

**Tuesday, April 23, 2019**  
**Medway Planning and Economic Development Board**  
**76 Oakland Street**  
**Medway, MA 02053**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>
<b>Attendance</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>Absent with Notice</b>	<b>X</b>

The meeting is being broadcast live and recorded by Medway Cable Access.

**ALSO PRESENT:**

Susy Affleck-Childs, Planning and Economic Development Coordinator  
Amy Sutherland, Recording Secretary

The Chairman opened the meeting at 7:00 p.m.

**CITIZEN COMMENTS** - There was a Citizen Comment later in the meeting.

**39 MAIN STREET – APARTMENT DEVELOPMENT:**

The Board is in receipt of the following: (See Attached)

- Revised Site Plan dated 3-26-19
- Draft PEDB letter to the ZBA dated 4-18-19
- Letter dated April 22, 2019 from DRC to the ZBA

The Board is in receipt of a draft letter prepared by Susy-Affleck-Childs based on discussion at the last Planning and Economic Board meeting held on April 9<sup>th</sup> regarding the friendly 40B Local Initiative Program application for 33-39 Main Street.

The Board would like the additional recommendations incorporated into the letter:

- There should be language about the snow storage and that any excessive accumulated snow will need to be trucked off site. The area needs to be indicated on the site plan.
- The Board agrees that the sidewalk on Main Street is needed and will promote livability and walkability. It would be beneficial to have a meandering sidewalk around the existing trees if the right of way size allows. There was discussion that language needs to be included about the compliance of this requirement and it needs to be clear to the developer. The sidewalk needs to be shown on a separate sheet for off-site improvements.
- The Board would like language about the site amenities and timelines for completion. It was suggested that this be before occupancy is granted.
- It was recommended that if the Board members have further suggestions, please provide those to Susy Affleck-Childs by tomorrow so the letter can be finalized for signature by the Chairman.

**MEDWAY GREEN – PERFORMANCE SECURITY AGREEMENT:**

The Board is in receipt of the following: (See Attached)

- Draft tri-partite agreement. Currently under review by Wellesley Bank
- Tetra Tech punch list dated 1-8-19
- Tetra Tech bond estimates dated 1-8-19 for \$167,625

The Board was made aware that the documentation has been provided to the Bank. To date, the Town has not received any communications back.

The Board took no action.

**PEDB MEETING MINUTES:**

**April 9, 2019:**

**On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to accept the minutes from April 9, 2019.**

**EVERGREEN VILLAGE MULTIFAMILY DEVELOPMENT, 22  
EVERGREEN STREET:**

The Board is in receipt of the following: (See Attached)

- Public Hearing Continuation Notice
- SAC letter to applicant Maria Varicchione dated 4-17-19
- Correspondence to Jack Mee dated April 23, 2019.

The Board was made aware that all activity relating to this project will be on hold until the applicant works through the historic building issue.

The applicant informed the Board that she has supplied a letter from her Attorney William Pezzoni regarding the demolition permit. It appears from how the letter from the Attorney was written that there is confusion about what is needed to proceed with this application.

There are two issues. The application was submitted in March 2019 which requires filing under the new Multi-family bylaw. Even if the Historical Commission determines the house can be demolished, the multifamily bylaw language trumps the Historical Commission's decision. The Planning Board would not be able to issue a multi-family development permit if the house is demolished. The applicant was under the presumption that the application would fall under the old bylaws. The building inspector has determined that it is not an unsafe structure. If the applicant wants to pursue this aspect, they would need to speak with the Board of Health or Board of Selectmen who would make a finding.

It was recommended that the applicant have her Attorney contact Susy Affleck-Childs for further clarification.

The Chairman informed the audience that he was not present at the last meeting, but he has reviewed all the documentation presented at that meeting. He has reviewed the video. His paperwork utilizing the Mullin Certification Rule has been signed and submitted allowing him to

take part in the decision and voting. The Chairman did indicate that he is concerned about the density of the project.

The hearing was opened to comments from the public.

**Resident, Laurie Fowles, 4 Cottage Street:**

Ms. Fowles indicated that she was not supplied with a notice of the hearing. Member Gay checked the Assessor's list and the applicant is just over the 300 ft. notification requirement.

**Resident, Patricia DerGarabedian, 5 Royal Heights Drive:**

Ms. DerGarabedian was inquiring about if the house has been inhabited over that last ten days. The windows were open with no screens. The applicant responded that she will check to make sure the building is secured.

**Resident, Elisabeth Kantor, 26 Evergreen Street:**

Ms. Kantor communicated that she walks every day and has not noticed a window open. If it is open, it is a new occurrence.

**Resident, Wallace Long, 19A Evergreen Street**

Mr. Long wanted to know if public safety will be looking at the traffic flows of the existing conditions.

The Chairman responded that the public safety officer will be asked to provide a letter with any recommendations or findings. This is still forthcoming.

**Continuation:**

**On a motion made by Rich Di Iulio and seconded by Bob Tucker, the Board voted unanimously to continue the hearing for Evergreen Village to May 28, 2019 at 7:15 pm.**

**274 VILLAGE STREET – Informal Pre-Application Discussion**

The Board is in receipt of the following: (See Attached)

- Concept Site Plan dated 4-19-19 by Legacy Engineering

Dan Merrikin was the representative for the applicant, Ryan Rucki. It was explained that this is a 3.59-acre site on the north side of Village Street which includes the APECS building. It is east of Anderson Village. The site had previously been considered for a soccer club. The applicant is proposing a total of 14 condominium homes arranged in 7 duplex buildings.

The site is partially developed. The wetlands have been delineated. There will be a land swap with the neighbor to adjust the boundaries. There will be a shared driveway. An easement will need to be drawn up for the driveway. These will be duplex units with two car garages. The second egress will be from Bedelia Way. The site will have green space. The stormwater calculations have not been completed yet. Susy Affleck-Childs spoke with the Conservation Agent and it was communicated that there is a vernal pool on the northern edge of the property in railroad right of way. There may be some impacts on this site. Dan Merrikin stated it appears to be over 100 ft from the proposed project. There was a suggestion to include any decks which

will be part of the calculations. There is a vacant house on site. The stormwater will be handled under the Conservation Commission in conjunction with the land disturbance permit.

Member Di Iulio asked if the applicant plans to eliminate a few more units. The applicant responded that he has already lessened the number and is currently well within the allowable number.

Dan Merrikin explained that the architectural style of the units will be of a more traditional, colonial style. The applicant did go to Design Review Committee and will go back for further review. The open space amenities have not been decided. The details will be figured out when the plan progresses. The lighting on the site will need to be discussed. There will be landscaping at the entrance. There will be a communal mailbox, with a shed like structure and pull off area.

#### **CITIZEN COMMENTS:**

Resident Jessica Chabot of 4 Milford Street wanted to speak with the Board about the Zoning Bylaw and more specifically about creating language about “tear downs” and new construction. This includes when a house is taken down and then is rebuilt as a “McMansion” while the other homes in the neighborhood are ranch (smaller) style. There needs to be standards created to address this issue. Currently, Medway does have standards for maximum lot coverage. However, there is no floor to area ratio in the town. Some towns have zoning which addresses this. It is suggested to work on the language regarding single family tear downs. The Town of Wellesley is an example of a town which should have planned better to address this. Build out can also be seen in a community with the size of additions added onto a home.

The Board thanked Mrs. Chabot for attending the meeting and will add this to the items to address during zoning discussions.

#### **21 HIGH STREET – Informal Pre-Application Discussion**

The Board is in receipt of the following: (See Attached)

- Concept Site Plan dated 4-9-19
- Elevation and Floor Plan for proposed duplex townhouses
- Elevation and floor plan for existing historic house and addition

This informal Pre-Application discussion is for a Multifamily Housing Development at 21 High Street. The developer is Patrick and Michael Larkin of Larkin Real Estate Group in Medfield. This parcel is a 3.7-acre site on the west side of High Street. This concept plan is for a total of 36 duplex units in 18 buildings. It will also include the renovation of the historic property on the premises. The applicant informed the Board that they had filed an ANRAD with the Conservation Commission. The site has been marked and flagged. There was also an internal meeting with Susy Affleck-Childs, Jack Mee and Barbara Saint Andre. The applicant will be meeting with the Design Review Committee on May 6, 2019.

Through discussion, it was suggested that the Duplex Style Units in a circular formation should be possibly consolidated into one of two big units as an overall concept. The concept plan presented is extremely busy and is not visually appealing. There was a recommendation to break



up the variation noted on the footprint. The color palettes of the units will be complementary but will be different for each unit.

The Board suggested that the applicant look at Charles River Village off of Neelon Lane and Millstone Village as examples.

### **CONSTRUCTION REPORTS:**

The Board is in receipt of the following: (**See Attached**)

- 50 Adler Street (Milway Auto) - #3, 3-26-19
- 9 Trotter Drive (CTS) - #11 on 4-3-19, #12 on 4-9-19; #13 on 4-18-19 and #14 on 4-19-19
- Medway Community Church - #2 on 4-9-19 and #3 on 4-16-19
- Medway Green - #13 on 4-9-19 and #14 on 4-18-19
- Merrimack Building Supply - #22 on 4-9-19; #23 on 4-16-19 and #24 on 4-18-19
- Salmon - #1 on 4-4-19, #2 on 4-9-19 and #3 on 4-16-19
- Member Tucker asked for a follow-up on Applegate. Susy communicated that the contractor has not been in touch. She will follow-up.

### **ZBA PETITIONS:**

The Board is in receipt of the following Zoning Board of Appeals Applications: (**See Attached**)

- 72 A Fisher Street
- 48 Gorwin Drive
- 32 Milford Street

#### **72 A Fisher Street:**

The Board reviewed this application. There is agreement that the hardship for this was created when the original house was built via a previous variance. This is a self-inflicted hardship. The Board would like a letter sent recommending that this is more suitable as a private way subdivision.

#### **48 Gorwin Drive:**

The Board reviewed the application which is for a side lot setback variance from 15' to 7.82' to allow for construction of a 2-car garage. The Board has no issue with this application and will not provide any comments.

#### **32 Milford Street:**

The Board reviewed the application for 32 Milford Street. It was noted that this application is exactly what Jessica Chabot recently discussed with the Board. This application went through historical review and the demolition was authorized. The applicant is planning on demolishing the older non-conforming building. It would be replaced with new residence on a different footprint that would meet current setback and height requirements, but is taller than the height of the existing building. The Board will not be providing any comments.

### **OTHER BUSINESS:**

- Charles River Meadowlands Initiative will hold a Community Forum on Monday, April 29, 2019 at 6:30 pm at Thayer Homestead 2B Oak Street.

- A site plan application was received from RP Marzilli for 21 Trotter Dr.

**ADJOURN:**

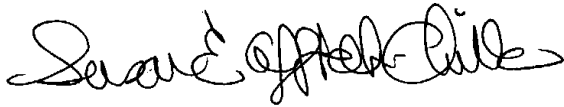
**On a motion made by Rich Di Iulio and seconded by Tom Gay, the Board voted unanimously to adjourn the meeting.**

The meeting was adjourned at 9:23 pm.

Respectfully Submitted,



Amy Sutherland  
Recording Secretary



Susy E. Affleck-Childs  
Planning and Economic Development Coordinator



**April 23, 2019**

**Medway Planning & Economic Development Board  
Meeting**

**Comments on Proposed 33-39 Main  
Street Apartment Development**

- Revised Site Plan dated 3-26-19
- DRAFT PEDB letter to the ZBA dated 4-18-19



# 39 MAIN STREET SITE PLAN OF LAND

PREPARED BY:  
LEGACY ENGINEERING LLC  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054

MEDWAY, MA  
OCTOBER 11, 2018  
Latest Revision: March 26, 2019

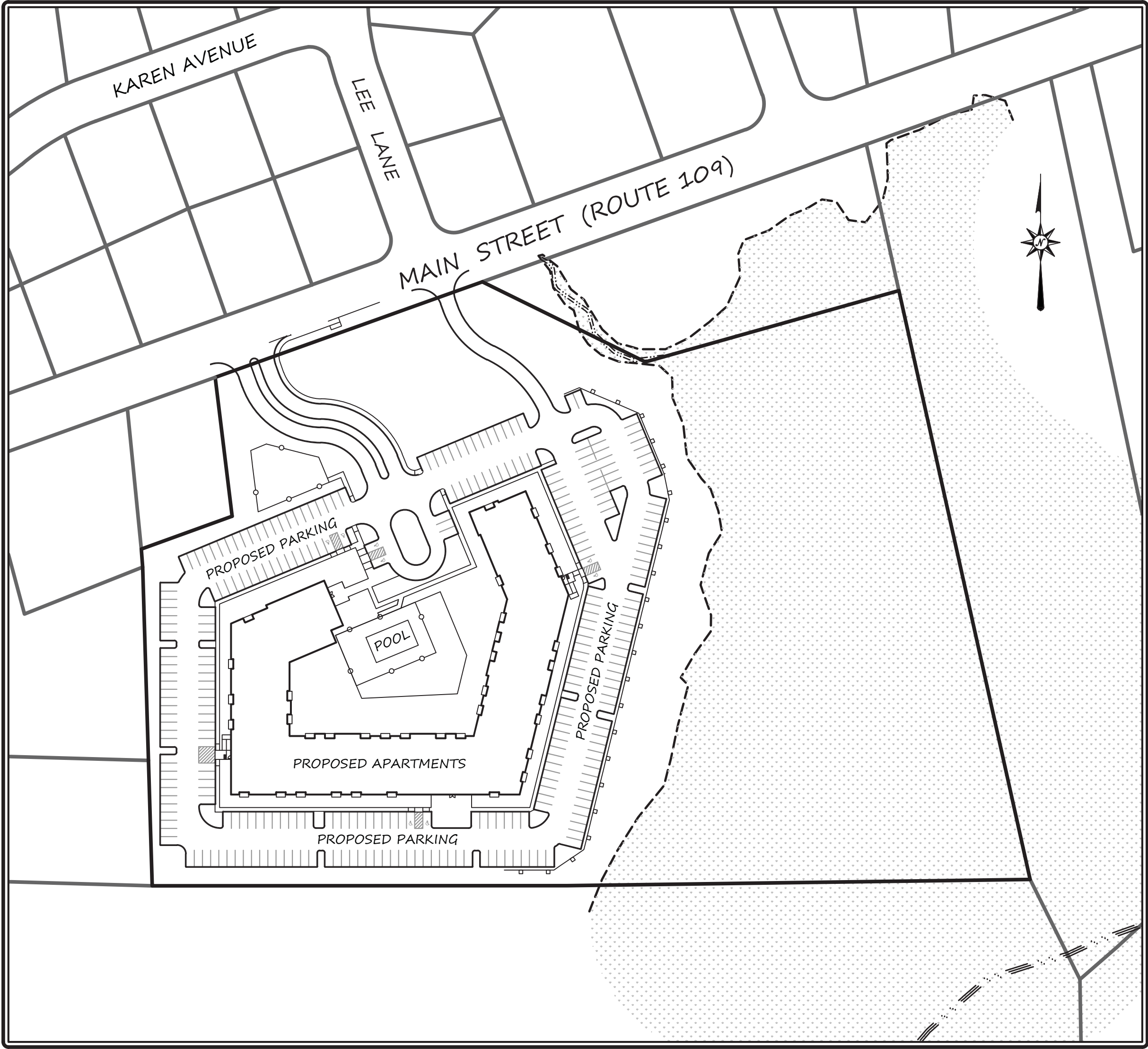
PREPARED FOR:  
STRATEGIC LAND VENTURES  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494

OWNER  
NOTWEN REALTY TRUST  
33 FRUIT STREET  
NORFOLK, MA 02056  
  
APPLICANT  
STRATEGIC LAND VENTURES  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494  
  
MAP AND PARCEL  
MAP 41  
PARCELS 35 & 35-1  
  
ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION 1  
(PORTION OF SITE)

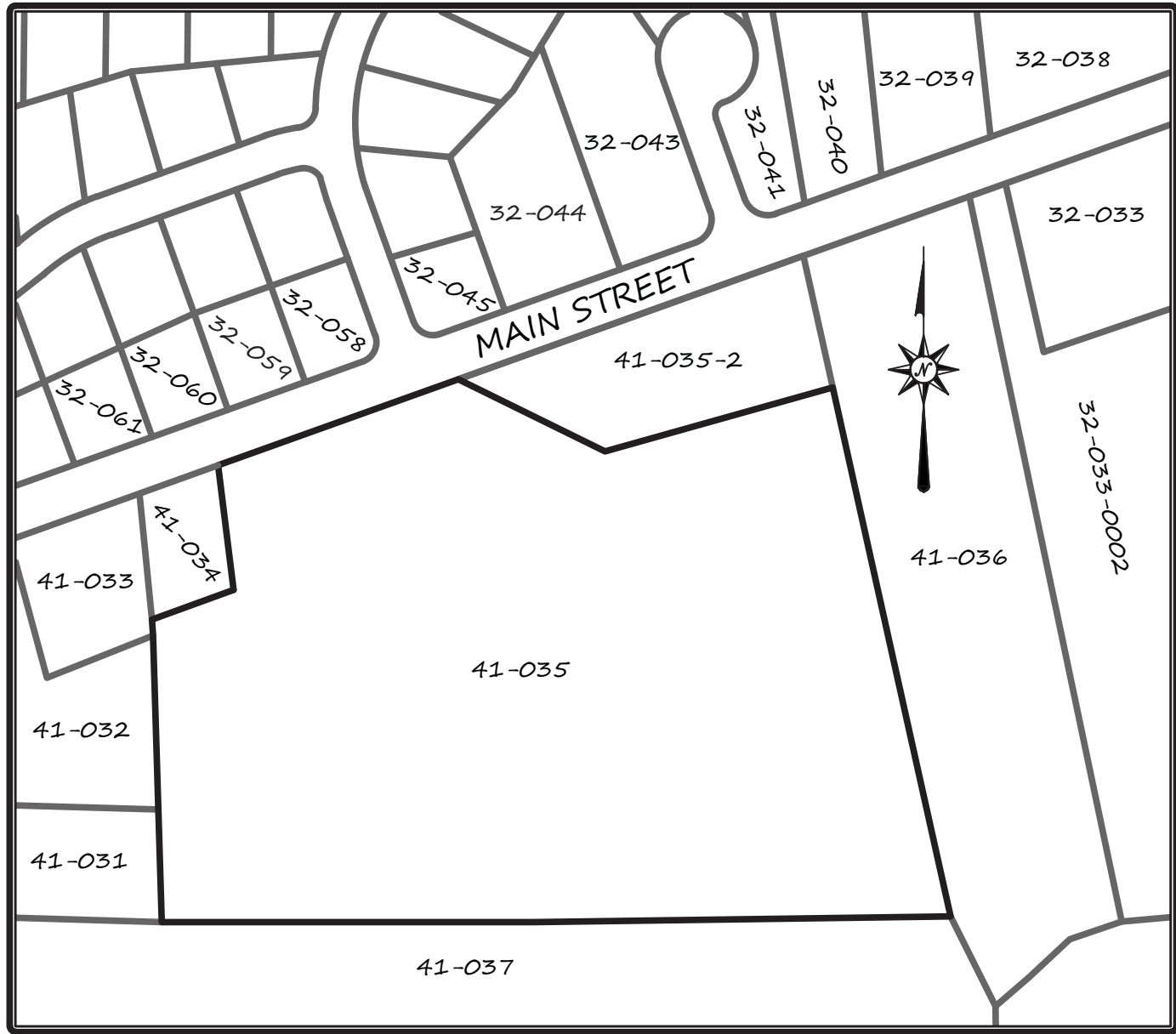
  
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Date: 2019.04.04 09:02:04 -04'00'




2013 MASSGIS AERIAL LOCUS  
SCALE: 1" = 500'



LOCUS  
SCALE: 1"=100'



MEDWAY ASSESSORS LOCUS  
SCALE: 1" = 200'

PLAN SCALE: AS NOTED  


ORIGINAL PLAN PREPARED BY MERRIKIN ENGINEERING, LLP

REVISION	DATE	BY
REVISED PER TOWN COMMENTS	2018-11-30	D.J.M.
UPDATES FOR COMPE PERMIT APPLICATION	2019-03-10	D.J.M.
UPDATES FOR CONSERVATION APPLICATION	2019-03-26	D.J.M.

39 MAIN STREET  
COVER SHEET  
PLAN OF LAND  
IN  
MEDWAY, MA

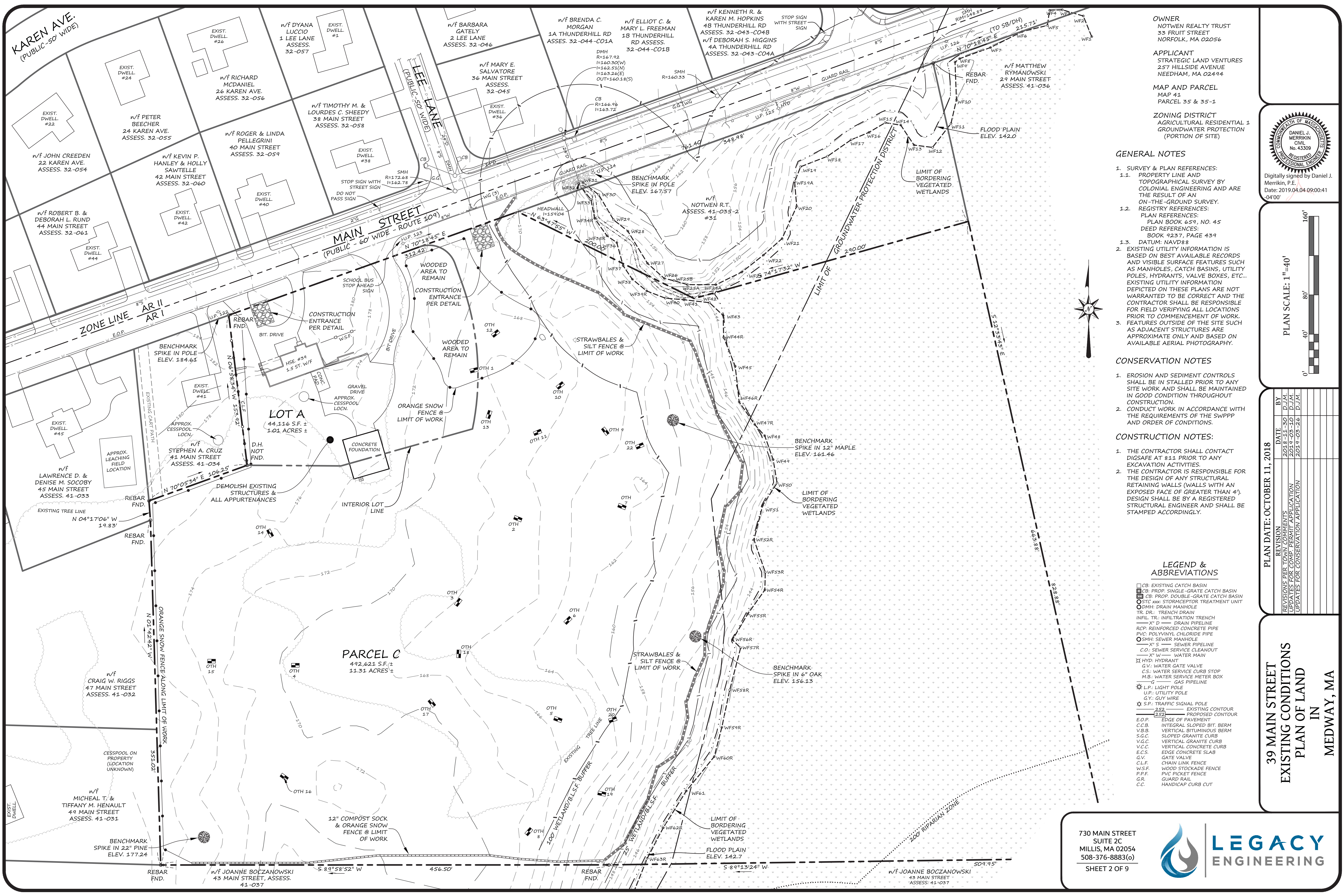
PLAN INDEX

- SHEET 1 - COVER
- SHEET 2 - EXISTING CONDITIONS & EROSION CONTROL
- SHEET 3 - LAYOUT SHEET
- SHEET 4 - GRADING
- SHEET 5 - UTILITY
- SHEET 6 - LIGHTING
- SHEET 7 - DETAILS
- SHEET 8 - DETAILS
- SHEET 9 - DETAILS

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)  
SHEET 1 OF 9







OWNER  
NOTWEN REALTY TRUST  
33 FRUIT STREET  
NORFOLK, MA 02056

APPLICANT  
STRATEGIC LAND VENTURES  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494

MAP AND PARCEL  
MAP  
PARCEL 35 & 35-1

ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION  
(PORTION OF SITE)

GENERAL NOTES

- SURVEY & PLAN REFERENCES:
  - PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
  - REGISTRY REFERENCES:  
PLAN REFERENCES:  
PLAN BOOK 659, NO. 45  
DEED REFERENCES:  
BOOK 9237, PAGE 439
  - DATUM: NAVD88
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

CONSERVATION NOTES

- EROSION AND SEDIMENT CONTROLS SHALL BE IN STALLED PRIOR TO ANY SITE WORK AND SHALL BE MAINTAINED IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
- CONDUCT WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE SWPPP AND ORDER OF CONDITIONS.

CONSTRUCTION NOTES:

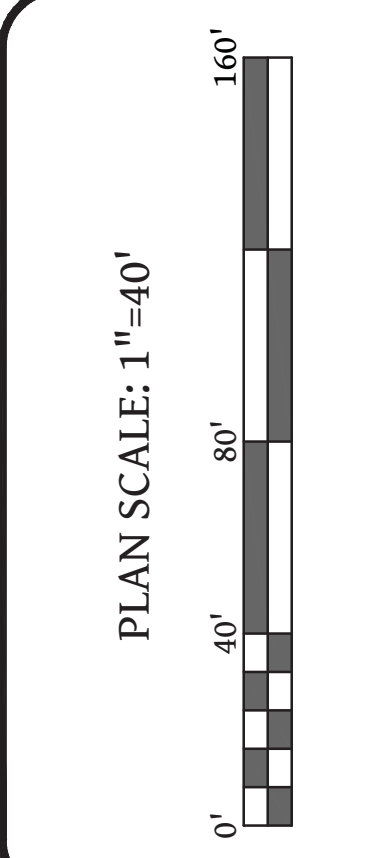
- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

LEGEND & ABBREVIATIONS

- CB: EXISTING CATCH BASIN
- CB: PROP. SINGLE-GRATE CATCH BASIN
- CB: PROP. DOUBLE-GRATE CATCH BASIN
- STC: STORMCATCHER TREATMENT UNIT
- DMH: DRAIN MANHOLE
- TR. DR.: TRENCH DRAIN
- INFIL. TR.: INFILTRATION TRENCH
- X" D: DRAIN PIPELINE
- RCP: REINFORCED CONCRETE PIPE
- PVC: POLYVINYL CHLORIDE PIPE
- SMH: SEWER MANHOLE
- X" S: SEWER PIPELINE
- C.O.: SEWER SERVICE CLEANOUT
- X" W: WATER MAIN
- HYD: HYDRANT
- G.V.: WATER GATE VALVE
- C.S.: WATER SERVICE CURB STOP
- M.B.: WATER SERVICE METER BOX
- G: GAS PIPELINE
- LP: LIGHT POLE
- UT: UTILITY POLE
- GUY: GUY WIRE
- S.P.: TRAFFIC SIGNAL POLE
- 252: EXISTING CONTOUR
- 252: PROPOSED CONTOUR
- E.O.P.: EDGE OF PAVEMENT
- C.B.: INTEGRAL SLOPED BIT. BERM
- V.B.B.: VERTICAL BITUMINOUS BERM
- S.G.C.: SLOPED GRANITE CURB
- V.G.C.: VERTICAL GRANITE CURB
- V.C.C.: VERTICAL CONCRETE CURB
- E.C.S.: EDGE CONCRETE SLAB
- G.V.: GATE VALVE
- C.L.F.: CHAIN LINK FENCE
- W.S.F.: WOOD STOCKADE FENCE
- P.P.F.: PVC PICKET FENCE
- G.R.: GUARD RAIL
- C.C.: HANDICAP CURB CUT



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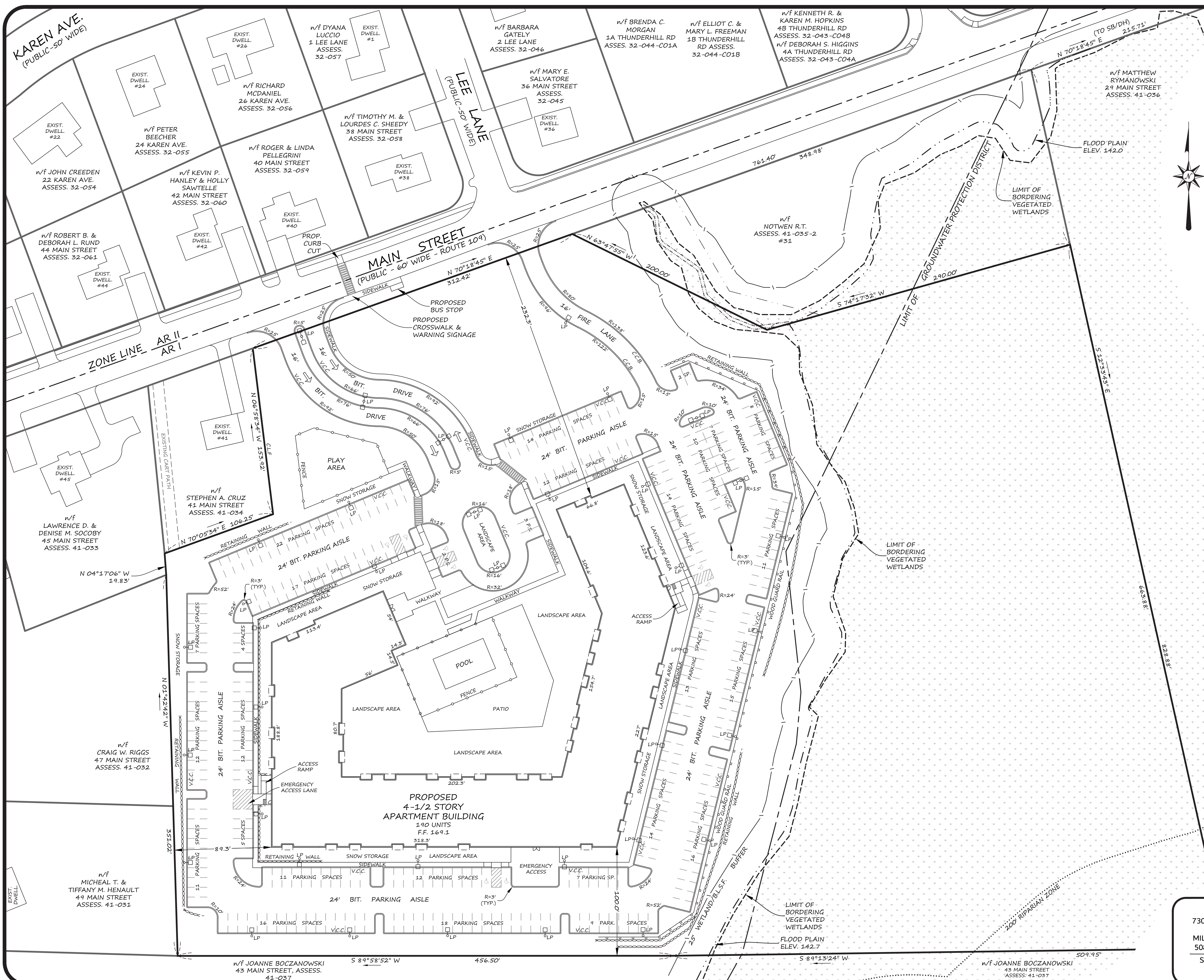
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39 MAIN STREET  
EXISTING CONDITIONS  
PLAN OF LAND  
IN  
MEDWAY, MA

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)  
SHEET 2 OF 9







OWNER  
NOTWEN REALTY TRUST  
33 FRUIT STREET  
NORFOLK, MA 02056

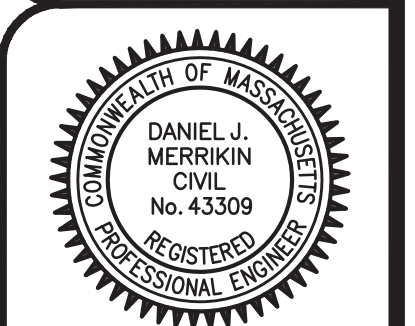
APPLICANT  
STRATEGIC LAND VENTURES  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494

MAP AND PARCEL  
MAP 41  
PARCEL 35 & 35-1

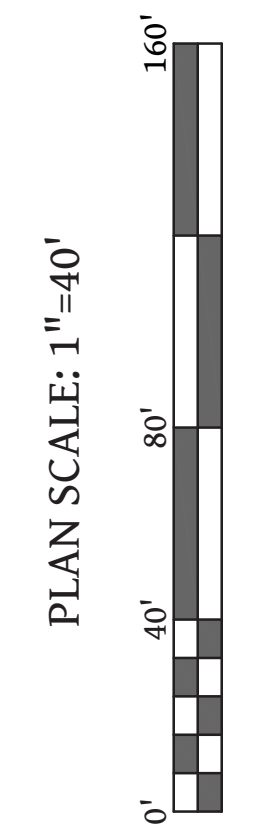
ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION (PORTION OF SITE)

- ZONING TABLE:**
- ZONE: AGRICULTURAL RESIDENTIAL 1  
MIN. LOT AREA:  
REQUIRED: 44,000 S.F.  
PROVIDED: 536,737 S.F. (12.3 ACRES±)  
MIN. FRONTAGE:  
REQUIRED: 180'  
PROVIDED: 312.42'  
MIN. FRONT SETBACK:  
REQUIRED: 35'  
PROVIDED: 232.3'  
MIN. SIDE SETBACK:  
REQUIRED: 15'  
PROVIDED: 89.3'  
MIN. REAR SETBACK:  
REQUIRED: 15'  
PROVIDED: 100.0'  
MAX. HEIGHT:  
REQUIRED: 35'  
PROVIDED: ~60'  
MAX. BLDG. COVERAGE:  
REQUIRED: 25%  
PROVIDED: 9.5%  
MAX. IMPERVIOUS COVERAGE:  
REQUIRED: 35%  
PROVIDED: ~40%  
PARKING:  
REQUIRED: 1.5 SP/UNIT=285  
PROVIDED: 304 SPACES  
(INCL. 7 HANDICAPPED)

- LAYOUT NOTES**
1. PARKING SPACES ARE 9' WIDE BY 18' DEEP EXCEPT FOR HANDICAP SPACES WHICH ARE AS NOTED ON THE DETAIL.



