

Tuesday, April 9, 2019
Medway Planning and Economic Development Board
76 Oakland Street
Medway, MA 02053

Members	Andy Rodenhiser	Bob Tucker	Tom Gay	Matt Hayes	Rich Di Iulio
Attendance	Absent with Notice	X	X	X	X

The meeting is being broadcast and recorded by Medway Cable Access.

ALSO PRESENT:

Susy Affleck-Childs, Planning and Economic Development Coordinator
Gino Carlucci, PGC Associates
Steve Bouley, Tetra Tech
Amy Sutherland, Recording Secretary

The Vice Chairman opened the meeting at 7:00 p.m.

There were no Citizen Comments.

CTS SITE PLAN – Field Change:

The Board is in receipt of the following: **(See Attached)**

- Letter from project engineer Peter Bemis dated April 8, 2019.

Business and property owner Steven Fisk was present and explained that they are requesting that the Board allow CTS to only install the underground conduit and the 5 light bases in the parking lot. It was noted that there have been a number of added cost overruns for this project. The building mounted light fixtures will be installed per plan. .

The Board would like the light poles and fixtures installed by October 31, 2019.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously that the light fixtures at CTS be installed by October 31, 2019.

Speroni Acres:

The Board is in receipt of the following: **(See Attached)**

- 3-27-19 email from Steve Bouley
- 3-27-19 Easement Plan for Lot 9 (15 Little Tree Road)
- 4-8-19 Easement Plan for Lot 3 (6 Little Tree Road)
- 3-27-19 Street Acceptance Plan

Consultant Bouley informed the Board that there are two easement figures and street acceptance figures which include the revised easement of Lot 9 as if the easement were transferred prior to street acceptance. The easement on Lot 3 needs to be modified. The easement on Lot 9 changes

since the basin encroaches on the property; there is now enough room for the Town to use the driveway. This still needs to be discussed with the property owners. Parcel B on the Beaudreau Lot (Country Cottage) is shown as an easement originally provided on the previously approved subdivision plan. Consultant Bouley will follow-up with the as-built plans of the development. The as-builts will be ready by next week and will be provided to the Board. Susy will meet with Barbara St. Andre to come up with a schedule on how to approach this. The goal is to aim for the Fall town meeting for street acceptance. It will be made clear that the street acceptance does not include the sewer system. There will be a public hearing and the abutters will be notified. The Board will also start the process to take the bond. There is a punch list which will need to be addressed.

PUBLIC HEARING - EVERGREEN VILLAGE MULTIFAMILY DEVELOPMENT – 22 EVERGREEN STREET:

The Board is in receipt of the following documents: **(See Attached)**

- Public Hearing Notice
- Project Narrative
- Special Permit application
- Site Plan application
- Land Disturbance application
- Site Plan
- Waiver Requests
- PGC Review Letter dated 4-2-19
- Barry Smith (Medway DPS) email memo dated 4-5-19 re: water and sewer
- Jack Mee email dated 3-22-19 re: demo permit
- Jack Mee email dated 3-28-19 re: building condition
- 4-8-19 email from John & Jessica Grimes
- 4-9-19 DRC review letter

The Vice Chairman read an opening statement which included the procedural process of the hearing. **(See Attached)**

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to waive the reading of the public hearing notice.

Applicant Maria Varrichione and project engineer Ron Tiberi were present.

Mr. Tiberi explained that the applicant, Sampson Pond LLC, has proposed a development that will include construction of six, 2-unit, 2 ½ story townhouse buildings; four 2-bedroom units and eight 3-bedroom units. There will be one affordable dwelling unit included within the development. The access for the development will be from Evergreen Street. There will be a total of 24 off-street parking spaces. The applicant has met with the Design Review Committee. Susy Affleck-Childs supplied to the Board a memo dated April 9, 2019 from the DRC. The memo referenced that the buildings are consistent with Medway Design Review Guidelines. The DRC recommends that naturalized buffers be included along the property line to screen residential abutters from the new structures. It was also recommended that the lighting poles be

shortened from 15 ft. to 6-8 feet. The light fixtures should also be adjusted to be of an appropriate size to match this shorter height. The smaller light pole and fixture will be of a more appropriate residential scale. The poles can be placed at each residence and serve as pathway lights as well. Sub-surface stormwater management facilities will be installed on site. The drainage from the site will flow to recharge chambers and treatment areas at the lower end of the property at the back of the site. The overall amount of stormwater runoff will be reduced. Connections will be made to the existing Town sewer and water services in Evergreen Street. There will be a hydrant at the back of the site. There is flexibility for the 35' front setback. The applicant communicated that the Conservation Agent visited the site and determined that there were no wetlands. The applicant will install buffering on the east and west sides of the site. There will be planting on the back side and between the buildings. The applicant indicated that the roadway width is going to be 22 ft. and will be requesting a waiver from the 24' regulation. The Fire Department has not provided feedback at this point. The applicant will get written comments from the Fire Chief. The snow storage was shown on the plan. The applicant was made aware that if the snow on site reaches a certain height it will need to be removed off site.

Consultant Carlucci communicated that the new historic properties language in the multifamily zoning bylaw approved in at the November 2018 town meeting includes language that if a site includes an historically important building as determined by the Historical Commission, it cannot be demolished under a multifamily permit unless it meets the specified criteria for being abandoned, unsafe, a nuisance or dangerous. The Historical Commission did determine that the 22 Evergreen property included a preferably preserved historic building and imposed a 9-month demolition delay; that period expired in May 2018. The Building Inspector has determined that the building does not meet the criteria of being unsafe; it is uninhabited. The project may have to incorporate reuse of the existing building into the site design to even be considered for a multifamily permit. Due to these issues, the complete reviews from Consultant Carlucci and Bouley have not been completed.

Susy Affleck-Childs communicated that the applicant is aware of this issue and the options – revise the plan by incorporating existing house into plan, or to put together documentation for a formal request to Building Commissioner for a finding. The last option is to go to the Board of Selectmen or Board of Health to make a determination that the property is a nuisance.

Maria Varicchione explained that a resolution is being pursued. Her attorney has spoken with the Building Inspector and they believe that the application falls under the older demolition delay bylaw and they put together information and a letter will be presented to the Building Inspector tomorrow with their position that they have met the criteria.

Susy will check in with the applicant to see if any determinations are made by the Building Commissioner, Board of Health or Board of Selection within the next two weeks. If the applicant is not pleased with whatever the Building Commissioner's determination, they have the right to appeal that decision to the Zoning Board of Appeals. This is an avenue available to the applicant.

The Vice Chairman asked about the soil. It was indicated that the back of the site soil was not great which is unfortunate since this is where the drainage will be.

Vice Chairman Tucker asked Susy Affleck-Childs if she can make sure the drawings of this proposed development are posted on the Town's website. He also suggested adding the emails and review comments from the various Town Departments and Committees and abutters.

Susy Affleck-Childs entered into the record the letter from John and Jessica Grimes, 1 Royal Heights Drive.

Resident, Elisabeth Kantor, 26 Evergreen Street:

Ms. Kantor is concerned about the following issues:

- Historical aspect of Evergreen Street. This is a very narrow street.
- What will be left for green space?
- The area in the back of the center of the property is continuously wet. When trees come down, it will affect the water table for the whole area.

Resident, Wallace Long, 19A Evergreen Street:

This resident explained that once the house at the end of Elm Street went in, there were issues with the drains backing up on the streets. These have been covered with debris. At his neighbor's property at 19B Evergreen, the entire garage floods. This water floods into the driveway and garage. He has burned out two sump pumps since the house on Elm Street went in. The other concern is that the street is too narrow for the traffic that will be generated by these additional units. The speeding is very bad in this area. This is not a safe area for kids to be walking on their way to the bus stop. He would like to see signs posted to reduce speed. This is also a cut through street. There are also two lots which can be built on Elm Street which would make the water situation even worse if that area is also built up.

Resident, Patricia DerGarabedian, 5 Royal Heights Drive:

Ms. DerGarabedian communicated that there are drainage issues in this area. Another concern is the flow of traffic. This area will be overly congested with more cars. She has three children and traffic has gotten so bad that over the last month that the Police are monitoring this area for traffic and speed. She has witnessed cars going through the stop signs and she almost got hit. Ms. DerGarabedian expressed that there is a seasonal creek which runs on the property. She is concerned about the Units 5,6,7, & 8 with the flow of the water in this area.

Resident, Rick Kantor, 26 Evergreen Street:

A question was asked if there is responsibility of the Town to do anything regarding the increase in water flow on the street since the house on Elm Street was put in. This street has many potholes. He expressed that there is a lot of water in this area.

Vice Chairman Tucker suggested that this is a Town accepted street. It was suggested the resident call the DPW to express concerns.

Resident, Plinio Silva, 2B Elm Street:

There is a concern that when the house was razed and the new house was put in on Elm Street, there has been an increase of water. This also increases the amount of mosquitos. The increase of traffic which will be on this street due to the new development is a concern.

Resident, Joanna Greene, 31A Evergreen Street:

This resident has lived on this street for 20 years. There have always been water issues, but it has gotten worse. In the winter, there is a lot of ice on the street. She was wondering what will be the schedule for work hours on site. Vice Chairman Tucker explained that construction work hours are written within the regulations and will be part of any decision. This would be included as part of the decision. She is also concerned with any additional lighting on her property. The applicant must comply with the lighting regulations.

Resident, 5 Royal Heights Drive, Mark DerGarabedian:

Mr. DerGarabedian informed the Board that their neighbors consistently have a sump pump running. He is concerned about the seasonal stream and the wetlands which are all around this area. Another concern is the displacement of the wildlife and greenspace. He would like to see the number of units lowered. There is a big concern about drainage and lighting. Traffic is a concern with the additional units and 24 extra cars.

The applicant restated that she is aware that the area around her site is wet, but development site at 22 Evergreen is not. The grade will not be changed. The drainage which will be put in will only help this area. The Conservation Commission already made a determination about the wetlands. She is also not opposed to removing the light posts.

Waivers:

The Board is in receipt of the waiver requests from the *Site Plan Rules and Regulations*:

Section 204-5 C (3) Landscape Inventory:

The applicant seeks a waiver from the requirement that a landscape inventory shall include a “mapped” overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade. The Board would like to have an inventory of trees 18 inches or high for deciduous trees, not for pines.

Section 205-6H Curbing:

The applicant is proposing a bituminous raised berm curb. The radius of the driveway at Evergreen will be granite.

Section 205-6 I Reduction of Travel Lane Width:

This will need to be addressed by the Fire Chief who will be providing a written recommendation.

Section 205-9 C – Shade Trees over Parking Areas:

The Board discussed that this is not applicable to this setting and they are fine with the waiver request.

Section 504-4E:

This waiver is for the requirement to provide exterior bicycle parking. The Board is comfortable waiving this requirement.

Section 504-4F:

The applicant was made aware that if the stone wall in site will be disturbed, there will need to be a scenic road public hearing. The stone wall will need to be rebuilt along the driveway section.

The applicant was made aware that the applicant will need to be responsible for the inspection and maintenance of the stormwater system. This will need to be done on an annual basis. The applicant will need to work with the newly hired stormwater compliance officer from the DPS.

The applicant will work on addressing the comments and questions which were noted from the hearing and would like to continue the hearing.

Continuation:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to continue the hearing for Evergreen Village to April 23, 2019 at 7:15 pm.

CONSTRUCTION REPORTS:

The Board is in receipt of the following: **(See Attached)**

- Merrimack, 20 Trotter Drive – 3/26/19
- Medway Green, Main and Mechanic – 3/26/19
- Applegate – 3/26/19
- Medway Community Church – 3/26/19

Consultant Bouley let the Board know that Salmon has installed the rip rap on site. He will be performing inspection reports this week.

Member Gay would like Consultant Bouley to visit the Community Church to inspect the drainage issues on site.

NEWTON LANE STREET ACCEPTANCE:

The Board is in receipt of the following: **(See Attached)**

- 4-2-19 Tetra Tech cost estimate for services pertaining to project completion, close-out and street acceptance for Newton Lane (Hartney Acres subdivision).

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to accept the Tetra Tech estimate for construction services for Newton Lane in the amount of \$3,970.00.

MARC ROAD:

The Board is in receipt of the following: **(See Attached)**

- 4-2-19 Tetra Tech estimate for services related to street acceptance for Marc Road.

On a motion made by Matt Hayes and seconded by Rich Di Iulio, the Board voted unanimously to approve the cost estimate from Tetra Tech related to construction services street acceptance for Marc Road in the amount of \$3,426.00.

39 MAIN STREET 40 B COMPREHENSIVE PERMIT:

The Board is in receipt of the following: (See Attached)

- 3-25-19 email memo from the ZBA requesting comments on submitted 40 B application.
- Application materials and plans for the 39 Main Street project.
- 12-13-18 PEDB letter to BOS with initial comments on this proposed development during the pre-application period.

The Board was informed that the ZBA has received an application for a Comprehensive Permit for 33-39 Main Street, Assessor Parcel nos. 41-035 and 41-035-001, in the AR-1 Zoning District. The application is requesting a Comprehensive Permit under the Local Initiative Program for the development of 190 rental units, of which 48 will be lower moderate-income units.

The public hearing is scheduled for Wednesday, April 24, 2019 at 7:30 pm in Sanford Hall. The ZBA is requesting comments from various Departments or Boards be submitted by Wednesday, April 17, 2019.

The Planning and Economic Board submitted a previous letter to the ZBA dated December 13, 2018. The Board reviewed that prior letter. The fourth bullet regarding the construction of the sidewalk along the south side of Main Street can be removed as that sidewalk is included in the recent plan. It was communicated that the DRC met and there are concerns about the massiveness of this building which has an urban character. The ZBA will be using the consulting services of Tetra Tech. There are wetlands on the site, so the Conservation Commission will need to review and issue an Order of Conditions.

Consultant Carlucci communicated that this would be an excellent location to add a Medway GATRA shuttle service bus shelter to and from the Norfolk train station. The developer should be encouraged to install a bus shelter on site neat the Main Street entrance. There should also be a pull over where traffic can continue to flow.

The Board would like Susy Affleck-Childs to prepare a letter endorsing the comments as prepared in the Design Review letter. The letter should also include that the Board would like sidewalks on both sides of the entrance driveway. Recommendations about the landscaping should be included. If Board members would like any additional comments included, please forward those to Susy for inclusion in the letter.

MINUTES:

March 26, 2019 & April 2, 2019:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to accept the minutes from the March 26, 2019 and April 2, 2019 meetings as amended.

OTHER BUSINESS:

- There was an informal meeting by staff with an applicant who is interested in a multi-family development at 21 High Street.
- Town Meeting is scheduled for May 13, 2019.
- 274 Village Street is working on revising their plan.

- There was a successful SWAP meeting which included a walking tour within the Franklin Cultural District.

ADJOURN:

On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 9:25 pm.

Respectfully Submitted,



Amy Sutherland
Recording Secretary



Susy E. Affleck-Childs
Planning and Economic Development Coordinator



April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

CTS Site Plan – Field Change

- 4-9-19 email from project engineer Peter Bemis

April 8, 2019

Planning Board
Town Hall
155 Village Street
Medway MA 02053

Reference: Site Plan Field Change
15 Trotter Drive
Medway, Massachusetts
EDC Job No.: 3583

Dear Board Members:

On behalf of CTS Property Management, owner and applicant of the above referenced project, we are writing to respectfully request that the Board allow CTS to only install the underground conduit and the 5 light bases as provided for on the approved Site Development Plans for the 15 Trotter Drive Facility located on Map 54 Parcels 004 and allow us to defer the installation of 5 light poles and fixtures. The facility is nearing completion of the building and now that Spring has finally arrived will begin completing the site infrastructure improvements. There have been a number of added cost overruns for this project and CTS really needs to find savings and the perimeter light fixtures will go a long way to closing their project budget gap. The building mounted light fixtures will be installed as per plan and will provide sufficient illumination to support CTS's needs and by installing the requisite site lighting support infrastructure they can install the poles and fixtures when their facility needs change and business cashflow improves.

Please accept this letter in support of this request for a site plan field change. Thank you for your consideration and assistance with this project.

Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.

Peter Bemis

Peter Bemis

cc. CTS Property Management



April 9, 2019
Medway Planning & Economic Development Board
Meeting

Speroni Acres Survey Work - UPDATED

- 3-27-19 email from Steve Bouley
- 3-27-19 Easement Plan for Lot 9 (15 Little Tree Road)
- **4-8-19 Easement Plan for Lot 3 (6 Little Tree Road)**
- 3-27-19 Street Acceptance Plan

Steve will attend the meeting to brief you on this work.

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Wednesday, March 27, 2019 1:10 PM
To: Susan Affleck-Childs
Cc: Picard, Brad
Subject: Speroni Acres DRAFT Easement Figure/Street Acceptance Plans
Attachments: DRAFT_Speroni Acres Lot 9 Easement Figure_2019-03-27.pdf; DRAFT_Speroni Acres Street Acceptance Plan_2019-03-27.pdf

Hi Susy,

Please see attached plans for your coordination with the homeowners at Speroni Acres. We wanted to wait to finalize until we have homeowner buy-in regarding the proposed drainage easement. See below for process:

1. The proposed easement on the easement figure for Lot 9 provides enough length along the frontage in order for the town to use the driveway to access the basin.
2. The street acceptance plan includes the revised easement on Lot 9 as if the easement were transferred prior to street acceptance. I will speak with our PLS how to rectify this and whether it should be shown as proposed or as existing on this plan.
3. Parcel B on the Beaudreau lot (Country Cottage) is shown as an easement as originally provided on the approved subdivision plans. We looked up the info on their deed and it does describe it as shown on the originally approved Speroni Acres plan. I remember there was some back and forth in the hearing for Country Cottage about this, I just want to make sure we are showing it correctly.

We will follow-up with the as-built of the development as that takes a little more time to put together but this is a start.

Let me know if you have any questions, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

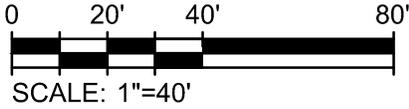
Tetra Tech | Complex World, Clear Solutions™ | INE
100 Nickerson Road, Suite 200 | Marlborough, MA 01752 | tetrattech.com

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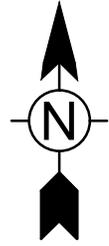
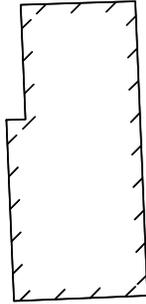




PLAN REFERENCE:

1. DEFINITIVE SUBDIVISION PLAN FOR SPERONI ACRES, DATED NOVEMBER 16, 1997, REVISED DECEMBER 17, 1997 PREPARED BY C.E.C. LAND SURVEYORS, INC.
2. AS-BUILT PLAN FOR SPERONI ACRES IN MEDWAY, MA, DATED JUNE 9, 2009, PREPARED BY C.E.C. LAND SURVEYORS, INC.

N/F
LEMIEUX LIVING TRUST
36096/275
#13 LITTLE TREE ROAD
(LOT 10)

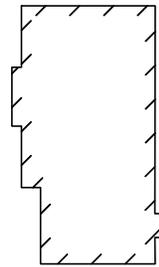


S89° 15' 01"E
187.34'

L=1218.37'
R=75.00'

L=21.63'

PROPOSED UTILITY
EASEMENT
4,185 S.F.



