

**Tuesday, April 27, 2021**  
**Medway Planning and Economic Development Board**  
**155 Village Street**  
**Medway, MA 02053**

<b>Members</b>	<b>Andy Rodenhiser</b>	<b>Bob Tucker</b>	<b>Tom Gay</b>	<b>Matt Hayes</b>	<b>Rich Di Iulio</b>	<b>Jessica Chabot</b>
<b>Attendance</b>	<b>X</b>	<b>Absent with Notice</b>	<b>X</b>	<b>X</b>	<b>X</b>	<b>X</b>

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, and the Governor’s Orders imposing strict limitations on the number of people that may gather inside in one place, no in-person attendance will be permitted at this meeting. Board members will attend the meeting via ZOOM. Meeting access for the public is provided via ZOOM for the required opportunity for public participation in a public hearing. Information for participating via ZOOM is included at the end of this Agenda. Members of the public may also watch the meeting on Medway Cable Access: channel 11 on Comcast Cable, or channel 35 on Verizon Cable; or on Medway Cable’s Facebook page @medwaycable.

**ALSO PRESENT VIA ZOOM:**

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Amy Sutherland Recording Secretary
- Barbara Saint Andre, Director of Community and Economic Development

There were no citizen comments.

**ZONING BYLAW AMENDMENT PUBLIC HEARING:**

The Board is in receipt of the following documents: **(See Attached)**

- Public Hearing Notice posted 4-7-21
- Text of proposed zoning bylaw amendment for a moratorium on battery energy storage systems.
- Letter from resident Marvin Dainoff, 8 Cedar Farms Road
- Letter dated April 27, 2021 from Larry Ellsworth

The Board is in receipt of a citizens’ petition for a moratorium on battery energy storage systems.

**On a motion made by Rich Di Iulio, and seconded by Tom Gay, the Board voted by Roll Call to waive the reading of the public hearing notice for the citizen petition.**

**Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The citizen's petition is for a proposed amendment to the Zoning Bylaw to establish a one-year moratorium on the construction and operation of lithium battery electrical storage system facilities with the exception of site-specific systems which support residential, commercial, and commercial buildings, in all zoning districts.

Resident Paul Yorkis explained that there were 277 citizens who signed the petition with the intent to have a one-year moratorium to provide time to ask questions of the experts and gain input from the community on what we want for the Town of Medway. There also needs to be dialogue about what safeguards would need to be put in place if this type of facility were proposed.

Resident Larry Ellsworth read the attached statement. He communicated that the reason for the moratorium is to help the Town adopt an independent, fact-based approach to answer the question "Should Medway host a battery electric storage system?" He also asked what are the physical, financial, and other risks and benefits of hosting such systems.

DPW Director Dave D'Amico communicated that the issue is not limited to just lithium batteries and the language should not be limiting to just the lithium. This may not be the only type of battery storage facilities. The word lithium could be amended on the town meeting floor.

The Board was polled and they are in favor of establishing the moratorium.

Resident Michael Fahey communicated that there is major controversy with the state of lithium technology. This needs to be examined.

Selectmen Glenn Trindade communicated that he is opposed to the moratorium. He encourages all to review the MA website on the Clean Peak Program. This looks at how the existing batteries are being handled today and also what technology is available to replace fossil fuels. He noted that State Representative Jeff Roy has recently visited a battery storage facility in the Town of Reading. This facility has no noise, fumes, or emissions and provides power at a fraction of cost. This is the green future, and other communities are doing this. Before the Town votes on this moratorium, it would be beneficial if members of the community could speak with the State Representatives and environmental groups.

Resident Charlie Myers communicated that he appreciates the direction the Board is taking. He does not believe the Town is prepared at this point to provide the protections for issues around fire safety- alerts, alarms etc. The citizen petition is not a statement which says we do not want this type of facility, but it is a statement to say we as a town are not prepared for this type of facility at this time. The town needs to understand what protections are needed. This is the purpose of the moratorium.