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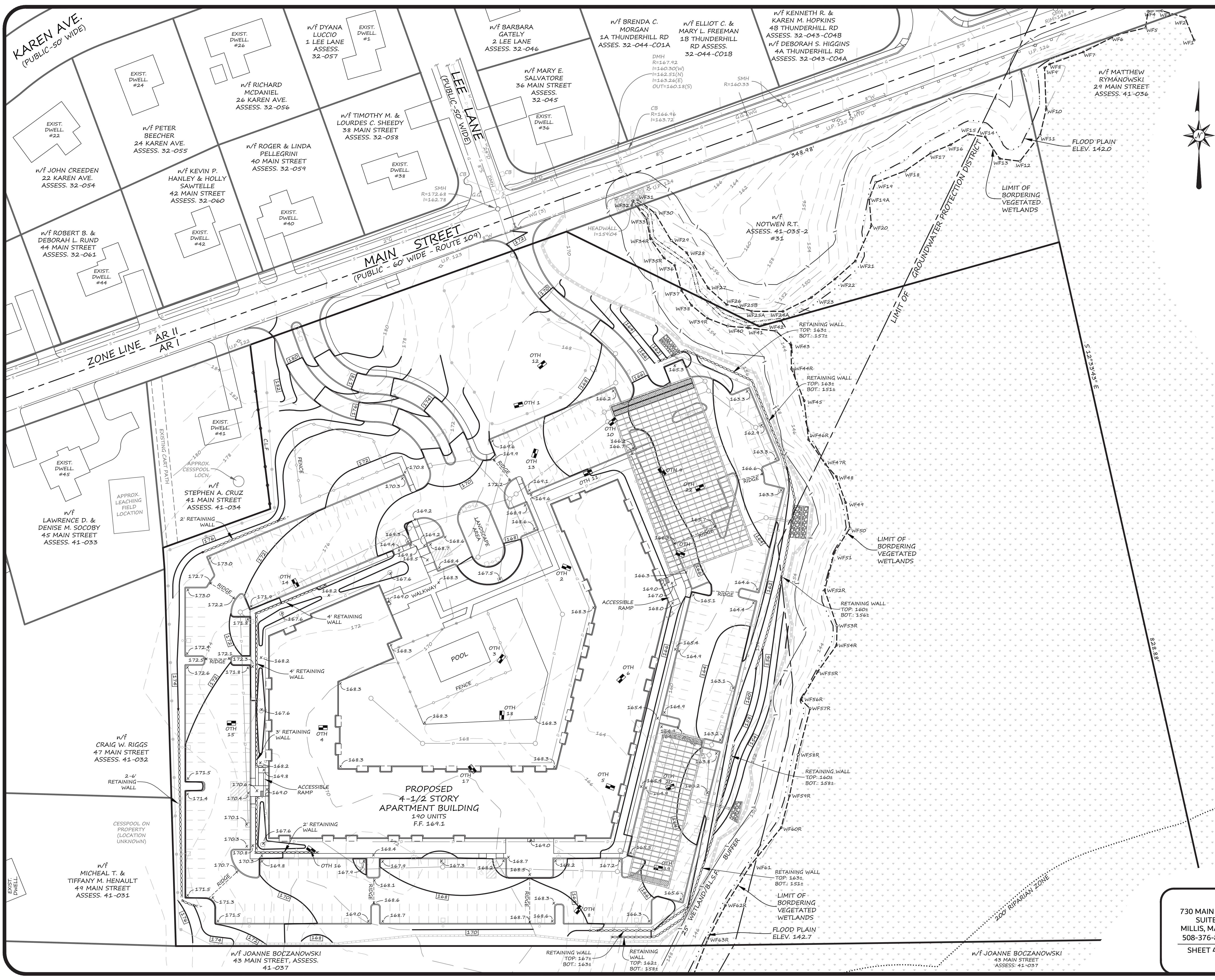
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LAYOUT  
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MEDWAY, MA

730 MAIN STREET  
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SHEET 3 OF 9







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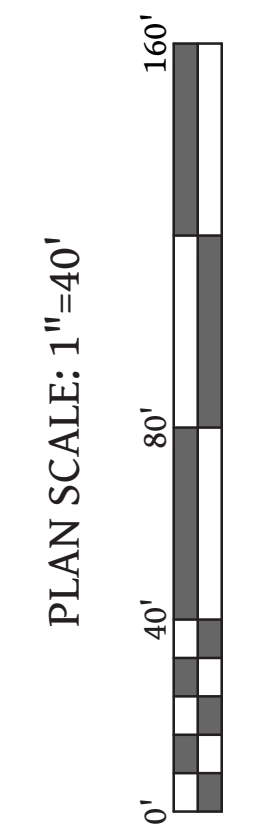
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ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION (PORTION OF SITE)



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UPDATES FOR CONSERVATION APPLICATION	2019-03-26	D.J.M.

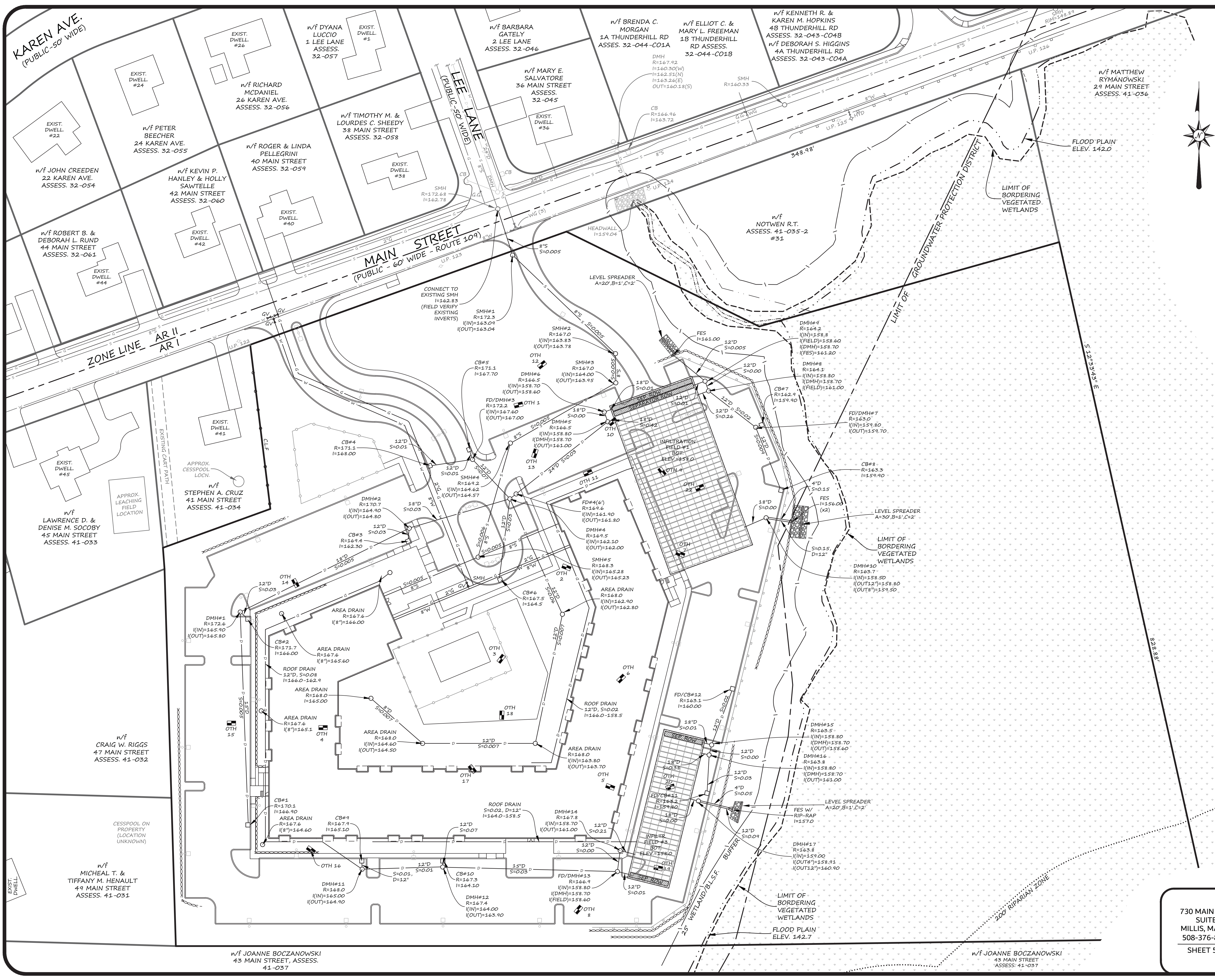
PLAN DATE: OCTOBER 11, 2018

39 MAIN STREET  
GRADING  
PLAN OF LAND  
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730 MAIN STREET  
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SHEET 4 OF 9







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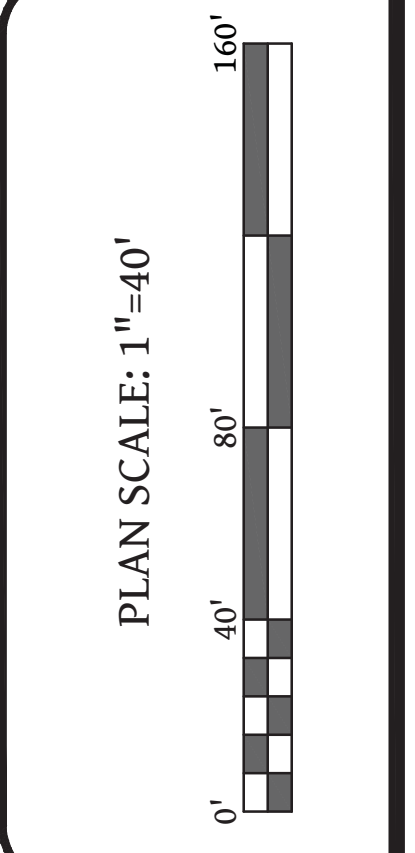
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ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION (PORTION OF SITE)



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UPDATES FOR CONSERVATION APPLICATION	2019-03-26	D.J.M.

39 MAIN STREET  
UTILITIES  
PLAN OF LAND  
IN  
MEDWAY, MA

- UTILITY NOTES:
- DOMESTIC WATER SERVICE SHALL BE TYPE K COPPER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWER AND WATER DEPARTMENT. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC, IRRIGATION AND FIRE WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
  - WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
  - SEWER SERVICE SHALL BE 8-INCH SDR35 PIPE. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS.
  - DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
  - THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.

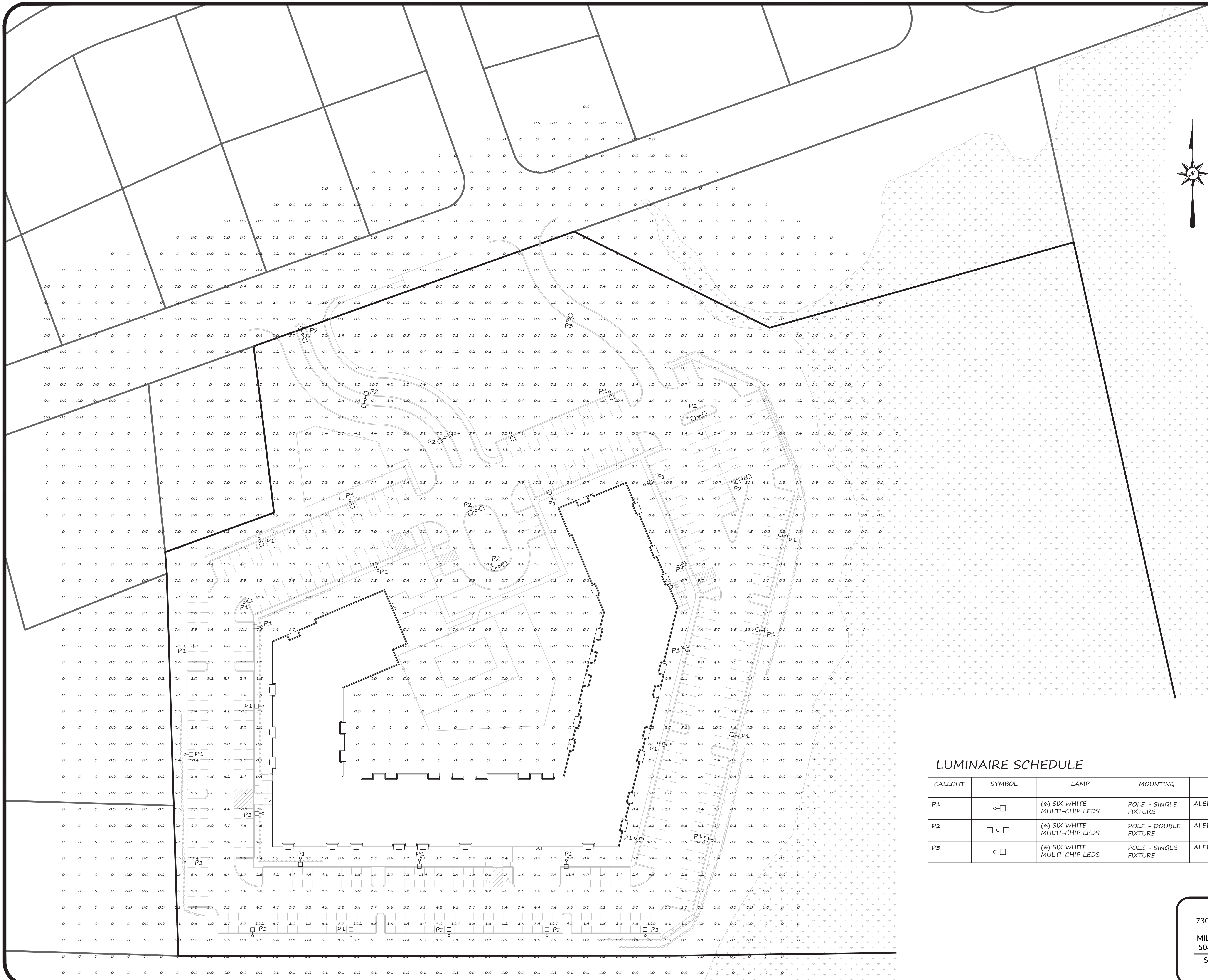
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SHEET 5 OF 9



w/f JOANNE BOCZANOWSKI  
43 MAIN STREET, ASSESS.  
41-037

w/f JOANNE BOCZANOWSKI  
43 MAIN STREET  
ASSESS. 41-037





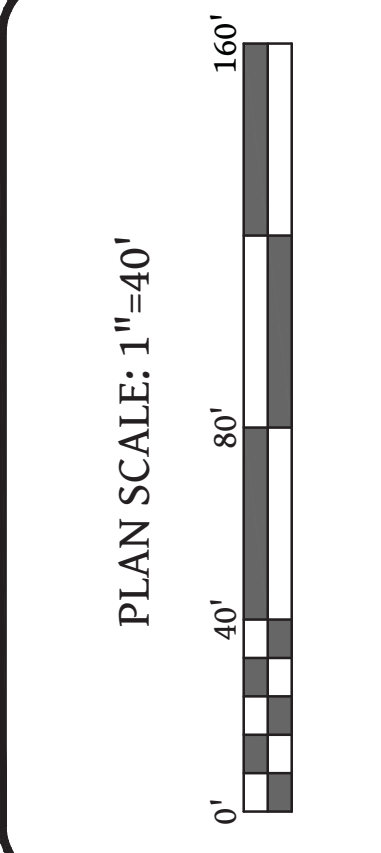
OWNER  
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PARCEL 35 & 35-1

ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION  
(PORTION OF SITE)

Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.04.04 08:58:07 -0400



REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2018-11-30	D.J.M.
UPDATES FOR COMPE PERMIT APPLICATION	2019-03-10	D.J.M.
UPDATES FOR CONSERVATION APPLICATION	2019-03-26	D.J.M.

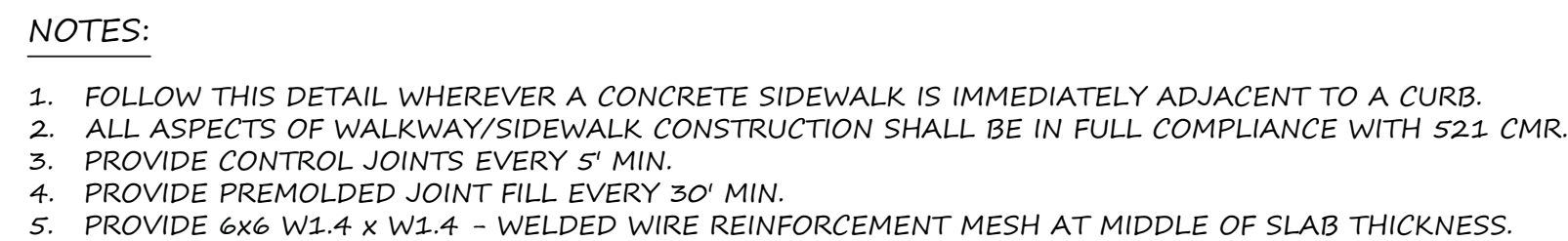
39 MAIN STREET  
LIGHTING  
PLAN OF LAND  
IN  
MEDWAY, MA

LUMINAIRE SCHEDULE						
CALLOUT	SYMBOL	LAMP	MOUNTING	MODEL	QUANTITY	MOUNTING HEIGHT
P1		(6) SIX WHITE MULTI-CHIP LEDS	POLE - SINGLE FIXTURE	ALED4T12SY (TYPE IV)	29	20'
P2		(6) SIX WHITE MULTI-CHIP LEDS	POLE - DOUBLE FIXTURE	ALED4T12SY (TYPE IV)	7	20'
P3		(6) SIX WHITE MULTI-CHIP LEDS	POLE - SINGLE FIXTURE	ALED4T12SY (TYPE IV)	1	20'

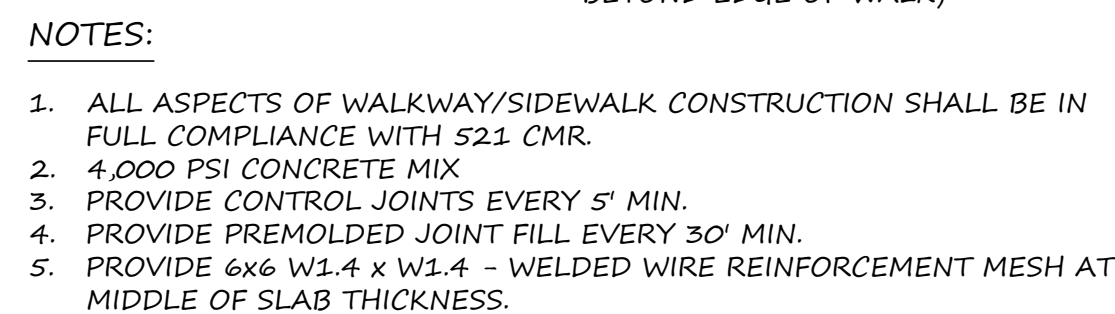
730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)  
SHEET 6 OF 9



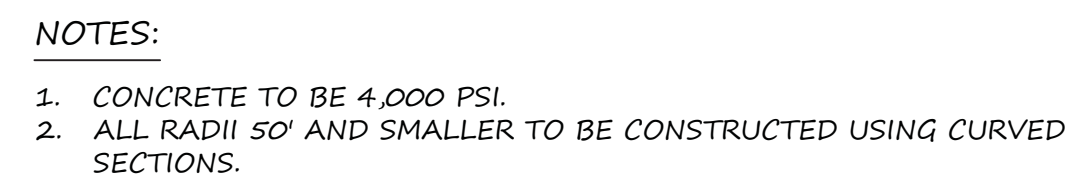




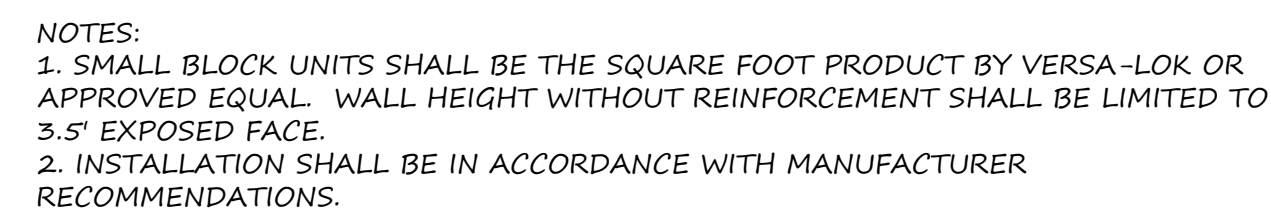
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(NO SCALE)



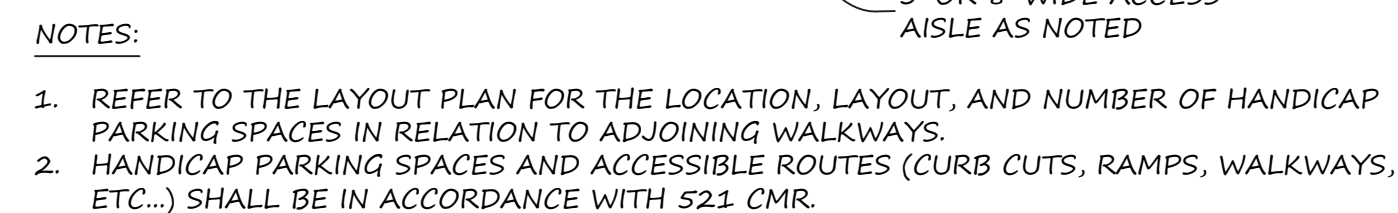
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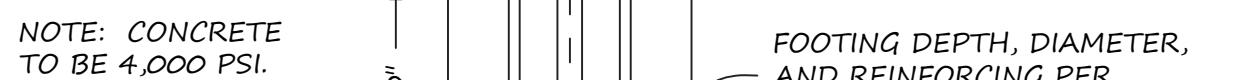
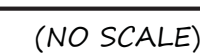
NOT TO SCALE



NOT TO SCALE



(NO SCALE)



NOT TO SCALE



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Merrikin, P.E.  
Date: 2019.04.04 08:57:40  
-04'00'

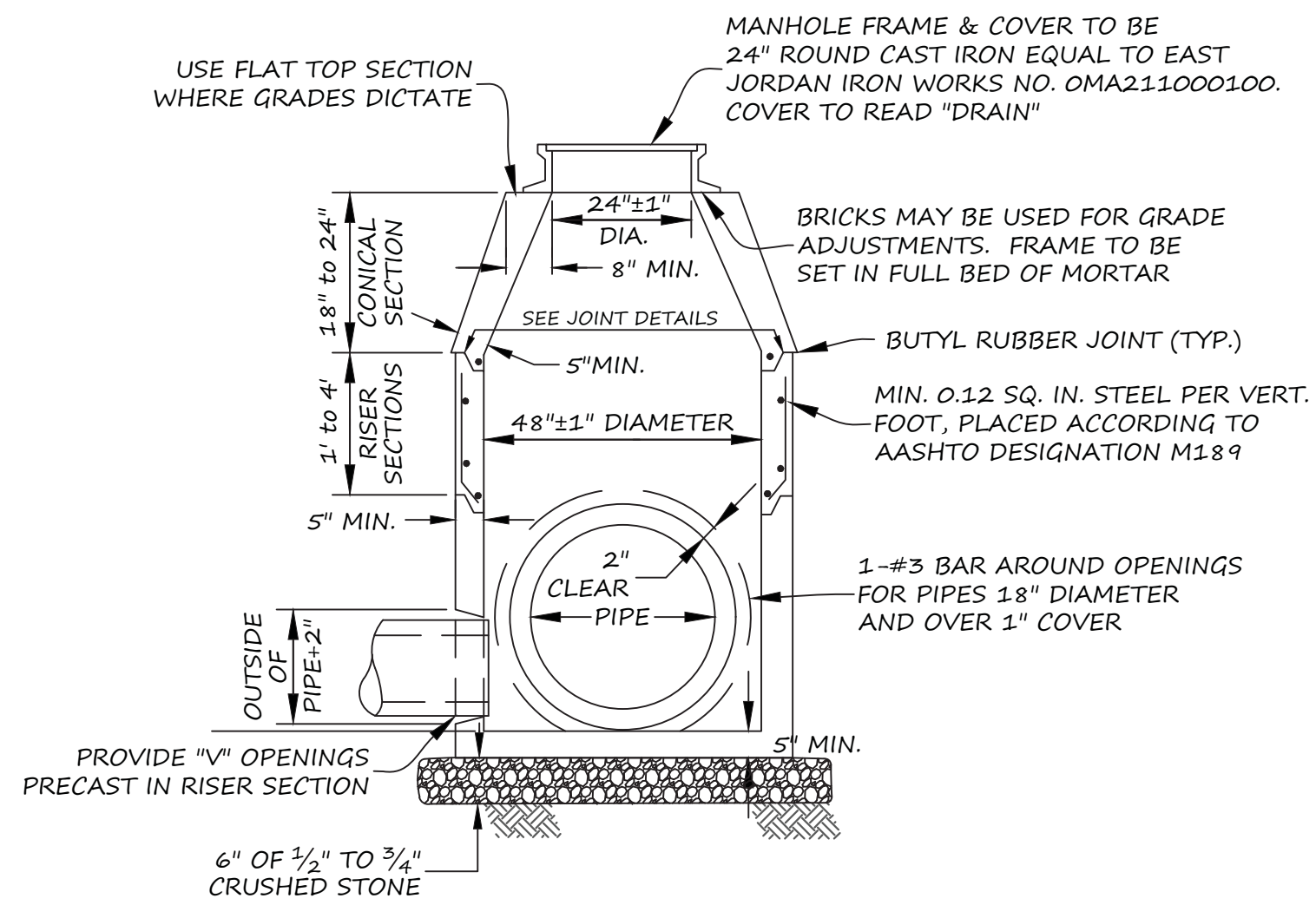
PLAN SCALE: NOT TO SCALE

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339 MAIN STREET  
DETAILS  
PLAN OF LAND  
IN  
MEDWAY, MA

**LEGACY**  
ENGINEERING

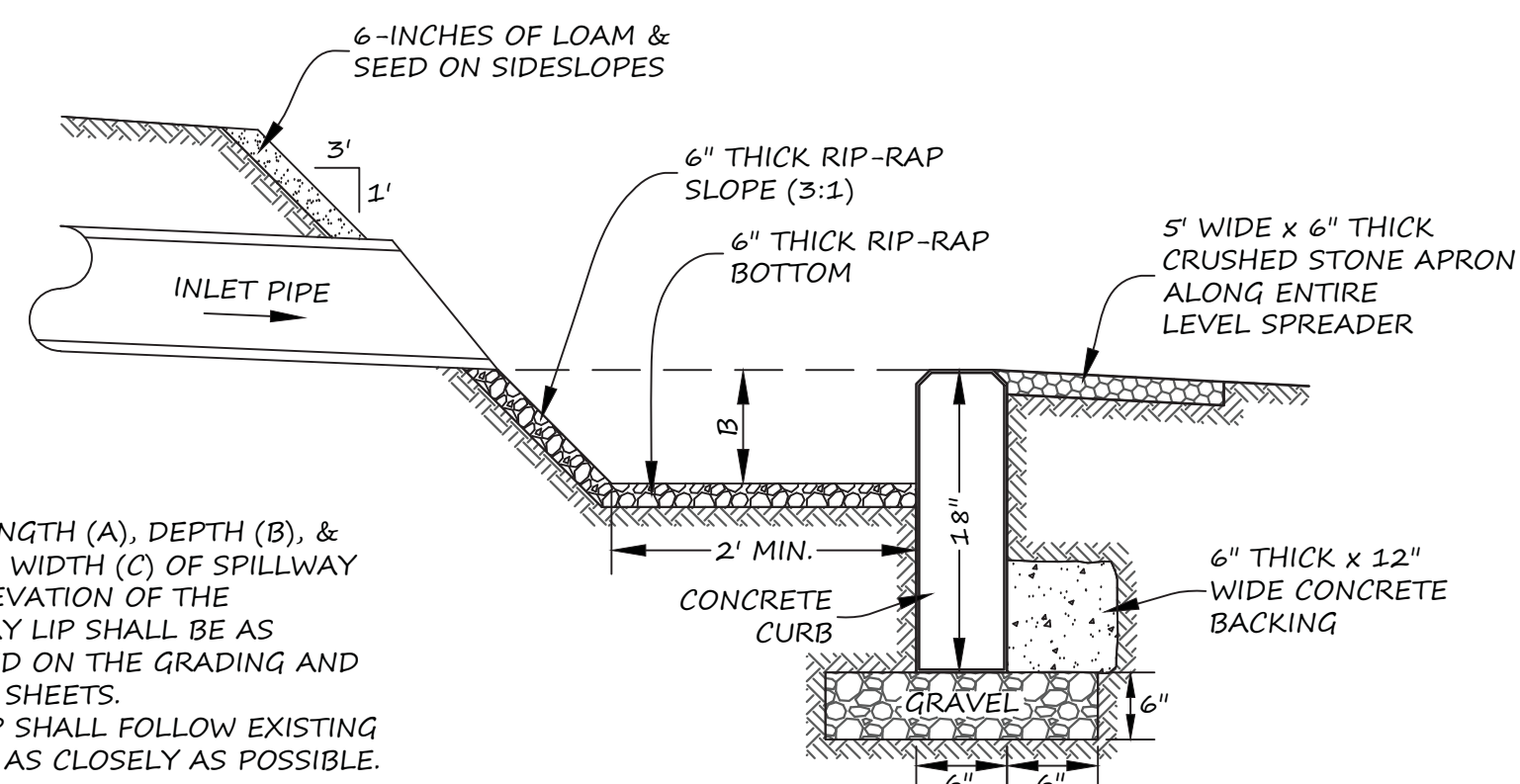




- NOTES:
- MANHOLE DIAMETER SHALL BE INCREASED IF NUMBER, SIZE, AND CONFIGURATION OF INLET/OUTLET PIPING NECESSITATES A LARGER MANHOLE DIAMETER.
  - SUBSTITUTE FRAME AND COVERS SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.

### PRECAST CONCRETE MANHOLE

NOT TO SCALE

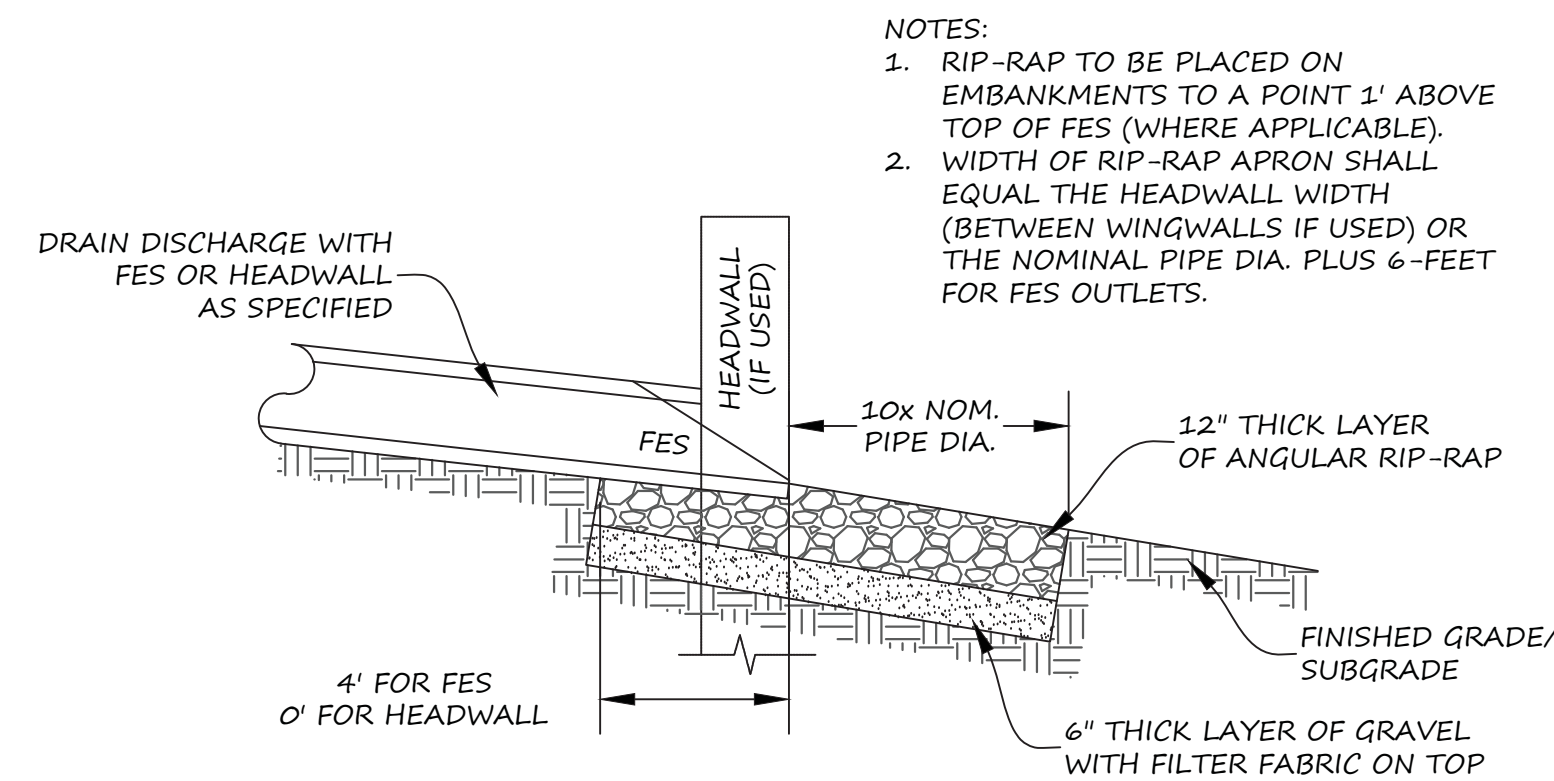


- NOTES:
- WEIR LENGTH (A), DEPTH (B), & BOTTOM WIDTH (C) OF SPILLWAY AND ELEVATION OF THE SPILLWAY LIP SHALL BE AS SPECIFIED ON THE GRADING AND PROFILE SHEETS.
  - WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.

