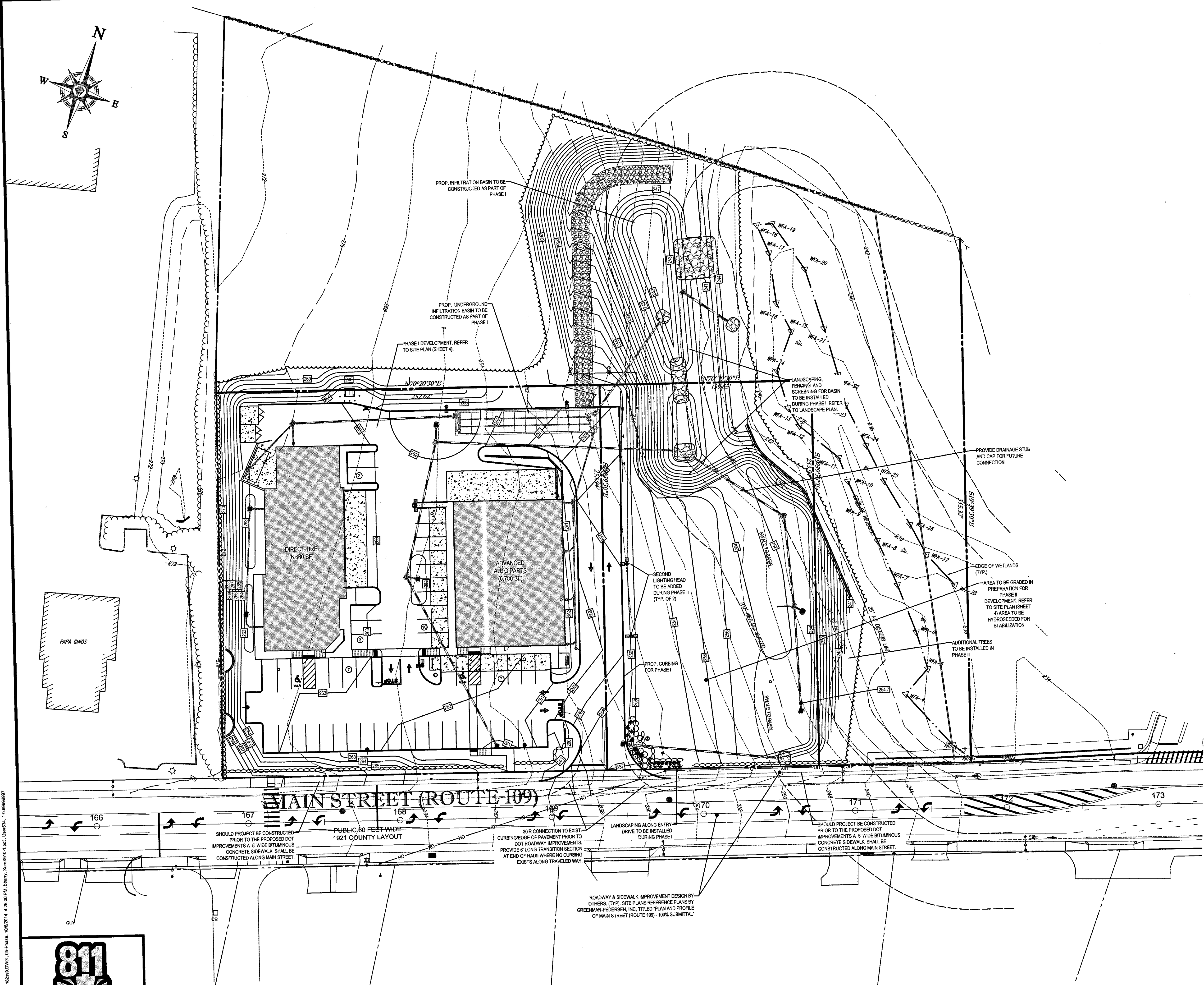
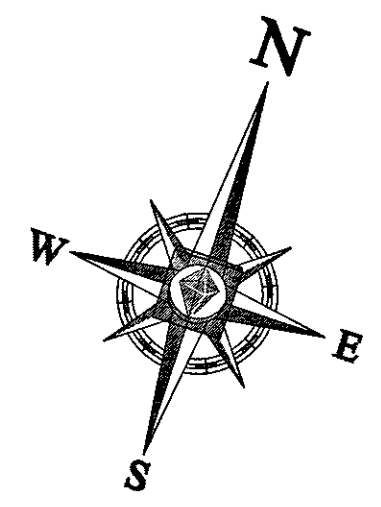
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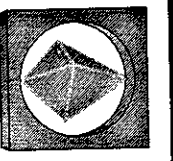
4
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REV 9 - 09/04/2015

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PERMITTING SERVICES
TRAIL SERVICES

MASSACHUSETTS
SOUTHERN NEW HAMPSHIRE
NEW JERSEY
NEW YORK
PENNSYLVANIA
RHODE ISLAND
VIRGINIA

CONNECTICUT
DELAWARE
DISTRICT OF COLUMBIA
FLORIDA
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MISSOURI
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NEW MEXICO
NEW YORK
NORTH CAROLINA
NORTH DAKOTA
OHIO
OKLAHOMA
OREGON
PENNSYLVANIA
RHODE ISLAND
SOUTH CAROLINA
SOUTH DAKOTA
Tennessee
Texas
Utah
Vermont
Virginia
Washington
West Virginia
Wisconsin
Wyoming

REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLANNING BOARD ENDORSEMENT	EGD
7	07/14/15	PLAN MODIFICATIONS DIRECT TIRE TENANT	EGD
8	08/05/15	ADDED ANR PROPERTY LINES	EGD
9	08/04/15	PLANNING BOARD ENDORSEMENT	BPB
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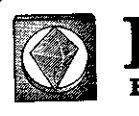
PLAN ENDORSEMENT

PROJECT NO.: W141182
DRAWN BY: CFD/BPB
CHECKED BY: JAB/JAK
DATE: 1/6/2015
SCALE: AS NOTED
CAD I.D.: W141182SS9

**SITE
DEVELOPMENT
PLANS
FOR**

**THURKEN
MEDWAY
LLC**

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

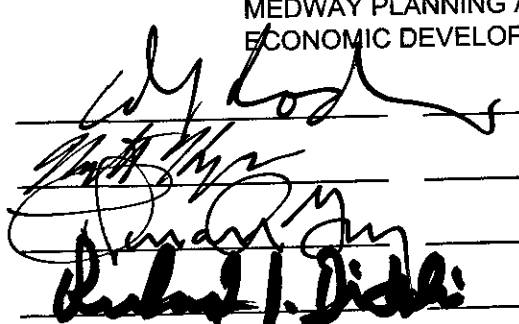
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J.A. KESSICH

PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE # 2677
REGISTERED PROFESSIONAL ENGINEER

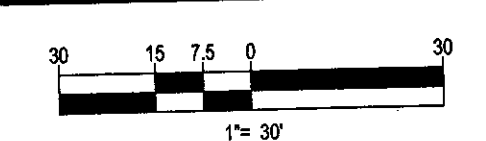
APPROVED DATE: **8-11-15**
MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD


SIGNATURE DATE: **9-8-15**
BEING A MAJORITY

REFER TO SITE PLAN, GRADING AND
DRAINAGE PLAN, AND UTILITY PLAN
FOR ADDITIONAL DESIGN
INFORMATION

THIS PLAN TO BE UTILIZED FOR
PHASING PURPOSES ONLY

REFER TO GENERAL NOTES
SHEET FOR NOTES



SHEET TITLE:

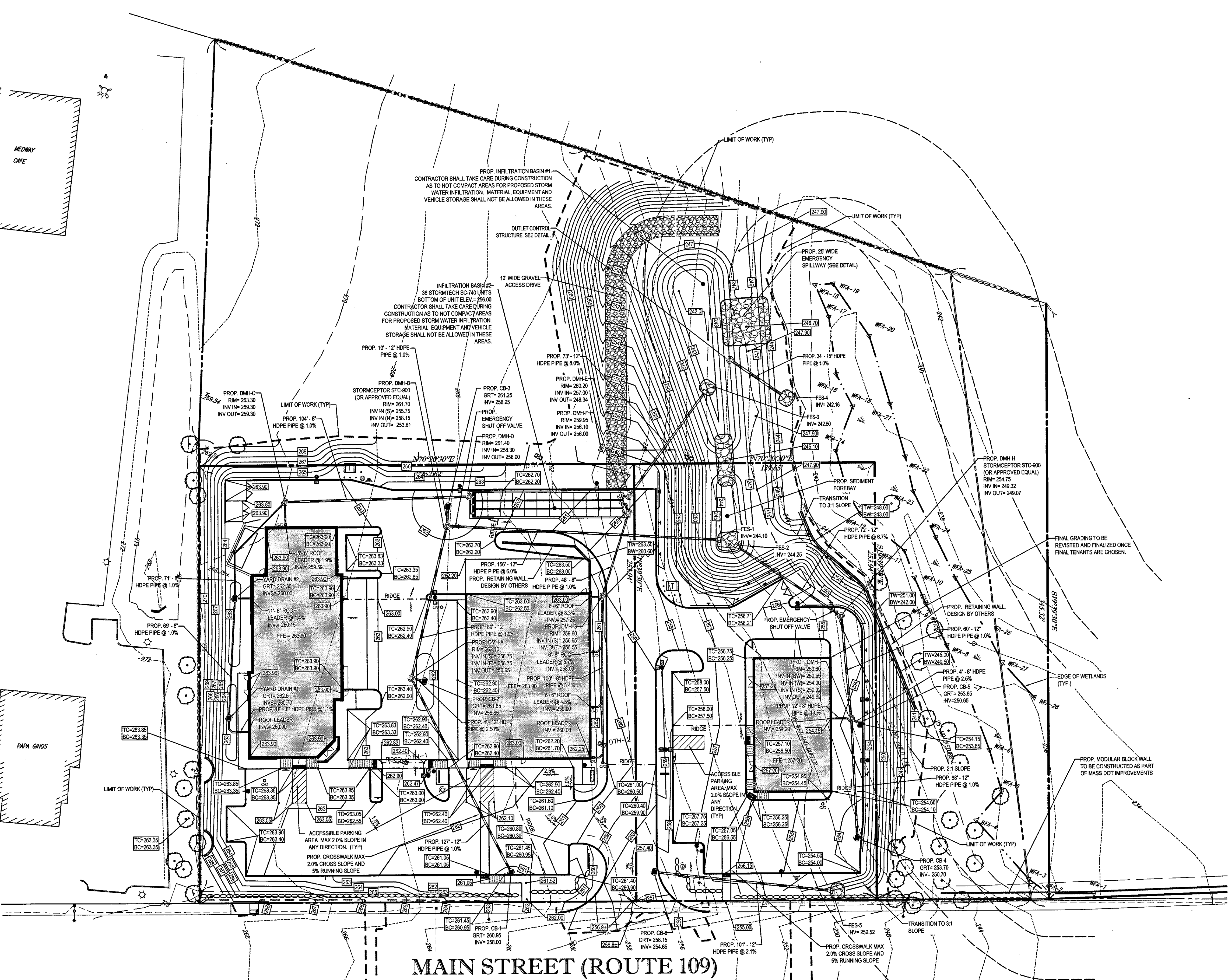
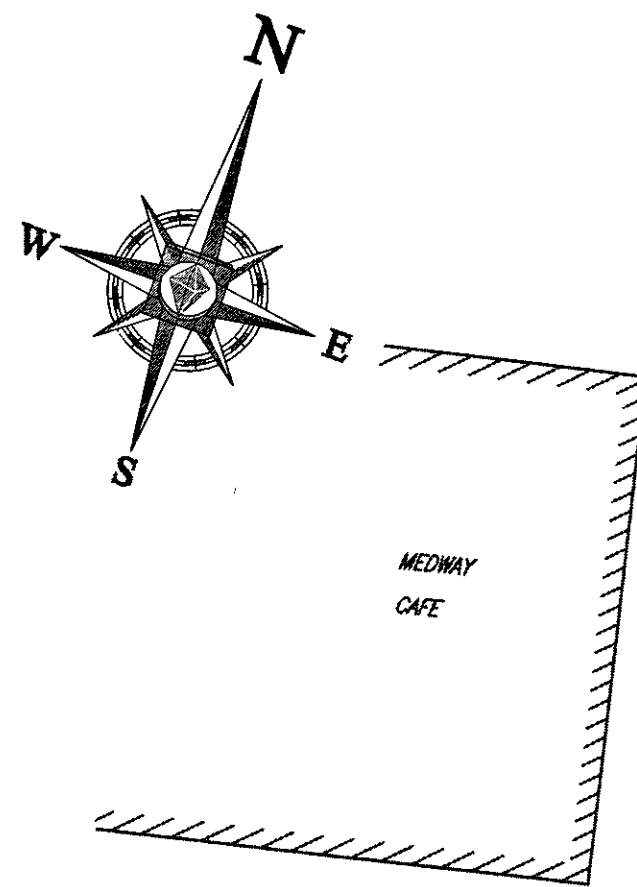
**PHASING
PLAN**

SHEET NUMBER:
5
OF 16

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MAIN STREET (ROUTE 109)

PUBLIC 60 FEET WIDE 1921 COUNTY LAYOUT



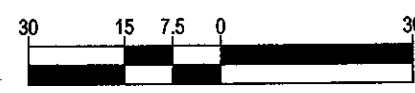
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APPROVED DATE: 8-11-15
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
[Signature]
SIGNATURE DATE: 9-8-15
BEING A MAJORITY

CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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SITE CIVIL AND CONSULTING ENGINEERING
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• CINCINNATI, OH
• CLEVELAND, OH
• DALLAS, TX
• DENVER, CO
• DETROIT, MI
• HOUSTON, TX
• KANSAS CITY, MO
• LOS ANGELES, CA
• MEMPHIS, TN
• MIAMI, FL
• MINNEAPOLIS, MN
• NEW YORK, NY
• PHILADELPHIA, PA
• PORTLAND, ME
• RICHMOND, VA
• SAN ANTONIO, TX
• SEATTLE, WA
• SPOKANE, ID
• TAMPA, FL
• WASHINGTON, DC
• WICHITA, KS
• WILSON, NC

REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEW
2	05/07/15	CON-COM SUBMITTAL	NEW
3	05/13/15	DRC COMMENTS	NEW
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEW
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
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9	09/15/15	PLANNING BOARD ENDORSEMENT	BPB
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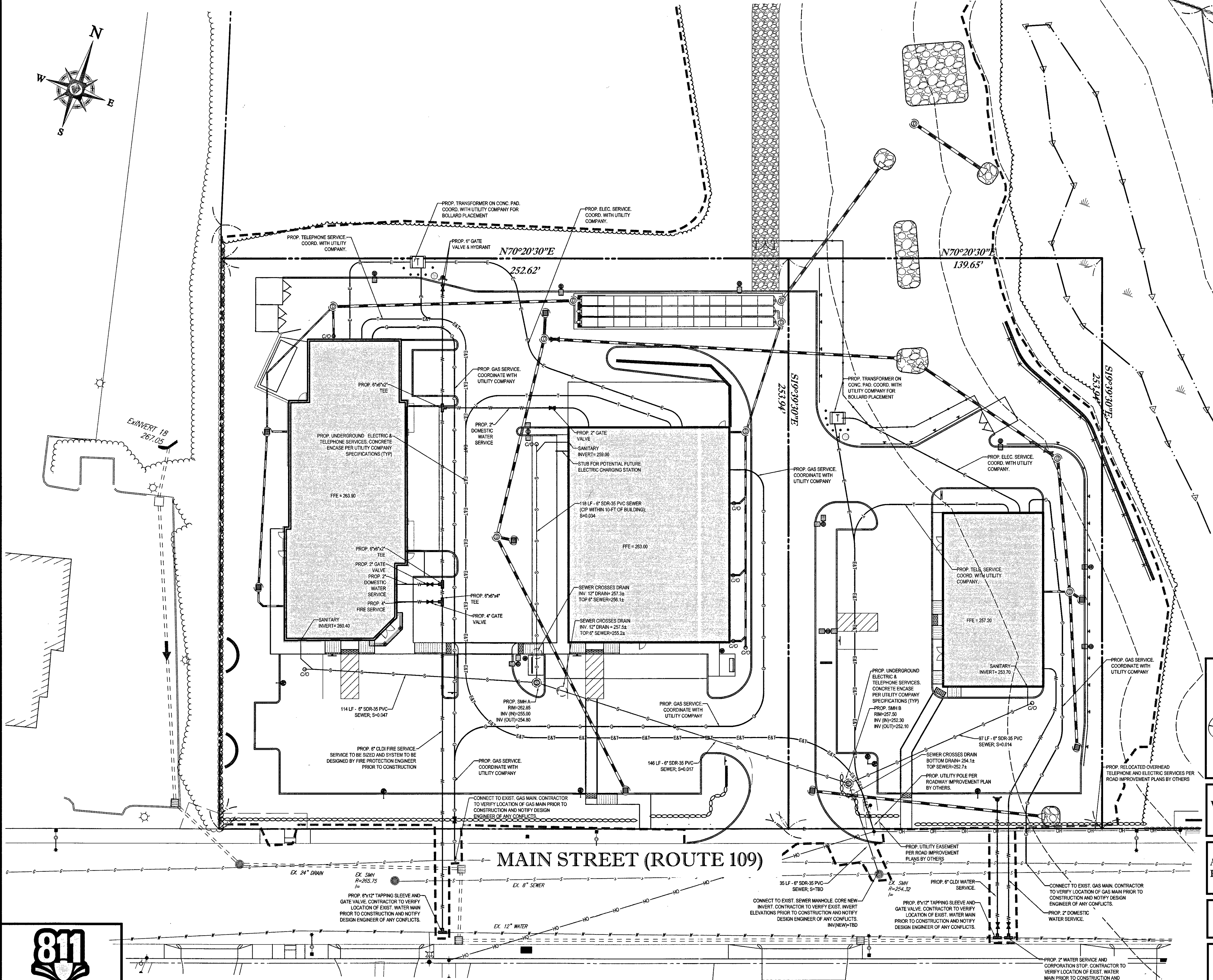
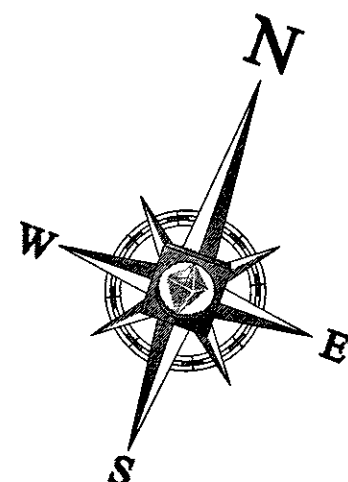
PLAN ENDORSEMENT
PROJECT NO.: W141182
DRAWN BY: CTD/SPB
CHECKED BY: JAB/JAK
DATE: 1/9/2015
SCALE: AS NOTED
CAD ID: W141182SSS

PROJECT: **SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC**
LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTH BOURN, MA 01772
Phone: (508) 480-9900
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www.BohlerEngineering.com

J.A. REICH
PROFESSIONAL ENGINEER
MASSACHUSETTS
LICENSE # 26176
EXPIRATION DATE 12/31/2015

SHEET TITLE: **GRADING & DRAINAGE PLAN**
SHEET NUMBER: **6**
OF 16
REV 9 - 09/14/2015



REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
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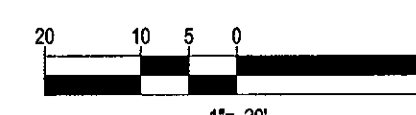
APPROVED DATE: 8-11-15
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
[Signature]
SIGNATURE DATE: 9-8-15
BEING A MAJORITY

CONTRACTOR SHALL COORDINATE WITH THE MEDWAY DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF WORK.

TRENCHING UNDER EXISTING ASPHALT IN THE RIGHT-OF-WAY WILL REQUIRE CONTROLLED DENSITY FILL AS BACKFILL MATERIAL.

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



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REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLANNING BOARD ENDORSEMENT	EGD
7	07/14/15	PLAN MODIFICATIONS DIRECT TIRE TENANT	EGD
8	08/05/15	ADDED ANR PROPERTY LINES	EGD
9	09/04/15	PLANNING BOARD ENDORSEMENT	BPB
10			
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14			
15			

PLAN ENDORSEMENT
PROJECT No.: W141182
DRAWN BY: CFB/BBP
CHECKED BY: JAB/JAK
DATE: 1/8/2015
SCALE: AS NOTED
CAD I.D.: W141182SS9

SITE DEVELOPMENT PLANS FOR
THURKEN MEDWAY LLC
LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS


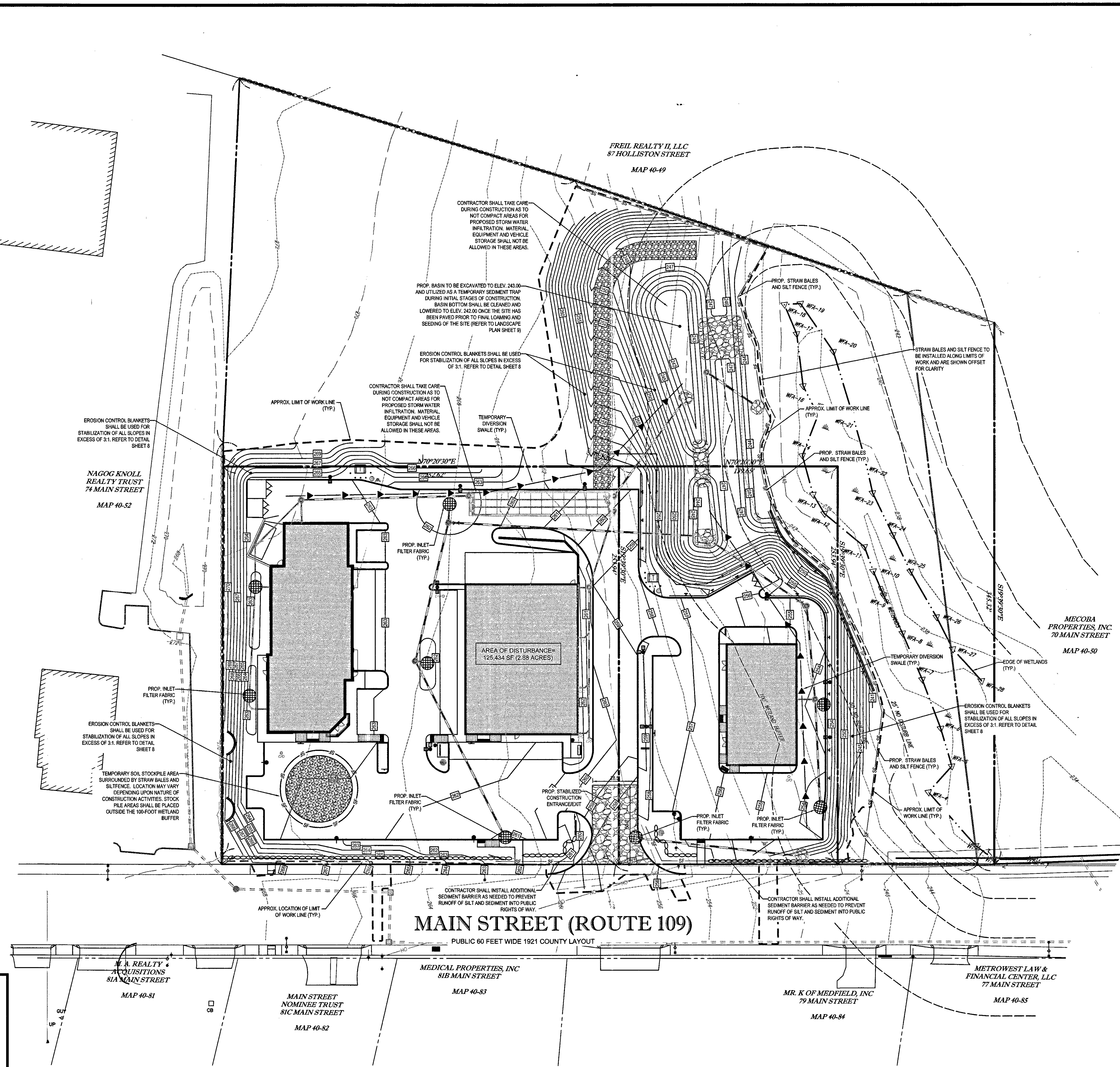
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J.A. KUCICH
PROFESSIONAL ENGINEER
No. 2630
State of Massachusetts

SHEET TITLE:
UTILITY PLAN
SHEET NUMBER:
7
OF 16
REV 9 - 09/04/2015

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6	07/10/15	PLANNING BOARD ENDORSEMENT	EGG
7	07/14/15	PLAN MODIFICATIONS DIRECT TIME TENANT	EGG
8	08/5/15	ADDED AIR PROPERTY LINES	EGG
9	09/4/15	PLANNING BOARD ENDORSEMENT	BPE
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PLAN ENDORSEMENT

PROJECT No.:	W141182SS9
DRAWN BY:	CFD/BPB
CHECKED BY:	JAB/JAK
DATE:	1/9/2015
SCALE:	AS NOTED
CAD I.D.:	W141182SS9

PROJECT: **SITE
DEVELOPMENT
PLANS
FOR**

THURKEN
MEDWAY
LLC

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS



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SHEET TITLE:

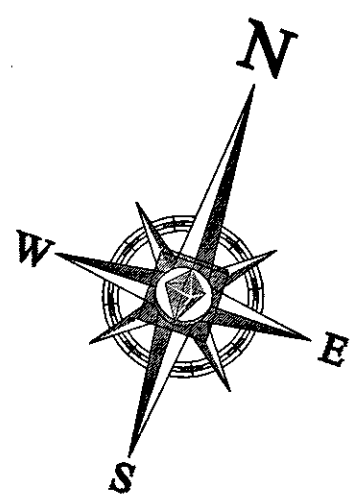
**SOIL EROSION
& SEDIMENT
CONTROL PLAN**

SHEET NUMBER:

8

OF 16

REV 9 - 09/4/2015



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE					
ARA	9	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG'S COLUMBIAN RED MAPLE	2 1/2" CAL	B+B
AROG	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	5" CAL	B+B
TGS	2	TILIA CORDATA 'GREEN SPIRE'	GREEN SPIRE LINDEN	2 1/2" CAL	B+B
QB	4	QUERCUS BOREALIS	NORTHERN RED OAK	2 1/2" CAL	B+B
QC	4	QUERCUS COCCINEA	SCARLET OAK	2 1/2" CAL	B+B
QP	4	QUERCUS PALUSTRIS	PIN OAK	2 1/2" CAL	B+B
EVERGREEN TREE					
PIAB	2	PICEA ABIES	NORWAY SPRUCE	20'	B+B
PS	6	PINUS STROBUS	EASTERN WHITE PINE	12-14'	B+B
PSF	13	PINUS STROBUS 'FASTIGIATA'	COLUMBIAN EASTERN WHITE PINE	18-20'	B+B
EVERGREEN SHRUB					
BMWG	20	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	18-24"	#3 CAN
IGS	86	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24-30"	#5 CAN
JHBH	73	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPREAD	#3 CAN
RM	20	RHODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHODODENDRON	3-4" HEIGHT	B+B
TOE	11	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	12" HEIGHT	B+B
DECIDUOUS SHRUB					
AAB	32	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	3-4'	B+B
PFG	4	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER BUSH CINQUEFOIL	18-24"	#5 CAN
RENH	17	RHODODENDRON X EXCURSION HYB. 'NORTHERN LIGHTS'	NORTHERN LIGHTS AZALEA	30-35"	#5 CAN
SBAW	28	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18-24"	#3 CAN
PERENNIAL					
PA	7	PENNETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER

TOWN OF MEDWAY LANDSCAPE REQUIREMENTS

SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
255-3 TREES AND LANDSCAPING	3) PERIMETER LANDSCAPING - PERIMETER LANDSCAPING SHALL BE PROVIDED AROUND ALL PARKING LOTS. C. PARKING AREAS - AT LEAST 1 DECIDUOUS TREE OF A MIN. OF 2 1/2" CAL. SHALL BE PROVIDED FOR EVERY 6 PARKING SPACES. ONLY TREES PROVIDING SHADE TO THE PARKING AREA SHALL BE COUNTED AS MEETING THIS REQUIREMENT. 66 SPACES / 6 = 11 TREES F. TREE REPLACEMENT - THE TOTAL DIA. OF ALL TREES OVER 10" IN DIA. THAT ARE REMOVED FROM THE SITE SHALL BE REPLACED WITH TREES THAT EQUAL THE TOTAL BREAST HEIGHT DIA. OF THE REMOVED TREES. THE REPLACEMENT TREES MAY BE PLACED ON OR OFF SITE AS RECOMMENDED BY THE PLANNING BOARD. V. G (5) (C) A MINIMUM OF 15% OF THE SITE SHALL FUNCTION AS LANDSCAPED AND/OR PUBLIC SPACE.	YES 11 TREES YES 15%	YES 11 TREES SEEKING WAIVER # OF TREES T.B.D. TOTAL SITE AREA=197,631 SF TOTAL LANDSCAPED AREA=46,297 SF OR 23.4%

REVISIONS

REV	DATE	COMMENT	BY
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8	08/05/15	PROPERTY LINES	EGD
9	09/04/15	PLANNING BOARD ENDORSEMENT	BPB
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PLAN ENDORSEMENT

PROJECT NO.: W141152
DRAWN BY: OFD/BPB
CHECKED BY: JAB/JAK
DATE: 1/8/2015
SCALE: AS NOTED
CAD I.D.: W141152SSP

PROJECT: SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC
LOCATION OF SITE: 72 MAIN STREET, MAP #40 LOT #051, TOWN OF MEDWAY, NORFOLK COUNTY, MASSACHUSETTS

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M.J. MRVA
LANDSCAPE ARCHITECT
MASSACHUSETTS No. 1217
RHODE ISLAND No. 419

SHEET TITLE: LANDSCAPE PLAN
SHEET NUMBER: 10 OF 16
REV 9 - 09/4/2015

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS, AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
• TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
• TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
• VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
• FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

LARGE ROCKS FOUND DURING CONSTRUCTION WILL BE USED AS LANDSCAPE FEATURES

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



Know what's below.
Call before you dig.

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS
A. GENERAL - ALL HIRABLE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRASBLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODIED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.

I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.

II. SOO SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOO INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOO IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES (DETAILS).

E. FERTILIZER
I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.
FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL
I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN).
II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
III. PLANTS SHALL BE LEGALLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED.
V. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A 4" CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

4. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTORS EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

5. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

6. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

7. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.A.1)).
I. 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER
II. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHP OR APPROVED NITROGEN FERTILIZER

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING
A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT AROUND FROM THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
I. PLANTS: MARCH 15 TO DECEMBER 15
II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
ACER RUBRUM PLATANUS X ACERFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
QUERCUS VARIETIES QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
I. 1 PART PEAT MOSS
II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME
IV. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1/2" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE PLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL, AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTORS RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

13. CLEANUP
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

14. MAINTENANCE (ALTERNATIVE BID)
A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OPERATOR.

WETMIX SEED MIX SHALL BE "NEW ENGLAND WETMIX" AS PREPARED BY:

NEW ENGLAND WETLAND PLANTS, INC.
620 WEST STREET
AMHERST, MA 01002
PHONE: 413-548-8000, FAX: 413-548-4000, EMAIL: INFO@NEWP.COM

APPLICATION RATE: 18 LBS / ACRE (1 LB / 2,500 SF)

SPECIES LIST: Lurid Sedge, (Carex lurida), Blunt Broom Sedge, (Carex scoparia), Blue Vervain, (Verbena hastata), Hop Sedge, (Carex hystrix), Green Bulrush, (Scirpus atrovirens), Redtop Panic Grass, (Panicum rigidulum), Tufted Hairgrass, (Deschampsia cespitosa), Ticked Barkroot/Rat Mergold, (Scleria aridiosa), Crowing Spike Rush, (Eleocharis palustris), Soft Rush, (Luzula exilis), Fringed Sedge, (Carex crinita), Square Stemmed Monkey Flower, (Mimulus ringens), Swamp Aster, (Aster punctatus), Boneset, (Eupatorium perfoliatum), Rattlesnake Grass, (Glycerhys canadensis), Swamp Milkweed, (Asclepias incarnata), Common Sneezeweed, (Helenium autumnale), Ditch Stonecrop, (Penstemon sedoides)

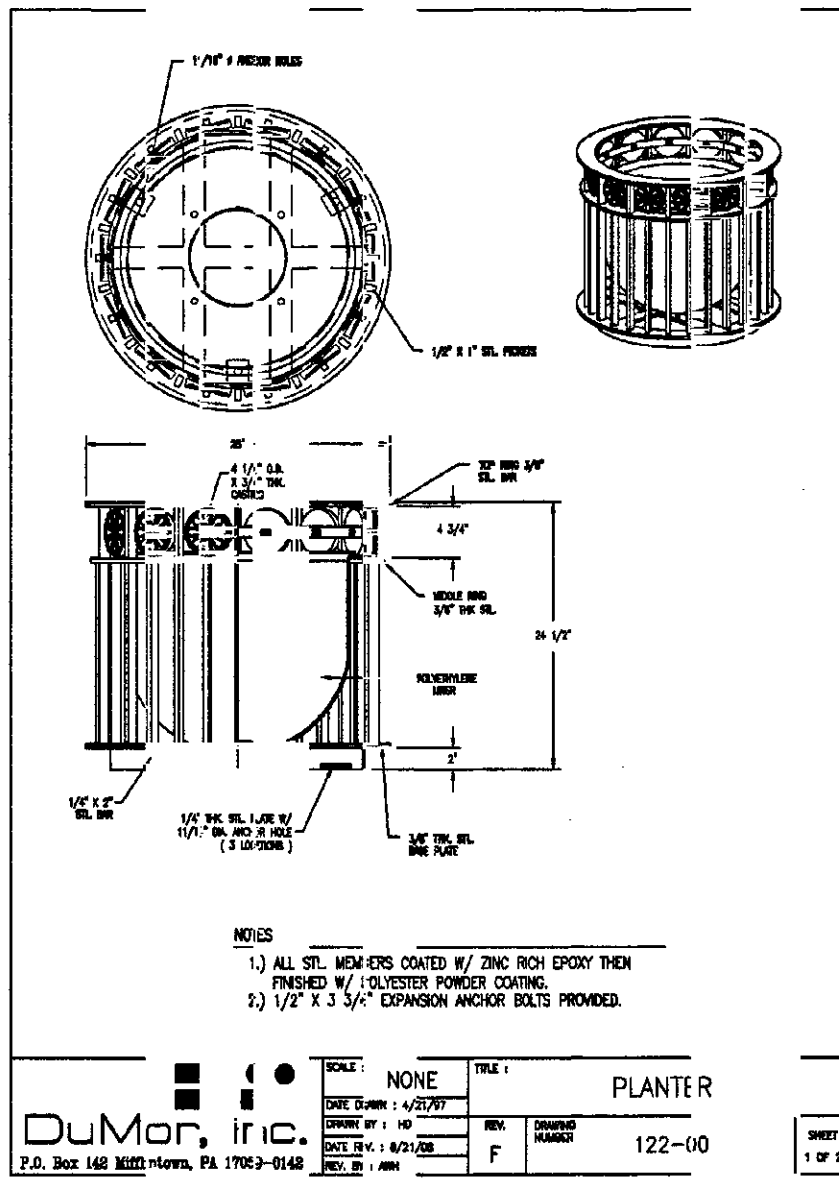
AREAS PLANTED WITH WETMIX SHALL BE MOWED TWICE YEARLY DURING THE GROWING SEASON

NOTES:
1) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 15" FROM ROOT BALL.
3) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE TIGHT TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
6) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL (S).
7) SUBSTITUTE ARBORTIE STAKING SYSTEM WHEN SPECIFIED.

REINFORCED RUBBER HOSE (1/2" DIA. BLACK)
FOLD BURLAP AWAY FROM TOP OF ROOT BALL
12 GAUGE GALVANIZED WIRE GUYS
2" DIA. HARDWOOD STAKES 2/3 TREE HT, 3 PER TREE
TWICE THE WIDTH OF ROOTBALL FOR PREPARED SOIL FOR TREES.
PREPARED SOIL FOR TREES
1 PART PEAT MOSS
1 PART COW MANURE
3 PARTS TOPSOIL (RECOMMENDATION ONLY - SEE SOIL MOD. CHART)
UNDISTURBED SUBGRADE
DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES
TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL
AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.
4" BUILT-UP EARTH SAUCER
3" DOUBLE SHREDDED HARDWOOD BARK MULCH (UNLESS OTHERWISE SPECIFIED) (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)
LANDSCAPE FABRIC AS SPECIFIED.
ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS.
SET ROOT BALL ON UNDISTURBED SOIL IN BOTTOM OF HOLE

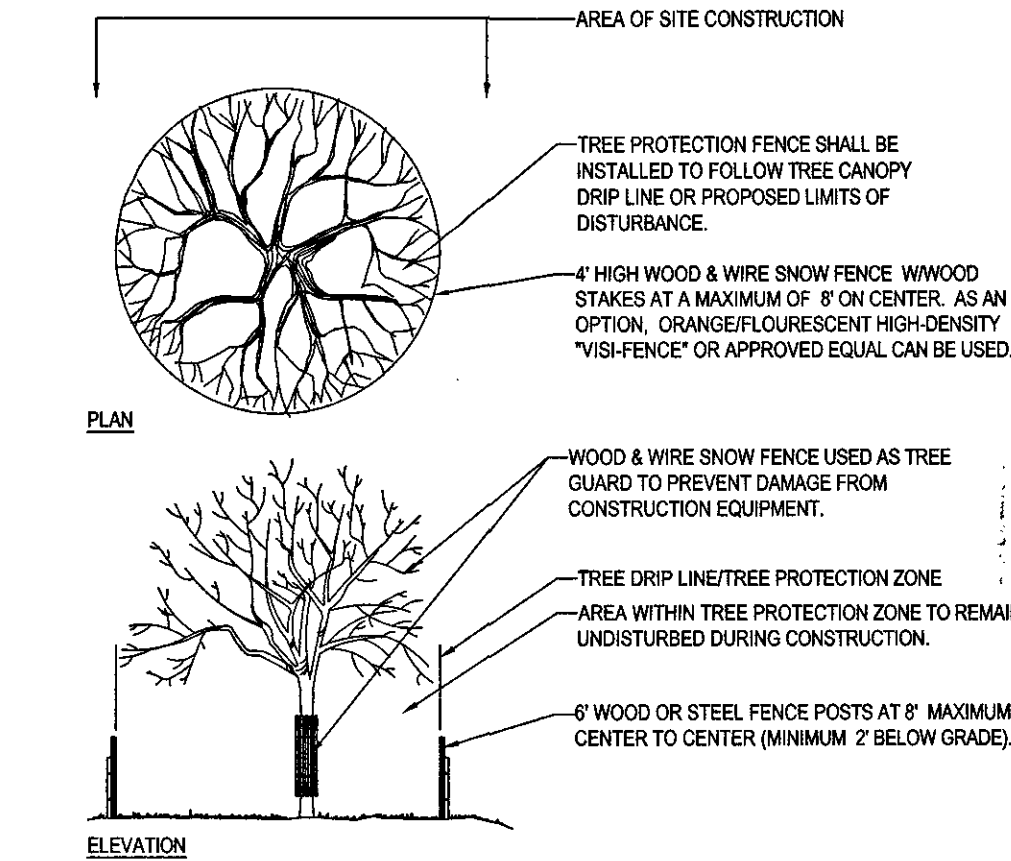
TREE PLANTING DETAIL

N.T.S.



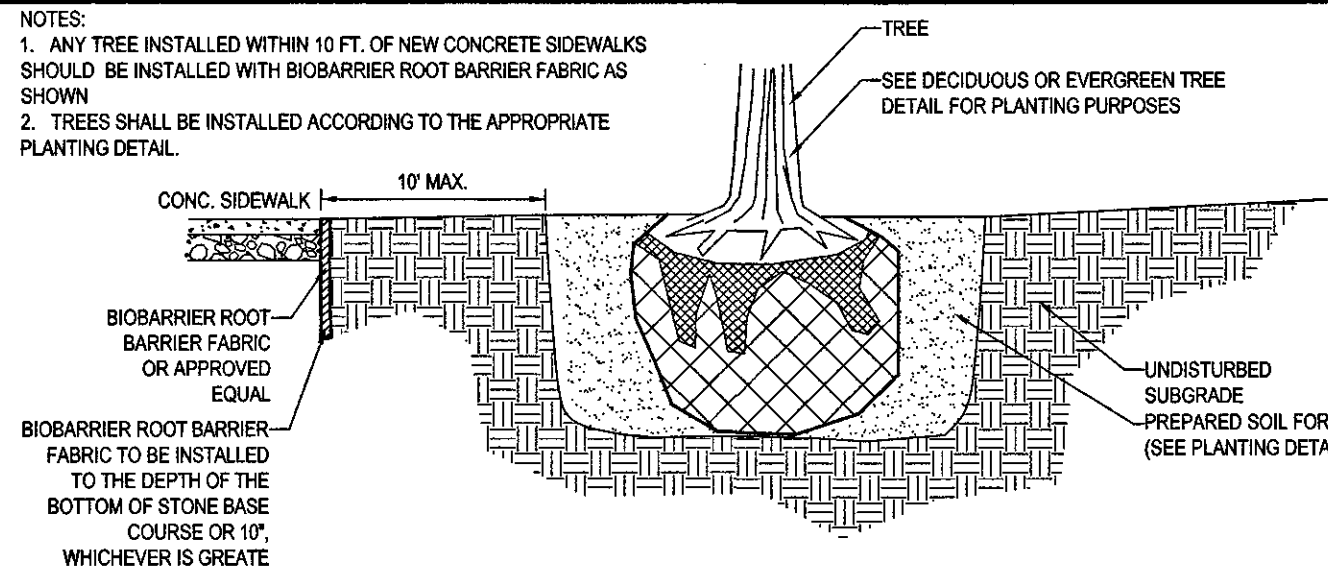
MOVEABLE PLANTER DETAIL

N.T.S.



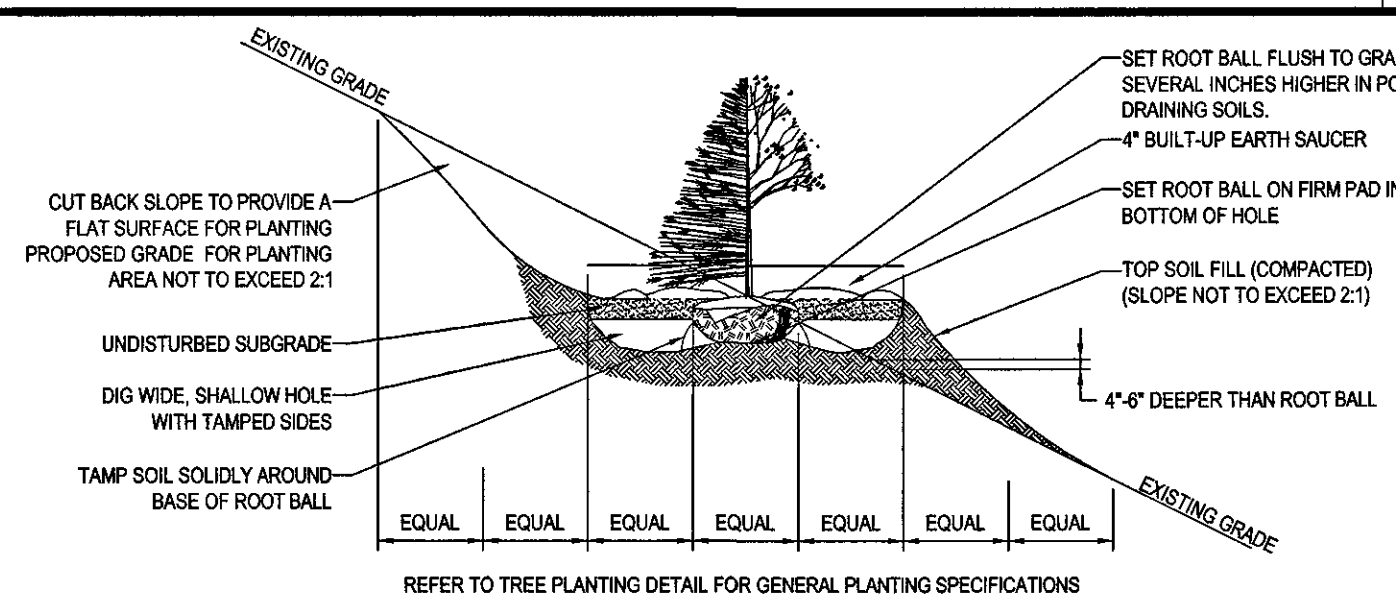
TREE PROTECTION DURING SITE CONSTRUCTION

N.T.S.



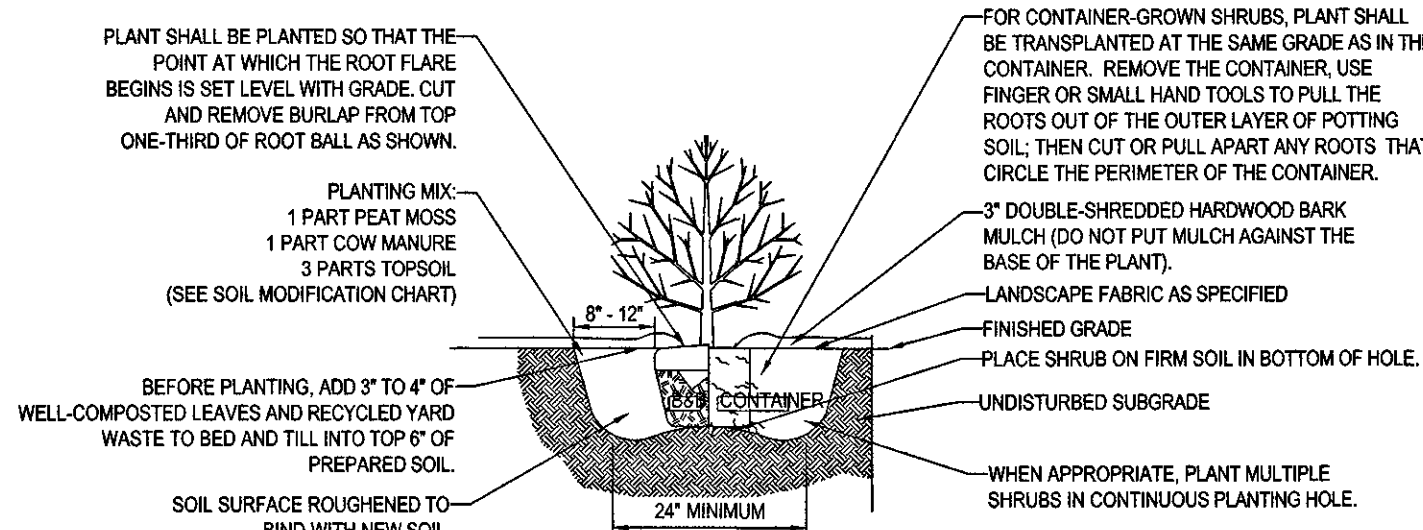
BIOBARRIER ROOT BARRIER DETAIL

N.T.S.