**On a motion made by Rich Di Iulio, seconded by Matt Hayes, the Board voted by Roll Call vote to recommend that Town Meeting approve Article 31 Citizens Petition as written.**

**Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>



**Andy Rodenhiser     aye**  
**Tom Gay                 aye**

At the conclusion of the hearing Resident Tracy Stewart provided a link which will be part of the record. This pertains to an approved energy battery storage facility recently approved in Carver, MA. <https://carver.wickedlocal.com/news/20190408/energy-storage-facility-approved-in-carver>

The Board was made aware that a letter was received from a resident Marvin Dainoff at 8 Cedar Farms Road. This will also be entered into the record.

**On a motion made by Tom Gay, and seconded by Matt Hayes, the Board voted by Roll Call vote to close the public hearing.**

**Roll Call Vote:**

**Matthew Hayes         aye**  
**Rich Di Iulio             aye**  
**Andy Rodenhiser       aye**  
**Tom Gay                  aye**

**MEDWAY MILL SITE PLAN CONTINUATION:**

The Board is in receipt of the following documents: (See Attached)

- Public Hearing continuation notice dated 3-24-21
- Email dated 4-21-21 from project engineer Amanda Cavalieri requesting a continuation to May 11, 2021.

Susy Affleck-Childs recommended the Board continue the hearing to May 25<sup>th</sup> as the applicant had not yet submitted the revised site plan.

**On a motion made by Rich Di Iulio, and seconded by Matt Hayes, the Board voted by Roll Call to continue the hearing for Medway Mill Site Plan to May 25, 2021 at 8:00 pm.**

**Roll Call Vote:**

**Matthew Hayes         aye**  
**Rich Di Iulio             aye**  
**Andy Rodenhiser       aye**  
**Tom Gay                  aye**

**MASTER PLAN COMMITTEE:**

The Board is in receipt of the following document: (See Attached)

- 4-23-21 Memo from Susy Affleck-Childs

**On a motion made by Rich Di Iulio, and seconded by Matt Hayes, the Board voted by Roll Call to appoint Debbie Rossi (Board of Parks Commissioners) and Alex Siekierski (Design Review Committee) to the Master Plan Committee.**

**Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The term of appointment is through March 31, 2023.

**ANR PLAN 56 SUMMER STREET:**

The Board is in receipt of the following documents: (See Attached)

- ANR application dated 4-12-21
- Submittal letter from environmental consultant Robert Murphy dated 4-7-21
- ANR Plan dated 4-16-21 prepared by Continental Land Surveying
- 4-23-21 plan review memo from Susy Affleck-Childs

The Board is in receipt of an ANR application dated April 12, 2021. The applicant is Christopher Torti. This application plan was dated April 16, 2021 and prepared by Continental Land Surveying. There was a submittal letter from Environmental Consultant Robert Murphy dated April 7, 2021. The total acreage is 6.24. This is to be divided into two lots. Lot 1 contains 31,000 square feet with frontage on Summer Street. The remaining lot (Lot 2) will be have 240,568 square ft. The existing house currently located at 56 Summer Street will be demolished. It is expected that an application for some form of residential development will be forthcoming for Lot #2.

The Board reviewed the application, and a question came up about the new property line going through the existing building and if this can be on two different lots. Barbara Saint Andre explained that the Board is only acting on whether each lot has enough frontage.

**On a motion made by Matt Hayes, seconded by Tom Gay, the Board voted by Roll Call to endorse the ANR plan for 56 Summer Street.**

**Roll Call Vote:**

<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>nay</b>
<b>Tom Gay</b>	<b>aye</b>

**ZBA PETITIONS:**

The Board is in receipt of the following document: (See Attached)

- Special Permit application for 28 Milford Street

The Board is in receipt of a petition to the ZBA from Karl and Amanda Boczanowski for 28 Milford Street. The applicant wishes to build a new home on the 2-acre property and remove the

existing one story house built around 1930. The property is located in the AR-II zoning district. The Board decided to take no action on this petition.