### TYPICAL SECTIONAL VIEW

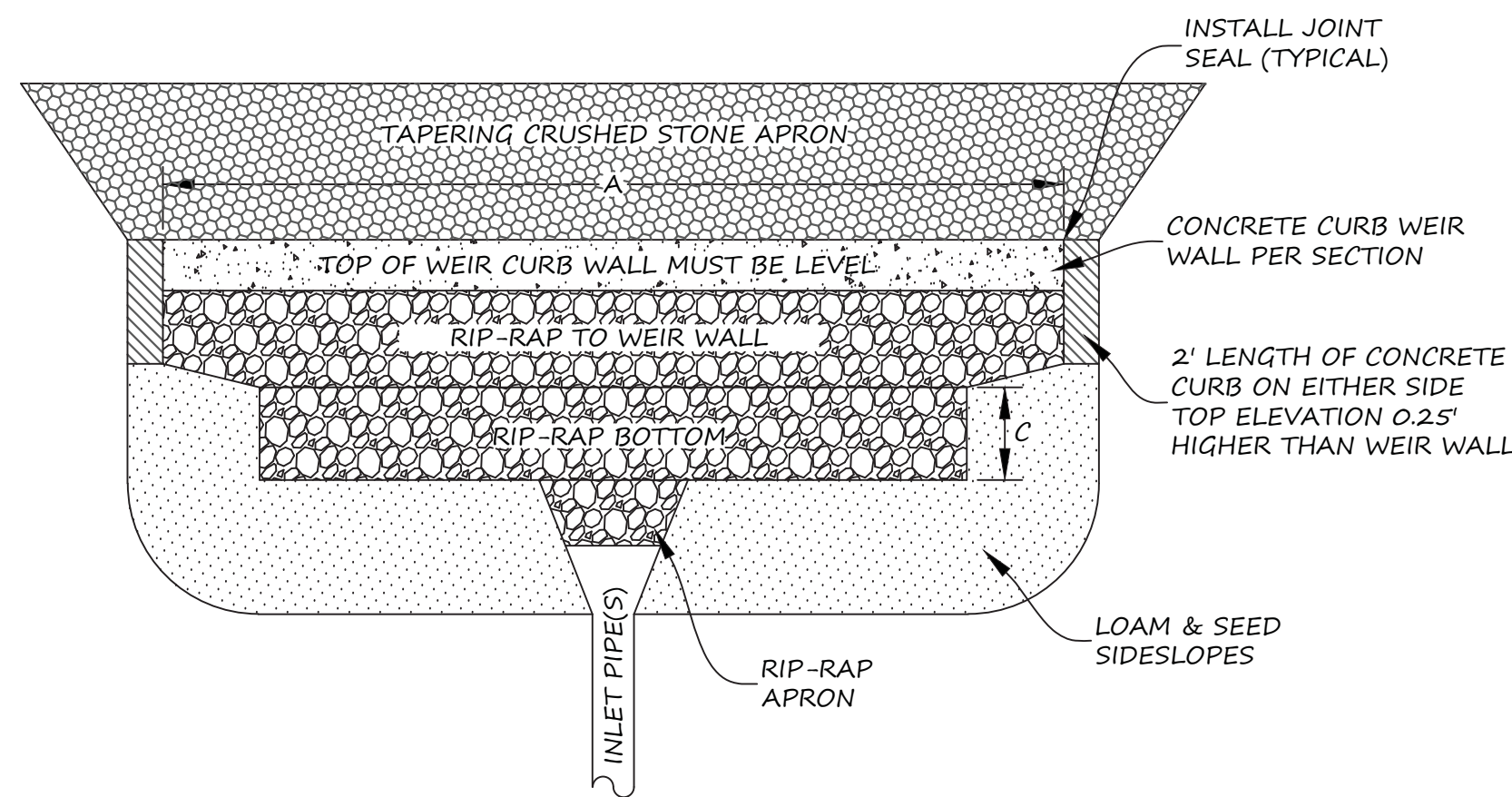
### LEVEL SPREADER DETAIL

NOT TO SCALE



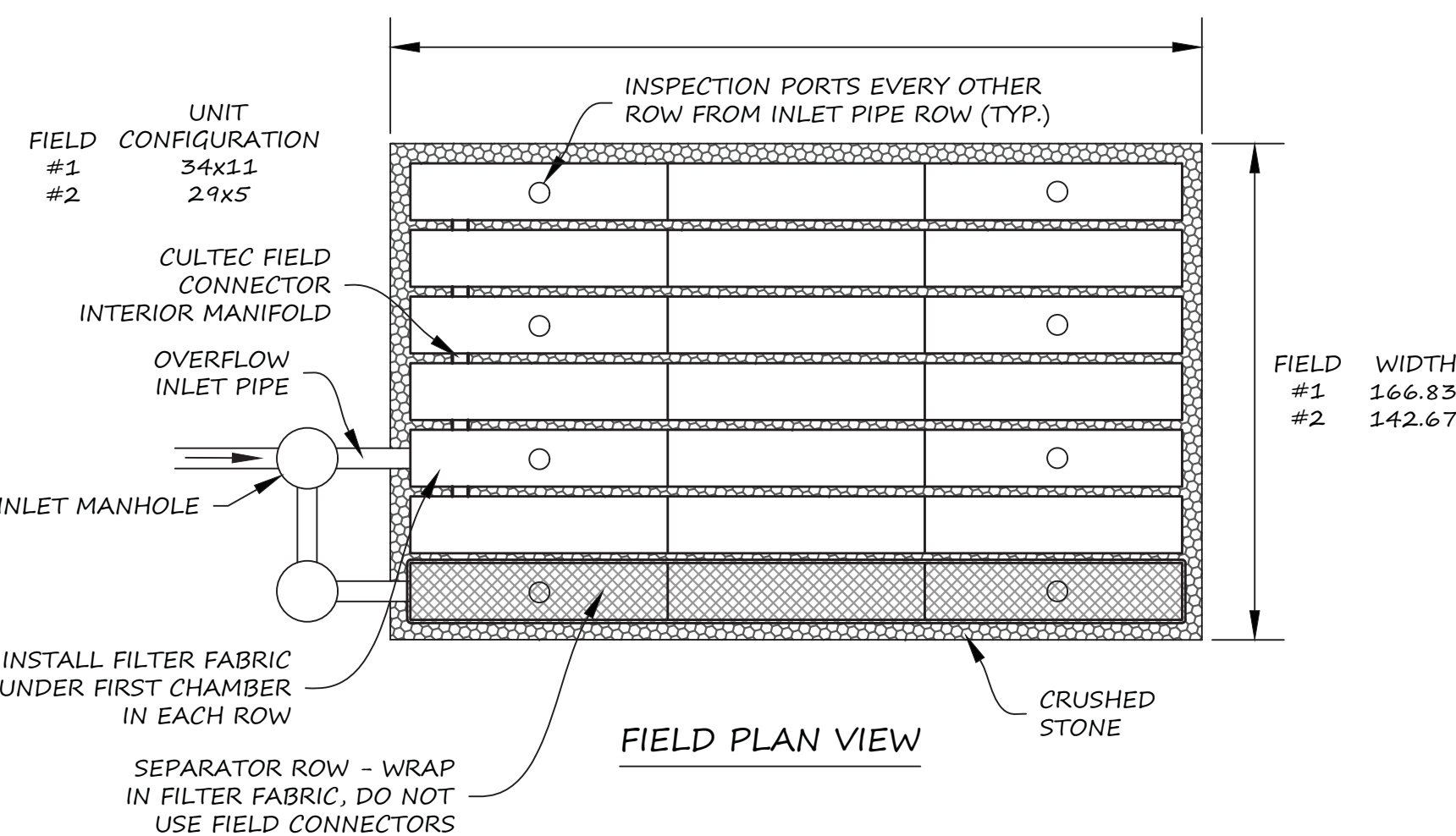
### TYPICAL RIP-RAP APRON DETAIL

NOT TO SCALE

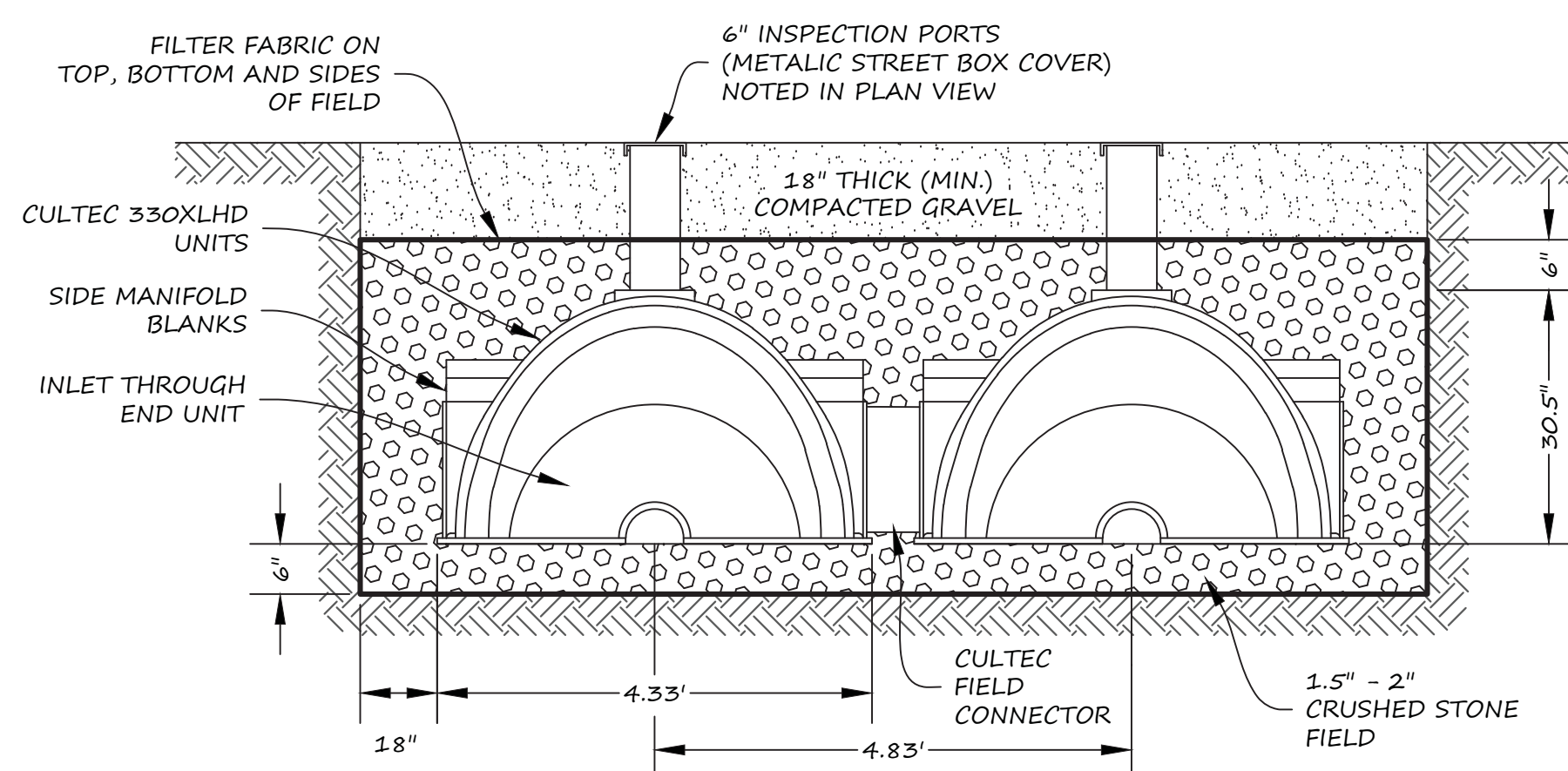


### PLAN VIEW

FIELD	LENGTH
#1	81.50'
#2	39.50'



### FIELD PLAN VIEW



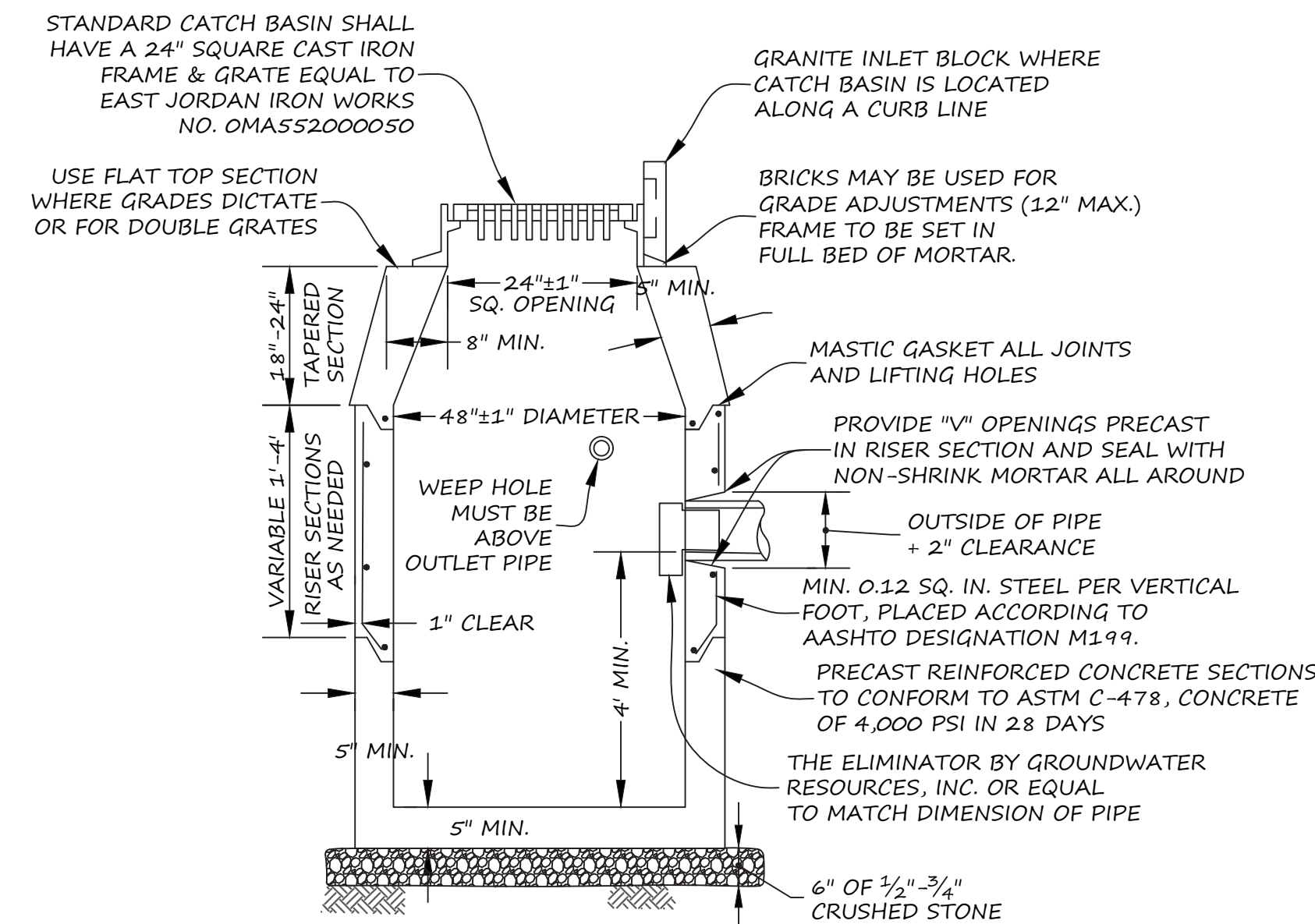
### SECTION THROUGH TYPICAL LEACHING FIELD

NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 330XLHD AS MANUFACTURED BY CULTREC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED
- EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.
- REMOVE FILL UNDERNEATH INFILTRATION FIELDS AND REPLACE WITH SAND OR GRAVEL AS NEEDED.

### INFILTRATION TRENCH/FIELD DETAIL

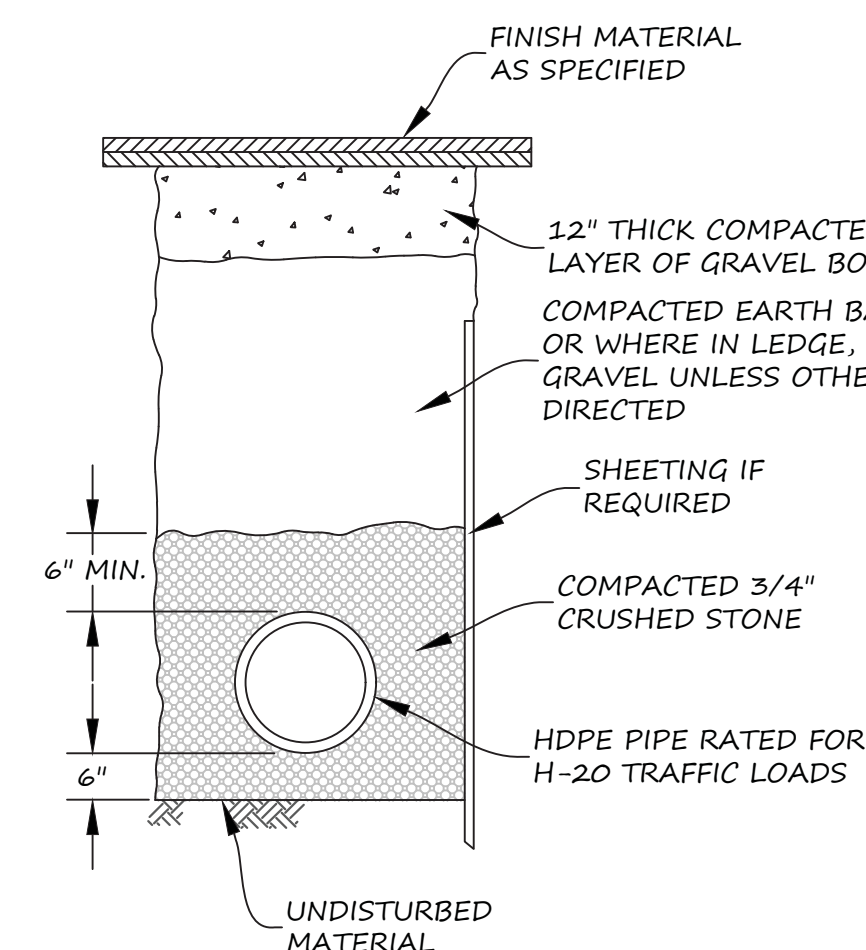
NOT TO SCALE



- NOTES:
- NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
  - SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
  - PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. OMA544000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

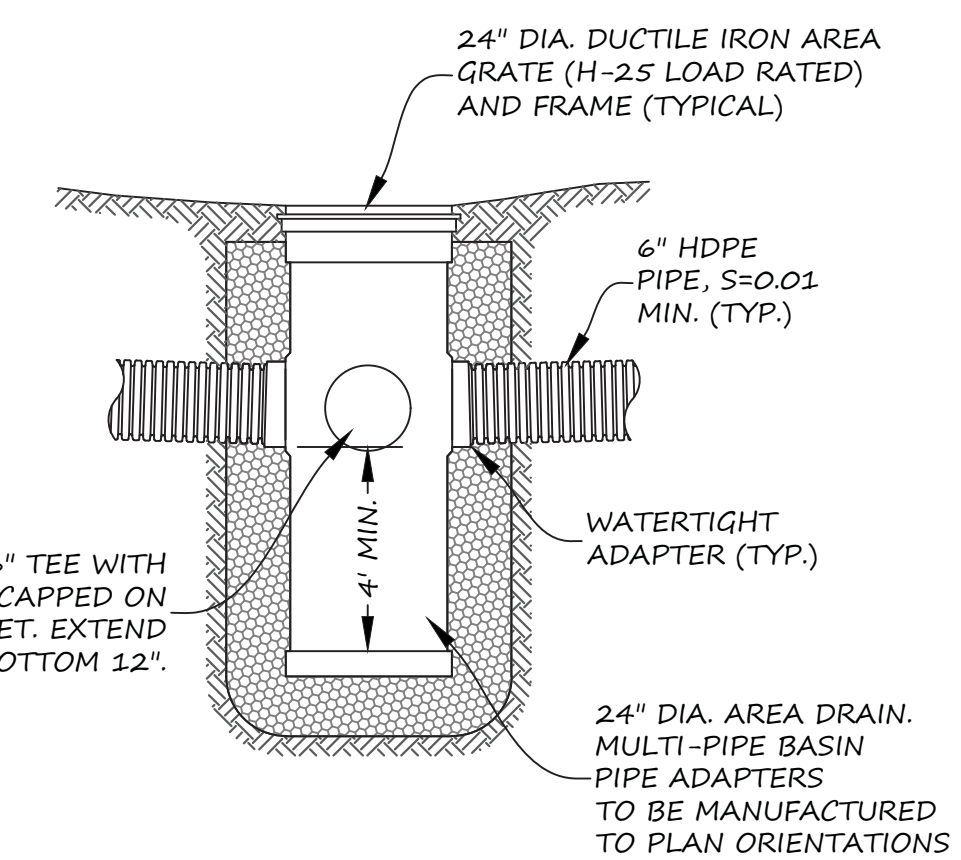
### PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



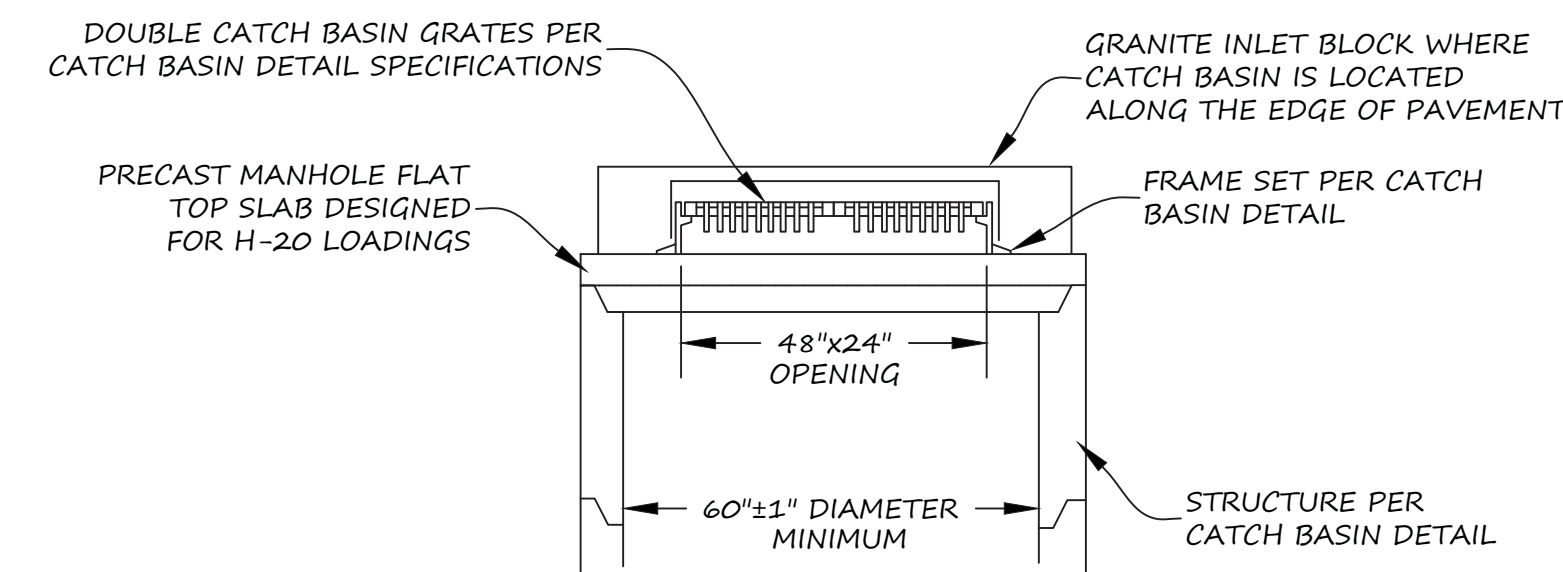
### TYPICAL DRAIN TRENCH

(NO SCALE)



### AREA DRAIN (A.D.) DETAIL

NOT TO SCALE



### CATCH BASIN DOUBLE GRATE DETAIL

NOT TO SCALE

OWNER  
NOTWEN REALTY TRUST  
33 FRUIT STREET  
NORFOLK, MA 02056

APPLICANT  
STRATEGIC LAND VENTURES  
257 HILLSIDE AVENUE  
NEEDHAM, MA 02494

MAP AND PARCEL  
MAP 41  
PARCEL 35 & 35-1

ZONING DISTRICT  
AGRICULTURAL RESIDENTIAL 1  
GROUNDWATER PROTECTION (PORTION OF SITE)



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2019.04.04 08:57:14 -04'00'

PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY
REVISE PER TOWN COMMENTS	2018-11-30	D.J.M.
UPDATES FOR COMPE PERMIT APPLICATION	2014-03-10	D.J.M.
UPDATES FOR CONSERVATION APPLICATION	2014-03-26	D.J.M.

PLAN DATE: OCTOBER 11, 2018

39 MAIN STREET  
DETAILS  
PLAN OF LAND  
IN  
MEDWAY, MA

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)  
SHEET 8 OF 9

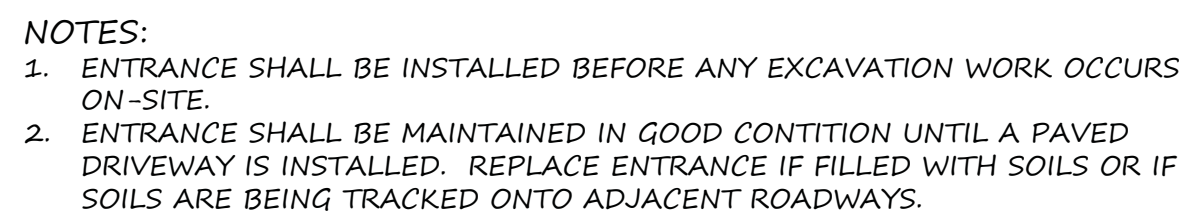


LEGACY  
ENGINEERING

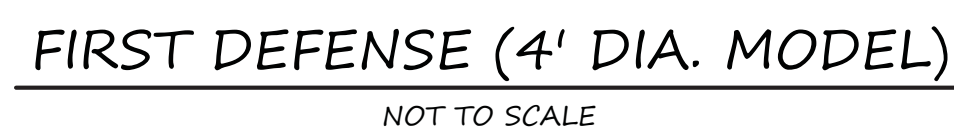




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J. Merrikin, P.E.  
Date: 2019.04.04 08:56:50  
04'00'



NOT TO SCALE



NOT TO SCALE

[illegible]

**LEGACY**  
ENGINEERING





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman  
Robert K. Tucker, Vice-Chairman  
Thomas A. Gay, Clerk  
Matthew J. Hayes, P.E.  
Richard Di Iulio*

April 18, 2019

Medway Zoning Board of Appeals  
155 Village Street  
Medway, MA 02053

RE: Friendly 40B Local Initiative Program application – 33 and 39 Main Street

Dear Chairman Stumpf and members of the Zoning Board of Appeals,

At its meetings on April 9 and 23, 2019, the Planning and Economic Development Board discussed the Comprehensive Permit application filed by Strategic Land Ventures Medway I, LLC of Needham, MA with the Zoning Board of Appeals for construction of 190 rental units on the 12.3 acre site at 33 and 39 Main Street under the Massachusetts 40B Local Initiatives Program. The site plan dated 3-26-19 by Legacy Engineering and the undated architectural and elevation plans by Cube 3 were reviewed. The Board offers the following comments to the ZBA for receipt, discussion and consideration at the April 24, 2019 public hearing.

- The Board acknowledges the Town's need to increase the number of affordable housing units in our community in accordance with the Commonwealth's 10% affordable housing goal and recognizes that the proposed apartment development will provide a substantial boost to the Town's accomplishment of that important goal.
- The Town's 2016 *Housing Production Plan* clearly identifies the need for rental housing in Medway. The existing stock of apartment residences is very limited. The last year an apartment building was constructed in Medway was in 1975. The Board is pleased that this development opportunity has presented itself to meet the community's need to diversify its housing supply to include suitable options for young professionals, young families, empty nesters, downsizers, and renters by choice.
- Main Street, as Medway's major arterial roadway and the location of the proposed development, has the most capacity to handle the increased traffic that will be generated by the residents of the apartment complex with the least impact on local streets serving residential neighborhoods.

- This location is close to retail stores, restaurants and businesses at Medway Commons. We are pleased the developer has committed to constructing a sidewalk along the south side of Main Street to provide pedestrian connectivity between the apartments and Medway Commons. We believe this sidewalk will promote enhanced livability and walkability and reduce vehicular trips from the apartments to the nearby services. However, that sidewalk work is not shown on the provided plan set. We recommend the plan set be revised to include a separate sheet for off-site improvements.
- The Board recommends the construction of a sidewalk on the west side of the roadway/driveway into the complex from Main Street so as to better connect pedestrians with the planned sidewalk westerly to Medway Commons.
- Apartment residents may well include persons commuting on regional transit. We believe this development would be an excellent additional pick up and drop off location for Medway's GATRA rush hour shuttle service to and from the Norfolk train station. We are pleased that the applicant has proposed a small bus shelter. We would suggest that the bus shelter be internal to the site and not located out on Main Street.
- It does not appear that any landscaping plan has been provided. This is an absolutely critical element for a development of this nature and the ZBA should require the applicant to prepare and submit such for review during the current review process. The plan should also include provisions for a substantial landscape treatment at the development's primary Main Street entrance. We would also recommend that the location for a development sign be shown on the site plan.
- The site plan shows the location of parking around the perimeter of the building. Through the installation of well-designed fencing and substantial landscaped buffers, the negative impacts of traffic lights and noise on abutters may be lessened. Although the applicant has requested that the *Site Plan Rules and Regulations* be waived in their entirety, the Board asks the ZBA to consider the buffer area landscaping regulation noted below as it negotiates the project's landscaping and site amenities with the applicant.

***Landscape Buffers*** - Four (4) season evergreen landscape buffers between the site and adjoining properties are encouraged. If a commercial site abuts residential property then four (4) season visual and sound buffers shall be required and shall protect the residential area to the greatest extent possible. At least fifty (50) feet of either supplemented existing woodland or dense, native vegetation shall be employed to buffer the proposed use from the residential area. The vegetation may be supplemented with earth berms of a reasonable height and quality fencing using wood or other materials approximating wood. Where buffers are required, one (1) native evergreen tree of at least six (6) feet in height shall be planted six (6) foot on center. If woodlands currently exist on the site as a natural buffer, they shall be incorporated into the plan. The buffer shall provide four (4) seasons of screening.

- The Board would also recommend more landscaped breaks in the long runs of parking spaces. Although the applicant has requested that the *Site Plan Rules and Regulations* be waived in their entirety, the Board asks the ZBA to consider the parking lot landscaping regulation noted below as it negotiates the project's landscaping and site amenities.

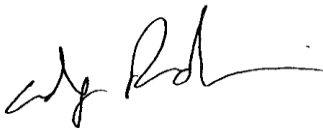
***Parking Areas*** - The Planning Board requires substantial planting islands in parking areas to break up the "sea of asphalt" appearance. Internal landscape planted divisions (islands and peninsulas) shall be constructed within all parking lots to provide shading and buffering. At

*least one deciduous tree of a minimum two and one-half (2 1/2) inches caliper in diameter shall be provided for every six (6) parking spaces.*

- The proposed development has a massive scale which is accentuated by it having only one building. It has the feel of a large hotel instead of a residential apartment in a small suburb. The substantial scale of the building could be mitigated by breaking the one building into several. This would also create some pockets of lawn and landscaped areas to provide some much needed visual relief.
- The applicant has proposed 304 parking spaces on the site; this is a ratio of 1.6 spaces per dwelling unit. This is less than the Town's standard parking requirement of 2 spaces per unit for multifamily dwellings. The Board would encourage the ZBA to require the applicant to provide documentation that this lower number of spaces is justified and appropriate based on data from similar large apartment developments located in the more outlying suburbs similar to Medway. Comparing parking needs and supply for this site to apartment developments located in the inner suburbs with real public transit options is not a thoughtful or helpful approach.
- TRASH . . . I am not sure if trash is being handled interior to the building at various locations or thru outside dumpsters. They need to be shown on the plan if located outside along with suitable enclosures.
- Lighting – We note the photometric plan included with the site plan does not comply with the provisions of the *Zoning Bylaw* in terms of light spillage beyond the property lines nor has the applicant requested a waiver from that section of the *Zoning Bylaw*. The applicant should either comply with the lighting provisions or request a waiver. However, it seems that compliance with the Bylaw's lighting requirements would not be an unreasonable or overly burdensome undertaking.

We understand the Design Review Committee has also submitted a letter to the ZBA. We heartily encourage the Zoning Board to fully consider the DRC's comments and recommendations regarding the building's architecture in order to refine the proposed architectural design of this large scale residential development toward something more compatible with Medway's character, the *Medway Design Review Guidelines*, and the sensibilities of the community.

Very truly yours,



Andy Rodenhiser  
Chairman



**April 23, 2019**

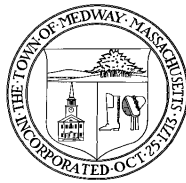
**Medway Planning & Economic Development Board  
Meeting**

**Evergreen Village Multifamily Special  
Permit Public Hearing Continuation**

- Public Hearing Continuation Notice
- SAC letter to applicant Maria Varrichione dated 4-17-19

All activity relating to this project is on hold until the applicant works through the historic building issue. I expect Maria Varrichione will attend to update the Board.





**TOWN OF MEDWAY**  
**Planning & Economic Development Board**  
155 Village Street  
Medway, Massachusetts 02053

*Andy Rodenhiser, Chairman  
Robert K. Tucker, Vice-Chairman  
Thomas A. Gay, Clerk  
Matthew Hayes, P.E.  
Richard Di Iulio*

**MEMORANDUM**

April 10, 2019

TO: Maryjane White, Town Clerk  
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning & Economic Development Coordinator

RE: **Public Hearing Continuation: Evergreen Village Multifamily Development  
(22 Evergreen Street)**  
**CONTINUATION DATE: Tuesday, April 23, 2019 at 7:15 p.m.**  
**LOCATION: Medway Town Hall – Sanford Hall, 155 Village Street**

At its meeting on April 9, 2019, the Planning and Economic Development Board (PEDB) voted to continue the public hearing on the applications of Sampson Pond LLC of Medway, MA for a multifamily housing special permit and major site plan approval to develop a twelve unit townhouse condominium community and associated site improvements at 22 Evergreen Street to the next regular PEDB meeting to be held on Tuesday, April 23, 2019 at 7:15 p.m. in Sanford Hall at Medway Town Hall, 155 Village Street. The meeting room is accessible via elevator to persons with physical disabilities.

The proposed development will include construction of six, 2-unit, 2½ story townhouse buildings; four 2-bedroom units and eight 3-bedroom units are proposed. One affordable dwelling unit will be included within the development. Access will be from Evergreen Street. A total of 24, off-street parking spaces will be provided. Sub-surface stormwater management facilities will be installed on site as will landscaping, lighting, an open space area, and a gardening area. Connections will be made to the existing Town sewer and water services in Evergreen Street. The site plan entitled *Evergreen Village*, dated March 15, 2019 was prepared by Ronald Tiberi, P.E. of Natick MA.

The applications, site plan and associated documents for the proposed Evergreen Village townhouse development are on file with the Medway Town Clerk and at the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours. The materials have also been posted to the Planning and Economic Development Board's page at the Town's web site at <https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0>.

**If Town staff, boards and committees wish to provide comments on the proposed development and site plan, please do so by April 17<sup>th</sup> so that I can share them with the Board and the applicant and enter them into the public record during the hearing on April 23<sup>rd</sup>.**

Please contact me if you have any questions. Thanks.

Telephone: 508-533-3291      Fax: 508-321-4987  
planningboard@townofmedway.org



**TOWN OF MEDWAY**  
**Planning & Economic Development**  
155 Village Street  
Medway, Massachusetts 02053

April 16, 2019

Ms. Maria Varicchione  
Sampson Pond LLC  
PO Box 5  
Medway, MA 02053

RE: Evergreen Village

Dear Maria,

Building Commissioner Jack Mee has forwarded to me the letter dated April 10, 2019 which he received from Attorney William M. Pezzoni on your behalf. His letter pertains to the status of the demolition permit application for 22 Evergreen Street and provides considerable information regarding the efforts undertaken to consider ways to save the building from demolition. I understand Jack will be responding to Mr. Pezzoni's communication directly.

However, Mr. Pezzoni's letter does not address the issue of the prohibition of the demolition of an "historically significant building" as part of a multifamily special permit development under Section 5.6.4 of the Medway Zoning Bylaw. This is what we discussed when Jack Mee and I met with you at Town Hall on March 27, 2019. Under Section 5.6.4, an historically significant building (on a property being developed for multifamily housing) shall not be demolished unless:

- 1) The Inspector of Buildings (Building Commissioner) has determined it is unused, uninhabited or abandoned, and open to the weather; or
- 2) The Board of Selectmen or the Board of Health has determined it to be a nuisance or dangerous pursuant to applicable state laws and/or the State Building Code.

So, even if the 9 month demolition delay period has concluded and the Historical Commission is satisfied that there is no reasonable likelihood that either the owner or some other person or group is willing to purchase, rehabilitate and restore the subject building, or the Commission is satisfied that the owner had made continuing, bona fide and reasonable efforts to locate a purchaser to preserve, rehabilitate and restore the subject building, and that such efforts have been unsuccessful, an "historically significant building" cannot be demolished and the site developed under the provisions of the multifamily bylaw (Section 5.6.4) unless one or the other of the above two determinations are made.