N/F
SEAN & SHELLY LYNCH
20930/430
#15 LITTLE TREE ROAD
(LOT 9)

S00° 32' 00"E
174.19'

S00° 32' 00"E
194.12'

N/F
THIRUVENGADAM &
SHARON MUNISAMY
33100/403
#16 LITTLE TREE ROAD
(LOT 8)

S04° 27' 52"E
78.02'

78.02'

S89° 27' 36"E
76.29'

S00° 32' 00"E
35.00'

S89° 27' 36"E
60.00'

EXISTING UTILITY EASEMENT (TO REMAIN)

S88° 05' 50"W
57.06'

S88° 40' 03"W
97.47'

3/27/2019 12:59:22 PM - P:\21583\143-21583-18003 (SPERONI ACRES SUB-DIV REVIEW)\CAD\SHEETFILES\EASEMENTS\IV-EASE-SPERONI ACRES- LOT 9.DWG - PICARD, BRAD



TETRA TECH

www.tetrattech.com

100 Nickerson Road
Marlborough MA 01752

PHONE: 508-786-2200 FAX: 508-786-2201

DRAFT

Speroni Acres
Medway MA

15 Little Tree Road
Utility Easement

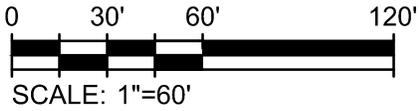
Project No.: 143-21583-18003

Date: March 2019

Designed By: SMB

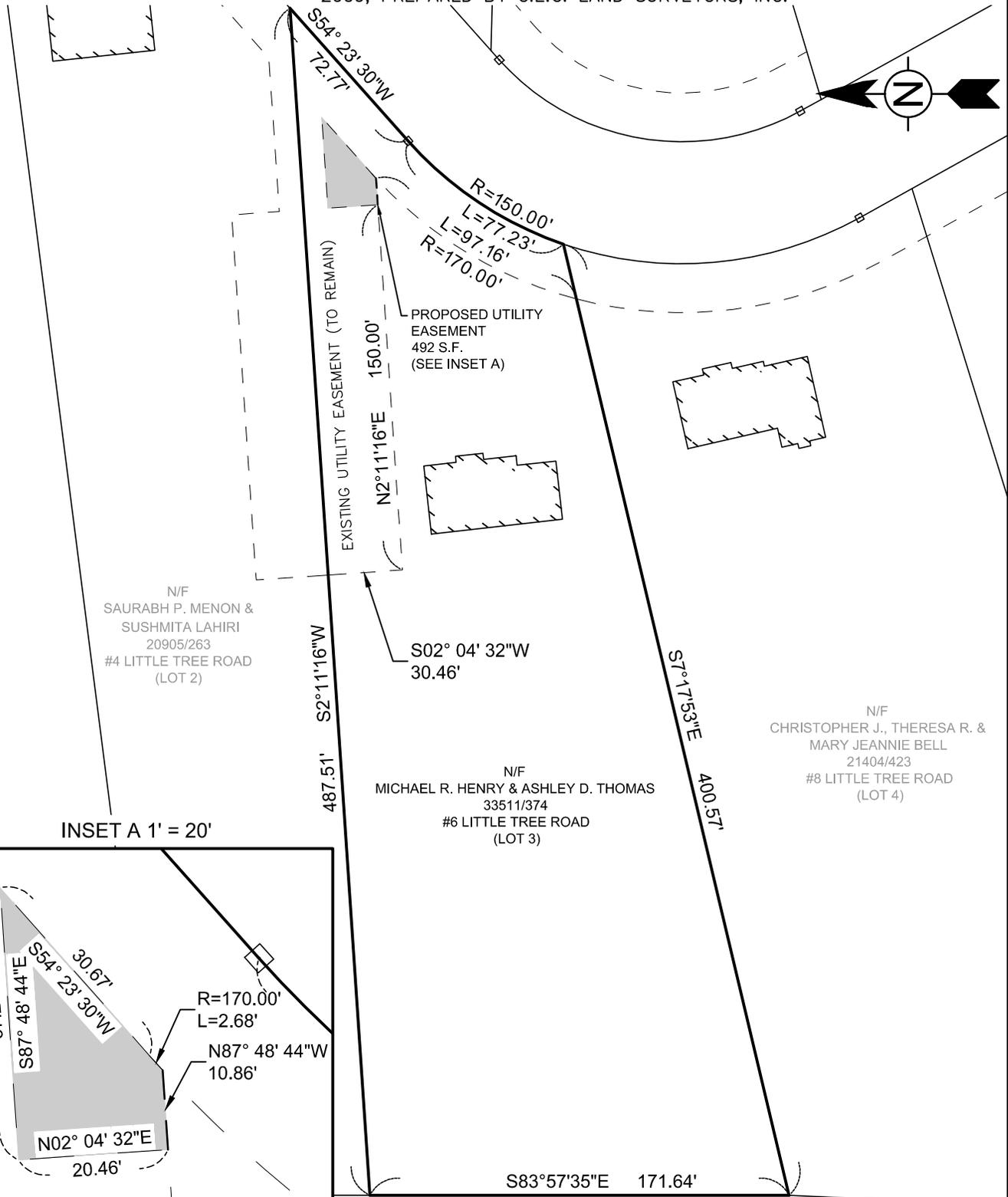
Figure

A



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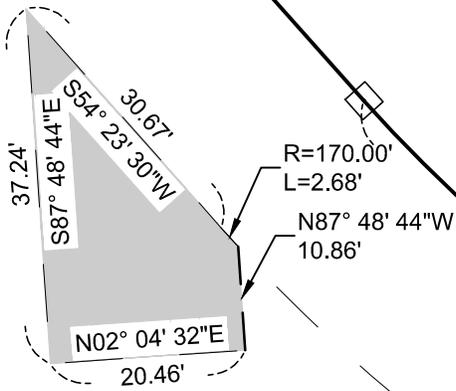


N/F
SAURABH P. MENON &
SUSHMITA LAHIRI
20905/263
#4 LITTLE TREE ROAD
(LOT 2)

N/F
MICHAEL R. HENRY & ASHLEY D. THOMAS
33511/374
#6 LITTLE TREE ROAD
(LOT 3)

N/F
CHRISTOPHER J., THERESA R. &
MARY JEANNIE BELL
21404/423
#8 LITTLE TREE ROAD
(LOT 4)

INSET A 1" = 20'



4/8/2019 3:09:24 PM - P:\21583\143-21583-18003 (SPERONI ACRES SUB-DIV REVIEW)\CAD\ISHEETFILES\EASEMENTS\LOT 3V-EASE-SPERONI ACRES- LOT 3.DWG - PICARD, BRAD



TETRA TECH

www.tetrattech.com
100 Nickerson Road
Marlborough MA 01752
PHONE: 508-786-2200 FAX: 508-786-2201

Speroni Acres
Medway MA

6 Little Tree Road
Utility Easement

Project No.: 143-21583-18003

Date: April 2019

Designed By: SMB

Figure

A

DRAFT

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1. DEFINITIVE SUBDIVISION PLAN FOR SPERONI ACRES, DATED NOVEMBER 16, 1997, REVISED DECEMBER 17, 1997, PREPARED BY C.E.C. LAND SURVEYORS, INC.
2. AS-BUILT PLAN FOR SPERONI ACRES IN MEDWAY, MA, DATED JUNE 9, 2009, PREPARED BY C.E.C. LAND SURVEYORS, INC.



FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Project Title
LITTLE TREE ROAD AND RUSTIC ROAD AT SPERONI ACRES IN Medway Massachusetts

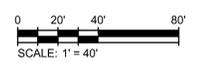
Prepared For
Medway Planning and Economic Development Board
155 Village Street
Medway, Massachusetts 02053



100 Nickerson Road
Marlborough, MA 01752
508-786-2200
www.tetrattech.com

Drawing Title
STREET ACCEPTANCE PLAN

Revisions:

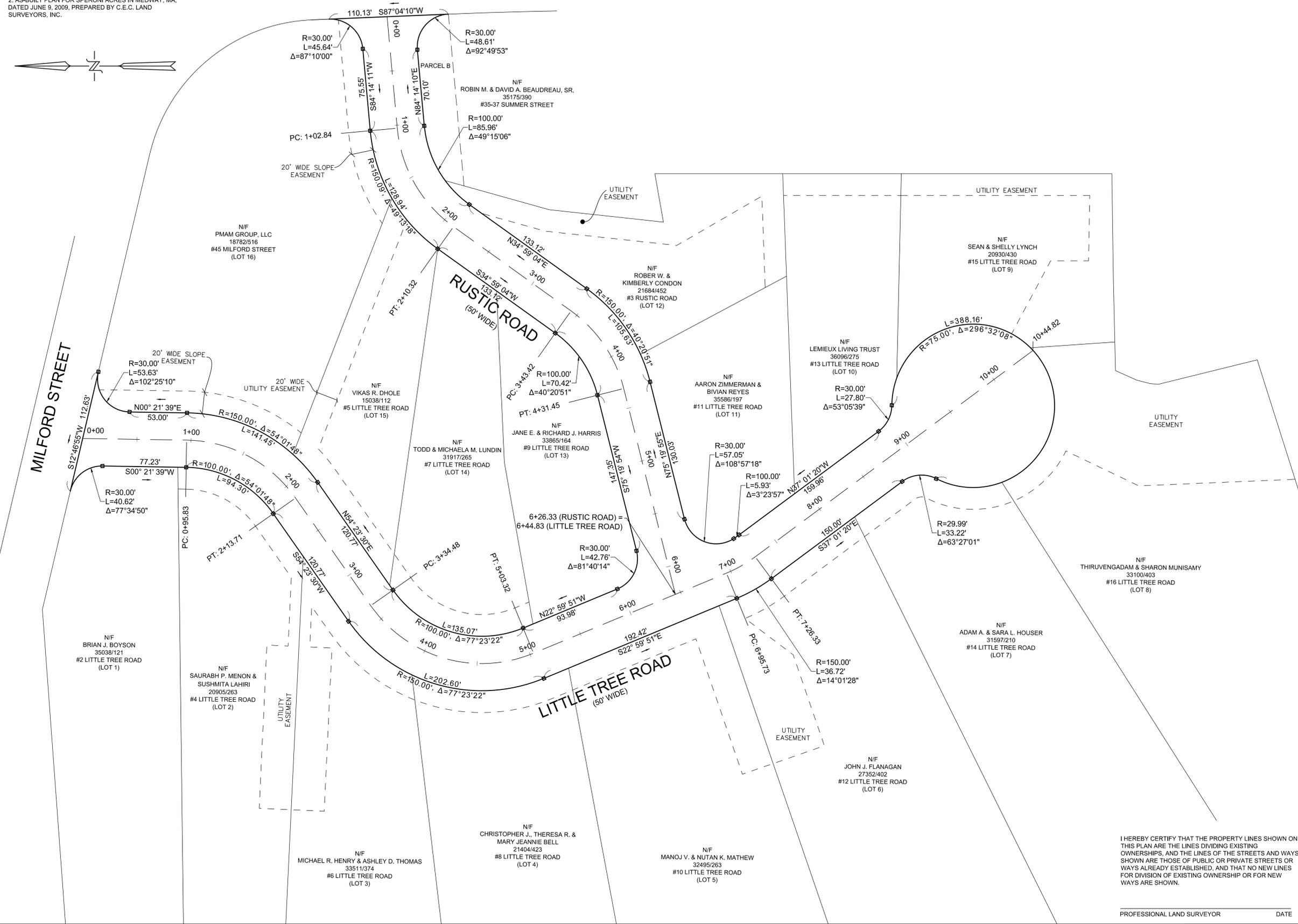


Date	March 2019	Drawing No.	1
Proj. Mgr.	S.M.B.		
Design			
Check			
Drawn	B.M.P.		
Job. No. 143-21583-18003		of 1	

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

PROFESSIONAL LAND SURVEYOR DATE

3/26/2019 DRAWING: P:\21583\143-21583-18003 (SPERONI) ACRES SUB-DIV REVIEW\CAD\SheetFiles\STREET ACCEPTANCE\STREET ACCEPTANCE.Plan.DWG USER NAME: PICARD, BRAD





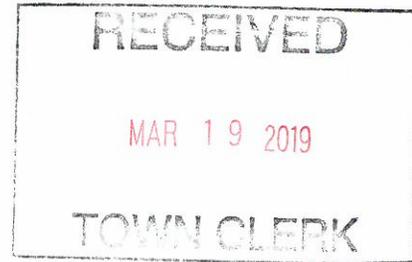
April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

**Evergreen Village Multifamily Housing
Special Permit and Site Plan**

- Public Hearing Notice
- Project Narrative
- Special Permit application
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- Waiver Requests
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- Jack Mee email dated 3-22-19 re: demo permit
- Jack Mee email dated 3-28-19 re: building condition

Please read Gino's review letter. A key matter that has to be addressed is the applicability of the new historic properties language in the multifamily zoning bylaw approved in November 2018 to this particular site. This property includes a historically important building as determined by the Historical Commission and has concluded its 9 month demolition delay. This project may have to incorporate reuse of the existing building into the site design to even be considered for a multifamily permit. Because of this issue, I asked Gino Carlucci and Tetra Tech to hold off on conducting complete reviews.



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

March 18, 2019

PUBLIC HEARING NOTICE

Evergreen Village – 22 Evergreen Street

Application for Multifamily Housing Special Permit, Site Plan Approval, and a Land Disturbance/Stormwater Permit

Pursuant to the *Medway Zoning Bylaw*, SECTION 5.6.4 Multifamily Housing and SECTION 3.5 Site Plan Review, Article XXVI Stormwater Management and Land Disturbance of the *Medway General Bylaws*, and the provisions of Massachusetts General Laws, Chapter 40A, Sections 9 & 11, notice is given that the Medway Planning and Economic Development Board will conduct a Public Hearing on ***Tuesday, April 9, 2019 at 7:15 p.m. in Sanford Hall at Town Hall, 155 Village Street, Medway, MA***, to consider the application of Sampson Pond LLC of Medway, MA for approval of a Multifamily Housing Special Permit, a Land Disturbance Permit, and a site plan entitled *Evergreen Village*, dated March 15, 2019 prepared by Ronald Tiberi, P.E. of Natick MA. The meeting room is accessible via elevator to persons with physical disabilities.

The applicant proposes to construct a 12 unit, condominium development at 22 Evergreen Street, a Medway Scenic Road, in the Agricultural/Residential II zoning district. The 1.44 acre site (*Medway Assessors Map 46, Parcel 51*) is presently owned by John and Cynthia Shea of Carver, MA.

The proposed development will include construction of six, 2-unit, 2½ story townhouse buildings; four 2-bedroom units and eight 3-bedroom units are proposed. One affordable dwelling unit will be included within the development. Access will be from Evergreen Street. A total of 24, off-street parking spaces will be provided. The existing structure at 22 Evergreen Street will be demolished pursuant to the required review process of the Medway Historical Commission. Sub-surface stormwater management facilities will be installed on site as will landscaping, lighting, an open space area, and a gardening area. Connections will be made to the existing Town sewer and water services in Evergreen Street.

*Evergreen Village
Public Hearing Notice*

The application and plans for the proposed Evergreen Village townhouse development are on file with the Medway Town Clerk at Medway Town Hall, 155 Village Street, Medway, MA and may be inspected Monday through Thursday from 7:30 a.m. to 4:30 p.m. and Fridays from 7:30 a.m. to 12:30 p.m. The plans are also available for review at the Medway Planning and Economic Development office at 155 Village Street and have been posted to the Town's web site at <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

Any person or party who is interested or wishes to be heard on this proposal is invited to review the plan and express their views at the designated date, time and place. Written comments are encouraged and may be forwarded to the Medway Planning & Economic Development Board at 155 Village Street, Medway, MA 02053 or emailed to the Board at: planningboard@townofmedway.org. All comments will be entered into the record during the public hearing.

Any questions regarding this application should be directed to the Medway Planning and Economic Development office at 508-533-3291.

Andy Rodenhiser
Chairman

To be advertised in the *Milford Daily News*:

Monday, March 25, 2019

Tuesday, April 2, 2019

cc: *Planning Boards* - Bellingham, Franklin, Holliston, Milford, Millis and Norfolk

Medway Town Officials/Departments – Board of Selectmen, Board of Assessors, Board of Health, Building Commissioner/Zoning Enforcement Officer, Conservation Commission, Design Review Committee, Energy Committee, Fire Department, Historical Commission, Police Department, Public Services Department, Town Administrator.

PROJECT NARATIVE DESCRIPTION

EVERGREEN VILLAGE

Working within the requirements of the multi-family special permit process by-law section 5.6.4 and it's departments and boards, we have provided a project that meets the requirements of the multi-family special permit with a project density of twelve units including an affordable dwelling unit, 24 parking spaces and services by town Water & Sewer facilities. A new water line with Hydrant shall be added along the driveway as well as a gravity sewer line.

The Multi-family project is located on the existing parcels of land at 22-24 Evergreen Street. The property consists of a two family residentially developed parcels with an existing 1850 sf building located on the Northerly side of the property.

The new development will be comprised of six two-unit townhouse structures. The buildings will have a footprint of; 3260 sf, 2480 sf and 2830 sf and be 2-½ stories in height, with two car garage space in front, back units will have a walkout basement under for the units to conform to the existing grades. The project currently proposes four two-bedroom and eight three-bedroom units. The front buildings will front north towards Evergreen Street the others will front outward onto the driveways between them.

The primary access will be from Evergreen Street. Additional parking is provided in the unit two car driveways for a total of 24 spaces.

The site will maintain landscapes and hardscapes to conform to the existing grading. Approximately 52% of the site is greenspace with a gardening area and open space areas at the corner of rear driveways. Lighting is minimized by wall mounted units affixed to the structures and motion activated units above garage doors and two small light posts at the parking. Lighting shall conform to requirements of Town of Medway Regulations.

Drainage from the site will flow to recharge chambers and treatment areas at the lower end of the property and will conform to the Storm-water regulations. Overall Stormwater runoff will be reduced.

The project may average some 50+ vehicle trips per day, the majority of which would head north to 109 a block away. A posted Stop sign will be placed at driveway exit to reduce any conflicts with thru traffic on Evergreen Street. The applicant wishes to petition the town for curbside refuse and recycling pickup or will institute private contractor for services.

Landscaping will be embellished to create perimeter buffers and scenic rural neighborhood character. Several areas between streets and structures are also designated as open space areas for association uses.



**Planning & Economic Development Board
Town of Medway, MA**

MULTIFAMILY HOUSING SPECIAL PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to Section 5.6.4 of the *Medway Zoning Bylaw*. The provisions of Section 8.6 Affordable Housing may also apply.

The Town's Planning and Engineering Consultants will review the Application and the proposed Plan and provide review letters to the Planning and Economic Development Board.
A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the special permit application.

March 15, 2019

APPLICANT INFORMATION

Applicant's Name: Simpson Ponds LLC

Mailing Address: P.O. Box 5

MEDWAY MA 02053

Name of Primary Contact: MARIA VARRICHIONE

Telephone: Office: _____ Cell: 508-561-6048

Email address: DREAMHOMESMV@GMAIL.COM

Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROJECT INFORMATION

Development Name: EVERGREEN VILLAGE

Project Address: 22 EVERGREEN STREET

Plan Title: EVERGREEN VILLAGE

Plan Date: 3/15/19

Plan prepared by:

Name: RONALD T. BERI PE

Firm: " "

Type of Project:

Renovation of Existing Structure(s)
How many buildings? _____
Building Dimensions _____
Gross Square Footage of Existing Structure _____
How many residential units presently exist? _____
How many additional residential units are proposed? _____
How many affordable units? _____

Construction of an addition to an Existing Structure
Addition Dimensions _____
Gross Square Footage of Addition _____
How many new residential units are proposed? _____
How many affordable units? _____

X Construction of a New Building(s)
How many buildings? 6
Dimensions of New Building(s) 44x60, 90x80
Gross Square Footage of New Building(s) 16960 ±
How many new residential units are proposed? 12
How many affordable units? 1

X Demolition of any structures on the site? If yes, please explain. REMOVAL OF ONE EXISTING TWO FAMILY HOME AND SMALL BARN.