### **FIELD CHANGE - HARMONY VILLAGE:**

The Board is in receipt of the following documents: (See Attached)

- Field change to address additional tree removal
- Field change for additional fire hydrant required by Medway DPW.
- Notes by Susy Affleck-Childs on tree replacement
- An email dated 4-27-21 from Tree Warden Steve Carew was also provided.

The Board is in receipt of proposed field changes from Gary Feldman for Harmony Village. The request is to authorize additional tree removal and installation of a fire hydrant. These issues came up during the recent pre-construction meeting. The applicant spoke with DPW Water/Sewer Superintendent Barry Smith who advised Mr. Feldman that there needed to be a fire hydrant on site.

The Board next discussed the letter which was submitted by the applicant regarding the mapping of the trees to be removed and replaced. The Board was informed that some of the trees were presenting a safety hazard. These include 4-5 hundred foot pines. Tree Warden Steve Carew inspected the site and was in agreement that these trees are not in good condition and should be removed. These were shown on map on screen share. The Board was shown proposed new plantings. The calculation for tree replacements was reviewed. There would be a total of 105 tree shortfall which would translate to a payment of \$21,000.00 to the Medway Tree Fund. (105 trees x \$200). Mr. Feldman communicated that the total of \$21,000 is unrealistic and not fair since the original special permit decision did not take into consideration how to handle dead or blown down trees. The intent of the Board was to screen and buffer the abutters. The tall trees that have fallen or need to be removed do not provide any buffer but the proposed planting plan would provide better buffering. The Board agreed that the white pines should not be included in the inventory and are ok not having these be included in the tree replacement estimate. After further review, it was determined that there would be a shortfall of 2.5 trees (\$200.00 each) for a total of \$500.00 for the tree fund. Another option is to plant three additional trees on site. The applicant would like to install three more trees on the property.

**On a motion made by Matt Hayes, seconded by Rich Di Iulio, the Board voted by Roll Call to approve the field change with the inclusion of a fire hydrant and the planting of three additional trees on the site.**

#### **Roll Call Vote:**

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

### **CHOATE TRAIL FIELD CHANGE:**

The Board is in receipt of the following documents: (See Attached)

- Collection of emails
- Drawing dated April 26, 2021 by Connorstone Engineering

The Board was made aware that the proposal for the field change was initiated by the abutters at 38 and 40 Highland Street. These abutters had participated in the public hearing process. The Board worked with the abutters to demarcate the boundary of Choate Trail. At the time it was decided that the area be demarcated with a row of rhododendron along both properties. That is shown on the endorsed definitive subdivision plan.

The owner at 38 Highland Street would like boulders from the site installed instead of rhododendrons. The abutter at 40 Highland Street wants the rhododendrons. Member Chabot communicated that she had spoken with the residents at 38 Highland Street and they were concerned about people walking and trespassing onto their property. The Board does not want to see all the plantings removed. It was suggested to also allow for the boulders which would be placed in between the plantings.

**On a motion made by Matt Hayes, seconded by Tom Gay, the Board voted by Roll Call to accept the field change to include boulders in the back of property and reduce the planting by half with boulders placed in between along the entire length of both 38 and 40 Highland Street.**

**Roll Call Vote:**

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**PEDB MEETING MINUTES:**

**April 8, 2021:**

**On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to approve the PEDB meeting minutes of April 8, 2021.**

**Roll Call Vote:**

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye
Tom Gay	aye

**April 27, 2021:**

**On a motion made by Rich Di Iulio and seconded by Matt Hayes, the Board voted by Roll Call to approve the PEDB meeting minutes of April 27, 2021.**

**Roll Call Vote:**

Andy Rodenhiser	aye
Matt Hayes	aye
Rich Di Iulio	aye

**Tom Gay**                      **aye**

## **ST. JOSEPH’S CHURCH SITE PLAN CONTINUATION:**

The Board is in receipt of the following documents: **(See Attached)**

- Public Briefing continuation notice dated March 24, 2021
- Letter dated April 26, 2021 from project engineer Peter Bemis requesting a continuation for 90 days.