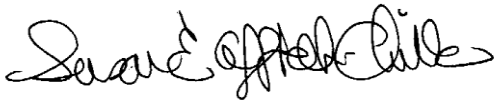
Jack Mee has already found that he cannot make a positive determination per item 1) above.

To the best of my knowledge, you have not contacted the Board of Selectmen or the Board of Health to request their review of the 22 Evergreen building pursuant to item 2) above. Do you intend to do so?

We had understood you would be contacting your attorney to prepare a letter to address the multifamily zoning requirements. The letter from Mr. Pezzoni is limited to the Historical Commission's demolition delay bylaw. Is a separate letter forthcoming on the zoning matter?

I am available for further conversation with you and/or Mr. Pezzoni. Please do not hesitate to contact me.

Best regards,

A handwritten signature in black ink, appearing to read "Susan E. Affleck-Childs", with a stylized, cursive script.

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator

cc: Jack Mee, Building Commissioner  
Barbara Saint Andre, Director of Community & Economic Development  
Ron Tiberi, P.E.

**WILLIAM M. PEZZONI**  
Attorney at Law

One International Place  
Boston, MA 02110  
T: (617) 345-4777 F: (617) 206-9339  
wpezzoni@daypitney.com

April 10, 2019

**VIA E-MAIL (JMEE@TOWNOFMEDWAY.ORG)**  
**AND REGULAR MAIL**

Mr. Jack Mee, Building Commissioner  
Building Department  
155 Village Street  
Medway, MA 02053

Re: Demolition Permit for 22-24 Evergreen Street, Medway, MA("Property")

Dear Commissioner Mee:

Pursuant to our recent conversation, I represent the developer for the above-referenced Property and we are submitting the following for your review and comment relative to the issuance of the Demolition Permit for the Property. Pursuant to our discussions, it is our position that the owners submitted their Notice of Intent to Demolish the Property in the summer of 2017 pursuant to the applicable regulations and zoning in effect (Article XVII- Historical Properties) and as such the 2017 version would be controlling, not the subsequent regulations and zoning implemented at the 2018 Town Meeting, as suggested by others.

As you are aware, the members of the Historical Commission ("Commission") met at a public meeting on August 30, 2017 to discuss same. As a result of that meeting, the Commission determined that the Property was "a preferably-preserved historically-significant building" and the Commission voted 5 - 0 to invoke the nine month demolition delay from August 31, 2017 until May 30, 2018. As was submitted to the Commission, the homeowners conveyed they had been attempting to sell the Property and after review and analysis they determined there were substantive building and structural issues with the Property and it was not financially feasible to rehabilitate/renovate same. Issues noted included (i) extensive repairs were needed for all major infrastructure systems including electrical, HVAC, plumbing and interior walls; and (ii) all structural components including the exterior foundations and interior supports were inadequate and in need of repair. Furthermore, there were asbestos and other issues to be addressed as well. It is clear that the expense outweighed the potential salvaging of the structures.

Subsequent to the Commission's hearing in August of 2018, the owner's daughter – a real estate agent – undertook extensive research and sought multiple options regarding

Mr. Jack Mee, Building Commissioner  
April 10, 2019  
Page 2

alternatives for renovating the Property and/or its development potential. There were multiple meetings with you and others over the course of 2017 and 2018 to discuss alternatives and options. The owner's daughter also pursued several builders/developers to see if they would be interested in renovating/rehabilitating the Property, without any success. It was a consistent finding by all builder/developers that the existing Property was in such disrepair it could not be saved due to the structural/system integrity issues and it was not financially feasible or affordable within a business construction/development model. The daughter-agent also worked with a local Franklin builder/contractor, Steve Phillips of EC Management, Inc. about renovating/rehabilitating the Property which included multiple site walks through the Property with him. Mr. Phillips, ultimately determined not to pursue the project given that the structures were not worth salvaging and full demolition of the existing structures would be required making it financially not feasible. It should also be noted that as far as the owners know, the Commission took no further steps after their hearing in August of 2017 to attempt further research, site visits or even contacting the homeowners in any way. There was only one town member interested in purchasing some of the old wood trim and flooring from the Property and nobody else in the community has raised any further issues or contacted them.

As you are aware, the owners and developer continued to take steps relative to the asbestos inspection and remediation. The gas company has shut off service and removed the meter and the water is shut off in preparation for demolition. The only step remaining is your issuing the demolition permit.

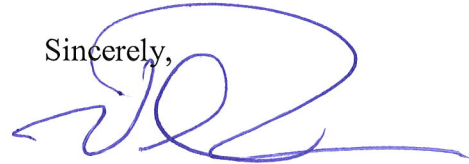
The owners through their efforts have clearly complied with all the requirements of Section 17.4, sub-sections 4.1; 4.2 and 4.3 of Article XVII (the applicable 2017 version), by taking appropriate steps during the nine month delay period. They have investigated preservation options, have been available to actively cooperate in seeking alternatives with the Commission and any interested parties and also complying with Section 4.3 in that they have followed your suggestions and the requirements of the Building Department relative to securing the building, taking steps to preserve same and in recent months prepared the buildings for demolition. It is clear that the new 2018 amended regulations and bylaws (as suggested by others as possibly being applicable) would not be applicable because the owners had filed for the Demolition Permit and had their hearing before the Commission well before any publication, hearings or the 2018 Town Meeting relative to the new requirements regarding same, including Section 5.6.4 of the Zoning Bylaw as amended in 2018.

As the designated and authorized officer in charge of interpretation and enforcement of the zoning bylaws and building regulations of the Town of Medway, it is incumbent upon you, both legally and equitably, to issue the requested demolition permit based upon the above information.

Mr. Jack Mee, Building Commissioner  
April 10, 2019  
Page 3

If there is anything further you may require from me, please do not hesitate to reach out at your earliest opportunity as we would like to move this process along immediately as the developer is presently before the Planning Board concerning its proposed project.

Sincerely,



William M. Pezzoni

WMP

cc: Maria Varrichione  
([dreamhomesmv@gmail.com](mailto:dreamhomesmv@gmail.com))



**April 23, 2019**

**Medway Planning & Economic Development Board  
Meeting**

**Informal Pre-Application Discussion –  
Multifamily Housing Development  
at 274 Village Street**

- Concept Site Plan dated 4-19-19 by Legacy Engineering

This is a 3.59 acre site on the north side of Village Street which includes the APECS building; it is east of Anderson Village. This site had previously been considered for a soccer club. The applicant proposes a total of 14 condominium homes arranged in 7 duplex buildings.









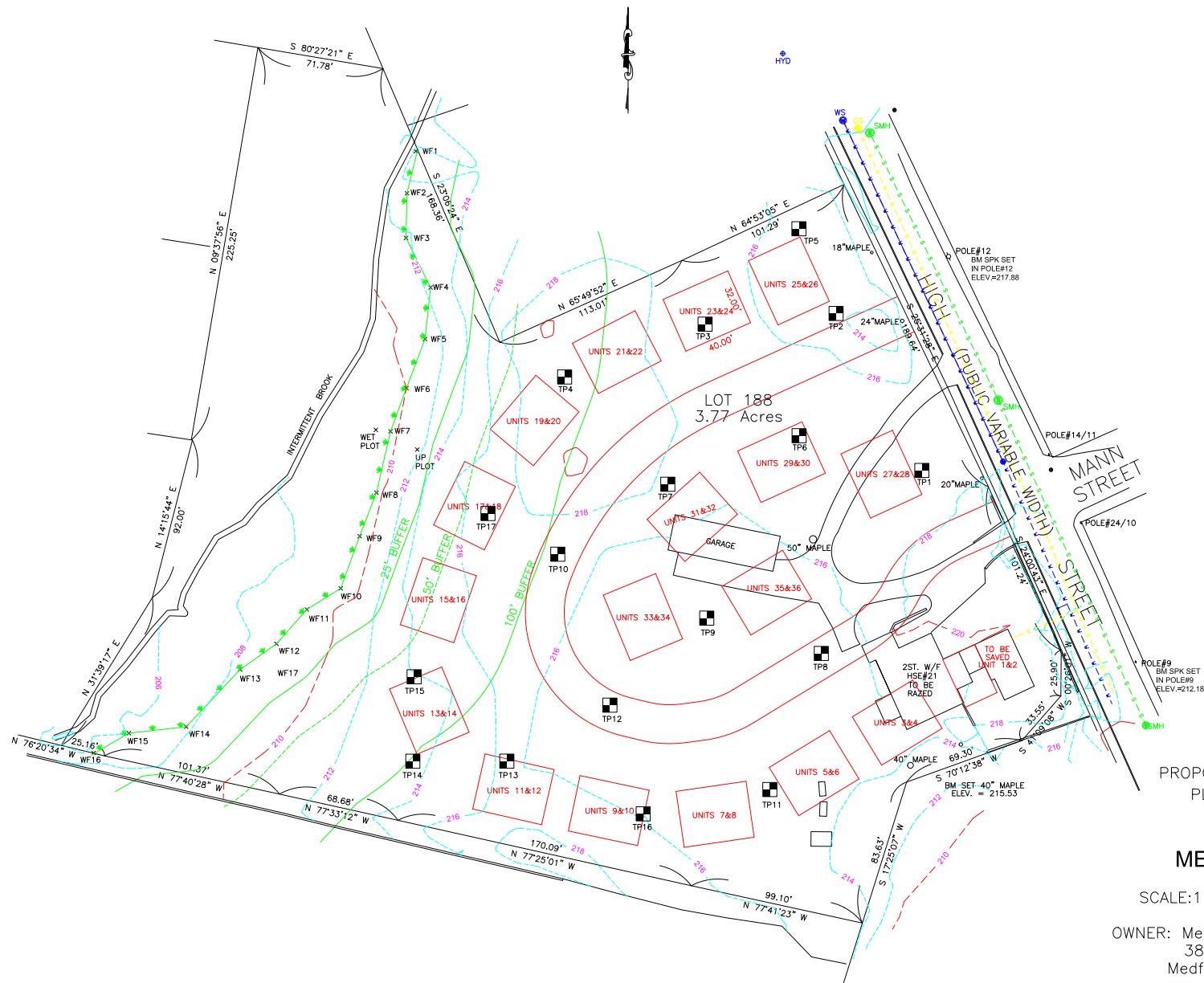
**April 23, 2019**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Informal Pre-Application Discussion –**  
**Multifamily Housing Development**  
**at 21 High Street**

- Concept Site Plan dated 4-9-19
- Elevation and floor plan for proposed duplex townhouses
- Elevation and floor plan for existing historic house and addition

This is a 3.77 acre site on the west side of High Street, catty corner from the Library at 26 High Street. Initial concept is for a total of 36 duplex units in 18 building, including the renovation of the historic property on the premises with an addition. The developer is Patrick and Michael Larkin of Larkin Real Estate Group in Medfield.

<https://larkinre.com/current-homes/>. There are wetlands on the site which have been delineated and approved by the Conservation Commission. I have informed the Larkins that 36 units would not likely be well received and that some architectural variety is also needed. They do plan to attend a future DRC meeting.



PROPOSED UNITS (33)  
PLAN OF LAND  
IN  
MEDWAY, MA.

SCALE: 1"=40' JAN 7, 2019

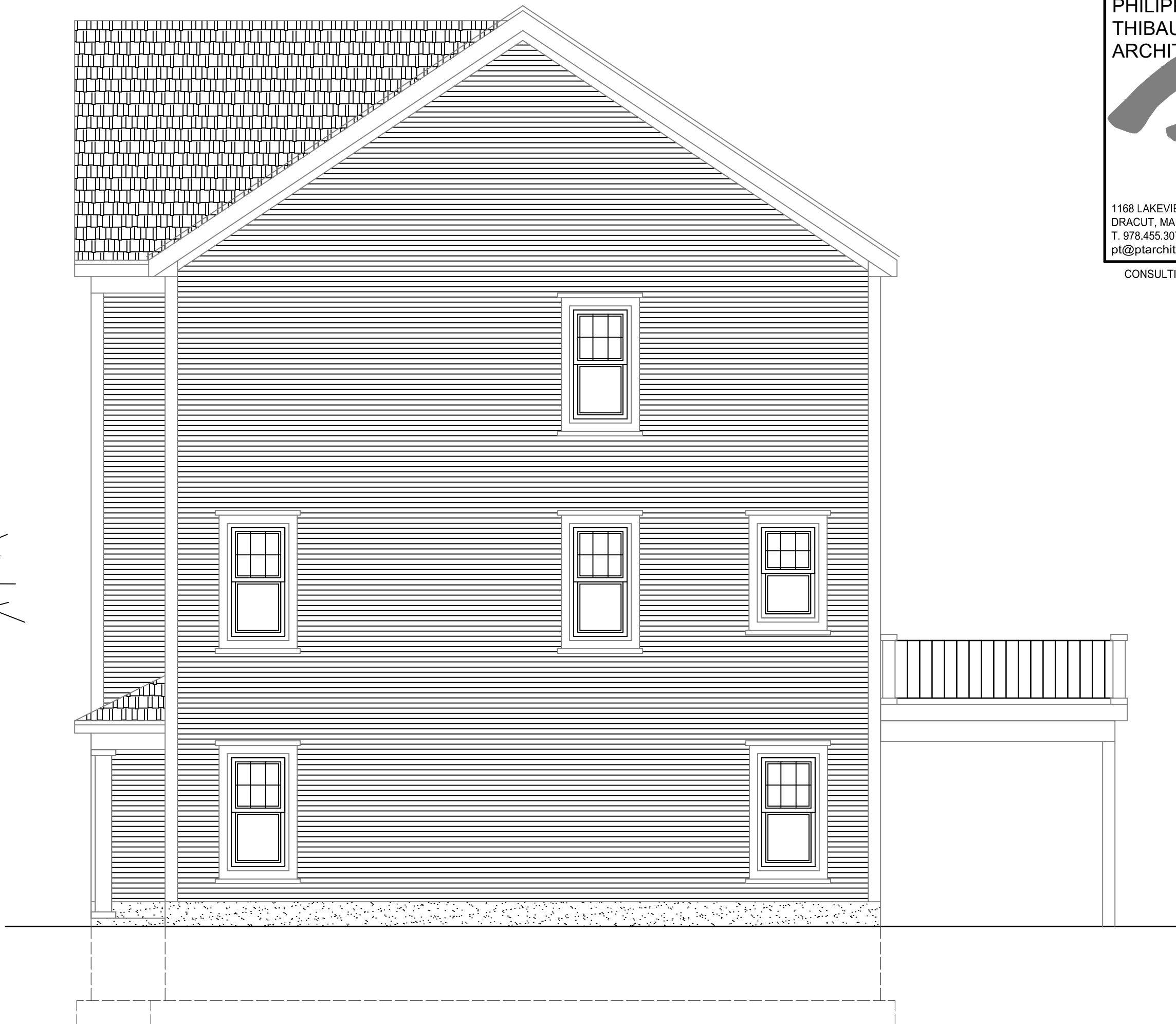
OWNER: Medway Development LLC  
383 Main Street  
Medfield, Ma. 02052

COLONIAL ENGINEERING INC.  
11 AWL STREET MEDWAY, MA.  
508-533-1644





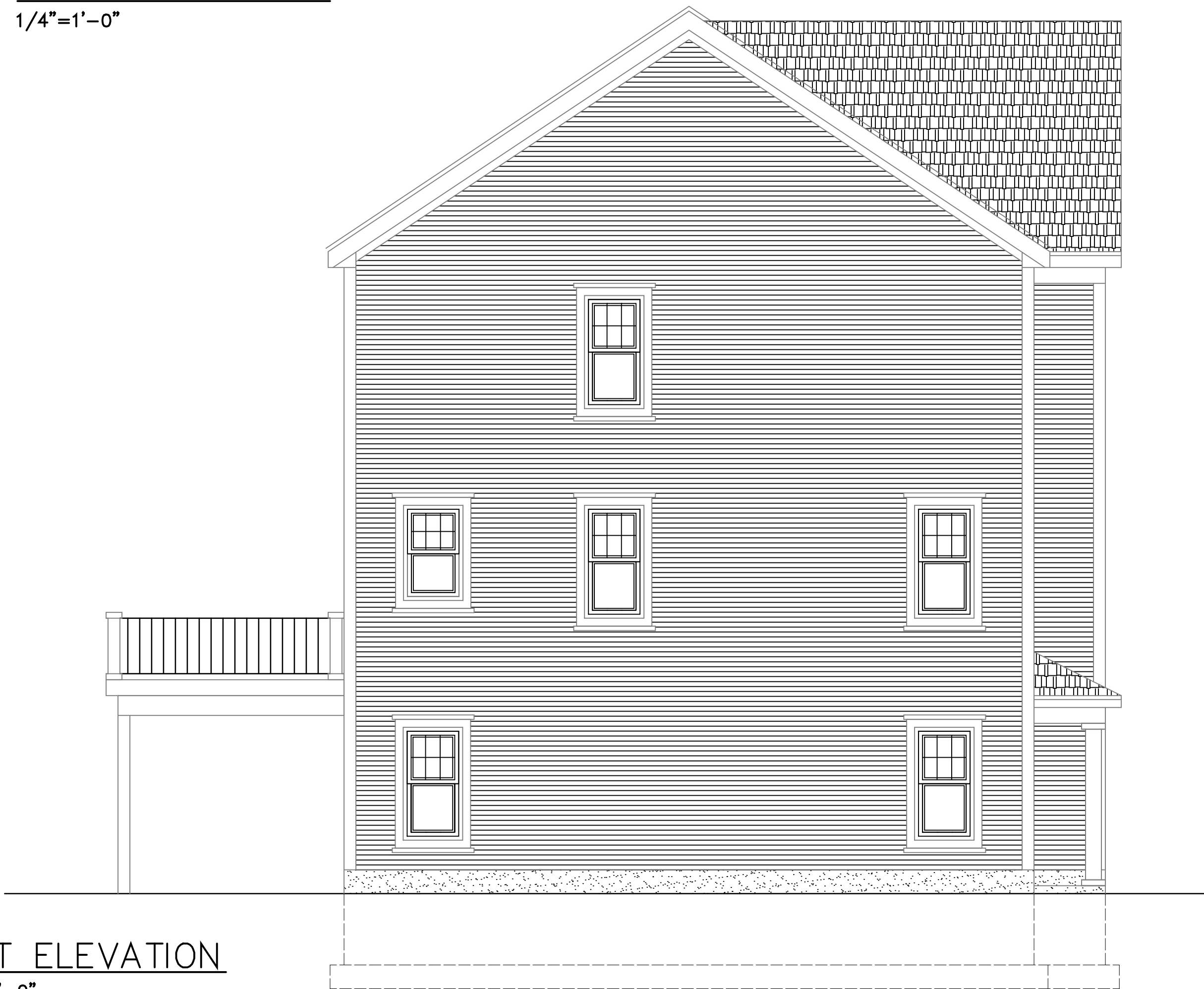
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RIGHT ELEVATION  
1/4"=1'-0"

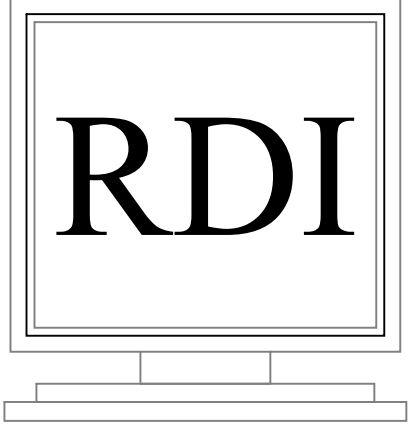


REAR ELEVATION  
1/4"=1'-0"



LEFT ELEVATION  
1/4"=1'-0"

PHILIPPE  
THIBAUT  
ARCHITECT, LLC  
1168 LAKEVIEW AVENUE, #25  
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T: 978.455.3072  
pt@ptarchitect.com  
CONSULTING ARCHITECT



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AI  
BD AMERICAN INSTITUTE  
OF BUILDING DESIGN  
NORTHEAST

PROJECT

LARKIN REAL  
ESTATE GROUP

2 UNIT DESIGN

21 HIGH ST

MEDWAY, MA

SHEET TITLE

ELEVATIONS

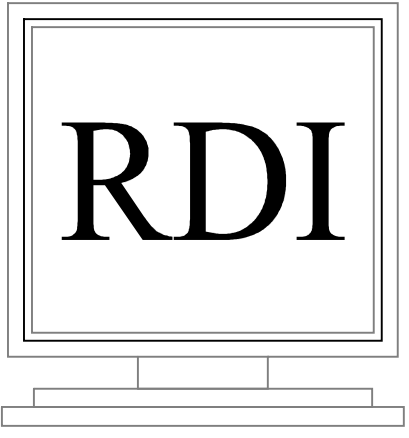
DATE

12-13-2018

REVISIONS

SHEET NUMBER

A-1



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**PROJECT**

LARKIN REAL  
ESTATE GROUP

2 UNIT DESIGN

21 HIGH ST  
MEDWAY, MA

**SHEET TITLE**

FLOOR  
PLANS

**DATE**

12-13-2018

**REVISIONS**

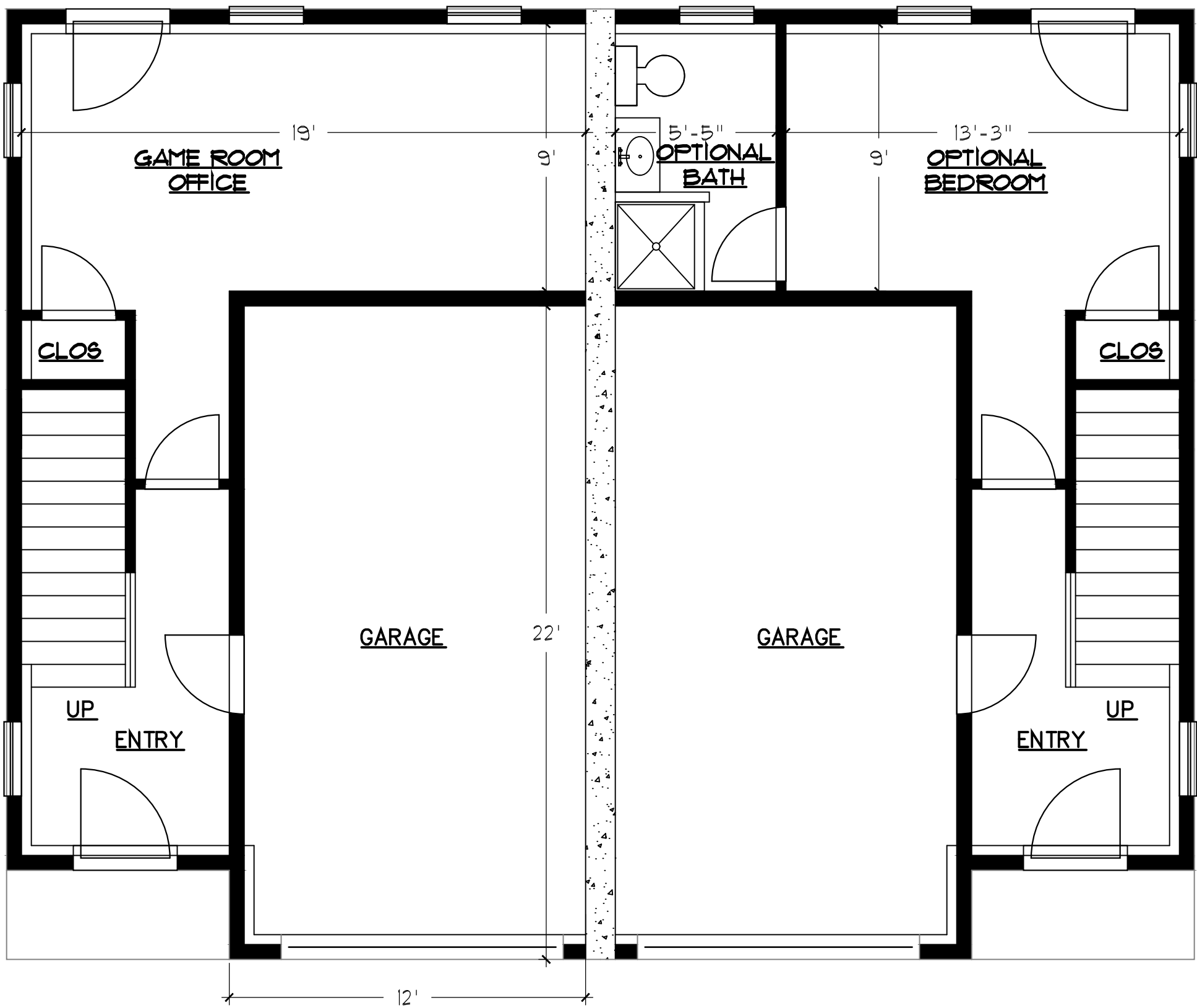
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**SHEET NUMBER**

A-3



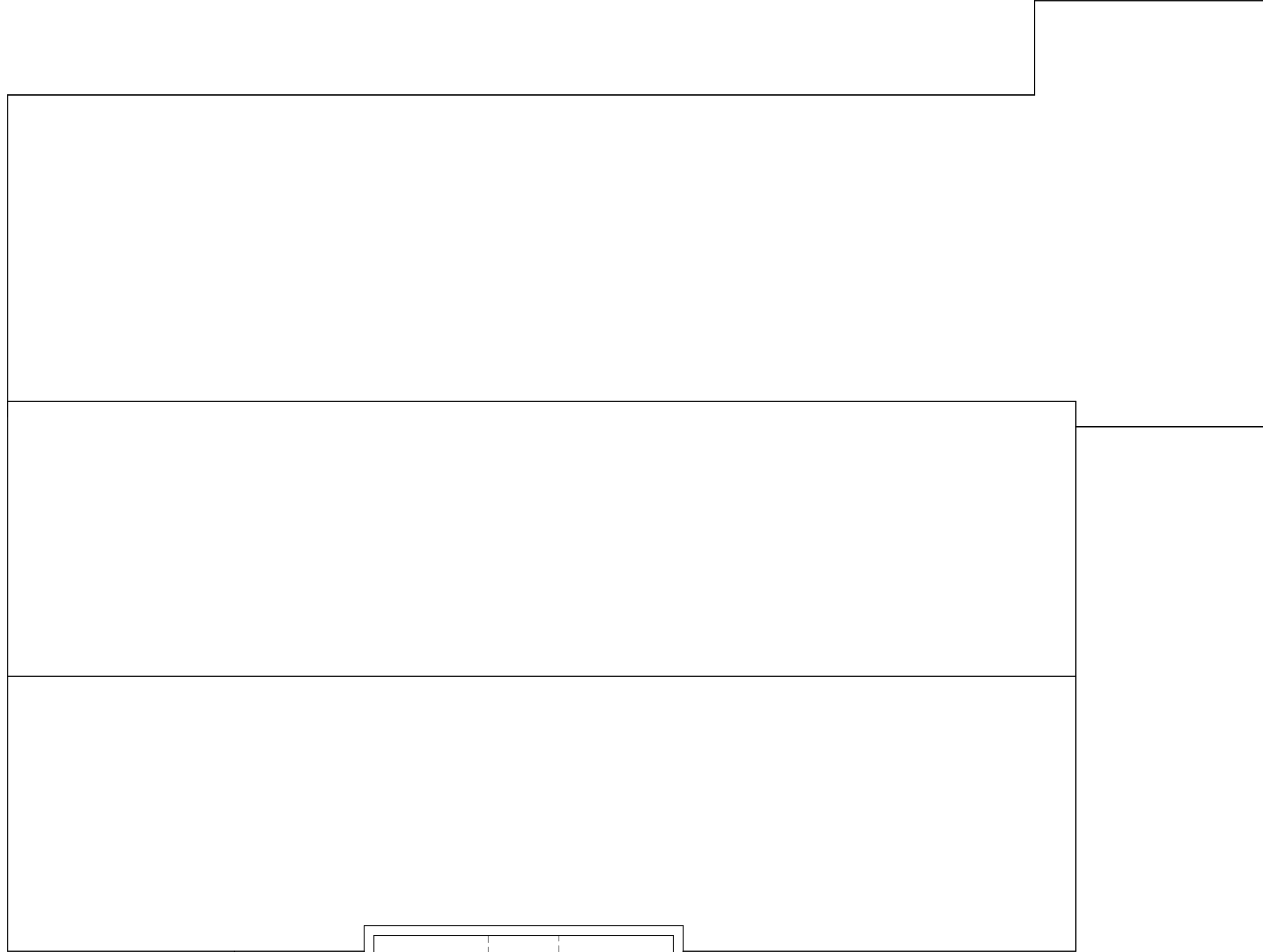
**FIRST FLOOR PLAN**  
1/4"=1'-0" 616 square feet



**BASEMENT PLAN**  
1/4"=1'-0" 277 square feet

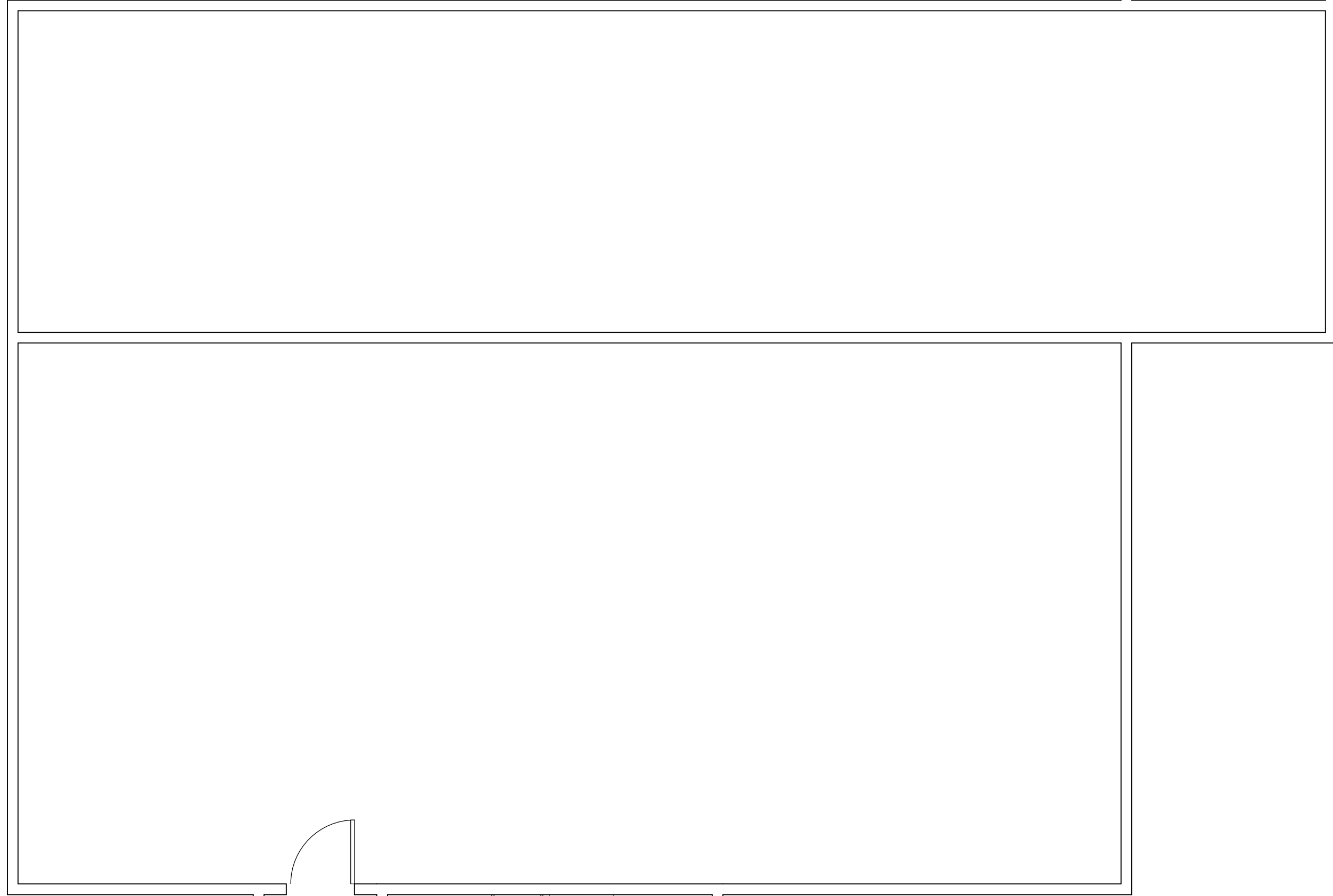


**SECOND FLOOR PLAN**  
1/4"=1'-0" 616 square feet




SCALE: 1/4" = 1'-0"

2  
A1.0



SCALE: 1/4" = 1'-0"



168 LAKEVIEW AVENUE, #25  
DRACUT, MA 01826  
F 978.455.3072

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RENOVATIONS  
21 HIGH STREET  
MEDWAY, MA

EDWAY DEVELOPMENT, LLC  
83 MAIN STREET — MEDFIELD, MA 02052

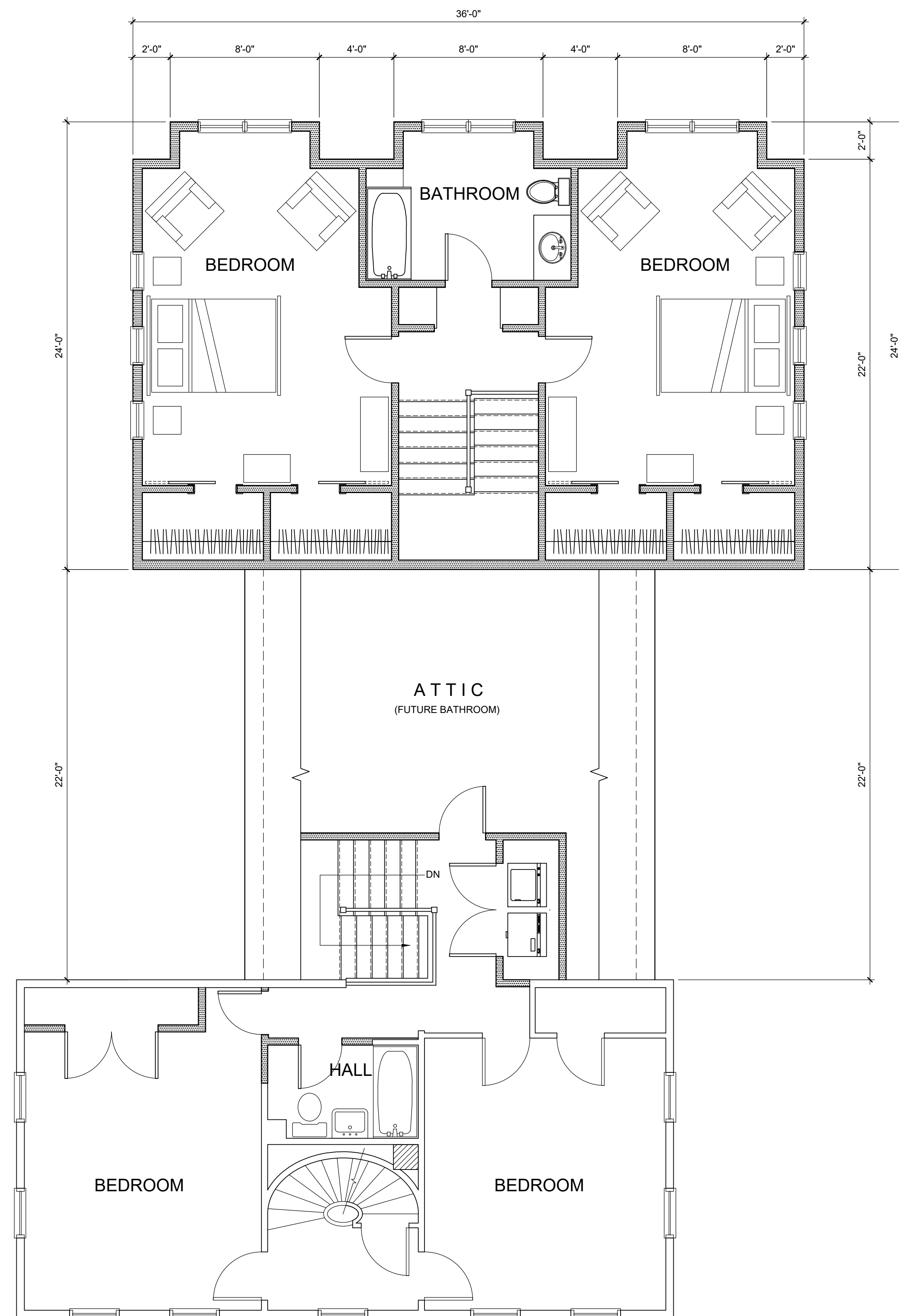
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# EXISTING FLOOR PLANS

prepared for: MEDWAY DEVELOPMENT, LLC 383 MAIN STREET — MEDFIELD, MA 02052	title
	EXISTING FLOOR P