TREE PLANTING ON SLOPE DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:
 - PERENNIAL PREGRASS 1/2 LB/1000 SQ FT
 - KENTUCKY BLUEGRASS 1 LB/1000 SQ FT
 - RED FESCUE 1/2 LB/1000 SQ FT
 - SPREADING FESCUE 1/2 LB/1000 SQ FT
 - FERTILIZER (16-32-16) 2 LB/1000 SQ FT
 - LIQUID LIME 1 GAL/500 GAL
 - TANK TACKIFIER 35 LB/800 GAL
 - TANK FIBER MULCH 30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDS AND AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

HYDROSEED SPECIFICATIONS

WETMIX SEED MIX

CONSERVATION SEED MIX

CONSERVATION SEED MIX SHALL BE "NEW ENGLAND CONSERVATION/WILDLIFE MIX" AS PREPARED BY:

NEW ENGLAND WETLAND PLANTS, INC.
620 WEST STREET
AMHERST, MA 01002
PHONE: 413-548-8000, FAX: 413-548-4000, EMAIL: INFO@NEWP.COM

APPLICATION RATE: 25 LBS / ACRE (1 LB / 1,750 SF)

SPECIES LIST: Virginia Wild Rye, (Elymus virginicus), Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Andropogon gerardii), Crowing Red Fescue, (Festuca rubra), Switch Grass, (Panicum virgatum), Partridge Pea, (Chamaecrista fasciculata), Deer Tongue, (Panicum clandestinum), Indian Grass, (Sorghastrum nutans), Or Eye Sunflower, (Helopsis helianthoides), Common Milkweed, (Asclepias syriaca), Spotted Joe Pye Weed, (Eupatorium maculatum), Grass Leaved Goldenrod, (Euthamia graminifolia), Blue Vervain, (Verbena hastata), New England Aster, (Aster novae-angliae), Early Goldenrod, (Solidago juncea).

AREAS PLANTED WITH CONSERVATION SEED MIX SHALL NOT BE MOWED

APPROVED DATE: 8-11-15
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD
Signature: [Signature]
Signature DATE: 9-8-15
BEING A MAJORITY

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT SUSTAINABLE DESIGN PERMITTING SERVICES
LANDSCAPE ARCHITECTURE TRANSPORTATION SERVICES
NORTHERN VIRGINIA
SOUTHERN MARYLAND
WEST VIRGINIA
CENTRAL VIRGINIA
DALLAS, TEXAS
PHILADELPHIA, PA
BOSTON, MA
UPSTATE NEW YORK
SPRINGFIELD, MA

REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLANNING BOARD ENDORSEMENT	EGD
7	07/14/15	PLAN MODIFICATIONS DIRECT TIRE TENANT	EGD
8	08/5/15	ADDED ANR PROPERTY LINES	EGD
9	09/4/15	PLANNING BOARD ENDORSEMENT	BPB
10			
11			
12			
13			
14			
15			

PLAN ENDORSEMENT

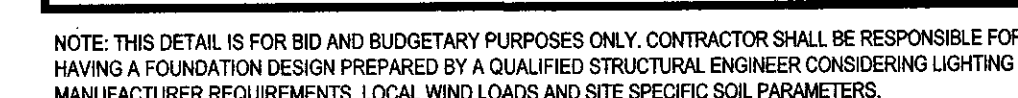
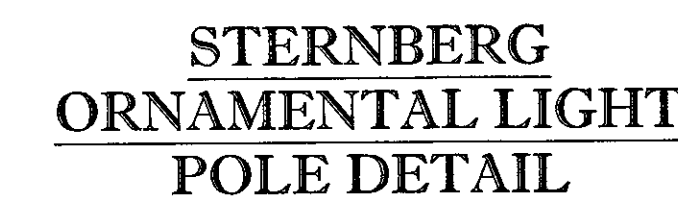
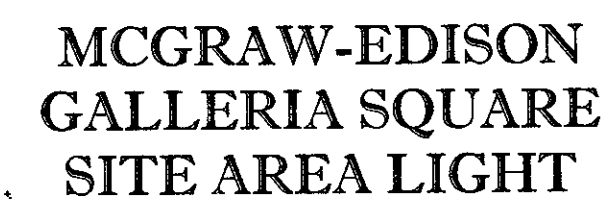
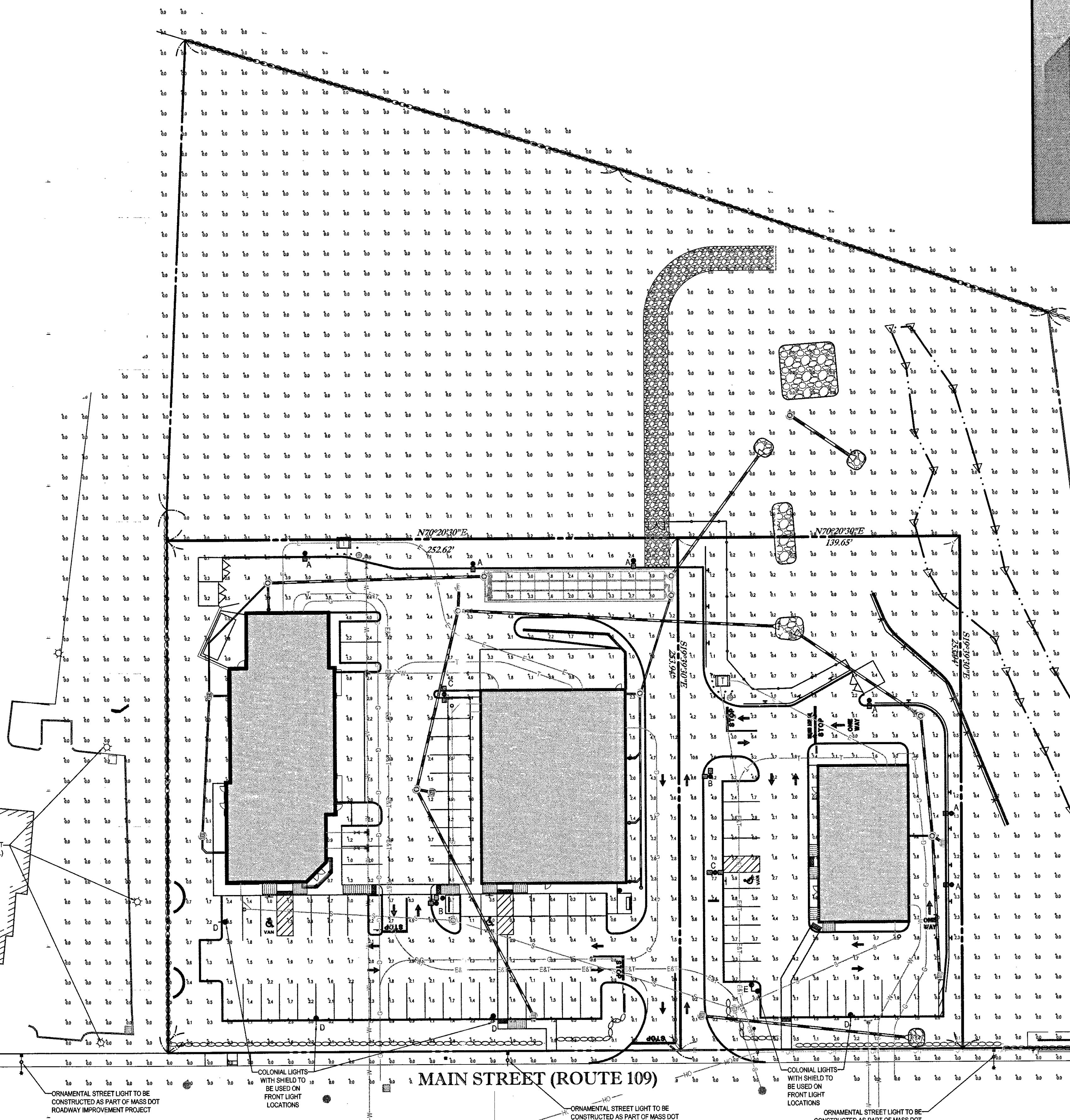
PROJECT NO.: W141182
DRAWN BY: CFB/BBB
CHECKED BY: JAB/JAK
DATE: 1/20/15
SCALE: AS NOTED
CAD I.D.: W141182SSD






PROJECT: **SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC**
LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9000
www.BohlerEngineering.com

M.J. MRVA
REGISTERED LANDSCAPE ARCHITECT
MASSACHUSETTS
RHODE ISLAND No. 419

SHEET TITLE: **LANDSCAPE NOTES & DETAILS SHEET**
SHEET NUMBER: **11**
OF 16
REV 9 - 09/14/2015



LUMINAIRE SCHEDULE						
SYMBOL	QTY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	TOTAL LAMP LUMENS	LLF DESCRIPTION
	5	A	20 FT	POLE MOUNT: SINGLE	36000	0.720 GSM-XX-400-MH-XX-4S-XX-FG-HS
	2	B	20 FT	POLE MOUNT: DOUBLE @ 90	36000	0.720 GSM-XX-400-MH-XX-4S-XX-FG-HS
	2	C	20 FT	POLE MOUNT: DOUBLE @ 180	36000	0.720 GSM-XX-400-MH-XX-4S-XX-FG-HS
	4	D	20 FT	POLE MOUNT: SINGLE	14000	0.720 1521FG-R0SHS-175MM WITH 180° 6" MINIMUM SHIELD
	1	E	20 FT	POLE MOUNT: DOUBLE @ 90	14000	0.720 1521FG-R0SHS-175MM WITH 180° 6" MINIMUM SHIELD

APPROVED DATE: 8-11-15
MIDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

[Signature]


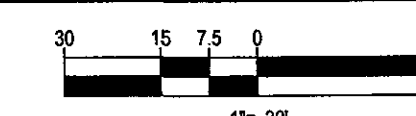
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SIGNATURE DATE: 9-8-15
BEING A MAJORITY

THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY



BOHLERTM ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
AND SURVEYING
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

- WARREN, NJ
- UPTATE NEW YORK
- NEW YORK METRO
- PHILADELPHIA/SOUTHERN NJ
- SOUTHEASTERN PA
- BALTIMORE, MD
- SOUTHERN VIRGINIA
- DELAWARE
- WASHINGTON, D.C./VIRGINIA
- CHARLOTTE, NC
- RALEIGH, NC


REVISIONS		
REV	DATE	COMMENT
1	04/27/15	PEER REVIEW COMMENTS
2	05/07/15	CON-COM SUBMITTAL
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9	09/4/15	PLANNING BOARD ENDORSEMENT
10		
11		
12		
13		
14		
15		

PLAN ENDORSEMENT

PROJECT No.:	W14
DRAWN BY:	CFD
CHECKED BY:	JAB
DATE:	1/9/
SCALE:	AS NC
CAD I.D.:	W141182

**PROJECT: SITE
DEVELOPMENT
PLANS
—FOR—
THURKEN
MEDWAY
LLC**

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

 **BOHLER**
ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772

Phone: (508) 480-9900
Fax: (508) 480-9080

www.BohlerEngineering.com

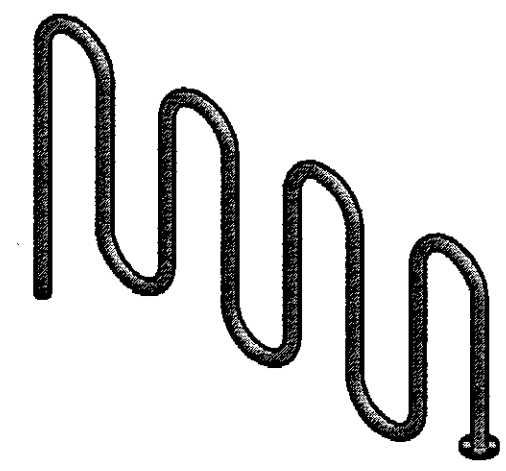
J.A. KUCICH
 CIVIL
JOHN A. KUCICH
 PROFESSIONAL ENGINEER
 MICHIGAN LICENSE NO. 9016
 MECHANICAL ENGINEERING
 EXPIRATION DATE 12/31/2016

SHEET TITLE:	
LIGHTING PLAN	
SHEET NUMBER:	
12	
OF	16
REV. 9 - 09/12/2015	

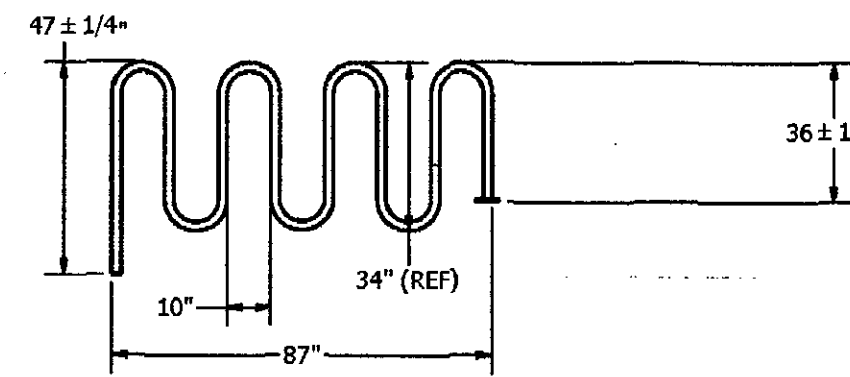


Know what's below.
Call before you dig.





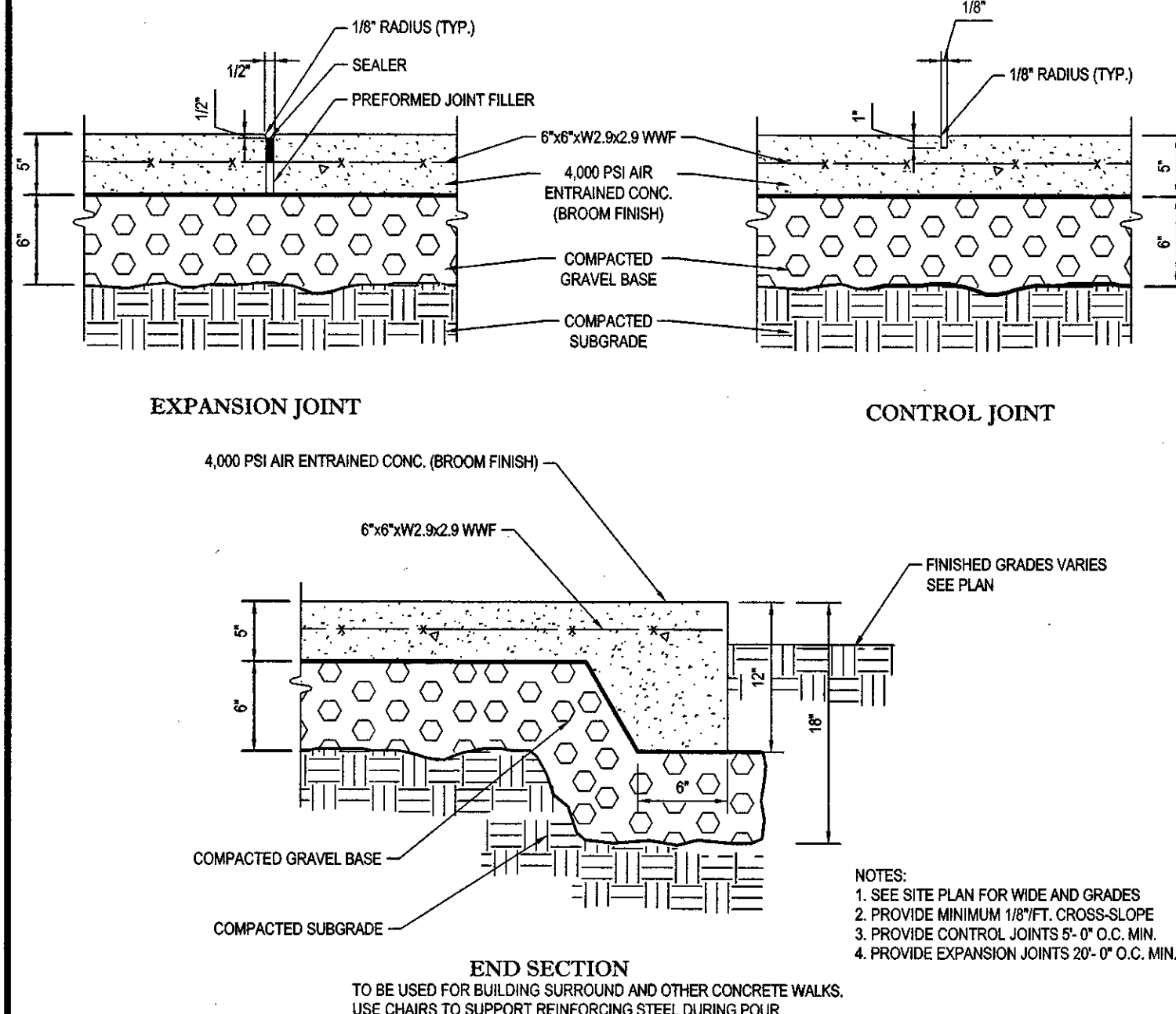
A CONTEMPORARY BIKE RACK AVAILABLE IN GROUND OR SURFACE MOUNT STYLES. CONSTRUCTED OF 2 - 3/8" O.D. SCHEDULE 40 GALVANIZED PIPE. POWDER COATED FINISH AVAILABLE IN BLACK, BROWN, GREEN, BLUE, AND RED.



NOTE: BIKE RACK SHALL BE BLACK IN COLOR

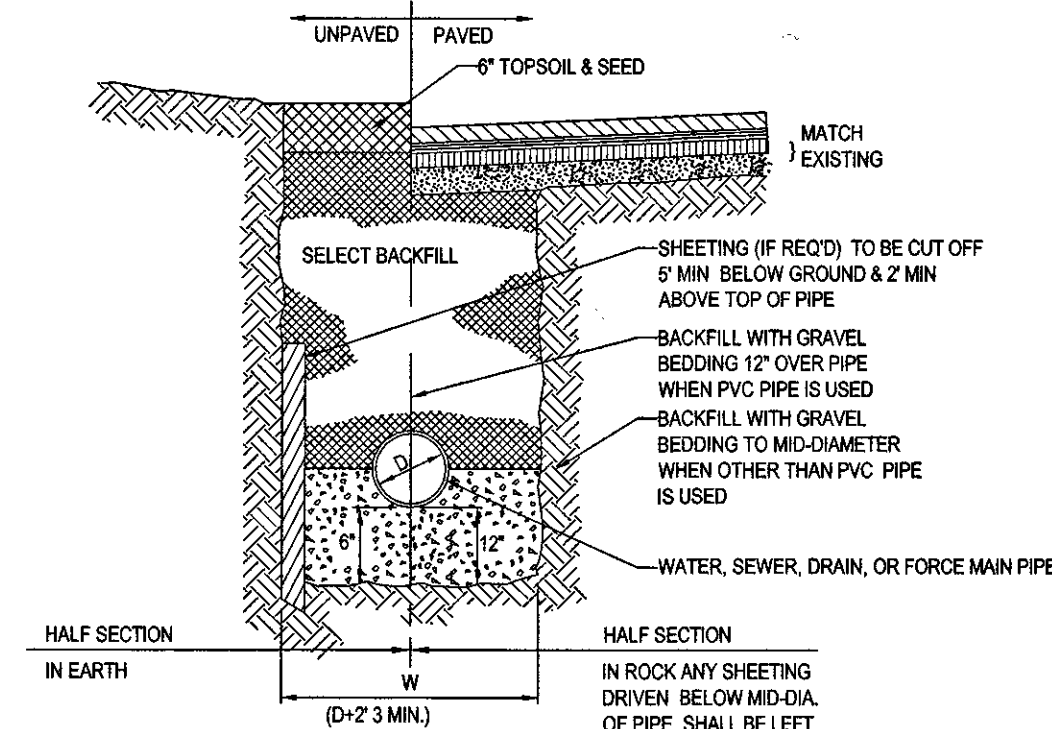
HDWBR-9 9 CAPACITY WAVE BIKE RACK

N.T.S.



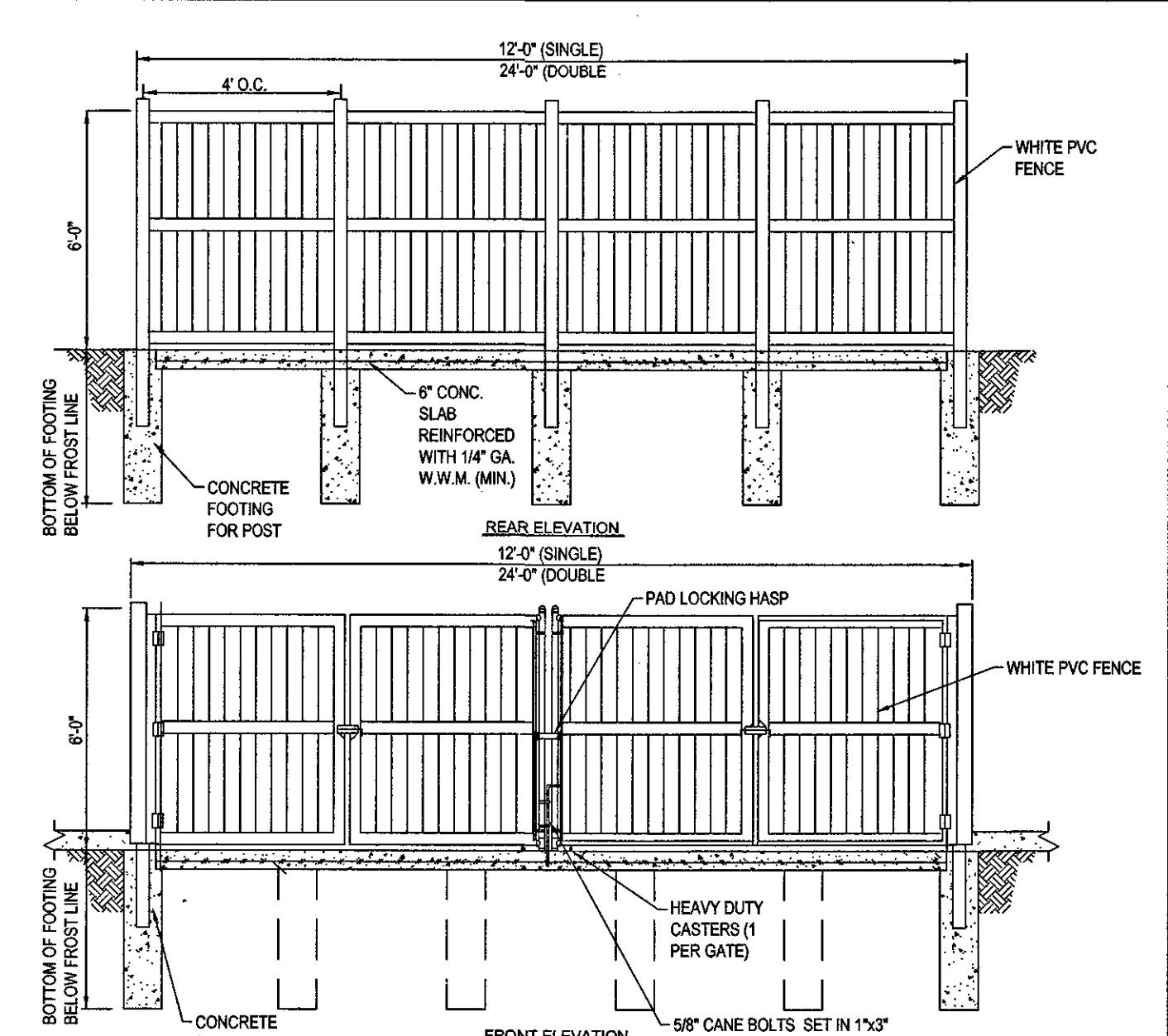
MONOLITHIC CONC. SIDEWALK DETAILS

N.T.S.



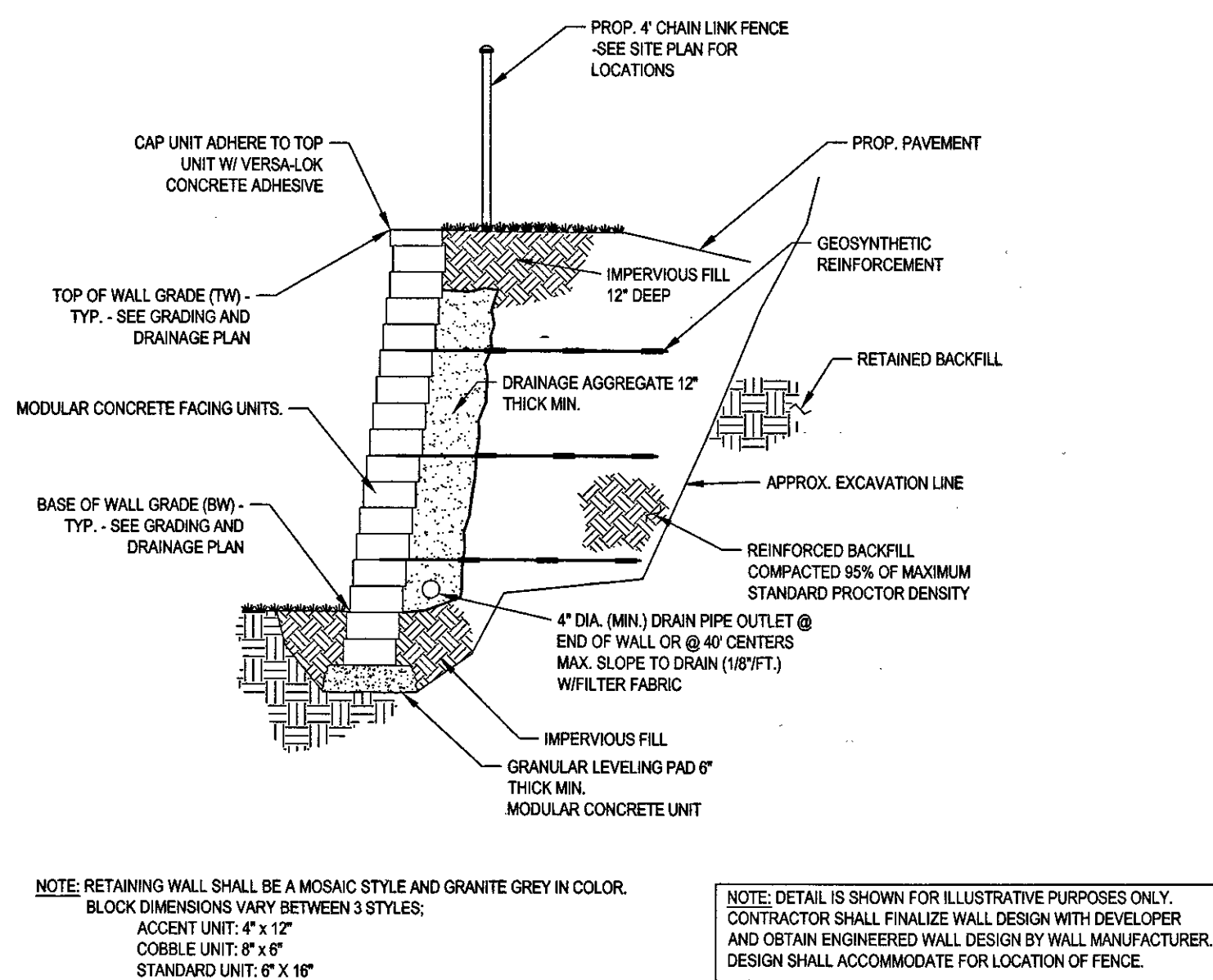
TYPICAL UTILITY TRENCH

N.T.S.



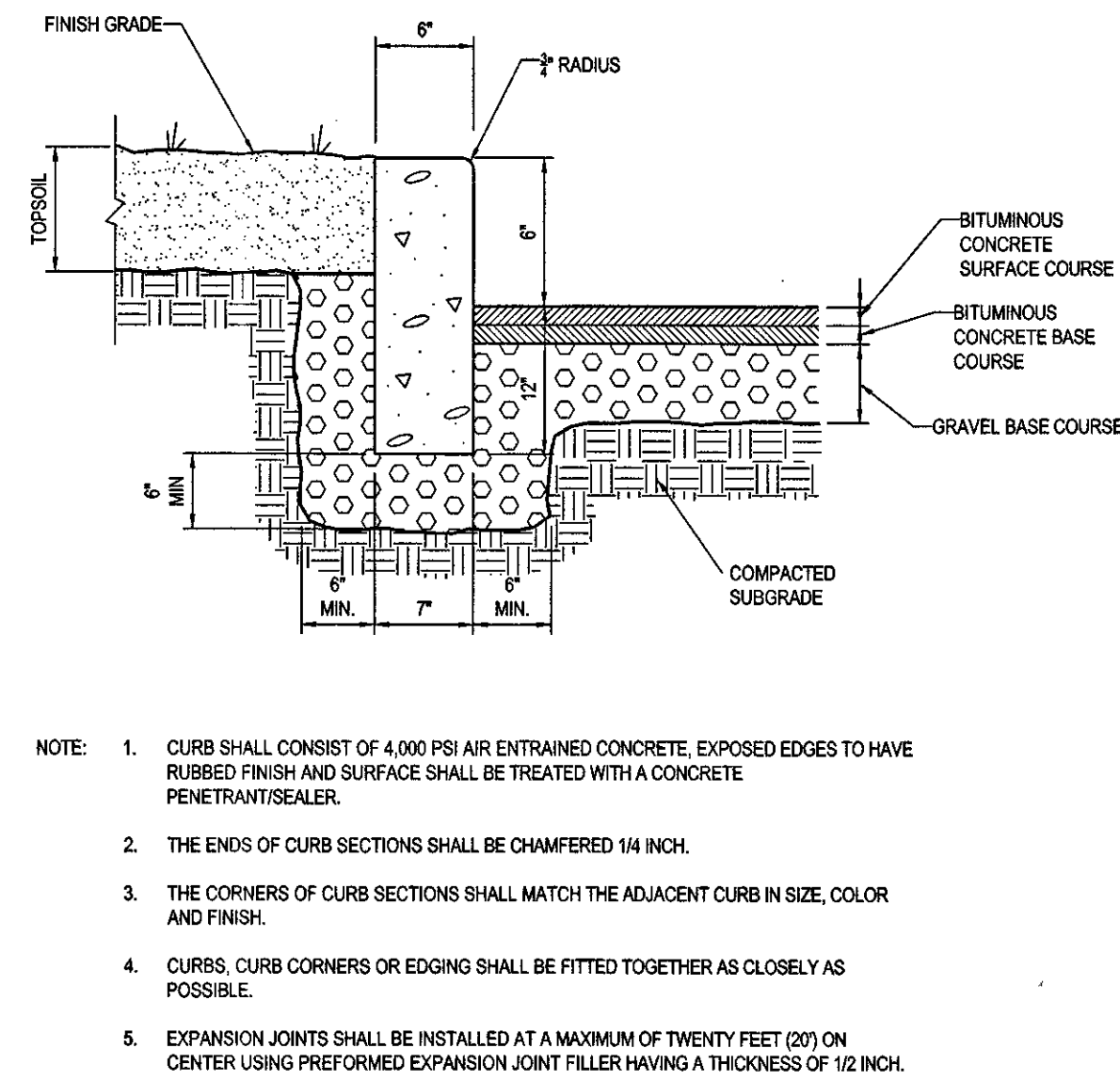
PVC FENCE TRASH ENCLOSURE

N.T.S.



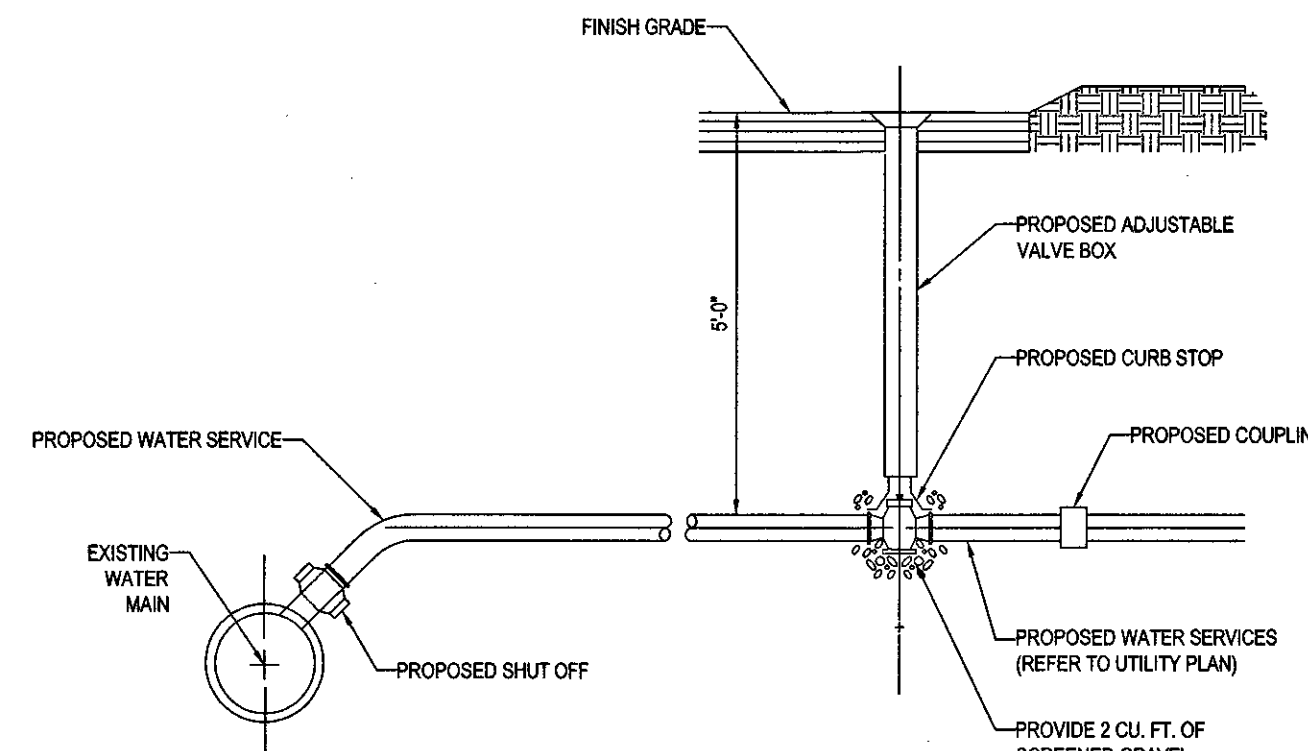
RETAINING WALL DETAIL

N.T.S.



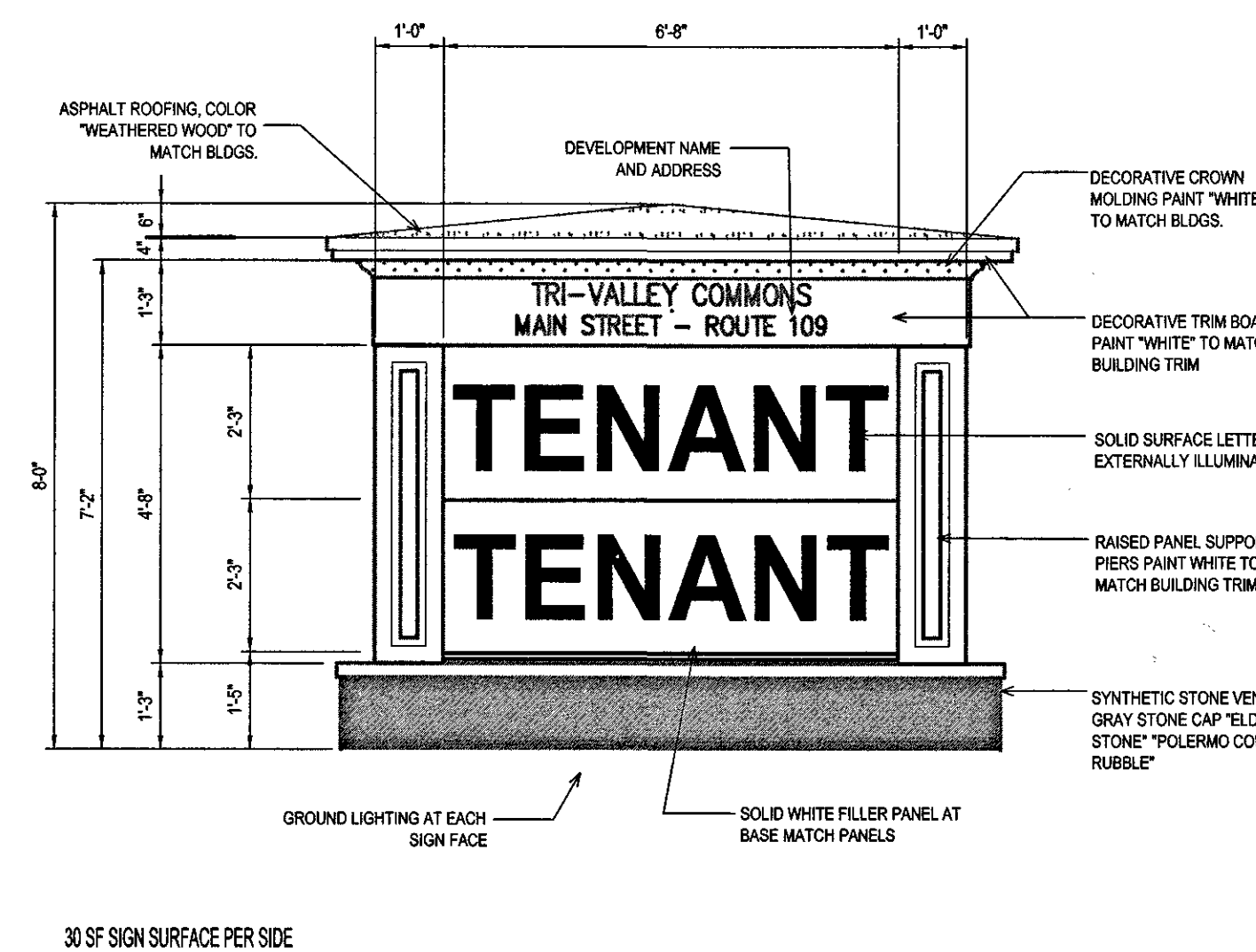
PRECAST CONCRETE CURB DETAIL

N.T.S.



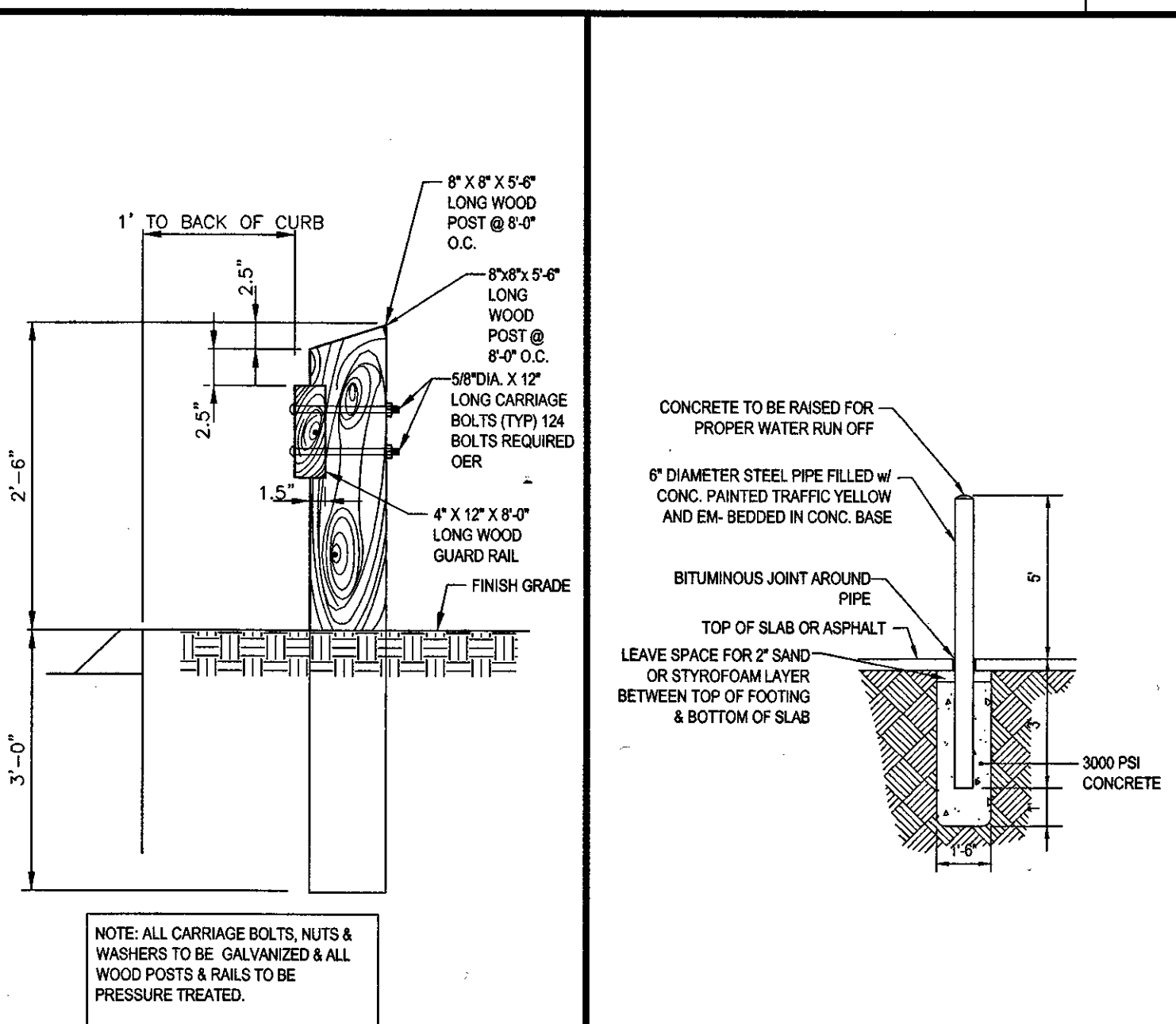
SERVICE CONNECTION DETAIL

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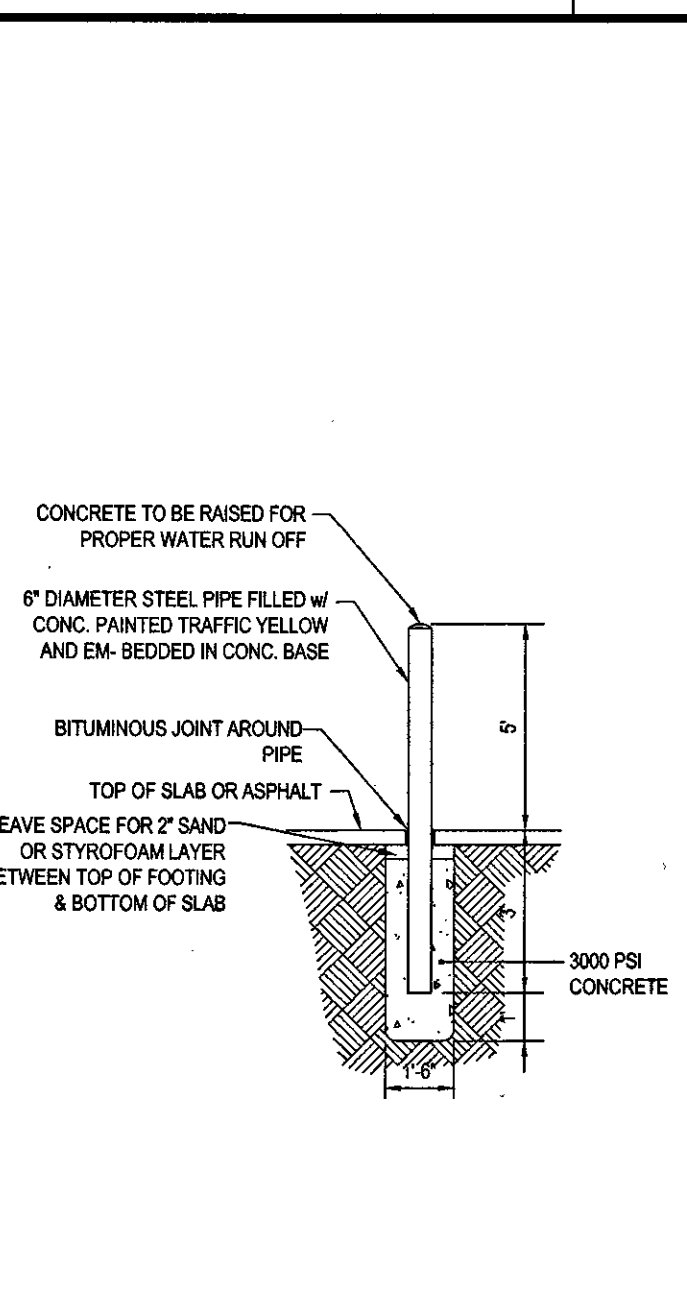
MONUMENT DEVELOPMENT SIGN

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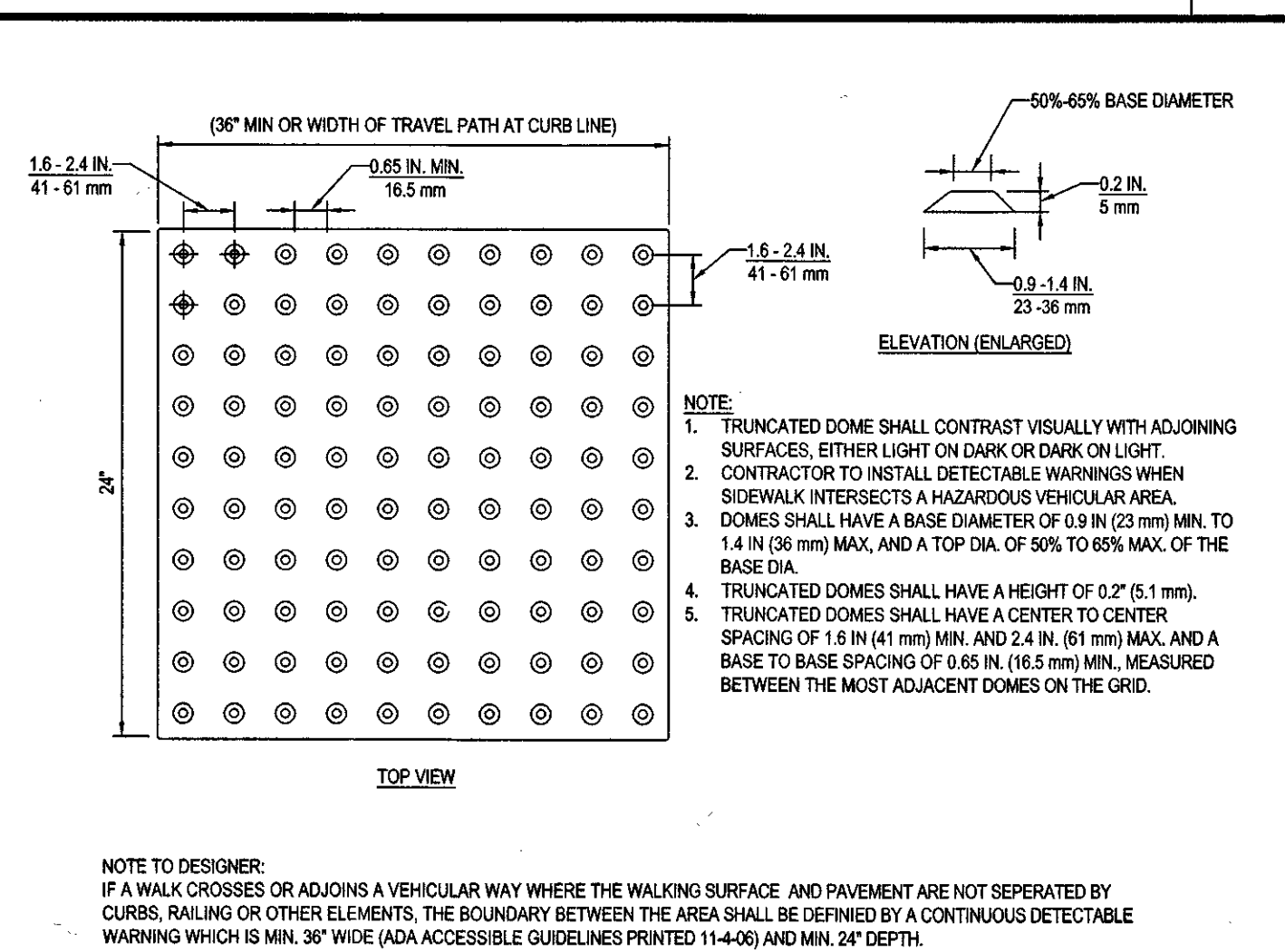
WOOD GUIDERAIL DETAIL