The Board was informed that the applicant is seeking a continuation for 90 days. The church committee needs time to discuss the project and potential expenses. The plan review invoice has not been paid.

**On a motion made by Rich Di Iulio, seconded by Matt Hayes, the Board voted to approve continue the hearing for St. Joseph’s Church to July 27, 2021 at 7:15 pm.**

### **Roll Call Vote:**

**Matthew Hayes**                      **aye**

**Rich Di Iulio**                      **aye**

**Andy Rodenhiser**                      **aye**

**Tom Gay**                      **aye**

## **CONSTRUCTION REPORTS:**

The Board is in receipt of the following documents: **(See Attached)**

- Harmony Village Field Report dated 4-07-2021
- Salmon Health Field Reports dated 4-20-2021

Sara White from Tetra Tech provided some construction report highlights.

### **Harmony Village:**

There was a site visit on April 7, 2021. The erosion controls were inspected. The stabilization of the construction entrance has been installed at the existing driveway on the west side. The trees on the northwest portion of the site have been flagged to remain. There have been some trees which have fallen and those will be evaluated by Steve Carew.

### **Salmon:**

There was a site visit on April 23, 2021. There was inspection of the installation of the top course asphalt for sidewalks at the southern portion of the site. There has been some damage to the edges of silt sacks throughout site. These will be replaced. There will be continued monitoring of the performance of the infiltration basin on site.

## **MASTER PLAN COMMITTEE UPDATE:**

The Board is in receipt of the following documents: **(See Attached)**

- Draft minutes of the 4-12-21 first meeting of the Master Plan Committee
- Flyer for 5-24-21 Master Plan Community Forum

The Board was informed that the Master Plan Committee held their first meeting on April 12, 2021. This was a productive meeting. The committee will be setting up nine focus groups which will consist of 7 to 8 members. The minutes of the April 12, 2021 meeting were also included for the members to review. PEDB members are encouraged to attend the Community Forum on May 24<sup>th</sup>.

### **ENDOREMENT - EVERSOURCE SITE PLAN:**

The Board was made aware that the Eversource site plan is ready for endorsement. The Town clerk issued a certificate of no appeal. The construction services fee has been paid. The updated plans are dated 4-26-21. There were no further changes needed to the plan per the Medway DPW MS4 permitting process.

**On a motion made by Rich Di Iulio, seconded by Tom Gay, the Board voted to endorse the Eversource Site Plan.**

### **Roll Call Vote:**

<b>Matthew Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

### **FUTURE PEDB MEETING:**

- Tuesday, May 11, 2021

### **ADJOURN:**

**On a motion made by Rich Di Iulio, seconded by Matt Hayes, the Board voted by Roll Call vote to adjourn the meeting.**

### **Roll Call Vote:**

<b>Andy Rodenhiser</b>	<b>aye</b>
<b>Matt Hayes</b>	<b>aye</b>
<b>Rich Di Iulio</b>	<b>aye</b>
<b>Tom Gay</b>	<b>aye</b>

The meeting was adjourned at 9:00 pm.

Prepared by,  
Amy Sutherland  
Recording Secretary

Reviewed and edited by,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator



**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Zoning Bylaw Amendment Public  
Hearing**

- Public Hearing Notice posted 4-7-21
- Text of proposed Zoning Bylaw Amendment for a moratorium on battery energy storage systems
- Letter from resident Marvin Dainoff, 8 Cedar Farms Road

**Board Members**

Andy Rodenhiser, Chair  
Robert Tucker, Vice Chair  
Thomas Gay, Clerk  
Matthew Hayes, P.E.,  
Member  
Richard Di Iulio, Member  
Jessica Chabot, Associate  
Member



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**TOWN OF MEDWAY**  
**COMMONWEALTH OF MASSACHUSETTS**  
**PLANNING AND ECONOMIC**  
**DEVELOPMENT BOARD**

April 7, 2021

**NOTICE OF PUBLIC HEARING**  
**Proposed Amendment to Medway Zoning Bylaw**  
**Tuesday, April 27, 2021 @ 7:00 p.m.**

Pursuant to the *Medway Zoning Bylaw* and G.L. ch. 40A, §5, the Planning and Economic Development Board will conduct a public hearing on Tuesday, April 27, 2021 at 7:00 p.m. to receive comments on a proposed amendment to the *Medway Zoning Bylaw*. The hearing will be held remotely via the ZOOM online platform. Instructions on how the public may access the hearing will be included on the agenda for the Board's April 27<sup>th</sup> meeting which will be posted at: <https://www.townofmedway.org/calendar/month/2021-04>.