How many parking spaces presently exist? _____

How many new parking spaces are proposed? _____

PROPERTY INFORMATION

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel # 51

Total Acreage of Land Area: 62534 SF

General Description of Property: Residential, sloping front to back, cleared & landscaped

Current Use of Property: Residential

Medway Zoning District Classification: AR-II RESIDENTIAL II

Length of Existing Frontage: 171' On what street? Evergreen Street

Setbacks for Existing Structure (if applicable)

Front: 24' ±
Back: 269' ±

Side: 54' ±
Side: 53' ±

Is this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Is the existing structure on this property pre-existing, non-conforming to the Medway Zoning Bylaw? If yes, how? NO

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?
 Yes No If yes, please name street: EVERGREEN ST

Historic District

Is any portion of this property located within a Medway National Register Historic District?
 Yes - Rabbit Hill Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? Yes No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? Yes No

Flood Plain

Is any portion of the property within a Designated Flood Plain? Yes No

Access to Town Water and Sewer

Is Town water and sewer available in the street on which the proposed project has its frontage? Yes No

*

PROPERTY OWNER INFORMATION (if not applicant) -

Property Owner's Name: JOHN T. Shea III and Cynthia A. Shea

Mailing Address: 9 PINE RIDGE WAY
CARVER, MA 02330

Primary Contact: Cyndy Shea

Telephone: Office: 508-465-1987 Cell: 508-498-6291

Email address: cyndi.curvesmedway@gmail.com

The owner's title to the land that is the subject matter of this application is derived under deed from: MURRAY W Heister to John T. + Cynthia A Shea dated November 9, 1989 and recorded in Norfolk County Registry of Deeds, Book 8783 Page 89 or Land Court Certificate of Title Number _____ Land Court Case Number _____ registered in the Norfolk County Land Registry District Volume _____ Page _____

CONSULTANT INFORMATION

ENGINEER: ROLAND TIGERI PE

Mailing Address: 9 MASSACHUSETTS AVE
NATICK MA 01760

Primary Contact: RON TIGERI

Telephone: Office: 603 561 5077 Cell: 617 592-6122

Email address: RTIGER@CONTACT.NET

Registered P.E. License #: 59773

SURVEYOR: Cheney Engineering
Mailing Address: 55 Mellen St
Needham MA 02454
Primary Contact: ARD. Rap.
Telephone: Office: 781-444-2188 Cell: _____
Email Address: 617 797-3132
Registered P.L.S. License #: 33953

ARCHITECT: DANIEL LEWIS AIA
Mailing Address: 322 Whitney St
NORTHBOROUGH MA 01532
Primary Contact: DANIEL LEWIS
Telephone: Office: 508-612-8771 Cell: _____
Email address: danlewis@charter.net
Registered Architect License #: 6096

LANDSCAPE ARCHITECT/DESIGNER: WDA Design Group
Mailing Address: 31 East Main St
Westborough MA 01581
Primary Contact: Larry Greene
Telephone: Office: 508 366 6552 Cell: _____
Email address: lgreene@wda-dg.com
Registered Landscape Architect License #: # 1561

ATTORNEY: JOSEPH ANTONELLIS
Mailing Address: 288 Main St.
MILFORD MA 01757
Primary Contact: JOE ANTONELLIS
Telephone: Office: 508-473-2203 Cell: _____
Email address: JANTONELLIS@ANTONELLISLAW.COM

OFFICIAL REPRESENTATIVE INFORMATION (if applicable)

Name _____
Address _____
Telephone: Office _____ Cell _____
Email address _____

SIGNATURES

The undersigned, being the Applicant for approval of a Multifamily Housing Special Permit herewith submits this application and Plan to the Medway Planning and Economic Development Board for review and approval

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration

(If applicable, I hereby authorize Ronald Tiberi to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application)

I have reviewed Section 5.6.4 Multifamily Housing and Section 8.6 Affordable Housing of the Medway Zoning Bylaw and understand and agree to the requirements and responsibilities specified therein

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee and Open Space Committee to access the site during the plan review process

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development

Cynthia A Shea
Signature of Property Owner

2/25/19
Date

Megan Danchione
Signature of Applicant (if other than Property Owner)

2/25/2019
Date

Will Tiberi
Signature of Agent/Official Representative

3/15/19
Date



Planning & Economic Development Board - Town of Medway, MA

SITE PLAN REVIEW

Application for Major Site Plan Approval

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway Zoning Bylaw* and the Board's *Rules and Regulations for the Submission and Review of Site Plans*

The Town's Planning and Engineering Consultants will review the Application and the proposed Site Plan and provide review letters to the Planning and Economic Development Board.

A copy of those review letters will be provided to you in advance of the meeting.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board may request.

Your absence at hearings may result in a delay in the Board's review of the site plan.

MARCH, 2019

APPLICANT INFORMATION

Applicant's Name: SAMPSON POND LLC

Mailing Address: P.O. Box 5

MEDWAY MA 02053

Name of Primary Contact: MARIA VARRICHIONE

Telephone: Office: _____ Cell: 508-561-6098

Email address: DREAMHOMESMV@GMAIL.COM

Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

MAJOR SITE PLAN INFORMATION

Development Name: EVERGREEN VILLAGE

Plan Title: EVERGREEN VILLAGE

Plan Date: MARCH 2019

Prepared by: Name: RONALD TIGERI PE

Firm: _____

Phone #: 617-592-6122

Email: RTIS@COMCAST.NET

PROPERTY INFORMATION

Location Address: 22 EVERGREEN STREET

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel # 51

Total Acreage of Land Area: 1.44.

General Description of Property: TWO FAMILY HOME IN CENTER OF PARCEL. LOT SLOPES FRONT TO BACK TOWARDS A SPARSELY WOODED AREA

Medway Zoning District Classification: AR-II RESIDENTIAL IF

Current Use of Property: RESIDENTIAL

Length of Existing Frontage: 171' On what street? EVERGREEN ST

Setbacks for Existing Structure (if applicable)

Front: 29'± Side: 59'±
Back: 269'± Side: 53'±

Scenic Road

Does any portion of this property have frontage on a Medway Scenic Road?

Yes No If yes, please name street: EVERGREEN

Historic District

Is any portion of this property located within a Medway National Register Historic District?

Yes - Rabbit Hill Yes - Medway Village

Wetlands

Is any portion of the property within a Wetland Resource Area? Yes No

Groundwater Protection

Is any portion of the property within a Groundwater Protection District? Yes No

Flood Plain

Is any portion of the property within a Designated Flood Plain? Yes No

PROPOSED DEVELOPMENT PROJECT INFORMATION

Development Name: EVERGREEN VILLAGE

Major Site Plan Review applies to the following. Please check all that apply.

- a. New construction or any alteration, reconstruction, renovation, and/or change in use of any multi-family, commercial, industrial, institutional, or municipal building or use which involves one or more of the following:
 - i. the addition of 2,500 square feet or more of gross floor area; or
 - ii. the addition of twenty or more new parking spaces
- b. The redesign, alteration, expansion or modification of an existing parking area involving the addition of twenty or more new parking spaces

- c. The redesign of the layout/configuration of an existing parking area of forty or more parking spaces
- d. Construction of ground mounted solar photovoltaic installations of any size in any zoning district including solar canopy type systems in parking areas
- e. Removal, disturbance, and/or alteration of 20,000 sq. ft. or more of existing impervious surface

SPECIAL PERMIT - Will this project also require a variance or special permit from the Zoning Board of Appeals?

Yes No

Explanation: _____

SPECIAL PERMIT - Will this project also require a special permit from the Planning and Economic Development Board?

Yes No

Explanation: _____

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: JOHN SHEA & CYNTHIA SHEA

Mailing Address: 9 PINE RIDGE WAY
CARVER MA 02350

Primary Contact: CYNTHIA SHEA

Telephone: Office: 508 965-1987 Cell: 508-498-0291

Email address: CYNTHIA - CURVES MEDWAY@GMAIL.COM

The owner's title to the land that is the subject matter of this application is derived under deed from: MURRAY HEISLER to JOHN & CYNTHIA SHEA dated NOVEMBER 9, 1989 and recorded in Norfolk County Registry of Deeds, Book 8482 Page 89 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT INFORMATION

ENGINEER: RONALD TIBERI PE

Mailing Address: 9 MASSACHUSETTS AVE
NATICK MA 01760

Primary Contact: RON TIBERI

Telephone: Office: 508 361-5077 Cell: 617 592-6122

Email address: RTIB@LOWCAST.NET

Registered P.E. License #: 34723

SURVEYOR: Cheney Engineering
Mailing Address: 53 Mellow St
NEEDHAM MA 02499
Primary Contact: ARDI Raspi
Telephone:
Office: 781-444-2188 Cell: 617-797-3132
Email Address: _____
Registered P.L.S. License #: 33933

ARCHITECT: DANIEL LEWIS AIA
Mailing Address: 322 Whitney St
NORTH BOROUGH MA 01532
Primary Contact: DAN LEWIS
Telephone:
Office: 508-612-8771 Cell: _____
Email address: DANLEWIS@CHARTER.NET
Registered Architect License #: 6046

LANDSCAPE ARCHITECT/DESIGNER: WDA DESIGN GROUP
Mailing Address: 31 EAST MAIN ST
WESTBOROUGH MA 01581
Primary Contact: LARRY GREEN
Telephone:
Office: 508-366-6552 Cell: _____
Email address: LGREEN@WDA-DG.COM
Registered Landscape Architect License #: 1561

ATTORNEY: JOSEPH ANTONELLIS
Mailing Address: 288 MAIN ST
MILFORD MA 01757
Primary Contact: _____
Telephone:
Office: 508-473-2203 Cell: _____
Email address: JANTONELLIS@ANTONELLISLAW.COM

OFFICIAL REPRESENTATIVE INFORMATION

Name: SAUR AS ENGINEER

Address: _____

Telephone: Office: _____ Cell: _____

Email address: _____

SIGNATURES

The undersigned, being the Applicant for approval of a Major Site Plan Project, herewith submits this application and Site Plan to the Medway Planning and Economic Development Board for review and approval. I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this application.)

In submitting this application, I authorize the Board, its consultants and agents, Town staff, and members of the Design Review Committee to access the site during the plan review process.

I understand that pursuant to MGL 53G, the Medway Planning and Economic Development Board may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that the Planning and Economic Development Board, its agents, staff, consultants, and other Town staff and committees may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

John T. Shea, Cynthia A. Shea
Signature of Property Owner

3/8/19
Date

Shana Janichuric
Signature of Applicant (if other than Property Owner)

3/8/19
Date

Signature of Agent/Official Representative

Date

MAJOR SITE PLAN FEES

Filing Fee

- For projects up to 4,999 sq. ft. /gross floor area = \$750 plus \$.25/sq. ft.
- For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,000 plus \$.25/sq. ft.
- For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$1,500 plus \$.25/sq. ft.
- For projects of 15,000 sq. ft. or more/gross floor area = \$1,500 plus \$.25/sq. ft.

Advance on Plan Review Fee

- For projects up to 4,999 sq. ft. /gross floor area = \$1,000 deposit.
- For projects of 5,000 – 9,999 sq. ft. /gross floor area = \$1,500 deposit
- For projects of 10,000 – 14,999 sq. ft. /gross floor area = \$2,000 deposit
- For projects of 15,000 sq. ft. or more/gross floor area = \$2,500 deposit

Submit 2 separate checks each made payable to: Town of Medway

MAJOR SITE PLAN APPLICATION CHECKLIST

- _____ Major Site Plan Application (2 signed originals – one for Town Clerk and one for Planning and Economic Development Board)
- _____ Three (3) full size (24" x 36") copies of the Site Plan prepared in accordance with Sections 204-4 and 204-5 of the *Medway Site Plan Rules and Regulations* – one for the Town Clerk and two for the Planning and Economic Development Board.
- _____ One (1) ledger size (11" x 17") copy of the Site Plan
- _____ Electronic version of the Site Plan and ALL associated application documents. Provide disk or flash drive or email.
- _____ Certified Abutters List from the Medway Assessor's office – for 300 feet around the subject property – Form E
- _____ One (1) copy of a *Project Description* as described in Section 204 - 3, 6) of the *Medway Site Plan Rules and Regulations*. This description should also include a narrative on how the proposed project meets the requirements of the *Medway Zoning Bylaw* for parking (Section 7.1.1) and outdoor lighting (Section 7.1.2)
- _____ One (1) copy of a *Development Impact Statement* as described in Section 204 - 3, 7) of the *Medway Site Plan Rules and Regulations*
- _____ Request for Waivers from the *Medway Site Plan Rules and Regulations*. Use Form Q.
- _____ Two (2) copies of the *Stormwater Drainage Report* prepared in conformance with the *Site Plan Rules and Regulations*
- _____ Two (2) copies of a traffic study, depending on the size and scope of the proposed development project.
- _____ One (1) copy of all relevant approvals received to date from other Town boards/committees/departments
- _____ Proof of present or pending ownership of all land within the proposed development.
- _____ Major Site Plan Filing Fee – Payable to Town of Medway
- _____ Advance of Plan Review Fee – Payable to Town of Medway



Town of Medway, MA
Community and Economic Development Department
LAND DISTURBANCE PERMIT APPLICATION

INSTRUCTIONS TO APPLICANT/OWNER

This Application is made pursuant to the *Medway General Bylaws –
ARTICLE XXVI - Stormwater Management and Land Disturbance*

Depending on the scope and location of the planned land disturbance and what other permits are required, this application shall be acted upon by the Medway Conservation Commission, the Medway Planning and Economic Development Board, or the Department's Administrative Team.

The Town's Engineering Consultant may be asked to review the Application and associated plans and provide a review letter. A copy of any review letter will be provided to you.

You and/or your duly authorized Agent/Official Representative are expected to attend the Board or Commission meetings at which your Application will be considered to answer any questions and/or submit such additional information as the Board or Commission may request.

Your absence at the hearings may result in a delay in review and action.

MARCH, 20 19

SITE INFORMATION

Location Address: 22 EVERGREEN STREET

The land shown on the plan is shown on Medway Assessor's Map # 48 as Parcel(s) # 51

Total Acreage of Land Area: 1.49

Description of Property and Existing Conditions (or provide and reference an existing conditions plan) The Parcel consists of a 2-family home in

center front of parcel. lot slopes front to back to sparse woods

Medway Zoning District Classification: AR-II RESIDENTIAL II

Current Use of Property: RESIDENTIAL

Other Permits Granted: -

APPLICANT INFORMATION

Applicant's Name: SAMPSON POND LLC

Mailing Address: P.O. Box 5
MEDWAY MA 02053

Name of Primary Contact: MARIA VARRICHIONE

Telephone: Office: _____ Cell: 508-561-6048

Email address: DREAMHOME MV @ GMAIL.COM

Please check here if the Applicant is the equitable owner (purchaser on a purchase and sales agreement.)

PROPOSED DEVELOPMENT PROJECT INFORMATION

Provide a brief description of the proposed project that will result in a land disturbance. Attach an additional sheet if needed: RAZE EXISTING STRUCTURE, CONSTRUCT SINGLE DRIVE WITH 6 - DUPLEX UNITS WITH GARAGES.

Type of Project:

- Single Family Dwelling
 Two Family Dwelling
 Multi Family Development (# of units 12)
 New Commercial or Industrial Site Plan
 Commercial or Industrial Expansion Site Plan
 Redevelopment Site Plan
 Re-grading or Land Disturbance
 Other
- Subdivision: # of lots: _____

Estimated Size of Area to be Disturbed (ft²): 59000

Total Area of Impervious Surface (building footprint(s), pavement, parking, roofs, decks, patios, etc.)

Existing: 3432 Proposed: 3153

Site Presently Includes the following Stormwater Management features and practices:

- Stormwater basin
 Sub-surface detention or infiltration
 Roof Drains
 Perimeter Drains discharging to: _____
 Other: _____
 Previously approved stormwater connection to the municipal storm drainage system.
 (Provide documentation of such approval from Town of Medway)
 Illicit stormwater connection (Please describe): _____

Have you or will you apply for any of the following other permits for this project?

Planning and Economic Development Board	Conservation Commission	Zoning Board of Appeals
<input type="checkbox"/> Subdivision	<input type="checkbox"/> RDA (Request for Determination of Applicability)	<input type="checkbox"/> Special Permit
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Notice of Intent/Order of Conditions	<input type="checkbox"/> Comprehensive Permit
<input checked="" type="checkbox"/> Special Permit		<input type="checkbox"/> Variance

EROSION AND SEDIMENT CONTROL PLAN INFORMATION

Development Name: EVERGREEN VILLAGE

Plan Title: _____

Plan Date: MARCH 2019

Prepared by:
Name: RONALD TIBERI PE

Firm: _____

Phone #: 508-361-5077 Email: RTIB@COMCAST.NET

PROPERTY OWNER INFORMATION (if not applicant)

Property Owner's Name: John T Shea III & Cynthia A Shea

Mailing Address: 9 PINE RIDGE WAY
CARVER MA 02330

Primary Contact: Cynthia Shea

Telephone: Office: 508-465-1987 Cell: 508-498-6291

Email address: CYNTHIA.SHEA@GMAIL.COM

The owner's title to the land that is the subject matter of this application is derived under deed from: Murray Heisler to John & Cynthia Shea dated Nov. 9, 1989 and recorded in Norfolk County Registry of Deeds, Book 8483 Page 89 or Land Court Certificate of Title Number _____, Land Court Case Number _____, registered in the Norfolk County Land Registry District Volume _____, Page _____.

CONSULTANT & OFFICIAL REPRESENTATIVE INFORMATION

ENGINEER: Ronald Tiberi PE

Mailing Address: 9 MASSACHUSETTS AVE
NATICK MA 01760

Primary Contact: Ron Tiberi

Telephone: Office: 508 361-5071 Cell: 617 592-6122

Email address: RTIB@COMCAST.NET

Registered P.E. License #: 39773

SURVEYOR: Cheney ENGINEERING

Mailing Address: 53 MELLEND ST
NEEDHAM MA 02494

Primary Contact: Ardi Rrapu

Telephone: Office: 781-444-2188 Cell: 617 797-5132

Email Address: ardi.rrapu@cheney-eng.com

Registered P.L.S. License #: 33933

OFFICIAL REPRESENTATIVE: - SAME AS ENGINEER

Mailing Address: _____

Telephone: Office: _____ Cell: _____

Email address: _____

SIGNATURES

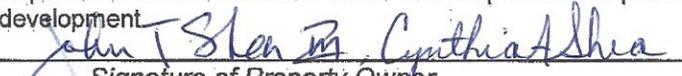
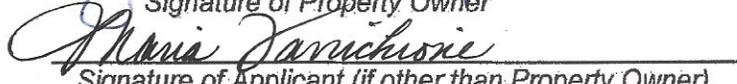
The undersigned, being the Applicant for approval of a Land Disturbance Permit, herewith submits this application to the Medway Community and Economic Development Department. I certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property and proposed development under consideration.

(If applicable, I hereby authorize _____ to serve as my Agent/Official Representative to represent my interests before the Medway Community and Economic Development Department with respect to this application.)

In submitting this application, I authorize Town staff, its consultants and agents, and members of the Conservation Commission and Planning and Economic Development Board to enter the subject property to access the site during the plan review, permitting and enforcement process.

I understand that pursuant to MGL 53G, the Department, Board and Commission may retain outside professional consultants to review this application and that I am responsible for the costs associated with such reviews.

I understand that Town staff, its consultants and agents, and members of the Commission and Board may request additional information which I am responsible for providing to assist them in reviewing the proposed development.

 _____ Signature of Property Owner	<u>3/6/19</u> _____ Date
 _____ Signature of Applicant (if other than Property Owner)	<u>3/6/19</u> _____ Date
_____ Signature of Agent/Official Representative	_____ Date

LAND DISTURBANCE PERMIT Application Checklist

- _____ Land Disturbance Permit Application (2 signed originals – one for Town Clerk and one for Community and Economic Development office)
- _____ Three (3) copies of the Erosion and Sediment Control Plan and associated documents prepared as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.7.
- _____ Three (3) copies of the Post-Construction Stormwater Management Plan including the Long Term Operation and Maintenance Plan and other associated documents as specified in Medway General Bylaws, ARTICLE XXVI, Section 26.8.
- _____ Request for Waivers from the provisions of Medway General Bylaws, ARTICLE XXVI.
- _____ Electronic Version of the application, plans, and all associated application documents. Provide a flash drive or email.