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sheet no.  
**A1.0**

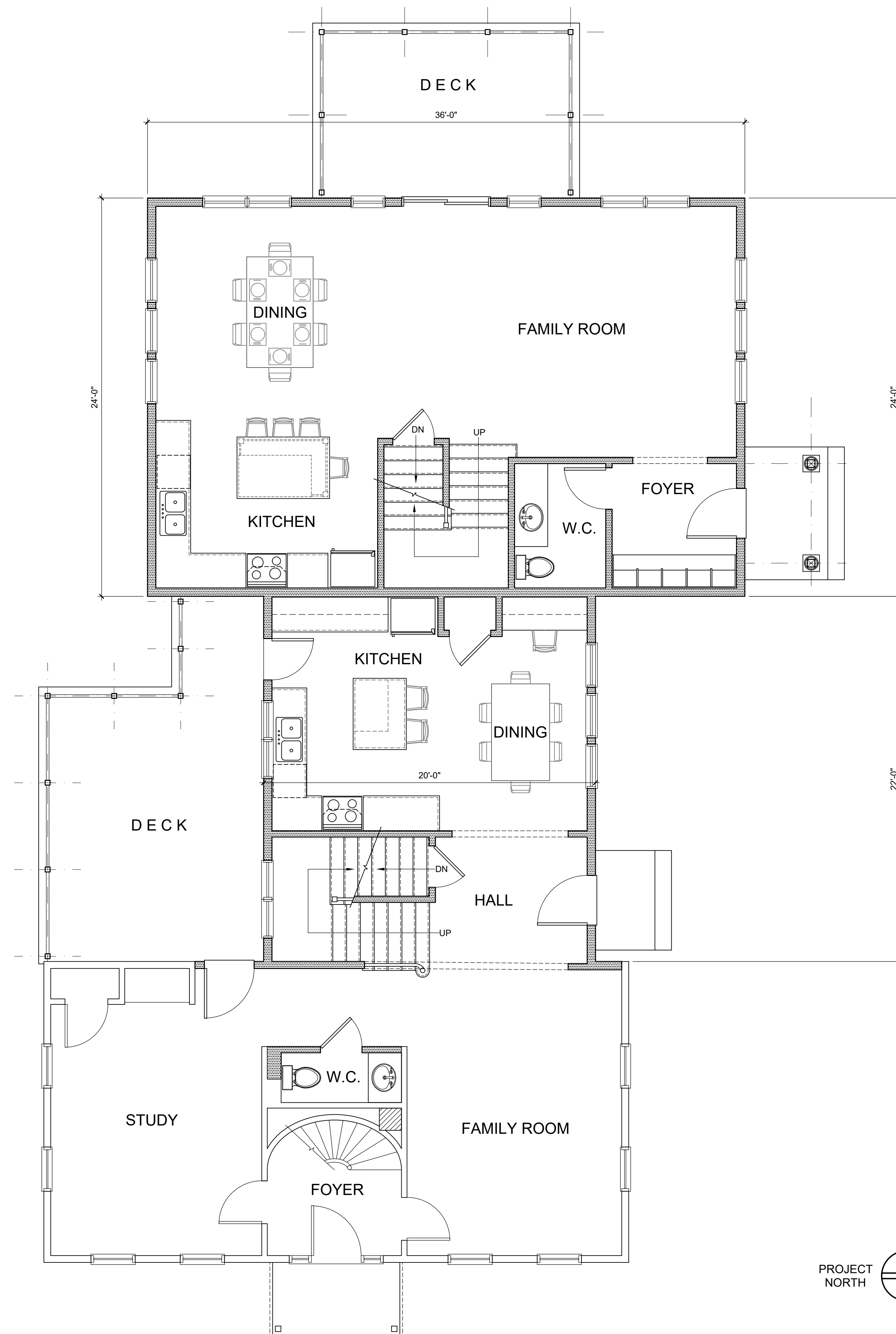


### Proposed Second Floor Plan

SCALE: 1/4" = 1'-0"

2  
A1.1

A1.1



### Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

1  
A1.1

(A1.5)



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TEL: 918.455.3072

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RENOVATIONS  
21 HIGH STREET  
MEDWAY, MA

21 HIGH STREET  
MEDWAY, MA

Prepared for: MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET - MEDFIELD, MA 02052

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100

## PROPOSED FLOOR PLANS

revisions

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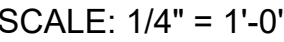
date 20 MAR 20

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job no.	19-06	appd.
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sheet no.

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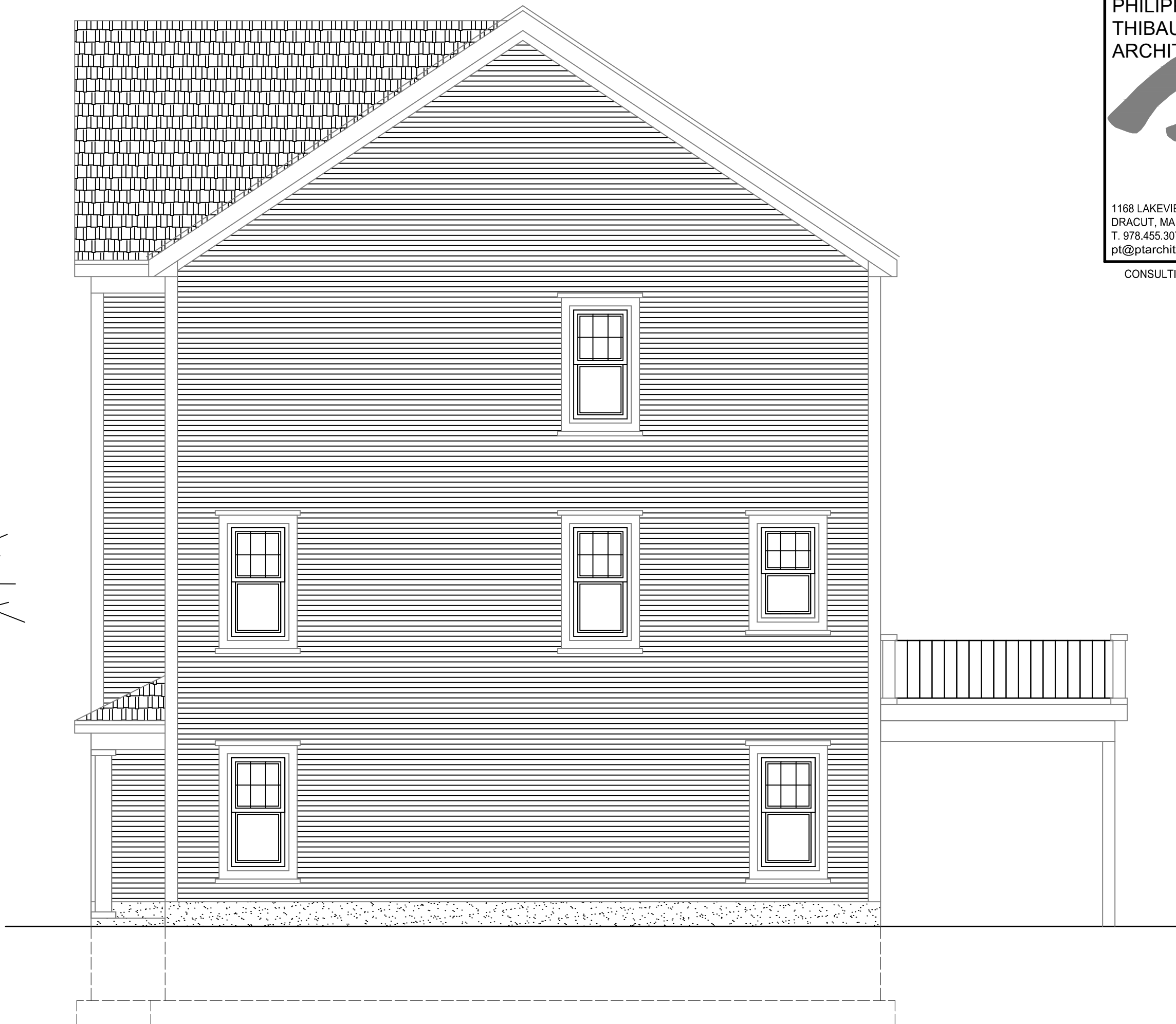


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A2.0

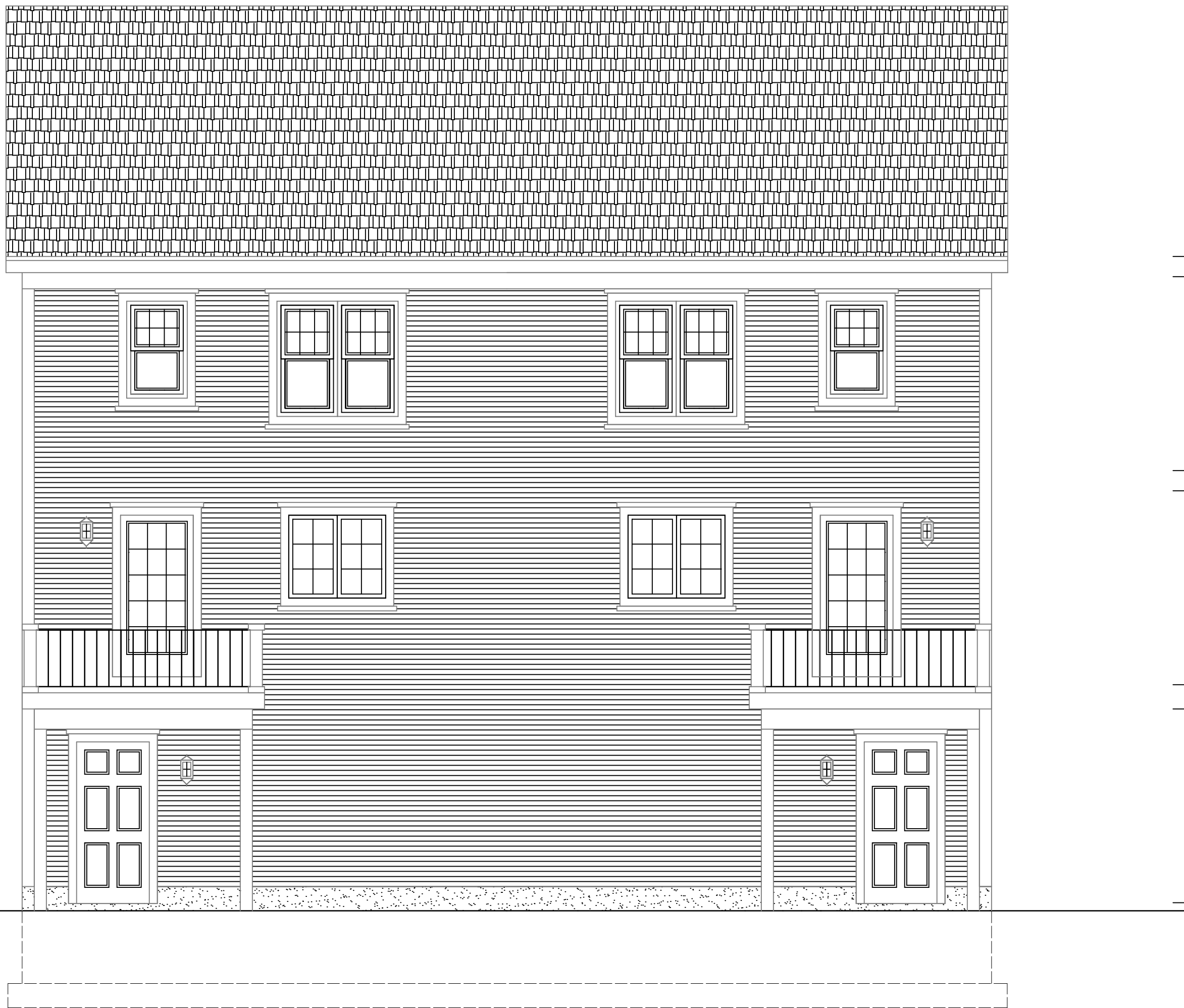
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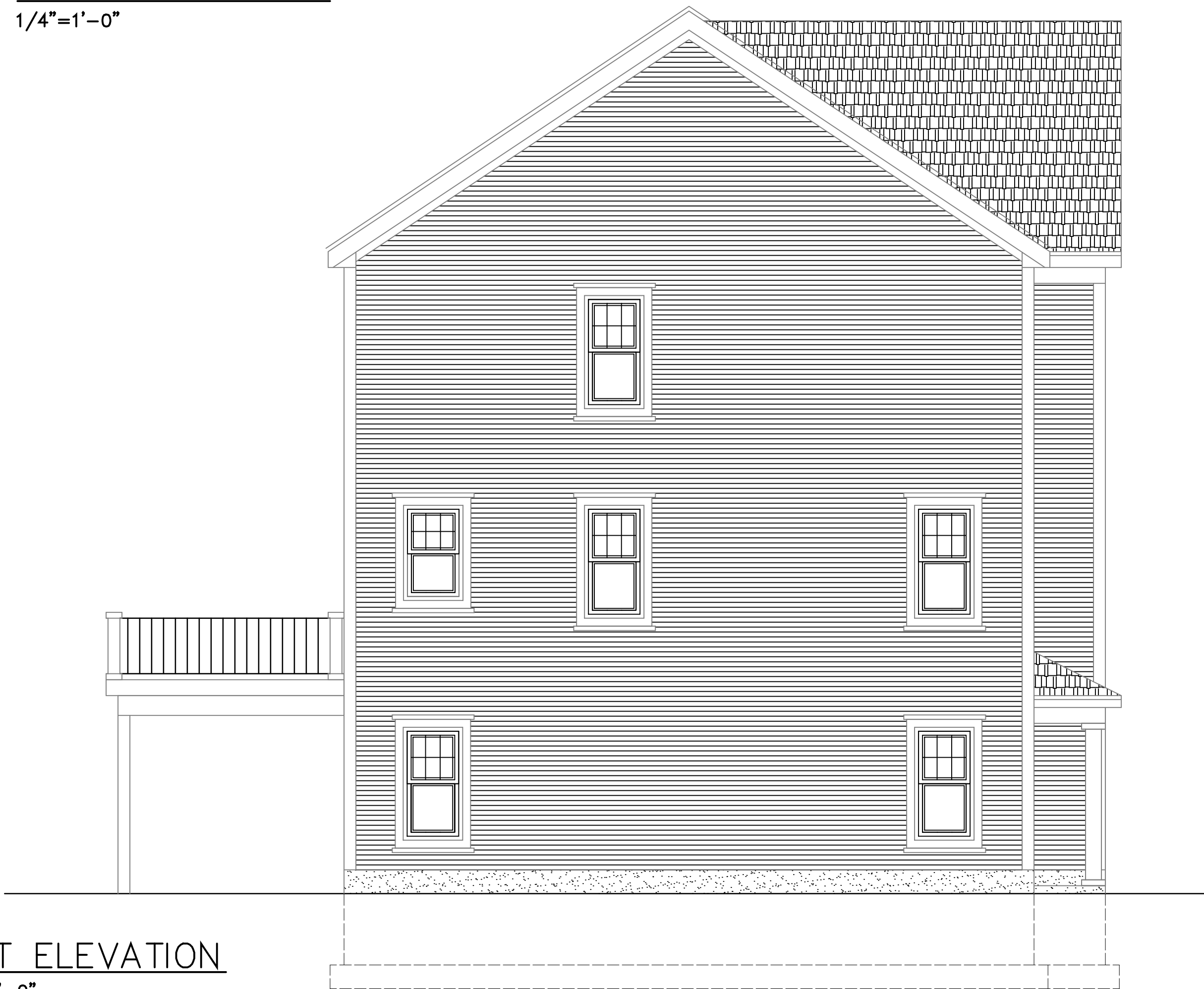
FRONT ELEVATION  
1/4"=1'-0"



RIGHT ELEVATION  
1/4"=1'-0"

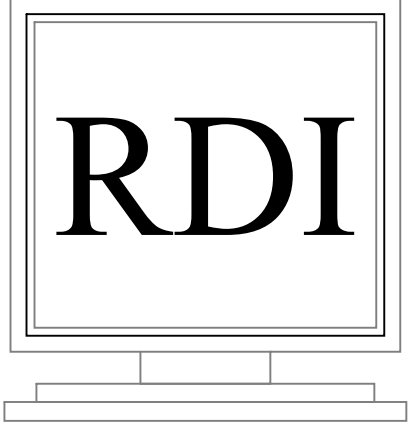


REAR ELEVATION  
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LEFT ELEVATION  
1/4"=1'-0"

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PROJECT

LARKIN REAL  
ESTATE GROUP

2 UNIT DESIGN

21 HIGH ST

MEDWAY, MA

SHEET TITLE

ELEVATIONS

DATE

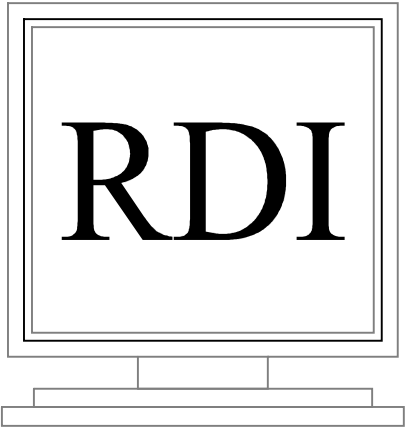
12-13-2018

REVISIONS

SHEET NUMBER

A-1





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**PROJECT**

LARKIN REAL  
ESTATE GROUP

2 UNIT DESIGN

21 HIGH ST  
MEDWAY, MA

**SHEET TITLE**

FLOOR  
PLANS

**DATE**

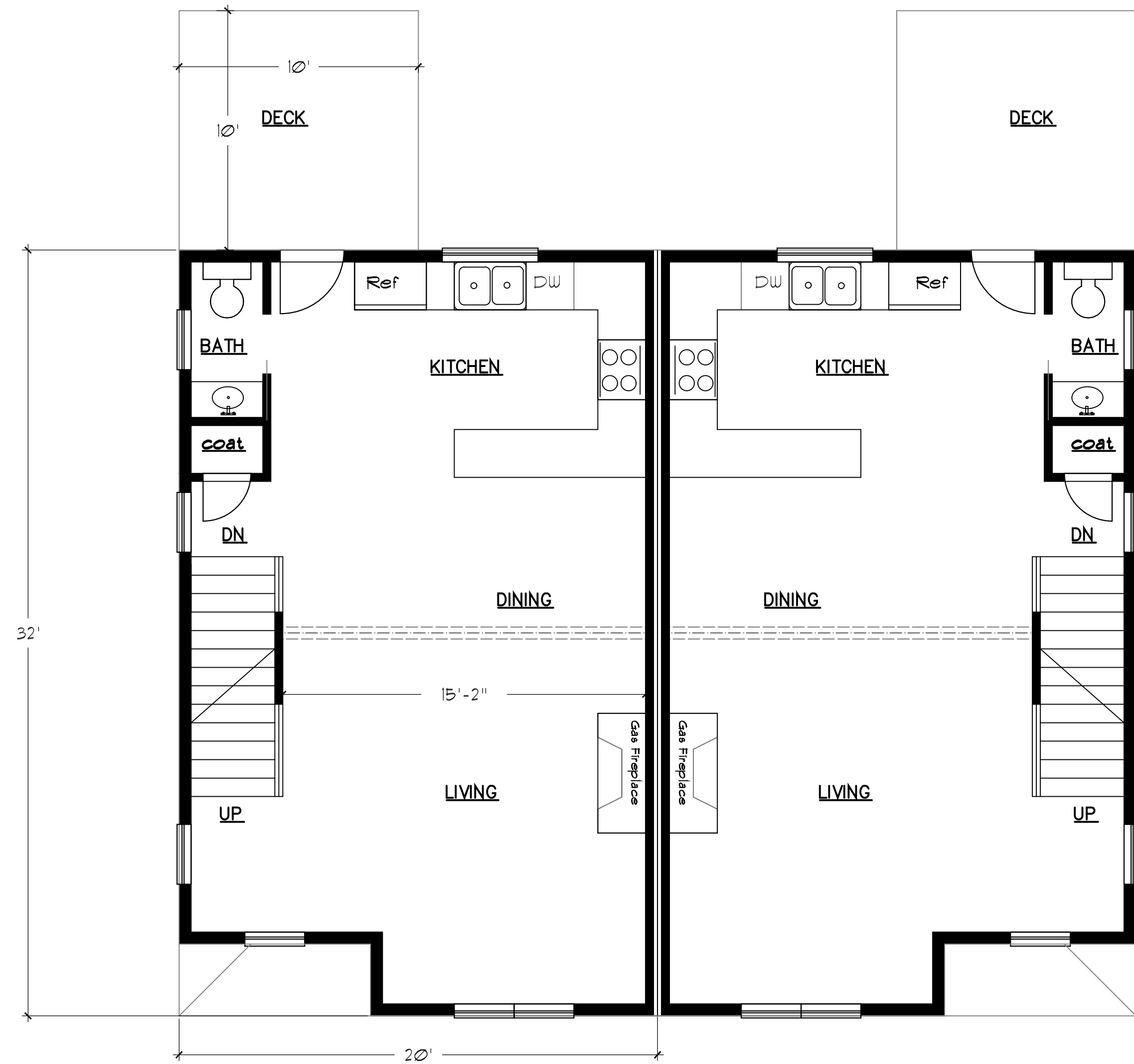
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**REVISIONS**

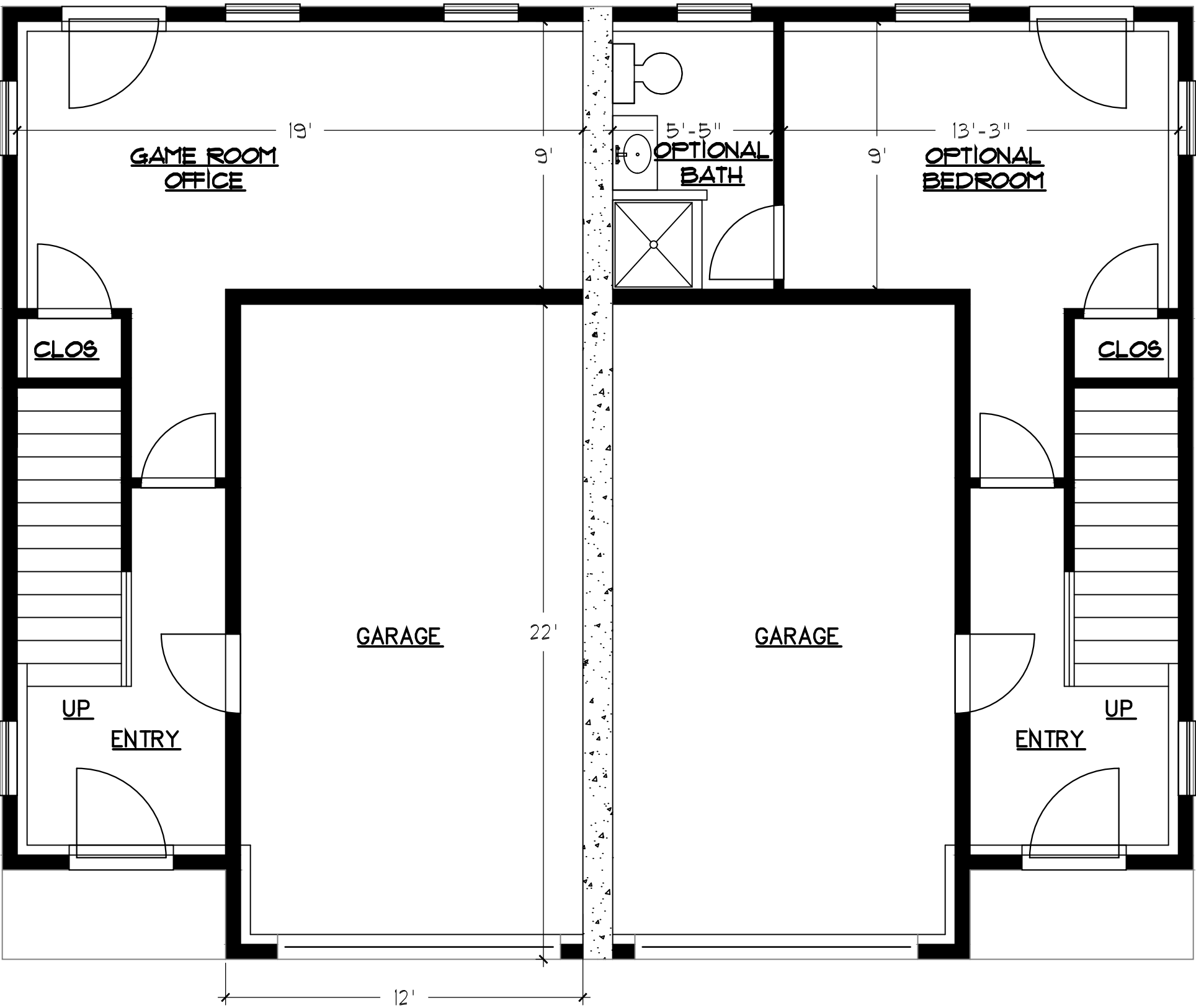
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**SHEET NUMBER**

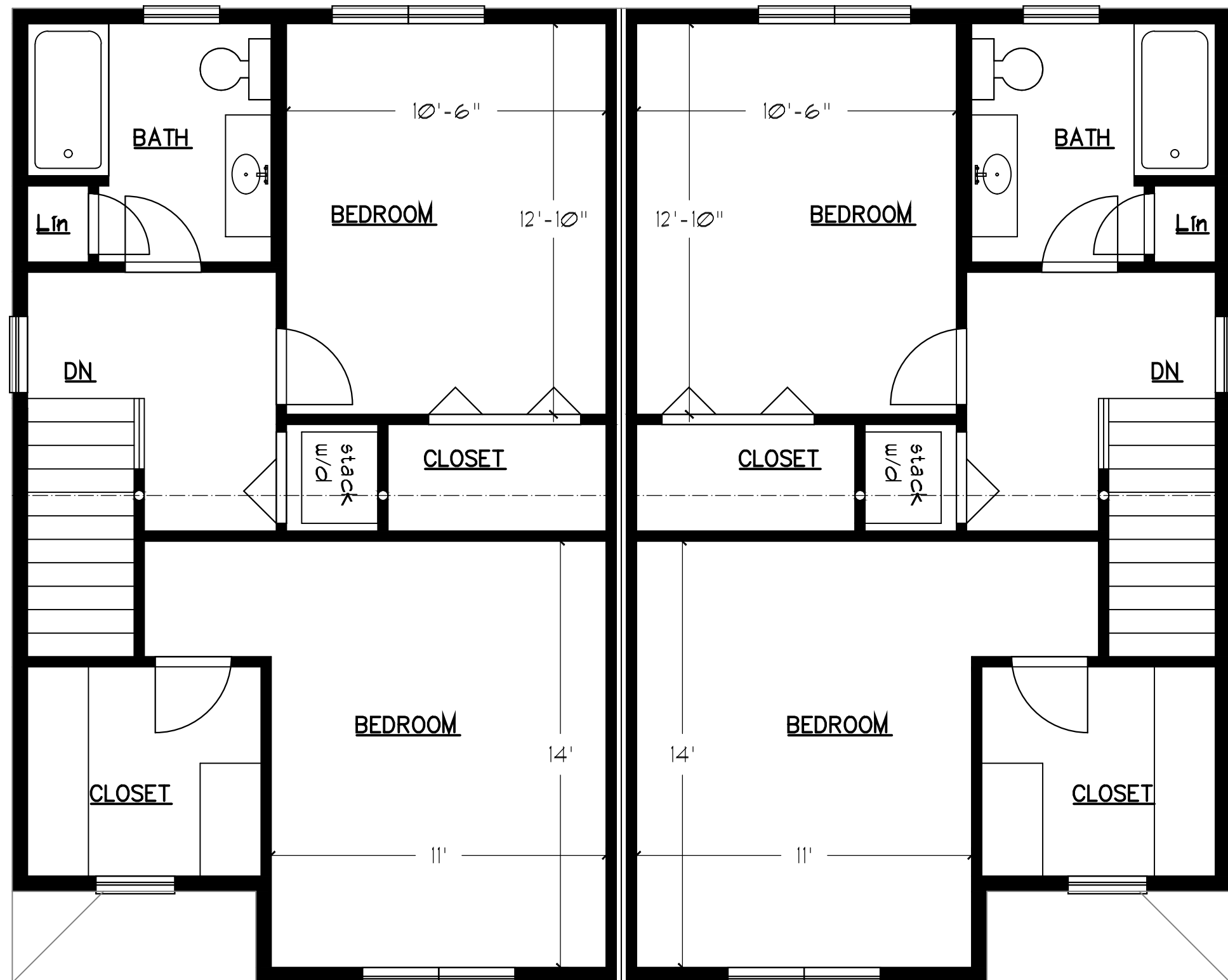
A-3



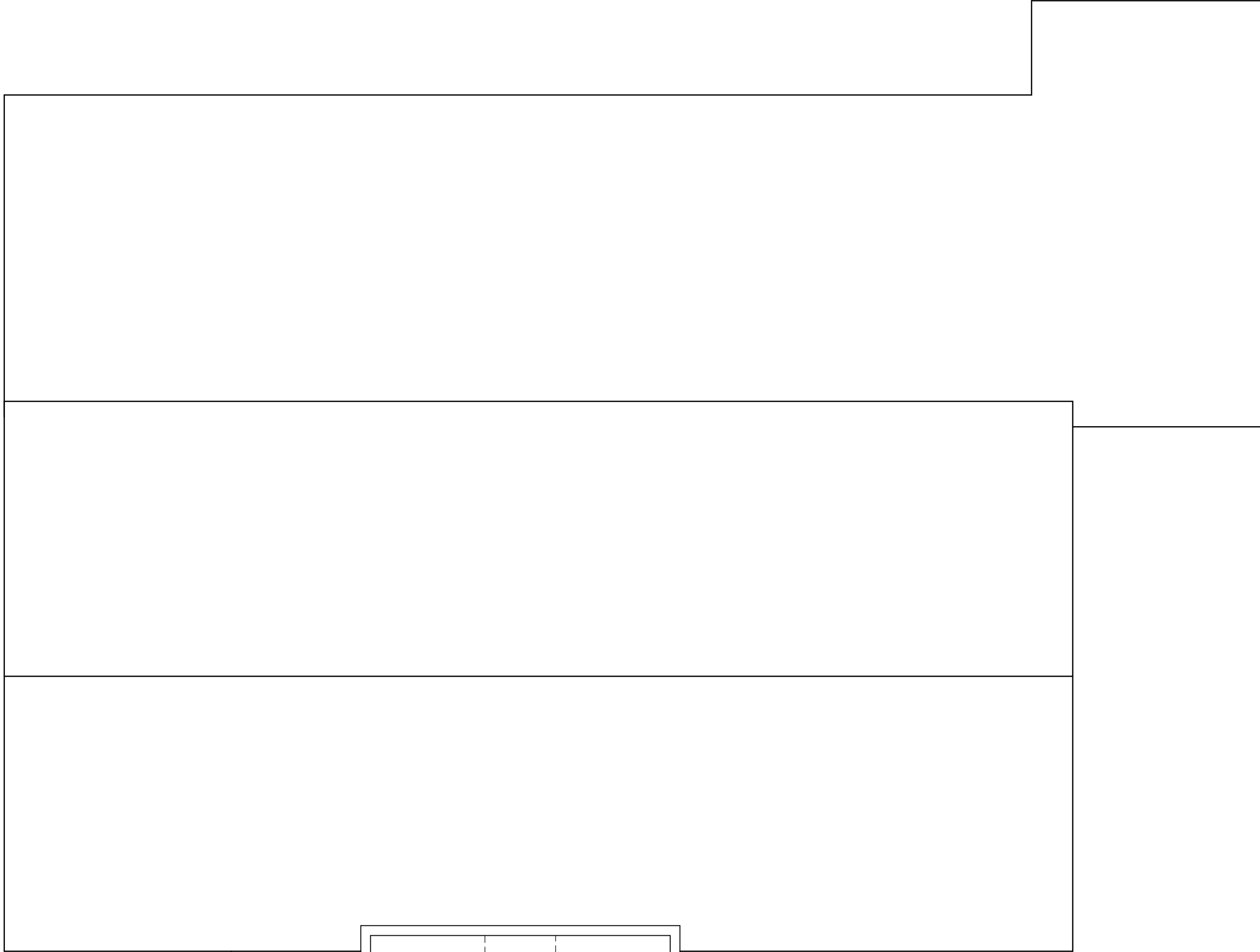
**FIRST FLOOR PLAN**  
1/4"=1'-0" 616 square feet