The proposed amendment has been submitted by Citizens Petition for inclusion on the warrant for consideration at the May annual town meeting, scheduled for May 10, 2021. The petition proposes to amend the Zoning Bylaw to establish a one-year moratorium on the construction and operation of lithium-ion battery electrical storage system facilities with the exception of site-specific systems which support residential, commercial, and commercial buildings, in all zoning districts.

The Citizens Petition is on file at the offices of the Town Clerk and the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular business hours. Face coverings are required to enter Town Hall. The Citizens Petition is also posted online at the Planning and Economic Development Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/5-10-2021-town-meeting-proposed-zoning-bylaw-amendments>. For further information or questions, please contact the Medway Planning office at 508-533-3291.

Interested persons or parties are invited to review the proposed amendment, and participate in the public hearing via ZOOM. Written comments are encouraged and may be sent to the Planning and Economic Development Board, 155 Village Street, Medway, MA 02053 or emailed to: [planningboard@townofmedway.org](mailto:planningboard@townofmedway.org). All written comments will be entered into the record during the hearing.

**Andy Rodenhiser**  
Chair, Planning & Economic Development Board

To be published in the *Milford Daily News*:  
Monday, April 12, 2021 and Tuesday, April 20, 2021



**ARTICLE 31** (Citizens' Petition: Battery Storage Moratorium)

To see if the Town will amend the Zoning Bylaw to establish a moratorium on the construction and operation of lithium-ion battery electrical storage system (BESS) facilities, with the exception of site-specific systems intended to support single residents, commercial buildings, and municipal buildings, in all zoning districts within the Town of Medway for a period of one year, during which the Town of Medway Planning and Economic Development Board, in cooperation with other Town of Medway committees and personnel, shall engage the services of consultants and other experts to examine lithium-ion BESS operations, safety, and technology, with consideration being given to the development of zoning bylaw amendments appropriate to each zoning district; or act in any manner relating thereto.

**CITIZENS' PETITION**

**SELECT BOARD RECOMMENDATION:**

**FINANCE COMMITTEE RECOMMENDATION:**

Town of Medway

Planning and Economic Development Board

RE: BESS

3/29/2021



To the Members of the Board:

I live at 8 Cedar Farms Road. I am writing to express my concern over the potential hazard associated with the proposed BESS installation near my home. I express this from my perspective of over 40 years as a safety professional. I have, in recent years, spent eight years at Liberty Mutual Insurance as a safety researcher where I was the Director of the Center for Behavioral Research at the Liberty Mutual Research Institute for Safety. During the past three years, I have been a contractor to the Idaho National Laboratories where I am working on safety issues associated with modernization of nuclear power plants. My credentials can be viewed at my Linked In page.

<http://www.linkedin.com/in/marvindainoff>

From the perspective of system safety, a hazard is defined as a set of conditions that, together with a particular set of worst case conditions, will result in an accident. By that definition, the proposed 251 MW facility most certainly has a disturbing hazard potential. There are many references I have discovered documenting this hazard. I will limit myself to two.