EVERGREEN VILLAGE

22 EVERGREEN STREET MEDWAY, MASSACHUSETTS

ZONING TABLE-AR-II RESIDENTIAL II DISTRICT

OWNER/APPLICANT:

SAMPSON POND LLC
P.O.BOX 5
MEDWAY, MA 02053

ARCHITECT:

DANIEL LEWIS AIA LLED AP
332 WHITNEY STREET
NORTHBOROUGH, MA 01532

LANDSCAPE DESIGN:

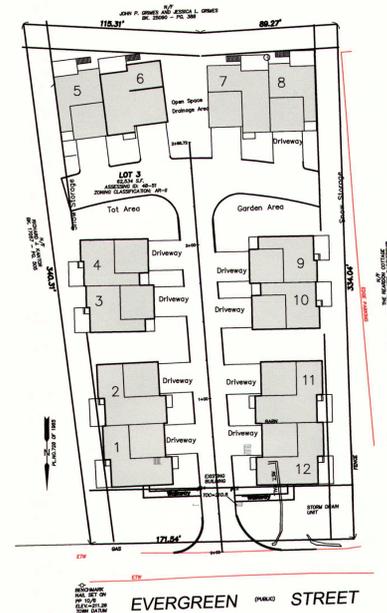
WDA DESIGN GROUP
31 EAST MAIN STREET
WESTBOROUGH MA 01581

SURVEY:

CHENEY ENGINEERING CO, INC.
53 MELLEEN STREET
NEEDHAM MA 02494

ENGINEER:

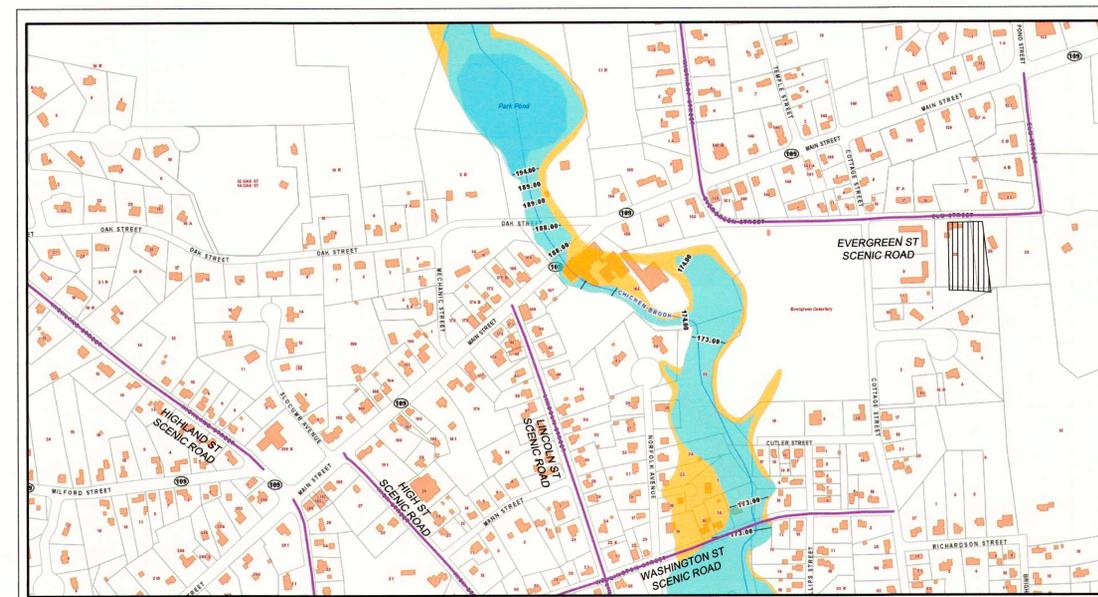
RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760



	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	150	171+
LOT WIDTH	NA	188+
FRONT SETBACK	35	33
SIDE SETBACK	15	15
REAR SETBACK	15	15
BLDG. HT.	40'	38'
LOT COVERAGE (BUILDINGS)	NA	27.4%
LOT COVERAGE (IMPERVIOUS)	NA	49.5%
PARKING	1.5/UNIT	2/UNIT

PLAN INDEX

TITLE SHEET / SITE CONTENT	T-1
EXISTING CONDITIONS	S-1
SITE LAYOUT	S-2
SITE GRADING	S-3
SITE DRAINAGE & EROSION	S-4
SITE UTILITIES	S-5
SIGHT DISTANCE PLAN	S-6
VEHICLE ACCESS PLAN	S-7
DRAINAGE DETAILS	D-1
SITE DETAILS	D-2
LANDSCAPING	L-1
LIGHTING	L-2
ARCHITECTURAL	A
ELEVATIONS	A-1
1ST FLOOR PLANS	A-2
2ND FLOOR PLANS	A-3
SURVEYORS PLAN	



LOT 3
22 EVERGREEN STREET
ASSESSING ID: 48-51
ZONE: AR-2
DISTRICT

AUOD - Waivers REQUESTED -

AUOD, Section 5.6.2

Subsection 5.6.4 B. - The requirement of renovating the existing building on site. Layout and proposed use will not sustain existing building.

Section 504-4E - Requirement for bicycle parking. Bicycle parking is anticipated to be within the unit garages.

Site Plan Regulations

Section 204-5 C (3) Existing landscape inventory. Existing landscaping not inventoried.

Section 205-6 H Granite Curbing requirement. Proposed curbing beyond driveway entrance is bituminous curbing.

Section 205-6 I Travel Lanes 24' wide, due to tight site conditions, travel lanes are reduced to 22', and parking located only driveways.

Section 205-9 Parking Shade trees- due to site constraints no off street parking areas are proposed.

APPROVED BY PLANNING BOARD

DATE: _____



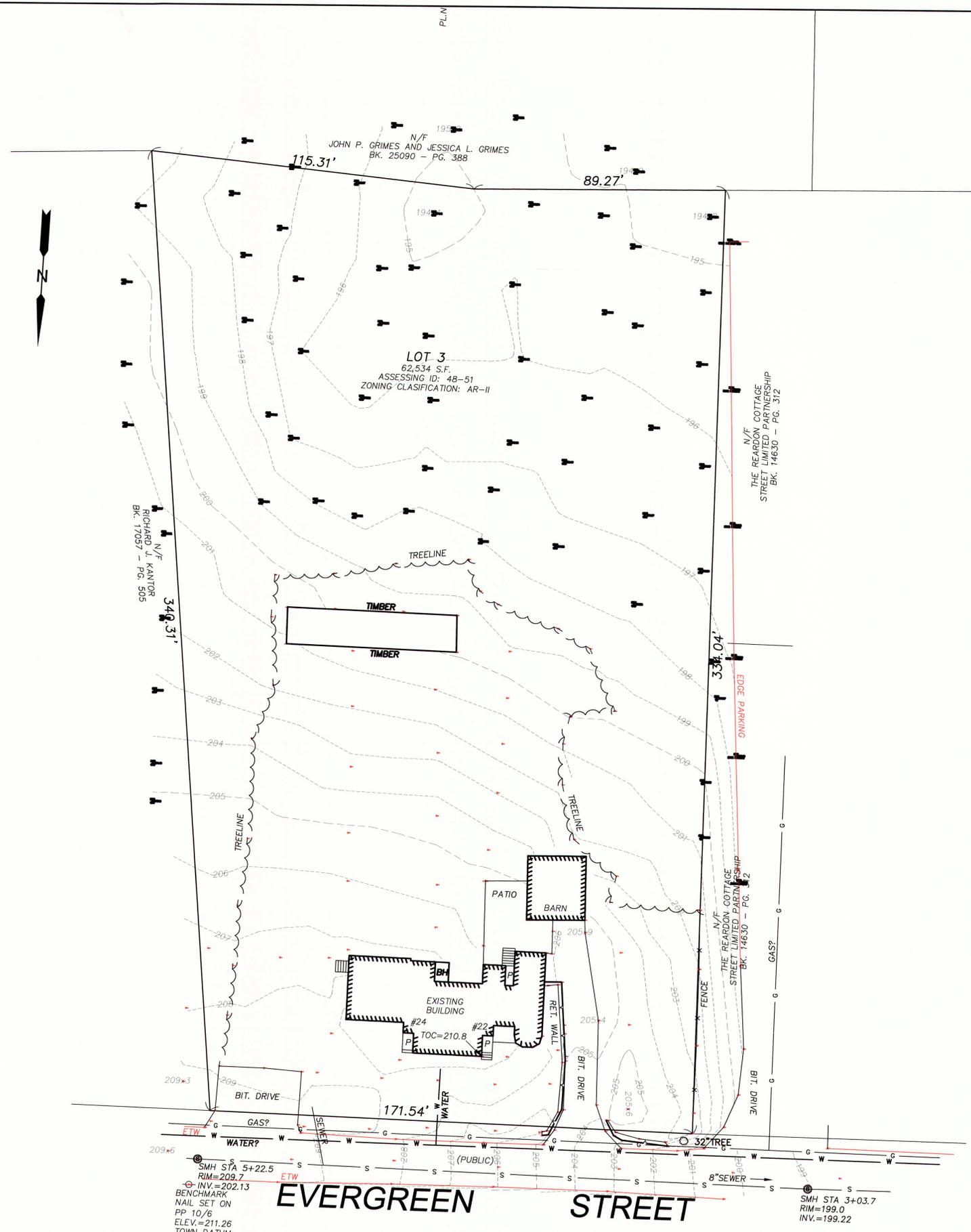
ABUTTERS LOCUS MAP
1" = 200'

MULTIFAMILY HOUSING TABLE

	REQUIRED	PROPOSED
LOT AREA	22500	62534
LOT FRONTAGE	50	171+
UNIT DENSITY	12	12
AFFORDABLE UNITS	1	1
BLDG. HT.	40'	38'
OPEN SPACE	15%	18%
PARKING SPACES	24	24

DATE ISSUED:
MARCH 15, 2019
DATE REVISED:





JOHN P. GRIMES AND JESSICA L. GRIMES
Bk. 25090 - Pg. 388

LOT 3
62,534 S.F.
ASSESSING ID: 48-51
ZONING CLASSIFICATION: AR-II

N/F
THE REARDON COTTAGE
STREET LIMITED PARTNERSHIP
Bk. 14630 - Pg. 312

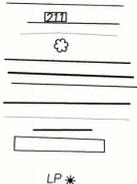
N/F
RICHARD J. KANTOR
Bk. 17057 - Pg. 505

SMH STA 5+22.5
RIM=209.7
INV=202.13
BENCHMARK
NAIL SET ON
PP 10/6
ELEV.=211.26
TOWN DATUM

SMH STA 3+03.7
RIM=199.0
INV.=199.22

LEGEND

- STONE WALL
- PROP. GRADE
- EXIST. GRADE
- SHRUB
- PROP. SEWER
- PROP. WATER
- GAS
- EXIST. WATER
- DRAIN
- EDGE PVMNT
- CULTEC UNIT
- EROSION CONTROL
- LIGHT POLE



- GENERAL SITE NOTES**
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INTENTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
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APPROVED BY PLANNING BOARD
DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

**EXISTING CONDITIONS
PLAN
IN
MEDWAY, MASSACHUSETTS
EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: MARCH 2.2019



LEGEND

- STONE WALL
- PROP. GRADE
- EXIST. GRADE
- SHRUB
- PROP. SEWER
- PROP. WATER
- GAS
- EXIST. WATER
- DRAIN
- EDGE PVMNT
- CULTEC UNIT
- EROSION CONTROL
- LIGHT POLE

LP *

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APPROVED BY PLANNING BOARD
 DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

**PROPOSED
 SITE LAYOUT PLAN
 IN
 MEDWAY, MASSACHUSETTS
 EVERGREEN VILLAGE
 22 EVERGREEN STREET**

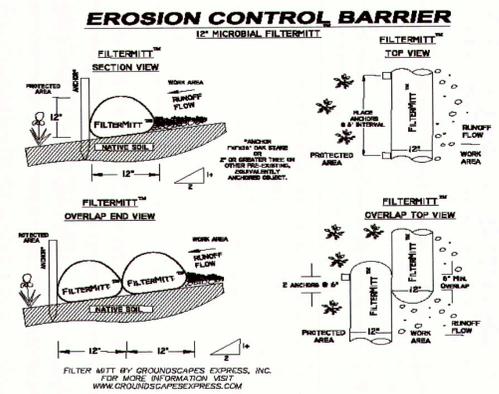
PREPARED FOR: **SAMPSON POND LLC**
 P.O. Box 5
 MEDWAY MA 02053

PREPARED By: **RONALD TIBERI P.E.**
 9 MASSACHUSETTS AVE.
 NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
 PROJECT NUMBER: 2616
 DATE: JAN2.2019

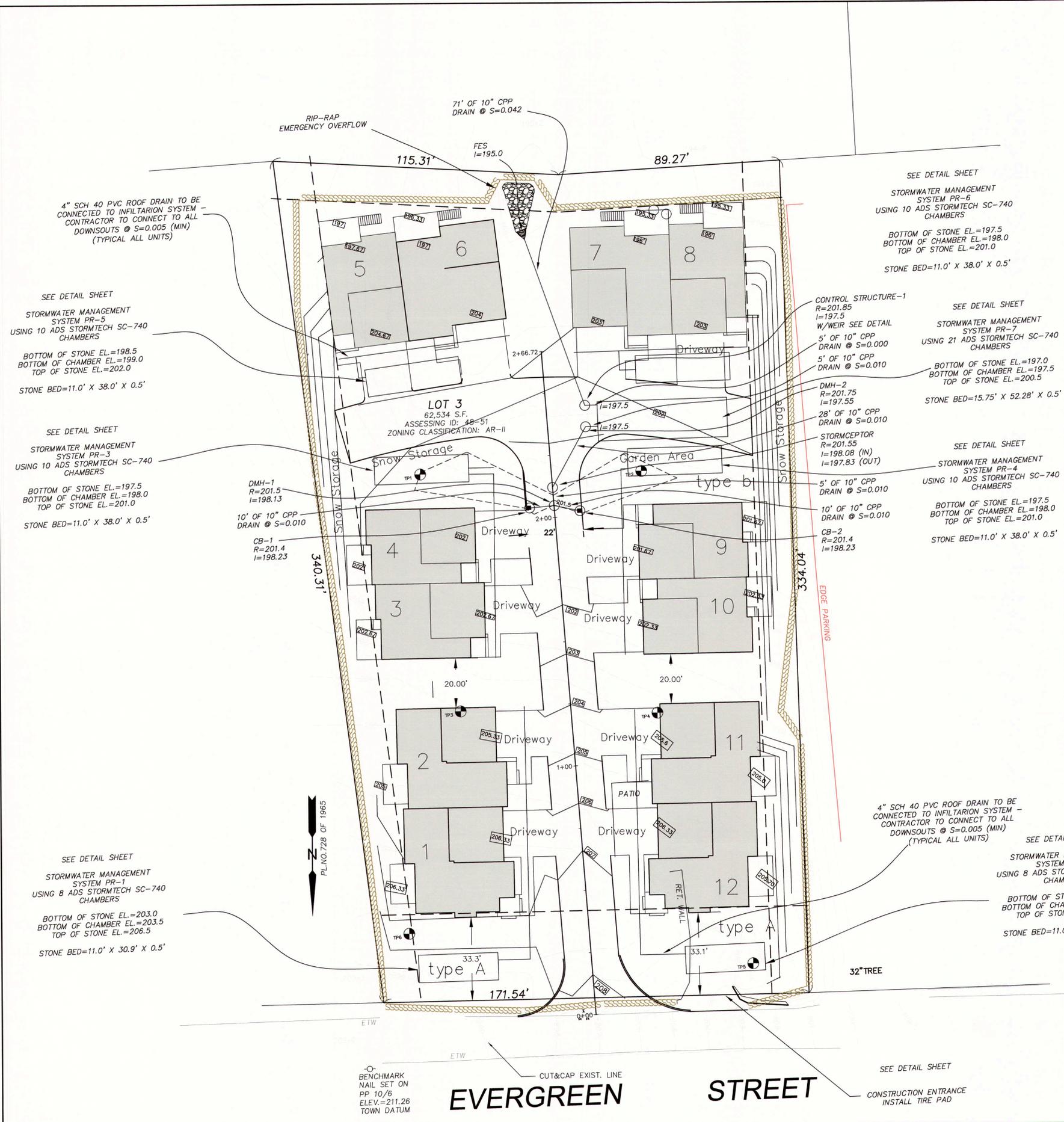
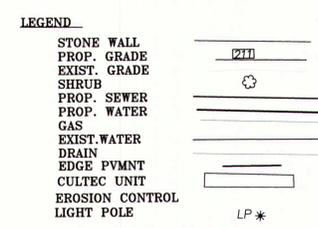
○ BENCHMARK
 NAIL SET ON
 PP 10/6
 ELEV. = 211.26
 TOWN DATUM

EVERGREEN STREET



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APPROVED BY PLANNING BOARD
 DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

**PROPOSED SITE
 DRAINAGE & EROSION PLAN**
 IN
 MEDWAY, MASSACHUSETTS

**EVERGREEN VILLAGE
 22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC**
 P.O. Box 5
 MEDWAY MA 02053

PREPARED BY: **RONALD TIBERI P.E.**
 9 MASSACHUSETTS AVE.
 NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
 PROJECT NUMBER: 2616
 DATE: JAN2.2019

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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION
1.		

**PROPOSED
SIGHT DISTANCE PLAN
IN
MEDWAY, MASSACHUSETTS**

**EVERGREEN VILLAGE
22 EVERGREEN STREET**

PREPARED FOR: **SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053**

PREPARED By: **RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760**

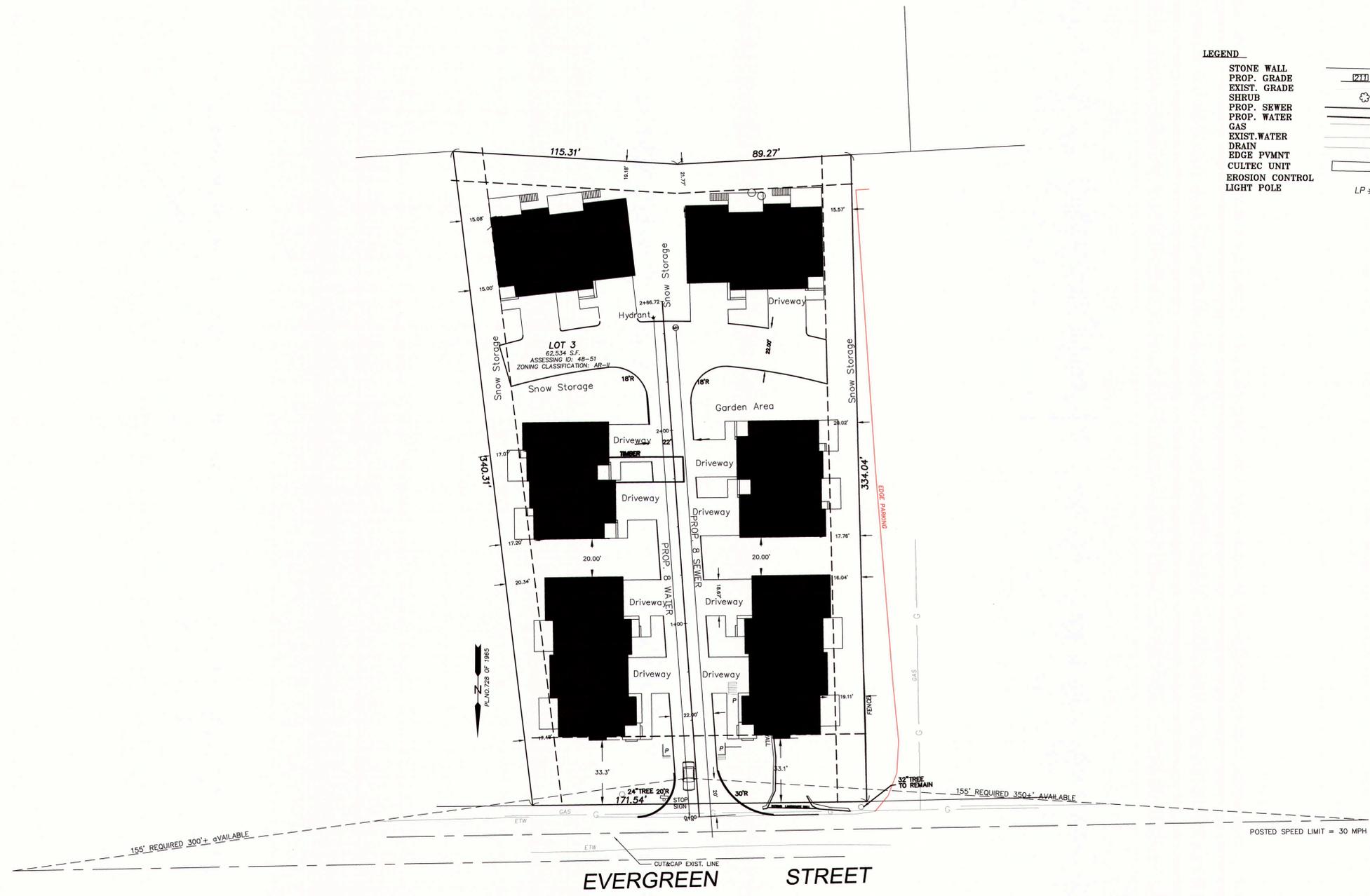
DRAWING SCALE: 1 inch = 40 feet

PROJECT NUMBER: 2616

DATE: JAN2.2019 S-6

LEGEND

- STONE WALL [Symbol]
- PROP. GRADE [Symbol]
- EXIST. GRADE [Symbol]
- SHRUB [Symbol]
- PROP. SEWER [Symbol]
- PROP. WATER [Symbol]
- GAS [Symbol]
- EXIST. WATER [Symbol]
- DRAIN [Symbol]
- EDGE PVMNT [Symbol]
- CULTEC UNIT [Symbol]
- EROSION CONTROL [Symbol]
- LIGHT POLE LP*

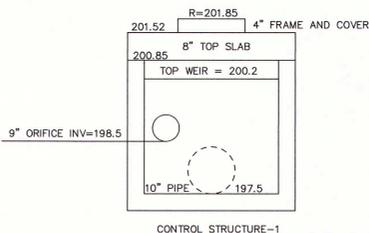
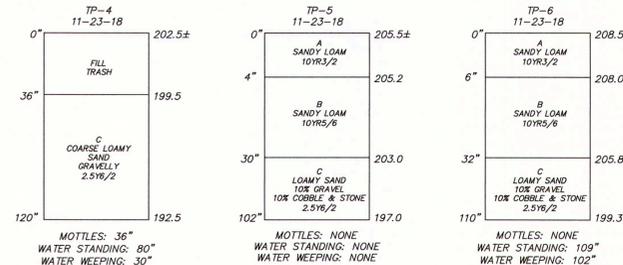
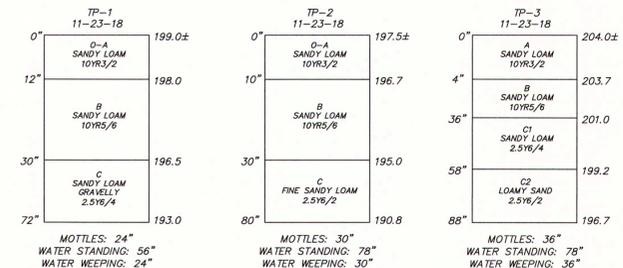


SITE: 22 EVERGREEN STREET, MEDWAY, MA

SOIL EVALUATIONS PERFORMED BY MASSACHUSETTS
CERTIFIED DEP SOIL EVALUATOR ON NOV. 23, 2018.