**BASEMENT PLAN**  
1/4"=1'-0" 277 square feet

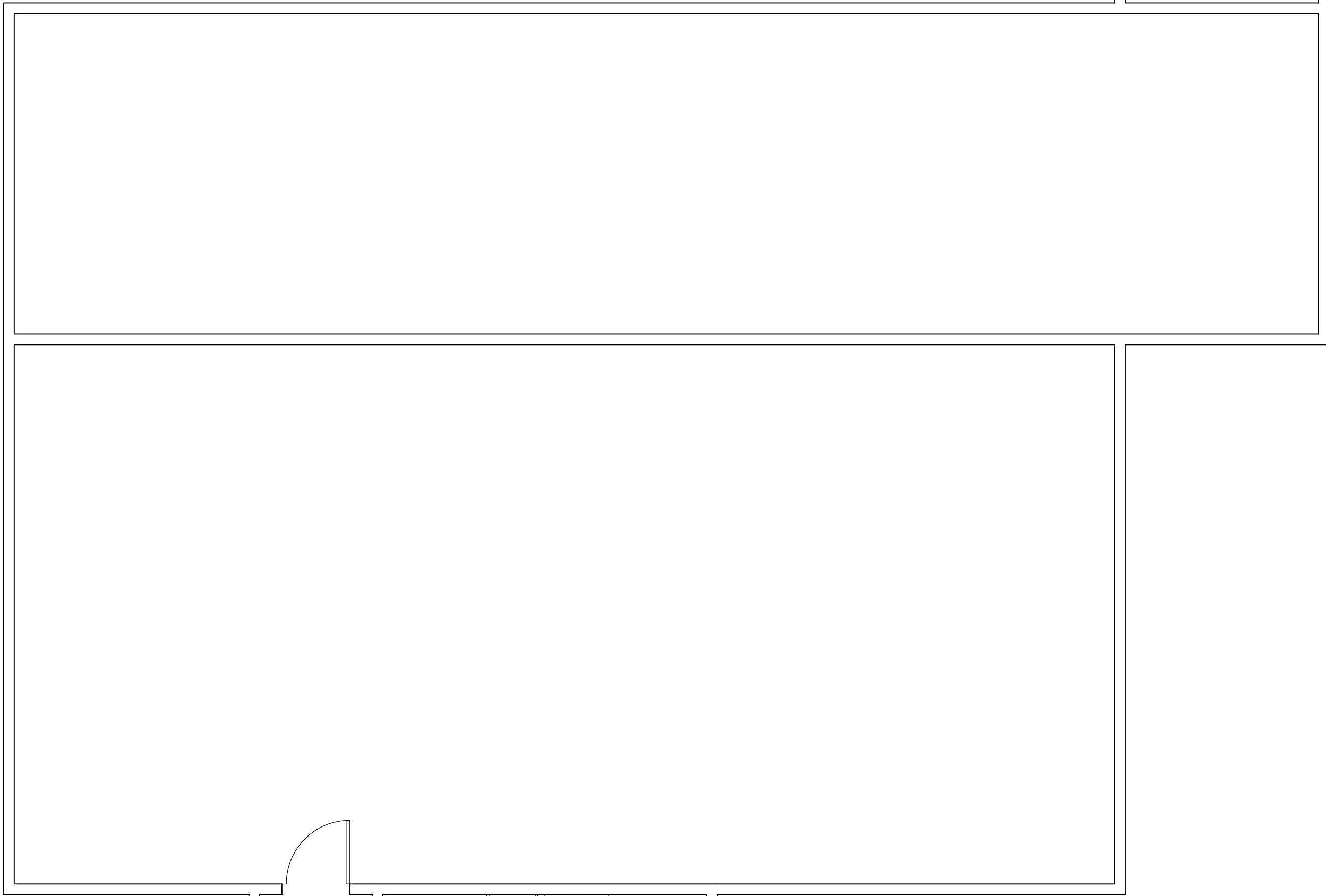


**SECOND FLOOR PLAN**  
1/4"=1'-0" 616 square feet



SCALE: 1/4" = 1'-0"

2  
A1.0



SCALE: 1/4" = 1'-0"

1  
A1.0

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F 978.455.3072

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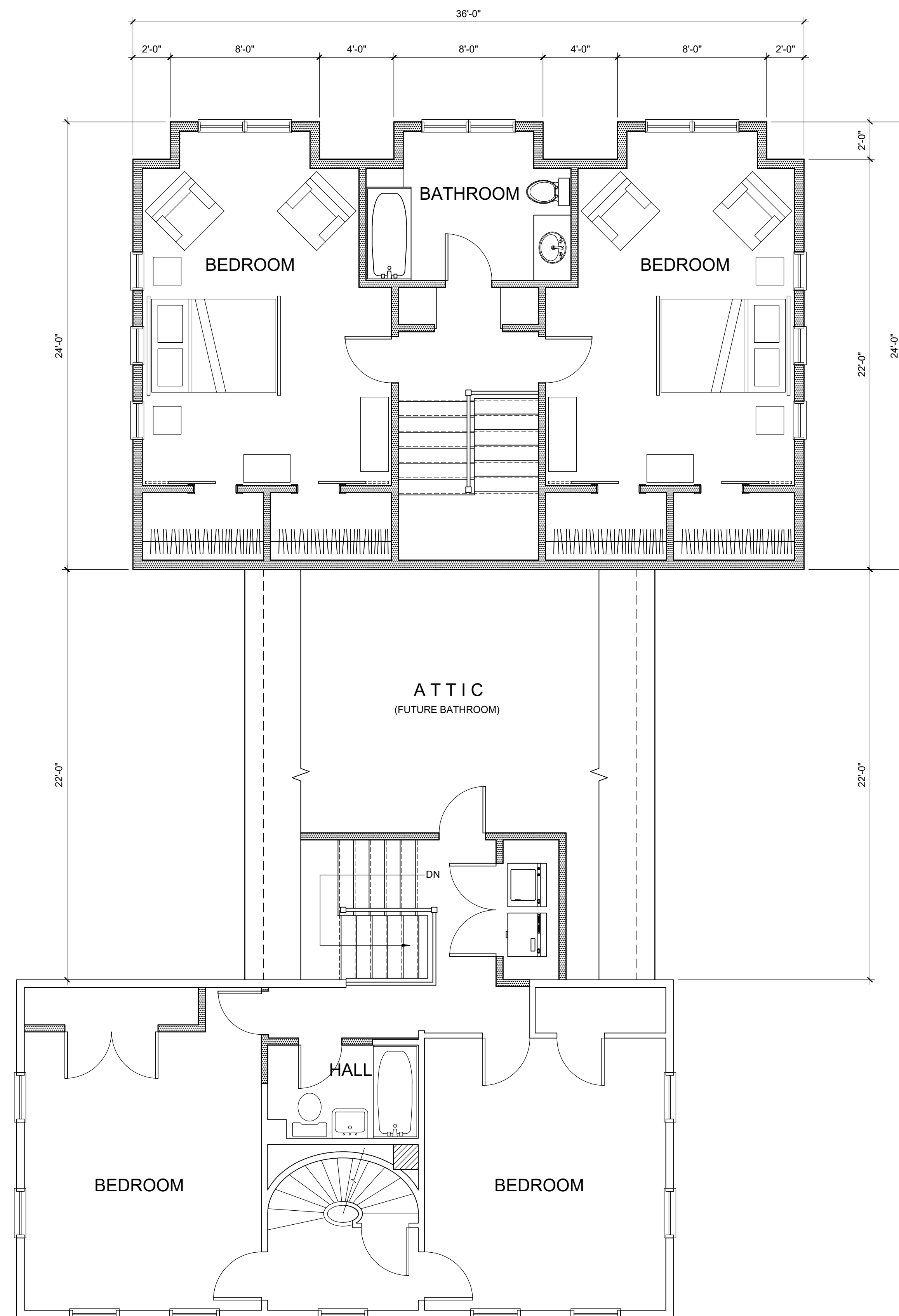
RENOVATIONS  
21 HIGH STREET  
MEDWAY, MA

prepared for: MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET - MEDFIELD, MA 02052

## EXISTING FLOOR PLANS

	revisions
mk.	date
date	20 MAR 2019
scale	1/4" = 1'-0"
job no.	appd.
19-06	
sheet no.	

sheet no.  
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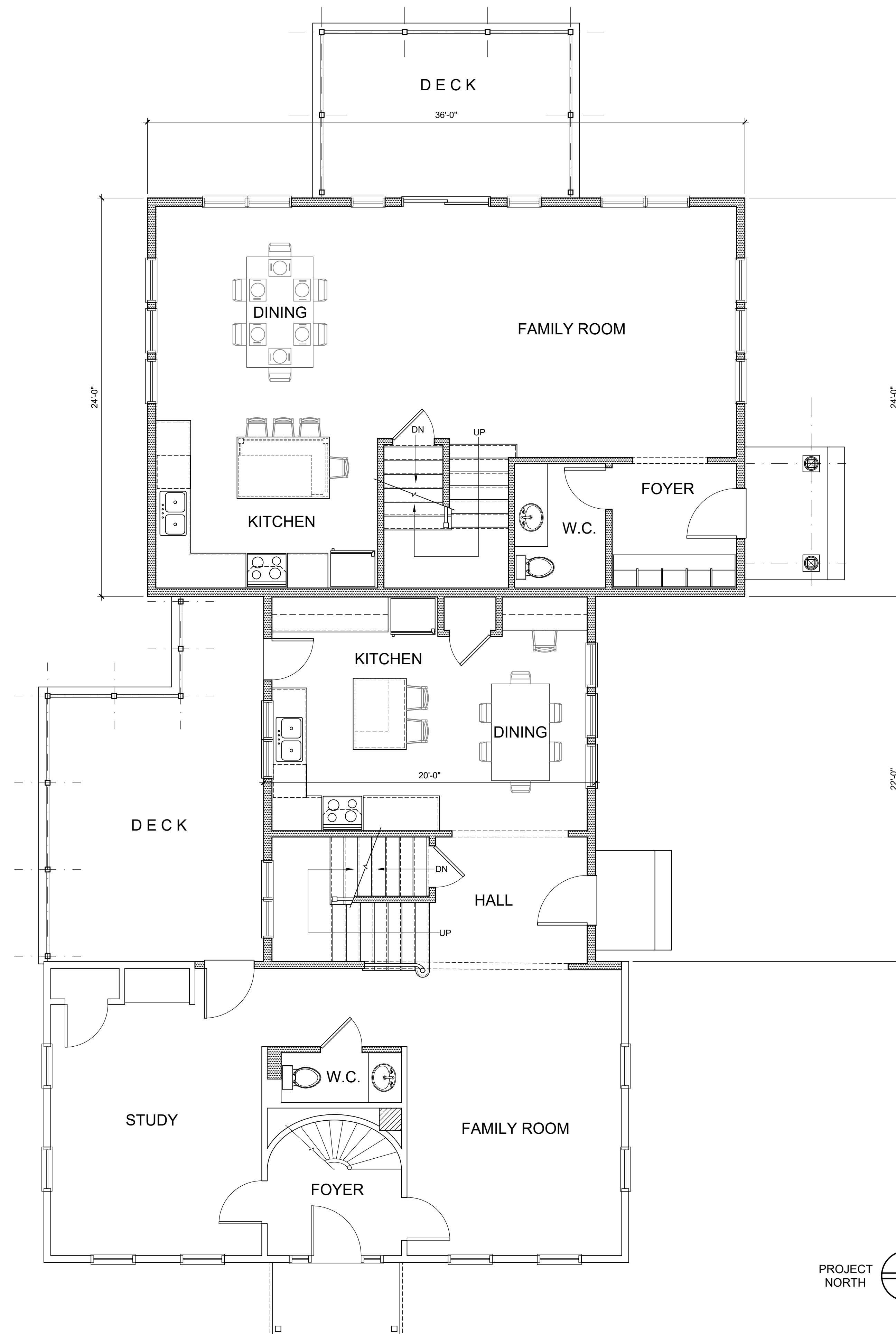


### Proposed Second Floor Plan

SCALE: 1/4" = 1'-0"

2  
A1.1

A1.1



### Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

1  
A1.1

(A1.1)



PHILIPPE  
THIBAUT  
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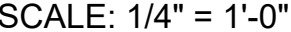
MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET - MEDFIELD, MA 02052

**PROPOSED FLOOR PLANS**

Prepared for: MEDWAY DEVELOPMENT, LLC  
383 MAIN STREET - MEDFIELD, MA 02052

revisions	
mk.	date
date	20 MAR 2019
scale	$\frac{1}{4}" = 1' - 0"$
job no.	oppd.
19-06	
sheet no.	

## A1.1



revisions	
mk.	date
date	20 MAR 2019
scale	$\frac{1}{4}'' = 1' - 0''$
job no.	opp. 19-06
sheet no.	
<b>A2.0</b>	



**April 23, 2019**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Tetra Tech Construction Reports**

- 50 Alder Street (Milway Auto) - #3, 3-26-19
- 9 Trotter Drive (CTS) - #11 on 4-3-19; #12 on 4-9-19; #13 on 4-18-19 and #14 on 4-19-19.
- Medway Community Church - #2 on 4-9-19 and #3 on 4-16-19
- Medway Green - #13 on 4-9-19 and #14 on 4-18-19
- Merrimack Building Supply - #22 on 4-9-19; #23 on 4-16-19 and #24 on 4-18-19
- Salmon - #1 on 4-4-19, #2 on 4-9-19 and #3 on 4-16-19

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project 50 Alder Street	Date 3/26/2019	Report No. 3
Location 50 Alder Street, Medway, MA	Project No. 143-21583-18005	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. P.M. SUNNY, DRY	Temperature A.M. P.M. 40°F

## FIELD OBSERVATIONS

On Tuesday, March 26, 2019, Bradley M. Picard, E.I.T., from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was not on-site during inspection. General site conditions: Dry ground surface that is relatively firm with some softer areas. Erosion controls are established and appear to be operating as designed to maintain sediment on-site.
- B. Contractor has installed PVC outlet drain into the Stormtech system. Stormtech system has inspection ports installed and has been backfilled, TT was not on-site upon the completion of these tasks. Roof drain piping has not been installed to the Stormtech system, expected time of completion is unknown. Stone for erosion control bed on the north side of the building is still in place.
- C. Upon previous inspection, the invert to the isolator row from the drain manhole appeared to be higher than the invert to the rest of the infiltration system. This could potentially cause runoff to bypass the isolator row and enter the rest of the system without pre-treatment. Contractor's foreman and laborers were made aware of the situation and understood that the inverts needed to be adjusted to match what is proposed in the Plans. Contractor shall confirm the inverts were adjusted prior to backfilling the system.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck					
		Pickup Truck					
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley M. Picard, E.I.T.	1:20 P.M. – 1:40 P.M.

NOTE: Please use reverse side for remarks and sketches

Project 50 Alder Street	Date 3/26/2019	Report No. 3
Location 50 Alder Street, Medway, MA	Project No. 143-21583-18005	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. TT will be notified of pending site work and will inspect as necessary throughout the construction process.

### **3. New Action Items**

- A. Contractor to confirm the inverts into Stormtech system at the drain manhole were adjusted prior to backfilling the system.

### **4. Previous Open Action Items**

- A. Contractor to provide inspection reports of initial installation of Stormtech system.
- B. Contractor to adjust inverts at the drainage manhole to ensure the inverts match the proposed design in the Plans.

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A



Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Converting Technical Services Facility	Date 04/03/2019	Report No. 11
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 40°F

## FIELD OBSERVATIONS

On Wednesday, April 3, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site upon arrival. General site conditions: Dry ground surface that is relatively firm with some softer areas. Construction entrance from Trotter Dr. is stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the E side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Contractor has connected roof drains to the Cultec chambers. Two roof drains on the north side of the building and two roof drains on the south side of the building are connected to a single header pipe that enters the north and south side of the infiltration system. Inspection ports have been installed on the north and south end of the system. Contractor was installing the outlet scupper upon arrival.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer	1	Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Skidder	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader		
		Pickup Truck	2			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Bradley Picard, E.I.T.	8:00 A.M. – 8:20 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 04/03/2019	Report No. 11
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. Contractor to backfill Cultec chambers.
- B. Contractor to begin minor grading of proposed parking area. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. Contractor to confirm bottom of SFB is embedded into the ground to ensure sediment-laden water is not bypassing filtration. **TT Response: SFB throughout the site is embedded and in good condition. In our Opinion this item has been addressed.**

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Converting Technical Services Facility	Date 04/09/2019	Report No. 12
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. CLOUDY P.M.	Temperature A.M. 40°F P.M.

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site upon arrival. General site conditions: Dry ground surface that is relatively firm with some softer areas. Construction entrance from Trotter Dr. is stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the E side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Upon arrival, Contractor was performing minor grading in the proposed parking areas. Contractor has backfilled Infiltration Area #2.
- C. Electrical services have been installed to the proposed utility pole and the proposed building. However, service from electrical pole is overhead, the Plan calls for service to be installed in underground conduit to the building. TT contacted the site GC and they stated the electrical company installed the overhead due to the 200-amp service and lack of required transformer at grade.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer	1	Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	2	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Skidder	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader		
		Pickup Truck	2			
		Tri-Axle Dump Truck				
		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Bradley Picard, E.I.T.	11:00 A.M. – 11:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 04/09/2019	Report No. 12
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. Electrical conduits for light poles (5 total) to be installed, once installed contractor will backfill conduits and begin to deliver gravel to the site for the proposed parking area.
- B. Paving of proposed parking area to begin 4/18/19. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. N/A

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Converting Technical Services Facility	Date 04/18/2019	Report No. 13
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. CLOUDY P.M.	Temperature A.M. 50°F P.M.

## FIELD OBSERVATIONS

On Thursday, April 18, 2019, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site upon arrival. General site conditions: Dry ground surface that is relatively firm. Construction entrance has been removed in order for the site to be finish graded. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the east side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Upon arrival, Contractor was performing fine grading activities to prepare the site for proposed paving tomorrow. Contractor was using a 3-inch minus processed gravel material for grading and was meeting proper grades on grade stakes placed around the site. Area was compacted; however, no compaction testing was conducted. Millinazzo Paving Corp. (Paving Contractor) also on-site to confirm grades prior to paving

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Millinazzo Paving Corp.	Fine Grading
Laborers	2	Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer	1	Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader	1	Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	2				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE	11:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 04/18/2019	Report No. 13
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. Paving of proposed binder course to begin tomorrow and is expected to be completed tomorrow. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. N/A

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

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Marlborough, MA 01752

# FIELD REPORT

Project Converting Technical Services Facility	Date 04/19/2019	Report No. 14
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. CLOUDY P.M.	Temperature A.M. 65°F P.M.

## FIELD OBSERVATIONS

On Friday, April 19, 2019, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site upon arrival. General site conditions: Mainly dry ground surface that is relatively firm. Construction entrance has been removed for paving operations. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed on the east side of the property. A filter bag was observed in an existing catch basin on the northbound side of Trotter Dr.
- B. Upon arrival, Millinazzo Paving Corp. was performing paving operations for proposed binder course. Contractor was placing approximately 3-inches (loose) of bituminous concrete asphalt to achieve a final compacted depth of approximately 2.5-inches. Wet areas present on the southern end of the property adjacent to the light pole, area was soft and may require repair at a later date prior to final paving.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer	1	Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Millinazzo Paving Corp.	Fine Grading
Laborers	4	Loader		Vib. Roller	1		
Drivers		Rubber Tire Backhoe/Loader		Static Roller	1		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	2				
		Tri-Axle Dump Truck	2				
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE	9:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Converting Technical Services Facility	Date 04/19/2019	Report No. 14
Location 9 Trotter Drive, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

A. N/A

### **4. Previous Open Action Items**

A. N/A

### **5. Materials Delivered to Site Since Last Inspection**

A. N/A



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# FIELD REPORT

Project Medway Community Church	Date 04/09/2019	Report No. 2
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18009	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 40°F

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site during inspection. General site conditions: Dry ground surface that is relatively firm with some softer areas. Construction entrance from Slocumb Place has been installed. Straw wattle is installed around the site perimeter and is in good condition.
- B. Contractor has completed tree clearing within the limit of work, site prep and excavation is ongoing. Stockpiles of soil and rock are located throughout the site. Stakes have been placed throughout the project site, laying out limits of pavement and locations of proposed drainage infrastructure. Contractor excavating large boulders and cobbles throughout disturbed area, contractor must also conduct test pitting for proposed Underground Drainage Basin #1 to confirm soil conditions per the design.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck					
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley Picard, E.I.T.	12:30 PM – 1:00 PM

NOTE: Please use reverse side for remarks and sketches

Project Medway Community Church	Date 04/09/2019	Report No. 2
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

#### **2. Schedule**

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

#### **3. New Action Items**

- A. Test pitting at Underground Drainage Basin #1 to be conducted by contractor/engineer of record for the project. Results to be submitted to the PEDB and TT for approval prior to completion of drainage system.

#### **4. Previous Open Action Items**

- A. Contractor to complete installation of erosion controls since site is currently in disturbed condition.

#### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

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Marlborough, MA 01752

# FIELD REPORT

Project Medway Community Church	Date 04/16/2019	Report No. 3
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18009	Sheet 1 of 2
Contractor Rodenhiser Excavating, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Tuesday, April 16, 2019, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was not on-site during inspection. General site conditions: Generally dry ground surface with pockets of standing water in areas where topsoil remains. Site has been cleared but is still in roughly graded condition. Construction entrance from Slocumb Place has been installed. Straw wattle is installed around the site perimeter and is in good condition.
- B. Contractor has completed tree clearing within the limit of work, site prep and excavation is ongoing. Stockpiles of soil and rock are located throughout the site. Stakes have been placed throughout the project site, laying out limits of pavement and locations of proposed drainage infrastructure. Contractor excavating large boulders and cobbles throughout disturbed area, contractor must also conduct test pitting for proposed Underground Drainage Basin #1 to confirm soil conditions per the design. TT contacted design engineer regarding test pitting and they stated they would be in contact once they are ready for the test pits.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers		Loader		Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Skid Steer		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator		Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flagpersons		Scraper		Tack Truck	
Surveyors		Conc. Mixer		Man Lift	
Roofers		Conc. Truck		Skidder	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader	
		Pickup Truck			
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: N/A				OFFICIAL VISITORS TO JOB	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				RESIDENT REPRESENTATIVE FORCE	
				Name	Time on-site
				Steven M. Bouley, PE	11:00 PM – 11:30 AM

NOTE: Please use reverse side for remarks and sketches

Project Medway Community Church	Date 04/16/2019	Report No. 3
Location 9 & 11 Slocumb Place, Medway, MA	Project No. 143-21583-18008	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. Contractor to complete installation of erosion controls since site is currently in disturbed condition. **TT Update: Erosion controls have been installed. In our opinion this item has been addressed.**
- B. Test pitting at Underground Drainage Basin #1 to be conducted by contractor/engineer of record for the project. Results to be submitted to the PEDB and TT for approval prior to completion of drainage system.

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A



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# FIELD REPORT

Project Medway Greens	Date 04/09/2019	Report No. 13
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 1 of 2
Contractor Mark Heavner – Cortland Pine, LLC Sal Santucci - Santucci Construction Corp.	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 40° F

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019 Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor was on-site during inspection. TT inspected the condition of the erosion control throughout the project site. Compost filter tubes and silt fence barrier (SFB) on the east side of the site have been maintained, SFB has been put back on stakes and upright.
- B. Contactor preparing residential units adjacent to Mechanic Street to have gas services installed.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers		Loader		Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Skid Steer		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator		Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flagpersons		Scraper		Tack Truck	
Surveyors		Conc. Mixer		Lull	
		Conc. Truck			
		Pickup Truck	3		
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: N/A				RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				Name	Time on-site
				Bradley Picard, E.I.T.	1:00 P.M – 1:30 P.M.

Project Medway Greens	Date 04/09/2019	Report No. 13
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. Roof drains for units 5-8 to be connected to Stormwater Management System PR-1.
- B. Propane tank to heat units adjacent to Mechanic Street to be installed.
- C. Sidewalk transition for accessible ramp is scheduled to be fixed on April 18.
- D. Paving is anticipated to start in early May.
- E. Contractor will contact TT as needed throughout the remaining portion of the construction.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. Contractor to replace accessible ramp to ensure it is installed per applicable regulations.
- B. Contractor to provide TT with gravel slips, paving slips and any compaction results gathered during subbase preparation of the site. **TT Update: TT has received the gravel and paving slips from the Contractor, this item has been addressed.**
- C. Contractor to repair/replace erosion controls along the east side of the project site. **TT Update: this item has been addressed.**

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
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Marlborough, MA 01752

# FIELD REPORT

Project Medway Greens	Date 04/18/2019	Report No. 14
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 1 of 2
Contractor Mark Heavner – Cortland Pine, LLC Sal Santucci - Santucci Construction Corp.	Weather A.M. SUNNY P.M.	Temperature A.M. 60° F P.M.

## FIELD OBSERVATIONS

On Thursday, April 18, 2019 Steven M. Bouley, PE from Tetra Tech (TT) visited the project site to inspect the current condition of the site and check on construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. Contractor in the process of re-installing vertical granite curb at accessible ramp at Mechanic Street entrance. Initial installation was too steep and did not meet applicable standards. Contractor reset approximately 15 feet of vertical granite curb to an approximate 8.3% slope leading to the level landing. TT expressed this was the maximum slope allowed. Contractor plans to pour concrete in coming weeks once other items such as dumpster pad are ready to be installed. Area was left in gravel and blocked off from pedestrian use.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe	1	Asphalt Reclaimer		Santucci Construction	Curb and Flatwork
Laborers		Loader		Vib. Roller			
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.		Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator		Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Lull			
		Conc. Truck				OFFICIAL VISITORS TO JOB	
		Pickup Truck	3				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE.	11:00 A.M – 11:30 A.M.

Project Medway Greens	Date 04/18/2019	Report No. 14
Location Mechanic Street/Main Street, Medway, MA	Project No. 143-21583-17002	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. Roof drains for units 5-8 to be connected to Stormwater Management System PR-1.
- B. Propane tank to heat units adjacent to Mechanic Street to be installed.
- C. Paving is anticipated to start in early May.
- D. Contractor will contact TT as needed throughout the remaining portion of the construction.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. Contractor to replace accessible ramp to ensure it is installed per applicable regulations. **TT Update: Ramp curbing has been reset, awaiting concrete pour to complete the re-installation.**

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A



Tetra Tech  
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# FIELD REPORT

Project Merrimack Building Supply	Date 04/09/2019	Report No. 22
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather P.M. SUNNY	Temperature P.M. 40°F

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: dry, firm conditions sitewide. Silt fence barrier (SFB) is installed around the site perimeter. SFB located at the swale downstream of the proposed infiltration basin has been replaced. Filter socks are placed just inside the SFB, and silt sacks have been placed in catch basins along the driveway adjacent to the southeast corner of the building. Areas of stockpiled soil, gravel and construction materials were observed near the northern portion of the site. Upon departure from site, Contractor was arriving to continue site maintenance.
- B. Upon prior inspection, portions of the 4-foot crushed stone apron adjacent to the proposed infiltration basin have washed out, allowing water to flow underneath straw wattle that has been placed at the top of the slope causing rutting and sediment to accumulate in the forebay and infiltration basin. Silt fencing has been placed at the edge of the crushed stone apron and filter socks have been extended to provide erosion control measures to the entire impacted slope. After conversation with Contractor, rip rap will be placed at the location of the crushed stone apron to prevent stone displacement. Repairs to basin slopes are required.
- C. Filter fabric is visible underneath the rip rap spillway between the proposed forebay and infiltration basin, we recommend this be repaired prior to final close-out of the site.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer	Milinzazo	Binder Course
Laborers	2	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Telehandler	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)		
Plumbers		Pickup Truck		Mechanical Sweeper		
Pipe Fitters		Tri-Axle Dump Truck				
Carpenters		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Bradley M. Picard, E.I.T.	12:00 P.M. – 12:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 04/09/2019	Report No. 22
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. Install rip-rap or equal to prevent displacement of crushed stone at apron to the Infiltration basin.
- B. Repair infiltration basin slopes during final loam and seed.
- C. Install additional stone at infiltration basin rip-rap spillway.

### **4. Previous Open Action Items**

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1.
- B. The site contractor has encountered an issue regarding elevation difference between both proposed building addition entrances on ENE side and the proposed customer parking area as it relates to the construction of the proposed sidewalk and handicap ramp access. Site contractor and engineer of record are working to resolve the problem. **TT Update: Sidewalk has been graded with proposed walls, grades appear to work. This item has been addressed.**
- C. Maintain erosion controls throughout the site as specified in Item 1.A. of this report. **TT Update: This item has been addressed.**
- D. Contractor/engineer of record to confirm that Infiltration Basin is operating as designed. Standing water present in Basin after allowable 72-hour maximum detention time in the Basin.

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Merrimack Building Supply	Date 04/16/2019	Report No. 23
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Tuesday, April 16, 2019, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: dry, firm conditions sitewide. Silt fence barrier (SFB) is installed around the site perimeter. SFB located at the swale downstream of the proposed infiltration basin has been replaced. Filter socks are placed just inside the SFB, and silt sacks have been placed in catch basins along the driveway adjacent to the southeast corner of the building. Areas of stockpiled soil, gravel and construction materials were observed near the northern portion of the site.
- B. Contractor in process of installing remainder of proposed drain infrastructure at the site. Contractor exposed the water main during trenching which requires the drain to be run under the water main. Pipe was bedded with crushed stone and appears to be installed per the approved Plans.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Telehandler	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)		
Plumbers		Pickup Truck	2	Mechanical Sweeper		
Pipe Fitters		Tri-Axle Dump Truck				
Carpenters		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, PE	11:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Merrimack Building Supply	Date 04/16/2019	Report No. 23
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. Schedule**

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

### **3. New Action Items**

- A. N/A

### **4. Previous Open Action Items**

- A. Amend plan to install DMH-1 considering discovery of underground utilities at location of proposed installation. Note: Installation of structure is still on hold and under consideration. The communications provider is allegedly not amenable to the idea of relocating the communications lines in the way of DMH-1 and the remaining drain line connecting DMH-2 to DMH-1. **TT Update: Issues with utilities have been rectified and proposed drainage can be installed per the approved plans. Any deviations in run will be captured on the as-built. In our opinion, this item has been addressed.**
- B. Contractor/engineer of record to confirm that Infiltration Basin is operating as designed. Standing water present in Basin after allowable 72-hour maximum detention time in the Basin.
- C. Install rip-rap or equal to prevent displacement of crushed stone at apron to the Infiltration basin.
- D. Repair infiltration basin slopes during final loam and seed.
- E. Install additional stone at infiltration basin rip-rap spillway.

### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Merrimack Building Supply	Date 04/18/2019	Report No. 24
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 1 of 2
Contractor Barrows Contracting (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Thursday, April 18, 2019, Steven M. Bouley, PE from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: dry, firm conditions sitewide. Silt fence barrier (SFB) is installed around the site perimeter. SFB located at the swale downstream of the proposed infiltration basin has been replaced. Filter socks are placed just inside the SFB, and silt sacks have been placed in catch basins along the driveway adjacent to the southeast corner of the building. Areas of stockpiled soil, gravel and construction materials were observed near the northern portion of the site.
- B. Contractor in process of completing installation of proposed drain infrastructure. Contractor has installed all pipe and remaining DMH-1 upon arrival at the site. Pipe openings in the structure have been grouted and appear to be water-tight. pipe trench backfills with on-site material and prepped for paving with approximately 12-inches of processed gravel.

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		
Laborers	1	Loader		Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
Roofers		Conc. Truck		Telehandler	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Drill rig (drilling/blasting)		
Plumbers		Pickup Truck	2	Mechanical Sweeper		
Pipe Fitters		Tri-Axle Dump Truck				
Carpenters		Trailer Dump Truck				
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.					Name	Time on-site
					Steven M. Bouley, PE	11:00 A.M. – 12:00 P.M.

NOTE: Please use reverse side for remarks and sketches



Project Merrimack Building Supply	Date 04/16/2019	Report No. 23
Location 20 Trotter Drive, Medway, MA	Project No. 143-21583-17004	Sheet 2 of 2
<b>FIELD OBSERVATIONS CONTINUED</b>		

**2. Schedule**

- A. TT will maintain communication with contractor and will inspect the site on an as-need basis.

**3. New Action Items**

- A. N/A

**4. Previous Open Action Items**

- A. Contractor/engineer of record to confirm that Infiltration Basin is operating as designed. Standing water present in Basin after allowable 72-hour maximum detention time in the Basin.
- B. Install rip-rap or equal to prevent displacement of crushed stone at apron to the Infiltration basin.
- C. Repair infiltration basin slopes during final loam and seed.
- D. Install additional stone at infiltration basin rip-rap spillway.

**5. Materials Delivered to Site Since Last Inspection**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Salmon Health and Retirement Community	Date 04/04/2019	Report No. 1
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 50°F P.M.

## FIELD OBSERVATIONS

On Thursday, April 4, 2019, Bradley Picard, E.I.T. and Steve Bouley, P.E. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: Dry ground surface that is relatively firm with some softer areas caused by high groundwater. West side of project has been cleared to proposed Basin 1, and east side of the project has been cleared to proposed Basin 3. TT did not inspect clearing limits on the east side wetland crossing due to unknown conditions. Construction entrances from Village Street are stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed at the limits of work and near wetland areas. Rip rap has been placed from Village street to approximate STA 5+50 on proposed "Willow Pond Circle" for heavy equipment to travel on a stable surface.
- B. Contractor has installed drainage infrastructure at the west side entrance and the parking area off the east side of the west entrance. Contractor installing pipe into STC-1 upon departure from site as well as compacting backfill material.
- C. A black walnut tree has been preserved on the west side of the property at approximate STA 2+50.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	1	Asphalt Paver		Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer			
Laborers	5+	Loader	1	Vib. Roller	2		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	2	Jack Hammer			
Iron Workers		Grader		Power Saw	1		
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	2				
		Tri-Axle Dump Truck					
		Trailer Dump Truck					
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley Picard, E.I.T.	9:30 A.M. – 11:30 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Salmon Health and Retirement Community	Date 04/04/2019	Report No. 1
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

- D. Berm for proposed Basin 1 has been staked out. Contractor has excavated Basin 1 to the top of the groundwater table, and plan to backfill four (4) feet with suitable material to allow stormwater to infiltrate.

#### **2. Schedule**

- A. Utility work is anticipated to continue in the following weeks. TT will maintain communication with contractor and will inspect the site on an as-need basis.

#### **3. New Action Items**

- A. N/A

#### **4. Previous Open Action Items**

- A. N/A

#### **5. Materials Delivered to Site Since Last Inspection:**

- A. N/A

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Salmon Health and Retirement Community	Date 04/09/2019	Report No. 2
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Marois Brothers, Inc. (Site Contractor)	Weather A.M. P.M. CLOUDY	Temperature A.M. P.M. 40°F

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019, Bradley Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: Dry ground surface that is relatively firm with some softer areas caused by high groundwater. West side of project has been cleared to proposed Basin 1, and east side of the project has been cleared to proposed Basin 3. Clearing has begun over proposed "Waterside Run," clearing is approximately 20% completed in this area. Construction entrances from Village Street are stabilized with rock material. Silt fence barrier (SFB) is installed around the site perimeter and is in good condition. Filter socks are placed just inside the SFB and were observed at the limits of work and near wetland areas. Rip rap has been placed from Village street to approximate STA 5+50 on proposed "Willow Pond Circle" for heavy equipment to travel on a stable surface. Wood chippings are placed throughout the project site.
- B. Contractor has installed drainage infrastructure at the west side entrance and the parking area off the east side of the west entrance. Swale downstream of the installed drainage infrastructure has been excavated.
- C. Contractor is in the process of installing sewer infrastructure along proposed "Willow Pond Circle" up to approximate STA 5+50. Upon departure from the site, Contractor finished sewer line up to approximate STA 3+75. Open trench was covered with steel plates.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	2	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer			
Laborers	5+	Loader	1	Vib. Roller	2		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	4	Jack Hammer			
Iron Workers		Grader		Power Saw	1		
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skidder	1	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Compactor	2		
		Tri-Axle Dump Truck		Tree Chipper	1		
		Trailer Dump Truck					
		Art. Dump Truck	2				
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Bradley Picard, E.I.T.	2:00 P.M. – 3:30 P.M.

NOTE: Please use reverse side for remarks and sketches

Project Salmon Health and Retirement Community	Date 04/09/2019	Report No. 2
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

- D. Contractor is in the process of stabilizing parking area east of western entrance. During construction phases, parking area will be used to stage equipment and stockpile drain/sewer infrastructure.

#### **2. Schedule**

- A. Sewer line and infrastructure to be installed up to approximate STA 5+50 by the end of the week.
- B. Drainage infrastructure to be installed at the eastern entrance starting Monday 4/15.
- C. Utility work is anticipated to continue in the following weeks. TT will maintain communication with contractor and will inspect the site on an as-need basis.