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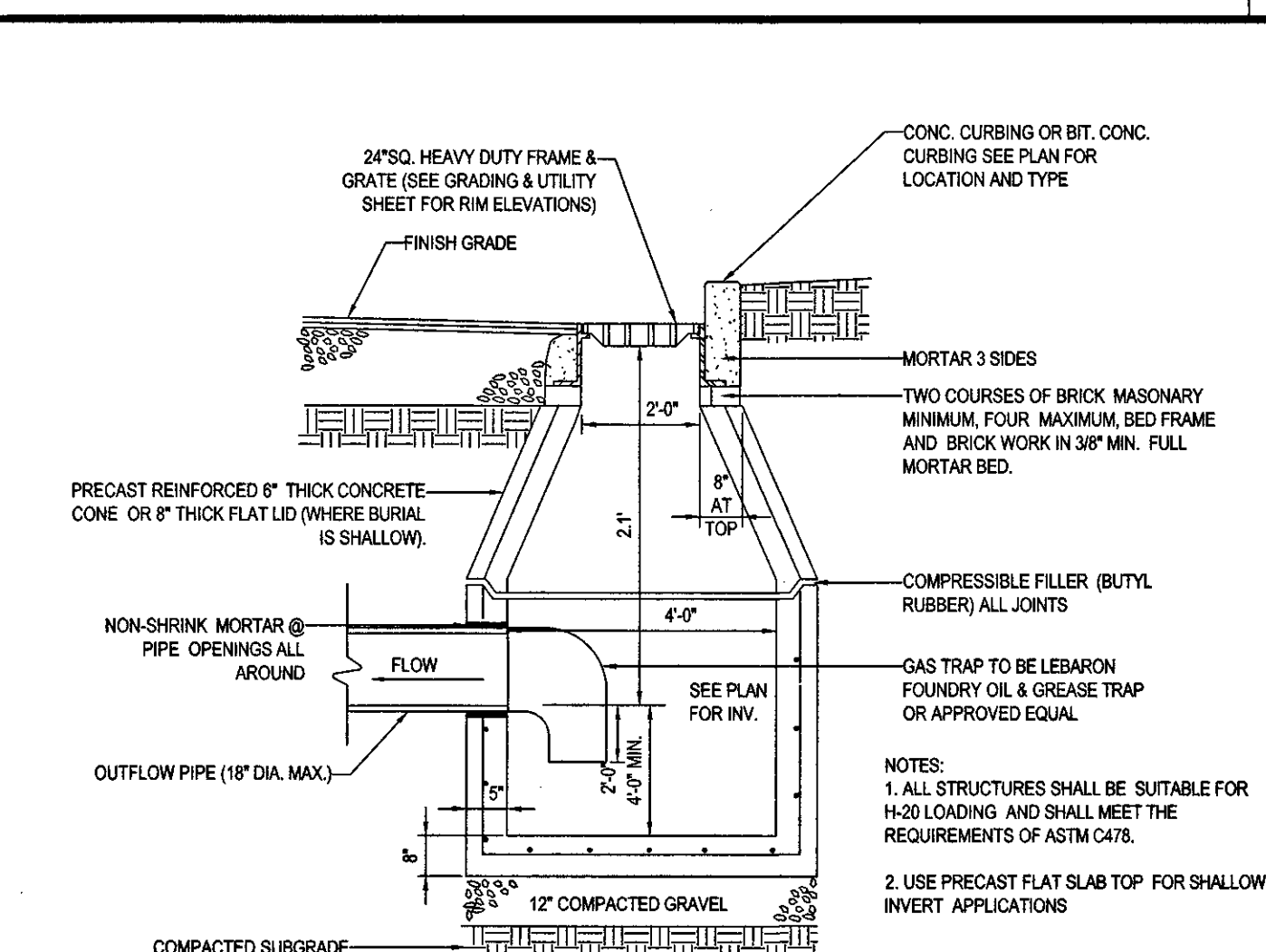
BOLLARD DETAIL

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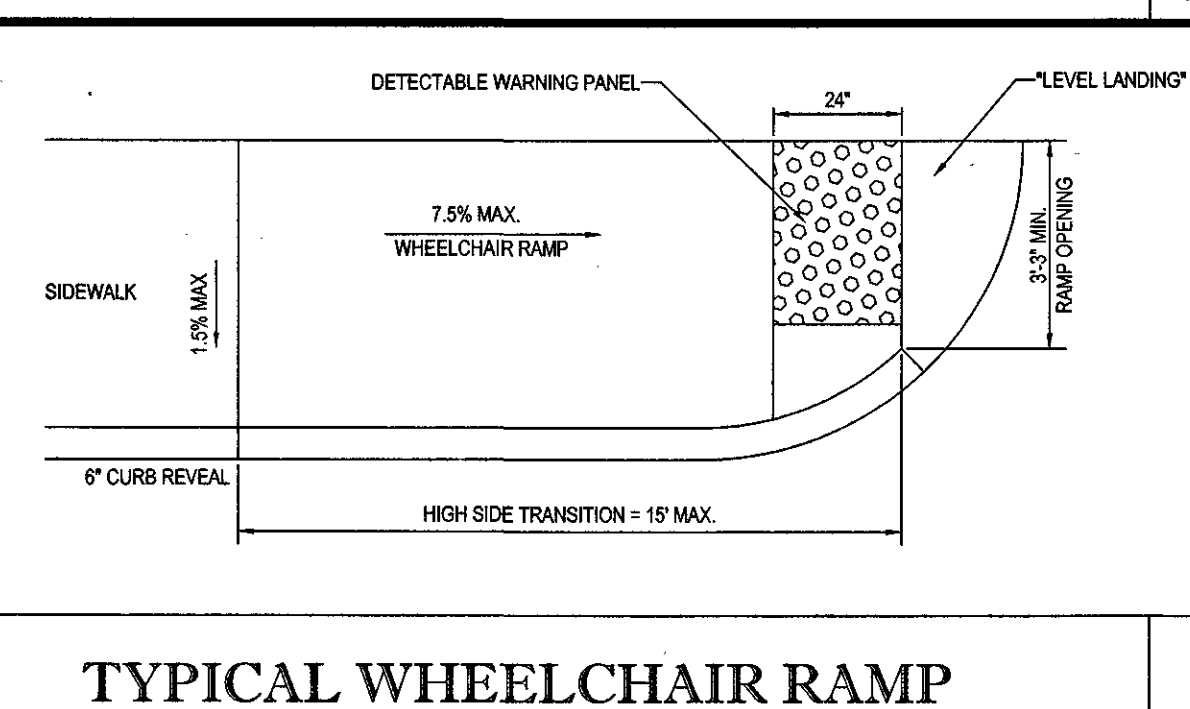
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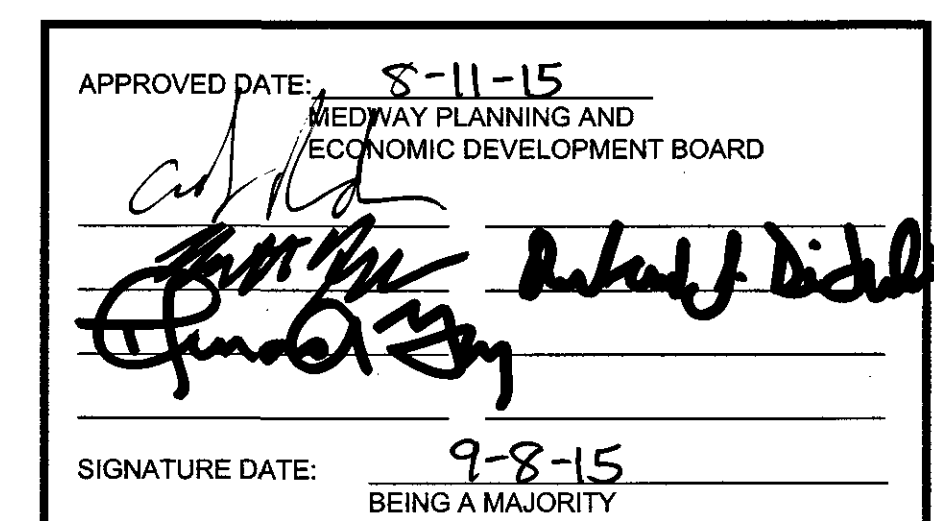
PRECAST CONCRETE DEEP SUMP CATCH BASIN DETAIL

N.T.S.



TYPICAL WHEELCHAIR RAMP

N.T.S.



BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
• BOSTON, MA • NEW YORK, NY • PHILADELPHIA, PA
• PITTSBURGH, PA • RICHMOND, VA • WASHINGTON, DC
• CHICAGO, IL • DALLAS, TX • LOS ANGELES, CA
• MIAMI, FL • SAN ANTONIO, TX • SEATTLE, WA
• TAMPA, FL • WASHINGTON, DC

REVISIONS			
REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
4	06/09/15	REV PER CON-COM & DRC COMMENTS	NEM
5	06/16/15	PLANNING BOARD ENDORSEMENT	EGD
6	07/10/15	PLANNING BOARD ENDORSEMENT	EGD
7	07/14/15	PLAN MODIFICATIONS DIRECT TIRE TENANT	EGD
8	08/05/15	ADDED ANR PROPERTY LINES	EGD
9	09/04/15	PLANNING BOARD ENDORSEMENT	BPB
10			
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15			

PLAN ENDORSEMENT

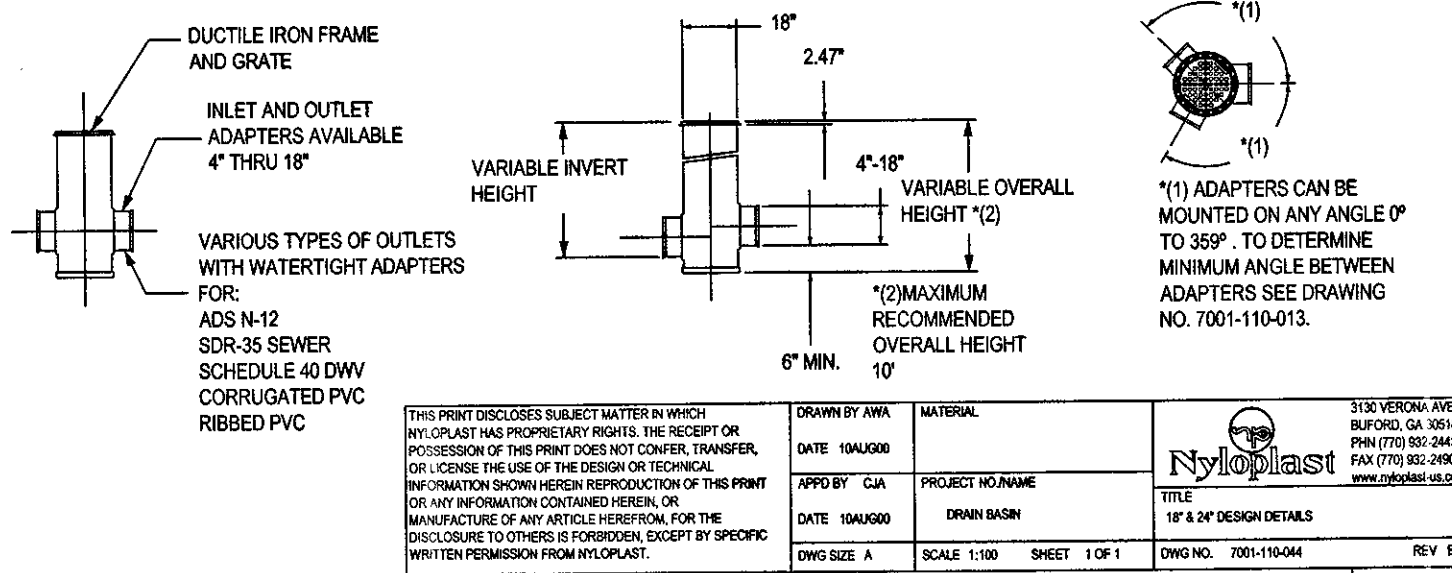
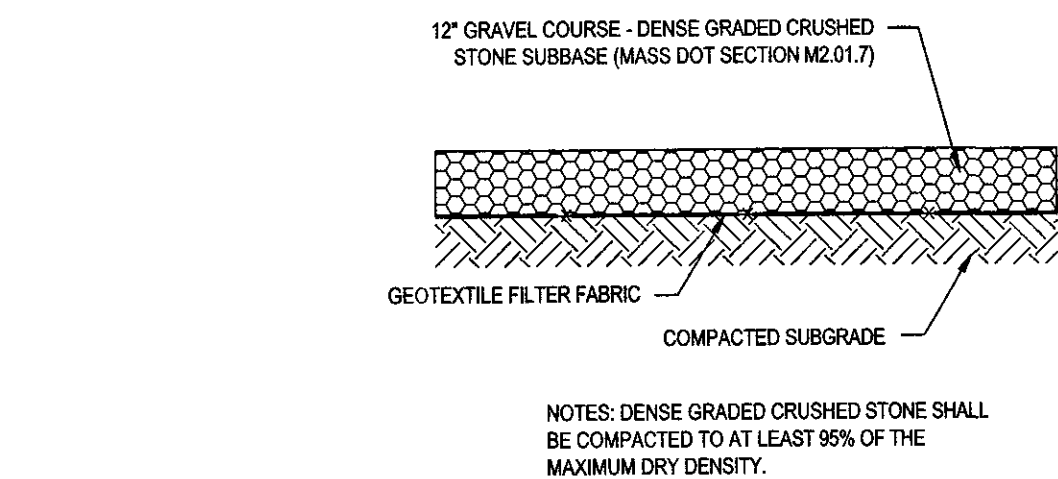
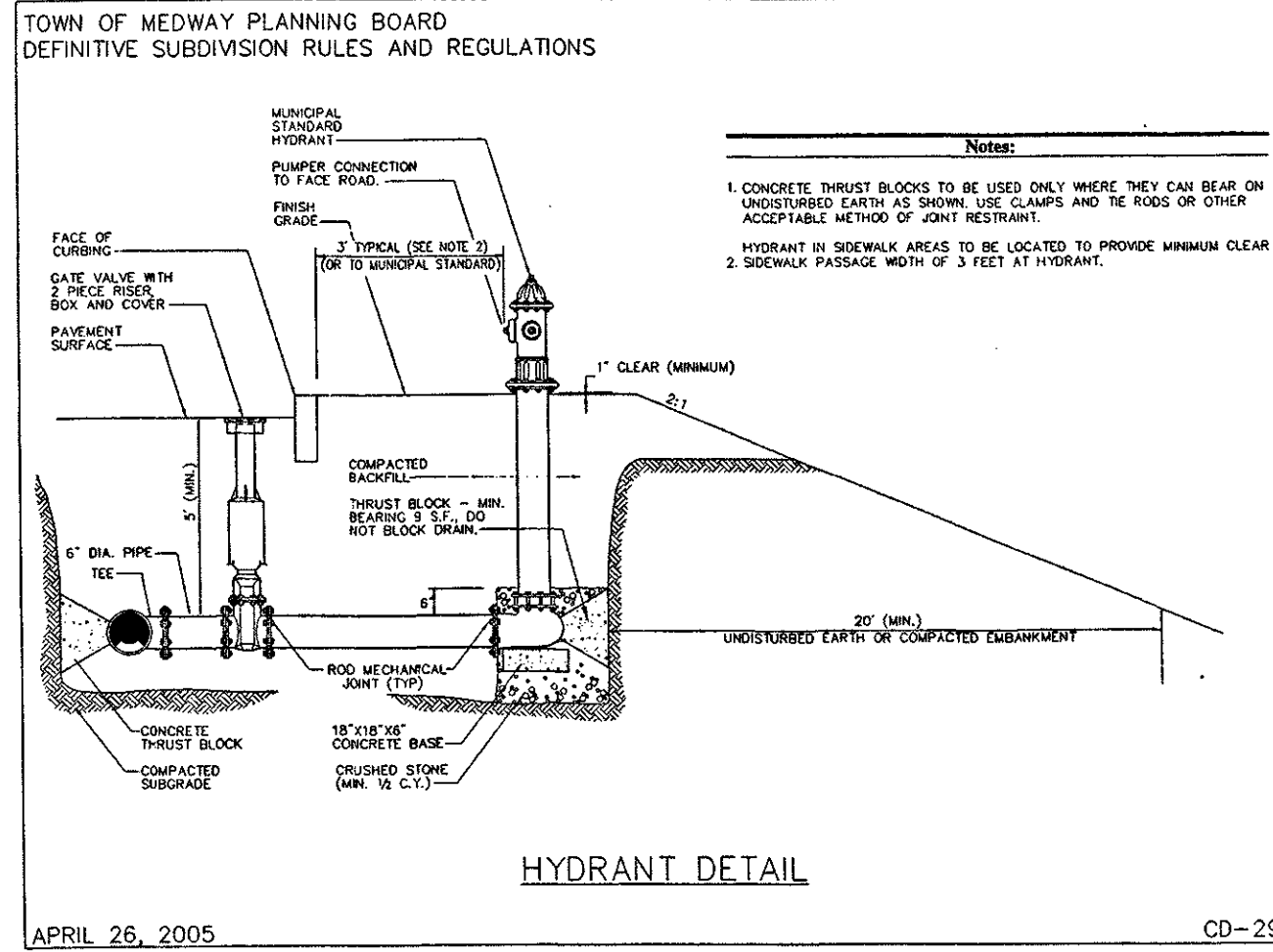
PROJECT NO.: W141182
DRAWN BY: CFJ/BPB
CHECKED BY: JAB/JAK
DATE: 1/8/2015
SCALE: AS NOTED
CAD I.D.: W141182SS9

THURKEN MEDWAY LLC
LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

J.A. KUGICH
PROFESSIONAL ENGINEER
MASSACHUSETTS
LICENSE NO. 10000

SHEET TITLE:
CONSTRUCTION DETAIL SHEET
SHEET NUMBER:
14
OF 16
REV 9 - 09/2015

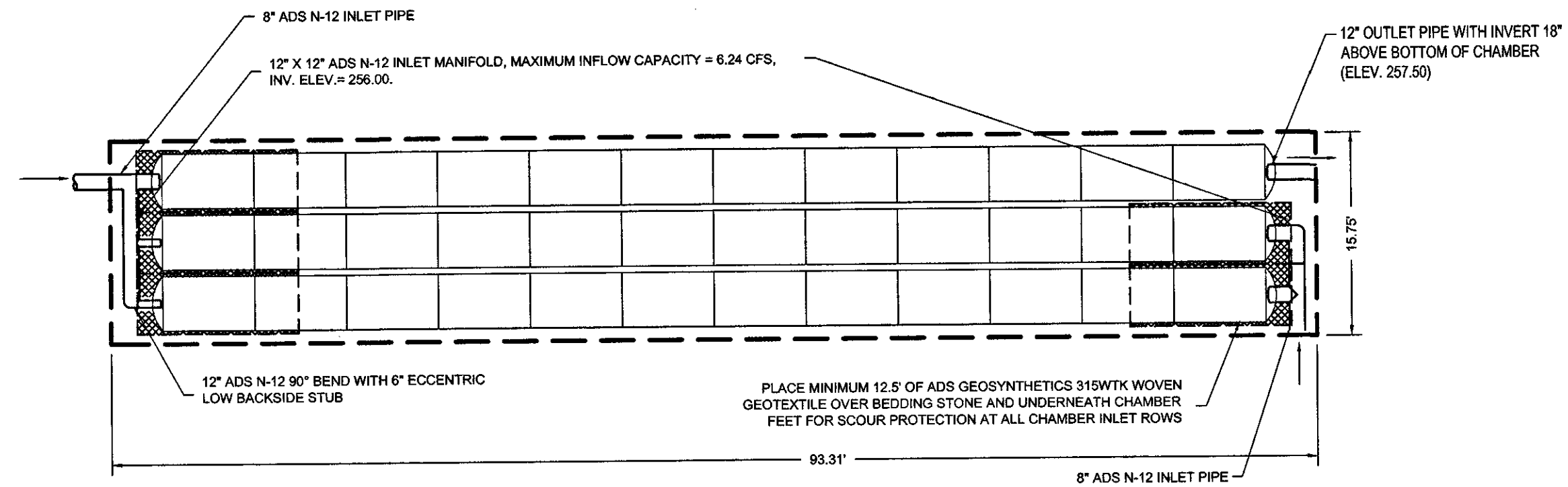


PROPOSED LAYOUT / BASIN #5

(36) STORMTECH SC-740 CHAMBERS
(6) STORMTECH SC-740 END CAPS
INSTALLED WITH 6" COVER STONE, 6" BASE STONE, 40% STONE VOID
INSTALLED SYSTEM VOLUME: 2,400 CF (PERIMETER STONE INCLUDED)
AREA OF SYSTEM: 1,470 FT²

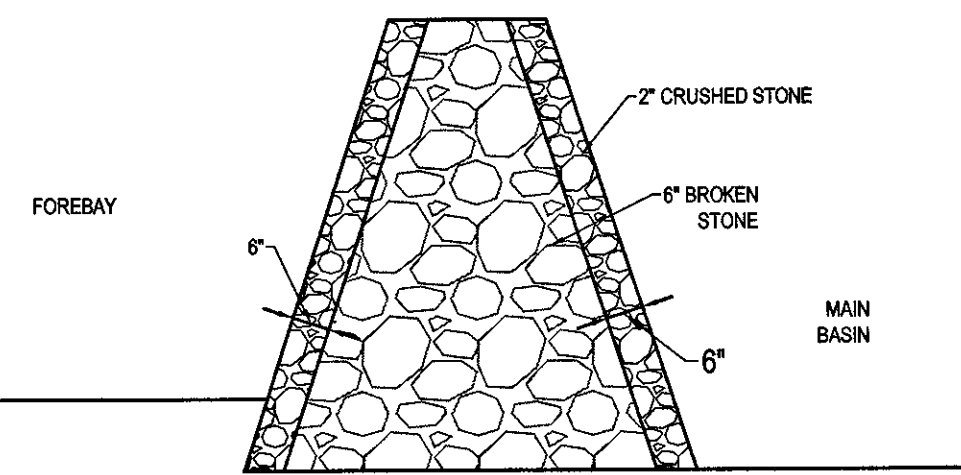
NOTES

- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.

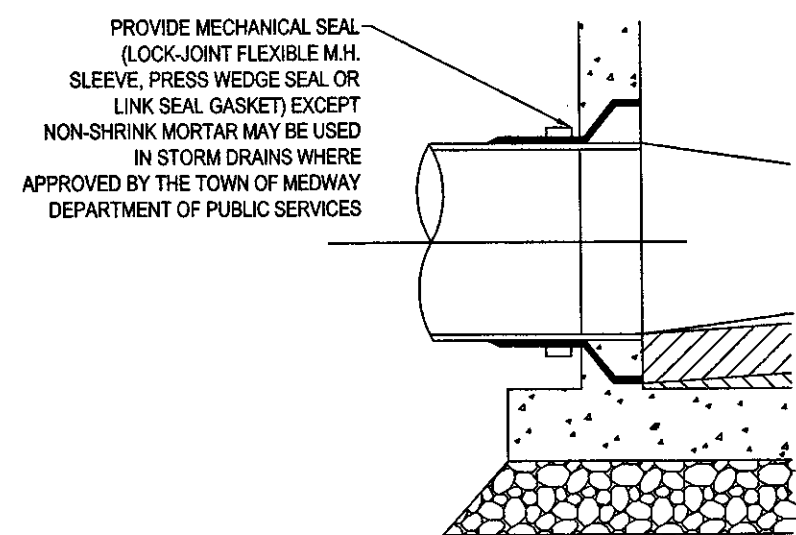


TOWN OF MEDWAY HYDRANT DETAIL (CD-29)

N.T.S.

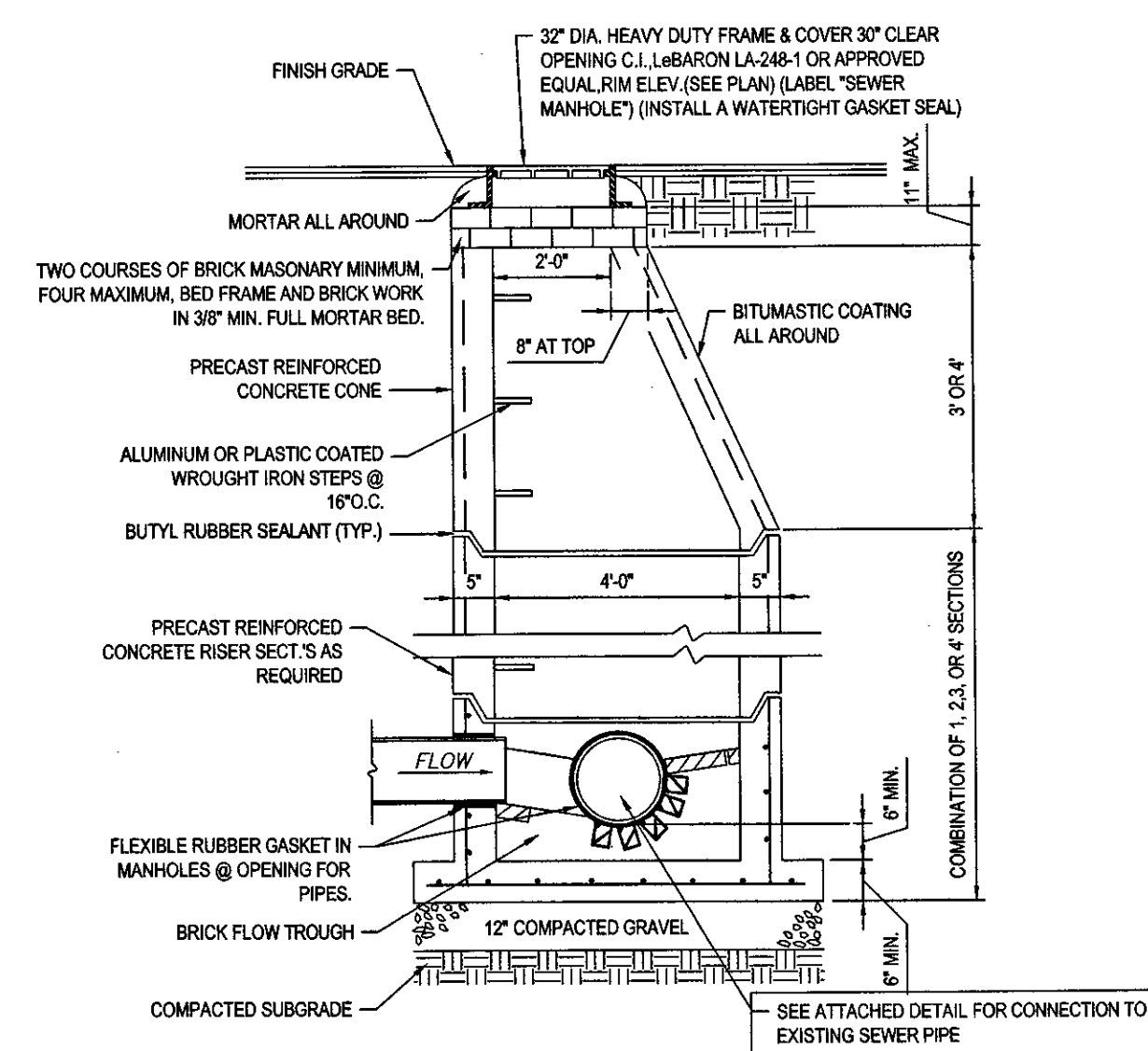


N.T.S.



TYP. PRECAST CONCRETE SANITARY MANHOLE

N.T.S.

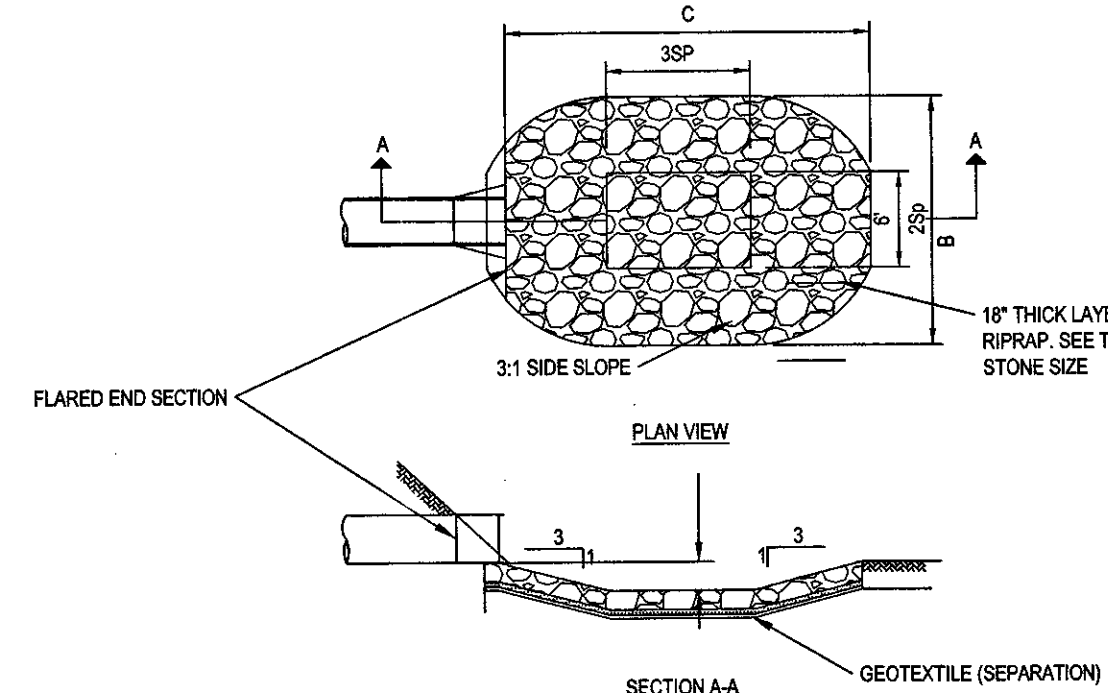


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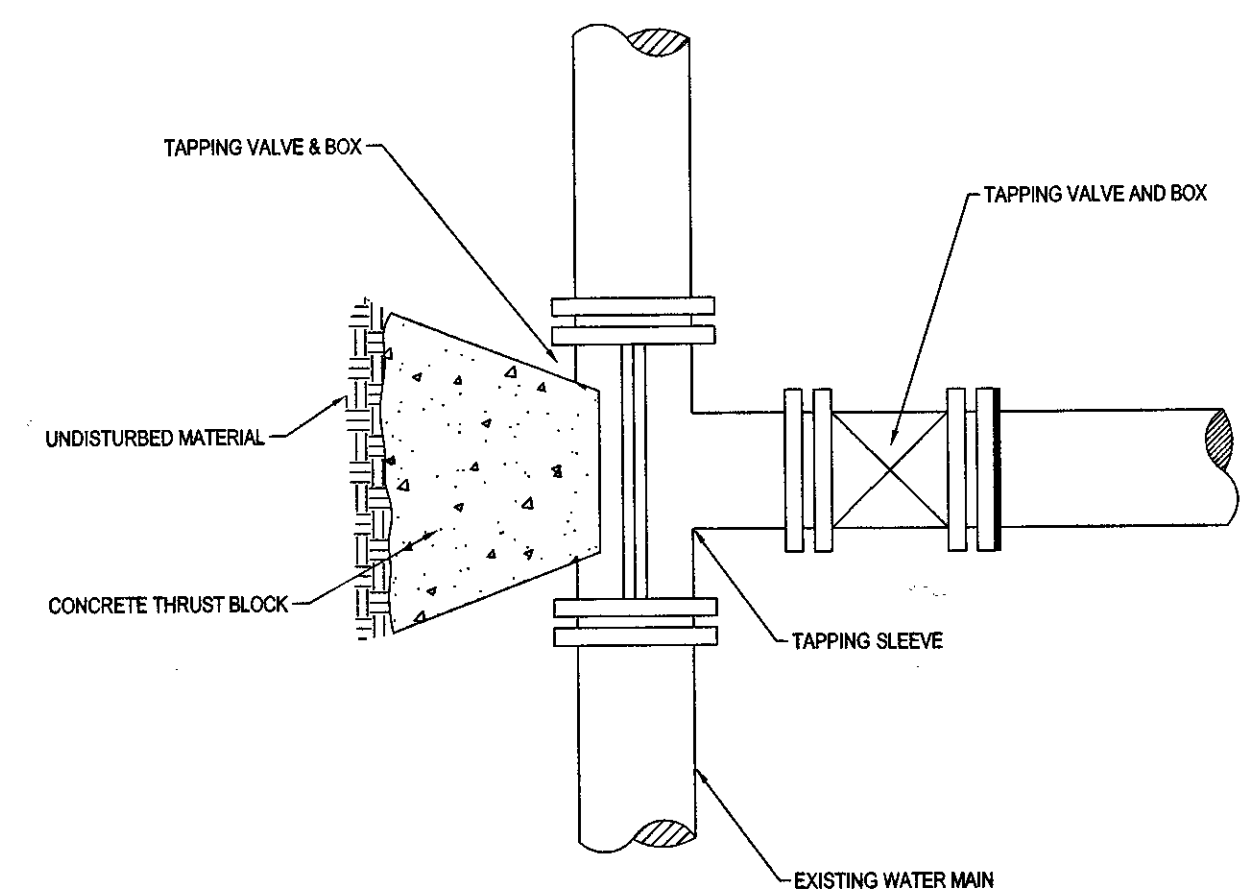
YARD DRAIN DETAIL

N.T.S.

RIPRAP APRON DIMENSIONS						AVG. STONE SIZE
FES #	B	C	Sp	F		
1 & 2	11	14	1	1	1	12"
3	8	9	1	1	1	12"
4	6	7	1.25	1	1	12"



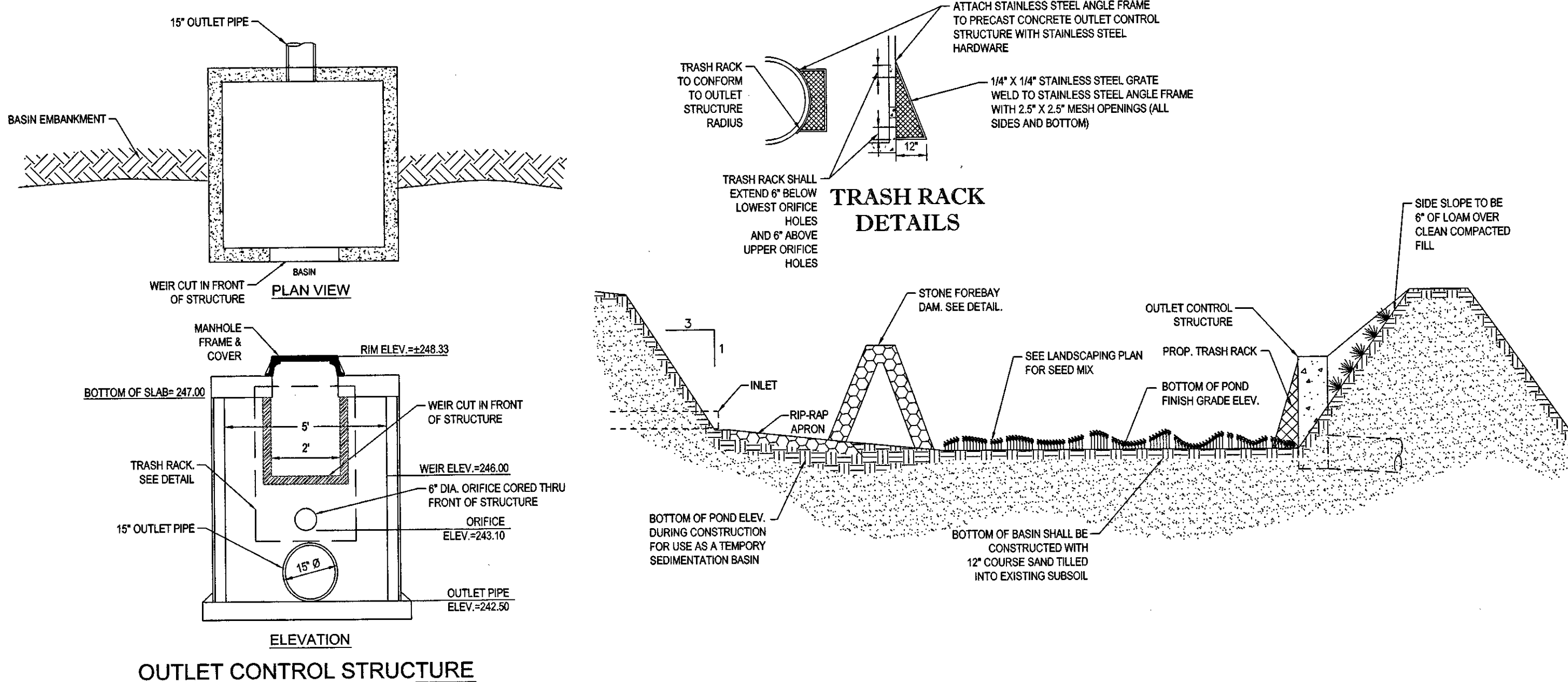
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N.T.S.

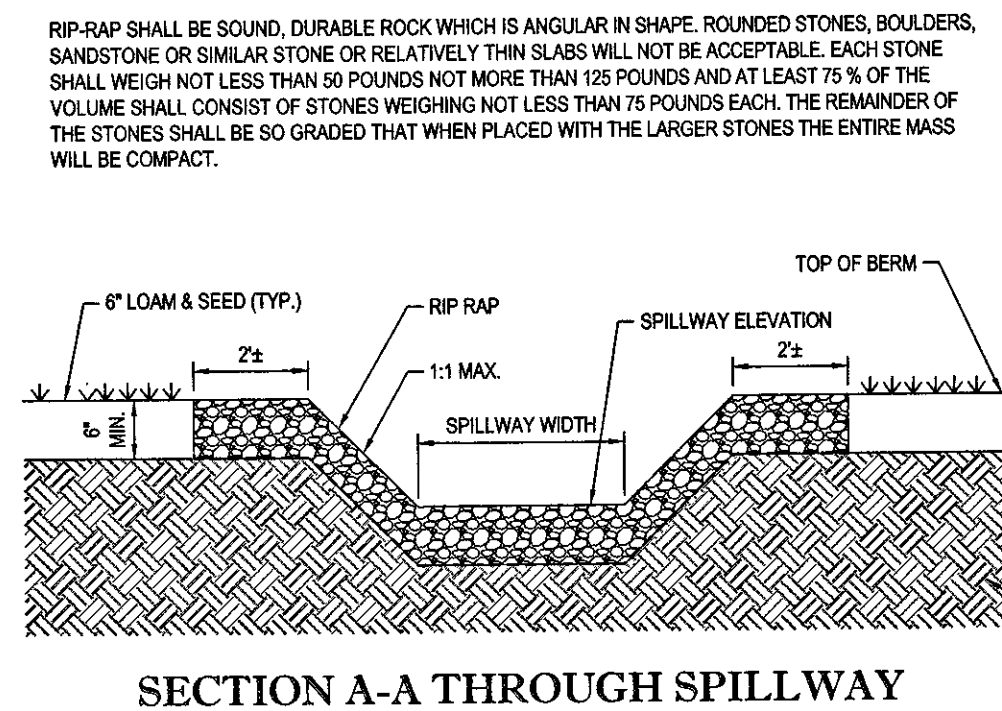
INFILTRATION BASIN #1

N.T.S.

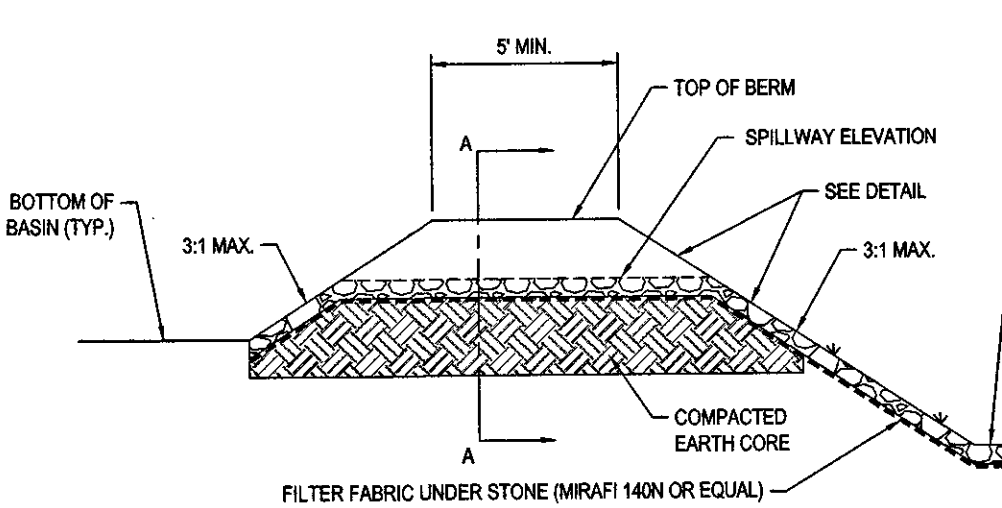


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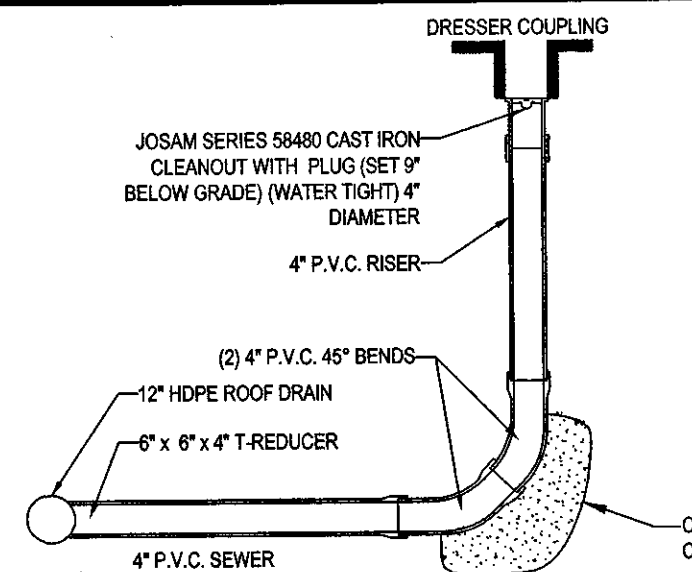
INFILTRATION BASIN #1 WITH OUTLET CONTROL STRUCTURE DETAIL



SECTION A-A THROUGH SPILLWAY

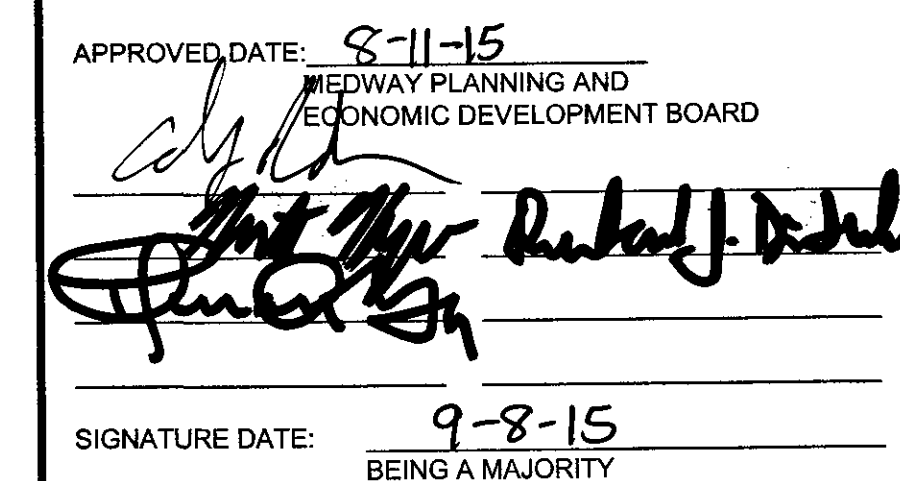


N.T.S.



CLEANOUT DETAIL

N.T.S.