COMMENTS:
RECENT HEAVY RAIN, WET
CONDITIONS, SATURATED SOIL.

Gregory A. Bynavicz
GREGORY A. BYNAVICZ, SE-2712

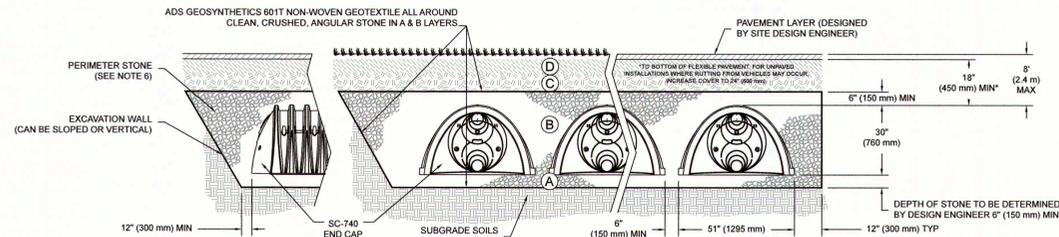


CONTROL STRUCTURE-1
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{1,2}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-740 STANDARD CROSS SECTION

DATE: 11/18/14 DRAWN: JLM CHECKED: JLM PROJECT #:

REV: DRW: CHK:

Stormtech
4640 TRULAMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

ADS
4640 TRULAMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

SHEET 1 OF 1

GENERAL SITE NOTES

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- ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
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APPROVED BY PLANNING BOARD

DATE: _____



REVISIONS

No.	DATE	DESCRIPTION

DETAILS

IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: SAMPSON POND LLC
P.O. Box 5
MEDWAY MA 02053

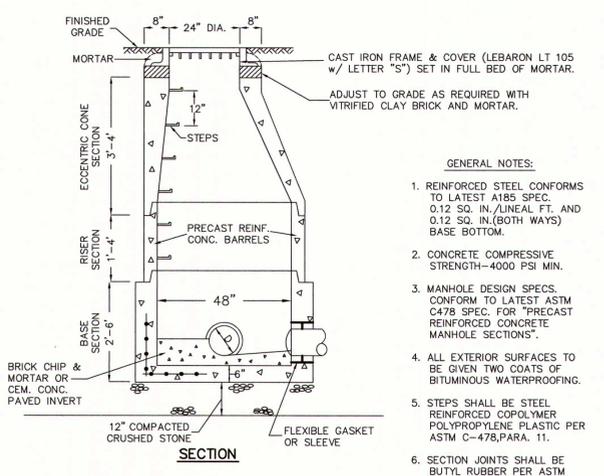
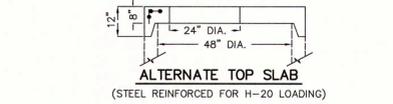
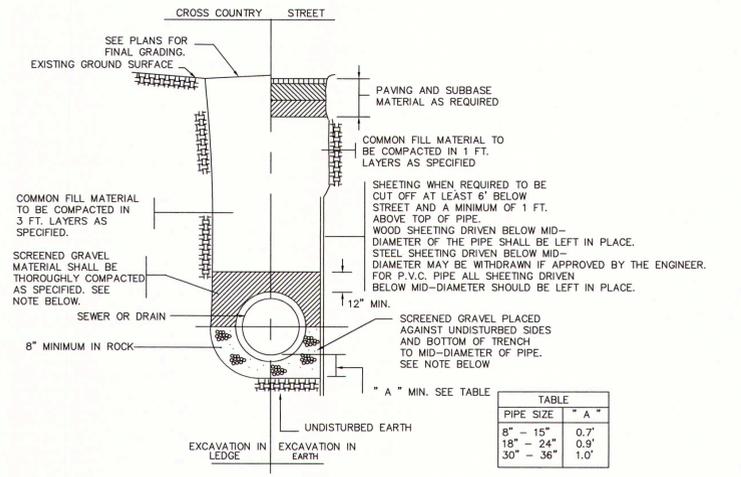
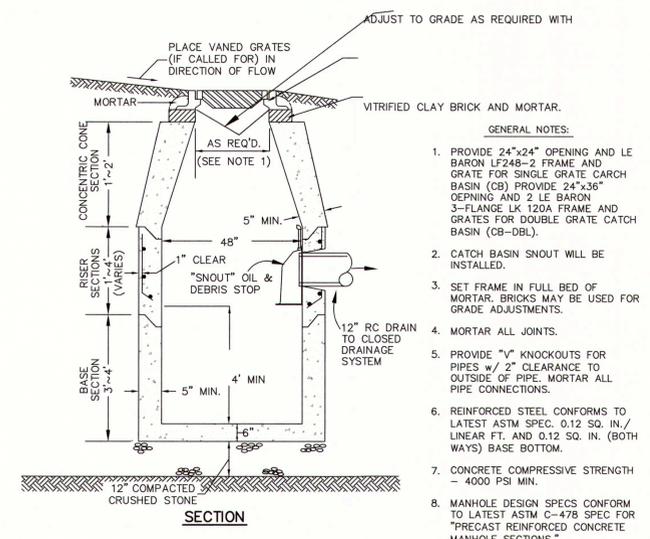
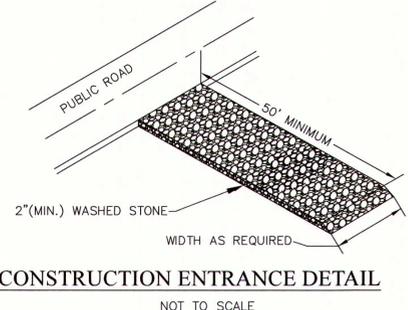
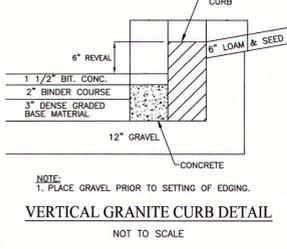
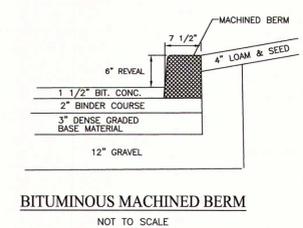
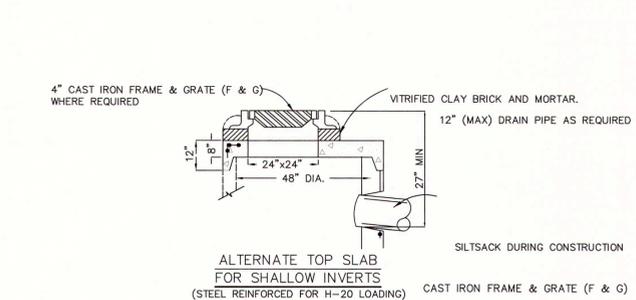
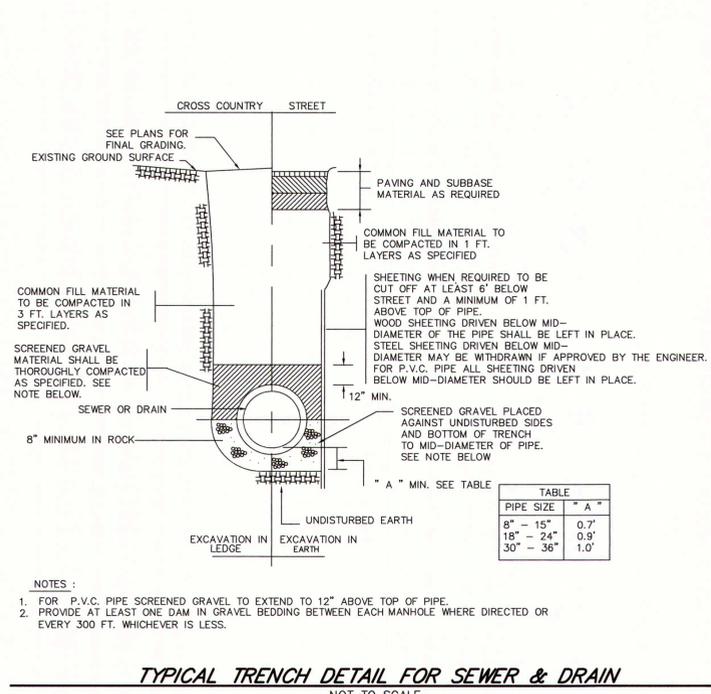
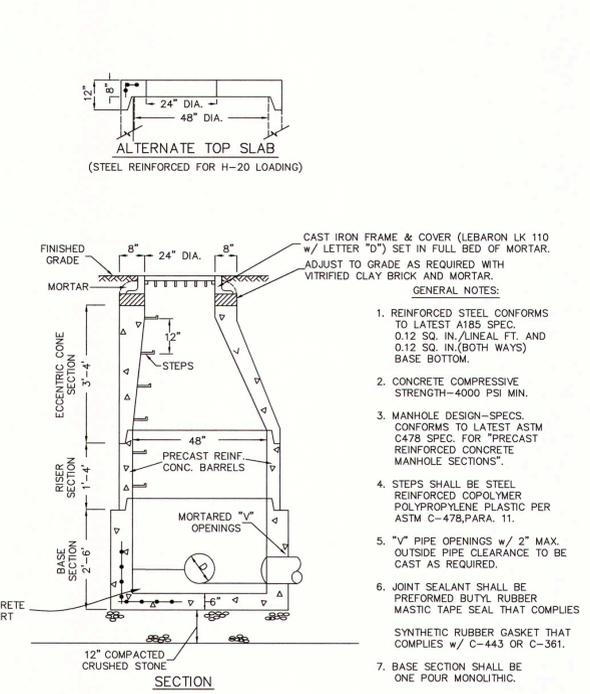
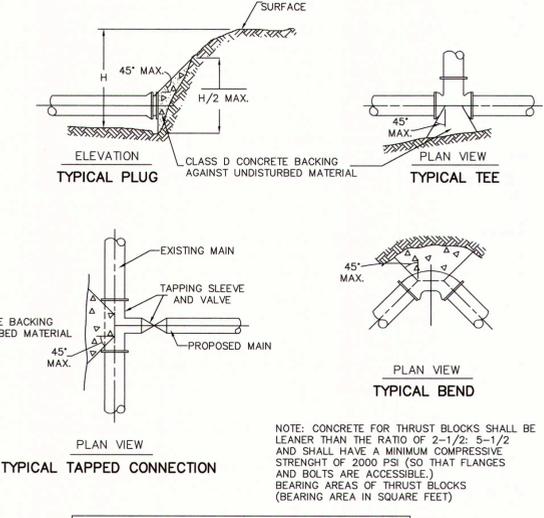
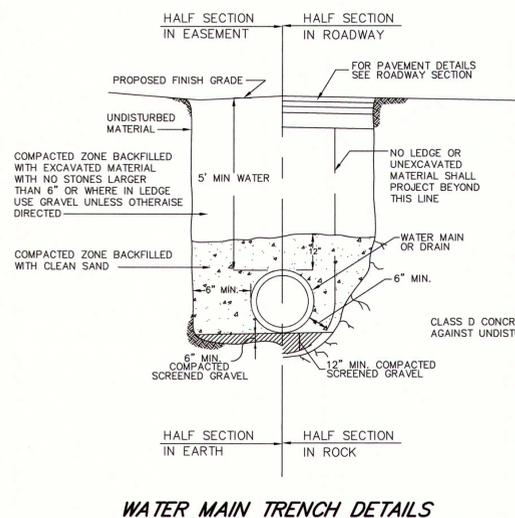
PREPARED By: RONALD TIBERI P.E.
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: JAN.2019

D-1



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DATE: _____

REVISIONS		
No.	DATE	DESCRIPTION

DETAILS
IN
MEDWAY, MASSACHUSETTS

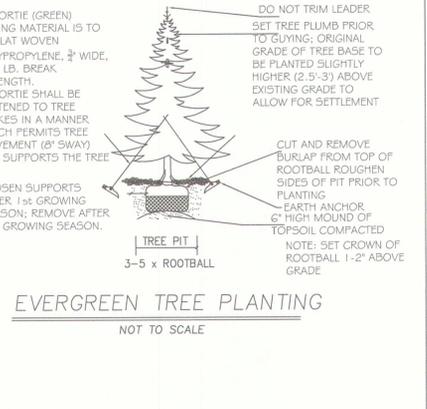
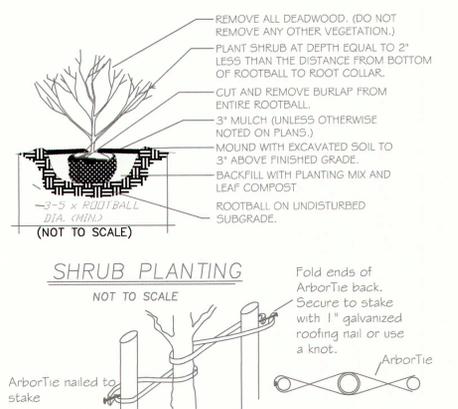
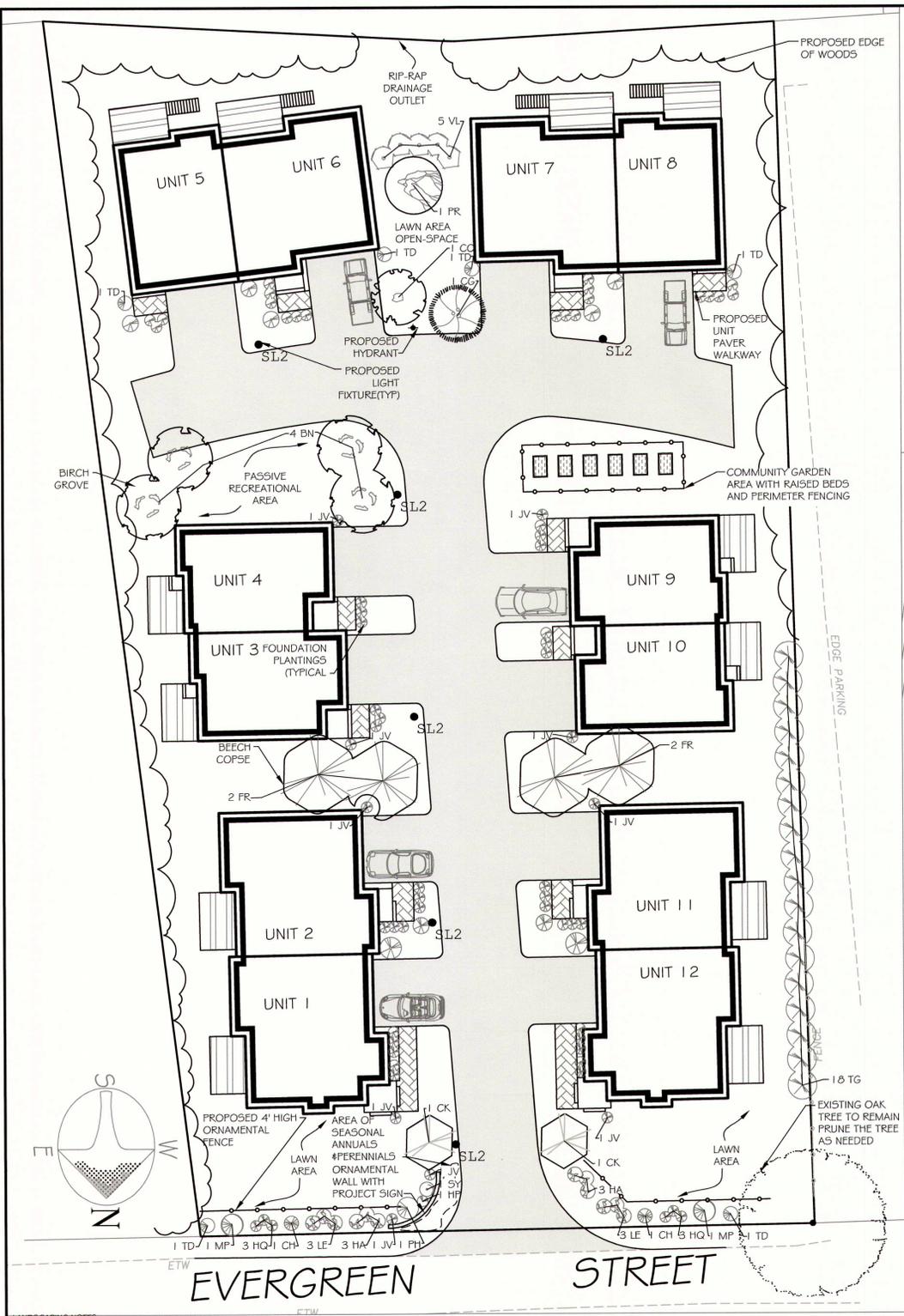
EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

PREPARED BY: **RONALD TIBERI P.E.**
9 MASSACHUSETTS AVE.
NATICK MA 01760

DRAWING SCALE: 1 inch = 20 feet
PROJECT NUMBER: 2616
DATE: JAN2.2019





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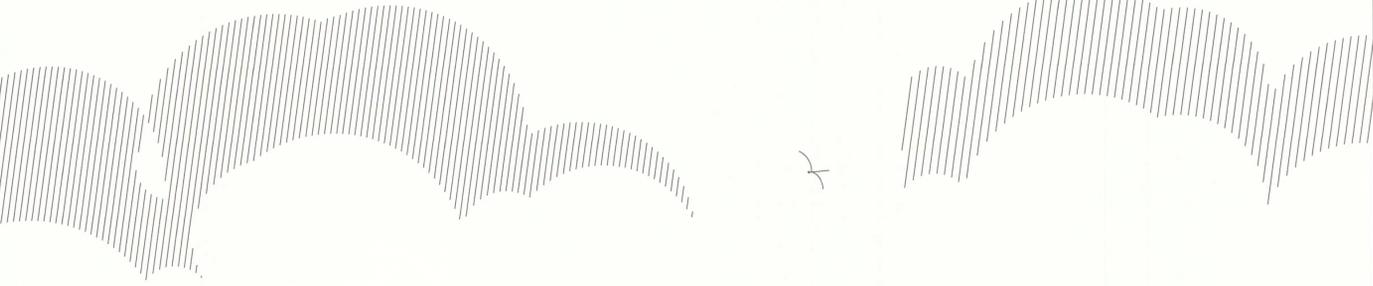
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APPROVED BY PLANNING BOARD

DATE: _____

MASSACHUSETTS
LANDSCAPE ARCHITECT
RONALD TIBERI
100 STATE STREET, SUITE 200
BOSTON, MA 02109
1/14/2019

LANDSCAPING NOTES

1. NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
3. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES SET FORTH BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
5. ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE BEST FACE SIDE OF THE CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL CONTAINER-GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER-GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
7. THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
8. ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
9. WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
10. PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
11. ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
12. PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, WEST EXPERIMENT STATION, 626 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
13. LAWN SEED MIX SHALL BE THE PREVIOUS YEAR'S CROP: 35% JEFFERSON KENTUCKY BLUEGRASS, 35% CARMEN CHEWING FESCUE AND 30% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
14. SLOPE SEED MIX SHALL BE THE PREVIOUS YEAR'S CROP. PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%. OR APPROVED EQUAL. PLANT AT A RATE OF 1 LB. PER 150SQF.
15. LAWN SEED AREAS SHALL BE NOT BE DENIED ACCEPTABLE UNTIL IN EXCESS OF 90% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (CRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
16. THE HYDRO SEED SLURRY SHALL BE A WOOD-BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2,500-3,000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
17. PRIOR TO PLANTING, THE LANDSCAPER SHALL REVIEW AND COORDINATE WITH THE SITE UTILITY PLAN AND GRADING PLAN.
18. THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS; ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL, TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL GET A 20'-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALL. NEW LAWNS SHALL BE WATERED 50 THAT IS RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
19. WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
20. ALL LANDSCAPE BEDS SHALL RECEIVE THREE-INCHES OF BARK MULCH.
21. LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