First, I extract two paragraphs from a FEMA report: <https://www.fema.gov/case-study/emerging-hazards-battery-energy-storage-system-fires>

*Unfortunately, these lithium cells can experience thermal runaway which causes them to release very hot flammable, toxic gases. In large storage systems, failure of one lithium cell can cascade to include hundreds of individual cells. The hot flammable gases can result in an explosion, or a very difficult to extinguish fire.*

*Although the fire service routinely responds to explosive scenarios, such as those associated with natural gas leaks, standard operating procedures do not exist for scenarios like a battery energy storage system for which there is no way to cut off the gas supply. The fire service is unaware and inexperienced with the fire and explosion hazards of BESS.*

The second reference is from a town of Faversham in England, which has documented their similar concerns. In generalizing from their data to the proposed Medway project, we find that a 251 MW facility has the explosive potential of 216 tons of TNT. For reference, that is approximately 1/40 of the Hiroshima atomic bomb. <https://favershamsociety.org/dangers-associated-with-lithium-ion-battery-energy-storage-systems/>

This level of hazard, together with the existing number of cases of similar thermal runaway events at BESS facilities, and the fact that fire departments have apparently not yet developed effective countermeasures, leads to the clear conclusion that this proposed location of this facility is extremely problematic given the nearby highway and residences.

I understand that operators of such facilities propose to mitigate potential hazards with active engineering procedures, such as air circulation. Unfortunately, effectiveness of such procedures depends critically upon the financial success of these operators. If the operator runs into financial difficulties, personnel and maintenance cutbacks can lead of deterioration of the mitigating effects. The largest industrial disaster in world history—the release of methyl isocyanate at Union Carbide’s plant in Bhopal, India killing over ten thousand people—occurred in a facility which had a number of safety devices which were supposed to prevent what actually occurred—however, management cutbacks in maintenance and training lead to failure of every one of these devices. Closer to home, the Merrimack Valley natural gas explosion in 2018 was attributed to management cutbacks due financial pressures.

As a general principle, public safety is often critically dependent on these technological “black boxes” which we expect to be properly operated and maintained, whereas maintenance and training funding is often the first thing cut during financial difficulties. This must be considered by those officials who have responsibility for protecting their fellow citizens.

Sincerely,

A handwritten signature in black ink, appearing to read "Marvin J. Dainoff".

Marvin J. Dainoff, PhD., CPE

508 321-6072



**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Medway Mill Site Plan**  
**Public Hearing Continuation**

- Public Hearing continuation notice dated 3-24-21
- Email dated 4-21-21 from project engineer Amanda Cavalieri requesting a continuation to May 11, 2021.

## Board Members

Andy Rodenhiser, Chair  
Robert Tucker, Vice Chair  
Thomas Gay, Clerk  
Matthew Hayes, P.E.,  
Member  
Richard Di Iulio, Member  
Jessica Chabot, Associate  
Member



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# TOWN OF MEDWAY

## COMMONWEALTH OF MASSACHUSETTS

### PLANNING AND ECONOMIC DEVELOPMENT BOARD

## MEMORANDUM

March 24, 2021

RECEIVED TOWN CLERK  
MAR 24 '21 PM3:55

TO: Stefany Ohannesian, Town Clerk  
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: **Public Hearing Continuation for Medway Mill Site Plan – 165 Main Street**  
**Continuation Date – Tuesday, April 27, 2021 at 7:15 p.m.**

At its March 23, 2021 meeting, the Planning and Economic Development Board voted to continue the public hearing on the application of 165 Main Street Realty Trust of Medway, MA for site plan approval for proposed site improvements at Medway Mill at 165 Main Street to Tuesday, April 27, 2021 at 7:15 p.m.

Proposed are a series of site improvements to the 7.28 acre property located at 165 Main Street in the Agricultural-Residential II zoning district. These include creating a 41-space surface parking area with electrical vehicle charging stations and bike racks; installation of stormwater management facilities for the parking area; landscaping and lighting; and expansion of the bridge across Chicken Brook for approximately 25 linear feet on each side. As the site includes riverfront areas under the jurisdiction of the Conservation Commission, the project is also subject to its review for an Order of Conditions and a Land Disturbance Permit.

The application, site plan, and supporting documentation were filed with the Town on February 18, 2020. ***The Site Plan – Medway Mills originally dated February 14, 2020, last revised December 23, 2020,*** was prepared by Guerriere and Halnon of Franklin, MA. The documents are on file with the Medway Town Clerk and the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA. Project information including the revised site plan has been posted to the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/medway-mills-major-site-plan-review>.