REVISIONS

REV	DATE	COMMENT	BY
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2	05/07/15	CON-COM SUBMITTAL	NEM
3	05/13/15	DRC COMMENTS	NEM
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8	08/05/15	ADDED ANR PROPERTY LINES	EGD
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10			
11			
12			
13			
14			
15			

PLAN ENDORSEMENT

PROJECT NO: W141182
DRAWN BY: CFB/BPB
CHECKED BY: JAB/JAK
DATE: 10/20/15
SCALE: AS NOTED
CAD I.D.: W141182SSB

SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

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J.A. RUSCH PROFESSIONAL ENGINEER

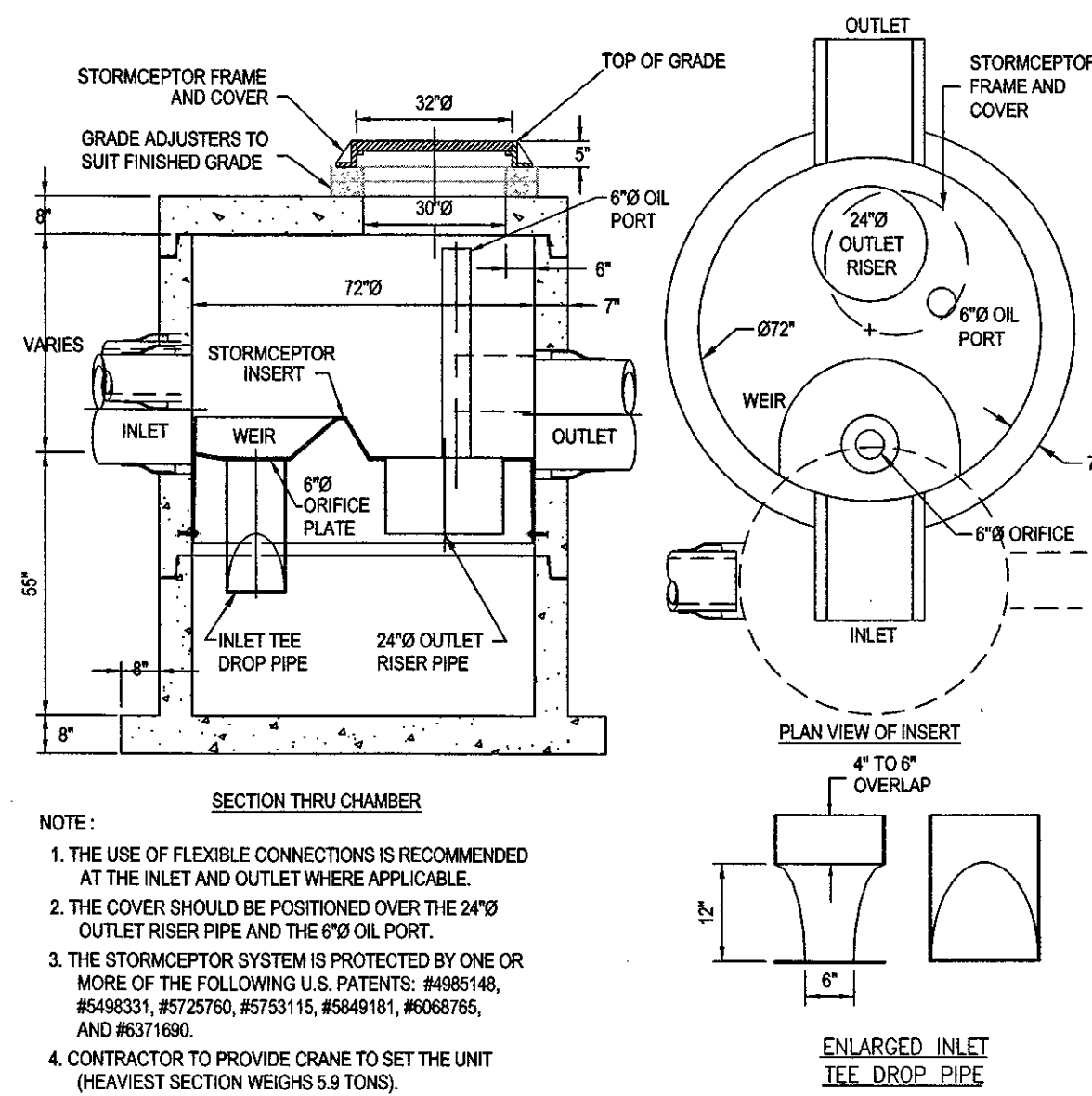
SHEET TITLE:

CONSTRUCTION DETAIL SHEET

SHEET NUMBER:

15
OF 16

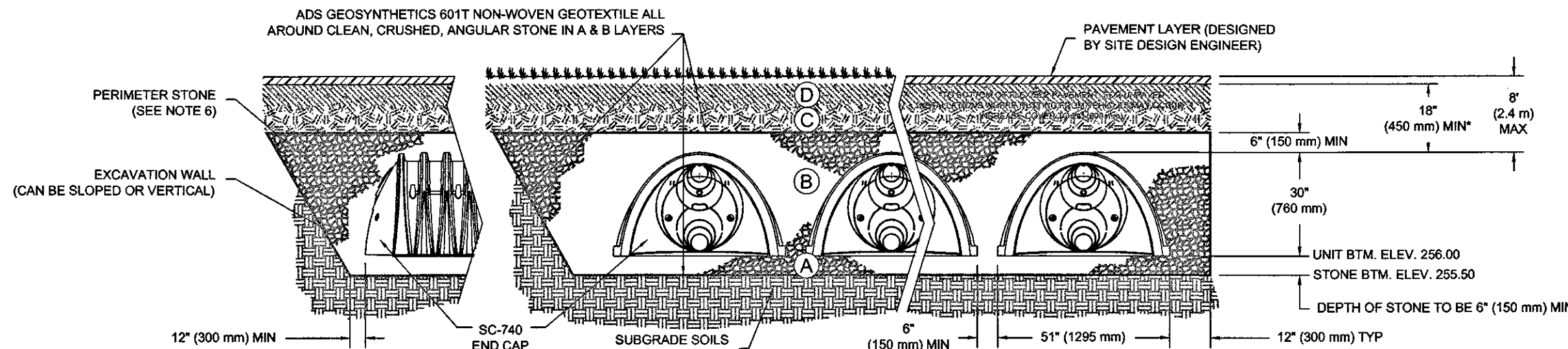
REV 9 - 09/04/2015



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. AASHTO M-45 A-1, A-2-4, A-3 OR AASHTO M-43 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. *1

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH FINISHED AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 UNIT

N.T.S.

STORMTECH SECTION

N.T.S.

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 OR ASTM F2922 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS.

STORMTECH RECOMMENDS 3 BACKFILL METHODS:

 - STONEHOPPER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/SC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-692-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

APPROVED DATE: 8-11-15

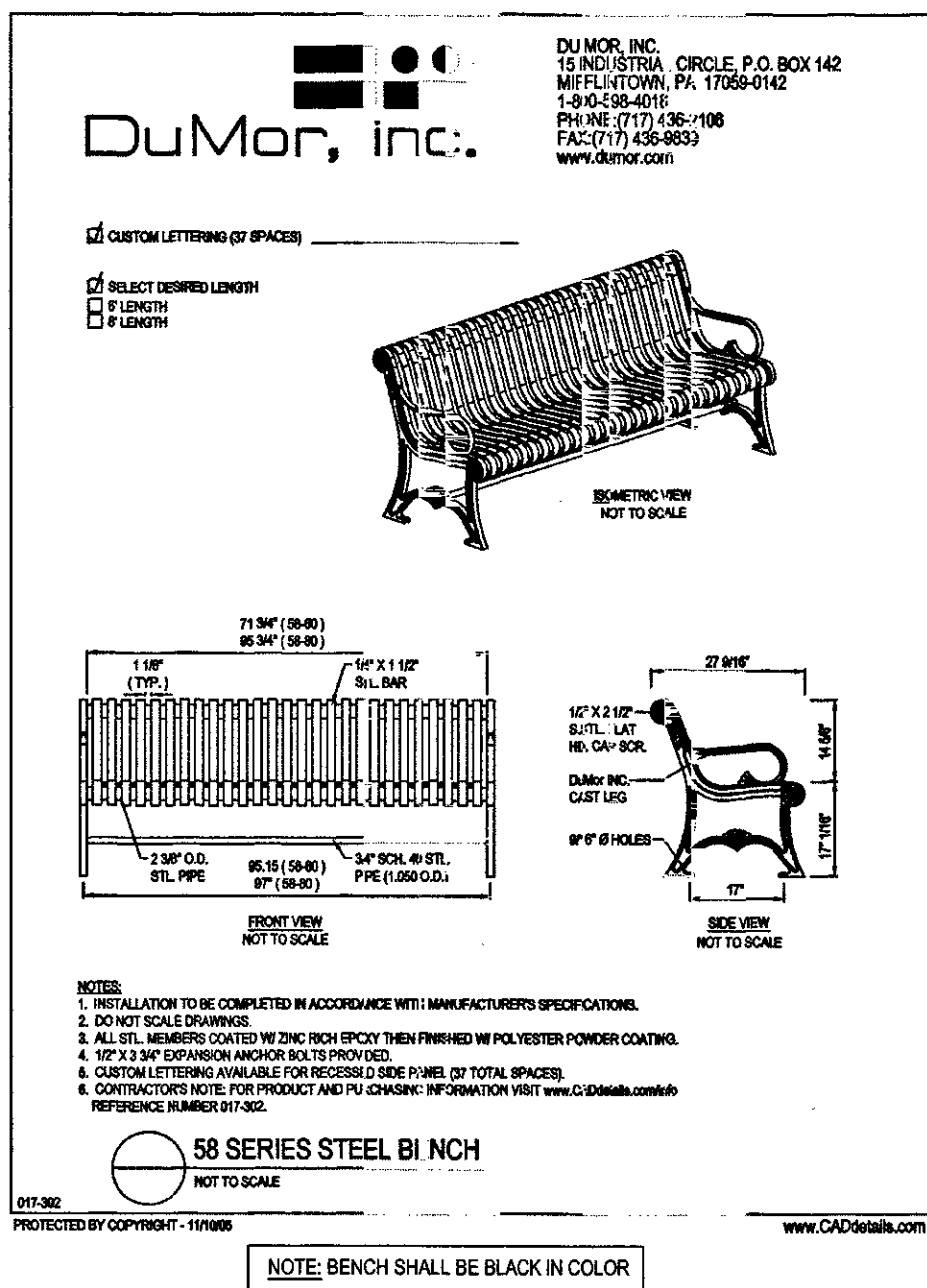
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: 9-8-15

BEING A MAJORITY

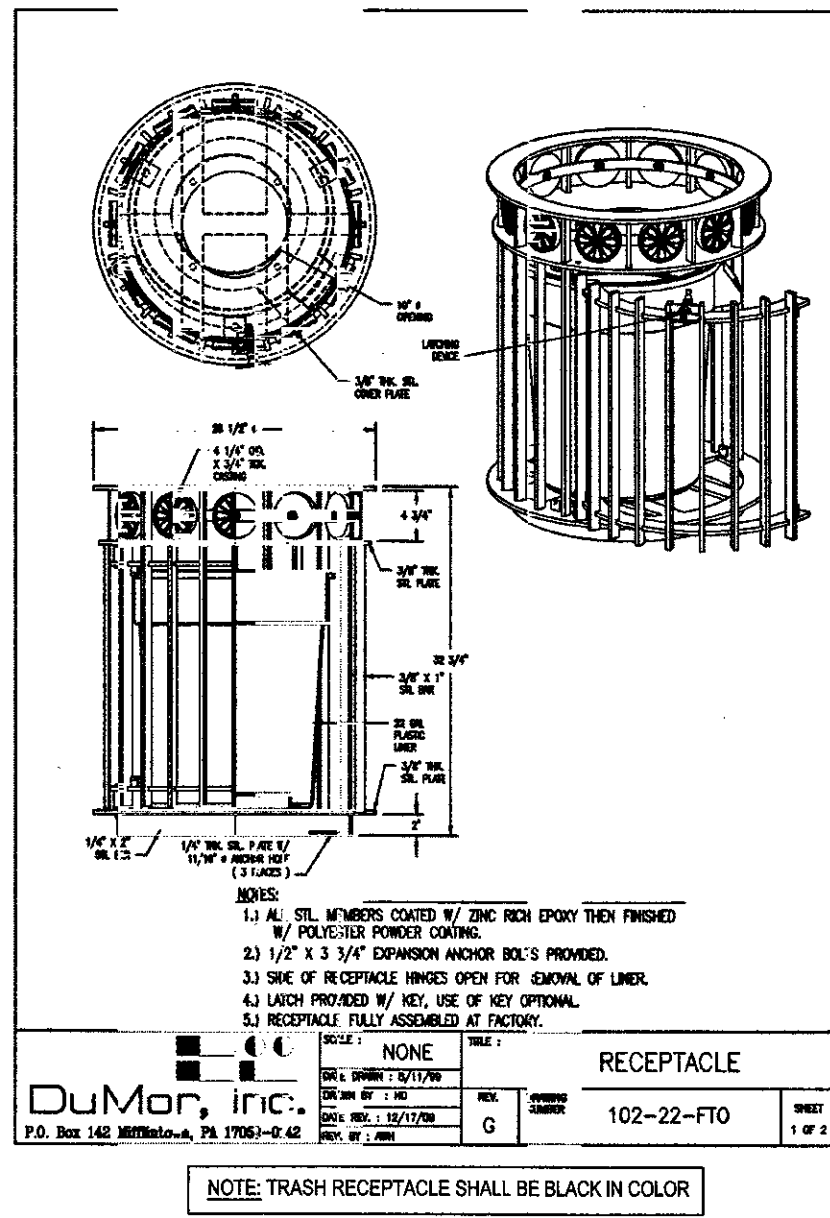
STORMCEPTOR 900

N.T.S.



BENCH DETAIL

N.T.S.



TRASH RECEPTACLE DETAIL

N.T.S.

STORMTECH SPECIFICATIONS

N.T.S.

REVISIONS

REV	DATE	COMMENT	BY
1	04/27/15	PEER REVIEW COMMENTS	NEM
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3	05/13/15	DRC COMMENTS	NEM
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9	09/4/15	PLANNING BOARD ENDORSEMENT	BPB
10			
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12			
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PLAN ENDORSEMENT

PROJECT No.: W141182
DRAWN BY: CDF/BPB
CHECKED BY: JAS/JAK
DATE: 1/9/2015
SCALE: AS NOTED
CAD I.D.: W141182SS9

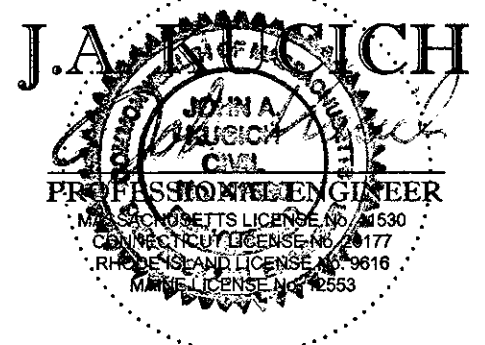
SITE DEVELOPMENT PLANS FOR THURKEN MEDWAY LLC

THURKEN MEDWAY LLC

LOCATION OF SITE
72 MAIN STREET
MAP #40 LOT #051
TOWN OF MEDWAY
NORFOLK COUNTY
MASSACHUSETTS

BOHLER ENGINEERING

352 TURNPIKE ROAD
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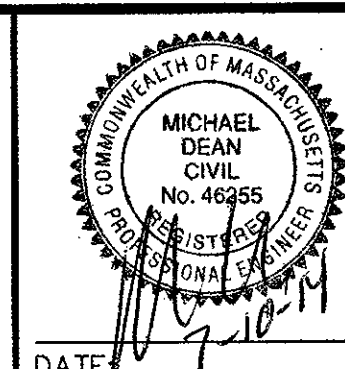
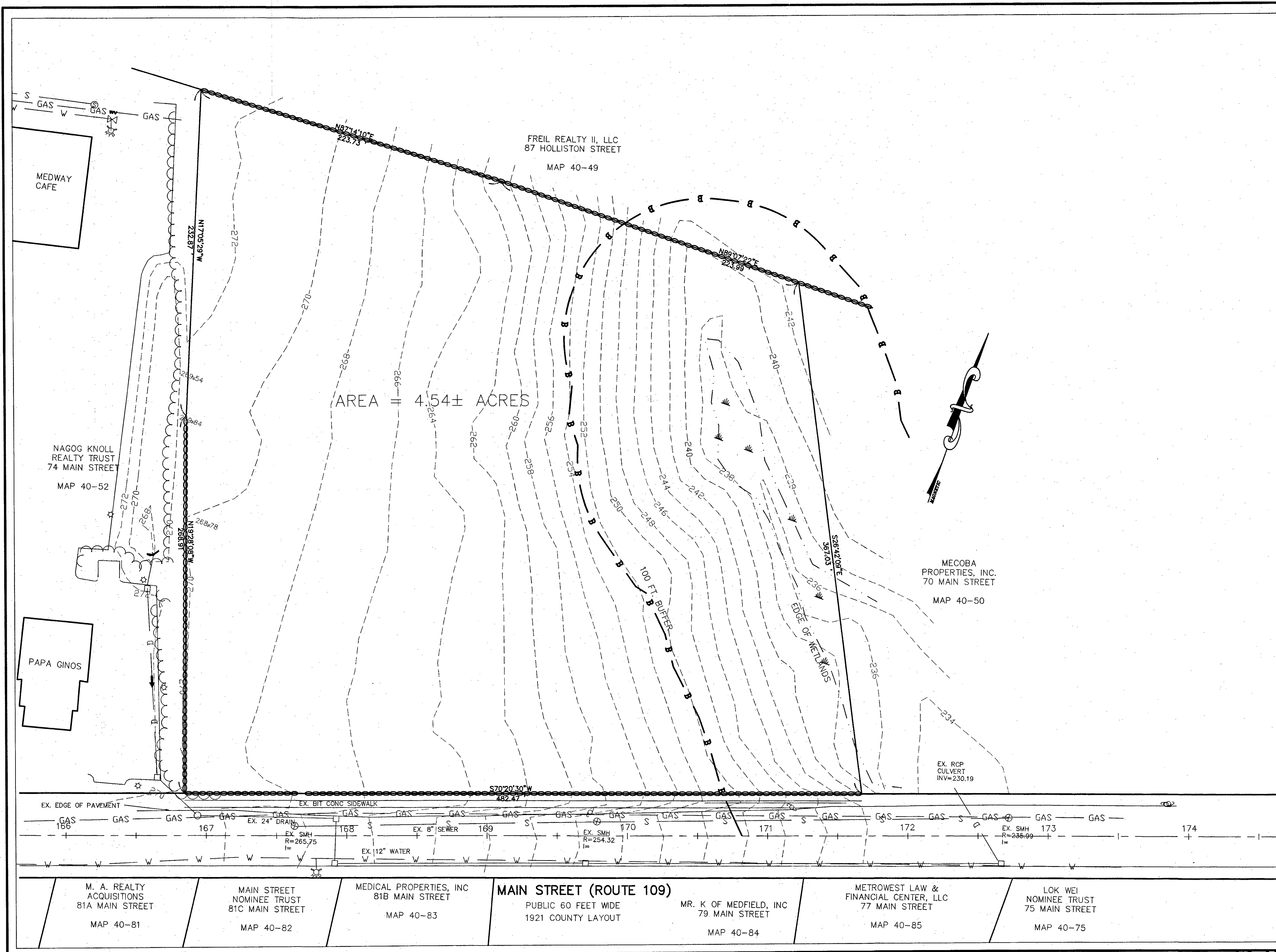
SHEET TITLE:

CONSTRUCTION DETAIL SHEET

SHEET NUMBER:

16
OF 16

REV 9 - 09/4/2015



DATE: 8-11-15
APPROVED DATE: 8-11-15
MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

[Signature]
[Signature]
[Signature]

SIGNATURE DATE: 9-8-15
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF
THE TITLE.

WARNING
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE
DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION
AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR
SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO
EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED
IN WORKING IN THESE AREAS.
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).
EXISTING LINES OTHER THAN THOSE INDICATED ON THESE
DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED
TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY
EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS
AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES
SEE NOTE ON SHEET 4

LEGEND
SEE LEGEND ON SHEET 5

##	DATE	DESCRIPTION	INIT
OWNERS			
MECOBA PROPERTIES, INC.			
70 MAIN STREET			
MEDWAY, MA 02053			
NAGOG KNOLL REALTY TRUST			
260 GREAT ROAD			
ACTON, MA 01720			
APPLICANT			
THURKEN III, LLC			
P.O. BOX 857			
NEW CASTLE, NH 03854			

"TRI VALLEY COMMONS"

"EXISTING CONDITIONS"
PLAN OF LAND
IN
MEDWAY, MA

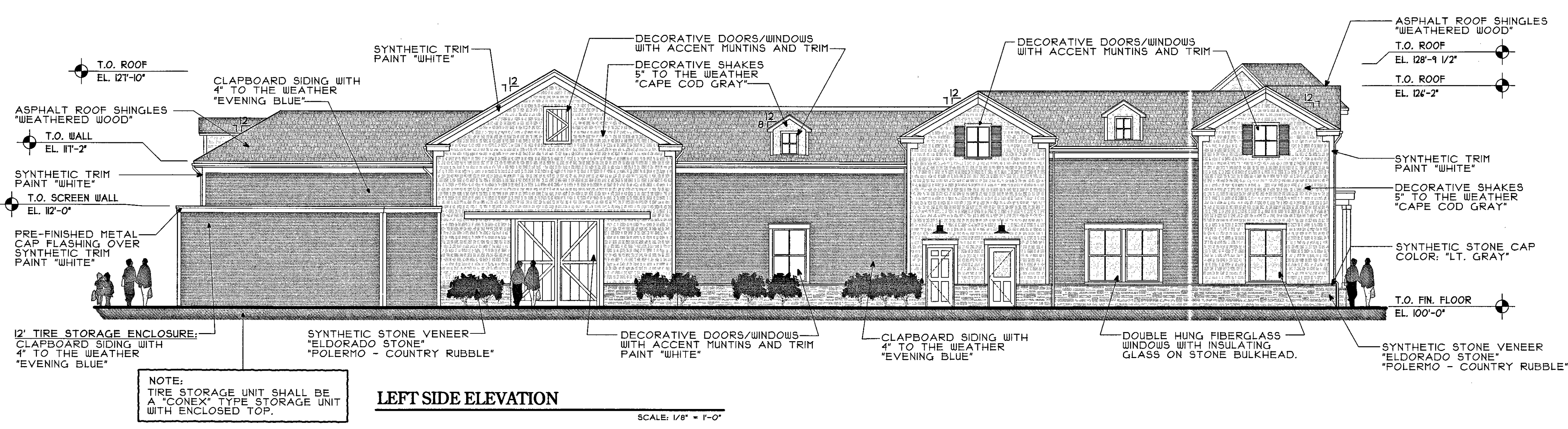
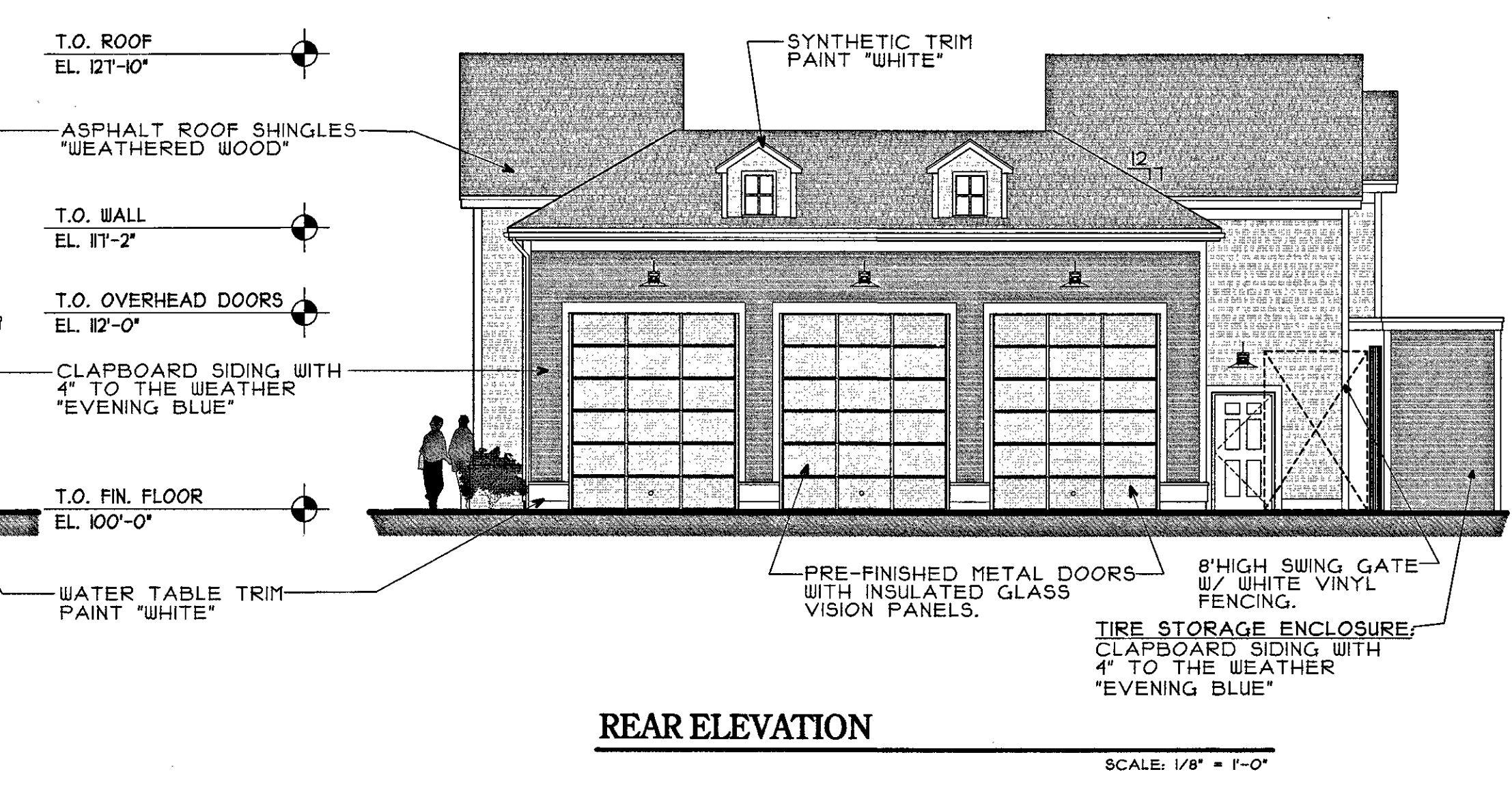
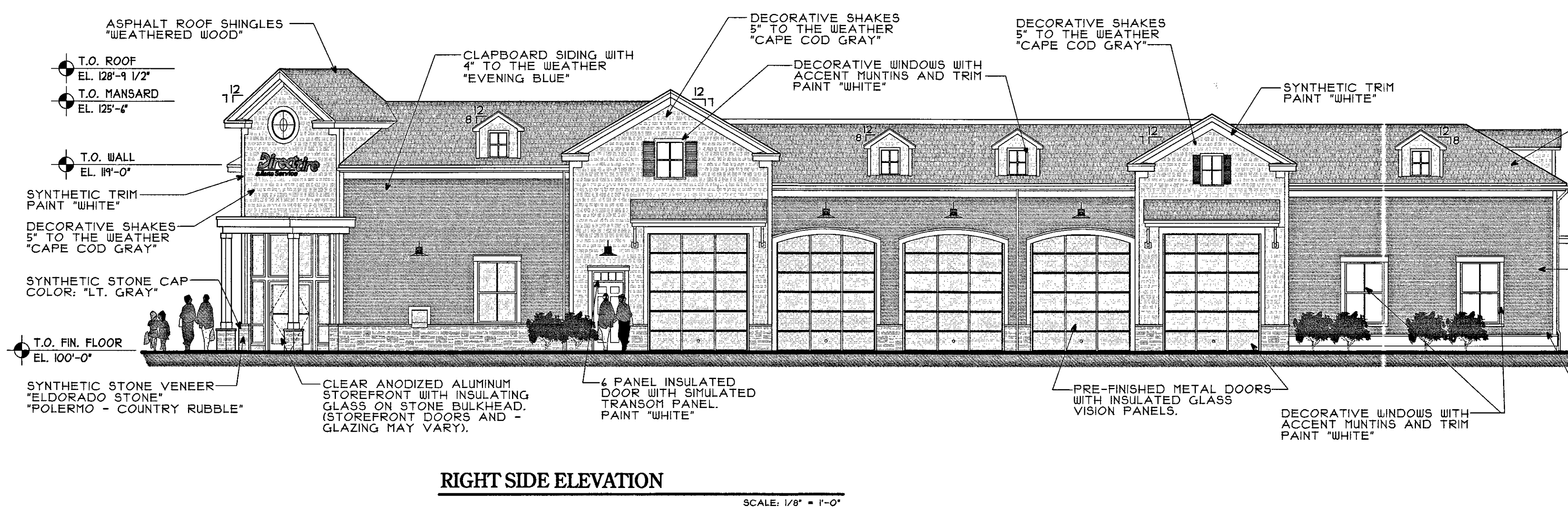
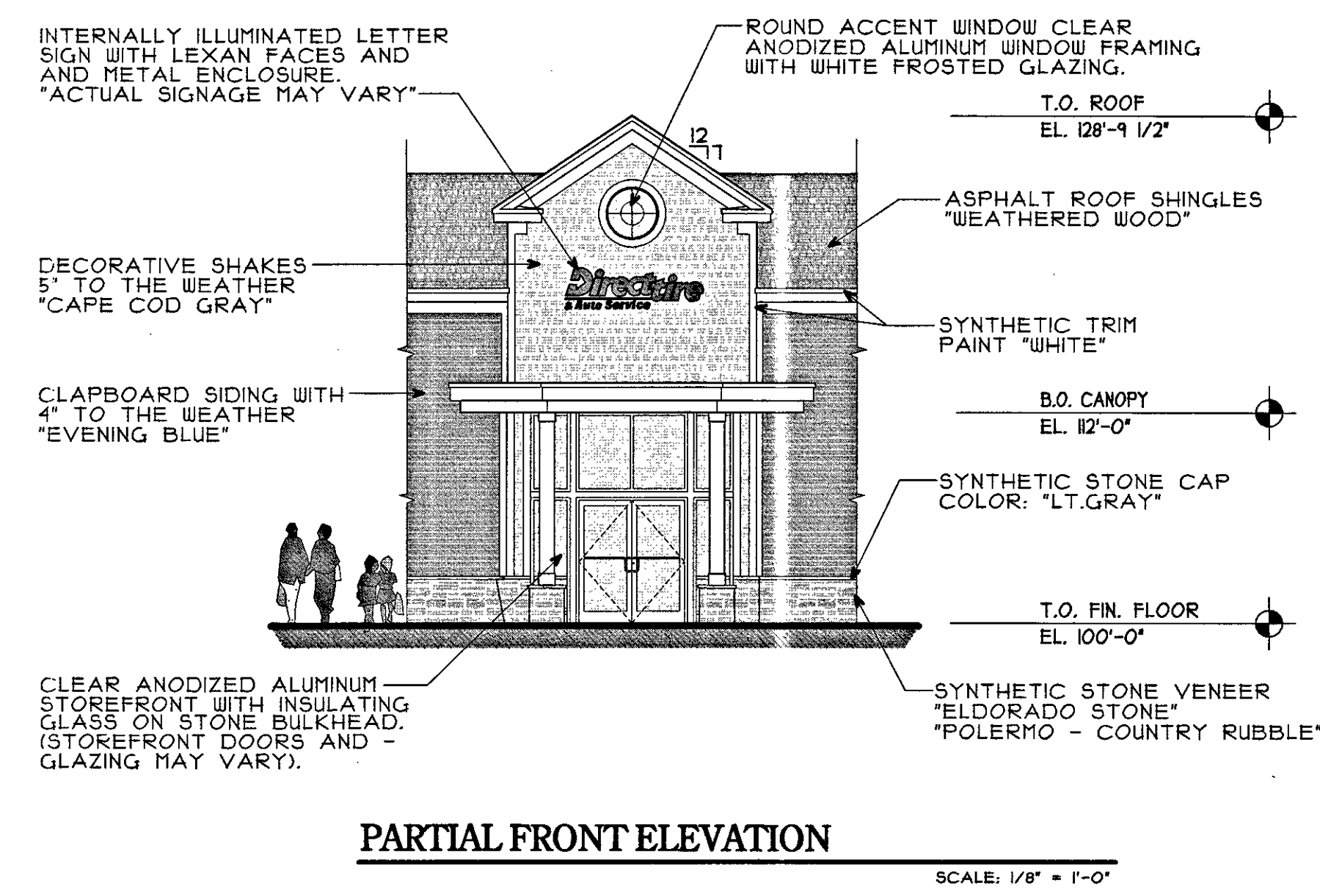
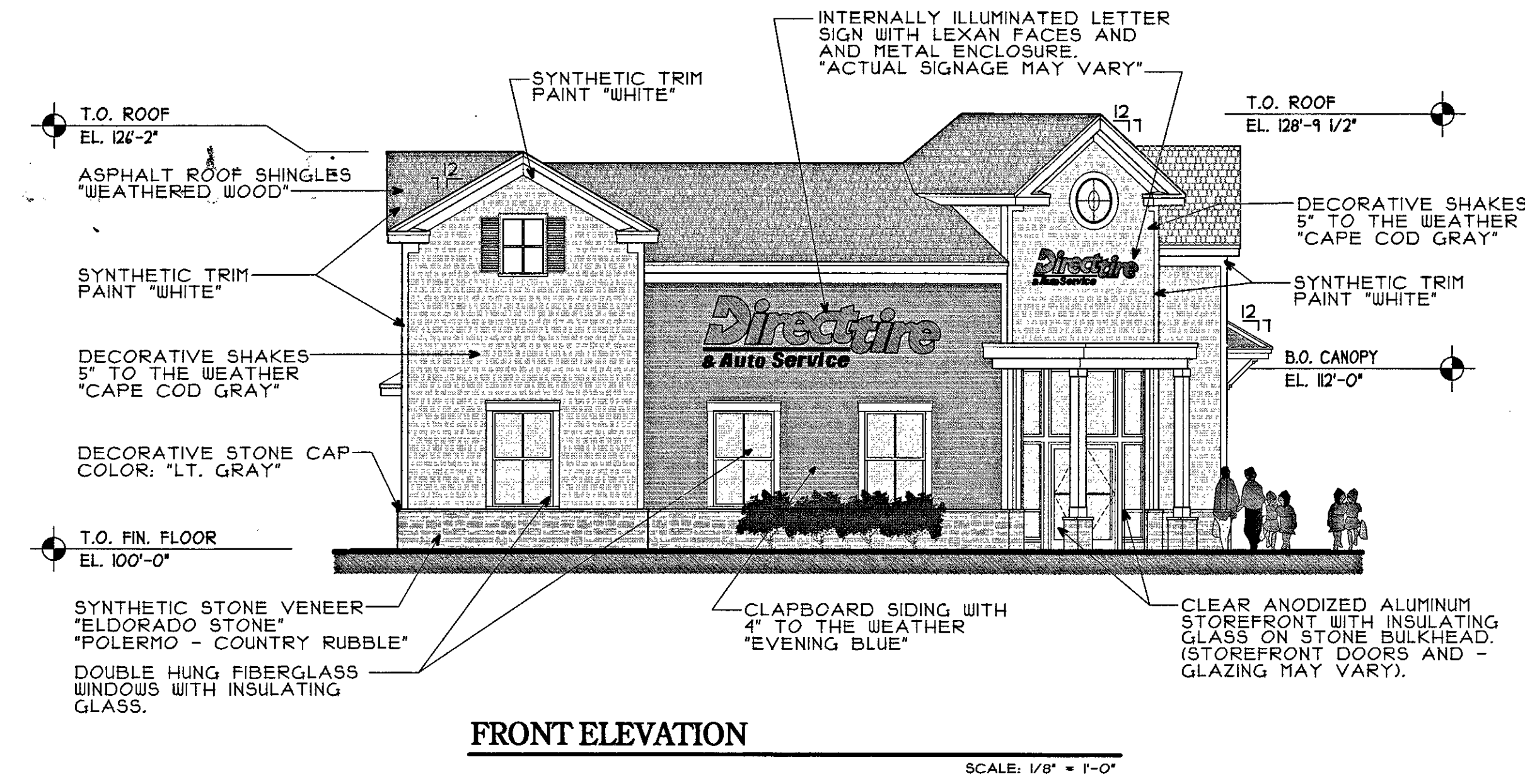
SCALE: 30 FEET TO AN INCH
DATE: MAY 20, 2014

Guerriere & Halnon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

SHEET TITLE	JOB NAME	REVISIONS
		1 REVISED 6-24-15
		2 REVISED 7-15-15
		3 REVISED 8-14-15
		4 REVISED 9-04-15
		5
		6
		7
DRAWN BY:	P.F.	
CHECKED BY:	REL	
DATE DRAWN:	1-12-15	
DATE ISSUED:	6-23-15	
SCALE:	AS NOTED	
JOB NUMBER:	13-30	
ARCHITECT'S SEAL		

ENGINEER'S SEAL

SHEET NUMBER



APPROVED DATE: 8-11-15
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD

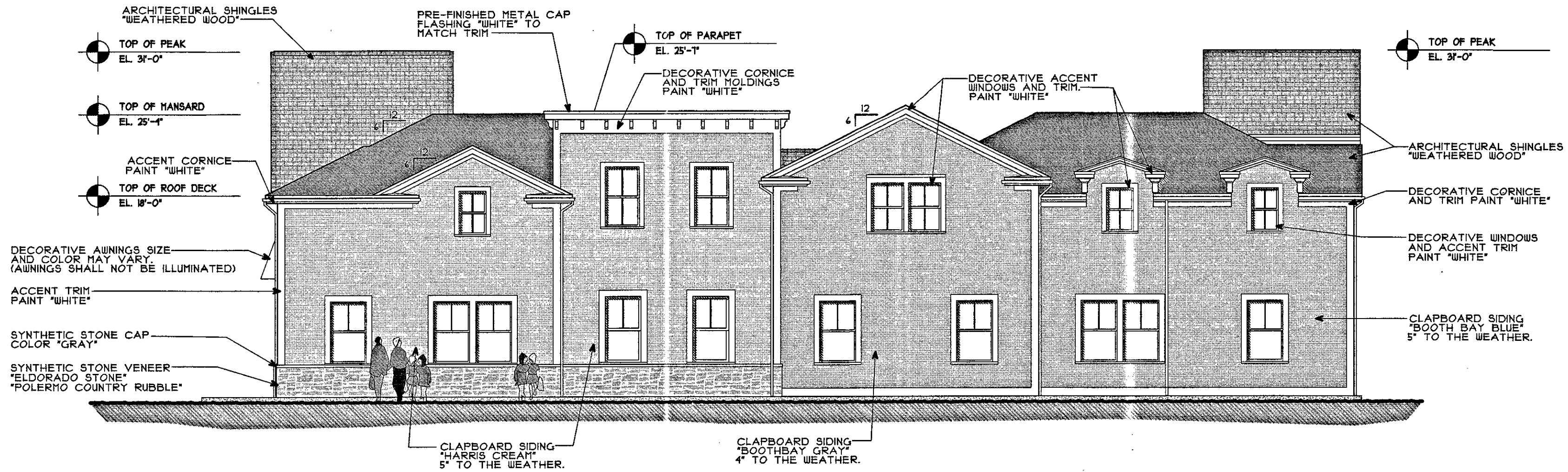
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BEING A MAJORITY

APPROVED DATE: 8-11-15
 MEDWAY PLANNING AND
 ECONOMIC DEVELOPMENT BOARD

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[Signature]

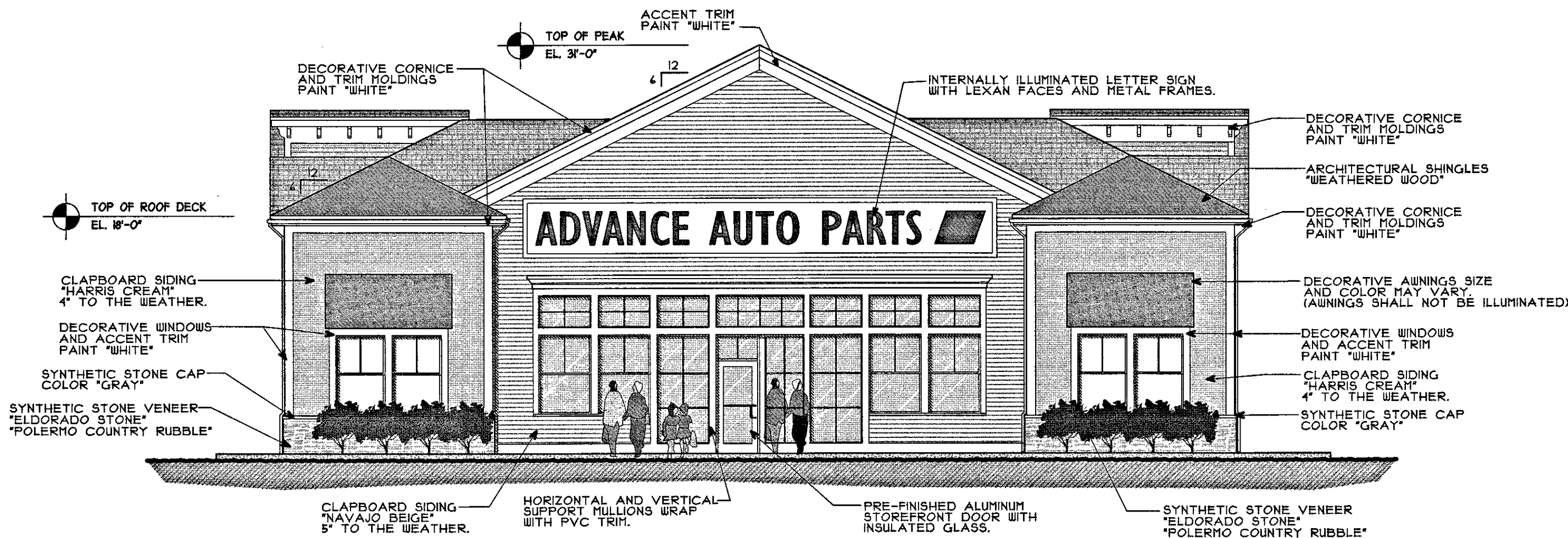
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 BEING A MAJORITY



RIGHTSIDE ELEVATION

(FACES ADJACENT BLDG. "C" AND PARKING AREA)

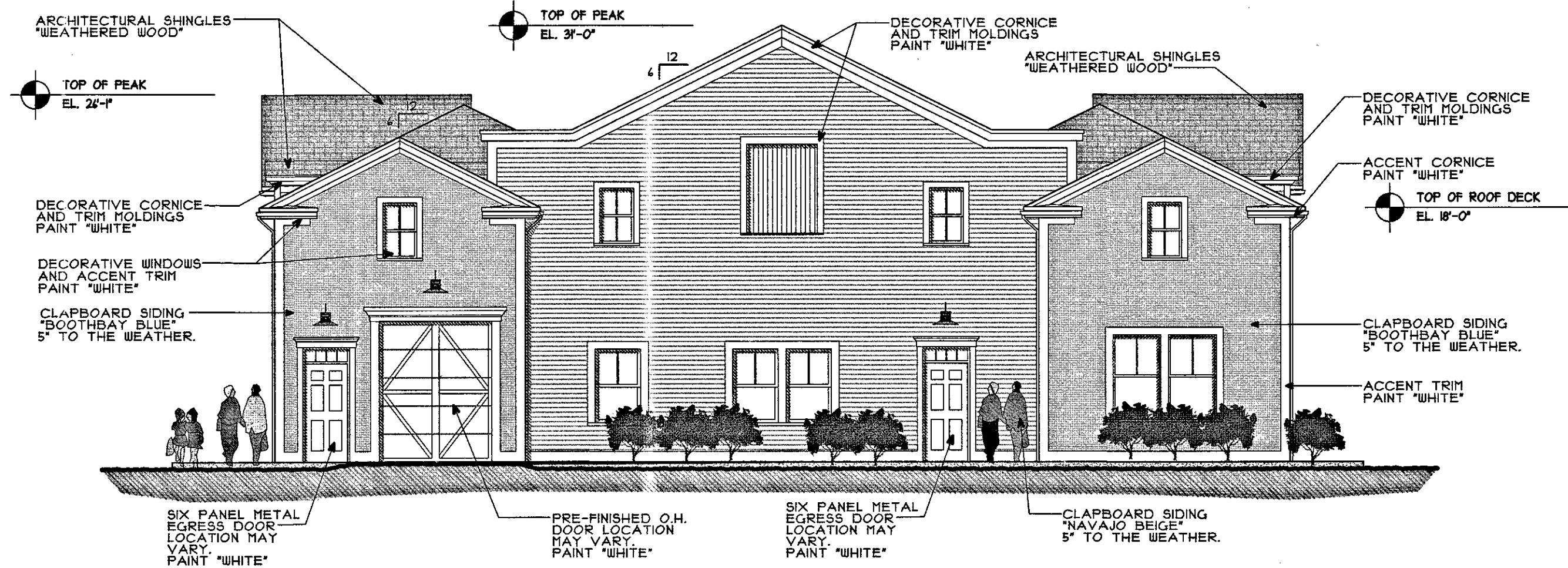
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FRONT ELEVATION

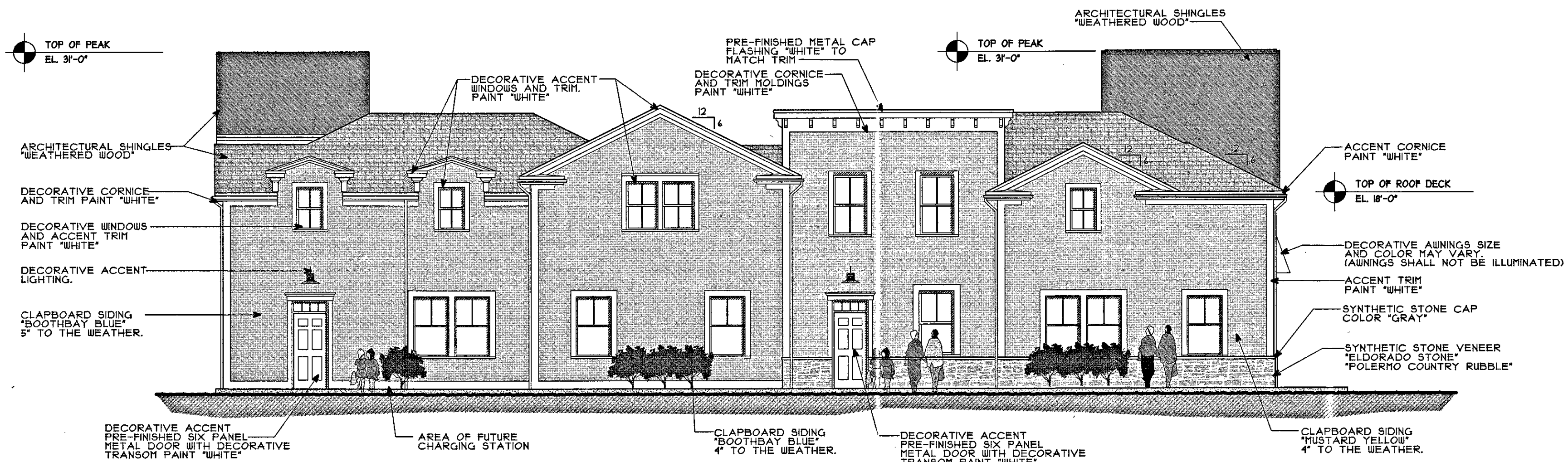
(FACES ROUTE 109)

SCALE = 1/8" = 1'-0"



REAR ELEVATION

SCALE = 1/8" = 1'-0"



LEFTSIDE ELEVATION

(FACES ADJACENT BLDG. "A" AND PARKING AREA)

SCALE = 1/8" = 1'-0"

SHEET TITLE

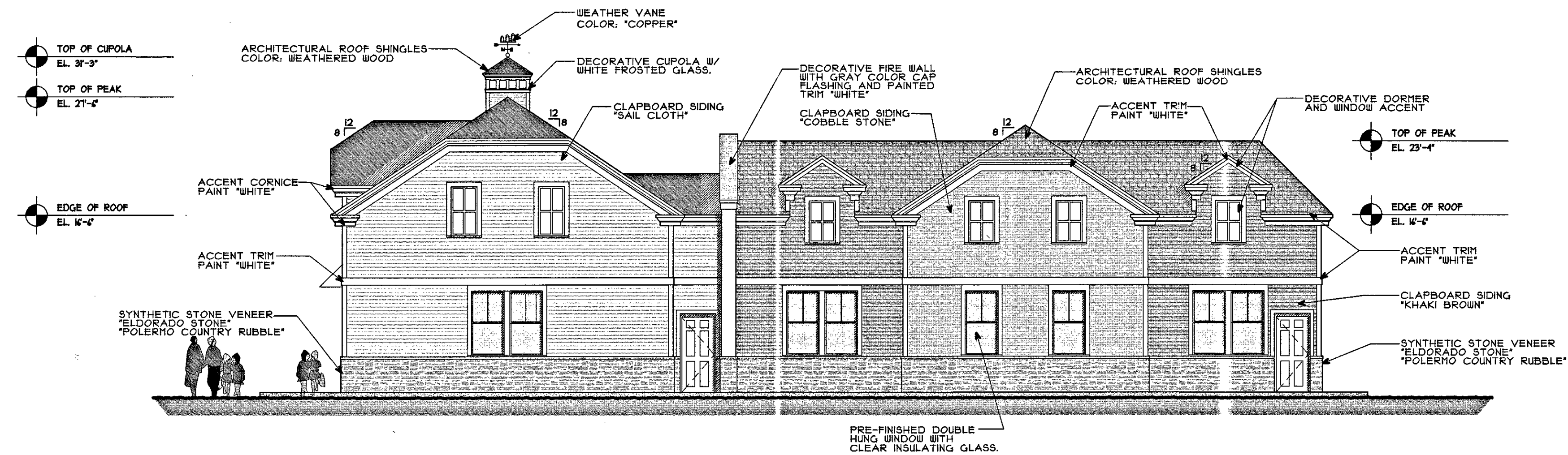
JOB NAME

REVISIONS

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4		
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CHECKED BY:	REL	
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JOB NUMBER:	13-30	
ARCHITECT'S SEAL		