Planting Schedule

Qty./Key	Common Name	Botanical Name	Size	Remarks
TREES				
4	BN River Birch	<i>Betula nigra</i> "Dura-Heat"	12" Ht.	B&B(Multi-stem)
1	CC Eastern Redbud	<i>Cercis canadensis</i> 'Alba'	3" Cal.	B&B
1	CG 'Gracilis' Hinoki Cypress	<i>Chamaecyparis obtusa</i> 'Gracilis'	8" Ht.	B&B
2	CK 'Cherokee Brave' Dogwood	<i>Cornus florida</i> 'Cherokee Brave'	3" Cal.	B&B
4	FR 'Roseomarginata' Eur. Beech	<i>Fagus sylvatica</i> 'Roseomarginata'	3" Cal.	B&B
2	HT 'Tardiva' Hydrangea	<i>Hydrangea paniculata</i> 'Tardiva' treeform	#1Spot	Container Grow
1	PR 'Newport' Plum Tree	<i>Prunus cerasifera</i> 'Newport'	3" Cal.	B&B
6	TD 'Deeproot Spire' Arborvitae	<i>Thuja occidentalis</i> 'Deeproot Spire'	7' Ht.	B&B
5	TG 'Green Giant' Arborvitae	<i>Thuja x plicata</i> 'Green Giant'	6' Ht.	B&B
SHRUBS				
2	CH 'Golden Mops' Hinoki Cypress	<i>Chamaecyparis obtusa</i> 'Golden Mops'	24" Ht.	B&B
6	HQ 'Pee Wee' Hydrangea	<i>Hydrangea quercifolia</i> 'Pee Wee'	24" Ht.	B&B
1	HP Golden Cup St. John's Wort	<i>Hypericum Hiacote</i>	24" Ht.	B&B
10	JV 'Taylor' Red Cedar	<i>Juniperus virginiana</i> 'Taylor'	60" Ht.	B&B
6	LE 'Coast' Leucothoe	<i>Leucothoe axillaris</i>	24" Ht.	B&B
2	MP Northern Bayberry	<i>Myrica pensylvanica</i>	24" Ht.	B&B
1	PH 'Summerwine' Purple Ninebark	<i>Physocarpus opulifolius</i> 'Summerwine'	24" Ht.	B&B
1	SY 'Bloemerang' Lilac	<i>Syringa x Bloemerang</i>	#3 Pot	Container Grow
5	VL Chicago Lustre Viburnum	<i>Viburnum dentatum</i> 'Chicago Lustre'	6" Ht.	B&B
PERENNIALS				
6	HA 'Aureola' Hakone Grass	<i>Hakonechloa macra</i> 'Aureola'	#3 Pot	Container Grow

REVISIONS

No.	DATE	DESCRIPTION

PROPOSED SITE
LANDSCAPE PLAN
IN
MEDWAY, MASSACHUSETTS

EVERGREEN VILLAGE
22 EVERGREEN STREET

PREPARED FOR: **SAMPSON POND LLC**
P.O. Box 5
MEDWAY MA 02053

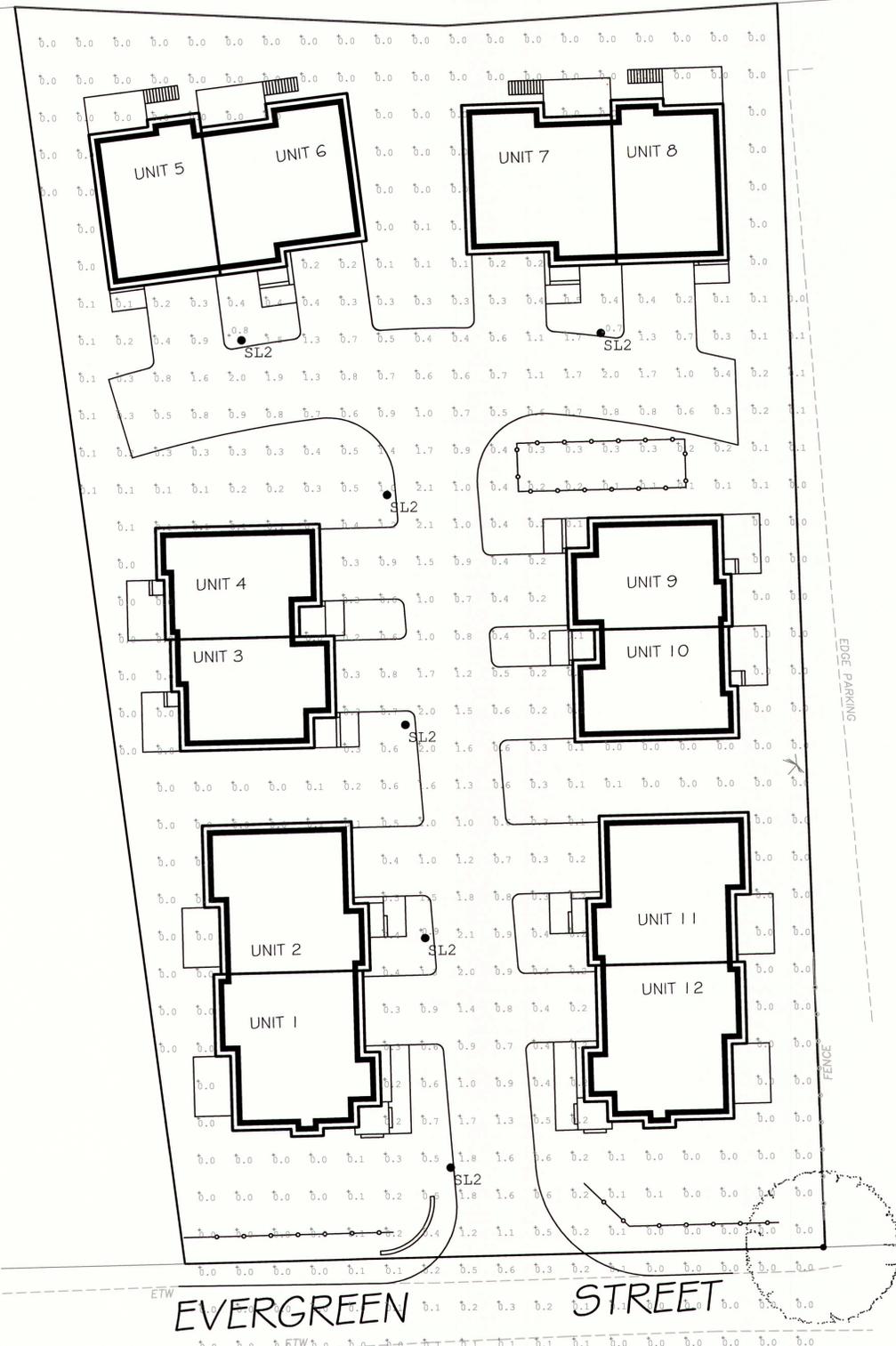
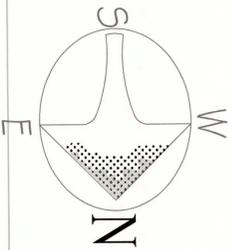
PREPARED By: **WDA DESIGN GROUP**
31 EAST MAIN STREET
MEDWAY, MA 01581

DRAWING SCALE: 1 inch = 20 feet

PROJECT NUMBER: 2616

DATE: MARCH 14, 2019

L-1



PROPOSED STREET LIGHT

JOB NAME: EVERGREEN VILLAGE
 APEX LIGHTING SOLUTIONS
 WORKPLANE/CALC PLANE: AT FINISH GRADE
 MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE
 APPS: LRE
 SALES: SS

Luminaire Schedule							
Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
6	SL2	SINGLE	4410	79	0.850	B1-U3-G2	HADCO TX148-G2-B-S-L-CAGE-FINIAL-FASTENER-FINISH-2-PHOTO-NA5-H / MOUNTED TO 15FT POLE

Calculation Summary							
Label	Grid Height	Avg	Max	Min	Avg/Min	Max/Min	
CalcPts_1	0	0.32	2.1	0.0	N.A.	N.A.	
DRIVE LANE		1.07	2.1	0.3	3.57	7.00	

- GENERAL SITE NOTES**
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
 - ALL WORK SHALL CONFORM TO LOCAL, COMMONWEALTH OF MASSACHUSETTS, AND OSHA STANDARDS AND GUIDELINES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITY LOCATIONS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE CONDUITS, PRODUCT PIPING, ETC. PRIOR TO COMMENCEMENT OF EXCAVATION OF ANY TYPE.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY THE LOCAL DEPARTMENT OF PUBLIC WORKS TO MARK OUT THEIR UTILITIES.
 - THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
 - ALL CONCRETE AND BITUMINOUS PATCH AREAS TO MATCH EXISTING GRADES.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICTS.

DIG SAFE NOTE:
 UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT 1(888)344-7233 (1(888)DIG-SAFE).



THE OFFSETS AS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES OR FOR THE ESTABLISHMENT OF ANY PROPOSED CONSTRUCTION UNLESS SAID CONSTRUCTION IS SHOWN HEREON.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE AND PURPOSE FOR THE PARTY STATED HEREON AND SHALL NOT BE USED BY ANY THIRD PARTY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF RONALD TIBERI P.E.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED BY PLANNING BOARD
 DATE: _____



REVISIONS		
No.	DATE	DESCRIPTION

**PROPOSED SITE
 LIGHTING PLAN
 IN
 MEDWAY, MASSACHUSETTS**

**EVERGREEN VILLAGE
 22 EVERGREEN STREET**

PREPARED FOR: SAMPSON POND LLC
 P.O. Box 5
 MEDWAY MA 02053

PREPARED By: WDA DESIGN GROUP
 31 EAST MAIN STREET
 MEDWAY, MA 01581

DRAWING SCALE: 1 inch = 20 feet
 PROJECT NUMBER: 2616
 DATE: MARCH 14, 2019



Preliminary Elevation - View From Evergreen Street - Unit 1
Scale: 1/5" = 1'-0"



Preliminary Front Elevation - Units 1 and 2
Scale: 1/5" = 1'-0"



Preliminary Front Elevation - Units 3 and 4
Scale: 1/5" = 1'-0"



Preliminary Front Elevation - Units 5 and 6
Scale: 1/5" = 1'-0"

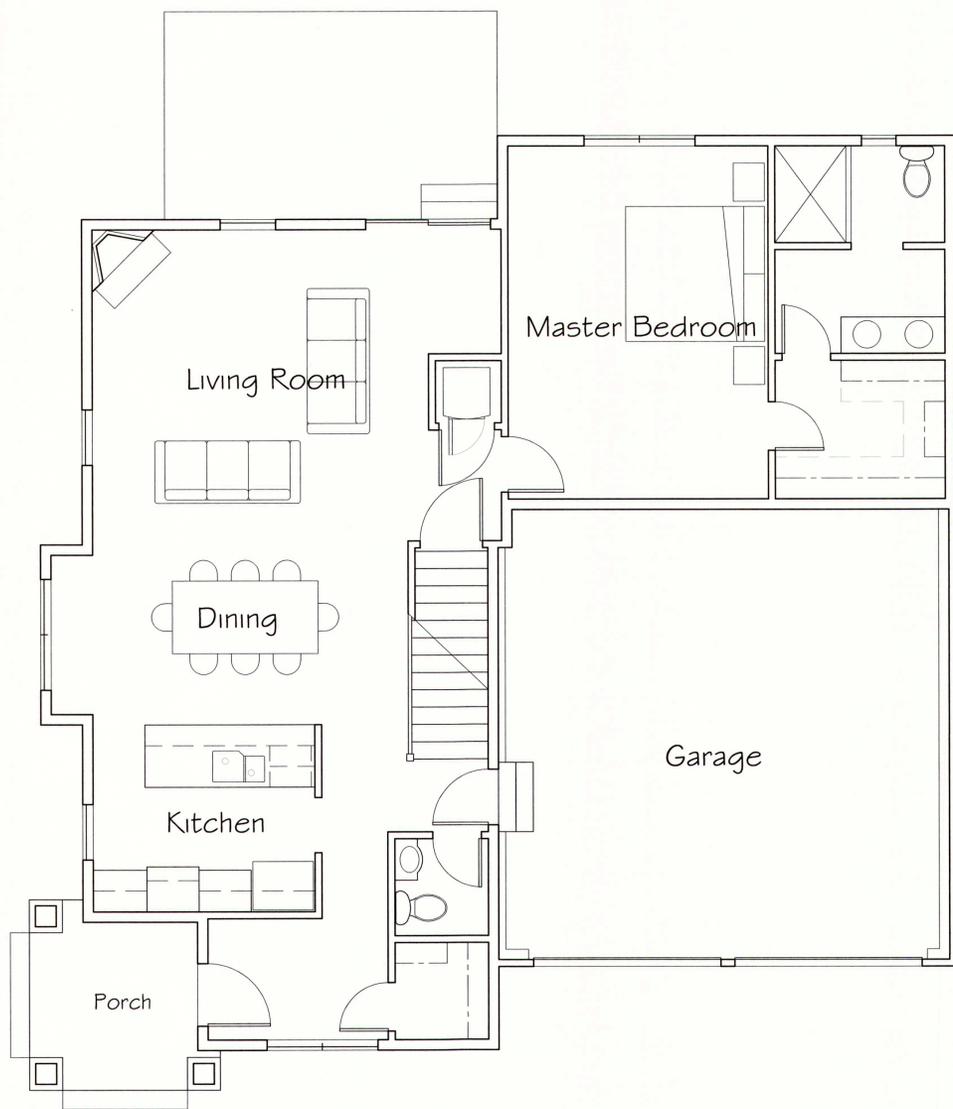
DANIEL LEWIS, AIA
ARCHITECT
332 Whitney Street
Northborough, MA 01532
(508) 612-8771
daniellew@charter.net www.daniellewarchitect.com



Preliminary Exterior Elevations

Job Number 1816	Date March 8, 2019
Drawn By DML	Revised

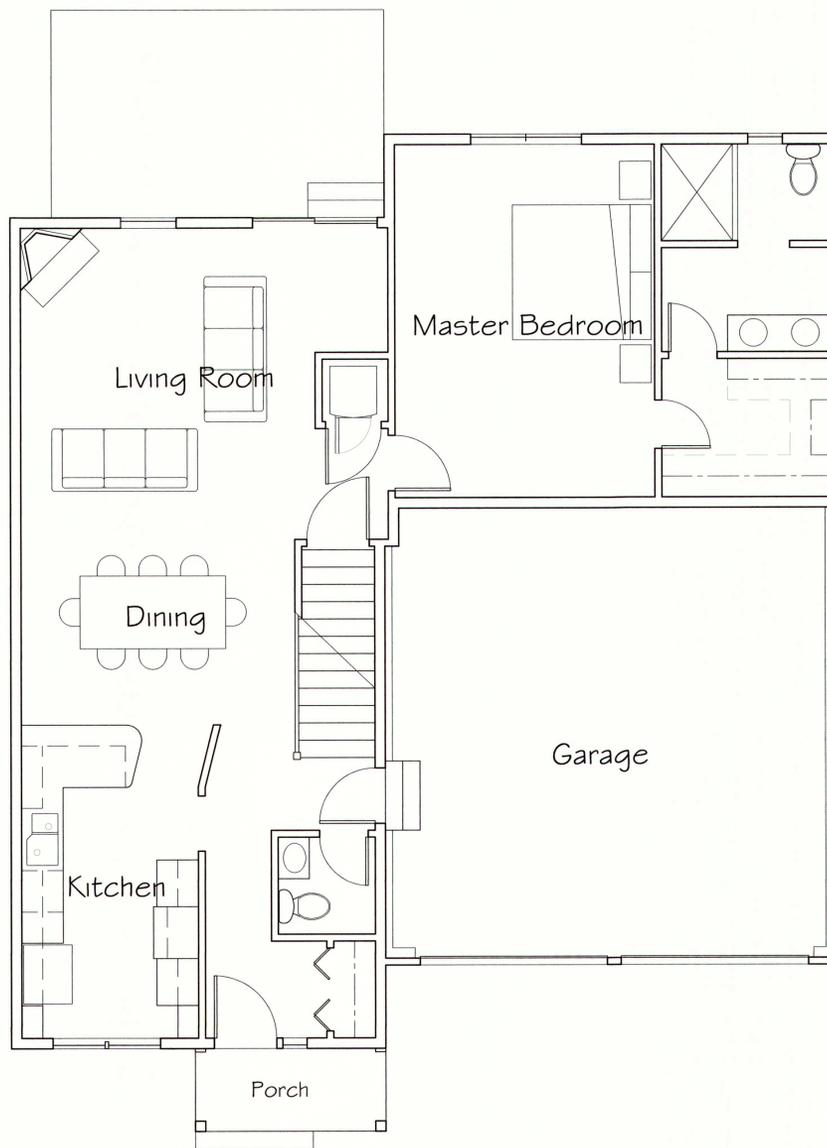
Proposed Condominiums
22 Evergreen Street
Medway, MA 02053
For: Sampson Ford LLC, Medway, MA