#### **3. New Action Items**

- A. N/A

#### **4. Previous Open Action Items**

- A. N/A

#### **5. Materials Delivered to Site Since Last Inspection:**

- A. N/A



Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Salmon Health and Retirement Community	Date 04/16/2019	Report No. 3
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Tuesday, April 9, 2019, Bradley Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. Observations

- A. General site conditions: The eastern side of the site is generally dry due to measures by the contractor to reduce the amount of mud by spreading tree mulch, rip-rap and crushed stone within traveled ways. West side of project has been cleared to proposed Basin 1, and east side of the project has been cleared to proposed Basin 3. Cook Land Clearing Inc. is in the process of clearing the site and is progressing into the main portion of the site from east to west and is on-going. Construction entrances from Village Street are stabilized with rip-rap material and appear to be functioning to remove sediment from wheels prior to leaving the site. Silt fence barrier (SFB) and filter socks appear to be installed per the plan and are in good condition.
- B. Contractor has installed drainage infrastructure upstream of the proposed swale adjacent to the western site entrance to approximate STA 3+00 (Willow Pond Circle). Swale downstream of the installed drainage infrastructure has been excavated but not yet completed.
- C. Contractor is in the process of installing sewer/water main to approximate STA 5+50 (Willow Pond Circle). Town of Medway Water and Sewer department personnel are completing inspections of water/sewer main.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't		Bulldozer	2	Asphalt Paver		Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		Cook Land Clearing	Clearing and Grubbing
Laborers	5+	Loader	1	Vib. Roller	2		
Drivers		Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	2	Skid Steer		Vib. Walk Comp.			
Carpenters		Hoeram		Compressor			
Masons		Excavator	4	Jack Hammer			
Iron Workers		Grader		Power Saw	1		
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
Roofers		Conc. Truck		Skid Steer	1	OFFICIAL VISITORS TO JOB	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Compactor	2		
		Tri-Axle Dump Truck		Wood Chipper	1		
		Trailer Dump Truck					
		Art. Dump Truck	2				
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.						Name	Time on-site
						Steven M. Bouley, PE	10:00 A.M. – 11:00 A.M.

NOTE: Please use reverse side for remarks and sketches

Project Salmon Health and Retirement Community	Date 04/16/2019	Report No. 3
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

### **FIELD OBSERVATIONS CONTINUED**

- D. Contractor is in the process of importing and spreading processed gravel for fill material at the west entrance up to approximate STA 5+50 (Willow Pond Circle).

#### **2. Schedule**

- A. Clearing and utility work is anticipated to continue in the following weeks. TT will maintain communication with contractor and will inspect the site on an as-need basis.

#### **3. New Action Items**

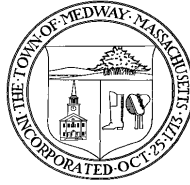
- A. N/A

#### **4. Previous Open Action Items**

- A. N/A

#### **5. Materials Delivered to Site Since Last Inspection**

- A. N/A



**April 23, 2019**  
**Medway Planning & Economic Development Board**  
**Meeting**

**ZBA Petitions**

The following petitions have been submitted to the ZBA and will be considered at its May 1, 2019 meeting. The ZBA has requested comments from Town departments, boards and committees. .

- **72A Fisher Street** – Applicant seeks a frontage variance to allow a lot to be split into 2 lots. One lot would have 57.9' of frontage and the other lot would have 60' of frontage. Please review this one very carefully. This may be more suitably undertaken as a private way subdivision.
- **48 Gorwin Drive** – Applicant requests a side lot setback variance from 15' to 7.82' to allow for construction of a 2 car garage.
- **32 Milford Street** – Applicant plans to demolish the existing older, non-conforming residential building; the current building does not comply with front setback requirements. It would be replaced with a new residence on a different footprint that would meet current setback and height requirements, however the new building height is 7.9' taller than the existing building height. The lot is also pre-existing, non-conforming with 132' of frontage where 150' is required. The Historical Commission has reviewed the building and authorized its demolition. Applicant seeks a determination from the ZBA that the proposed building is not more nonconforming than the existing structure. If the ZBA does not do so, the applicant seeks a special permit to allow for the proposed construction as long as it does not create a new nonconformity and will not be substantially more detrimental to the neighborhood than the existing non-conforming structure.

**72A Fisher Street**



**TOWN OF MEDWAY**  
**ZONING BOARD OF APPEALS**

155 Village Street  
Medway MA 02053

**GENERAL APPLICATION FORM**

Case Number: \_\_\_\_\_

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

**TO BE COMPLETED BY THE APPLICANT**

<b>Applicant/Petitioner(s):</b> Patrick R. McSweeney and Kathleen E. McSweeney	<b>Application Request(s):</b>
<b>Property Owner(s):</b> Patrick R. McSweeney and Kathleen E. McSweeney	Appeal <input type="checkbox"/>
<b>Site Address(es):</b> 72 A Fisher Street, Medway, MA 02053	Special Permit <input type="checkbox"/>
	Variance <input checked="" type="checkbox"/>
	Determination/Finding <input type="checkbox"/>
	Extension (provide previous case #) <input type="checkbox"/>
	Modification (provide previous case #) <input type="checkbox"/>
<b>Parcel ID(s):</b> 35-033	Withdrawal <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>
<b>Zoning District(s):</b> ARI	
<b>Registry of Deeds Book &amp; Page No. and Date or Land Court Certificate No. and Date of Current Title:</b> Norfolk County Registry of Deeds Book 12320, Page 475	

TOWN CLERK STAMP

**TO BE COMPLETED BY STAFF:**

Check No.:  
Date of Complete Submittal:  
Comments:



**GENERAL APPLICATION FORM**

Case Number: \_\_\_\_\_

**APPLICANT/PETITIONER INFORMATION**

*The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.*

<b>Applicant/Petitioner(s):</b> Patrick R. McSweeney and Kathleen E. McSweeney	<b>Phone:</b> (508) 533-1284
	<b>Email:</b> patrickmcs@comcast.net
<b>Address:</b> 72 A Fisher Street, Medway, MA 02053	
<b>Attorney/Engineer/Representative(s):</b> Stephen J. Kenney, Kenney & Kenney	<b>Phone:</b> 508-533-6711
Stephen J. Kenney, Kenney & Kenney	<b>Email:</b> sjk@kenney-law.com
<b>Address:</b> 181 Village Street, Medway, MA 02053	
<b>Owner(s):</b> Patrick R. McSweeney and Kathleen E. McSweeney	<b>Phone:</b> (508) 533-1284
	<b>Email:</b> patrickmcs@comcast.net
<b>Mailing Address:</b> 72 A Fisher Street, Medway, MA 02053	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

None

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

None

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

\_\_\_\_\_  
Signature of Applicant/Petitioner or Representative\_\_\_\_\_  
Date\_\_\_\_\_  
Signature Property Owner (if different than Applicant/Petitioner)\_\_\_\_\_  
Date

# GENERAL APPLICATION FORM

Case Number: \_\_\_\_\_

## APPLICATION INFORMATION

		YES	NO
Applicable Section(s) of the Zoning Bylaw: <u>G.1</u>	Requesting Waivers?	<input type="radio"/>	<input checked="" type="radio"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input checked="" type="radio"/>	<input type="radio"/>
Present Use of Property: Single Family Residence	Has the applicant applied for and/or been refused a building permit?	<input type="radio"/>	<input checked="" type="radio"/>
	Is the property or are the buildings/ structures pre-existing nonconforming?	<input type="radio"/>	<input checked="" type="radio"/>
Proposed Use of Property: Two Single Family Residences	Is the proposal subject to approval by the BOH or BOS?	<input type="radio"/>	<input checked="" type="radio"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="radio"/>	<input checked="" type="radio"/>
Date Lot was created: <u>1972</u>	Is the property located in the Floodplain District?	<input type="radio"/>	<input checked="" type="radio"/>
Date Building was erected: <u>1998</u>	Is the property located in the Groundwater Protection District?	<input type="radio"/>	<input checked="" type="radio"/>
Does the property meet the intent of the Design Review Guidelines? Yes	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="radio"/>	<input checked="" type="radio"/>
<p><b>Describe Application Request:</b></p> <p>The Petitioner is seeking a variance from the frontage requirements of <u>180'</u> to create an additional lot so that each lots 1 and 2 shall have less then adequate frontage as required by the Zoning By-Law. Total frontage for Lot 1 will be 57.90 feet and total frontage for Lot 2 will be 60 feet. The Petitioner presently resides in a single family residence on the subject parcels and has been residing there since 1998. The parcel is oddly shaped in that it has limited frontage but far in excess of the required area for a single family residence. Property has 177,093 square feet or 4.02 acres. Property is 100% uplands. Other than the requested variance for frontage the properties will be in all respects in full compliance with the Zoning By-Laws.</p> <p>There was a previous variance granted on this particular parcel in 1997, a copy of which is attached hereto and incorporated herein by reference. The variance granted at that point in time was to allow frontage of 117 +/- feet on Fisher Street. The variance was granted to a prior owner. It was stated at point in time that the original developer of the surrounding area, it appeared, had specifically left the area aside in 1972 for the potential development of a cul-de-sac and three lot subdivision.</p>			

# GENERAL APPLICATION FORM

Case Number: \_\_\_\_\_

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Single Family Residence	Two Single Family Residence
B. Dwelling Units		One	Two
C. Lot Size		177,093 s.f.	Lot 1: 86,915 s.f. Lot 2: 90,173 s.f.
D. Lot Frontage		117.9 feet	Lot 1: 57.90 ft. Lot 2: 60 ft.
E. Front Setback		in excess of 230 ft.	in excess of 230 ft.
F. Side Setback		in excess of 60 ft.	in excess of 60 ft.
G. Side Setback		in excess of 60 ft.	in excess of 60 ft.
H. Rear Setback		in excess of 60 ft.	in excess of 60 ft.
I. Lot Coverage		IN CONFORMITY	IN CONFORMITY
J. Height		in conformity with Zoning By-Law	in conformity with Zoning By-Law
K. Parking Spaces		N/A	N/A
L. Other			

## FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

Date Reviewed \_\_\_\_\_

Medway Building Commissioner \_\_\_\_\_

Comments:

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org) and 10 paper copies to the Community & Economic Development Department.

94574

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

IN THE MATTER OF:

Robert Curatola  
Petitioner

NORFOLK COUNTY REGISTRY OF DEEDS  
DEDHAM, MA

CERTIFY

*Barry T. Hannon*

BARRY T. HANNON, REGISTER

RECEIVED  
NORFOLK COUNTY  
97 SEP 12 PM 12:17

OPINION OF THE BOARD

REQUEST FOR VARIANCE

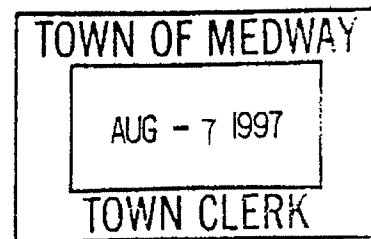
HEARING: June 18, 1997  
July 17, 1997

DECISION: July 17, 1997

MEMBERS PRESENT:

Jan V. Morris, Chairman  
David E. D'Amico, Clerk  
Stephen J. Reding  
David J. Cole  
Bonnie Tetrault

THE WRITTEN OPINION WAS DELIVERED ON JULY 30, 1997



20 day appeal date  
Aug 27, 1997

## OPINION OF THE BOARD

This is a proceeding of the Zoning Board of Appeals of the Town of Medway, MA (hereinafter the Board) acting under the Zoning By-Laws of the Town of Medway, MA 02053 and the Massachusetts General Law C40A, as amended, in which the petitioner, Robert Curatola, requests a Variance to construct one single family home on a vacant lot known as Lot#1, Fisher St., Medway, MA 02053.

Following the giving of notice as required by law, a public hearing on this petition scheduled for June 18, 1997, was postponed at the request of the applicant, to July 17, 1997, and held on that date in Sanford Hall, Medway Town Hall, Medway, MA 02053.

On June 18, 1997, Chairman Jan V. Morris opened the hearing and advised the applicant and his attorney that there was only a four member Board present. He further advised that should they choose, they were welcome to postpone the hearing until such time that a five member Board was available. After conferring with his attorney, the applicant decided to postpone the hearing until a five member board was available.

On July 17, 1997, the applicant, Robert Curatola, along with his attorney, John Dugan, and Paul DeSimone, surveyor, came before the Board to request relief from frontage requirements to allow for the construction of one single family home. Attorney Dugan presented a plan to the Board showing the four acre lot with only 117± feet of frontage on Fisher Street. The lot is under a Purchase & Sale Agreement between the owner, Joan E. Giovanella, and the applicant. The large lot, in the ARI district, has no subdivision plan associated with it. It was stated that the original developer of the surrounding area, it appears, specifically left this area aside in 1972 for the potential development of a cul-de-sac and three house lot subdivision. When the developer left the area, Mrs. Giovanella purchased the lot, and it has remained undeveloped since her ownership. She now wishes to sell the property, but would prefer that only one single family home be constructed to allow the remainder of the large lot to remain in its natural state. The applicant wishes to construct only one single family home in which he and his family will reside. He has no plans for any future development and will place in the deed as a covenant a condition stating that the premises are not to be subdivided. Such a covenant would be permanent and binding on all future owners. Additionally, there would be only one well and septic system associated with the four acre lot which would be less of a strain on the environment and intensity of the area, than would a three house lot subdivision. Attorney Dugan submitted a letter to the Board from the Fire Chief stating that the proposed plan would not be a detriment to public safety and that there is an automatic aid agreement in place with the Holliston Fire Department for response to the area of Fisher Street.

The public was addressed and asked if any one had any questions. Mr. Twomey of 68 Fisher St. asked if the proposed covenant would be enforceable. Attorney Dugan stated that it was extremely difficult to break a covenant. Such action would involve land court and zoning board involvement which was extremely time consuming and costly.

At the hearing, no one spoke in favor of, nor did any one speak in opposition to the petition.

During deliberation, discussion centered around the benefits, including environment, safety, density issues, etc., of constructing only one single family home on the four acre, non conforming lot. While it was obvious that the original intent in 1972 was a subdivision, with no preliminary, definitive or other plan associated with the lot, what is left is a large non-conforming, four acre lot with inadequate frontage, thereby, restricting compliance with the zoning by-law. Furthermore, with the addition of a covenant on the deed, it is improbable that a

Curatola  
Page 2

future subdivision plan could be formulated. Additionally, it was found that the proposed plan would not generally affect the zoning district; was not a detriment to the public good; nor, did it substantially derogate from the intent or purpose of the by-law. Therefore, in a majority decision of the five members, (Messrs. Morris, Cole, Reding and Ms. Tetrault in favor, Mr. D'Amico opposed), the Board voted to grant the relief from frontage requirements to Robert Curtola for the purpose of constructing one single family home on Lot 1, Fisher St., Medway, MA. Said variance shall generally conform to the plan presented dated April 18, 1997, signed by the Board on July 17, 1997 and attached to this decision. The variance is granted with the following expressed conditions:

1. Only one single-family dwelling is to be constructed upon this lot.
2. The applicant shall include a specific condition in any deed of the premises that the premises are not to be subdivided and are to be used for one single-family dwelling. This condition shall exist as a covenant and shall run with the land.
3. The position of the single-family dwelling on the lot shall come no closer than 50 feet from any property line.

The Board hereby makes a detailed record of its findings and proceedings relative to this petition, sets forth its reasons for its findings and decision, incorporates by reference any plan or diagram received by it, directs that this decision be filed in the office of the Town Clerk and be made a public record and that notice and copies of its decision be made forthwith to all parties or persons interested.

**IN ACCORDANCE WITH MASSACHUSETTS GENERAL LAW, CHAPTER 40A, SECTION 11 NO VARIANCE, SPECIAL PERMIT OR CONSTRUCTIVE GRANT OF A VARIANCE TAKES EFFECT UNTIL RECORDED IN THE REGISTRY OF DEEDS.**

Jan V. Morris

Jan V. Morris, Chairman

David E. D'Amico

David E. D'Amico, Clerk

Stephen J. Reding

Stephen J. Reding

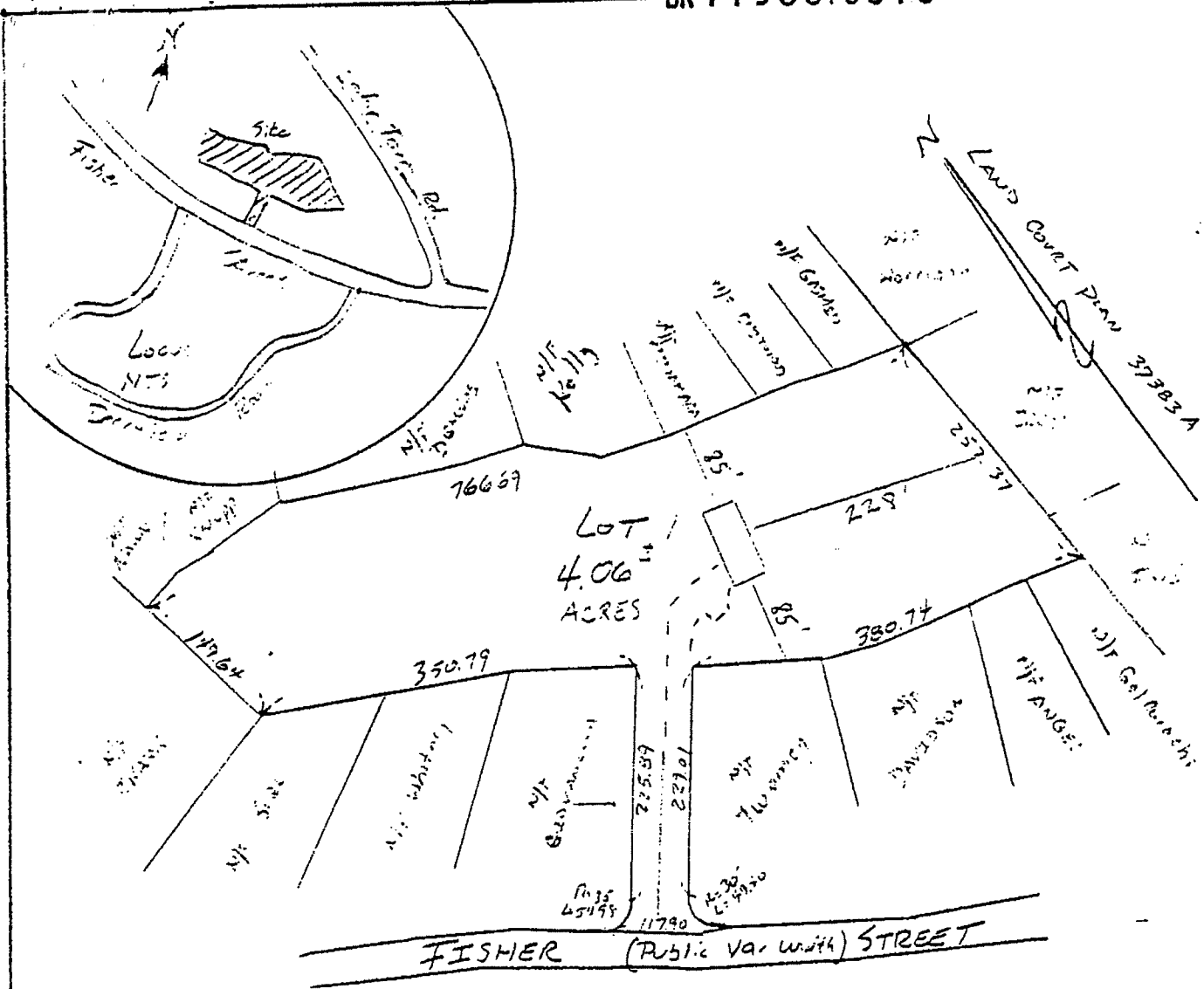
David J. Cole

David J. Cole

Bonnie Tetrault

Bonnie Tetrault





THIS IS A SKETCH AND SHALL  
NOT BE REFERRED TO AS A  
PLAN FOR THE PURPOSES OF  
CONVEYING OR SUBDIVIDING  
LAND

ZONE AR-I

Request Variance for  
FRONTAGE ~ Existing - 117.90  
Zoning - 180.00  
Deficiency of 62.10

Barrie Tetrault 7/17/97  
Jan V. Morris 7/17/97  
David T. El 7/17/97  
J. O'Amis 7/17/97

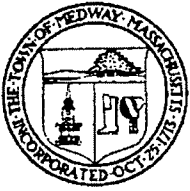
Plot Plan of Land  
IN

MEDWAY, MA.  
Scale 1"=170' April 18 1997  
Francis X. DeSimone & Sons  
33 Cottage St. Medway, Ma  
Prepared for Rob Curatolo  
5 Curtis Lane Medway, Ma.

# TOWN OF MEDWAY

MEDWAY, MASSACHUSETTS 02053

TEL. (508) 533-6059



Town Clerk  
Maryjane White

## C E R T I F I C A T I O N

I, Town Clerk of the Town of Medway, hereby certify  
that notice of the decision of the Zoning Board of Appeals  
of the Town of Medway in the matter of:

.....Robert Curatola.....

Was received and filed in this office on ..August.07.....19.97  
and no appeal was received during twenty days next after  
such receipt and recording of said decision.

Dated at Medway, Massachusetts.....Sept.,.08,.1997.....19....

ATTEST:.....  
Ant. Town Clerk

*Patricia A. Lampson*



VARIANCE FORM

Case Number: \_\_\_\_\_



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)

See Attached

2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)

See Attached

3. State why you believe the grant of relief would not nullify or derogate from the intent of the Zoning Bylaw.

See Attached

Signature of Applicant/Petitioner or Representative

Date

1. The circumstances that exist relating to the shape, topography, or soil conditions of the subject property which do not generally effect other land in the zoning district are as follows. The property is a parcel of land located off of Fisher Street with approximately 4 acres of land on which sits a single family residence number 72 A Fisher Street. The property has been owned by the present owner since 1998 who had the home built at that location. The Petitioners wish to at this point in time divide the property into two parcels Lot 1 and Lot 2 with Lot 1 having 57.90 feet of frontage and Lot 2 having 60 feet of frontage where the required frontage is 180 feet. Required area in this district of AR I is 44, 000 square feet. Each parcel shall have an excess of 85,000 square feet of area with Lot 1 having 86,915 square feet and Lot 2 having 90,178 square feet. Each of the parcels and each of the home/s to be built upon the parcel will continue to be in compliance with all other Zoning By-Laws. The Petitioners propose to place a new home to be built in the middle of the parcel so that it is not near any of the abutters and not near any of the lot lines. Certainly the shape of the parcel is such that with limited frontage and large area it would be well suited to have a variance granted. The topography of the land is such that it goes up a hill and is 100% uplands for the entire size of the parcel. The majority of the other parcels in this area and in this Zoning District are acre parcels with this parcel being a 4 acre parcel. It is submitted that this would be the best use of the land and that a proposed subdivision would not be conducive to the area nor would it be in the best interest of the neighbors or the neighborhood and by allowing the construction of one single family residence and not requiring construction of a road way on what is a limited way for access to the subject premises.
2. The substantial hardship, financial or otherwise, that is caused by the circumstances listed above when the literal enforcement of the Medway Zoning Bylaw is applied as follows. The real estate taxes on the subject parcel have become higher over the years and with a 4 acre parcel the Petitioners seek to lower the burden of the real estate taxes. It would be a benefit of the Town of Medway to have an additional single family residence built on this lot for the purposes of the real estate tax income to the town. Additionally the Petitioners are looking to downsize and wish to continue to reside in the Town of Medway but there is limited lots for sale in the Town of Medway. The Petitioner, Patrick R. McSweeney is a physician practicing in the Town of Medway and has been practicing in the Town of Medway for 14 years. Patrick McSweeney is also a lifelong resident of the Town of Medway, graduated from Medway High School and has continued to live here his entire life. He wishes to continue to reside in the Town of Medway but as stated the opportunities for the purchase of lots to build a single family home upon are limited. They also wish to build a smaller home on their residence.
3. The grant of relief would not nullify or derogate from the intent of the Zoning Bylaw for the following reasons. The intent of the Zoning Bylaw is to not have over burden a subject piece of real estate or overly construct so that a piece of real estate imposes upon or burdens the abutters of the neighbors of the subject piece of real estate. In this particular instance we have a 4+ acre parcel of real estate with one single family residence built upon it. The Petitioner is simply seeking to construct a second single family structure on the subject piece of real estate with each parcel having approximately 2 acres of land. The proposed structure will be located in the center of subject Lot 2 so that it will not overly burden or impose upon any of the neighbors. This is a heavily wooded lot so that none of the neighbors will be impacted in any way by the construction

of the proposed structure. The present access to the premises is by way of a driveway which will continue to be used and will not be changed in any way, so that the direct abutters that front on Fisher Street to the subject parcel, again would not be impacted adversely. This is a residential district, ARI and the proposed structure will be a single family residence. The area requirement is 44,000 square feet and this will be in excess of 90,000 square feet for the new lot and an excess of 86,000 square feet for the existing lot. All other Zoning Requirements will be met entirely. Subject property is not in the ground water protection district nor is it within the Flood Plan Zone. The subject parcel is 100% upland through there are no Wetland or conservation issues that arise. This would seem to be the best use of the property with the least intrusion upon the abutters and the neighbors of the subject neighborhood.



**TOWN OF MEDWAY**  
**ZONING BOARD OF APPEALS**

155 Village Street  
Medway MA 02053

**TREASURER/COLLECTOR CERTIFICATION**

**Case Number:** \_\_\_\_\_

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

**TO BE COMPLETED BY THE APPLICANT**

**Applicant/Petitioner(s):**

Patrick R. McSweeney and Kathleen E. McSweeney

**Property Owner(s):**

Patrick R. McSweeney and Kathleen E. McSweeney

**Site Address(es):**

72 A Fisher Street, Medway, MA 02053

**Parcel ID(s):**

35-033

**Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:**

Norfolk County Registry of Deeds Book 12320, Page 475

\_\_\_\_\_  
*Signature of Applicant/Petitioner or Representative*

\_\_\_\_\_  
*Date*

**FOR TOWN HALL USE ONLY**

*To be filled out by the Treasurer/Collector:*

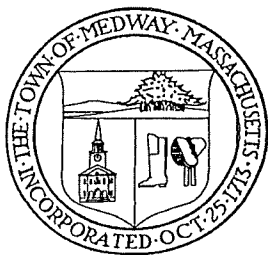
\_\_\_\_\_  
Date Reviewed

\_\_\_\_\_  
Medway Treasurer/Collector

**Tax Delinquent:**    Y    N

**Comments:**





TOWN OF MEDWAY  
BOARD OF ASSESSORS  
155 VILLAGE STREET  
MEDWAY, MA 02053  
PHONE: 508-533-3203 FAX: 508-321-4981  
www.townofmedway.org

RECEIVED

APR - 5 2019

MEDWAY, MA 02053

## REQUEST FOR ABUTTERS

Date of Request: \_\_\_\_\_

Property owner: Patrick R. McSweeney and Kathleen E. McSweeney

Property location: 72 A Fisher Street, Medway, MA

Parcel (Property) ID: 35-033

Please specify: 100', 300' or 500' from subject parcel: 300'

### THIS LIST IS REQUESTED FOR:

- |                                     |                                       |
|-------------------------------------|---------------------------------------|
| <input type="checkbox"/>            | Planning & Economic Development Board |
| <input checked="" type="checkbox"/> | Zoning Board of Appeals               |
| <input type="checkbox"/>            | Conservation Commission               |

### REQUESTER INFORMATION:

Name: Stephen J. Kenney Email address: [sjk@kenney-law.com](mailto:sjk@kenney-law.com)

Address: 181 Village Street  
Medway, MA 02053

Phone: 508-533-6711

**Please Return to MEDWAY ZBA  
Mackenzie Leahy or Stephanie Mercandetti  
Community & Economic Development Department**

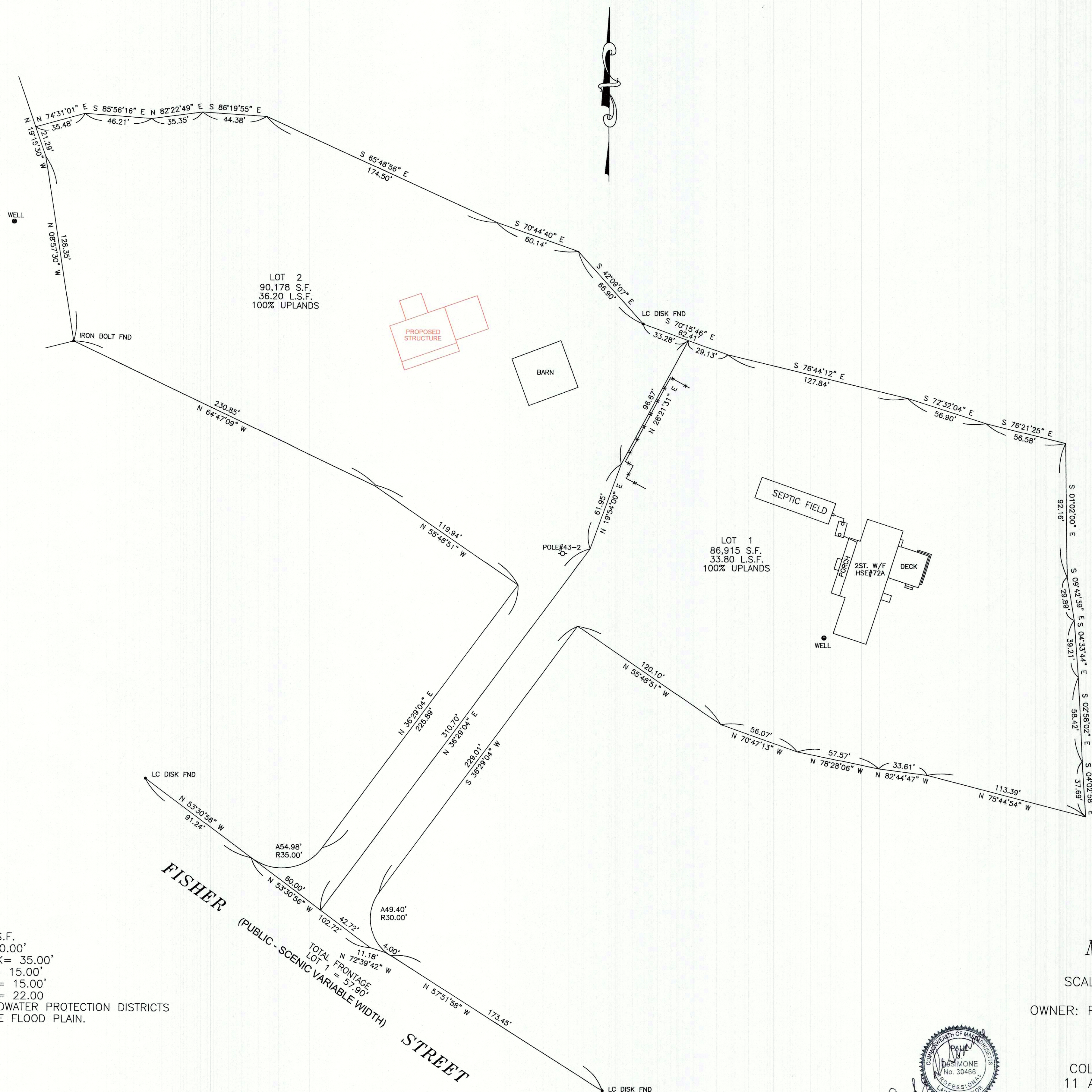
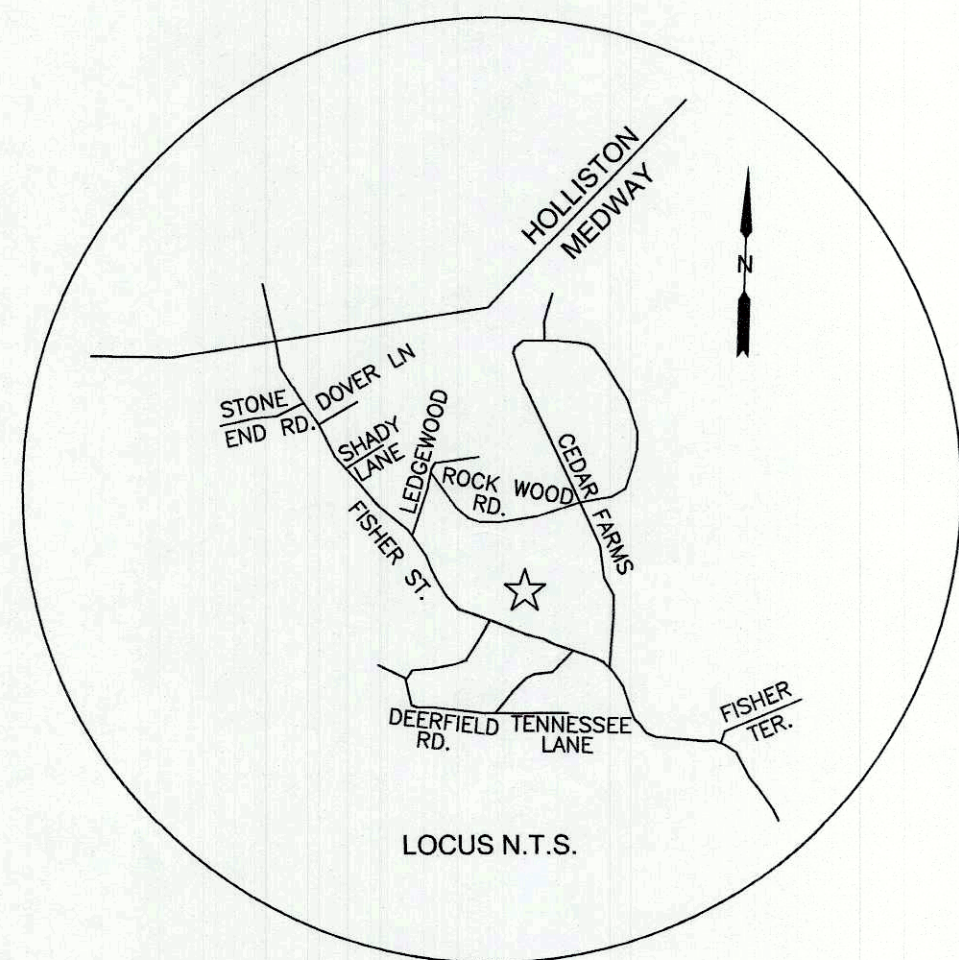
THERE IS A FEE OF \$15.00 DUE AT THE TIME OF REQUEST. THE LIST IS VALID FOR 90 DATE OF CERTIFICATION DATE.

THE BOARD OF ASSESSORS RESERVES 10 WORKING DAYS TO PROVIDE ALL CERTIFIED LISTS OF ABUTTERS:

\*\*\*IF YOU WISH TO HAVE THE LISTS MAILED BACK TO YOU,

YOU MUST PROVIDE A SELF ADDRESSED STAMPED ENVELOPE LARGE ENOUGH FOR THREE SETS OF LABELS.\*\*\*





ZONE AR I  
 AREA=44,000 S.F.  
 FRONTAGE= 180.00'  
 FRONT SETBACK= 35.00'  
 SIDE SETBACK= 15.00'  
 REAR SETBACK= 15.00'  
 SHAPE FACTOR= 22.00  
 NOT IN GROUNDWATER PROTECTION DISTRICTS  
 NOT WITHIN THE FLOOD PLAIN.