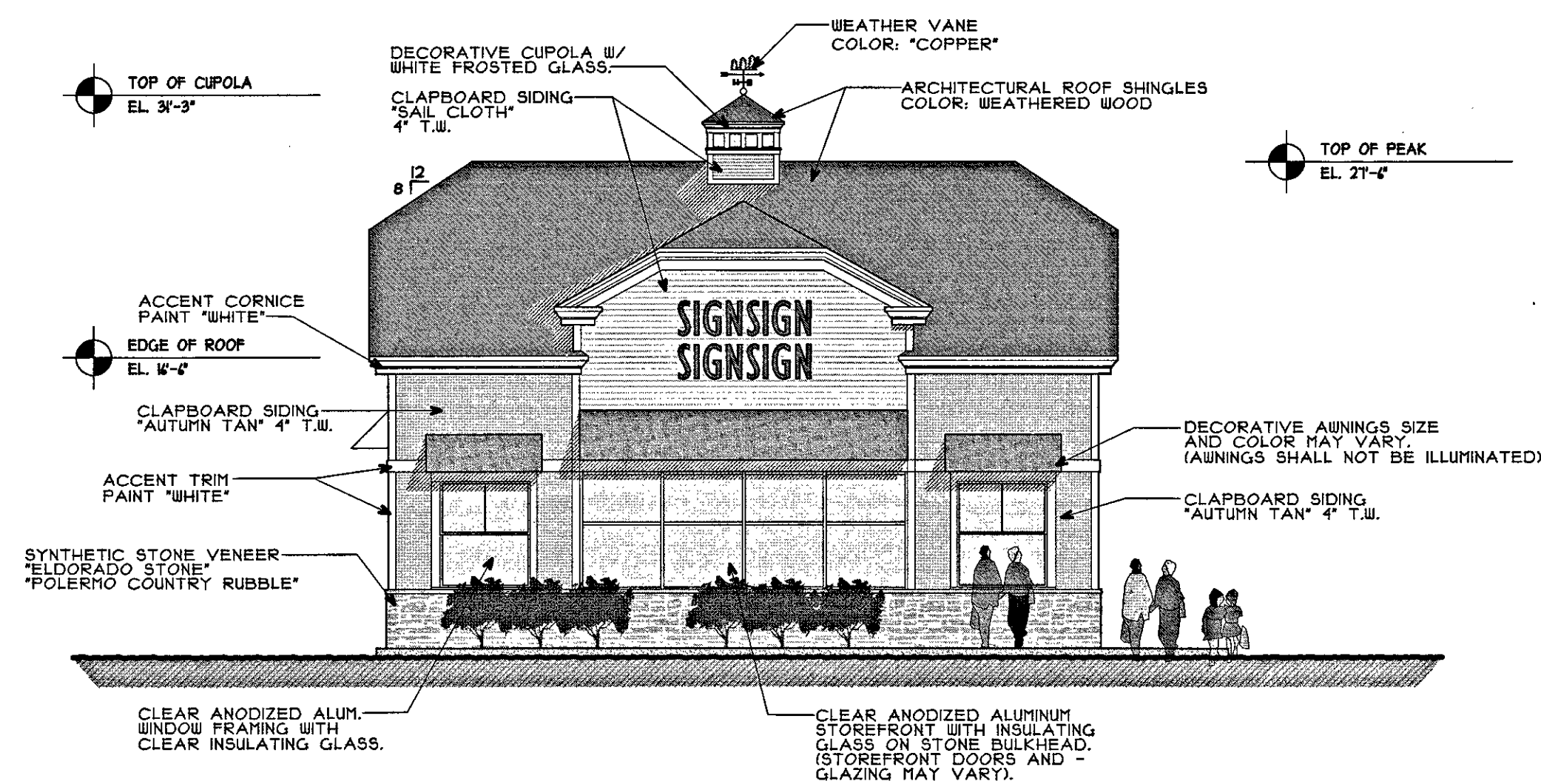
ENGINEER'S SEAL

SHEET NUMBER



RIGHTSIDE ELEVATION

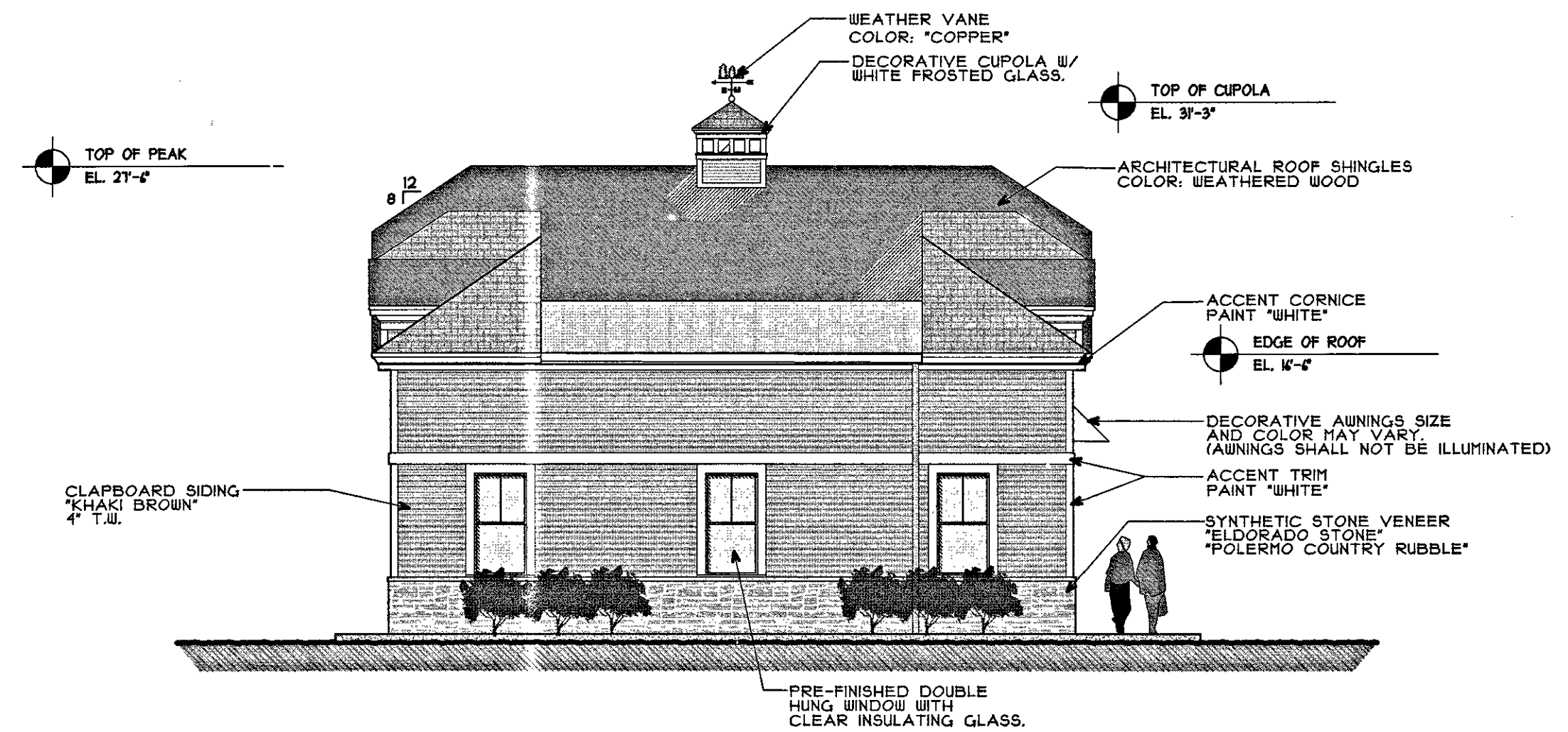
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FRONT ELEVATION

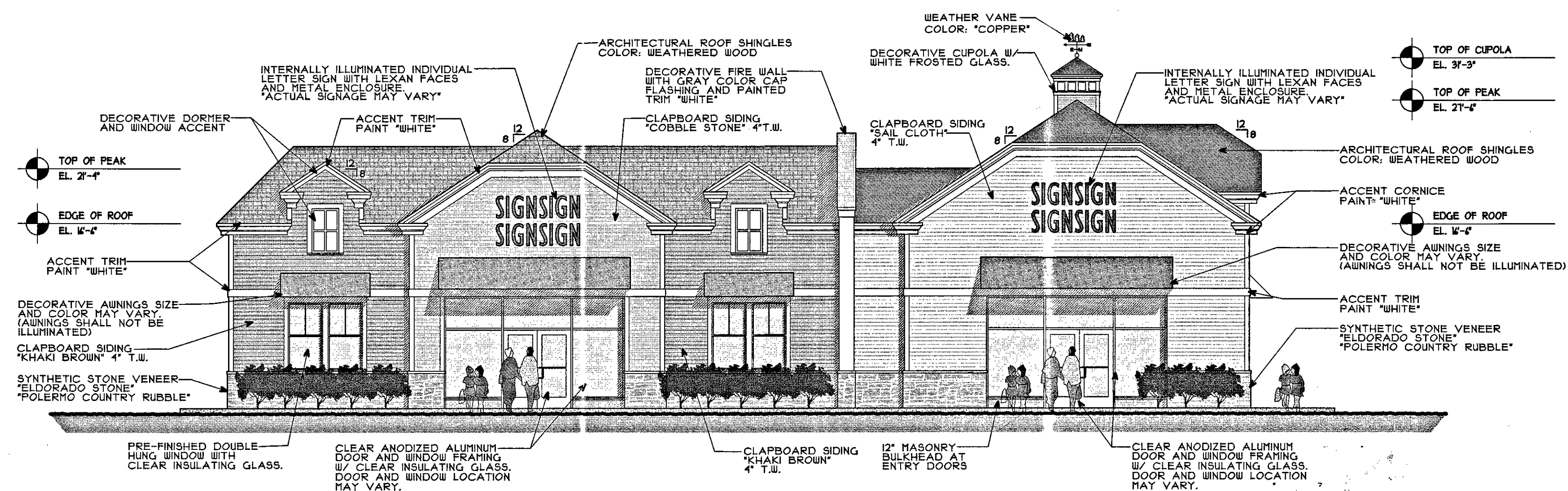
(FACES ROUTE 109)
NOTE: ZONING BYLAWS ALLOW ONLY (1) SIGN PER TENANT IN A MULTI-TENANT PROJECT.
SIGN SHOWN WILL REQUIRE A VARIANCE.

SCALE = 1/8" = 1'-0"



REAR ELEVATION

SCALE = 1/8" = 1'-0"



LEFTSIDE ELEVATION

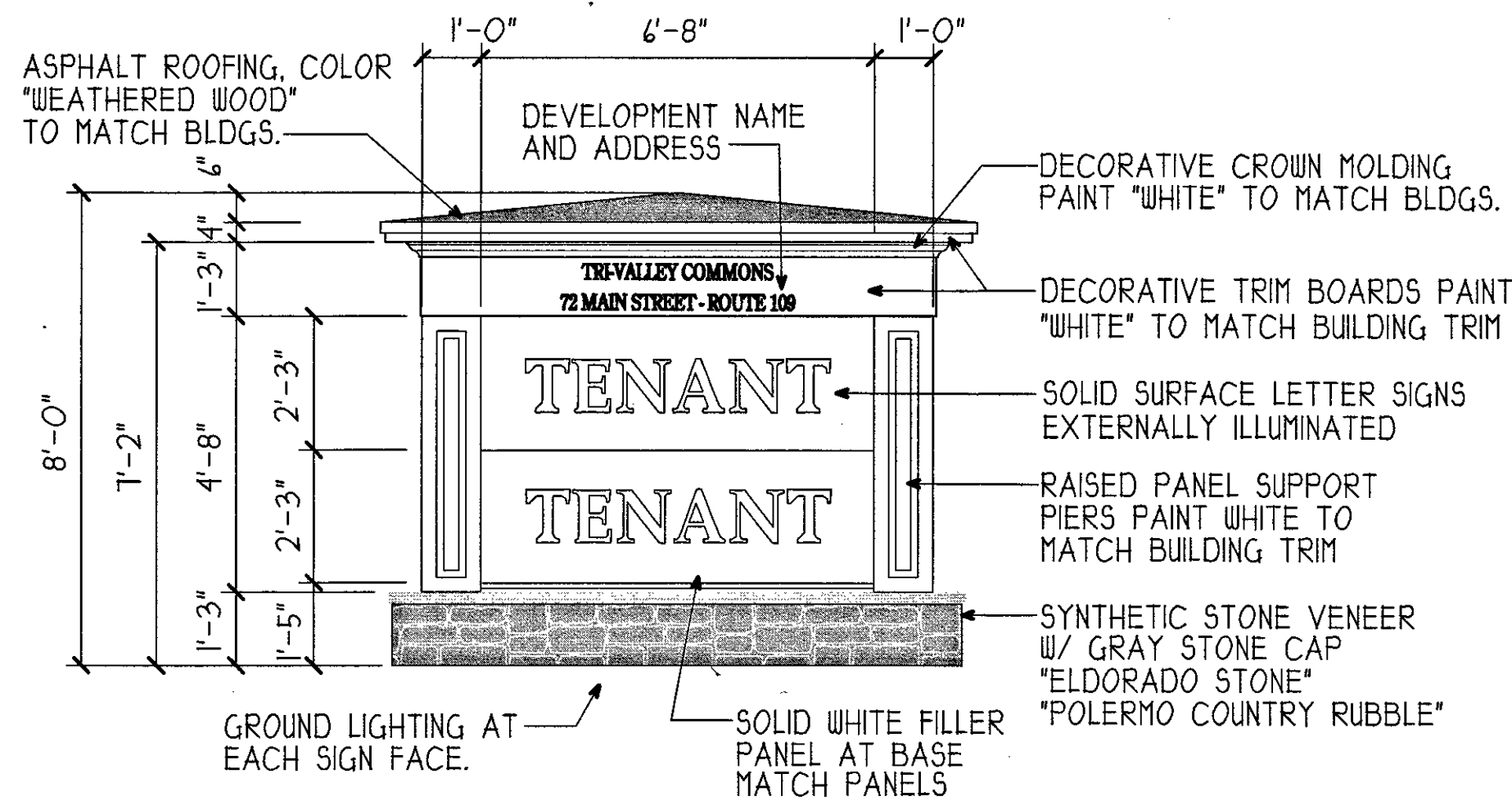
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SCALE = 1/8" = 1'-0"

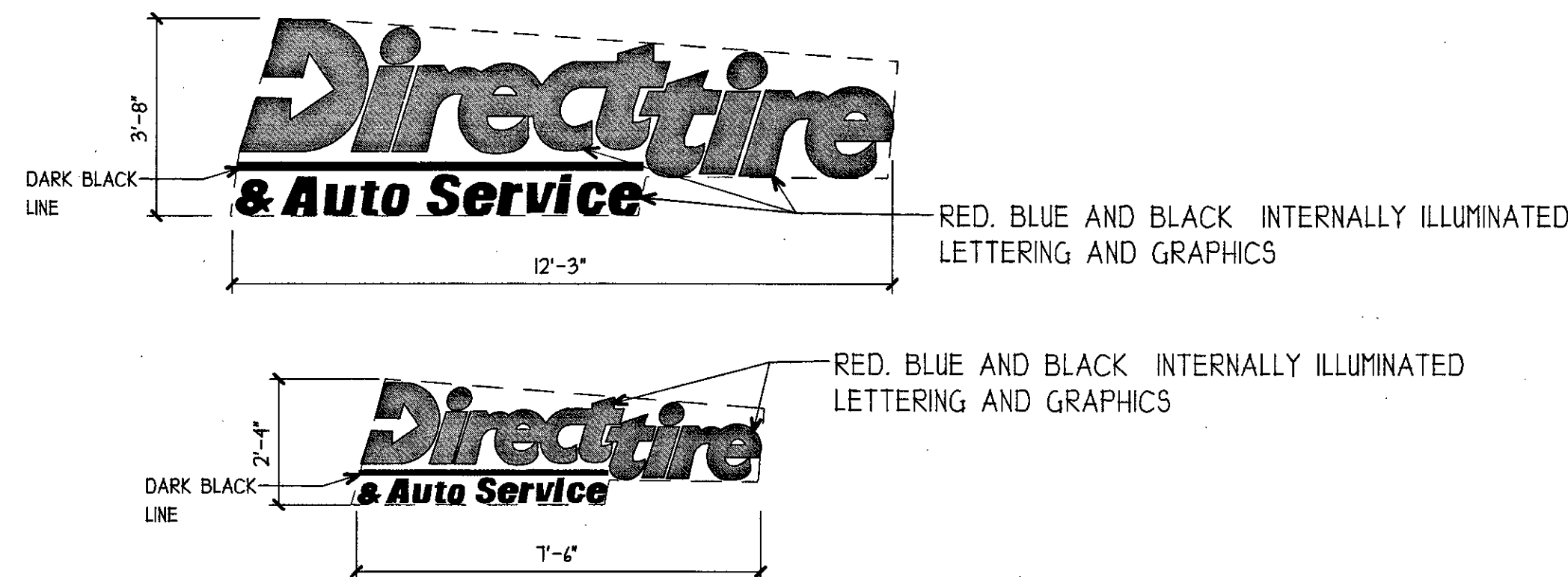
APPROVED DATE: 8-11-15
MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

Andy Rod
Paul J. Dibel

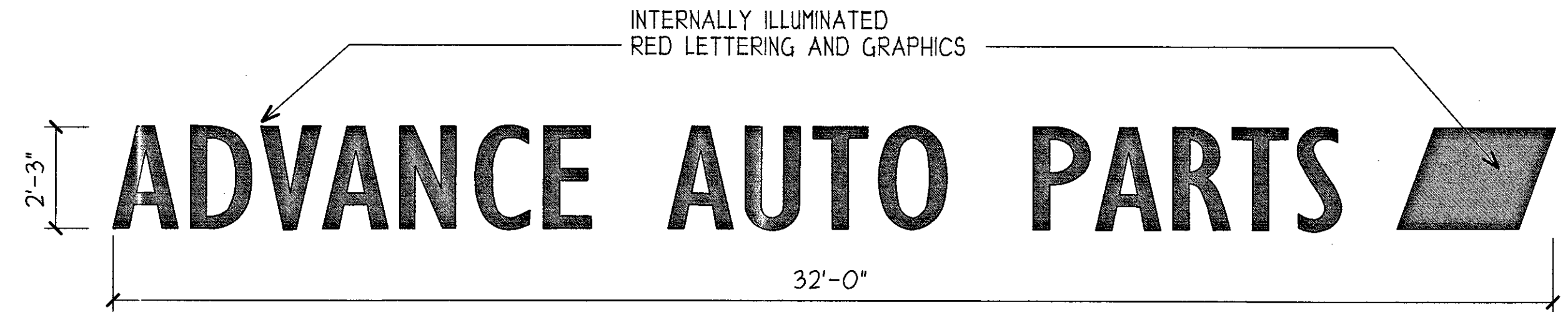
SIGNATURE DATE: 9-8-15
BEING A MAJORITY



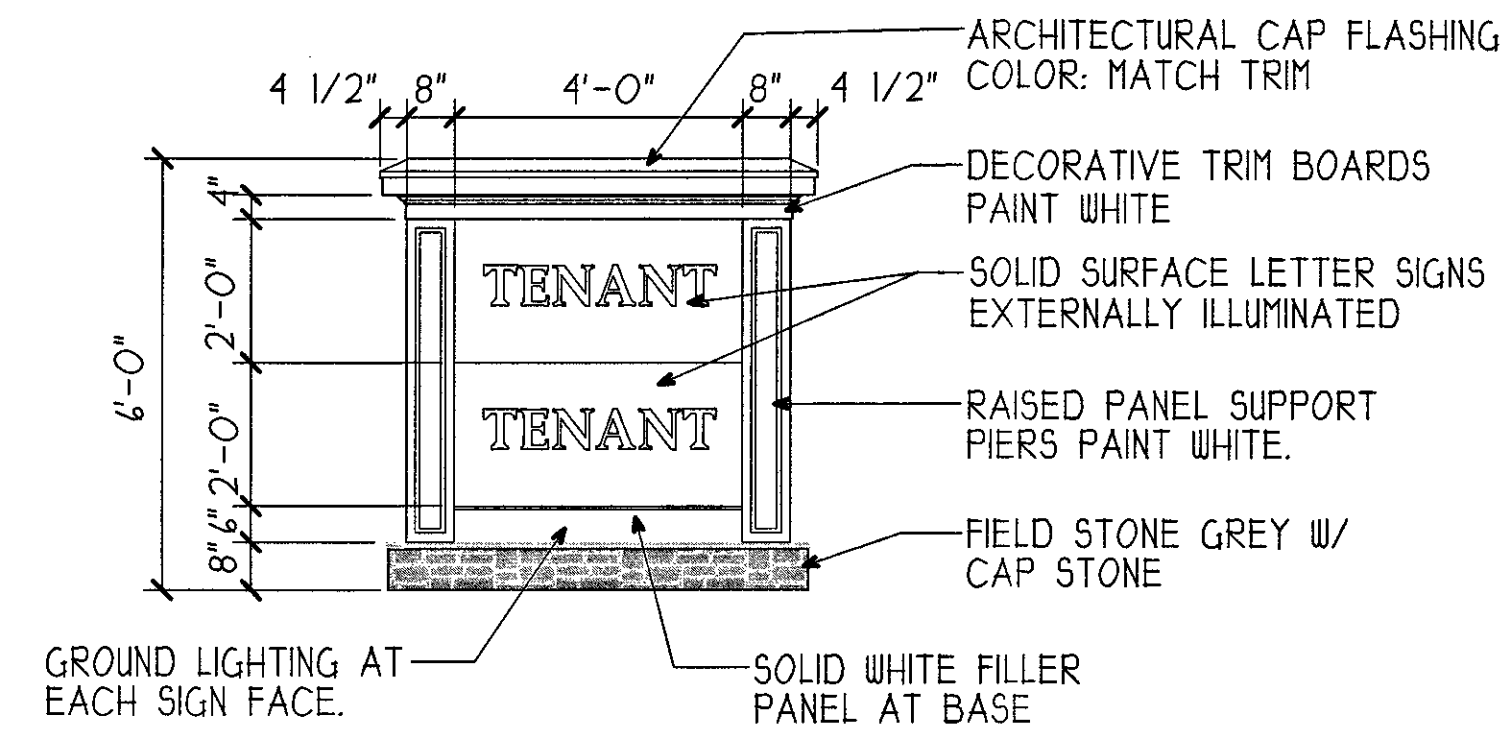
MONUMENT DEVELOPMENT SIGN
30 SF SIGN SURFACE PER SIDE



WALL MOUNTED SIGNS - BLDG A
(I) 36 S.F. SIGN (II) 14 S.F. SIGN
BASED ON 50'-0" FRONTAGE



WALL MOUNTED SIGN - BLDG B
1 12 SQ FT SIGN - BASED ON 12'-0" FRONTAGE



FREESTANDING DIRECTORY SIGN
16 SF SIGN SURFACE PER SIDE

TENANT SIGN STANDARDS

ALL BUILDING SIGNS SHALL CONFORM TO TOWN OF MEDWAY SIGN STANDARDS

ALL TENANT BUILDING SIGNAGE TO BE INTERNALLY ILLUMINATED CHANNEL LETTER SIGNS WITH COLOR FACES.

SIGNS SHALL BE BETWEEN 1'-8" AND 2'-6" HIGH.

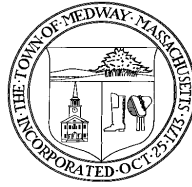
BUILDING SIGN ON ANY TENANT BUILDING SHALL NOT EXCEED 1 SF PER LINEAL FOOT OF FRONTAGE UP TO A MAXIMUM OF 80SF.

APPROVED DATE: 8-11-15
MEDWAY PLANNING AND
ECONOMIC DEVELOPMENT BOARD

SIGNATURE DATE: 8-8-15
BEING A MAJORITY

REVISIONS	
1	REVISED 4-0-5
2	REVISED 4-01-5
3	REVISED 1-11-5
4	
5	
6	
7	
DRAWN BY: B.M.H. P.F.	
CHECKED BY: R.L.	
DATE DRAWN: 3/2/15	
DATE ISSUED: 3/2/15	
SCALE: AS NOTED	
JOB NUMBER: 13-30	
ARCHITECT'S SEAL	

ENGINEER'S SEAL



TOWN OF MEDWAY
Planning and Economic Development Board

December 12, 2016 – DRAFT

Certificate of SITE PLAN Completion
Tri Valley Commons – 72 Main Street

Richard Landry, on behalf of Thurken Medway LLC, has requested that the Medway Planning and Economic Development Board issue a *Certificate of Site Plan Completion* and release the performance security for the following site plan development:

Project Name: Tri Valley Commons

Project Location: 72C & D Main Street

NOTE – This Certificate pertains only to the parcel with the two buildings where Direct Tire and Advance Auto are located and the stormwater system

Assessor's Map/Parcel Numbers: 40-51

Title of Site Plan: *Site Development Plans – Tri Valley Commons*
Bohler Engineering, Southborough, MA

Drawn by: John A. Kucich, P.E., Bohler Engineering

Date of Site Plan: January 9, 2015, last revised September 4, 2015

Date of Site Plan/Special Permit Decision: June 23, 2015; modification approved August 11, 2015

Date of Site Plan Endorsement: Modified Plan - September 8, 2015

Developer's Name: Thurken Medway LLC

Developer's Address: 92 Abigale Lane, New Castle, NH 03854

Current Property Owner: Marianne Connaughton & Timothy R. O'Brien, Trustees of Thirty-Two Freemont Company, 32 Freemont Street, Needham, MA 02492
(property conveyed June 9, 2016)

As-built Survey Plan: *Record Survey – Tri Valley Commons*
Control Point Associates, Southborough, MA

Drawn by: Gerry L. Holdright, PLS

Date of As-Built Plan: Dated April 17, 2016, last revised November 30, 2016

Project Status

- OK Final Inspection/CO - Inspector of Buildings:
- Temporary CO for the Advance Auto building was issued on: November 10, 2016 (expires 2-5-2017)
 - Temporary CO for the Direct Tire buildings was issued on November 10, 2016 (expires 2-5-2017)
- OK Applicant's Project Engineer's Certification of Completion & Compliance for site plan work and/or stormwater management facilities – Letter dated 12-6-16 from John Kucich, P.E., Bohler Engineering.
- _____ Tetra Tech final site inspection and sign-off: _____
- OK Tetra Tech sign-off regarding the as-built plan: December 5, 2016
- _____ DPS Inspection/sign-off (if applicable) _____
- NA Acceptance of required public off-site improvements by BOS and/or DPS:
- _____ CONCOM Certificate of Compliance (if applicable) - Developer Rich Landry has not yet requested a CONCOM Certificate of Compliance.
- OK Treasurer's Certification of Taxes Paid: Confirmed 12-6-16 by Laurie Walker, Assistant Treasurer/Collector

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Date

Planning & Economic Development Board Certification

The above noted site plan project has been fully and satisfactorily completed in accordance with the requirements of the Planning Board's *Site Plan Rules and Regulations* applicable to this project, the application submitted for approval of this development, the Site Plan Decision and all conditions of approval, the endorsed Site Plan, all conditions subsequent to approval of the site plan due to any amendment, modification, or revision of the Site Plan or Decision.

All of the provisions set forth in any performance guarantee and any amendments thereto and the following additional documents (if any):

(hereinafter "approval instruments") are released.

1. This Certificate of Site Plan Completion pertains only to the buildings at 72C and 72 Main Street on Parcel 40-51 and the construction of the stormwater system for the entire 3 parcel site.

Future development of Parcel 40-051-002 (72A Main Street) and Parcel 40-051-0001 (72B Main Street) will be covered under a separate site plan application.

Planning and Economic Development Board Members

Member

Date

Member

Date

Member

Date

Member

Date

Member

Date

12/6/2016



December 13, 2016

**Medway Planning & Economic Development Board
Meeting**

97 Winthrop Street ANR Plan –
UPDATED

- ANR application for 97 Winthrop Street
- ANR plan for 97 Winthrop Street prepared by Douglas Design Group dated 12/6/2016
- PGC plan review letter dated 12/12/16

This ANR plan was filed on Thursday, December 8th. The subject parcel is at the southwest corner of Lovering and Partridge Streets. The plan shows 5+ acres to be divided into 3 lots with one lot reserved for the existing house.

I received the plan review letter from Gino Carlucci on Monday morning. I have forwarded it to Douglas Design Group and asked that they make the specified revisions and bring the updated plan to Tuesday night's meeting.

LAND SUBDIVISION – FORM A

Application for Endorsement of Plan Believed Not to Require Subdivision Approval (ANR)

Planning & Economic Development Board - Town of Medway, MA

INSTRUCTIONS TO APPLICANT/OWNER

*This Application is made pursuant to the Medway Planning Board Subdivision Rules and Regulations.
Please complete this entire Application.*

*Submit two (2) signed originals of this Application, one copy of the ANR Plan, and one Project Explanation
to the Town Clerk who will date stamp both Applications.*

*Provide one original ANR Application date stamped by the Town Clerk, one Project Explanation, eight
copies of the ANR Plan, an electronic version of the ANR plan and the appropriate ANR Filing Fee
to the Medway Planning & Economic Development office.*

*The Applicant certifies that the information included in this Application is a true, complete and accurate
representation of the facts regarding the property under consideration.*

*In submitting this application, the Applicant and Property Owner authorize the Planning & Economic
Development Board and its agents to access the site during the plan review process.*

*The Town's Planning Consultant will review the Application, Project Explanation and ANR plan and
provide a recommendation to the Planning & Economic Development Board. A copy of that letter
will be provided to you.*

***You or your duly authorized agent is expected to attend the Board meeting
when the ANR Plan will be considered to answer any questions and/or submit such
additional information as the Board may request.
Your absence may result in a delay in its review.***

December 8, 2016

TO: The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, wishing to record the accompanying plan of property in the Town of Medway and believing that the plan does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits this Application and ANR Plan to the Medway Planning and Economic Development Board and requests its determination and endorsement that the Board's approval under the Subdivision Control Law is not required.

ANR PLAN INFORMATION

Plan Title: Comprehensive Boundary Survey and "Form A" Subdivision

Prepared by: Douglas Design Group / Richard S. Lipsitz

P.E. or P.L.S registration #: LS-39691 Plan Date: December 6, 2016

PROPERTY INFORMATION

ANR Location Address: 97 Winthrop Street

The land shown on the plan is shown on Medway Assessor's Map # 14 Parcel # 37

Total Acreage of Land to be Divided: 244,962.2 Sq.Ft.

Subdivision Name (if applicable): 

Medway Zoning District Classification: AR-1

Frontage Requirement: 180 ft Area Requirement: 44,000 Sq. Ft.

Is the road on which this property has its frontage a designated **Medway Scenic Road**? Yes

The owner's title to the land that is the subject matter of this application is derived under deed from: Patricia H. Drotleff to Charles John Wesley Truscott, III dated 24 June 1981 and recorded in Norfolk County Registry of Deeds, Book 5937 Page 520 or Land Court Certificate of Title Number _____, Land Court Case Number (none), registered in the Norfolk County Land Registry District Volume (none), Page _____.

APPLICANT INFORMATION

Applicant's Name: Charles John Wesley Truscott, III

Applicant's Signature: _____

Address: 97 Winthrop Street, Medway, Massachusetts 02053

Telephone: (508) 740 3205 Email: west1944@gmail.com

The Applicant hereby appoints Braden S. Andrews to act as its Agent/ Official Representative for purposes of submitting this application for endorsement of this ANR Plan.

PROPERTY OWNER INFORMATION (if different than applicant)

Property Owner Name: Same as Above

Owner's Signature: _____

Address: _____

Telephone: _____ Email: _____

ENGINEER or SURVEYOR INFORMATION

Name: Richard S. Lipsitz

Address: 46 Sutton Avenue, East Providence, R.I.

Telephone: (401) 438 5775 Email: douglasdesigngroup@gmail.com

ATTORNEY INFORMATION

Name: N/A

Address: _____

Telephone: _____ Email: _____

PROJECT EXPLANATION

Provide a cover letter with a detailed explanation of how you propose to divide the land, what land transaction will occur, and what land reconfiguration will result from the endorsement and recording of this ANR Plan.

APPROVAL NOT REQUIRED JUSTIFICATION

The Applicant believes that the Board's approval under the Subdivision Control Law is not required for the following reasons: *(Check all that apply.)*

- ☐ 1. The accompanying plan does not show a division of land.
- ☒ 2. Every lot shown on the plan has frontage as required by the Medway Zoning Bylaw. The frontage required by the Zoning Bylaw is located on Winthrop and Partridge Streets (name of way(s), which is:
- ☒ a. A public way. Date of street acceptance: _____
- ☐ b. A way certified by the Town Clerk as being maintained and used as a public way. *(Attach Town Clerk's certification)*
- ☐ c. A way shown on a definitive subdivision plan entitled _____
_____ that was previously endorsed by the Planning and Economic Development Board on _____ and recorded at the Norfolk County Registry of Deeds on _____

Provide detailed recording information: _____

- ☐ d. A private way in existence on the ground before 1952 when the Subdivision Control Law was adopted in the Town of Medway, which has, in the opinion of the Planning & Economic Development Board, adequate width, suitable grades, and adequate construction to provide vehicular access to the lot(s) for their intended purpose of _____ and to permit the installation of municipal services to serve the lot(s) and any buildings thereon.
- ☐ 3. The division of land shown on the accompanying plan is not a "subdivision" for the following reasons: No new road / street or private way is being created.

ANR PLAN FILING FEE

*\$250 plus \$100/lot or parcel for a plan involving three (3) or more lots/parcels,
not to exceed a maximum of \$750.*

*Please prepare two checks: one for \$95 and one for the balance.
Each check should be made payable to: Town of Medway*

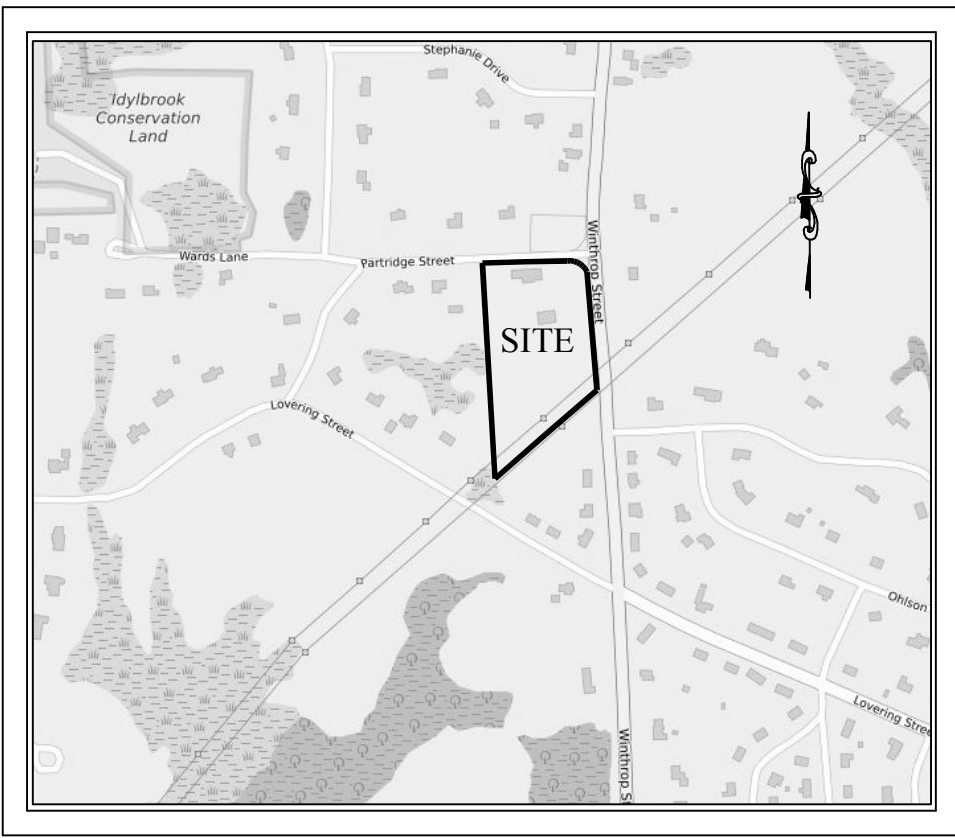
Fee approved 11-2-06

APPLICATION CHECKLIST – All items must be submitted

- _____ 2 signed original ANR applications (FORM A)
- _____ 8 prints of ANR plan – 1 for Town Clerk and 7 for Planning
- _____ Electronic version of ANR plan for Planning
- _____ Project Explanation - 1 for Town Clerk and 1 for Planning
- _____ Application/Filing Fee (2 checks)

Date Form A, ANR Plan, and Project Explanation Received by Planning & Economic
Development Board: 12-8-2016

ANR Application/Filing Fee Paid: Amount: \$350 - Check # 2860 \$255 -
Check # 2859 \$95 -



LOCUS MAP
(NOT TO SCALE)

SURVEY REFERENCES

DEEDS

LOT 37: DEED BOOK 5937, PAGE 520
LOT 29: DEED BOOK 7076, PAGE 533
LOT 35: DEED BOOK 12906, PAGE 98

PLANS

PLAT ENTITLED "SUBDIVISION PLAN OF LAND IN MEDWAY, MASS.
SEPT. 7, 1957, SCHOFIELD BROTHERS, REG. CIVIL ENGINEERS"
DULY RECORDED WITH NORFOLK REGISTRY OF DEEDS IN BOOK 3595
PAGE 308.

OTHER PLATS AS REFERENCED IN THE ABOVE REF. DEEDS



PLAN NOTES:

1. PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING ORDINANCE.
2. NO DETERMINATION OF COMPLIANCE WITH ZONING REQUIREMENT HAS BEEN MADE OR INTENDED BY THIS ENDORSEMENT.
3. PLANNING BOARD ENDORSEMENT SHALL NOT BE CONSTRUED AS EITHER AN ENDORSEMENT OR APPROVAL OF ZONING LOT AREA REQUIREMENTS..

ZONING DISTRICT:

ZONED: AR-1

MIN. LOT AREA = 44,000 SQ.FT.
MIN. LOT FRONTAGE - 180'
MIN. LOT WIDTH - NA
MIN. LOT FRONT SETBACK - 35 FT
MIN. SIDE YARD SETBACK - 15 FT.
MIN. REAR YARD SETBACK - 15 FT.
MAX. BLDG. HEIGHT - NA
MAX. LOT COVERAGE - NA

OWNERS:

A.P. 14, LOT 37
CHARLES JOHN WESLEY TRUSCOTT, III
AND CAROL M. TRUSCOTT
97 WINTHROP STREET
MEDWAY, MA 02053

FOR REGISTRY USE

APPROVAL UNDER SUBDIVISION
CONTROL LAW NOT REQUIRED

MEDWAY PLANNING BOARD

SIGNED & DATED: _____

PLANNING BOARD ENDORSEMENT DOES NOT
CONSTITUTE A DETERMINATION OF COMPLIANCE
WITH THE MEDWAY ZONING BY-LAW.

Project

COMPREHENSIVE BOUNDARY
SURVEY AND "FORM A"
SUBDIVISION

PREPARED FOR

97 WINTHROP
STREET

A.P. 14, LOT 37

MEDWAY
MASSACHUSETTS

Date: DECEMBER 6, 2016

Scale: 1" = 50'

Douglas

LAND SURVEYING • CONSULTING

BAY TOWER - LOWER LEVEL SUITE C
101 PLAIN STREET
PROVIDENCE, RHODE ISLAND 02903
508-821-8728 774-284-0085
douglasdesigngroup@gmail.com

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Issued On

Sheet Contents

SUBDIVISION PLAN

Drawn by BSA

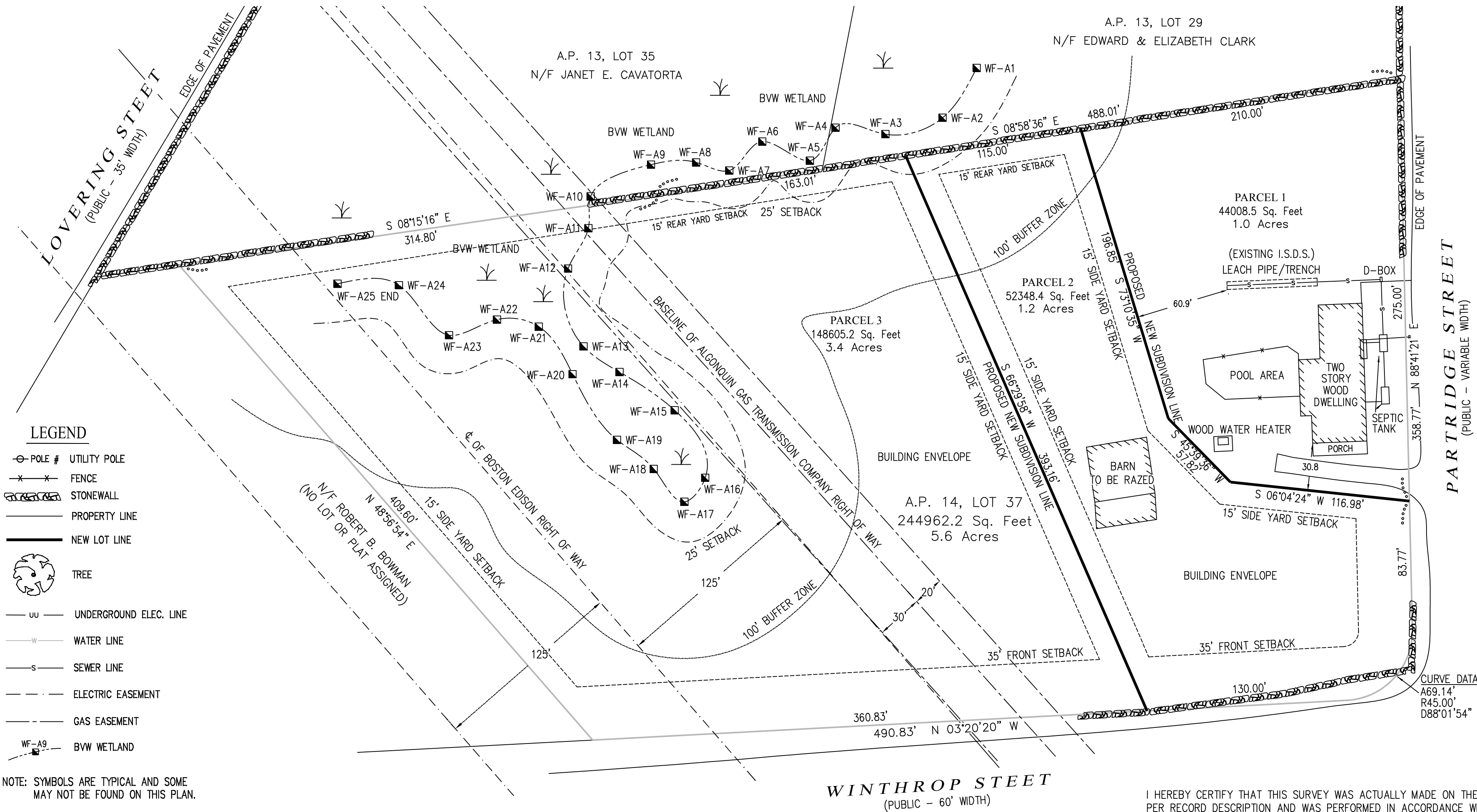
Checked by JDA

Revised on
Project Number. 09.16.1333

Drawing No.

Sheet 1 of 1

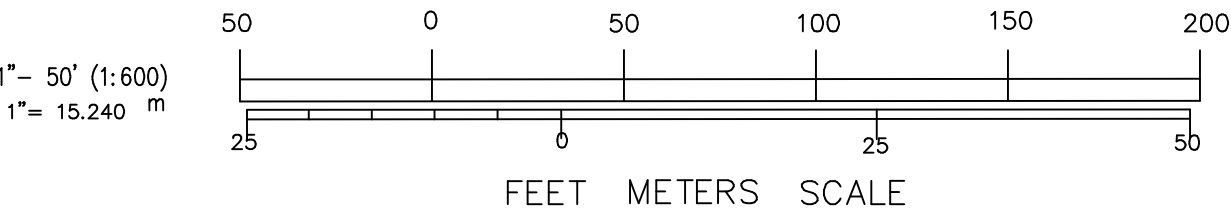
Certification



LEGEND

- POLE # UTILITY POLE
- FENCE
- STONEWALL
- PROPERTY LINE
- NEW LOT LINE
- TREE
- UNDERGROUND ELEC. LINE
- WATER LINE
- SEWER LINE
- ELECTRIC EASEMENT
- GAS EASEMENT
- WF-A9 BVW WETLAND

NOTE: SYMBOLS ARE TYPICAL AND SOME
MAY NOT BE FOUND ON THIS PLAN.



I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND
PER RECORD DESCRIPTION AND WAS PERFORMED IN ACCORDANCE WITH 250
CMR 6.01: PROCEDURAL AND TECHNICAL STANDARDS FOR CADASTRAL, ORIGINAL
AND RETRACEMENT SURVEY IN THE COMMONWEALTH OF MASSACHUSETTS.

SIGNED:
RICHARD S. LIPSITZ

DATED: _____

PGC ASSOCIATES, INC.

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

MEMO TO: Medway Planning and Economic Development Board

FROM: Gino D. Carlucci, Jr.

DATE: December 12, 2016

RE: Truscott property on Winthrop Street

I have reviewed the ANR plan submitted for endorsement by Charles Truscott III of Medway. The plan was prepared by Douglas Land Surveying and Consulting of Providence, and is dated December 6, 2016. The plan proposes to divide a 5.6-acre parcel with an existing residence into 3 lots of which a 1-acre lot will include the existing residential building and two new lots of 3.4 and 1.2 acres respectively will be created. The property is within the AR-I district.

I have comments as follows:

1. The plan clearly meets the substantive and technical requirements for ANR endorsement.
2. Section 3.2.3 requires that the lot shape factor be shown on the plan. This was not done.
3. Section 3.2.6 requires that abutters, including those across adjoining ways, be shown. The abutters across Winthrop and Partridge Street are not provided.
4. Section 3.2.7 requires that Scenic Roads be identified. Both Winthrop and Partridge Street are Scenic Roads.
5. Section 3.2.11 requires a statement of whether a property is classified as Chapter 61A or 61B be provided. This was not done.

I recommend that the technical deficiencies in the plan be corrected prior to endorsement by the Board.