Preliminary First Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

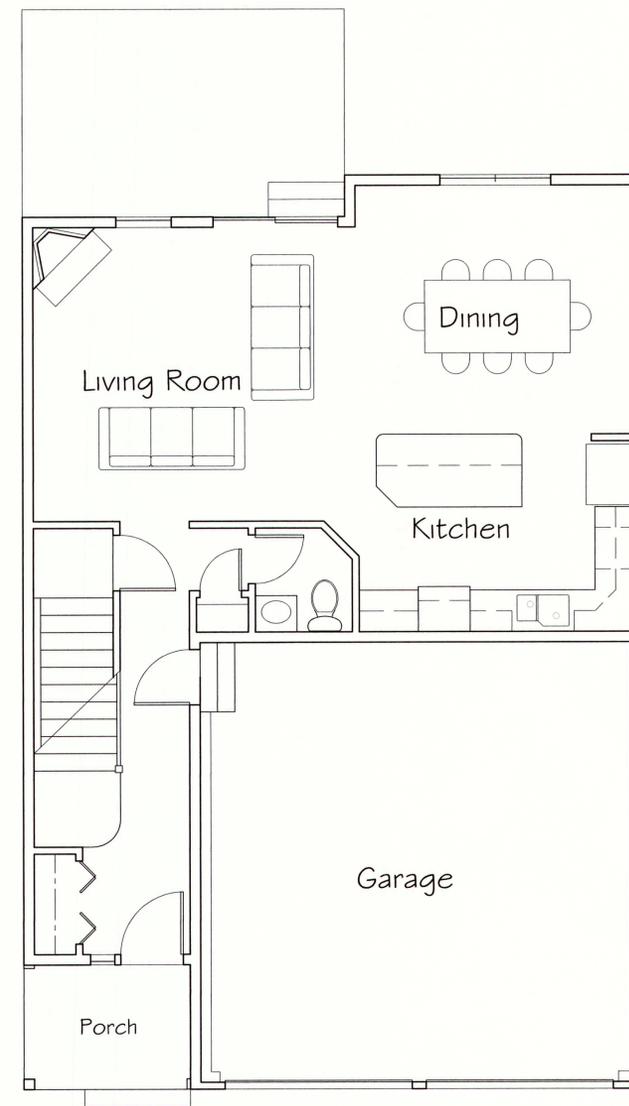
1170 SF



Preliminary First Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

1106 SF

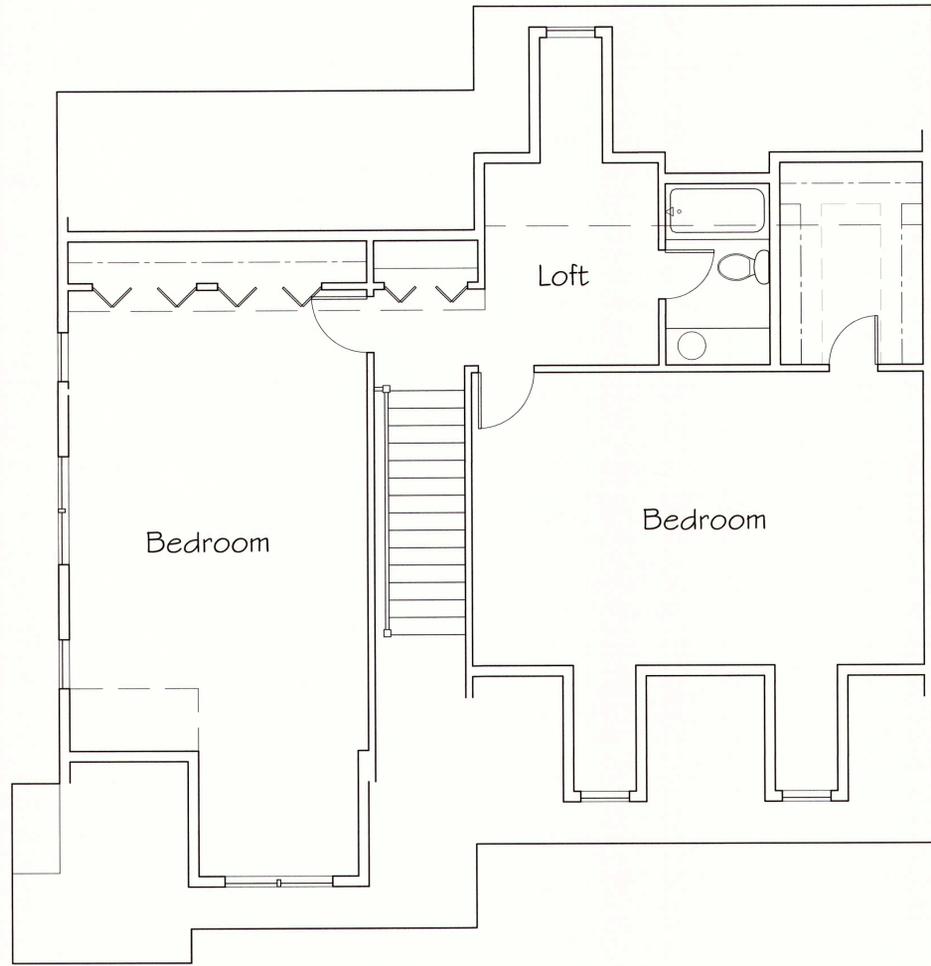


Preliminary First Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

766 SF

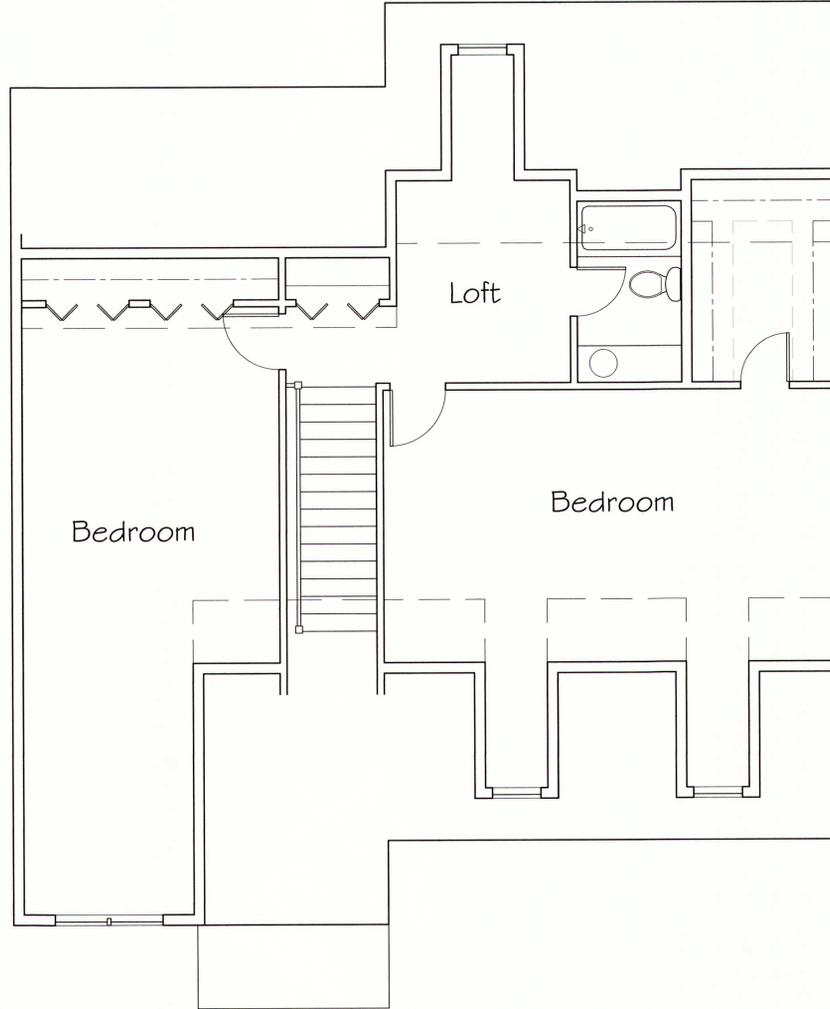




Preliminary Second Floor Plan - Unit Type C

Scale: 1/4" = 1'-0"

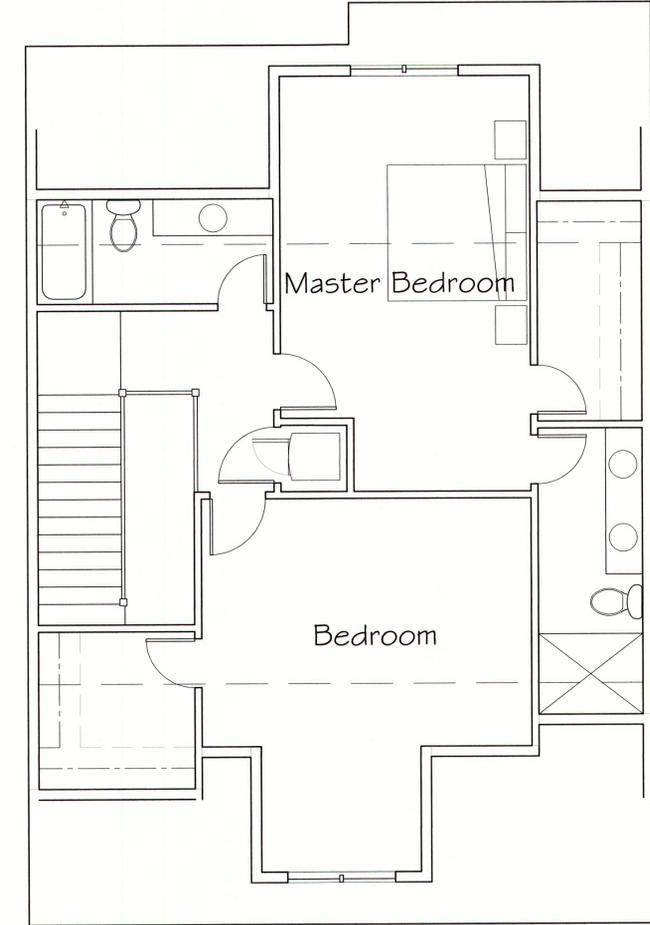
approx. 1128 SF



Preliminary Second Floor Plan - Unit Type B

Scale: 1/4" = 1'-0"

approx. 1047 SF



Preliminary Second Floor Plan - Unit Type A

Scale: 1/4" = 1'-0"

approx. 931 SF

Proposed Condominiums
 22 Evergreen Street
 Medway, MA 02053
 For: Sampson Pond LLC, Medway, MA

Preliminary Second Floor Plans

Job Number	Date	Revised
1816	March 8, 2019	
Drawn By		
DML		



DANIEL LEWIS, AIA
 ARCHITECT
 332 Whitney Street
 Northborough, MA 01532
 (508) 612-0771
 danlewis@charter.net www.danlewisarchitect.com
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Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 204-5 C (3). Landscape Inventory
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	An Existing Landscape Inventory shall be prepared by a Professional Landscape Architect licensed in the Commonwealth of Massachusetts. This inventory shall include a "mapped" overview of existing landscape features and structures and a general inventory of major plant species including the specific identification of existing trees with a diameter of one (1) foot or greater at four (4) feet above grade.
What aspect of the Regulation do you propose be waived?	The requirement to inventory the existing Landscape features
What do you propose instead?	Use of Existing Conditions sheet in the site plan
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	The inventory is not necessary. Trees onsite are a mix of Oaks, Maples, Pines and Firs. The mixture of these trees define the sides and rear of the lot. Of these trees, we have identified one mature White Oak that we are preserving as part of this development. We are requesting a waiver to not inventory the remaining trees since their removal is incidental to the proposed development.
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It will result in a more complete landscaping plan for the proposed development.
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	Not Applicable
Why is granting this waiver in the Town's best interest?	It would demonstrate the Town's understanding of the site and practical approach to the design
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	Not applicable
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Substantial landscaping plan for the new development.
What is the estimated value of the proposed mitigation measures?	\$50,000
Other Information?	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<small>7/8/2011</small>	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 H
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lane curbing shall be vertical granite curbing
What aspect of the Regulation do you propose be waived?	Granite Curbing
What do you propose instead?	Bituminous Berm
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	In order maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	It would compliment the rural neighborhood appearance
What is the impact on the development if this waiver is denied?	Would not complement appearances, Evergreen Street has no curbing
What are the design alternatives to granting this waiver?	No curb or Bituminous Berm
Why is granting this waiver in the Town's best interest?	Aids in complimenting Scenic Rural road appearance
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	None
What is the estimated value of the proposed mitigation measures?	\$8,000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-6 I
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	I. Travel lanes in the parking area shall be a minimum of twenty-four (24) feet wide
What aspect of the Regulation do you propose be waived?	Reduction of travel lane width
What do you propose instead?	Reduce Travel lanes to 22'
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduce speeds in parking area, reduce impervious areas and maintain a smaller village appearance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$5,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes, it would minimize runoff, reduce traffic speeds and expanse of asphalt areas
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt
What are the design alternatives to granting this waiver?	22' width
Why is granting this waiver in the Town's best interest?	Smaller drive would discourage pass thru traffic and turn arounds in lot
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	Additional Green Space and sitting park \$8000
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	Site Plan Rules & Regulations - Chapter 200 Section 205-9 C
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Parking Areas - Internal landscape planted divisions (islands and peninsulas) shall be constructed within all parking lots to provide shading and buffering. At least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces. Only trees providing shade to the parking area shall be counted as meeting this requirement. This requirement may be waived in lieu of the preservation of existing trees subject to approval by the Planning Board.
What aspect of the Regulation do you propose be waived?	Shade trees over Parking Ares
What do you propose instead?	Planting additional trees around property and screening areas
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	No designated parking areas beyopund driveways
What is the estimated value/cost savings to the applicant if the waiver is granted?	None
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Not complimentary to driveways
What is the impact on the development if this waiver is denied?	Would require additional grading, along with drainage system changes and additional asphalt, may result in reduced parking
What are the design alternatives to granting this waiver?	Add trees to Screening areas
Why is granting this waiver in the Town's best interest?	Allows developer to provide parking to homeowner and drainage in Small site area
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Trees added elsewhere
What is the estimated value of the proposed mitigation measures?	None

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request

Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/4/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	
<small>7/8/2011</small>	

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4E
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Prohibition of new curb cuts
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	A new single Curb cut
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces Number of curbcuts and provides better line of sight in bothe dirctions
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce safety hazards
What is the impact on the development if this waiver is denied?	Project would require re-evaluation
What are the design alternatives to granting this waiver?	Two access roads at existing curbcuts
Why is granting this waiver in the Town's best interest?	reduction of curbcuts and better sightlines
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	decrease in existing curbcuts
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
 Complete 1 form for each waiver request

Project Name:	Evergreen Village
Property Location:	22 Evergreen Street
Type of Project/Permit:	Multifamily Special Permit
Identify the number and title of the relevant Section of the Site Plan Rules and Regulations from which a waiver is sought.	AUOD - section 504-4F
Summarize the text of the relevant Section of the Rules and Regulations from which a waiver is requested.	Requirement to provide exterior Bicycle parking
What aspect of the Regulation do you propose be waived?	waive requirement
What do you propose instead?	Bike parking anticipated within buildings
Explanation/justification for the waiver request. Why is the waiver needed? Describe the extenuating circumstances that necessitate the waiver request.	Reduces clutter and maintenance
What is the estimated value/cost savings to the applicant if the waiver is granted?	\$1,000
How would approval of this waiver request result in a superior design or provide a clear and significant improvement to the quality of this development?	Yes it would help provide clearer site lines and reduce site clutter
What is the impact on the development if this waiver is denied?	None
What are the design alternatives to granting this waiver?	interior parking
Why is granting this waiver in the Town's best interest?	Less opportunity for theft
If this waiver is granted, what is the estimated cost savings and/or cost avoidance to the Town?	None
What mitigation measures do you propose to offset not complying with the particular Rule/Regulation?	Increase in Green space areas
What is the estimated value of the proposed mitigation measures?	\$200
Other Information?	
Waiver Request Prepared By:	Ronald Tiberi P.E.
Date:	3/7/2019
Questions?? - Please contact the Medway PED office at 508-533-3291.	

***Medway Planning and Economic Development Board
Request for Waiver from Site Plan Rules and Regulations
Complete 1 form for each waiver request***

7/8/2011

PGC ASSOCIATES, LLC

1 Toni Lane
Franklin, MA 02038-2648
508.533.8106
gino@pgcassociates.com

April 2, 2019

Mr. Andy Rodenhiser, Chairman
Medway Planning Board
155 Village Street
Medway, MA 02053

Dear Mr. Rodenhiser:

I have begun an initial review and comment on the proposed multifamily special permit plan submitted by Sampson Pond LLC .of Medway. The owners are John and Cynthia Shea of Carver, MA. The proposal is to construct 12 townhouse units in six buildings on a 1.44-acre parcel with an existing house and barn (both to be razed) including associated parking, drainage, landscaping, etc. The plan was prepared by Ronald Tiberi, P.E., of Natick along with a team including an architect, surveyor and landscape designer. The plan is dated is dated March 15, 2019.

Section 5.6.4 of the Zoning Bylaw states that:

- a. A historically significant building shall be not demolished unless:
 - 1) The Inspector of Buildings has determined that it is unused, uninhabited or abandoned, and open to the weather; or
 - 2) The Board of Selectmen or the Board of Health has determined it to be a nuisance or dangerous pursuant to applicable state laws and/or the State Building Code;

I have been informed that the existing house that is proposed to be razed has been determined to be a “historically significant building” by the Medway Historical Commission, and that neither of the two criteria for demolition listed above are applicable. Therefore, a plan that involves razing the house for the proposed project does not conform to the requirements of Section 5.6.4.

I understand that a resolution is being pursued. Therefore, I have deferred a more comprehensive review until additional information and/or a redesign of the project is available.

If there are any questions about these comments, please call or email me.

Sincerely,



Gino D. Carlucci, Jr.

Susan Affleck-Childs

From: Barry Smith
Sent: Friday, April 05, 2019 8:15 AM
To: Susan Affleck-Childs
Cc: David Damico; Peter Pelletier
Subject: evergreen village

Hello Susy,

If the existing house gets torn down we need to get in to remove the water meter and radio box, also the water and sewer will need to be cut and capped. Water will have to be plugged at the main and the sewer will have to be capped at the property line.

Here are a few things that I see that need to be corrected on the plans:

1. Sewer Manhole must say "sewer" in them and also be 26" frame & cover.
2. Some of the sewer service lines have bends, any bend greater than 30 degrees needs a cleanout.
3. Hydrant must meet towns specs. I don't see anything on the plans regarding the hydrant.
4. No description on water service valves and/or boxes.

I would recommend them checking all the water/sewer rules and regulations to make sure that all sewer and water rules are met along with all the drawings for water/sewer details on their drawings.

https://www.townofmedway.org/sites/medwayma/files/uploads/water_and_sewer_regs_2017.pdf

Thanks,

Barry Smith
Water/Sewer Superintendent
45b Holliston Street
Medway, MA 02053
O 508-321-4930
M 774-285-0482



www.townofmedway.org

[Facebook](#) [Twitter](#)

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Susan Affleck-Childs

From: Jack Mee
Sent: Friday, March 22, 2019 8:47 AM
To: Susan Affleck-Childs
Subject: Re: 22 Evergreen demo permit

No we have not issued a demo permit for this property. We had an original application over a year ago which trigger the historic review and subsequent delay. I am not sure if the original applicant is still the legal owner non have I heard from anyone else on the matter

Sent from my iPhone

On Mar 22, 2019, at 8:25 AM, Susan Affleck-Childs <sachilds@townofmedway.org> wrote:

Hi,

This property was subject to the historic property demolition delay procedure through the Historical Commission. I understand the delay period has come and gone.

Has the Building Department issued a demo permit? If so, when was that?

Thanks.

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291

Susan Affleck-Childs

From: Jack Mee
Sent: Thursday, March 28, 2019 8:55 AM
To: Susan Affleck-Childs
Subject: RE: 22 Evergreen

I have determined that the structure at 22 Evergreen does not meet the criteria of Section 17.5 of the Historic Bylaw. Although the house is vacant and I believe has been for about a year, the structure is not dangerous to life or limb nor would it be especially unsafe in case of fire.

From: Susan Affleck-Childs
Sent: Thursday, March 28, 2019 8:24 AM
To: Jack Mee
Subject: 22 Evergreen

Hi,

How did you leave things with Maria Varrichione after meeting with her on site yesterday?

Susan E. Affleck-Childs
Planning and Economic Development Coordinator
Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291



April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

Construction Reports

- Merrimack, 20 Trotter Drive – 3/26/19
- Medway Green, Main and Mechanic – 3/26/19
- Applegate – 3/26/19
- Medway Community Church – 3/26/19

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, April 02, 2019 1:42 PM
To: Bob Poxon; Glenn Barrows; jworthington@digiangocorp.com
Cc: Susan Affleck-Childs; Picard, Brad
Subject: Merrimack Building Supply Infiltration Basin
Attachments: Field Report-Merrimack-Report No. 21_2019-03-26.pdf

Hi All,

During our inspection last week we noticed a few issues (see attached inspection report):

1. Standing water in the infiltration basin at about the 72-hour mark. I suggest someone look at those basins to determine their function as prior to project close-out they will need to function as designed.
2. Erosion controls at the crushed stone apron require replacement and the slope downstream requires repair as rutting is causing sediment to flow into the forebay and further into the basin. The apron also requires repair as it is washing out, larger stone may be advisable to maintain the stone in place since velocities might be too high coming off of the pavement in that area.
3. Repair/maintain all linear erosion controls around the site as several have fallen, we're getting back into the wet season and erosion controls are critical.

Please let me know if you have any questions, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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Marlborough, MA 01752

FIELD REPORT

Project Merrimack Building Supply	Date 03/26/2019	Report No. 21
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SUNNY	Temperature A.M. 45°F

FIELD OBSERVATIONS

On Tuesday, March 26, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. General site conditions: dry, firm conditions sitewide. Silt fence barrier (SFB) is installed around the site perimeter. SFB located at the swale downstream of the proposed infiltration basin requires maintenance, a portion of the SFB has fallen onto the ground. Filter socks are placed just inside the SFB, and silt sacks have been placed in catch basins along the driveway adjacent to the southeast corner of the building. Areas of stockpiled soil, gravel and construction materials were noted near the northern portion of the site.
- B. Portions of the 4-foot crushed stone apron adjacent to the proposed infiltration basin have washed out, allowing water to flow underneath straw wattle that has been placed at the top of the slope causing rutting and sediment to accumulate in the forebay and infiltration basin. Erosion control measures shall be maintained to prevent sediment from entering the infiltration basin and repairs to the basin slopes are required.
- C. Filter fabric is visible underneath the rip rap spillway between the proposed forebay and infiltration basin, we recommend this be repaired prior to final close-out of the site.
- D. Standing water is present in the Infiltration Basin at the time of inspection. Approximately 72 hours has passed since previous rainfall in Medway. Contractor/engineer to determine if infiltration basin is functioning as designed.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't		Bulldozer	Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe	Asphalt Reclaimer	Milinzazzo	Binder Course
Laborers		Loader	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader	Static Roller		
Oper. Engr.		Skid Steer	Vib. Walk Comp.		
Carpenters		Hoeram	Compressor		
Masons		Excavator	Jack Hammer		
Iron Workers		Grader	Power Saw		
Electricians		Crane	Conc. Vib.		
Flagpersons		Scraper	Tack Truck		
Surveyors		Conc. Mixer	Man Lift		
Roofers		Conc. Truck	Telehandler	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck	Drill rig (drilling/blasting)		
Plumbers		Pickup Truck	Mechanical Sweeper		
Pipe Fitters		Tri-Axle Dump Truck			
Carpenters		Trailer Dump Truck			
Police Details: N/A				RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				Name	Time on-site
				Bradley M. Picard, E.I.T.	1:40 A.M. – 2:15 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 03/26/2019	Report No. 21
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. New Action Items

- A. Maintain erosion controls throughout the site as specified in Item 1.A. of this report.
- B. Contractor/engineer of record to confirm that Infiltration Basin is operating as designed. Standing water present in Basin after allowable 72-hour maximum detention time in the Basin.

4. Previous Open Action Items

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. Water leak at SSE side of existing building discovered recently during shallow exploratory test pit has been discovered and fixed (replaced old water service line with new). **TT Update: This item has been addressed.**
- C. The site contractor has encountered an issue regarding elevation difference between both proposed building addition entrances on ENE side and the proposed customer parking area as it relates to the construction of the proposed sidewalk and handicap ramp access. Site contractor and engineer of record are working to resolve the problem.