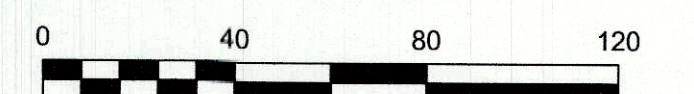
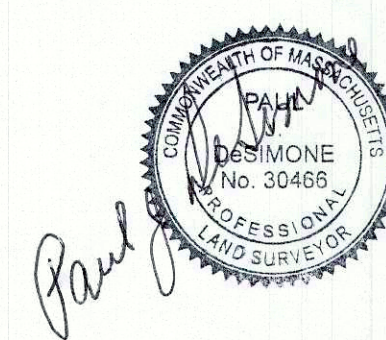
PLAN OF LAND  
 IN

**MEDWAY, MA.**

SCALE: 1"=40' MAR. 11, 2019

OWNER: Patrick & Kathleen McSweeney  
 72A Fisher Street  
 Medway, Ma. 02053

COLONIAL ENGINEERING INC.  
 11 AWL STREET MEDWAY, MA.  
 508-533-1644







**72A Fisher Street**



**48 Gorwin Drive**



**TOWN OF MEDWAY**

**ZONING BOARD OF APPEALS**

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

**TO BE COMPLETED BY THE APPLICANT**

<b>Applicant/Petitioner(s):</b> Sarah Cabral	<b>Application Request(s):</b>
<b>Property Owner(s):</b> Same	Appeal <input type="checkbox"/>
	Special Permit <input type="checkbox"/>
<b>Site Address(es):</b> 48 Gorwin Drive	Variance <input checked="" type="checkbox"/>
Medway, MA 02053	Determination/Finding <input type="checkbox"/>
	Extension (provide previous case #) <input type="checkbox"/>
	Modification (provide previous case #) <input type="checkbox"/>
<b>Parcel ID(s):</b> 32-123	Withdrawal <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>
<b>Zoning District(s):</b> AR-II Agricultural Residential II	
<b>Registry of Deeds Book &amp; Page No. and Date or Land Court Certificate No. and Date of Current Title:</b> 28704-1	

TOWN CLERK STAMP

**TO BE COMPLETED BY STAFF:**

Check No.:  
Date of Complete Submittal:  
Comments:

APPLICANT/PETITIONER INFORMATION

*The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.*

<b>Applicant/Petitioner(s):</b> Sarah Cabral	<b>Phone:</b> 508-254-7666
	<b>Email:</b> sarah.mcgilvray@gmail.com
<b>Address:</b> 48 Gorwin Drive Medway, MA 02053	
<b>Attorney/Engineer/Representative(s):</b> N/A	<b>Phone:</b>
N/A	<b>Email:</b>
<b>Address:</b>	
<b>Owner(s):</b> Same	<b>Phone:</b>
	<b>Email:</b>
<b>Mailing Address:</b>	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):  
N/A

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:  
N/A

**I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.**

\_\_\_\_\_  
*Signature of Applicant/Petitioner or Representative* *Date*

\_\_\_\_\_  
*Signature Property Owner (if different than Applicant/Petitioner)* *Date*



## APPLICATION INFORMATION

		YES	NO
<b>Applicable Section(s) of the Zoning Bylaw:</b> 6.1 SCHEDULE OF DIMENSIONAL AND DENSITY REGULATIONS	Requesting Waivers?	<input checked="" type="radio"/>	<input type="radio"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Present Use of Property:</b> Single Family Residence	Has the applicant applied for and/or been refused a building permit?	<input type="radio"/>	<input checked="" type="radio"/>
	Is the property or are the buildings/ structures pre-existing nonconforming?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Proposed Use of Property:</b> Same	Is the proposal subject to approval by the BOH or BOS?	<input type="radio"/>	<input checked="" type="radio"/>
	Is the proposal subject to approval by the Conservation Commission?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Date Lot was created:</b> 1958	Is the property located in the Floodplain District?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Date Building was erected:</b> ?	Is the property located in the Groundwater Protection District?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Does the property meet the intent of the Design Review Guidelines?</b> Yes	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="radio"/>	<input checked="" type="radio"/>
<b>Describe Application Request:</b> Requesting to add a garage addition to the West side of the house that will decrease the setback to 8'.			

# GENERAL APPLICATION FORM

Case Number: \_\_\_\_\_

FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Residence	Same
B. Dwelling Units	1 per lot	1	same
C. Lot Size	22,500 sqft	10,557 sqft	same
D. Lot Frontage	150'	87.11'	same
E. Front Setback	35'	31'	same
F. Side Setback	15'	25.82'	7.82'
G. Side Setback	15'	>15'	same
H. Rear Setback	15'	>15'	same
I. Lot Coverage	30%	9.94%	13.35%
J. Height	35' max	<35'	same
K. Parking Spaces	?	3	same
L. Other	N/A	N/A	N/A

## FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

\_\_\_\_\_  
Date Reviewed

\_\_\_\_\_  
Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org) and 4 paper copies to the Community & Economic Development Department.



## TOWN OF MEDWAY

### ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

## TREASURER/COLLECTOR CERTIFICATION

Case Number: \_\_\_\_\_

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

### TO BE COMPLETED BY THE APPLICANT

**Applicant/Petitioner(s):**

Sarah Cabral

**Property Owner(s):**

Same

**Site Address(es):**

48 Gorwin Drive, Medway MA, 02053

**Parcel ID(s):**

32-123

**Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:**

28704-1

\_\_\_\_\_  
*Signature of Applicant/Petitioner or Representative*

\_\_\_\_\_  
*Date*

### FOR TOWN HALL USE ONLY

*To be filled out by the Treasurer/Collector:*

\_\_\_\_\_  
Date Reviewed

\_\_\_\_\_  
Medway Treasurer/Collector

**Tax Delinquent:**

Y ☐ N ☐

**Comments:**



Case Number: \_\_\_\_\_



## TOWN OF MEDWAY

### ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

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### TO BE COMPLETED BY THE APPLICANT

*Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.*

- 1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c. 40A Section 10)**

The lot at 48 Gorwin Drive is a corner lot that is triangular in shape. The proposed garage would account for any rainwater runoff and other related code items so that the new structure would not impact the neighboring lot. Currently, there is a wall of vegetation at the property line on the side yard where the proposed garage is intended.

- 2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be *personal hardship*)**

In order to build the proposed two car garage and be within the setback requirements as noted in the town zoning by-laws, we would have to locate the garage on the rear of the home. This would be unfeasible as we would have to demolish our existing driveway and create new hardscapes that allow access into the home. This also would not be feasible as a garage within the setbacks would be counteractive to the current building codes such as required windows for bedrooms.

- 3. State why you believe the grant of relief would not nullify or derogate from the intent of the Zoning Bylaw.**

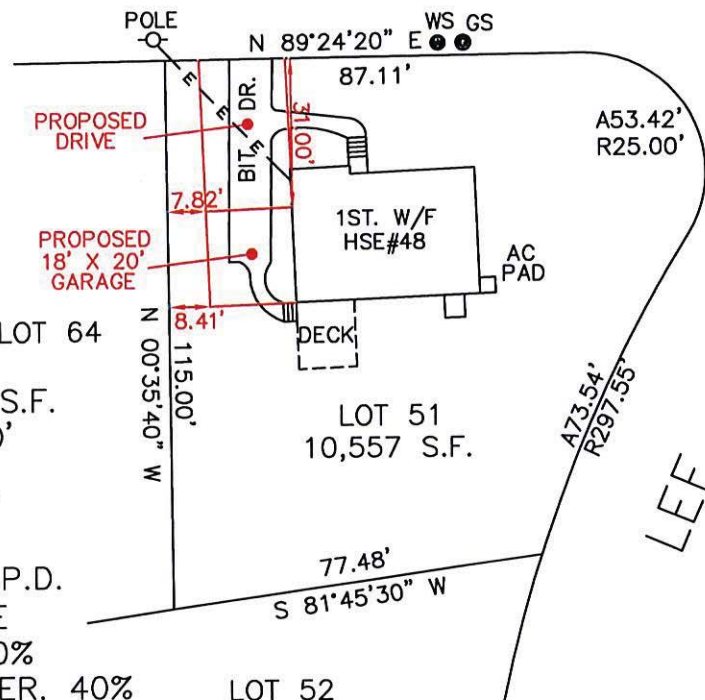
In keeping with the integrity of the existing neighborhood, the variance would not derogate the zoning bylaw as it is keeping the proposed structure within the architectural language of all surrounding structures. Most properties in the neighborhood have two car garages, one car garages and car ports. In allowing for a 7.5ft relief into the side yard setback it would allow our family to have the basic needs of most homes in Medway. Full access around the structure will be maintained for fire department access and a new vegetated separation can be added if required by the abutter. We hope the town can take into consideration our proposed garage as it would add a basic need which can allow for a better quality of life and security for our families assets.

Signature of Applicant/Petitioner or Representative

Date



GORWIN (50' WIDE) DRIVE



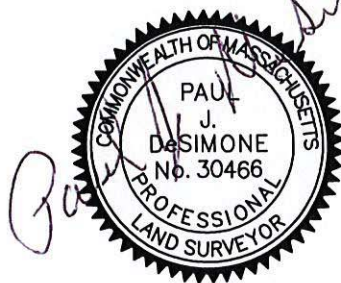
ZONE AR II  
AREA 22,500 S.F.  
FRONTAGE 150'  
SETBACK 35'  
REARYARD 15'  
SIDEYARD 15'  
NOT WITHIN G.P.D.  
LOT COVERAGE  
STRUCTURE 30%  
STRUC. & IMPER. 40%

EXIST LOT COVERAGE  
STRUCTURE 9.94%  
STRUC. & IMPER. 14.84%

PROPOSED LOT COVERAGE  
STRUCTURE 13.35%  
STRUC. & IMPER. 19.94%

I CERTIFY THAT THE PROPOSED  
GARAGE SHOWN ON THIS PLAN  
DOES NOT LIE WITHIN THE FLOOD  
PLAIN.

LOT AND STRUCTURE ARE  
PRE-EXISTING & NON- CONFORMING



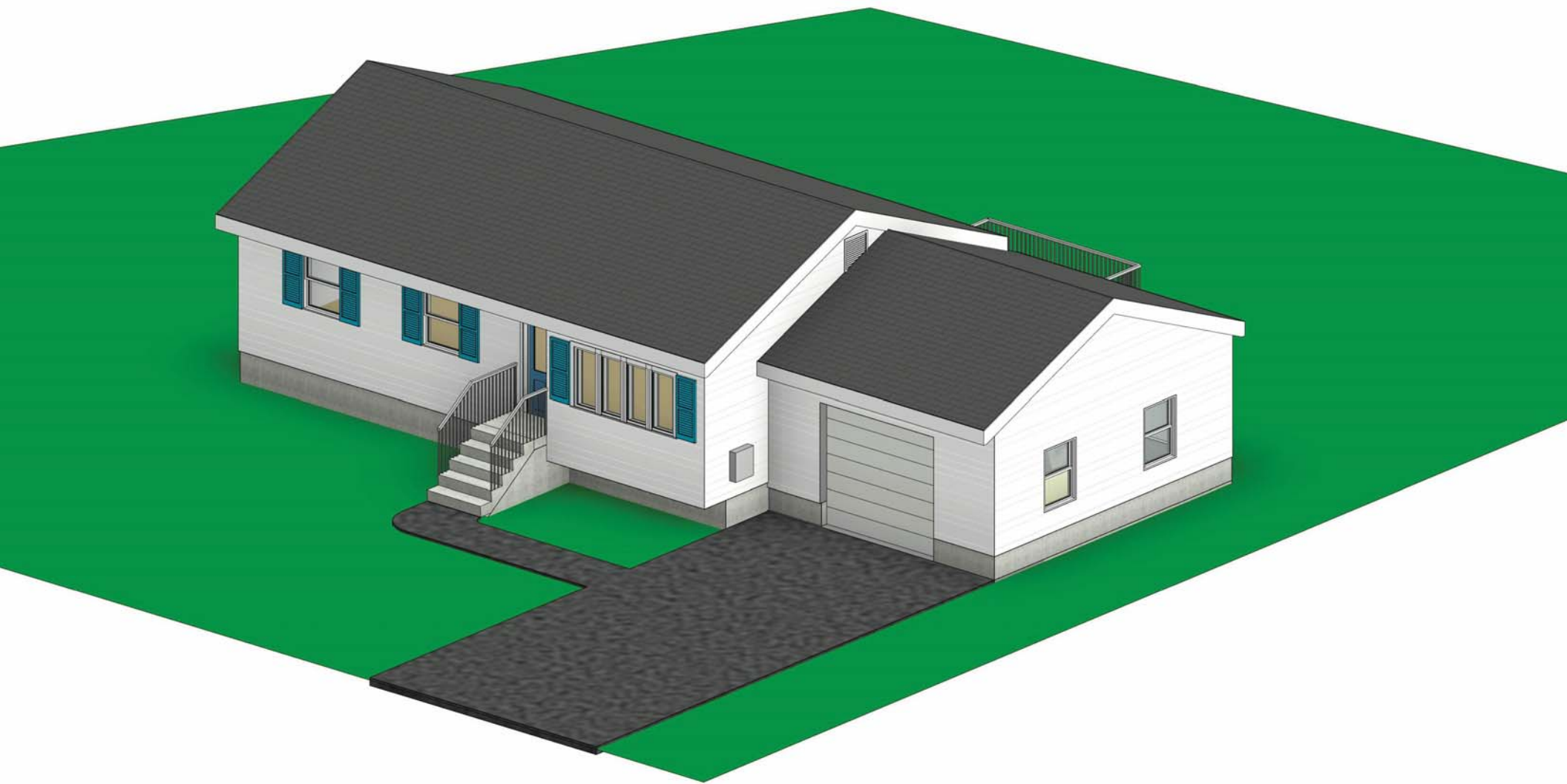
MAP 32 PARCEL 123  
PROPOSED GARAGE  
PLAN OF LAND

IN  
MEDWAY, MA.

SCALE: 1"=40' FEB. 2, 2019

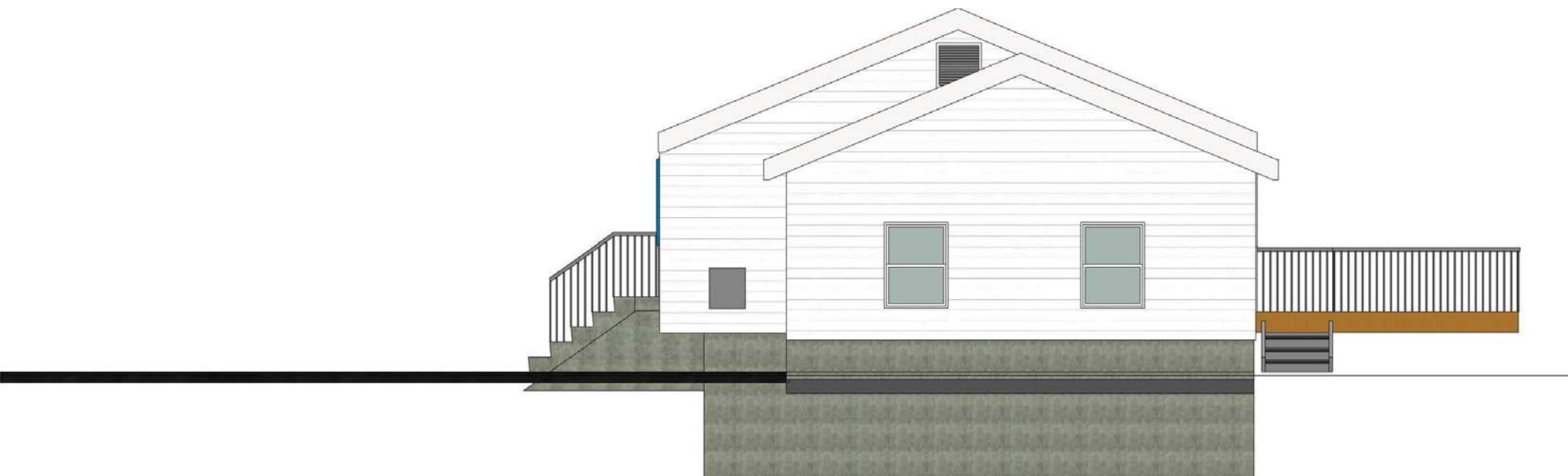
OWNER: Sarah M. Cabral  
48 Gorwin Drive  
Medway, Ma. 02053

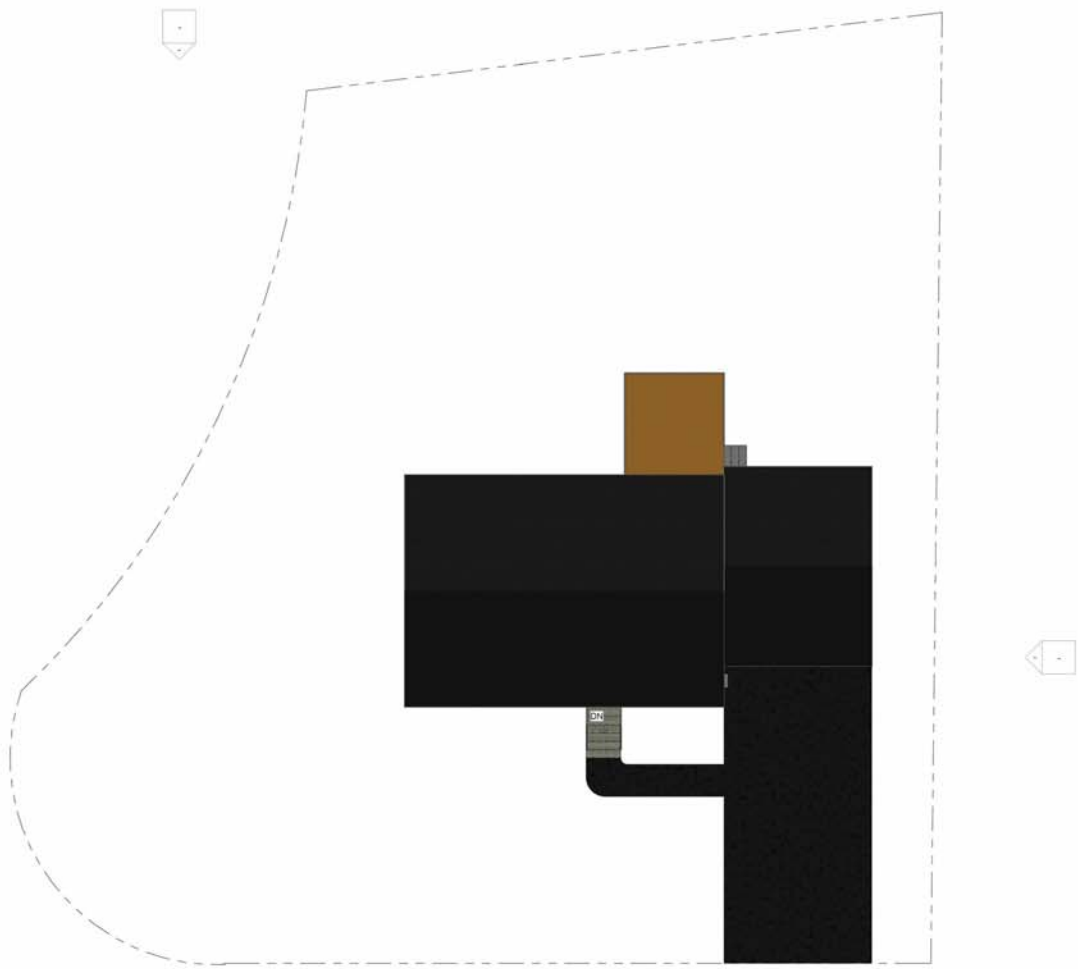
COLONIAL ENGINEERING INC.  
11 AWL STREET MEDWAY, MA.  
508-533-1644















**48 Gorwin Drive**

**32 Milford Street**





**32 Milford Street**





TOWN OF MEDWAY  
ZONING BOARD OF APPEALS

155 Village Street  
Medway MA 02053

GENERAL APPLICATION FORM  
Case Number: \_\_\_\_\_

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): James Washak Lisa Washak	Application Request(s):
Property Owner(s): James Washak Lisa Washak	Appeal <input type="checkbox"/>
Site Address(es): 32 Miford St Medway MA	Special Permit <input checked="" type="checkbox"/>
Parcel ID(s): 47-118	Variance <input type="checkbox"/>
Zoning District(s):	Determination/Finding <input checked="" type="checkbox"/>
	Extension (provide previous case #) <input type="checkbox"/>
	Modification (provide previous case #) <input type="checkbox"/>
	Withdrawal <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title: BK 36636 Pg 292	



TO BE COMPLETED BY STAFF:

Check No.: \_\_\_\_\_

Date of Complete Submittal: \_\_\_\_\_

Comments: \_\_\_\_\_

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.

Applicant/Petitioner(s): James Washak Lisa Washak	Phone: 508 441 7444
	Email: jwashak@comcast.net
Address: 57 Carl Rd Holliston MA 01746	
Attorney/Engineer/Representative(s):	Phone:
	Email:
Address:	
Owner(s): James Washak Lisa Washak	Phone: 508 441 7444
	Email: jwashak@comcast.net
Mailing Address: 57 Carl Rd Holliston MA 01746	

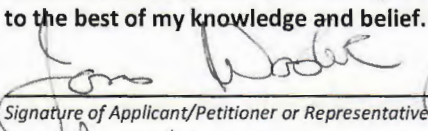
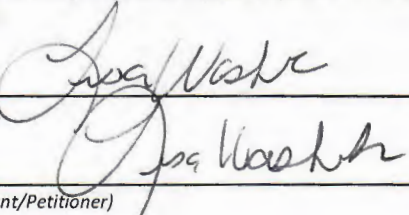
Please list name and address of other parties with financial interest in this property (use attachment if necessary):

NIA

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

NIA

I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.

Signature of Applicant/Petitioner or Representative 	Date 4-4-19
Signature Property Owner (if different than Applicant/Petitioner) 	Date 4-4-19



## Case Number: \_\_\_\_\_

	YES	NO
--	-----	----

Applicable Section(s) of the Zoning Bylaw: <b>S.5C3A</b>	Requesting Waivers?	<input checked="" type="radio"/> <input type="radio"/>
	Does the proposed use conform to the current Zoning Bylaw?	<input checked="" type="radio"/> <input type="radio"/>
Present Use of Property:	Has the applicant applied for and/or been refused a building permit?	<input checked="" type="radio"/> <input type="radio"/>
<b>Single Family Residence</b>	Is the property or are the buildings/structures pre-existing nonconforming?	<input checked="" type="radio"/> <input type="radio"/>
Proposed Use of Property:	Is the proposal subject to approval by the BOH or BOS?	<input type="radio"/> <input type="radio"/>
<b>Single family residence</b>	Is the proposal subject to approval by the Conservation Commission?	<input type="radio"/> <input type="radio"/>
Date Lot was created: <b>1800's</b>	Is the property located in the Floodplain District?	<input type="radio"/> <input type="radio"/>
Date Building was erected: <b>1855</b>	Is the property located in the Groundwater Protection District?	<input type="radio"/> <input type="radio"/>
Does the property meet the intent of the Design Review Guidelines? <b>Yes</b>	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	<input type="radio"/> <input type="radio"/>
Describe Application Request:  We are proposing demolishing the small antique Cape which is existing and 1.5 stories high. We are proposing constructing a 2 story colonial that will not exceed 25 feet in height. The new home will be smaller than adjacent homes.		



FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Single family	Single family
B. Dwelling Units		1	1
C. Lot Size		21,780	21,780
D. Lot Frontage		150	150
E. Front Setback		14.34	37.125
F. Side Setback		L 36.38	L 17.43
G. Side Setback		R 73.42	R 74.39
H. Rear Setback		118.63	162.08
I. Lot Coverage		16.92%	16.20%
J. Height		21	28.9
K. Parking Spaces		6	6
L. Other			

FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

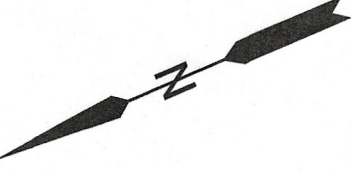
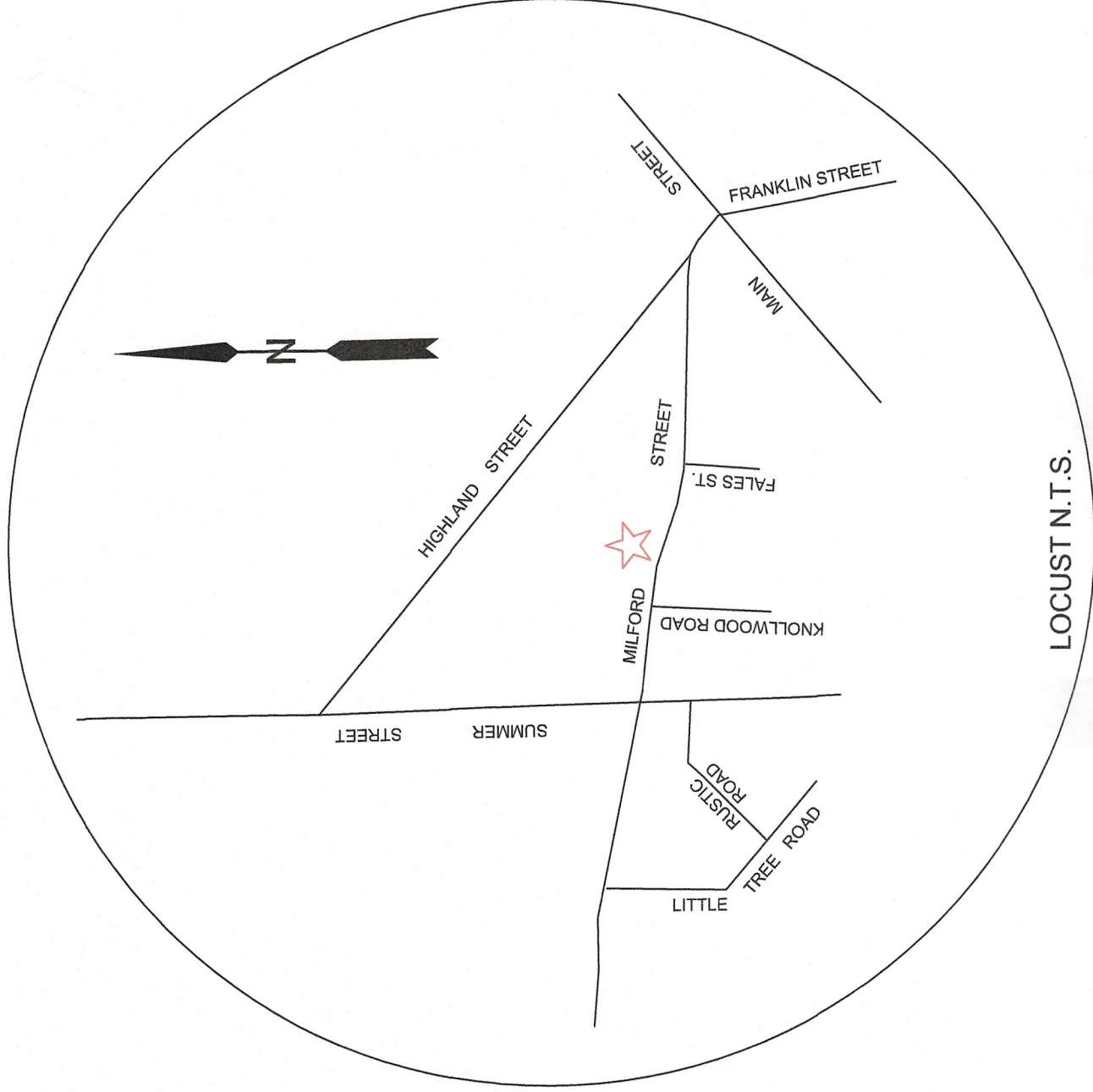
Date Reviewed

Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org) and 4 paper copies to the Community & Economic Development Department.

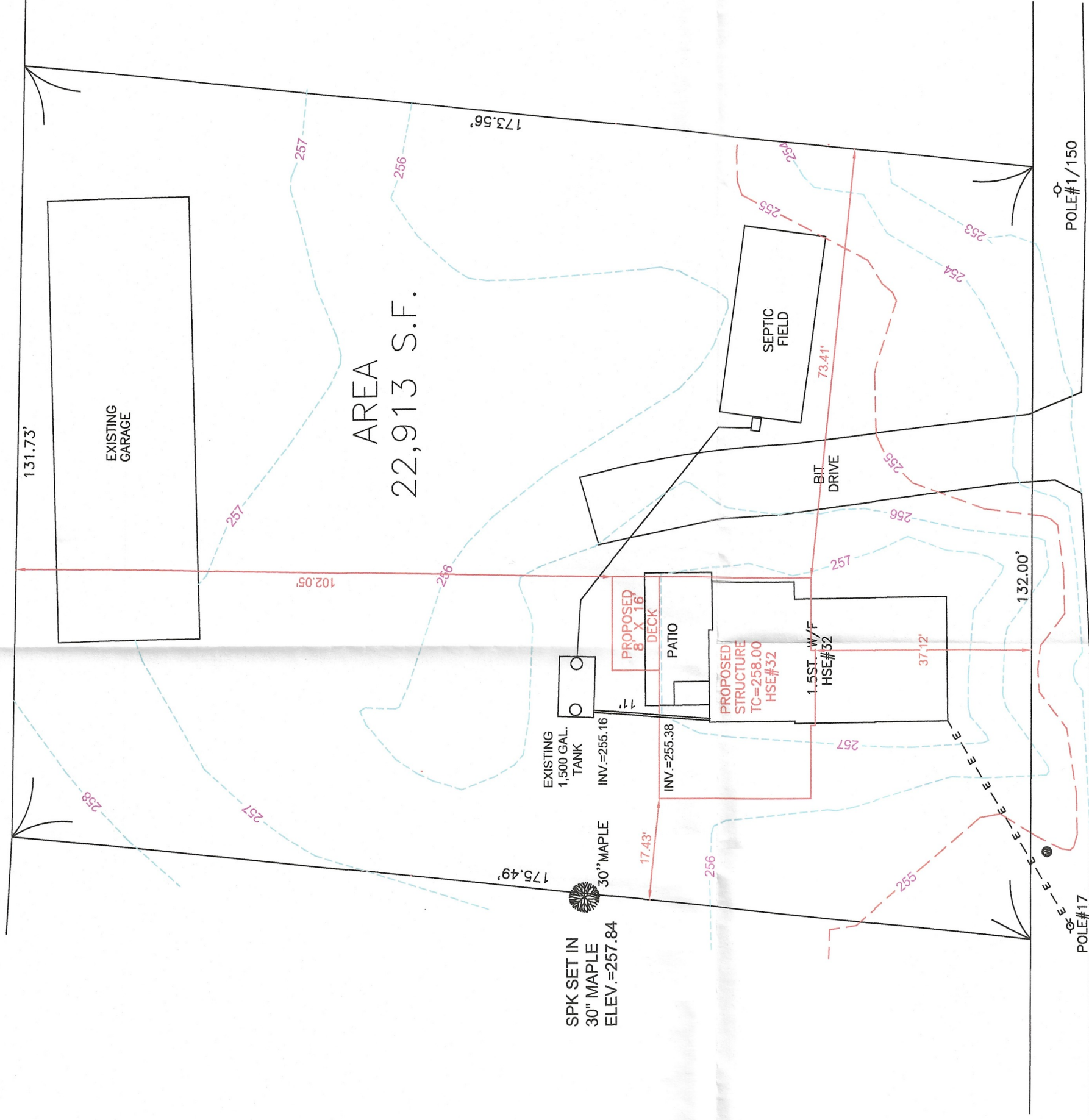




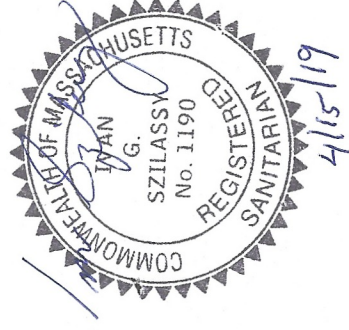
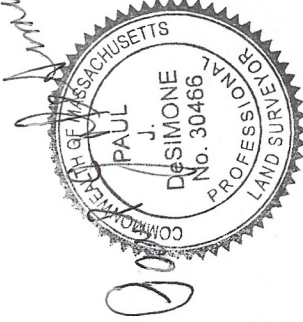
ZONE ARII  
AREA 22,500 S.F.  
FRONTAGE 150.00'  
SETBACK 35'  
SIDEYARD 15'  
REARYARD 15'  
LOT COVERAGE  
BUILDING COVERAGE 30%  
IMPERVIOUS COVERAGE 40%  
NOT IN G.P.D.

EXISTING LOT COVERAGE  
BUILDING 12.04%  
IMPERVIOUS COVERAGE 16.92%

PROPOSED LOT COVERAGE  
BUILDING 12.87%  
IMPERVIOUS 16.20%



I CERTIFY THAT THE PROPOSED STRUCTURE SHOWN ON THIS PLAN CONFORMS TO THE ZONING BY-LAWS OF THE TOWN OF MEDWAY, MA. AND DOES NOT LIE WITHIN THE FLOOD PLAIN.



PROPOSED STRUCTURE  
PLAN OF LAND

IN

MEDWAY, MA.

MILFORD (50' WIDE) STREET

SCALE: 1"=20' MARCH 26, 2019  
REVISED: APRIL 4, 2019

OWNER: James Washek  
32 Milford Street  
Medway, Ma. 02053

COLONIAL ENGINEERING INC.  
11 AWL STREET MEDWAY, MA.  
508-533-1644





Proposed 1,976 sq ft home





TOWN OF MEDWAY  
ZONING BOARD OF APPEALS  
155 Village Street  
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DETERMINATION/FINDING FORM  
Case Number: \_\_\_\_\_

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[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

TOWN CLERK STAMP

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Applicable Section(s) of the Zoning Bylaw:

S.5 C 3 A

Citation of the language from the Section(s) of the Zoning Bylaw in question:

The proposed alterations do not increase the maximum height of the pre existing structure.

Please provide evidence, legal or otherwise, supporting or negating the applicant's claim relative to the Section of the Zoning Bylaw in question (use attachment if necessary):

The new home will be 8 feet higher but under 35' feet high.

the new home will be further back from street.

the new home will be smaller in scale than adjacent new homes.

the new home improves the neighborhood aesthetics.

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org) and 10 paper copies to the Community & Economic Development Department.



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ZONING BOARD OF APPEALS  
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TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.

<p>1. The proposed site is an appropriate location for the proposed use:</p> <p>The new structure meets all setbacks. The new home will blend better with adjacent new homes and set further back from street</p>
<p>2. Adequate and appropriate facilities will be provided for the operation of the proposed use:</p> <p>N/A</p>
<p>3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:</p> <p>The new home has same single family use as existing. new home will be more aesthetically pleasing.</p>
<p>4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:</p> <p>Same single family use as existing</p>
<p>5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:</p> <p>Same single family use as existing</p>
<p>6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:</p> <p>The neighborhood is mostly larger, newer homes adjacent to this home. new home is a better fit for the neighborhood.</p>

Case Number:

7. The proposed use is in harmony with the general purposed and intent of this Zoning Bylaw:

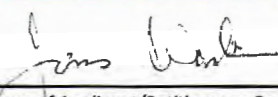
Our goal is to simply replace a very small dilapidated home that doesn't function well after 170 years with a similar sized new home

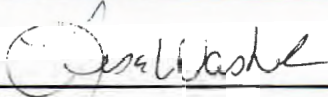
8. The proposed use is consistent with the goals of the Medway Master Plan:

the use is consistent with housing goals

9. The proposed use will not be detrimental to the public good:

This is beneficial since we are replacing an unsightly 3 bed room home w/ a new 3 bedroom home improving the curb appeal of the neighborhood.

  
Signature of Applicant/Petitioner or Representative



4-4-19

Date