December 13, 2016

**Medway Planning & Economic Development Board
Meeting**

Pine Ridge and Candlewood

- Pine Ridge/Candlewood Inspection Report (12/8/16) - Tetra Tech
- Updated Pine Ridge Bond Estimate (12/8/16) - Tetra Tech - \$17,380
- DPS punch list from summer 2016
- Candlewood Drive/Island Road Bond Estimate (12/8/16) - Tetra Tech (Based on DPS punch list from summer 2016) - \$56,430
- 2006 Drawing for Emergency Access-way from definitive plan (9/6/06)
- Bond estimate for Emergency Access-way (between Candlewood Drive and Island Road) prepared 12-8-16 by Tetra Tech - \$54,050. Includes the cost estimate for Tetra Tech's services to redesign the emergency access-way and costs for permitting with ConCom.

I met Friday morning (12/9/16) with DPS Director Tom Holder, Steve Bouley/Tetra Tech, Fire Chief Jeff Lynch and Conservation Agent Bridget Graziano to discuss how to redesign the original emergency access-way between Candlewood Drive and Island Road as shown on the approved Pine Ridge plan from 2006. Current standards necessitate a substantial upgrade to the planned construction of the emergency access-way to accommodate a 75,000 pound fire vehicle. The work may involve the construction of a box culvert under the access-way. It is uncertain right now whether the existing culvert can accommodate the weight of the Town's heaviest fire truck. That capability has to be evaluated during the design phase. Whatever the outcome, the emergency access-way will definitely necessitate a filing with the Conservation Commission.

Steve Bouley has prepared a very preliminary cost estimate for the emergency access-way. The estimate includes Tetra Tech's services to prepare a redesign and handle the permitting with the Conservation Commission.

As a reminder, the following bond funds are available:

- Candlewood - Cash Bond Amount = \$38,682 (6-30-16)
- Pine Ridge - Cash Bond Amount = \$40,289 (6-30-16)

NOTE – The two bond funds total \$78,971 which is not sufficient to cover all of the work on the Pine Ridge punch list, the Candlewood Drive/Island Road punch list, and the emergency access-way, all of which is estimated to be \$127,860. The shortfall is \$48,889. Clearly the work will have to be prioritized, some elements may not be able to be completed, and/or other sources of funds may need to be identified. I am in the process of drafting a letter to the developer and his attorney to begin the bond seizure process. I need to have the letter reviewed by Town Counsel before proceeding.

I would recommend the PEDB schedule a public hearing on this matter for its January 24, 2017 meeting.

To: Susan Affleck-Childs – Medway Planning and Economic Development Board Coordinator

Cc:

From: Steven Bouley, EIT – Tetra Tech 

Date: April 22, 2016 (revised December 8, 2016)

Subject: Pine Ridge-Candlewood Drive Punch List

On April 11, 2016 at the request of the Medway Planning and Economic Development Board (PEDB), Tetra Tech (TT), Dave Faist of McClure Engineering, Inc (MEI) and Dan O'Driscoll of O'Driscoll Land Surveying Co. (OLS) met at the Pine Ridge Subdivision location and performed a punch list inspection of the development. Nearby Candlewood Drive Subdivision was also included in the inspection. The inspections were conducted based upon the approved Pine Ridge OSRD Development plan set.

On December 8, 2016 at the request of the PEDB, Steven Bouley from TT conducted a follow-up punch list inspection of the Pine Ridge and Candlewood Drive Subdivisions. The inspections were conducted based upon the approved Pine Ridge OSRD Development plan set.

The following is a list of items and issues that should be repaired or resolved:

Pine Ridge

1. Proposed line striping and stop line has not been painted.
2. As-Built of the development should be submitted for review.
3. It is recommended the applicant clean the drainage system. Cleaning includes removing sediment and debris from catch basin structures, pipe and detention facilities.
4. Erosion control should be removed upon receiving certificate of compliance from Medway Conservation Commission.
5. The proposed 4'-wide walking path requires re-clearing as navigating the path is difficult. The path is inconsistent and markers are not present to direct pedestrians through the area.

Candlewood Drive

6. All items shown on Sheet 14 of 23 "Candlewood Drive and Emergency Access Improvements" of the Village at Pine Ridge OSRD Definitive Plan set have not been completed.
7. The emergency access path is proposed through an area that appears to be jurisdictional to the Medway Conservation Commission (culvert crossing). It is recommended the applicant contact the Conservation Agent prior to commencing work to determine if an open Order of Conditions exists for the project or if this area deemed as "Mosquito Control Maintenance Channel" is indeed jurisdictional area.

8. In addition to items on Sheet 14, it is recommended the applicant clean the existing drainage system and clear brush/trees from the limit of stormwater detention basins for the subdivision.
9. Upon completion of punch list items, as-built and street acceptance plans should be submitted for review.

Additional Items (2016-12-08)

Pine Ridge

10. Areas of the bituminous concrete roadway are beginning to crack. TT recommends crack sealing these areas to slow migration of cracking.
11. Hydrants shall be painted per town standards (blue and silver), coordinate with Medway DPS.
12. The center island in the cul-de-sac does not contain any larger growth shrubs or trees per the town's standard details, see town detail CD-10. TT has not acquired a landscape plan for the project to determine if landscaping was required at the time of plan approval.

Candlewood Drive

13. The roadway should be crack sealed to prevent further damage.
14. Drain/sewer frames and grates/covers should be replaced to town standard and all grade brick shall be re-grouted. Any frame and grate/cover extending above sidewalk surface shall also be reset to existing grade to prevent tripping hazards.
15. All pipe inverts, lift holes, structure section joints, etc. should be grouted to maintain integrity of pre-cast structures.
16. Electric trenches, which cross the roadway in multiple locations, have settled. These locations should be milled and overlaid.

These comments are offered as guides for use during the Town's review. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-16003 (PINE RIDGE CANDLEWOOD)\DOCS\MEMO_PINE RIDGE-CANDLEWOOD PUNCH LIST_2016-04-22 (REVISED 2016-12-08).DOC



Bond Value Estimate
The Village at Pine Ridge
Definitive Subdivision
Medway, Massachusetts
December 8, 2016

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Pavement Markings	1	LS	\$500.00	\$500
Clean Drain System	1	LS	\$3,500.00	\$3,500
Remove Erosion Control	1	LS	\$500.00	\$500
Clear Openspace Walking Path	1	LS	\$2,500.00	\$2,500
Crack Sealing	1	LS	\$1,000.00	\$1,000
Paint Hydrants	1	LS	\$500.00	\$500
Cul-De-Sac Landscaping	1	LS	\$2,000.00	\$2,000
As-built Plans	560	LF	\$5.00	\$2,800
Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal				\$15,800
Contingency (10%)				\$1,580
Recommended Bond Value				\$17,380

Notes:

1. Unit prices are taken from the latest information provided on the Mass DOT website. They utilize the Mass DOT weighted bid prices (Combined - All Districts) for the time period 12/2015 - 12/2016.

Candlewood Drive Street Acceptance Improvements

- Crack seal road surface throughout road limits.
- Drain frames & covers must be replaced with heavy duty. Cement brick collars need to be replaced to allow for new frames. (Drain numbers 1,2,3,5,6,7)
- Podge bricks of Catch Basin structures. (Catch Basin numbers 1,2,5,8,9*,12,13,16)
*Cement outside of frame
- Fill & Patch Sinkhole
- Mill & overlay cross trenches. (Numbers 1-8)
- Podge lift holes (Catch Basin 16)
- Build Invert on Drain 2.
- Cement around pipes(Drain 8, Catch Basins 13,15)
 - Note: Cellar drains into Catch Basins 10,11,13 & Drain 11
 - Note: Surveyor to plot all utilities on plan, as built.

Island Road Street Acceptance Improvements



- Cement podge Catch Basin collar (Catch Basins 1,2, Drain 1)
- Cement pipe connections (Catch Basins 1,2, Drain 1)
- Podge entire structure (Catch Basin 3)
- Crack seal entire street and sidewalks.
- Replace sewer covers with standard heavy duty sewer frames and covers.(Sewers 2,3,4)
- Replace street sign & post.

Candlewood Drive

Candlewood Drains

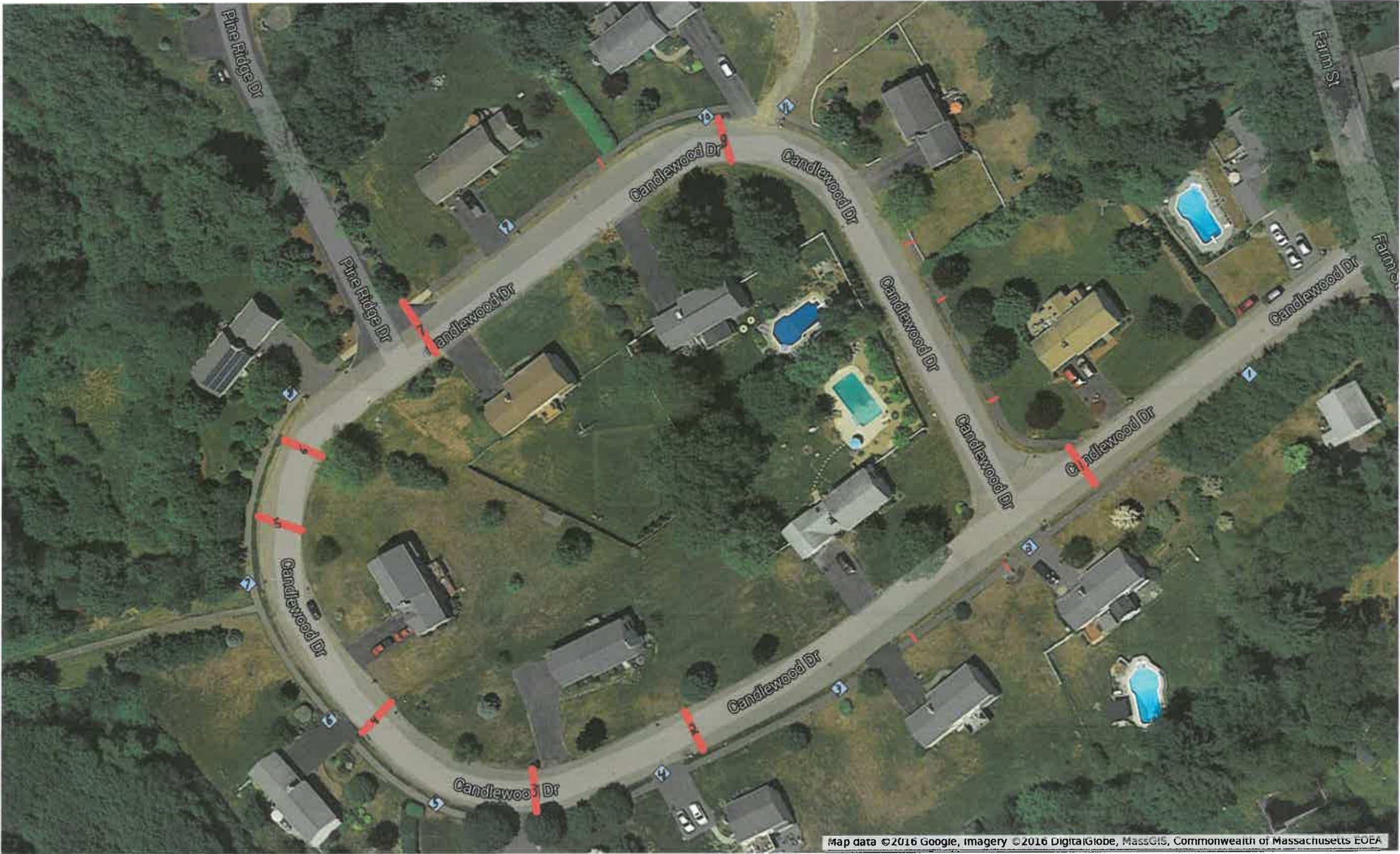
- ◆ Drain 1
- ◆ Drain 2
- ◆ Drain 3
- ◆ Drain 4
- ◆ Drain 5
- ◆ Drain 6
- ◆ Drain 7
- ◆ Drain 8
- ◆ Drain 9
- ◆ Drain 10
- ◆ Drain 11

Candlewood Trenches

- 🔗 Trench 1
- 🔗 Trench 2
- 🔗 Trench 3
- 🔗 Trench 4
- 🔗 Trench 5
- 🔗 Trench 6
- 🔗 Trench 7
- 🔗 Trench 8

Candlewood Sidewalk Patch

- 🔗 Patch 1
- 🔗 Patch 2
- 🔗 Patch 3
- 🔗 Patch 4
- 🔗 Patch 5
- 🔗 Patch 6



Candlewood Drive

Candlewood Basins

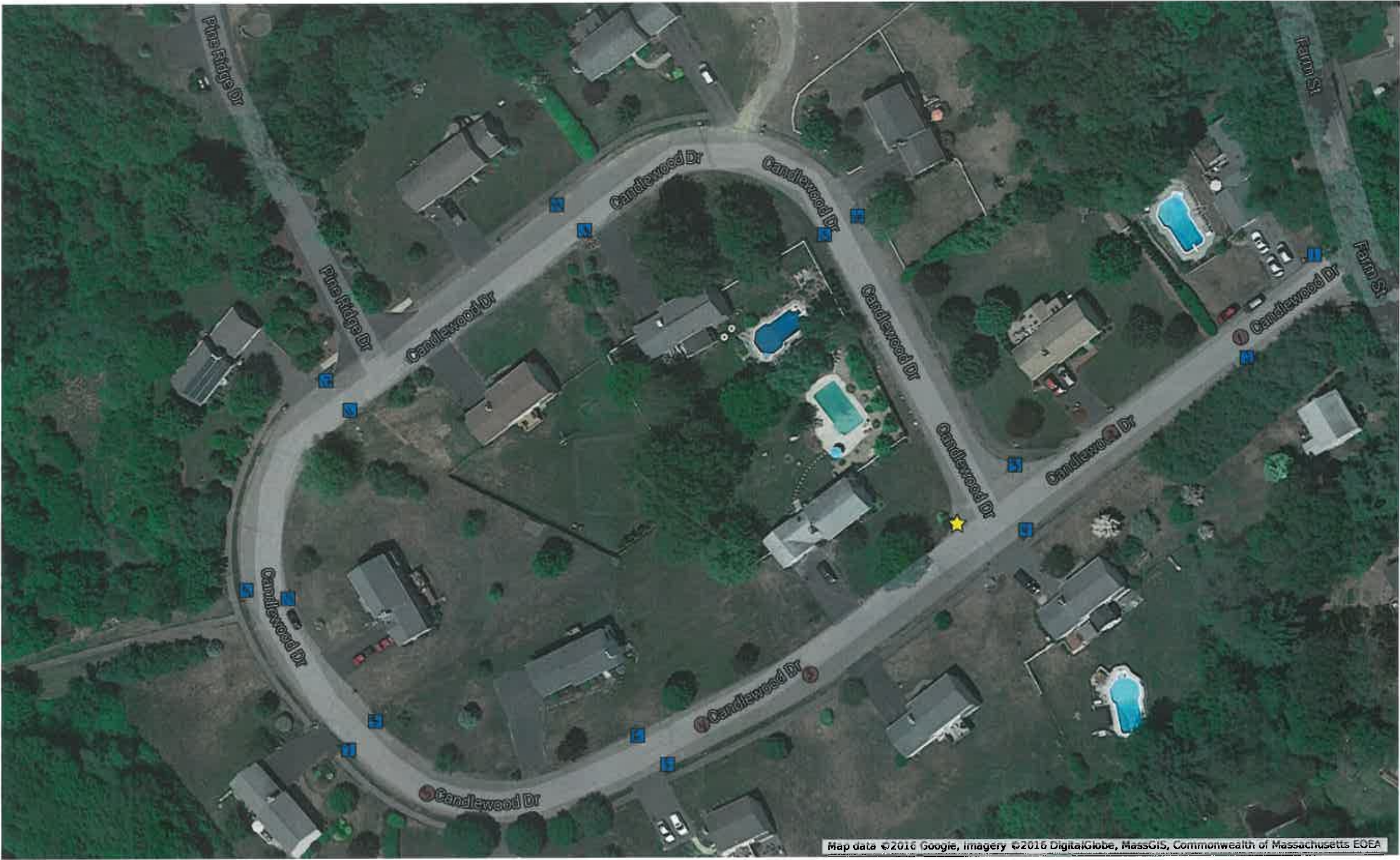
- Basin 1
- Basin 2
- Basin 3
- Basin 4
- Basin 5
- Basin 6
- Basin 7
- Basin 8
- Basin 9
- Basin 10
- Basin 11
- Basin 12
- Basin 13
- Basin 14
- Basin 15
- Basin 16

Candlewood Sewer

- Sewer 1
- Sewer 2
- Sewer 3
- Sewer 5
- Sewer 4

Candlewood Misc.

- Sinkhole



Candlewood Drive/Island Road

- Island Basins
- Basin 1

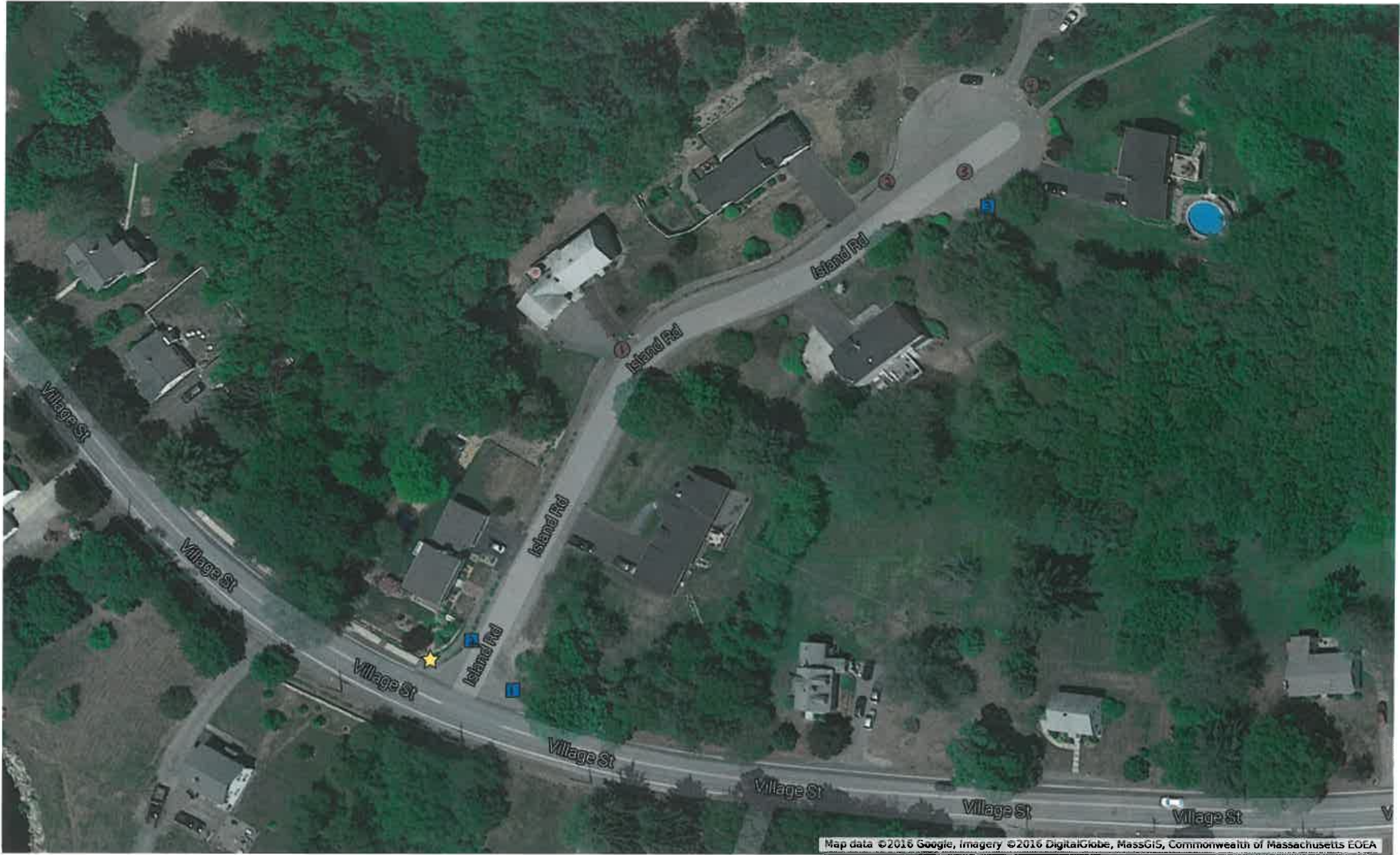
Basin 2

Basin 3
- Island Sewer
- Sewer 1

Sewer 2

Sewer 3

Sewer 4
- Island Misc.
- Street Sign



**TETRA TECH**

Construction Estimate
Candlewood Drive/Island Road Punch List Items
Medway, Massachusetts
 December 8, 2016

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
 Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Crack Sealing	1	LS	\$6,000.00	\$6,000
Frame & Cover	9	EA	\$750.00	\$6,750
RegROUT Drain Structure Brick/Lift Holes/Pipe/Inv	13	EA	\$250.00	\$3,250
Repair Sinkhole	1	LS	\$500.00	\$500
Mill & Overlay Trenches	1	LS	\$3,500.00	\$3,500
Clean Drain System	1	LS	\$5,000.00	\$5,000
Maintain Drain Basin	1	LS	\$2,500.00	\$2,500
Replace Sidewalk Sections	1	LS	\$8,000.00	\$8,000
Signage	8	EA	\$100.00	\$800
ADA Ramps	3	EA	\$1,000.00	\$3,000
As-Built/Street Acceptance Plans	1,800	LF	\$5.00	\$9,000
Legal Services	1	LS	\$3,000.00	\$3,000

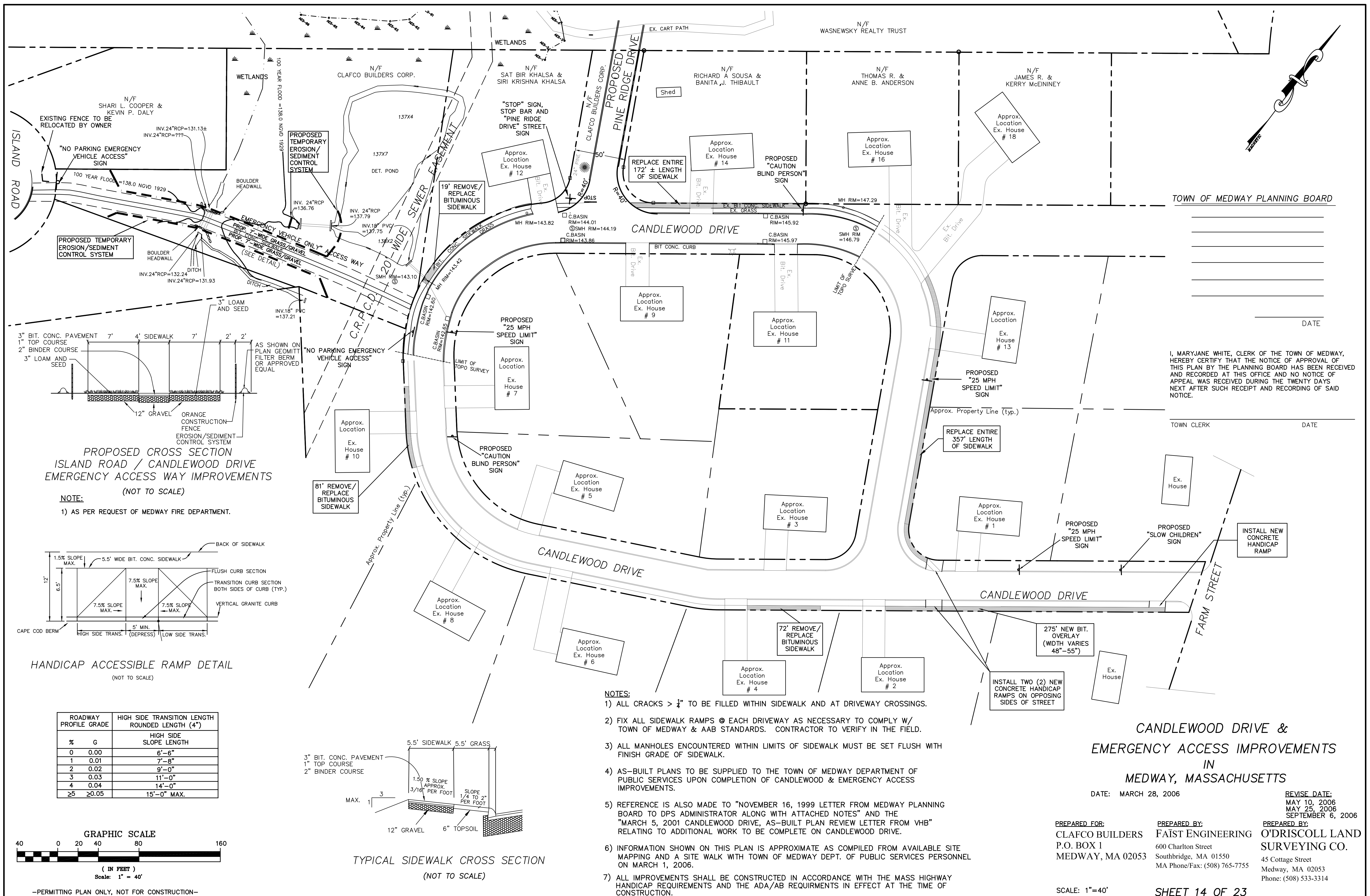
Subtotal \$51,300

Contingency (10%) \$5,130

Recommended Bond Value (min.) \$56,430

Notes:

1. Unit prices are taken from the latest information provided on the Mass DOT website. They utilize the Mass DOT weighted bid prices (Combined - All Districts) for the time period 12/2015 - 12/2016. Items included in this bond estimate are combined from separate TT and Medway DPS punch list inspections as well as items shown on Sheet 14 of 23 "Candlewood Drive and Emergency Access Improvements" of the Village at Pine Ridge OSRD Definitive Plan set.





Construction Estimate
Pine Ridge Emergency Access
Medway, Massachusetts
December 8, 2016

Marlborough Technology Park
100 Nickerson Road
Marlborough, MA 01752
Tel 508.786.2200 Fax 508.786.2201

DESCRIPTION	QUANTITY	UNIT	UNIT COST	ENGINEERS ESTIMATE
Survey	1	LS	\$2,500.00	\$2,500
Design	1	LS	\$5,000.00	\$5,000
Permitting	1	LS	\$4,500.00	\$4,500
Construction Phase Services	1	LS	\$4,000.00	\$4,000
Construction ¹	1	LS	\$30,000.00	\$30,000
As-Built	1	LS	\$2,500.00	\$2,500
Legal Services	1	LS	\$1,000.00	\$1,000
Subtotal				\$49,500
Contingency (10%)				\$4,950
Recommended Bond Value (min.)				\$54,450

Notes:

1. Pricing based on excavation to one foot (1-foot) below existing grade, installation of geotextile fabric, 8-inches of gravel borrow and 4-inches of dense graded crushed stone with a 5 foot wide, 2-inch depth sidewalk placed along the centerline of the emergency access driveway. Current MassDOT Weighted Average bid pricing used to estimate each construction item. This cost is dependent on whether existing culvert crossing is sufficient or if upgrade is necessary per Medway Conservation Commission requirements.



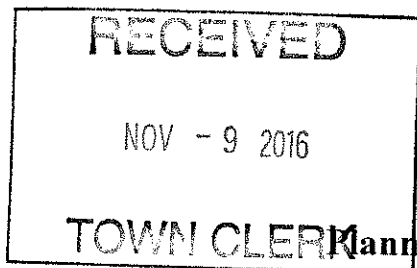
December 13, 2016

**Medway Planning & Economic Development Board
Meeting**

Medway Gardens Site Plan Modification
Plan Endorsement

- Site Plan Modification Decision 11-8-2016
- Revised site plan per the Site Plan Modification Decision dated 11-30-2016 by Civil Design Group
- Certificate of No Appeal issued by the Town Clerk 11-30-2016

All items are in order. Taxes are current on the property.
I recommend the PEDB endorse the final site plan
modification for Medway Gardens.



TOWN OF MEDWAY

Planning & Economic Development Board

155 Village Street

Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio*

November 8, 2016

SITE PLAN DECISION **Medway Gardens Site Plan Modification** **34 Summer Street**

You are hereby notified that on November 8, 2016 at a duly called and properly posted meeting, the Medway Planning and Economic Development Board, after reviewing the application and information compiled during the public review process, voted on a motion made by Matthew Hayes and seconded by Richard Di Iulio, by a three (3) in favor and zero (0) opposed vote, to approve with conditions as specified herein, the application of Onilleva Realty, LLC of Medway, MA to modify the previously approved site plan for Medway Gardens from August 2014.

I. PROJECT LOCATION - Medway Gardens is located on a 2.27 acre portion of the 3.6 acre property at 34 Summer Street (Parcel 56-039) in the Commercial V zoning district. The property is owned by Onilleva Realty, LLC of Medway, MA. The site is bounded on the west by Summer Street, on the north by Milford Street, on the east by property owned by Jesse and Teigan Bain at 37 Milford Street and by Madelyn Rivera and Pamela Bellino at 2 Knollwood Road, and on the south by property owned by Richard and Helen Barry at 32 Summer Street. The parcel also includes a Cumberland Farms convenience store/vehicle fuel station constructed in 2014 (41 Milford Street). The Medway Gardens portion of the site also includes a detached single family home constructed in 1985.

II. BACKGROUND - The site plan decision for improvements at Medway Gardens was previously approved by the Medway Planning and Economic Development Board on August 12, 2014. Those improvements were shown on a plan dated August 21, 2014 which the Board endorsed on September 16, 2014. The approved scope of work included:

- construction of a new greenhouse and a wooden pergola; and
- various site improvements including a reorganized and striped parking arrangement, perimeter landscaping/buffering, outside merchandise display, and improved access/egress to the site

all of which were a result of a consolidation of the Medway Gardens operation on the southern portion of the parcel subsequent to the construction of the Cumberland Farms convenience store and vehicle fuel station facility on the northern portion of the property.

The site plan decision specified that work was to be completed within a two (2) year period after plan endorsement. Based on a June 1, 2016 inspection of the site by Tetra Tech Engineering, the Board's consulting engineer, and the resultant punch list dated June 8, 2016, the Board determined that the applicant had not fully completed the approved scope of work. The owner now wishes to modify/reduce the scope of site plan improvements.

Telephone: 508-533-3291

Fax: 508-321-4987

planningboard@townofmedway.org

After the public briefing process had commenced, the owner asserted that the use of the property by Medway Gardens is an agricultural use under G.L. c. 40A, §3, and therefore is not subject to site plan review. The applicant, acting through his attorney Marshall Newman in a letter dated and provided to the Board on September 13, 2016, challenged the Board's authority to conduct site plan review of the Medway Gardens project and further that the conditions being imposed by the Board were unreasonable regulations. However, the applicant did not appeal the original site plan approval issued by the Board, and the matter currently before the Board is the owner's own request to modify the existing site plan approval. The Board disputes that the primary use of this property is agricultural as defined in G.L. c. 40A, §3, or that the property is exempt from site plan review. In order to address the pending application, however, the owner worked with the Board to agree upon the conditions listed in this decision, while both parties reserve their positions with respect to whether the primary use of the property is agricultural as defined in G.L. c. 40A, §3.

III. PROJECT DESCRIPTION/PROPOSED MODIFICATION - *The primary purpose of this application for site plan modification is to update the plan to depict the revised scope of improvements the applicant will implement. Pursuant to the application, the applicant proposed a revised scope of work as reflected on the updated site plan dated July 22, 2016.*

Previously approved work to NOT be carried out includes paving 7 parking spaces in the parking area south of the wooden pergola. The owner wishes to be relieved of undertaking this particular site improvement and proposes to provide gravel parking spaces instead.

The previously approved work which the applicant has agreed to install includes the following items as shown on the plan:

- Installation of a bituminous concrete apron and the appurtenant railroad ties at the Summer Street entrance
- Installation of 30 concrete wheel stops in the parking area to clearly designate the parking space locations
- Installation of directional and accessible parking signs
- Installation of a stockade fence and shrubs to enclose the existing dumpster
- Installation of a free-standing sign at the entrance driveway to the site from Summer Street
- Installation of landscaping along the southern and eastern perimeter of the site as a buffer to the adjacent parcels.

IV. PROCEDURAL HISTORY

- A. August 8, 2016 – Application to modify a previously approved site plan was filed with the Medway Planning & Economic Development Board.
- B. August 9, 2016 – Public briefing notice was filed with the Town Clerk, posted to the Town of Medway web site and mailed to abutters via first class mail.
- C. August 23, 2016 – Public briefing commenced. The public briefing was continued to September 13, 27, October 4, and November 8, 2016 when it was concluded and the Board voted its decision.

V. INDEX OF SITE PLAN DOCUMENTS

- A. The application package submitted on August 8, 2016 to modify the previously approved Medway Gardens site plan included the following documents:
 - Application to Modify a Previously Approved Site Plan dated August 8, 2016
 - Project description dated July 12, 2016, received August 4, 2016
 - *Medway Gardens Site Plan*, dated July 22 2014, last revised July 22, 2016 prepared by Civil Design Group, LLC of North Andover, MA.

- Certified abutters list
- B. During the course of the public briefing, the applicant provided the following additional documents to the Board:
- A collection of site photos provided by the applicant during the August 23, 2016 meeting to document completed work.
 - An information sheet regarding a parking lot striping machine Mr. Avellino intends to purchase as provided during the August 23, 2016 meeting
 - A letter dated and provided to the Board on September 13, 2016 from Attorney Marshall Newman representing Onilleva Realty LLC and Medway Gardens, Inc. challenging the Board's site plan review of the property due to the premise that the property is exempt from site plan review due to its use for horticultural purposes and that the conditions being imposed were unreasonable regulations. The letter also alleged that Planning and Economic Development Board Chairman Andy Rodenhiser was biased against Mr. Avellino due to the chairman's involvement with the Medway Lions Club which is a principal competitor to Medway Gardens in the sale of Christmas trees in the Medway area.
 - A written communication to the Board provided by Mr. Avellino at the September 27, 2016 meeting.
- C. Previous minor site plan decision dated August 12, 2014 and the previously approved site plan endorsed by the Board on September 16, 2014.

VI. TESTIMONY - In addition to the site plan application materials submitted and provided by the applicant during the course of its review, the Planning & Economic Development Board received written or verbal testimony as follows:

Written Documents

- Inspection report/punch list dated June 8, 2016 from Steve Bouley, Tetra Tech Engineering
- Site plan modification review letter dated August 16, 2016 from Gino Carlucci, the Town's consulting planner.
- Email communication dated August 21, 2016 from abutter Teigan Bain, 37 Milford Street including site photos
- Email communication dated August 23, 2016 from abutter Pamela Bellino-Rivera of 2 Knollwood Drive
- Confidential email communication dated September 23, 2016 from Town Counsel Barbara Saint Andre to address issues raised by the applicant's attorney Marshall Newman.
- Disclosure of Appearance of Conflict of Interest form prepared by Andy Rodenhiser and filed with the Town Clerk and Board on September 26, 2016
- Summary of property value and land area information for 34 Summer/41 Milford Streets compiled September 26, 2016 by Susan Affleck-Childs, Planning and Economic Development Coordinator
- Summary information about the definition of agriculture and its exempt status under G.L., c. 40A, §3.

Verbal Testimony

- Joe Avellino, owner and applicant
- Gino Carlucci, consulting planner
- Pamela Bellino-Rivera, 2 Knollwood Drive
- Teigan and Jesse Bain, 37 Milford Street

VII. SPECIFIC CONDITIONS OF APPROVAL – The Board's approval of this site plan modification is subject to the following specific conditions which the Board determines are reasonable to protect adjacent property owners.

A. **Plan Revisions** - Prior to endorsement, the site plan titled *Medway Gardens Site Plan*, dated June 22, 2014, last revised July 22, 2016 prepared by Civil Design Group of North Andover, MA shall be further revised to include the following:

1. the location and description/specifications including height and materials for sixteen (16) linear feet of fencing to be installed along the parcel's eastern boundary with property owned by Bellino-Rivera at 2 Knollwood Road as requested as specified in Condition C.
2. the notes regarding perimeter landscaping shall be revised to specify that the evergreen trees to be planted every twenty (20) feet shall be a minimum of four (4) feet in height above finished grade at the time of planting, and the shrubs to be planted in between the trees shall be a minimum of two (2) feet in height above finished grade at the time of planting; the species of evergreen trees and shrubs shall be varied.
3. the location for the outdoor storage area as specified in Condition F.
4. the free-standing sign to be located at the entrance driveway from Summer Street shall be noted as being a "new" sign instead of a "relocated" sign.
5. details for the modification of the swing gate per Condition G.
6. the final plan revision date.

B. **Landscape Installation and Maintenance**

1. All trees and shrubs to be planted on the site shall be species that are certified by a horticulturist as native, drought-resistant and deer proof. Such certification shall be provided to the PEDB prior to endorsement of the site plan.
2. The owner shall regularly water the landscape plantings to be installed on the perimeter of the site as shown on the plan so that they will be maintained and thrive. To accomplish this, the owner has agreed to install soaker hoses for irrigating the plants.
3. The site's landscaping shall be maintained in good condition to the same extent as shown on the endorsed Plan. Any shrubs, trees, bushes or other landscaping features shown on the Plan that die shall be replaced during the next planting season.

C. The owner shall install sixteen (16) linear feet of fencing along the parcel's eastern boundary with property owned by Bellino-Rivera at 2 Knollwood Road as requested. The fencing shall be white vinyl, six (6) feet tall, comparable to the fencing at the adjacent Cumberland Farms development.

D. The owner will arrange for the regular spray painting of striping to outline the 9' x 18' parking spaces on the gravel parking areas where no wheel stops are installed. Such spray painting shall be performed as often as needed to provide for clearly demarcated parking locations.

- E. A new free-standing, two sided Medway Garden Center sign shall be installed near the entrance driveway from Summer Street in conformance with the Zoning Bylaw.
- F. A specific, organized outdoor storage area shall be established and maintained north of the house on the premises and west of the access road for the purpose of storing vehicles, equipment, unused shipping materials, the Conex type container/trailer and any other such items on the premises. Plant materials need not be stored within the designated outdoor storage area.
- G. The owner shall modify the existing swing barrier gate at the northern edge of the internal driveway to Milford Street by attaching six (6) foot high white vinyl panels to screen the back of the Medway Gardens site from the Cumberland Farms development and Route 109/Milford Street.
- H. The height of the dumpster enclosure shall fully screen the height of the dumpster inside. The enclosure shall screen all four (4) sides of the dumpster.
- I. **Schedule for Project Completion** – The Planning and Economic Development Board's approval of this site plan modification shall lapse after June 30, 2017 of the grant thereof if substantial work has not commenced except for good cause. All site improvements shown on the endorsed plan shall be completed by the applicant or its assignees by December 31, 2017.

Upon receipt of a written request by the applicant filed at least thirty (30) days prior to the date of expiration, the Planning & Economic Development Board may grant an extension for good cause. The request shall state the reasons for the extension and also the length of time requested. If no request for extension is filed and approved, the site plan approval shall lapse and may be reestablished only after a new filing and public briefing have been held by the Board.

VIII. GENERAL CONDITIONS OF APPROVAL

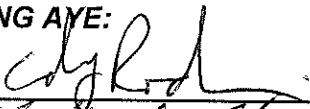
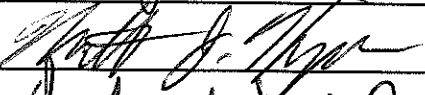
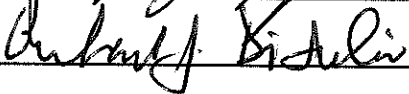
- A. **Appeal** – Any person aggrieved by the Planning & Economic Development Board's Decision may appeal such to the court within twenty (20) days of the date the Decision is filed with the Town Clerk.
- B. **Plan Endorsement** - Within thirty (30) days after the Planning & Economic Development Board has filed its *Decision* with the Town Clerk, the Applicant shall submit a final site plan modification drawing reflecting all required revisions, if any, to the Planning and Economic Development Board to review for compliance with the Board's *Decision* before plan endorsement.
- C. **Fees/Taxes** - Prior to endorsement of the modified site plan by the Planning & Economic Development Board, the Applicant shall pay the balance of any outstanding plan review fees owed to the Town for review of the site plan by the Town's engineering and planning consultants, and any other outstanding expenses or obligations due the Town of Medway, including real estate and personal property taxes and business licenses. The Applicant's failure to pay these fees in their entirety shall be reason for the Planning & Economic Development Board to withhold plan endorsement.
- D. **Construction Standards** - All construction shall be in full compliance with all applicable local, state and federal laws, including but not limited to the Americans with Disabilities Act and the regulations of the Massachusetts Architectural Access Board for handicap accessibility.

- E. **Plan Revisions** – Any change to the approved site plan modification shall necessitate a further modification of the site plan requiring Planning & Economic Development Board approval pursuant to Section 3.5 of the Medway Zoning Bylaw. Whenever additional reviews by the Planning & Economic Development Board, its staff or consultants are necessary due to proposed site plan modifications, the Applicant shall be billed and be responsible for all supplemental costs including filing fees, plan review fees and all costs associated with another public hearing if required including legal notice and abutter notification. If the proposed revisions affect only very limited aspects of the site, the Planning & Economic Development Board may reduce the scope of the required review, public notice and waive part of the filing and review fees.
- F. **Project Completion** – At the conclusion of the installation/construction of the site plan improvements, the applicant shall provide the Board with a written certification of a professional engineer registered in the Commonwealth of Massachusetts that all construction work has been completed in strict compliance with the decision and the endorsed site plan.

Approved by the Medway Planning & Economic Development Board: November 8, 2016

BOARD MEMBERS:

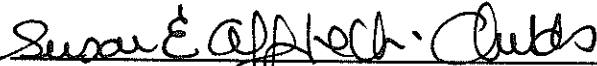
VOTING AYE:

VOTING NAY:

VOTING TO ABSTAIN:

ATTEST:



Susan E. Affleck-Childs
Planning & Economic Development Coordinator

11-8-16
Date

COPIES TO: Michael Boynton, Town Administrator
Bridget Graziano, Conservation Agent
Donna Greenwood, Assessor
Thomas Holder, DPS Director
Jeff Lynch, Fire Department
Jack Mee, Building Commissioner/Zoning Enforcement Officer
Stephanie Mercandetti, Director of Community and Economic Development
Joanne Russo, Treasurer/Collector
Jeff Watson, Police Department
Steve Bouley, Tetra Tech
Gino Carlucci, PGC Associates
Joe Avellino

MEDWAY TOWN CLERK

155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
(508) 533-3204 • FAX: (508) 533-3287
mwhite@townofmedway.org

MARYJANE WHITE, CMMC

CERTIFIED MASSACHUSETTS MUNICIPAL CLERK

JUSTICE OF THE PEACE

NOTARY PUBLIC

CERTIFICATE

I, Town Clerk of the Town of Medway, hereby certify that the notice of the decision of the Medway Planning and Economic Development Board has been received in the matter of

*MEDWAY GARDENS
SITE PLAN MODIFICATION
34 SUMMER ST*

It was received and filed in this office on the following:

Nov. 9, 2016

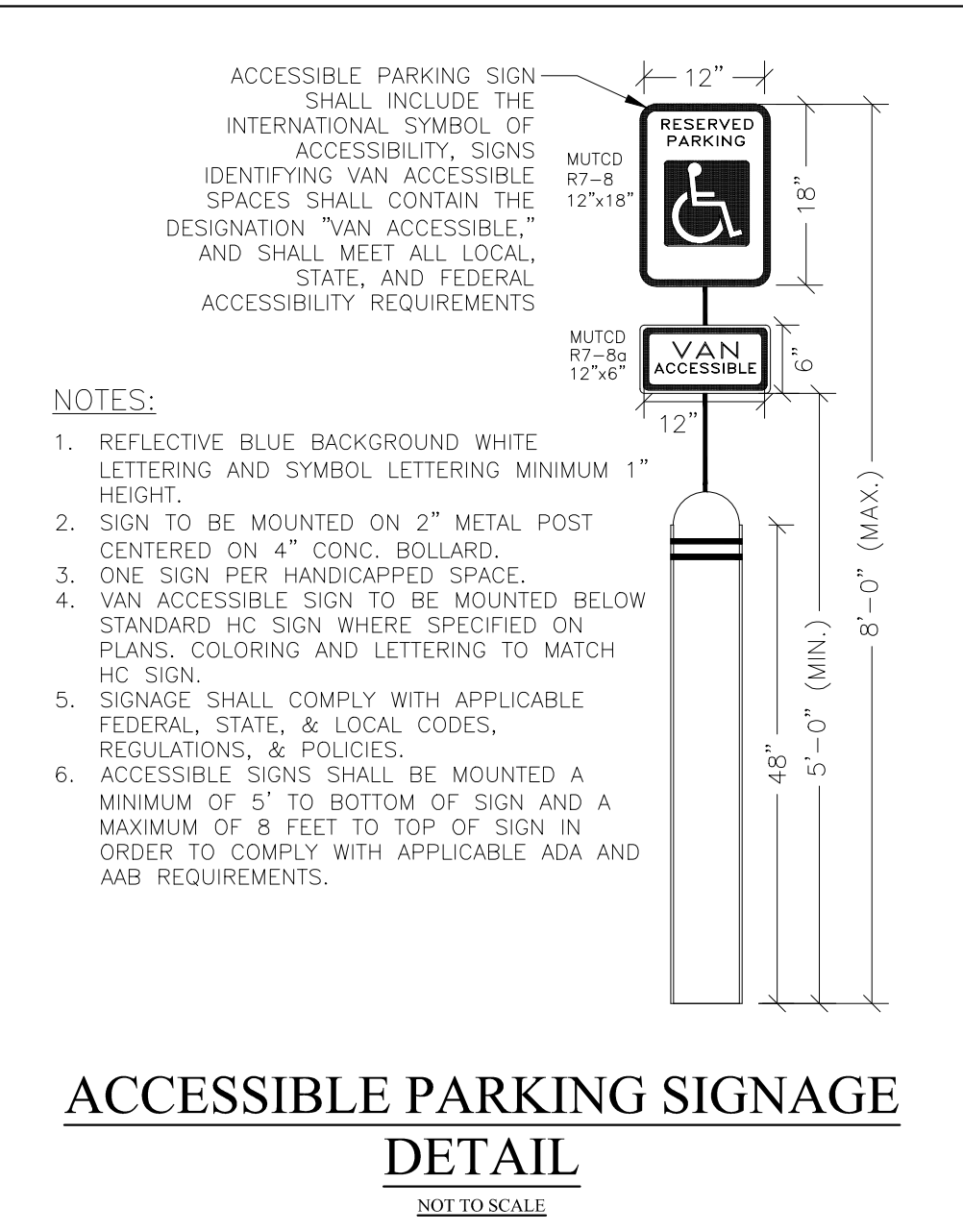
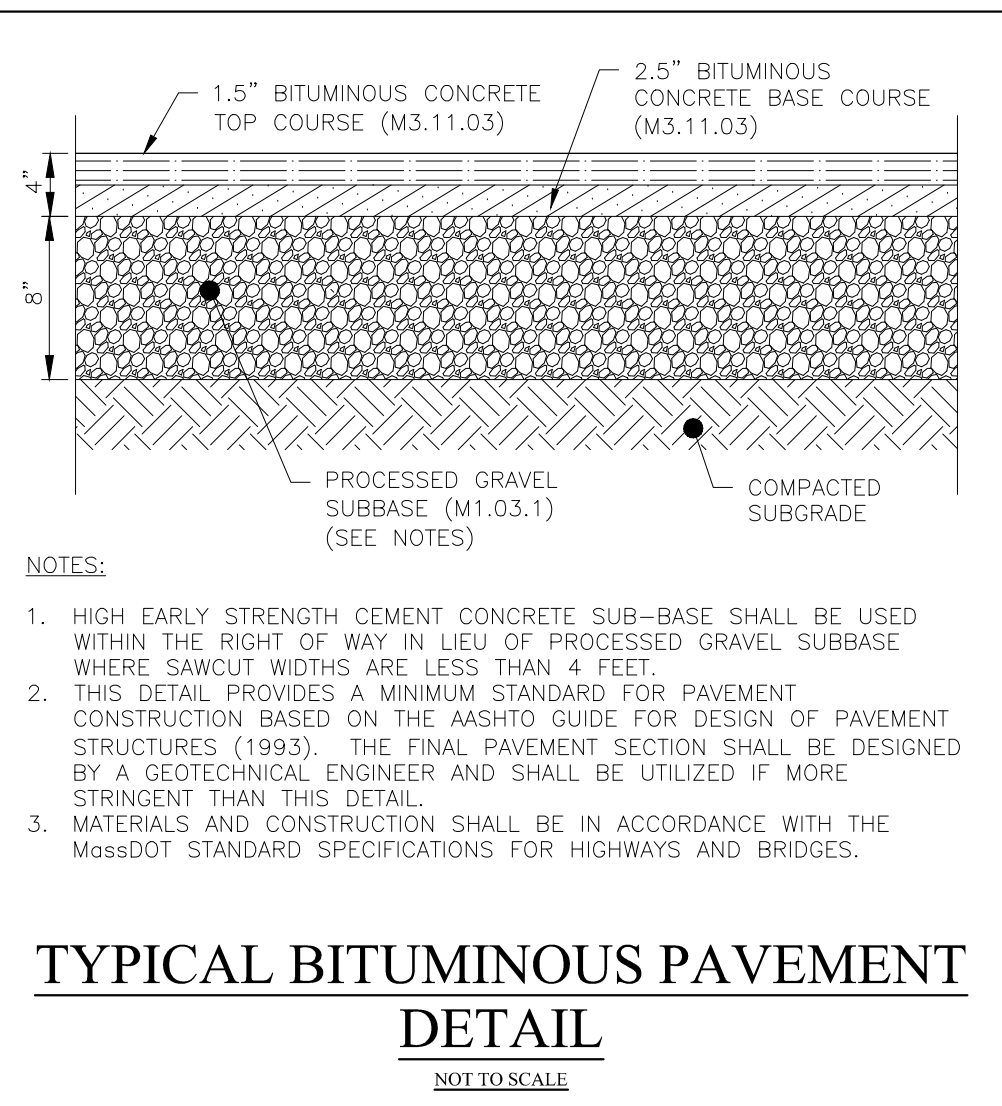
And no appeal was received during the next twenty days after such receipt and recording of said decision.