5. Materials Delivered to Site Since Last Inspection

- A. N/A

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, April 02, 2019 1:53 PM
To: MARK HEAVNER
Cc: Susan Affleck-Childs; Picard, Brad
Subject: Site Erosion Controls
Attachments: Field Report-Medway Greens-Report No. 12_2019-03-26.pdf

Hi Mark,

Please see attached inspection report, please repair erosion controls along the eastern property line as they are in need of maintenance. We are in the rainy season and erosion controls are ever necessary to control sediment. Brad also mentioned you had a question regarding the sidewalk repair, please let me know specifics related to that, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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FIELD REPORT

Project Medway Greens	Date 03/26/2019	Report No. 12
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 1 of 2
Contractor Mark Heavner – Cortland Pine, LLC Sal Santucci - Santucci Construction Corp.	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 40° F

FIELD OBSERVATIONS

On Tuesday, March 26, 2019 Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor was on-site during inspection working on the interior of the units. TT inspected the condition of the erosion control throughout the project site. Compost filter tubes and silt fence barrier (SFB) on the east side of the site require maintenance, portions of SFB have fallen off the stakes and are laying on the ground. Contractor to repair/replace erosion control measures per the approved Plan.
- B. According to Contractor, site work is anticipated to start again as weather improves.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS			
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Lull			
		Conc. Truck				OFFICIAL VISITORS TO JOB	
		Pickup Truck	3				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A				RESIDENT REPRESENTATIVE FORCE			
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				Name		Time on-site	
				Bradley Picard, E.I.T.		2:20 P.M – 2:40 P.M.	

Project Medway Greens	Date 03/26/2019	Report No. 12
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. Roof drains for units 5-8 to be connected to Stormwater Management System PR-1.
- B. Contractor will contact TT as needed throughout the remaining portion of the construction.

3. New Action Items

- A. Contractor to repair/replace erosion controls along the east side of the project site.

4. Previous Open Action Items

- A. Contractor to replace accessible ramp to ensure it is installed per applicable regulations.
- B. Contractor to provide TT with gravel slips, paving slips and any compaction results gathered during subbase preparation of the site. **TT Update: TT has received the gravel and paving slips from the Contractor, this item has been addressed.**

5. Materials Delivered to Site Since Last Inspection

- A. N/A

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, April 02, 2019 2:17 PM
To: rmc@uniquenewhomes.com; kim@rodenhiser.biz; bill@rodenhiser.biz
Cc: Susan Affleck-Childs; Bridget Graziano; Picard, Brad
Subject: Applegate Erosion Controls
Attachments: Field Report-Applegate Farm-Report No. 59_2019-03-26.pdf

All,

Sediment has tracked from Lot 10B into the "right-of-way" and has clogged up the double catch basins at the bottom of the hill. Silt sacks should be maintained to maintain flow and prevent flooding of the roadway.

Bridget, please contact the owner at lot 10B to fix their erosion controls and clean up the roadway since all of the sediment is coming from that lot.

I know we spoke about possibly removing the silt sacks from the double catch basins and allowing all flow to enter the basin with the proposal that the basin would be scratched out prior to project close-out but I think we should still maintain the silt sacks to prevent as much sediment from entering that area as possible.

Also, do we have a schedule of activities for the site?

Let me know, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
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FIELD REPORT

Project Applegate Farm	Date 03/26/2019	Report No. 59
Location Coffee/Ellis Street, Medway, MA	Project No. 143-21583-18007	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 40°F

FIELD OBSERVATIONS

On Tuesday, March 26, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Large amount of sediment visible on Applegate Road in front of lots 6B and 10B. Silt sack in double catch basin across from lot 10B requires maintenance, sediment has accumulated up to the rim of the catch basin. Silt fence barrier (SFB) located along the perimeter of lot 10B has portions of fencing no longer attached to the stakes. Contractor and owner of lot 10B to repair/maintain erosion control measures to ensure sediment-laden water receives appropriate filtration.
- B. Construction of dwelling on lot 2B is currently ongoing. Roofing, sheathing, windows and doors have been installed.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS			
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck					
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A				RESIDENT REPRESENTATIVE FORCE			
Contractor's Hours of Work:				Name		Time on-site	
				Bradley Picard, E.I.T.		3:45 PM – 4:15 PM	

NOTE: Please use reverse side for remarks and sketches

Project Applegate Farm	Date 03/26/2019	Report No. 59
Location Coffee/Ellis Street, Medway, MA	Project No. 143-21583-18007	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

- A. TT will inspect the subdivision on an as-needed basis.

3. New Action Items

- A. Contractor to repair/maintain erosion control measures to ensure sediment-laden water receives appropriate filtration.

4. Previous Open Action Items

- A. N/A

5. Materials Delivered to Site Since Last Inspection

- A. N/A

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Tuesday, April 02, 2019 2:25 PM
To: kim@rodenhiser.biz; bill@rodenhiser.biz
Cc: Susan Affleck-Childs; Picard, Brad
Subject: Medway Community Church
Attachments: Field Report-Medway Community Church No. 1_2019-03-26.pdf

Hi,

We inspected the site last week and noticed the construction entrance was not installed, please install prior to further disturbance. Also, if we could please get an update on schedule, as I have to plan out inspections for coming weeks as all sites are now picking up again, thanks.

Steve

Steven M. Bouley, P.E. | Senior Project Engineer
Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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FIELD REPORT

Project Medway Community Church	Date 03/26/2019	Report No. 1
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18009	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. P.M. SUNNY	Temperature A.M. P.M. 40°F

FIELD OBSERVATIONS

On Tuesday, March 26, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

1. Observations

- A. Contractor was not on-site during inspection. General site conditions: Dry ground surface that is relatively firm with some softer areas. Construction entrance from Slocumb Place has not been installed. Straw wattle is installed around the site perimeter and is in good condition. Contractor to complete installation of erosion controls since site is currently in disturbed condition.
- B. Contractor has completed tree clearing within the limit of work. Stockpiles of soil and rock are located throughout the site. Stakes have been placed throughout the project site, laying out limits of pavement and locations of proposed catch basins.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't				Dept. or Company	Description of Work
		Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers		Loader		Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Skid Steer		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator		Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flagpersons		Scraper		Tack Truck	
Surveyors		Conc. Mixer		Man Lift	
Roofers		Conc. Truck		Skidder	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader	
		Pickup Truck			
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: N/A				OFFICIAL VISITORS TO JOB	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				RESIDENT REPRESENTATIVE FORCE	
				Name	Time on-site
				Bradley Picard, E.I.T.	4:30 PM – 5:00 PM

NOTE: Please use reverse side for remarks and sketches

Project Medway Community Church	Date 03/26/2019	Report No. 1
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

FIELD OBSERVATIONS CONTINUED

2. Schedule

A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

3. New Action Items

A. Contractor to complete installation of erosion controls since site is currently in disturbed condition.

4. Previous Open Action Items

A. N/A

5. Materials Delivered to Site Since Last Inspection

A. N/A



April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

Newton Lane Street Acceptance
Tetra Tech Estimate

- 4-2-19 TT cost estimate for services pertaining to project completion, close-out and street acceptance.



April 2, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: Hartney Acres
Subdivision Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway Planning and Economic Development Board (PEDB) (the Client) for professional engineering services associated with the Hartney Acres Subdivision acceptance process in Medway, Massachusetts (the Project). The objective of our services is to review the existing site against the approved plans, provide an updated punch list (TT provided initial punch list on June 17, 2016), review street acceptance/as-built plans and meeting time for updating the PEDB of progress.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 – Site Visits

- A. Perform two (2) site visits to review the site and its surroundings to inform other tasks in this Proposal:
 - 1. Perform one (1) punch list inspection to generate the updated punch list.
 - 2. Perform one (1) final inspection once items on the punch list have been completed.
 - Budget Assumption: 2 visits @ 3 hours per visit=6 hours
6 hours @ \$143/hr = \$858
Total = \$858

Task 2 – Punch List

- A. Prepare a Punch List summarizing deficiencies or incomplete items as compared to the approved Subdivision Plans and Decision. Deliverables will include a Punch List Memo and appurtenant Photo Log.
 - Budget Assumption: 4 hours @ \$143/hr = \$572
Total = \$572
- B. Coordinate with the applicant as items are completed and revise the Punch List as necessary throughout the process. We have limited time for this item to one (1) revision to the Punch List.
 - Budget Assumption: 4 hours @ \$97/hr = \$388
Total = \$388

Task 3 – As-Built/Street Acceptance Review

- A. Review the As-Built and Street Acceptance Plans against the appropriate sections of Chapter 100 – Land Subdivision of the Town of Medway Planning Board Rules and Regulations.
 - Budget Assumption: 2 hours @ \$143/hr = \$286
4 hours @ \$97/hr = \$388
Total = \$674

- B. Prepare a review comment letter summarizing deficiencies for presentation to the PEDB.
 - Budget Assumption: 2 hours @ \$143/hr = \$286
 2 hours @ \$97/hr = \$194
 Total = \$480

- C. Coordinate with the applicant, review revised Plans and provide revised comment letter. We have limited time for this item to one (1) review of the revised Plans and updated comment letter.
 - Budget Assumption: 4 hours @ \$97/hr = \$388
 Total = \$388

Task 4 – Meetings

- A. Participate in three (3) meetings with the Town of Medway PEDB via conference call.
 - Budget Assumption: 3 meetings @ 1 hour per meeting = 3 hours
 3 hours @ \$143/hr = \$429
 Total = \$429

Cost

Our cost for the above Scope of Services will be on a Time and Expenses basis in accordance with Tetra Tech’s and existing Town of Medway contract rates (FY 2020). Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visits	\$858
Task 2	Punch List	\$960
Task 3	As-Built/Street Acceptance Review	\$1,542
Task 4	Meetings	\$429
Labor Subtotal		\$3,789
Expenses (5%)		\$190
Total		\$3,979

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and will put forth our best effort, consistent with accepted professional practice, to comply with the project’s needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented.

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Sean P. Reardon, P.E.
Vice President

Date Approved by Town of Medway PEDB _____

Certified by: _____
Susan E. Affleck-Childs
Medway PEDB Coordinator

_____ Date

M:\SITE\BOULEY\MEDWAY_PEDB_HARTNEY ACRES_2019-04-02.DOCX



April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

**Marc Road Street Acceptance
Tetra Tech Estimate**

- 4-2-19 Tetra Tech estimate for services related to street acceptance for Marc Road

Dan Merrikin, on behalf of Ellen Rosenfeld, contacted the PEDB office. Ellen is interested in having the Town accept Marc Road. You will remember that considerable work was done to upgrade Marc Road in 2017-1018 as part of the 2 Marc Road marijuana cultivation development.



April 2, 2019

Ms. Susan E. Affleck-Childs
Medway Planning and Economic Development Coordinator
155 Village Street
Medway, MA 02053

**Re: Marc Road
Street Acceptance Review
Medway, Massachusetts**

Dear Ms. Affleck-Childs:

We are pleased to submit this Proposal to the Town of Medway Planning and Economic Development Board (PEDB) (the Client) for professional engineering services associated with street acceptance process for Marc Road in Medway, Massachusetts (the Project). The objective of our services is to review the existing site against the approved plans, provide a punch list, review street acceptance/as-built plans and meeting time for updating the PEDB of progress.

Scope of Services

The following specifically describes the Scope of Services to be completed:

Task 1 – Site Visits

- A. Perform two (2) site visits to review the site and its surroundings to inform other tasks in this Proposal:
 - 1. Perform one (1) punch list inspection to generate the updated punch list.
 - 2. Perform one (1) final inspection once items on the punch list have been completed.
 - Budget Assumption: $2 \text{ visits @ } 2 \text{ hours per visit} = 4 \text{ hours}$
 $4 \text{ hours @ } \$143/\text{hr} = \572
Total = \$572

Task 2 – Punch List

- A. Prepare a Punch List summarizing deficiencies or incomplete items as compared to the approved Subdivision Plans and Decision. Deliverables will include a Punch List Memo and appurtenant Photo Log.
 - Budget Assumption: $3 \text{ hours @ } \$143/\text{hr} = \429
Total = \$429
- B. Coordinate with the applicant as items are completed and revise the Punch List as necessary throughout the process. We have limited time for this item to one (1) revision to the Punch List.
 - Budget Assumption: $3 \text{ hours @ } \$97/\text{hr} = \291
Total = \$291

Task 3 – As-Built/Street Acceptance Review

- A. Review the As-Built and Street Acceptance Plans against the appropriate sections of Chapter 100 – Land Subdivision of the Town of Medway Planning Board Rules and Regulations.
 - Budget Assumption: $2 \text{ hours @ } \$143/\text{hr} = \286
 $4 \text{ hours @ } \$97/\text{hr} = \388
Total = \$674

- B. Prepare a review comment letter summarizing deficiencies for presentation to the PEDB.
 - Budget Assumption: 2 hours @ \$143/hr = \$286
 2 hours @ \$97/hr = \$194
 Total = \$480

- C. Coordinate with the applicant, review revised Plans and provide revised comment letter. We have limited time for this item to one (1) review of the revised Plans and updated comment letter.
 - Budget Assumption: 4 hours @ \$97/hr = \$388
 Total = \$388

Task 4 – Meetings

- A. Participate in three (3) meetings with the Town of Medway PEDB via conference call.
 - Budget Assumption: 3 meetings @ 1 hour per meeting = 3 hours
 3 hours @ \$143/hr = \$429
 Total = \$429

Cost

Our cost for the above Scope of Services will be on a Time and Expenses basis in accordance with Tetra Tech’s and existing Town of Medway contract rates (FY 2020). Direct expenses will be billed at a fixed fee of five (5) percent of labor costs. We suggest that you establish a budget identified below for these services, which will not be exceeded without your approval. Please be advised that this estimate is based on our current understanding of the Project needs and is for budget purposes only. The total cost of our services will depend greatly on the completeness and adequacy of the information provided.

The breakdown of this fee by task is as follows:

Task	Task Description	Fee
Task 1	Site Visits	\$572
Task 2	Punch List	\$720
Task 3	As-Built/Street Acceptance Review	\$1,542
Task 4	Meetings	\$429
Labor Subtotal		\$3,263
Expenses (5%)		\$163
Total		\$3,426

Schedule

We are prepared to begin work immediately upon receipt of this executed Proposal. We recognize that timely performance of these services is an important element of this Proposal and will put forth our best effort, consistent with accepted professional practice, to comply with the project’s needs. We are not responsible for delays in performance caused by circumstances beyond our control or which could not have reasonably been anticipated or prevented.

General Terms and Conditions

This Proposal is subject to the existing Terms and Conditions signed by Tetra Tech and the Town of Medway. Should this proposal meet with your approval, please sign and return a copy to us for our files. Your signature provides full authorization for us to proceed. We look forward to working with you on this Project. Please contact us with any questions, or if you require additional information.

Very truly yours,



Steven M. Bouley, P.E.
Senior Project Engineer



Sean P. Reardon, P.E.
Vice President

Date Approved by Town of Medway PEDB _____

Certified by: _____
Susan E. Affleck-Childs
Medway PEDB Coordinator

_____ Date

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April 9, 2019

**Medway Planning & Economic Development Board
Meeting**

**39 Main Street 40B Comprehensive
Permit**

- 3-25-19 email memo from the ZBA requesting comments on recently submitted 40B Comprehensive Permit application for an apartment development at 33-39 Main Street. The hearing begins April 24th. I would recommend someone from the PEDB attend that hearing to share the PEDB's comments.
- Application materials and plans can be viewed at: <https://www.townofmedway.org/zoning-board-appeals/pages/33-39-main-street-comprehensive-permit-application>
- 12-13-18 PEDB letter to BOS with initial comments on this proposed development (for your reference).

Susan Affleck-Childs

From: Stefany Ohannesian
Sent: Monday, March 25, 2019 3:15 PM
To: Allison Potter; 'Andy Rodenhiser'; ArmandPires; Barry Smith; Beth Hallal; Bridget Graziano; Carol Pratt; Chief Tingley; David Damico; Donna Greenwood; Doug Havens; Jack Mee; Jeff Lynch; Jeff Watson; Joanne Russo; 'Matt Buckley'; Susan Affleck-Childs; 'Andy Rodenhiser'; 'Bob Tucker'; Bob Tucker; Mary Jane White; Barbara Saint Andre; Liz Langley
Cc: Stefany Ohannesian
Subject: REQUEST FOR COMMENTS: 33 - 39 Main Street Comprehensive Permit
Attachments: 11.2_Medway Waiver Request_#2.pdf; 11.1_Preliminary Waiver Request.pdf

To:	Department of Public Services	Planning & Economic Development Board
	Fire Department	Board of Health
	Police Department	Conservation Commission
	Building Department	Design Review Committee
	Treasurer/Collector	Affordable Housing Committee
	Assessing Department	Town Administrator
	Board of Selectmen	

33 - 39 Main Street Comprehensive Permit

The ZBA has received an Application for a Comprehensive Permit for 33 – 39 Main Street Assessor Parcel nos. 41-035 and 41-035-001, in the AR-I Zoning District. The application is requesting for a Comprehensive Permit under the Local Initiative Program for a development of 190 rental units, of which 48 will be low or moderate income units.

The opening of the Public hearing is scheduled for Wednesday, April 24, 2019 at 7:30pm in Sanford Hall.

The ZBA is requesting comments from your Department or Board. Comments will be accepted on an ongoing basis, as the hearing will most likely span over the course of a few ZBA meetings. However, **please send any initial comments** you may have by **11:00 am Wednesday, April 17th**, to be included for discussion at the hearing that evening.

The Application can be found here: <https://www.townofmedway.org/zoning-board-appeals/pages/33-39-main-street-comprehensive-permit> or <https://www.dropbox.com/home/ZBA/13%20-%20April%2024%2C%202019> for your review.

Planning, Conservation, Fire, and DPS please be sure to provide comments. You are invited to attend and participate in the Public hearing.

Thank you,

Stefany Ohannesian
Administrative Assistant
Community and Economic Development
Town of Medway
155 Village Street
Medway, MA 02053
(508) 321 - 4915



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

Andy Rodenhiser, Chairman
Robert K. Tucker, Vice-Chairman
Thomas A. Gay, Clerk
Matthew J. Hayes, P.E.
Richard Di Iulio

December 13, 2018

Medway Board of Selectmen
155 Village Street
Medway, MA 02053

RE: Friendly 40B Local Initiative Program application – 33 and 39 Main Street

Dear Chairman Crowley and members of the Board of Selectmen,

At its meeting on December 11, 2018, the Planning and Economic Development Board discussed the Local Initiatives Program application filed by Strategic Land Ventures with the Board of Selectmen for construction of 190 rental units at 33 and 39 Main Street. The Board offers the following comments to the Board of Selectmen for receipt, discussion and consideration at the public hearing scheduled for Monday, December 17th at 7:15 p.m.

- The Board acknowledges the Town's need to increase the number of affordable housing units in accordance with the Commonwealth's 10% affordable housing goal and recognizes that the proposed apartment development will provide a substantial boost to the Town's accomplishment of that goal.
- The Town's 2016 *Housing Production Plan* clearly identifies the need for rental housing in Medway. The existing stock of apartment residences is very limited. The last year an apartment building was constructed in Medway was in 1975. The Board is pleased that this development opportunity has presented itself to meet the community's need to diversify its housing supply to include suitable options for young professionals, downsizers, and renters by choice.
- Main Street, as Medway's major arterial roadway and the location of the proposed development, has capacity to handle the increased traffic that will be generated by the residents of the apartment complex with the least impact on local streets serving residential neighborhoods.
- This location is close to retail stores, restaurants and businesses at Medway Commons. We understand the developer is interested in constructing a sidewalk along the south

side of Main Street to provide pedestrian connectivity between the apartments and Medway Commons. We were pleased to hear of such interest as we believe a sidewalk would promote enhanced livability and walkability and reduce vehicular trips from the apartments to the nearby services.

- Apartment residents may well include persons commuting on regional transit. This would be an excellent location to add to Medway's GATRA rush hour shuttle service to and from the Norfolk train station. The developer should be encouraged to install a small bus shelter on site or near the Main Street entrance.
- The site plan shows the location of parking around the perimeter of the building. Through the installation of well-designed fencing and substantial landscaped buffers, the impacts of traffic lights and noise on abutters to the west and southwest can be addressed.

We understand the applicant and development team have met with the Design Review Committee to review the site and architectural plans and that the DRC is preparing a letter for you. We encourage the Board of Selectmen to fully consider the DRC's comments and recommendations regarding the building's architecture in order to refine the proposed architectural design toward something more compatible with Medway's character and the *Medway Design Review Guidelines*.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Andy Rodenhiser', with a long horizontal flourish extending to the right.

Andy Rodenhiser
Chairman