Dated at Medway, MA Nov. 30, 2016

A true copy

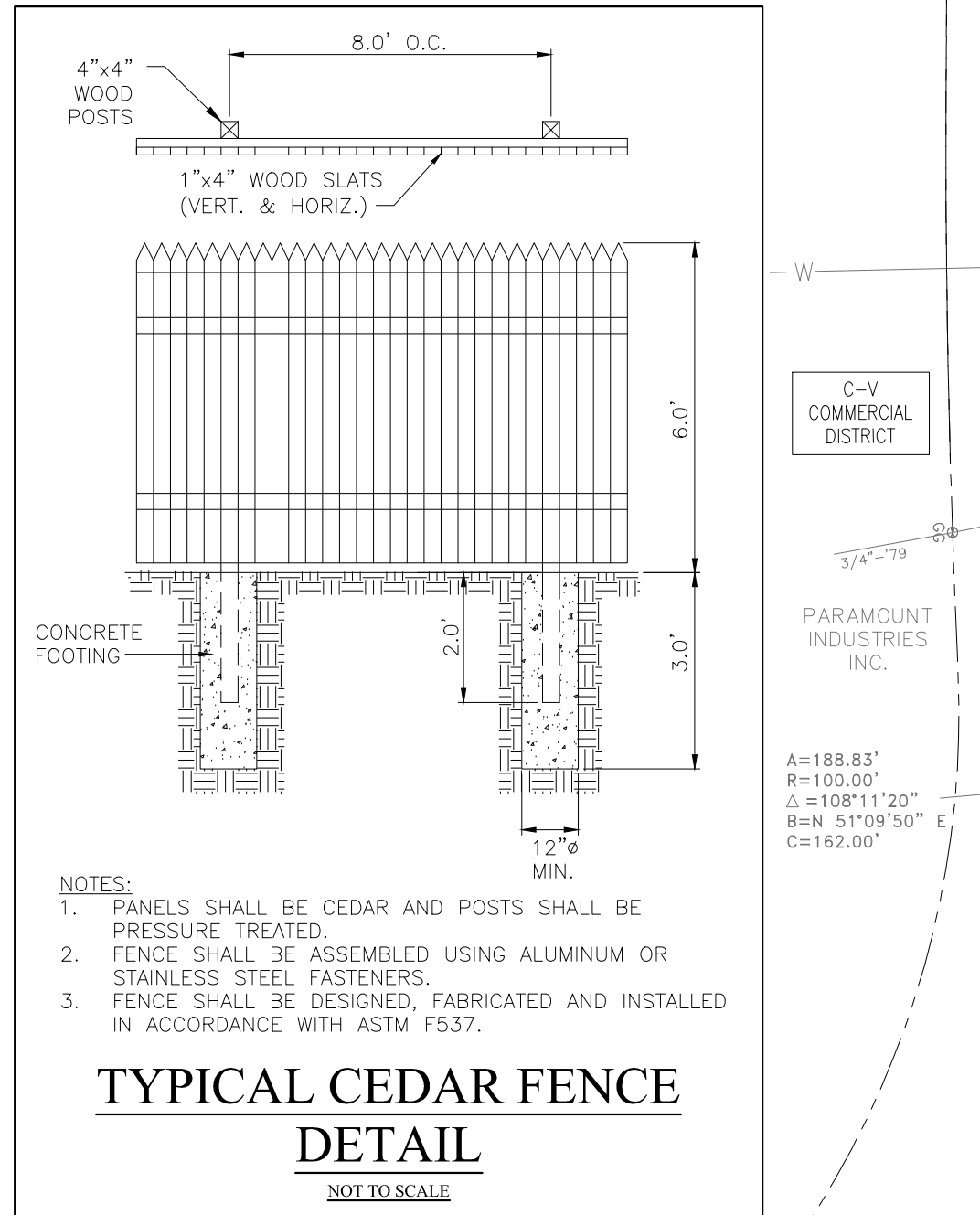
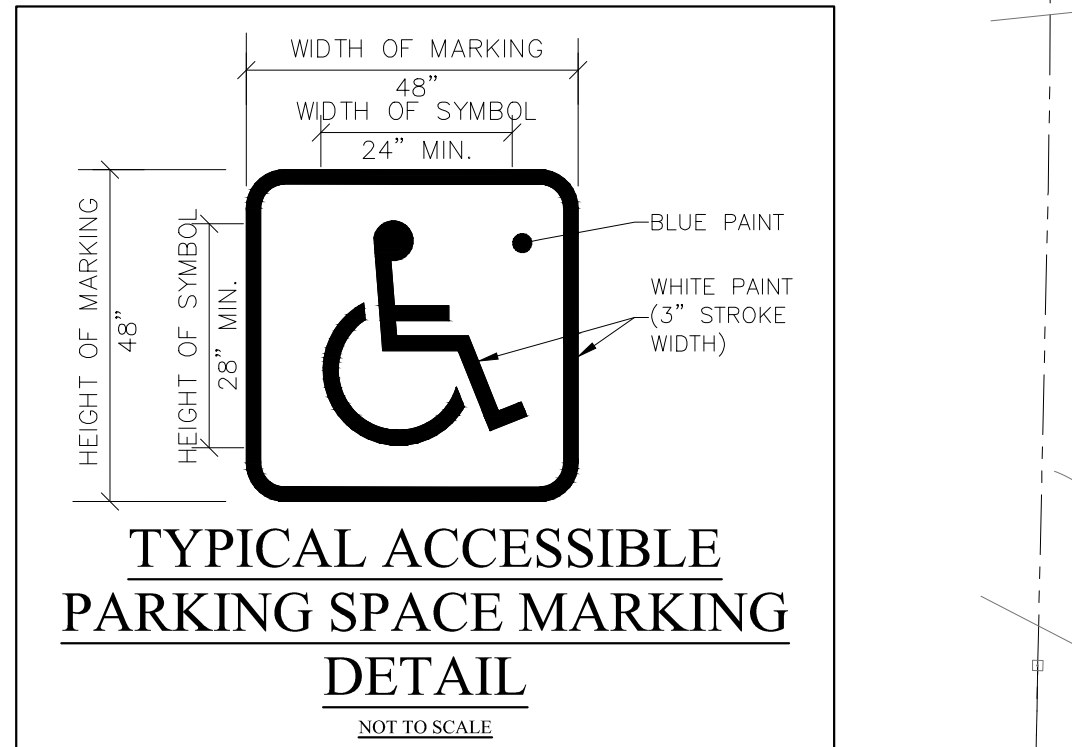
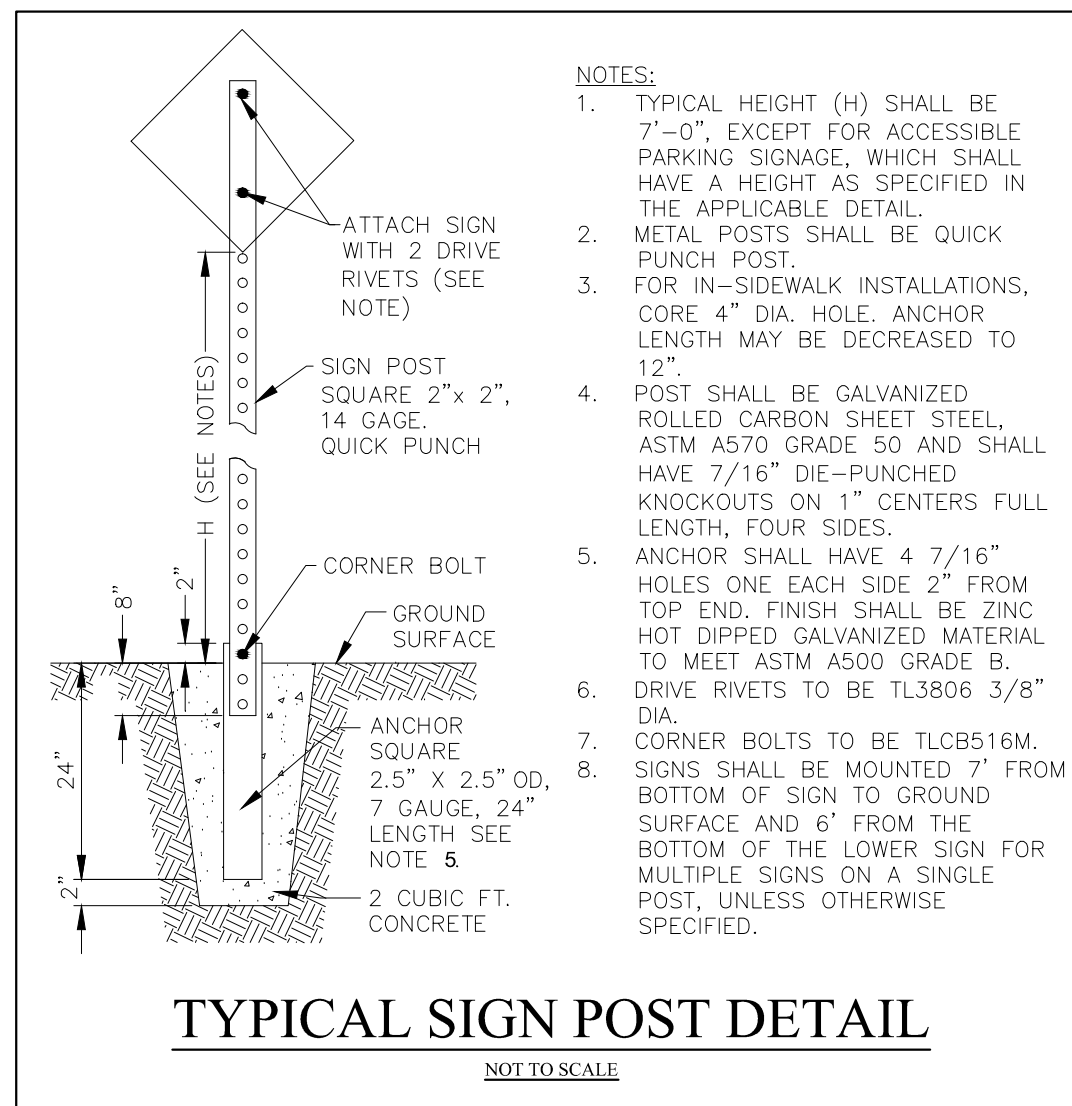
ATTEST.....

Town Clerk



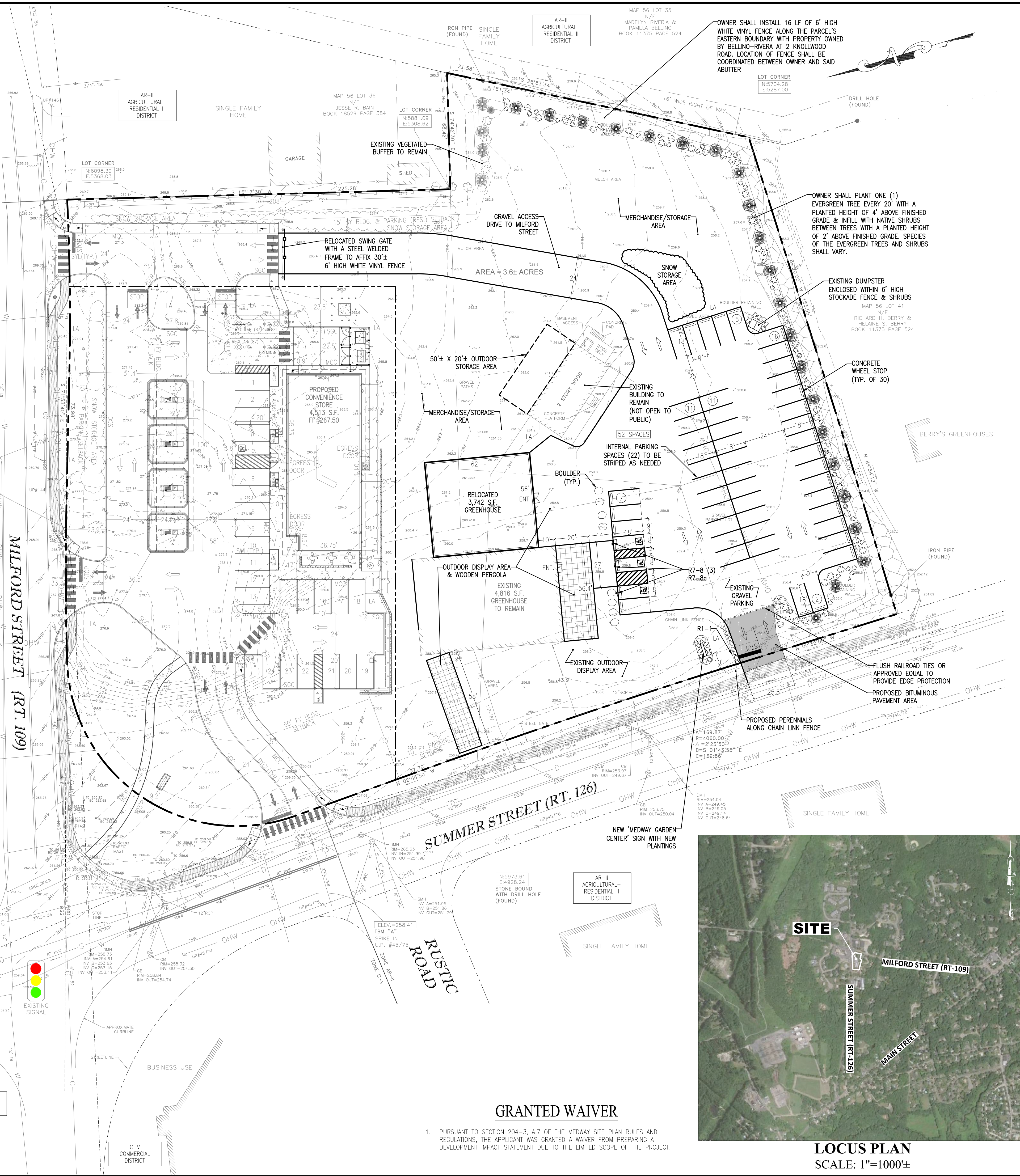
PARKING INFORMATION		
USE	REQUIRED	PROVIDED
RETAIL: 1 SPACE / 300 S.F. SALES AREA	29 SPACES	52 SPACES (3 ACCESSIBLE SPACES)
8,558 S.F. / 300 S.F. = 29 SPACES		

- GENERAL & SITE LAYOUT NOTES**
- ZONING DISTRICT INFORMATION OBTAINED FROM TOWN OF MEDWAY ZONING MAP, DATED APRIL 17, 2012, AND THE TOWN OF MEDWAY ZONING BYLAWS, DATED APRIL 17, 2012.
 - THE PROJECT INCLUDES THE CONSTRUCTION OF A 3,742 SQUARE FOOT GREENHOUSE, AN OUTDOOR WOODEN PERGOLA AND THE STRIPING OF 52 PARKING SPACES.
 - THE PROJECT LIES WITHIN COMMERCIAL V (C-V) DISTRICT.
 - MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
 - THIS SITE LIES ENTIRELY WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD RATE INSURANCE MAP (FIRM), NORFOLK COUNTY, COMMUNITY PANEL 139 OF 430 (MAP #25021C0139E), WITH AN EFFECTIVE DATE OF JULY 7, 2012.
 - ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
 - PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF PAINT (WHITE OR YELLOW) PER FEDERAL SPECIFICATION T1-P-115 TYPE 1; ALKYD (TO BE RESTRIPTED FOUR (4) TIMES PER YEAR).
 - PAVEMENT LETTERS SHALL BE 2" WIDE X 8" LONG.
 - STOP BARS SHALL BE 8" WIDE AND SOLID LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH).
 - ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS SHOWN ON THE SITE LAYOUT PLAN.
 - DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
 - ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO TOWN/STATE STANDARDS.
 - SNOW PILES SHALL NOT EXCEED 6 FEET IN HEIGHT WITHIN THE DESIGNATED SNOW STORAGE AREAS. EXCESS SNOW SHALL BE REMOVED OFFSITE IN ACCORDANCE WITH TOWN REGULATIONS.
 - THE VERTICAL DATUM OF THIS PLAN IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). THE BENCHMARK UTILIZED TO ESTABLISH THE DATUM ON THE SITE IN MASS DOT BENCHMARK 68 E31 B. IT IS A MONEL RIVET SET IN LEDGE OFF HIGHLAND STREET IN MEDWAY, MA, THE PUBLISHED NAVD29 ELEVATION OF 281.72 WAS CONVERTED TO NAV88 ELEVATION OF 277.56 UTILIZING CORPSCOM SOFTWARE.



MUTCD REFERENCE	SIGN
R1-1	STOP
R7-8	RESERVED PARKING
R7-8a	VAN ACCESSIBLE

ZONING INFORMATION		
ZONING DISTRICT: COMMERCIAL DISTRICT V (C-V)		
SITE AREA: 2.23 ACRES		
REGULATION	REQUIRED	PROPOSED
MIN. LOT AREA	20,000 S.F.	155,156 S.F.
MIN. LOT FRONTAGE	100 L.F.	833.4 L.F.
MIN. FRONT YARD SETBACK	50'	43.9'
MIN. SIDE YARD SETBACK	15'	116.6'
MIN. REAR YARD SETBACK	15'	N/A
MAX. BUILDING HEIGHT	40'	<40'
MAX. LOT COVERAGE	0.30	0.10



MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD:

REV	DATE	COMMENT
1	07/23/14	REV. PER PEDB COMMENTS
2	07/22/16	REV. PER CUENT COMMENTS
3	11/11/16	REV. PER PB CONDITIONS
4	11/30/16	REV. PER PB CONDITIONS

REVISIONS:

SCALE: 30 0 15 30 60

GRAPHIC SCALE IN FEET

DESIGNED BY: MAL

CHECKED BY: PRH

SEAL:

PHILIP R. HENRY, P.E.

PROJECT:

MEDWAY GARDENS

38 SUMMER STREET (ROUTE-126)

MEDWAY, MA 02053

PREPARED BY:

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 300A

NORTH ANDOVER, MA 01845

www.cdengineering.com

p: 978-794-5400 f: 978-914-6161

SHEET:

SITE PLAN

1

CDG PROJECT #:

14048

DATE:

07/22/2014



December 13, 2016

**Medway Planning & Economic Development Board
Meeting**

Fiscal Year 18 Budget Discussion

FY 18 Budget proposals are due 12/30/2016. The FY 18 time period runs from 7/1/2017 – 6/30/2018.

The following documents are attached for your review:

- BOS FY 18 Budget Policy for FY 18
- PEDB budget synopses (FY 13 – proposed FY 18)
- Calendar for FY 18 Budget and May 2017 Town

I would welcome discussion with you about the PEDB's anticipated financial needs during FY18. I believe we need to start gearing up to work on an update to the Medway Master Plan, last updated in 2009.

Board of Selectmen

John A. Foresto, Chair
Maryjane White, Vice-Chair
Richard A. D'Innocenzo, Clerk
Glenn D. Trindade
Dennis P. Crowley



Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3264
Fax (508) 321-4988

TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

To: All Department Heads, Board & Committee Chairs

From: Board of Selectmen

Date: December 5, 2016

Re: Fiscal Year 2018 Budget Process

The time has arrived to prepare the FY'2018 budget. **Your complete budget request must be entered into MUNIS no later than 12:00PM on December 30, 2016.** Following this date, the Finance Team, led by the Town Administrator, will begin the budget balancing process and will meet with departments and/or committees as necessary in early January to review these requests. It is expected that the Board of Selectmen will meet to review the budget plan in mid-February/early March, followed by a review by the Finance Committee.

FISCAL YEAR 2018 BUDGET POLICY STATEMENT

It is the policy of the Board of Selectmen that the Fiscal Year 2017 Budget shall be developed with a goal of continuing to provide a level-service delivery approach with an eye toward service enhancements where possible. The Board seeks to continue an outstanding partnership between Municipal and School Departments, and encourages all departments to develop budgets that identify needs on a priority basis, while at the same time being very cognizant of the financial realities and limitations that exist today. Departments shall observe the guidelines contained herein in the preparation of budgets.

The Board of Selectmen recognizes the Budget development requirements of the Medway School Committee, and that the creation of the School budget will adhere to that procedure and established timeline. Municipal Departments shall observe the guidelines contained herein in the preparation of budgets.

It is the ultimate goal of the Board to deliver an FY'2018 budget plan that best meets the needs of the Community for the ensuing twelve-month period.

PERSONNEL SERVICES BUDGETS

- 1.) Salaries & Wages for FY'2018: All salaries and wages calculations will be based on 52 weeks.
- 2.) Wages for union personnel should be budgeted in accordance with the applicable union contract, (see attached salary scales). Non-union personnel wages should be calculated in accordance with prior practice.
- 3.) New position requests or increases in hours, may be made but must have a detailed explanation/justification. Any changes or additions will be reviewed on a priority basis and are subject to available funding.

EXPENSE BUDGETS

- 1.) All expense budgets shall be accompanied by a detailed description/justification of each line item. This explanation shall be in the format provided for in the MUNIS system. A complete and thorough justification should be entered into the 'text' section in MUNIS, which has no limit on length.
- 2.) Do not simply level fund line items and do not add to items without proper justification. Some lines may need to be reduced from this year's levels, and others may require increases. Please only budget increases based upon identified and essential needs. Please also remember to be as understanding of our fiscal constraints as possible. Not every request can be funded. It remains a possibility that budget adjustments may be necessary well into the budget process, pending local aid projections from the Commonwealth or changes in available funding.
- 3.) Be specific with ALL requests. You must show expense needs in the appropriate line items, and justify each. If an appropriately titled line item does not currently exist for the requested expense, please contact the Finance Director to provide the correct new number and placement for the inclusion.
- 4.) Carefully review the text used for each expense line item in MUNIS. Please review every MUNIS line item. The text will appear on the budget reports.

BUDGET PROCESS

In addition to your efforts, over the next few months, the Finance Team will be working on overall budget projections with a focus of identifying solid revenue estimates. In all cases, everyone plays an important role in this process.

If, at any time during your budget preparation you need assistance or have questions, please do not hesitate to contact Carol or Michael. Again, thank you for your cooperation and solid efforts!

cc: Town Administrator
Finance Director

Planning and Economic Development Budget													
FY 13			FY 14		FY 15		FY 16		FY 17	FY 18			
	FY13 Budget	FY13 Actual Expenditures	FY14 Budget	FY14 Actual Expenditures	FY15 Budget	FY15 Actual Expenditures	FY16 Budget	FY 16 Actual Expenditures	FY17 Budget	SAC Proposed FY 18 Budget	PEDB Recommended FY 18 Budget	Notes	
Full-Time Salaries	\$ 63,940.00	\$ 66,414.17	\$ 68,466.00	\$ 68,236.07	\$ 69,489.00	\$ 69,543.32	\$ 71,150.00	\$ 71,339.08	\$ 72,287.00	\$ 73,465.60			
Part-Time Salaries	\$ 24,160.00	\$ 28,362.95	\$ 25,896.00	\$ 27,240.36	\$ 27,082.00	\$ 27,277.01	\$ -	\$ -	\$ -	\$ -			
Longevity	\$ 300.00	\$ 250.00	\$ 300.00	\$ 300.00	\$ 300.00	\$ 350.00	\$ 350.00	\$ -	\$ 350.00	\$ 350.00			
Legal	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 480.16	\$ -	\$ -	\$ -	\$ -			
Consulting Services	\$ 24,752.00	\$ 25,059.30	\$ 3,000.00	\$ 18,665.72	\$ 4,000.00	\$ 2,588.75	\$ 4,000.00	\$ 1,882.50	\$ 3,500.00	\$ 3,500.00			
Advertising	\$ 1,000.00	\$ 921.31	\$ 1,000.00	\$ 1,014.56	\$ 1,000.00	\$ 1,375.36	\$ 1,500.00	\$ 872.13	\$ 1,500.00	\$ 2,000.00			
Printing	\$ 315.00	\$ 194.18	\$ 315.00	\$ 649.75	\$ 400.00	\$ 214.15	\$ 400.00	\$ 637.59	\$ 400.00	\$ 500.00			
Contracted Services	\$ 10,100.00	\$ 2,313.98	\$ 10,000.00	\$ 4,006.00	\$ 10,000.00	\$ 4,407.75	\$ -	\$ -	\$ -	\$ -			
Mapping	\$ 790.00	\$ 700.00	\$ 790.00	\$ 700.00	\$ -	\$ 1,540.00	\$ -	\$ -	\$ -	\$ -			
Office Supplies	\$ 600.00	\$ 535.45	\$ 600.00	\$ 404.54	\$ 600.00	\$ 215.58	\$ 400.00	\$ 247.33	\$ 400.00	\$ 500.00			
Books	\$ 210.00	\$ 84.63	\$ 210.00	\$ 92.27	\$ 210.00	\$ 97.73	\$ 210.00	\$ 112.57	\$ 200.00	\$ 200.00			
In-state Travel	\$ 135.00	\$ 252.64	\$ 135.00	\$ 352.55	\$ 200.00	\$ 290.68	\$ 350.00	\$ -	\$ 250.00	\$ 250.00			
Dues/Subscriptions/ Workshops	\$ 500.00	\$ 141.50	\$ 500.00	\$ 380.00	\$ 500.00	\$ 450.00	\$ 500.00	\$ 500.00	\$ 500.00	\$ 500.00			
Office Equipment	\$ 500.00	\$ 348.40	\$ 500.00	\$ -	\$ 500.00	\$ 514.97	\$ 500.00	\$ -	\$ 500.00	\$ 500.00			
Total	\$127,302.00	\$ 125,578.51	\$ 111,712.00	\$ 122,041.82	\$ 114,281.00	\$ 109,345.46	\$ 79,360.00	\$ 75,591.20	\$ 79,887.00	\$ 81,765.60			
NOTE - There are no budget line items for overtime, postage, telephone, or legal expenses.													
FY 13 Consulting Services - Approximately \$17,500 was for payment to former Economic Development Director Claire O'Neill plus \$6,800 in other related economic development expenses (furniture, computer, cell phone, consultants, travel) plus \$1,800 to PGC Associates for PEDB consulting services related to zoning bylaw amendments													
FY 14 Consulting Services - Approximately \$17,000 in various street acceptance expenses - legal, title work, as-built plans (Petrini, Tetra Tech, & Marsh Moriarty)													
FY18 Full-time Salaries - Per the Union Contract - Grade 10/Step 5 @ \$35.32/hour													
12/7/2016													

Town of Medway

Fiscal Year 2018 Budget and 2017 Town Meeting Calendars

Date	Activity	Charter Ref.
Sep. 19	Town Administrator Issues Capital Improvement Plan (CIP) Instructions	5-2-6
Sept. 20	Board of Selectmen (BOS) Issues Budget Calendar	7-2-1
Oct. 3	Town Administrator/Finance Director Issue Five (5) Year Revenue and Expense Budget	7-2-3/7-4-1
Oct. 7	CIP Submitted to Town Administrator – Includes Status of Previously Approved Projects Plus Proposed New Projects	5-2-6
Oct. 10-28	Town Administrator/Finance Dir. Review CIP w/ Dept. Mgrs.	
Oct. 17	Board of Selectmen (BOS) Issues Policy Statement for FY18 Budget	7-2-4
Nov. 2	Proposed CIP and Capital Budget Submitted to Capital Improvement Planning Committee (CIPC)	
Nov. 3- Jan. 13	CIPC Reviews and Ranks Projects	
Dec. 5	Town Administrator/Finance Director Issues Budget Instructions to Dept. Heads and Committee Chairs	7-2-4
Dec. 30	Departmental Operating Budget Submissions Due to Town Admin.	7-2-5
Jan. 2 -Feb. 10	Town Administrator/Finance Director Review Department Budgets	
Jan. 9	Annual Town Meeting Warrant Opens	
Jan. 13-Feb. 3	CIPC Prepares Five Year Schedule of Capital Projects	5-2-6
Feb. 3	Capital Budget Completed by CIPC	
Feb. 5	ATM Warrant Compiled	
Feb. 6	CIPC Presents Capital Budget and Capital Plan to BOS	
Feb. 6	ATM Warrant Closes	
Feb. 7-10	Legal Review of Warrant	
Feb. 8	School Department Budget Submitted to Town Administrator and BOS	
Feb. 13	Town Administrator Submits Proposed Comprehensive Operating and Capital Budgets to BOS	7-2-6
Feb. 21 -Mar. 20	BOS Reviews Operating and Capital Budgets	
Feb. 21	BOS Reviews and Approves Warrant	
Mar. 6	BOS Adopts and Recommends Warrant to FinCom (except zoning)	7-2-9
Mar. 14	PEDB Holds Public Hearing on Proposed Zoning Bylaw Changes	
Mar. 16	PEDB Submits Public Hearing Outcome/Recommendations to BOS	
Mar. 16	FinCom Submits Public Hearing Notice to Milford Daily News (4 business days prior to advertisement in paper)	
Mar. 20	BOS Votes Recommendations on Zoning Warrant Articles	
Mar. 20	BOS Adopts and Transmits Proposed Operating and Capital Budgets to FinCom; Advises of Zoning Article Recommendations	
Mar. 22	Public Hearing Notice Appears in Milford Daily News	
Mar. 22-Apr. 5	FinCom Reviews Operating and Capital Budgets and Prepares Town Meeting Recommendations	
Apr. 5	Fincom Holds Public Hearing	2-5-2/7-2-10
Apr. 6	FinCom Recommends Final Budget and Warrant	7-2-10
Apr. 10-14	Warrant Submitted to Publisher	
Apr. 17	Warrant Posted on Web, Residents Notified	
May 8	Annual Town Meeting; Approval of Upcoming Year's Budgets	



December 13, 2016

**Medway Planning & Economic Development Board
Meeting**

Correspondence and Communications

- MAPC Executive Director's report for October 2016
- Medway Parks Improvement Plan presentation by CBA Landscape Architects from the 12-7-16 meeting/public input session held by the Medway EPFRAC (Evaluation of Parks, Fields and Recreational Areas Committee)

Executive Director's Report October 19, 2016

Submitted to the Executive Committee by Marc Draisen, Executive Director

Smart Growth Planning

Transportation

Transportation for America Leadership Academy on Performance Management

Eric Bourassa, Director of Transportation, has participated in a six-month training on establishing MPO performance measures and performance based planning. The Academy is hosted by Federal Highway Administration and Transportation for America. The focus of the Academy is on measuring “outcomes” from transportation investment and not just on “outputs.” Staff from A Better City, the City of Boston, the Seaport TMA, the MBTA Advisory Board, MassDOT, and CTPS are also taking part.

MPO Elections

This year there are four municipal seats on the MPO up for election. The Town of Framingham is running for the Metro West Regional Collaborative (MetroWest) seat, and The Town of Bedford is running for the Minuteman Advisory Group on Interlocal Coordination (MAGIC) seat. The City of Somerville is running for the Inner Core seat. The Town of Braintree is running for the South Shore Coalition (SSC) seat. All are current members of the MPO, and all are running unopposed for re-election. The election will formally take place at MAPC's Fall Council meeting on October 26.

North Suburban Mobility Study

The study of “first mile/last-mile” opportunities to connect people to transit in the North Suburban Planning Council (NSPC) subregion is now underway. This project will focus on developing new non-single occupancy vehicle (SOV) transportation options for people living and working in NSPC communities, and will focus on services that can be funded by employers, the municipalities, or through public-private partnerships. Eric Bourassa and Travis Pollack kicked off the study by presenting the scope of the project at the NSPC meeting in September and held a discussion with NSPC members on transit needs in their respective communities. An analysis of existing transit services in the subregion was completed and a questionnaire on transit needs and services was distributed to the municipalities. The efforts for the coming months will be to analyze Census and employment data in the subregion and to hold focus groups with key stakeholders to provide input on transit needs and opportunities.

A similar study, planned for the North Shore, was discussed at recent meetings of the North Shore Coalition and the North Shore Chamber of Commerce.

Wellesley Route 9 Enhancement Study and Plan

On September 27, MAPC held a final public forum to review and get feedback on the recommendations in the report. With about 30 attendees, there was meaningful dialogue and overall support for the 52 recommendations. The recommendations were conveyed in four categories – Action, Advocacy, Policy, and Investment – with a station at the forum for each category.

Jointly developed by MAPC, MetroWest Regional Collaborative, and the Town of Wellesley, the Route 9 Enhancement Study and Plan is a year-long community-driven study for the Route 9 Corridor in Wellesley. The plan provides tailored strategies for addressing the functionality and form of the roadway and corridor.

The three reports: *Recommendations, Issues and Opportunities*, and *Inventory and Assessment of Existing Conditions* are available online at mapc.org/transportation/rte9. A recording of the forum can also be viewed at <http://vp.telvue.com/preview?id=T01662&video=289492>.

MAPC also presented the recommendations to the Wellesley Planning Board at their October 17 meeting. It will next go to the Selectmen for their adoption.



Land Use

Manchester-by-the-Sea Master Plan

MAPC staff has submitted a draft Visioning Report to the Master Plan Steering Committee, and they will now work with the Steering Committee and Planning Board to finalize the document for Planning Board approval by early November. Town officials have indicated that they would like to continue working with MAPC on Phase 2 of their Master Plan.

Upham's Corner Cultural Planning

MAPC and the Mayor's Office of Arts and Culture (MOAC) in Boston have signed off on the scope of work to commence cultural planning activities in the Upham's Corner neighborhood. The project will advance the "Boston Creates" city-wide cultural plan by examining arts and cultural assets and needs in the neighborhood, and by identifying programmatic and policy changes the city and partners can implement. In September 2016, MAPC and MOAC met with our outreach engagement partners – the Dudley Street Neighborhood Initiative and the Design Studio for Social Intervention – to discuss near-term outreach and engagement activities.

Arts and Planning Toolkit

Jennifer Erickson promoted the new Arts and Planning Toolkit (www.artsandplanning.org) at the Northern New England American Planning Association Conference on September 8. The theme of the conference was "Planning and the Arts...Community Drama!" and it included many sessions pertaining to arts, culture, and planning. The conference session was attended by over 50 planners and included presentations by Marty Pottenger, a former artist-in-residence with the city of Portland, Maine, and Kim Szeto, Creative City Program Manager at the New England Foundation for the Arts.

Jennifer will also be presenting the Toolkit to a national audience of planners at a November 4 APA Webcast called "Nurturing Creative Places: A Dive into the Arts and Planning Toolkit." To sign up to participate, visit <https://attendee.gotowebinar.com/register/6117576421963090436>.

The Arts and Planning Toolkit was first launched in June 2016 after a year of research and writing, with lead input from the Inner Core Arts and Planning Working Group.

Technical Assistance Program

On October 6, MAPC released a Technical Assistance Program (TAP) Call for Project Concepts. MAPC has rebranded our call for technical assistance applications under one program in order to bring the various sources of funding for MAPC's TA under one umbrella. MAPC will continue to issue calls for project concepts in the fall and spring, and applications will still be accepted on a rolling basis. Projects will be funded by District Local TA (DLTA), Planning for MetroFuture TA, foundation resources, and grants from the Commonwealth and other sources. Often, multiple sources will fund a project, and sometimes individual municipalities may contribute toward the project budget.

One of the priorities for TAP is to connect our members to other funding sources of interest. Manager of Technical Assistance Programs Jennifer Erickson worked with ArtPlace America, a collaborative of 15 foundations, to hold a Grant Info Session for their National Creative Placemaking Fund here at MAPC, which took place on October 13. More than 50 people attended the info session, including representatives from over a dozen MAPC municipalities.



Environment

Hazard Mitigation Planning

The past month continued to be a busy time for hazard mitigation planning. On September 20, MAPC convened the second meeting of the Duxbury Local Hazard Mitigation Team, which focused on reviewing and prioritizing the mitigation actions for the plan. MAPC gave a public presentation on Lincoln's plan at a Board of Selectmen's meeting on September 26.

On September 29, MAPC convened the local team in Hudson for its last meeting to finalize mitigation actions in the plan. The final meeting of the local team in Walpole was held on October 5, also to finalize the mitigation actions for that town's plan. MAPC will meet with the Reading Local Hazard Mitigation Team on October 30 to review mitigation actions and the town will hold its second public meeting on December 5.

MAPC completed the revised draft Brookline Hazard Mitigation Plan and submitted it to MEMA for review and submittal to FEMA.

MEPA Project Review

The projects listed below for the region were filed with the MEPA office and were ranked by MAPC for the level of review. The MAPC review categories are defined as follows:

- A Major regional project to be reviewed by the Officers and/or Executive Committee
- B Regional project to be reviewed by staff and approved by Executive Director
- C Local or regional project to be tracked by MAPC; no MEPA review needed

Summary of MEPA Projects reviewed and ranked by MAPC, September/October 2016:

EOEA #	Project Name	Location	MEPA Review Phase	MAPC Review
15588	Moxy Hotel	Boston	ENF	C
15589	The Residences at Burlington Center	Burlington	ENF	C
15590	Colburn Street Condominiums	Gloucester	ENF	C
15591	Storm Drain Outlet Repair Project	Hull	ENF	C
15593	Marina Bay Expansion	Quincy	ENF	C
15594	Miller St., Cross St. and Furnace Ave. Flood Control and Furnace Brook Restoration	Quincy	ENF	C
15595	The Office and Research Center + The Residences at Assembly	Somerville	ENF	C
15571	Conley Container Terminal Revitalization; New Berth 10 and Berth 11 Deepening	Boston	ENF	C
15575	254-272 and 282R Lynnway	Lynn	ENF	B
15581	The Arsenal Project	Watertown	ENF	C
15584	One Charlestown	Boston	ENF	C
15585	Marine Wharf	Boston	ENF	C
15586	Cabot Elementary School	Newton	ENF	C
15587	Flatbread Pizza	Salem	ENF	C

15412	Gateway Center	Salem	ENF	C
15434	Terminal E Modernization Project	Boston	ENF	C
15450	Essex Landing	Saugus	ENF	C
12556	Clippership Wharf	Boston	ENF	C

MEPA Certificates

The Secretary of the Executive Office of Energy and Environmental Affairs issued MEPA Certificates for 1265 Main Street and the South Station Air Rights projects. Both Certificates require the Proponent to address key issues MAPC raised in its comment letters. These issues include developing a shared parking program and incorporating alternative modes of transportation for 1265 Main Street and exploring parking reductions for the South Station Air Rights project.

Strategic Initiatives

Zoning Reform

Strategic Initiatives and Government Affairs staff are in outreach mode, meeting with the subregions and many other stakeholders to discuss elements of statewide zoning and housing legislation. We are working with our allies with the goal of introducing a strong bill this winter.

Eric Hove, Sam Cleaves, and Andre Leroux of the Smart Growth Alliance joined me on September 28 as we addressed the North Shore Chamber Board of Directors in Danvers. We provided an overview of MAPC's, especially as it affects economic and housing development, and focused in on the zoning reform legislation and the upcoming North Shore suburban mobility study.

Essex National Heritage Commission Symposium

On October 7, Eric Hove presented at the "Scaling Up" symposium, which focused on landscape-scale conservation. Mayor Kimberley Driscoll of Salem welcomed the practitioners who work internationally and regionally. Eric's remarks centered on *MetroFuture*, regional open space and connectivity planning, and the need for updated zoning that results in smart growth, including more permanently protected natural and working landscapes.

The Next Regional Plan

DSI staff, with funding from The Barr Foundation, have begun conducting research and discussions regarding the next decennial plan for the MAPC region. Believe it or not, *MetroFuture* was adopted almost eight years ago, and it is time to begin thinking about our next plan. One critical question is whether the plan should be an "update" of *MetroFuture*, or a full-blown start-from-scratch regional planning initiative. Staff have been reviewing *MetroFuture*, examining key areas for improvement, and interviewing staff at other regional agencies throughout the country to learn from their experiences. Earlier this month, we held an initial conversation with the Officers about our research to date and possible methods for developing the next regional plan, and we expect to bring this conversation to the Executive Committee over the next few months.

Subregions

Citizen Planner Training Collaborative (CPTC)

Four subregions will host CPTC workshops this fall, as listed below. Subregional Coordinators had to apply to host these informative sessions, which will be available for Selectmen, Town Administrators and Managers, Planning Boards, and other municipal committee members state-wide. The session fee is \$30 per person and interested parties can [register here](#).

- **October 26**, 7-9 PM, “Zoning Exemptions,” Franklin Town Hall (sorry, already sold out!)
- **October 27**, 7-9 PM, “Intro to Subdivision Control Law & ANR,” Boxborough Town Hall
- **November 2**, 6:30-8:30 PM, “Site Plan Review,” Hanover Town Hall
- **November 14**, 7-9 PM, “Writing Reasonable & Defensible Decisions,” Framingham Library

Inner Core Committee (ICC)

The Inner Core Committee (ICC) met on September 21 for a program on transportation and public health. MassDOT Focus40 Fellow Caroline Vanasse engaged members in a preview of an interactive activity the MBTA will use at its October public meeting to engage attendees on how the T can improve service delivery and capital planning.

ICC was also briefed on new research on the impact of noise on cardiovascular and mental health. Erica Walker, doctoral candidate at Harvard’s T. H. Chan School of Public Health, presented highlights from her dissertation, which monitored noise levels in several municipalities in greater Boston and proposes a data-driven framework for identifying environmental conditions that increase community exposure to levels that may negatively impact public health.

MetroWest Regional Collaborative (MWRC)

MWRC was pleased this month to host its first quarterly Planners’ Roundtable for the planning staff of the MetroWest municipalities. The September Roundtable brought together planners from Ashland, Holliston, Natick, Southborough, Wellesley, and Weston, and featured a presentation about economic development by Amanda Chisholm, MAPC’s Chief Economic Development Planner.

North Shore Task Force (NSTF)

The North Shore Task Force met on October 12 in Danvers. The focus of the meeting was trails development and the Task Force heard MAPC Senior Transportation Planner David Loutzenheiser outline the [Landline Program](#), trails best practices, and next steps for unifying the North Shore trails system. Mike McDonagh of [Cape Ann Trail Stewards](#) described their progress as an organization and outlined their new Transit to Trails collaboration with the Cape Ann Transit Authority.

North Suburban Planning Council (NSPC)

In October, NSPC met in Woburn to discuss planning for vibrant downtowns. We were joined by MAPC Principal Planner Cynthia Wall and MAPC Transportation Engineer and Planner Sarah Kurpiel Lee, who discussed best practices around zoning and parking in downtown areas. Steve Byrne, Government Affairs Specialist, also joined NSPC to lead a discussion on MAPC legislative priorities and to solicit feedback from the subregion.



After the formal program, Tina Cassidy, Planning Board and WRA Director in Woburn, led us on a tour of downtown Woburn and pointed out some current planning efforts and recently completed development projects. NSPC's next meeting will focus on regional transportation planning. The subregion will provide feedback to CTPS staff on TIP/UPWP and will hear an update on the NSPC Suburban Mobility Study.

Three Rivers Interlocal Council (TRIC)

TRIC reconvened on September 20 after taking July and August off to develop its work plan. The meeting had an energy focus, with representatives from MAPC and its consultant, Good Energy, presenting on the benefits of community electricity aggregation (CEA), and Meister Consulting presenting on the new US Department of Energy SolSmart program. TRIC's next meeting will be on October 18 with a presentation by the Neponset River Watershed Association on municipal stormwater management and how the new MS4 Permit will affect the communities in the region.

South Shore Coalition

On October 13, MAPC's Government Affairs Manager, Lizzi Weyant, gave an overview of the past Legislative Session and led a discussion on ideas and priorities for the next session. The two SSC chairs attended at MAPC and everyone else participated by phone. People asked questions around Zoning Reform and were interested in the next steps.

Minuteman Advisory Group for Interlocal Coordination

There are a few upcoming events in MAGIC. Please join us!

- **October 25:** Climate Resilience. The working group will meet to discuss the draft climate resiliency report, 1-3 PM, Lincoln Town Hall, 16 Lincoln Road, Donaldson Room, 1st fl., Lincoln.
- **October 27:** CPTC workshop, Intro to Subdivision Control Law & ANR. 7-9 PM, Boxborough Town Hall, 29 Middle Rd., 2nd floor, Boxborough
- **November 3:** MAGIC Meeting, 2:30-4:30, Concord Planning, 141 Keyes Road, Concord.

More meeting information will be posted on the MAGIC webpage at <http://www.mapc.org/magic>.

Clean Energy

Natural Gas Leak Surveys & Best Practices

In September, MAPC held three workshops around the region to present findings of its year-long project to help municipalities and gas companies better coordinate paving, municipal infrastructure, and replacement of leak-prone gas mains. The workshops were in Lexington (9/19), Randolph (9/21), and Marlborough (9/29). 26 MAPC municipalities participated directly in the project, through interviews about coordination, and a sub-set of 15 allowed MAPC to conduct gas leak surveys on 10-15 miles of their streets. An additional 18 MAPC and 7 non-MAPC municipalities attended the workshops. MAPC also achieved participation in the workshops from the three investor-owned gas companies in the region, National Grid, Eversource and Columbia Gas.

The workshops were structured to provide opportunities for small group discussion, in which municipalities and gas companies could talk to each other about their reactions to our proposed best practices.

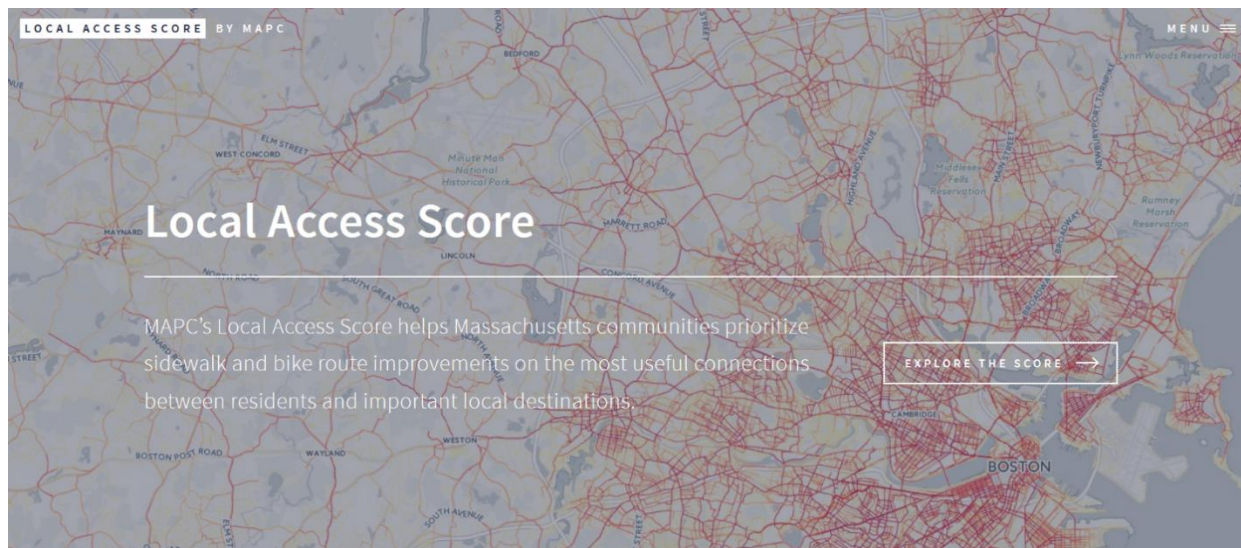
MAPC is taking the feedback from those workshops and is incorporating it into our final report for the project. The report will be published the week of October 17, along with a companion website developed by Data Services and a press release in coordination with Communications.

Data Services

On October 18, Alicia Rouault (Digital Services), Mark Fine (Municipal Collaboration) and Steve Byrne (Government Affairs) organized the "Making I.T. Work" conference in partnership with the Lt. Governor's Office, Division of Local Services, MassIT and the Collins Center. The event hosted 250 municipal Town Managers, IT Directors and Mayors in Framingham for discussion on modernizing local government through information technology and data. Attendees represented 190+ communities across the Commonwealth. State Senator Karen E. Spilka and Lieutenant Governor Karyn Polito both spoke, alongside Mark Nunnely, the Executive Director of MassIT. The event was a great success with workshops on Municipal IT Procurement, Regionalizing IT infrastructure, Open Data Law and Public Records, Community Compact opportunities and a host of other topics useful to municipalities looking to modernize IT infrastructure and advance best practices.

Local Access Scores

Data Services launched Local Access Scores on September 29 at MassDOT's Moving Together conference. Local Access is a data resource that provides a measure of how useful a street is for connecting residents with schools, shops, restaurants, parks, and transit stations.



Local Access Scores have already been used to help municipalities set priorities within their Complete Streets improvement plans, and will be used to inform the MassDOT state-wide bicycle and pedestrian plans.

Visit localaccess.mapc.org to learn more and to view your scores!

Building for the Middle: Housing Greater Boston's Workforce

On September 22, Tim Reardon spoke at the Urban Land Institute's release of the expanded version of "Building for the Middle: Housing Greater Boston's Workforce" (<http://boston.uli.org/building-for-the-middle/>). The research and report were authored by MAPC.

In addition to the findings from the preliminary study, released earlier this spring (and reported on in the June Executive Director's Report), including the projected need for an additional 200,000 units of workforce housing by 2030, MAPC added an in-depth look at occupational shifts since 1990 that have contributed to wage polarization and a hollowing out of middle-income working households in Metro Boston. The new analysis also highlights the disproportionate effects of these trends on Black and Latino working households.

To curb these trends, the report recommends the following strategies and policy approaches:

- Increase housing production at all income levels, especially in Inner Core communities that have been losing middle-income working households at a faster rate than the rest of the region.
- Streamline opportunities for low- and middle-income housing in wealthier suburban communities.
- Capitalize on the energy and abundant affordable housing opportunities offered by Regional Urban Centers to build communities of choice for middle-income households.

Importantly, the analysis notes that more than just housing policy is needed to resolve the region's housing crisis. Reversing wage-deflation in service and low-skill jobs will bring more working households into the middle class and help to solve Metro Boston's low-income housing problem.

Youth Employment

Alicia Rouault and Tim Reardon presented at the Civic Tech and Data Collaborative convening in Chicago on the work the Digital Services group has done to assist the City of Boston with its youth jobs program. The group has worked to automate the job matching process, which used to be done through painstaking phone calls and relied heavily on the personal staff knowledge of Boston geography. Now, an algorithm, which includes information on subject interest of the applicant, estimated commute time, and equity issues, helps match young people to jobs. This work has also been featured in a [Living Cities blog post](#).

Data Requests

Data Services filled six data requests over the past month for local planners, MAPC staff, and others. The agency provided land use data on the Town of Bellingham to a local planner to assist with their Open Space and Recreation Plan.

Municipal Collaboration

Statewide Homeland Security Fiduciary

Amy Reilly and Christine Howe recently attended the three-day Fundamentals of Grants Management Course run by FEMA's Grant Programs Directorate. This course is designed specifically for recipients currently receiving FEMA financial assistance, including the State Homeland Security Program funding MAPC oversees on behalf of EOPSS.

As a result of attending this course, which is part of the Grants Management Technical Assistance Program, MAPC staff are now able to review and, if necessary, revise policies, procedures and practices in critical areas of grants management such as monitoring, procurement, source documentation, payments, and equipment inventory, as well as prepare for federal and state monitoring and audits.

Northeast Homeland Security Regional Advisory Council (NERAC)

With the new school year now well underway, NERAC has completed the purchase and outfitting of a box truck for the Northeastern Massachusetts Law Enforcement Council (NEMLEC) School Threat Assessment and Response System (STARS) Team to transport a portable x-ray machine when responding to schools faced with acts or threats of violence. The x-ray machine can now be easily transported to any of NERAC's 85 communities should it be needed, where the STARS Team members will operate it and assist schools with the organization and management of controlled building entries. This ensures that should there be a threat or concern that a weapon is being brought to school, all backpacks and other bags can be scanned.



Procurement

Parking Meters (MARPA)

Fifteen municipalities have used the MAPC/MARPA contract for parking meters, including nearly \$900,000 worth of equipment and services. Six vendors offering pay-by-phone or meter equipment options currently hold MAPC/MARPA contracts and we expect to extend these contracts through the end of 2017.

Public Works

MAPC recently performed \$1.2 million in roadway paving services and other cooperative bids for towns in our MetroWest public works group, and \$6.8 million for the South Shore group. We are currently convening the public works groups to discuss the existing contracts and will prepare bids for roadway paving services for both groups.

Automated Vehicle Locator Systems

The Municipal Collaboration Department recently issued an RFP for automatic vehicle location (AVL) systems.

Participating communities include Boston, Brookline, Cambridge, Lexington, Natick, Newton, Somerville, Wakefield, and Westwood, but the bid will be open to all MAPC communities. Cities and towns across Greater Boston already use AVL systems with GPS as part of their snow and ice removal plans, or have been exploring their use through pilot programs. However, municipal fleet managers are interested in using the technology for other applications, such as street sweeping and trash collection. The participating municipalities are interested in technology that will support multiple fleet operations to increase their return on investment.

Local Food for Schools – Mushroom Beef Burgers

Municipal Collaboration and Public Health continue to partner to find new ways of helping schools to access healthy and local food. One way to do that is by collaboratively procuring specialized products that are drawn from local sources.

At the request of local districts, the first such procurement was for mushroom beef burgers. The request was for antibiotic-free and hormone-free beef patties, frozen and delivered to all locations designated by participating school districts, which included Cambridge, Somerville, Watertown, Waltham and Quincy. The bid also referenced the desire for the product to be drawn from farms within 250 miles of Boston.

Bids were received last month and MAPC awarded the contract to Arnold's Meats of Chicopee. They submitted a bid for \$33,534, at a price of \$0.69 cents per burger.

Communications

The bulk of our Communications team's time this past month was spent supporting publicity and event planning for a few key events: The **Municipal IT Conference**, "Making IT Work," which took place in Framingham yesterday with a sold-out attendance of more than 250 attendees; the "Fast Forward" **transportation summit** at District Hall last Friday, hosted with T4MA; and the upcoming **Fall Council Meeting**, taking place in Quincy with the Lt. Governor next week.

We have also provided complete press support to a number of projects, from the **Hanover Master Plan** to the **Saugus Housing Production Plan** and the launch of our new web tool, "**Local Access**," which helps cities and towns to prioritize bike and pedestrian improvements based on which roadways are utilized most for walking and cycling.

Additionally, our Communications team is knee-deep in planning the community forums for **the Lower Mystic Working Group** project, including building the project website and handling all press, online survey creation, and graphic design for the event materials. All of this has been happening alongside the busiest stretch for our MAPC **Calendar and Annual Report**, as well as the final phases of our **website redesign**.

We now have a draft design for the new site, and a beta launch is targeted for December 1. Please contact Communications Manager Amanda Linehan if you have questions or would like a preview of the proposed site design (alinehan@mapc.org).

Government Affairs

Revenue numbers came in lower than anticipated in July and August, but September revenue numbers were on par with projections. Still, at the end of last week, Secretary Lepore sent a letter to Governor Baker recommending that the Governor exercise his powers under Section 9C of Chapter 29 to address a projected \$294 million deficit. We are worried about how this will affect FY17 DLTA funding, and a variety of other programs critical to cities and towns – as well as the region as a whole – but have no inside information on what will be cut. We have released our solicitation for technical assistance projects – because these projects are supposed to be in January – but we do not presently have a DLTA contract.

The Government Affairs team has continued our tour of subregions in order to gather input for legislative priorities for the upcoming session. We have also met with all of our department heads at the agency and other outside advocacy stakeholders in order to get a sense of what other groups might file.

On October 14 we co-hosted an event on Innovative Mobility with Transportation for Massachusetts. The event was in District Hall in South Boston and had over 100 participants. Robin Chase, formerly of Zipcar, gave an excellent keynote address, calling for all of us to think creatively and legislatively about how we can create the right landscape as the future of driverless car technology becomes our present. Kate Ito of our Public Health team worked tirelessly to coordinate a very successful event.

On October 18 we co-hosted an event in Framingham with MARPA called, "Making IT Work," a statewide conference on municipal IT and data. Lieutenant Governor Karyn Polito and Senator Karen Spilka offered welcoming remarks. Over 190 municipalities participated, literally from North Adams to Provincetown (both were in the room!).

Steve Byrne from the GA team worked closely with Alicia Rouault in Data Services, Mark Fine in Municipal Collaboration, as well as the Communications and Administrative teams to plan the conference.

Upcoming Events

- **October 26:** Fall Council Meeting – The Lieutenant Governor will offer welcoming remarks as we discuss five legislative tools that were passed last session to help cities and towns.
- **November 17:** Metro Mayors Climate Summit. (More information to follow.)

MEDWAY PARKS & PLAYGROUNDS PROJECT

PUBLIC MEETING 1



Choate Park



Oakland Park



Cassidy Field



Medway Middle School

TONIGHT'S AGENDA

- Introductions: EPFRAC and CBA Landscape Architects LLC
- Project Schedule and Goals
- Relevant Past CBA Projects
- Existing Conditions Analysis
- Programmatic Possibilities
- Community Feedback



Choate Park



Cassidy Field



Oakland Park



Medway Middle School

PARKS & PLAYGROUNDS

Project Overview

- INTRODUCTIONS OF PROJECT TEAM
- DESIGN SCHEDULE & MEETING DATES
- PRELIMINARY GOALS & OBJECTIVES

INTRODUCTIONS

Town of Medway:

Evaluation of Parks, Fields, and Recreational Areas Committee (EPFRAC):

A 13-member committee appointed by the Board of Selectmen to oversee the planning & implementation of upgrades to Medway's parks, playing fields, and other recreational open spaces, with members drawn from the Board of Selectmen; the School District; the Parks, Open Space, Community Preservation, Conservation, Historical, and Finance Commissions/Committees; and the Friends of Choate Park and Medway Youth Sports organizations.

Community Preservation Committee

The project is funded using a grant under the Community Preservation Act.

Department of Public Services (DPS)

The project is being administered through the DPS, who should be the primary point of contact for questions.

Director: Tom Holder, tholder@townofmedway.org or 508-533-3275

CBA Landscape Architects LLC:

Principal-In-Charge: Clara C. Batchelor, ASLA, LEED AP, Founding Principal

Project Manager: D.J. Chagnon, ASLA, CPSI, Principal

- CBA has designed over 90 Parks, Playgrounds, & Schoolyards in eastern Massachusetts.
- Staff of 7 Landscape Architects and Designers
- Firm philosophy includes an emphasis on public input as a key factor of successful design.
- Clara is a LEED Accredited Professional & Registered Landscape Architect, as well as a Town of Brookline Parks Commissioner.
- D.J. is a Certified Playground Safety Inspector & Registered Landscape Architect and a member of the Somerville Historic Preservation Commission.

MEDWAY PARKS & PLAYGROUNDS **Design Schedule**

- **Public Meeting 1 (December 7th, 2016):** Present Project Summary, Site Analysis, and Precedents, gather community input, and develop program wish list to guide Schematic Designs for future meetings.
- **Public Meeting 2 (January 5th, 2017):** Present Master Plan Alternatives for each site based on first meeting input. Community review and discussion, with the goal of developing a Final Schematic Design Plan for each site.
- **Public Meeting 3 (January 26th):** Present proposed Schematic Design Plan for each park, including proposed features and site furnishings based on community discussion at Meeting 2. With community input, discuss project budgets, suggested scope and phasing, and prioritize strategy to maximize budget.
- **Community Preservation Committee Presentation (February 6th):** Presentation of the Final Schematic Design Plans, after community input, to the Community Preservation Committee for their review and comments.
- **Town Funding and Permitting Process (Mid-Spring):** EPFRAC and the CPC will determine what portions of the scope to construct at this time, apply for any applicable grants, and seek approval at Town Meeting. Meanwhile, CBA and our engineers will pursue any permitting needed (such as ConComm).
- **Construction Documents (Spring):** While the funding and permitting are being finalized, CBA will develop the Final Schematic Designs and suggested phasing into detailed Construction Documents suitable for bidding purposes. Final bid set timing will depend on funding and permit approvals, but is expected to be in early summer.
- **Construction (Summer-Fall 2017):** The goal set by EPFRAC is to have the first phase of construction on the park renovations completed by late fall 2017. Future phases of work will be prioritized as funding permits.

MEDWAY PARKS & PLAYGROUNDS Preliminary Goals & Objectives

Overall Goals: To rehabilitate the Town's parks and athletic field facilities as **signature parks** for the Town.

- Enhance and restore the sites' **predominant characteristics**, natural beauty, and natural resources
- **Improve accessibility** to the sites and features for all Medway residents, including ADA compliance
- Encourage use of the Town's facilities by serving **all ages and ability levels** throughout the park system
- **Reduce redundancies** in the Town's open spaces so that each site can be optimally used
- Protect and maintain or improve the Town's **athletic fields and courts** for various sports
- Provide **safe, inviting, and challenging playgrounds** that maximize play value and opportunities
- Protect and improve upon the **native vegetation**

Choate Park and Cassidy Fields: The complex is already Medway's most prominent park, and should become a signature **focal point of Town pride** with a design that will:

- Emphasize the site's **bucolic character and natural beauty** of the pond and Thayer Homestead
- Renovate and **organize the active uses** of the site and improve accessibility so that clear, strong connections are created and space is used efficiently
- **Create accessible routes** around the pond and between Choate and Cassidy that complement the setting
- **Redesign the “beach area”** to create a safe experience at the water's edge for visitors (no swimming)
- **Enhance the nature trails and pond perimeter** with educational signage, viewing areas, and other stations
- **Redesign parking and vehicular entries** so that they are compact, efficient, and screened from neighbors, Main Street, and the Thayer Homestead
- **Protect and maintain the ballfields**, including upgrades to parking, lighting, and accessibility
- **Proposed elements:** Playground; splashpad; picnic area; shade elements; walking paths; pond overlooks; lighting; improved parking; protected ballfields; organized facilities; sports courts?; “Little Fenway?”; improved tree cover

MEDWAY PARKS & PLAYGROUNDS Preliminary Goals & Objectives

Oakland Park: Already well used but in need of **improvements in key areas** for safety, usability, and broad access:

- Protect the **main playing fields and basketball court**
- Improve the usability of the **smaller multipurpose field along Oakland St.**
- **Resolve issues between Senior Center** and the park uses, including Camp Sunshine's needs
- Explore ways to **enhance Senior Center use of the Park** where appropriate
- Consider a **shade shelter or pavillion** as a central organizing feature
- **Provide storage, bathrooms, and offices** for sports uses and for Camp Sunshine
- **Organize and clarify vehicular circulation** to improve safety and expand parking for both the Park & Senior Center
- **Upgrade the playground** to meet codes, improve accessibility and safety, and serve a wider age / ability range
- Improve or replace the **picnic area** for better accessibility, location, and furnishings
- Create **accessible routes** to all features of the site, including player & spectator areas for sports

Medway Middle School: Create a Master Plan that will guide improvements to the school's **athletic facilities & paths** over the long term, including:

- Renovate and light the **tennis courts** to provide a usable and adequately sized alternative to the High School courts
- Refurbish the **track and field facilities** for safe use by the Middle School track program as well as walkers/runners who use the track to run laps
- Consider possible upgrades to **sports lighting** on additional fields to extend playability
- **Provide accessible routes** to all athletic and spectator areas on the site, and consider connections to associated fields at Burke Memorial

PARKS & PLAYGROUNDS

Relevant Past CBA Projects

EXAMPLES OF PAST PARK & PLAYGROUND WORK
BY CBA LANDSCAPE ARCHITECTS LLC THAT
SHARES QUALITIES WITH THE 3 PROJECT SITES

CBA PROJECT Dr. Loesch Family Park - Boston, MA



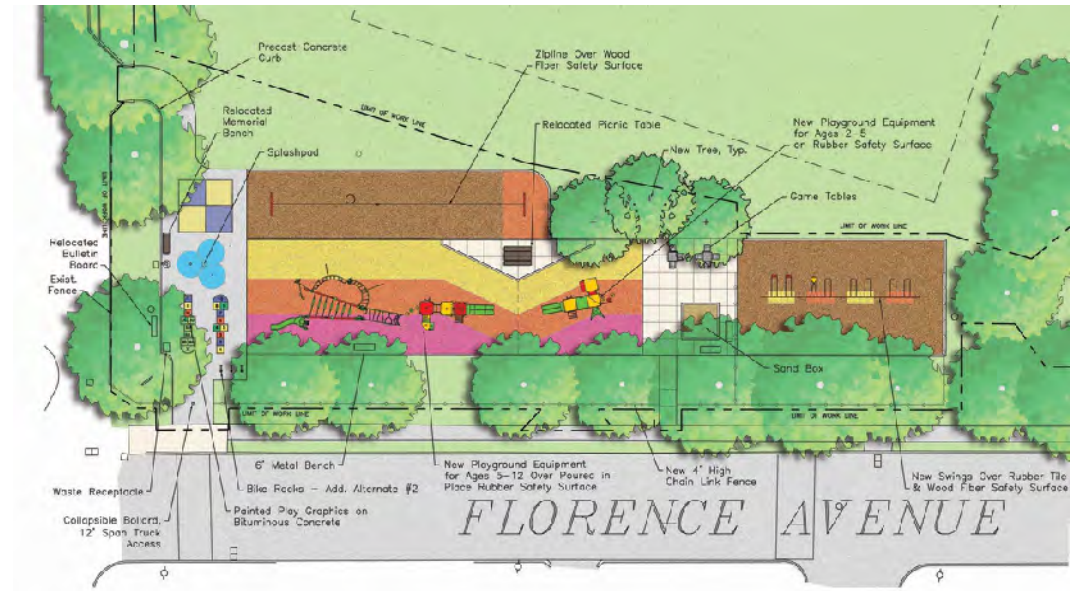
CBA PROJECT Voke Park – Chelsea, MA



CBA PROJECT Joyce Playground – Brighton, Boston



CBA PROJECT Florence Ave Plgd. / Dallin School - Arlington



CBA PROJECT Washington Park – Chelsea, MA



CBA PROJECT Almont Park – Mattapan, Boston





Choate Park



Cassidy Field



Oakland Park



Medway Middle School

PARKS & PLAYGROUNDS

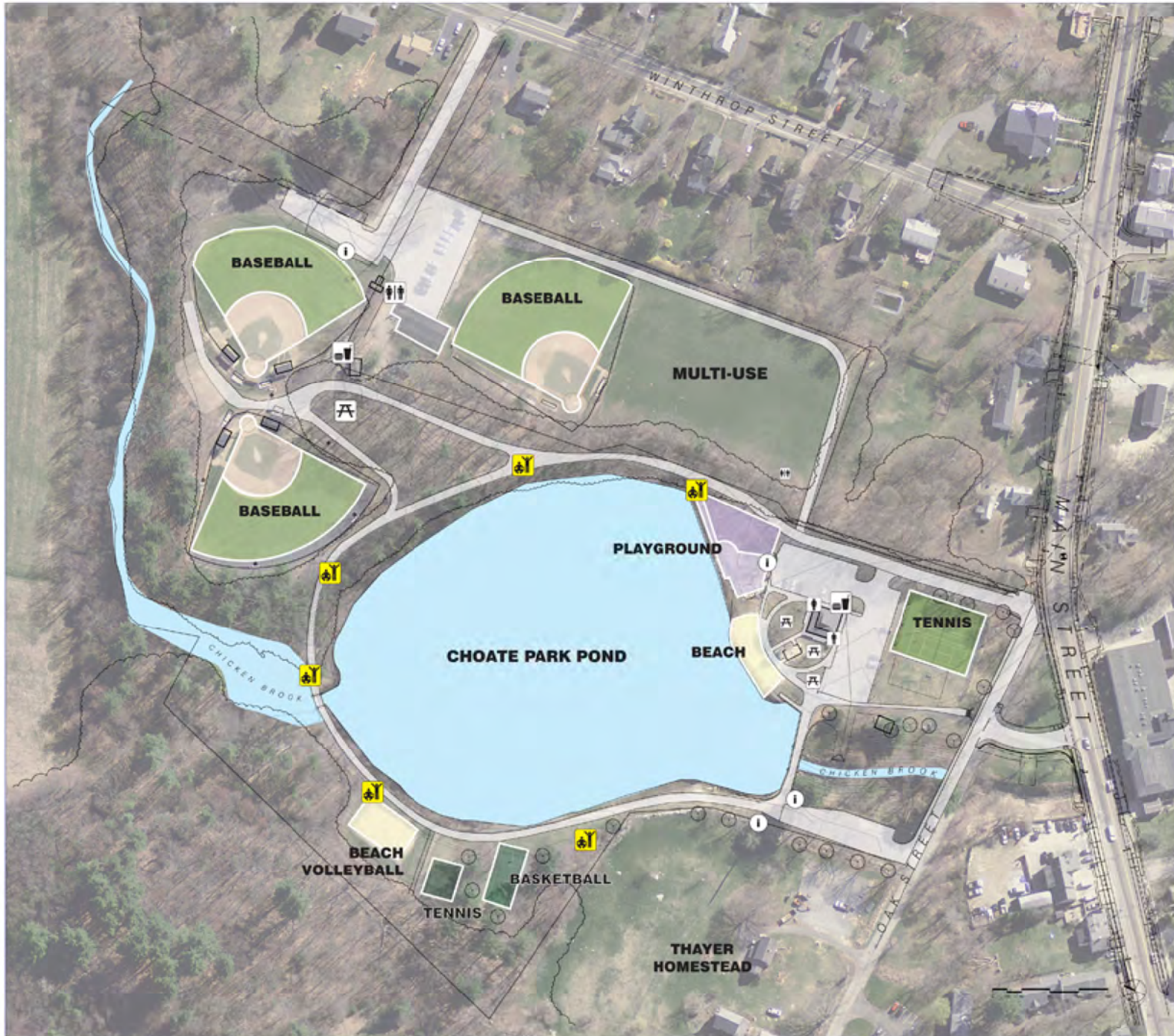
Initial Site Analysis

- EXISTING CONDITIONS
- CHALLENGES & OPPORTUNITIES
- DISCUSSION OF POSSIBILITIES

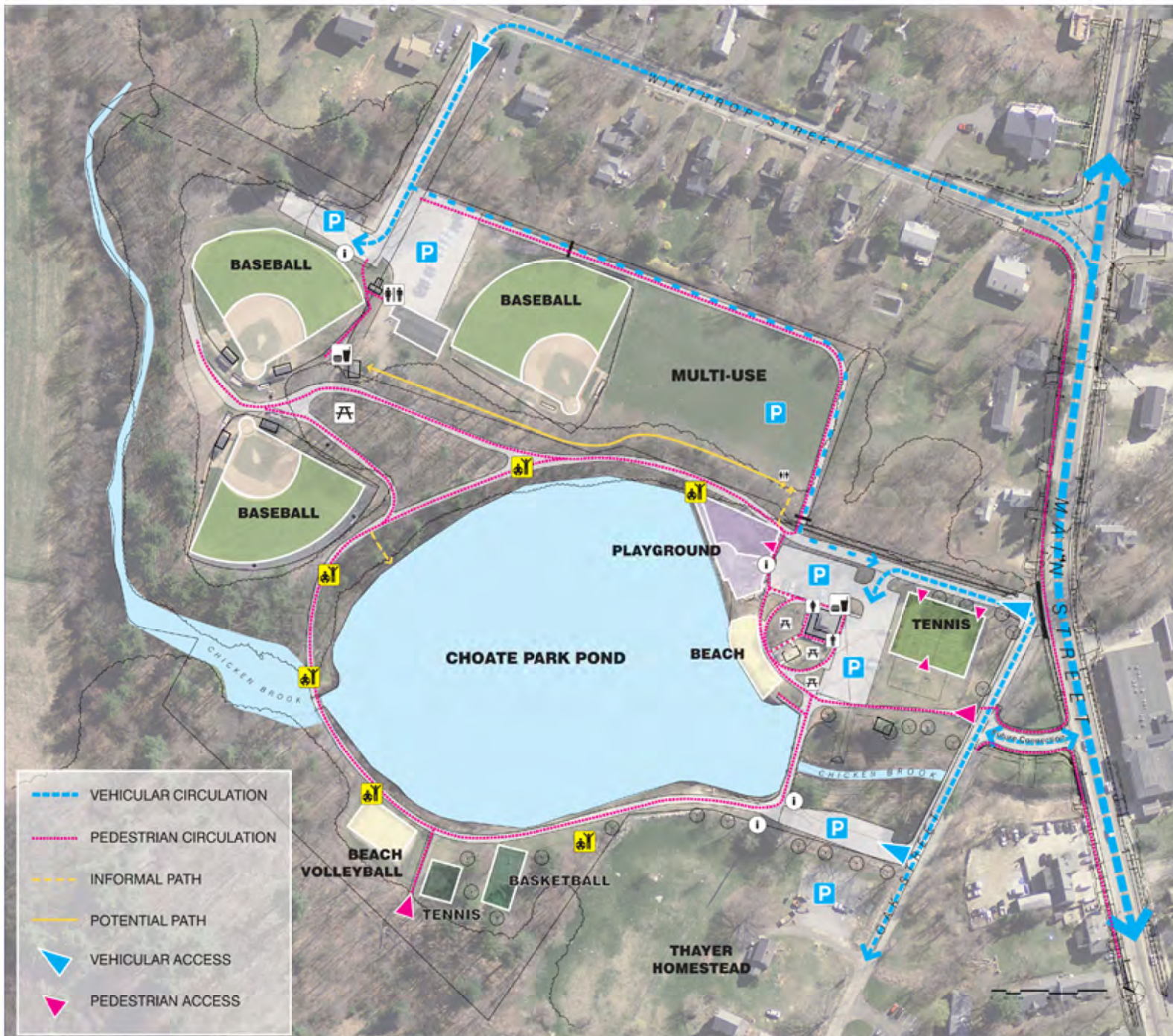
CHOATE PARK / CASSIDY FIELDS: AERIAL VIEW



CHOATE PARK / CASSIDY FIELDS: MAJOR AREAS



CHOATE PARK / CASSIDY FIELDS: OVERALL SITE ANALYSIS



CHOATE PARK: EXISTING CONDITIONS

View of the pondside path.



CHOATE PARK: EXISTING CONDITIONS

Views of a sitting area and two exercise stations.



CHOATE PARK: EXISTING CONDITIONS

Views of the Basketball Court & Tennis Practice Area



CHOATE PARK: EXISTING CONDITIONS

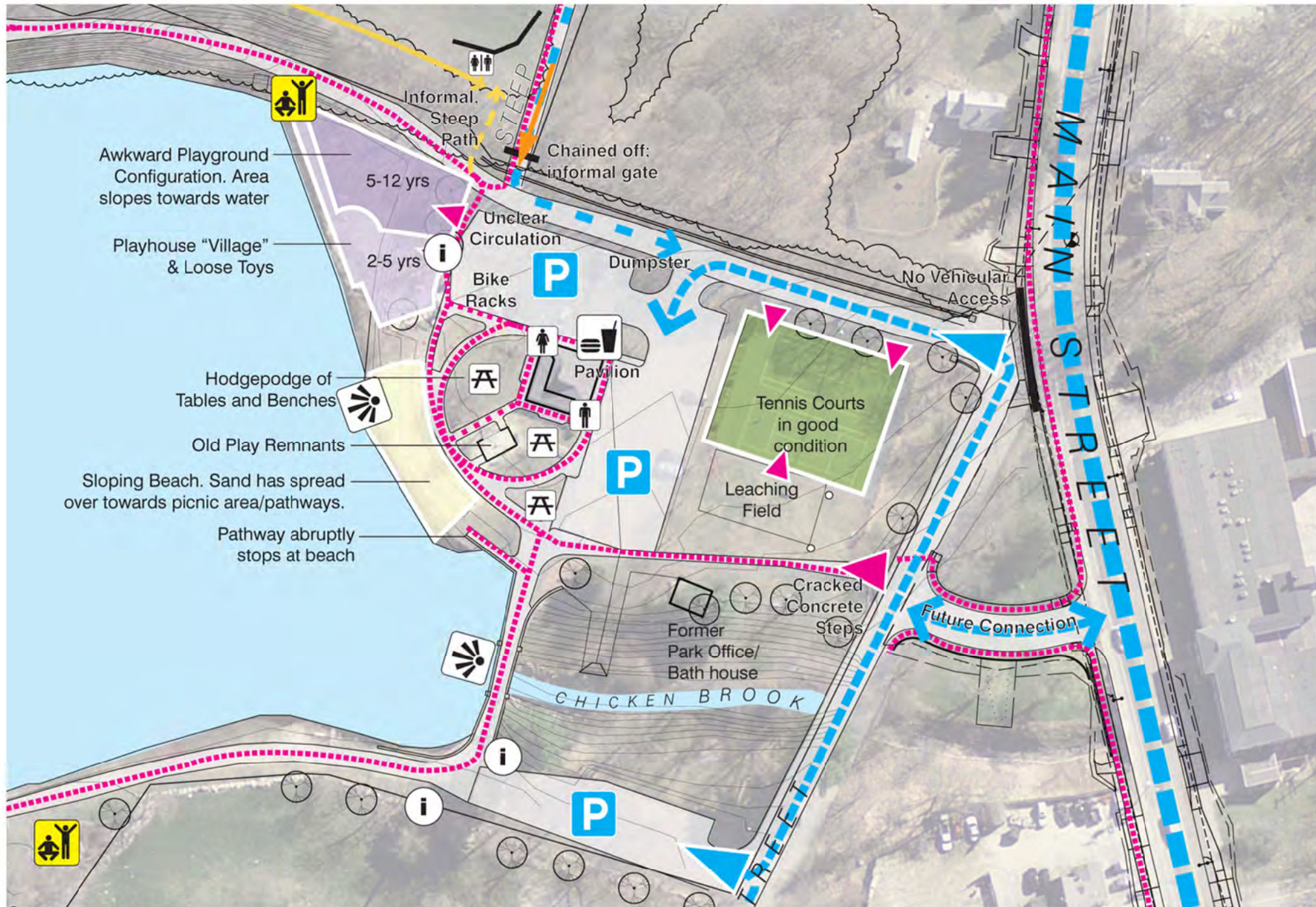
View of the Volleyball Court



CHOATE PARK / CASSIDY FIELDS: IMPORTANT VIEWING AREAS



CHOATE PARK / CASSIDY FIELDS: CHOATE PARK CORE AREA



CHOATE PARK: EXISTING CONDITIONS

Views of the playground area.



CHOATE PARK: EXISTING CONDITIONS

Views of the Picnic & Beach Areas



CHOATE PARK: EXISTING CONDITIONS

View of the lawn and the tennis courts



The site plan illustrates the layout of the Charles River Fields complex. It features three baseball fields: Charles River Field, W. Podzka Field, and Santos Field, all noted as being in good condition. The plan includes various facilities such as bleachers, dugouts, restrooms, and parking areas. Key circulation paths are highlighted, including a blue dashed line for parking, a pink dotted line for general circulation, and a yellow solid line for an 'Opportunity for Upper Loop'. Specific areas of concern are marked, such as the 'Picnic Grove; Random table placement not ADA accessible' and the 'Awkward Playground Configuration. Area slopes towards water'. The plan also shows a 'Gate' and a 'Backstop' for the W. Podzka Field.

CASSIDY FIELDS: EXISTING CONDITIONS

Ball Field at Cassidy Fields



CASSIDY FIELDS: EXISTING CONDITIONS

Path Conditions



CASSIDY FIELDS: EXISTING CONDITIONS

Connections to Choate Park



CASSIDY FIELDS: EXISTING CONDITIONS

Parking & Batting Areas



OAKLAND PARK: AERIAL VIEW



OAKLAND PARK: PRELIMINARY SITE ANALYSIS



OAKLAND PARK: EXISTING CONDITIONS

Existing Fields



OAKLAND PARK: EXISTING CONDITIONS

Existing Basketball Court



OAKLAND PARK: EXISTING CONDITIONS

Playground

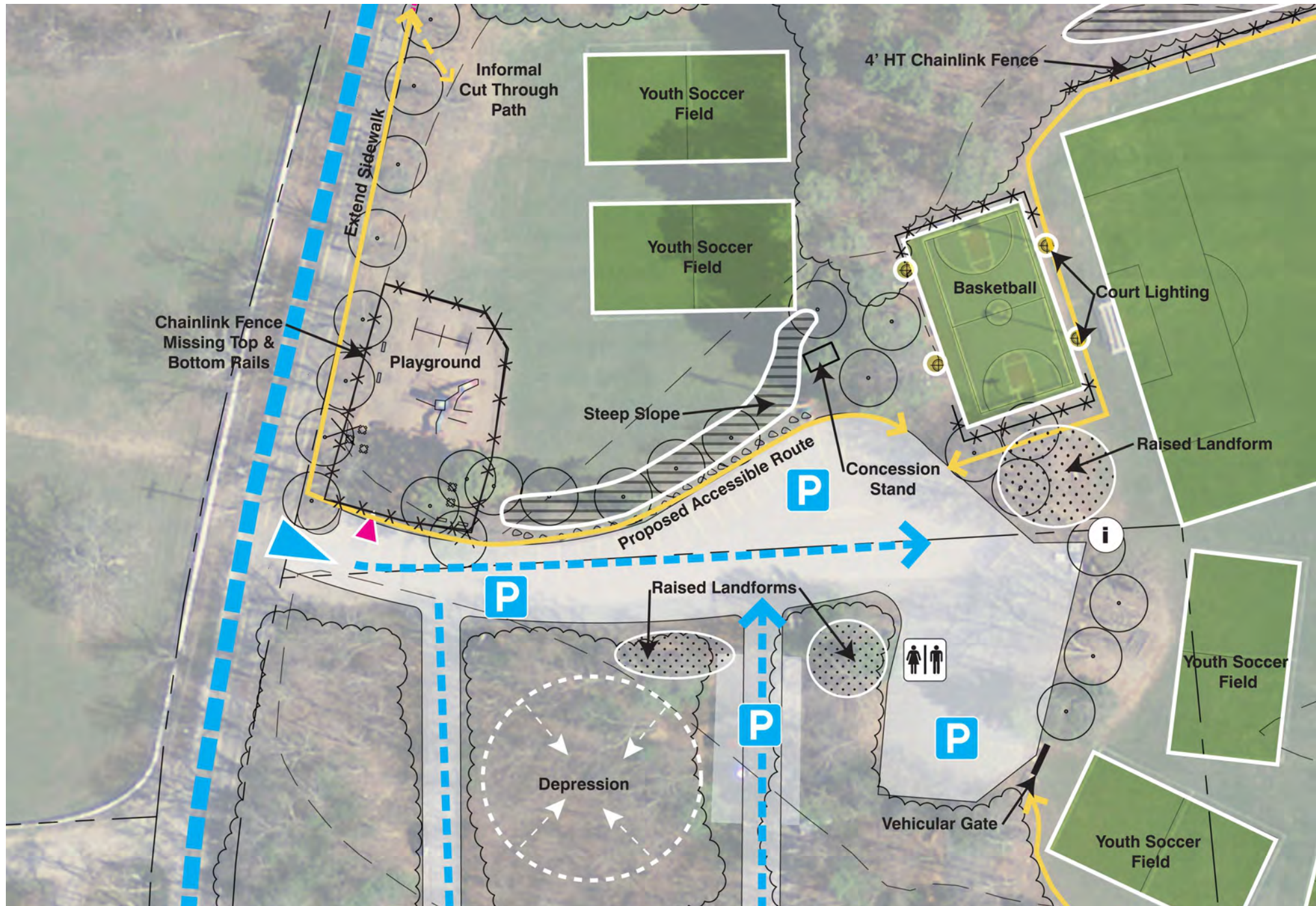


OAKLAND PARK: EXISTING CONDITIONS

Parking Area



OAKLAND PARK: PARKING, CIRCULATION, & PLAY AREAS



MEDWAY MIDDLE SCHOOL: AERIAL VIEW



MEDWAY MIDDLE SCHOOL: PRELIMINARY SITE ANALYSIS



MEDWAY MIDDLE SCHOOL: EXISTING CONDITIONS

Existing Tennis Courts



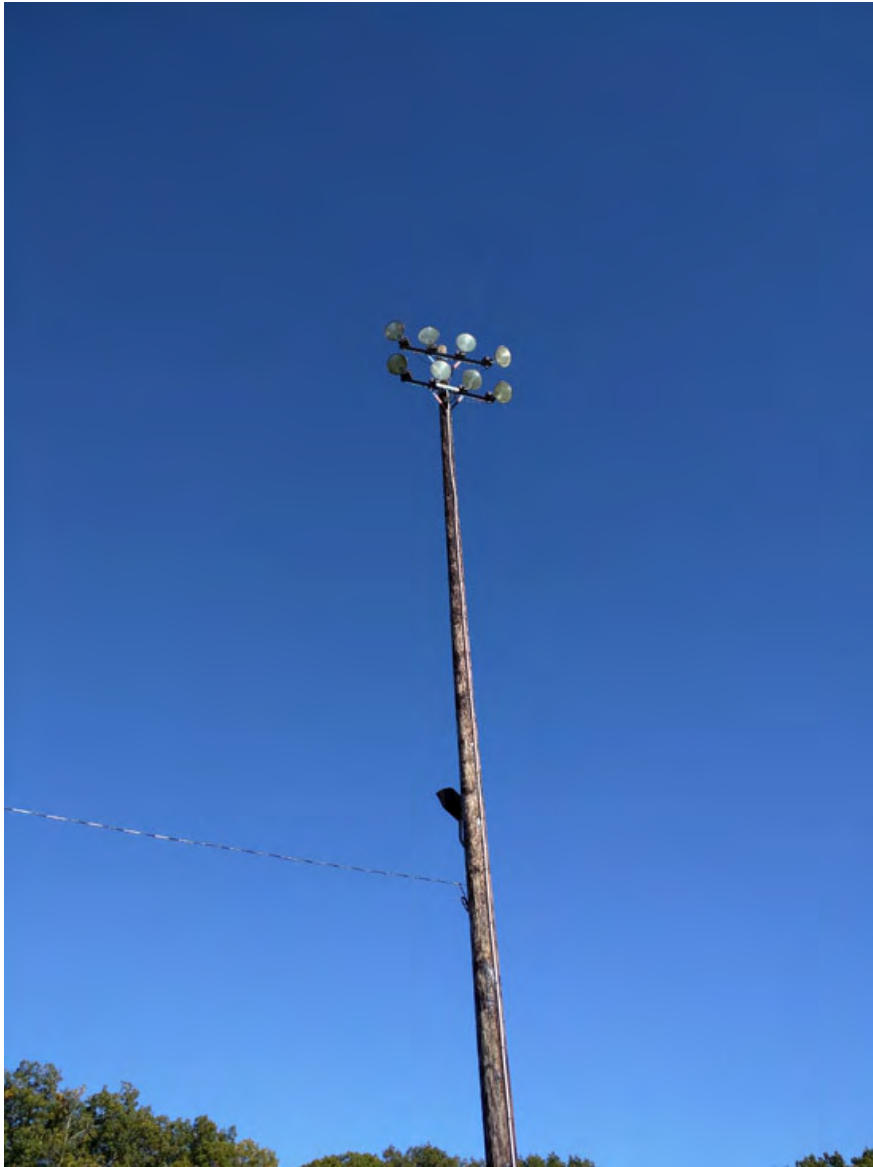
MEDWAY MIDDLE SCHOOL: EXISTING CONDITIONS

Track & Field Area

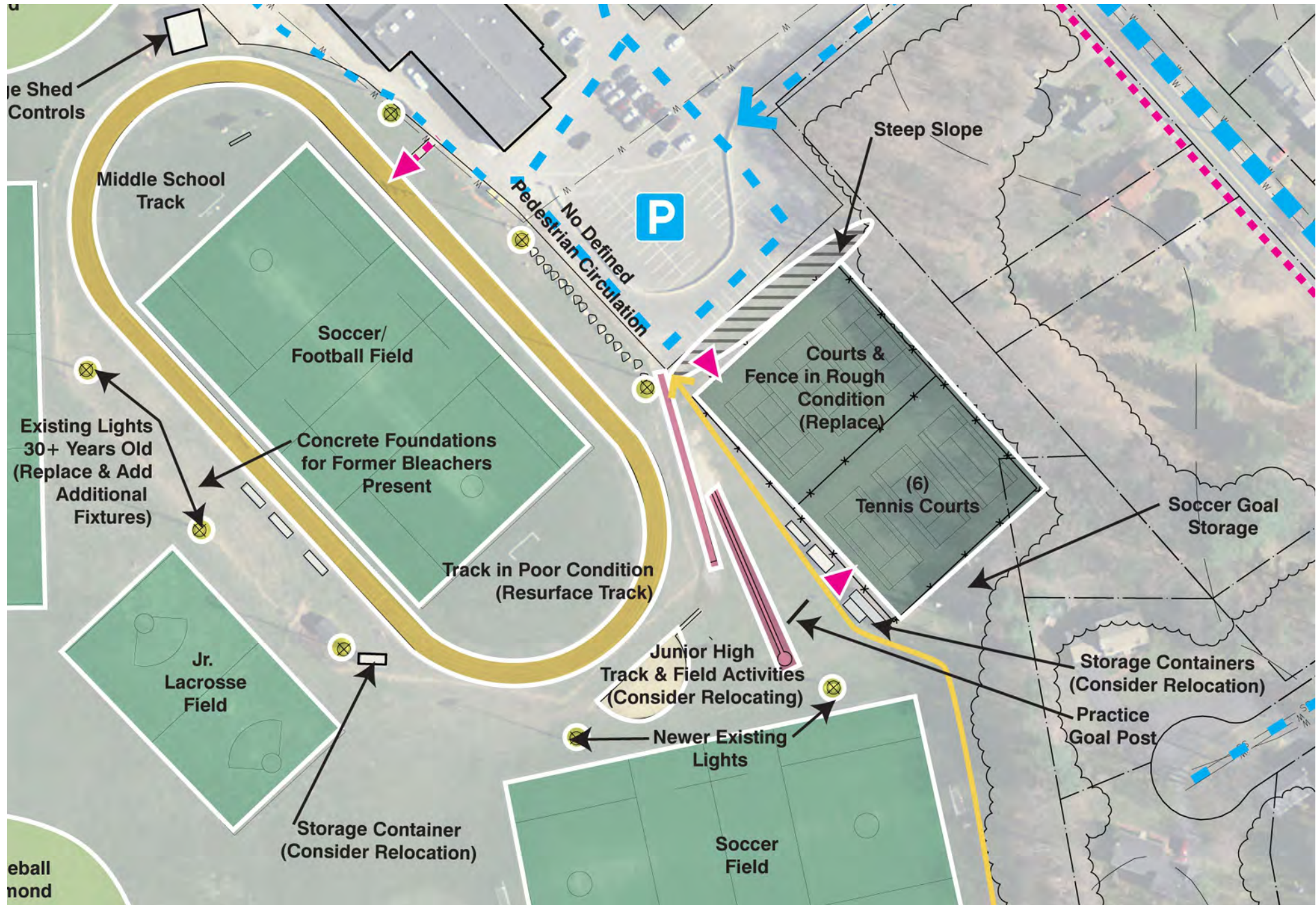


MEDWAY MIDDLE SCHOOL: EXISTING CONDITIONS

Track & Field Area



MEDWAY MIDDLE SCHOOL: TRACK & TENNIS AREA



PARKS & PLAYGROUNDS
Questions & Comments?

THANK YOU!

- The next Public Meeting (to discuss the potential Master Plan Alternatives CBA and EPFRAC develop) will be held on **Thursday, January 5th**, 2017 at the **Thayer Homestead**. We hope to see you again there!
- Tonight's presentation will be posted online at the Town's website.
- There will be an **online survey** posted in the next few days, to allow as many residents as possible to be involved in the conversation. **Please go online** to take the survey so we can include you in our data! (The link will be distributed via the same channels you heard about this meeting through.)
- If you have further **questions or comments**, please contact Tom Holder, DPS Director, at tholder@townofmedway.org or 508-533-3275.