***We expect to receive a revised site plan once the applicant completes its permitting with Conservation. We will post it to the Board's web page upon receipt.*** Please don't hesitate to contact me if you have any questions. Thanks.

## Susan Affleck-Childs

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**From:** Amanda Cavaliere <ACavaliere@gandhengineering.com>  
**Sent:** Wednesday, April 21, 2021 1:13 PM  
**To:** Susan Affleck-Childs  
**Cc:** John Greene; Mark R. Arnold (mark@goddardconsultingllc.com); Michael Hassett; Diane Burlingame  
**Subject:** Request for Continuance - Planning Board 4/27/2021

Good afternoon Susy,

We are in the process of finalizing our revisions based on comments received from both Planning Board and Conservation Commission. However, in effort to provide both Planning and Conservation with a comprehensive package reflecting all revisions, we respectfully request a continuance to the meeting scheduled on 4/27 to the May 11<sup>th</sup> meeting.

Thank you in advance for your consideration.

Sincerely,

*Amanda K. Cavaliere, Office Manager*



55 West Central Street  
Franklin, MA 02038  
Ph. 508.528.3221  
Fx. 508.528.7921  
Email: [acavaliere@gandhengineering.com](mailto:acavaliere@gandhengineering.com)  
Website: [www.gandhengineering.com](http://www.gandhengineering.com)



**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Master Plan Committee Appointments**

- 4-23-21 memo from Susy Affleck-Childs

**Susan E. Affleck-Childs**

Planning and Economic  
Development Coordinator



Medway Town Hall  
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**TOWN OF MEDWAY**  
**COMMONWEALTH OF MASSACHUSETTS**  
**PLANNING AND ECONOMIC**  
**DEVELOPMENT OFFICE**

**MEMORANDUM**

April 23, 2021

TO: Planning and Economic Development Board  
FROM: Susy Affleck-Childs  
RE: Appointments to Medway Master Plan Committee

I recommend the PEDB appoint Debi Rossi to the Medway Master Plan Committee, as a representative of the Board of Parks Commissioners, for a term through March 31, 2023.

The Design Review Committee, at its April 26 meeting, will select a member to serve on the Master Plan Committee. I can advise you of that on Tuesday and will recommend the Board appoint that individual to the Master Plan Committee for a term through March 31, 2023.

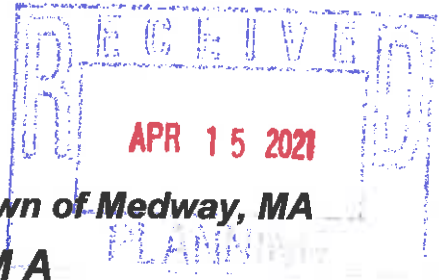




**April 27, 2021**  
**Medway Planning & Economic Development Board**  
**Meeting**

**ANR Plan for 56 Summer Street**

- ANR Application dated April 12, 2021
- Submittal letter from environmental consultant Robert Murphy dated April 7, 2021
- ANR Plan dated April 16, 2021 prepared by Continental Land Surveying
- Susy Affleck-Childs review memo dated April 22, 2021



**Planning & Economic Development Board - Town of Medway, MA**  
**LAND SUBDIVISION – FORM A**

**Application for Endorsement of Plan  
Believed Not to Require Subdivision Approval (ANR)**

**INSTRUCTIONS TO APPLICANT/OWNER**

This Application is made pursuant to the Medway Subdivision Rules and Regulations.  
Please complete this entire Application.

Submit two (2) signed originals of this ANR Application, two copies of the ANR Plan, an electronic version (PDF) of the ANR plan, two Project Explanations, and the appropriate ANR application/filing fee checks to the Medway Planning and Economic Development office, 155 Village ST, Medway, MA 02053.

The Applicant certifies that the information included in this Application is a true, complete and accurate representation of the facts regarding the property under consideration.

In submitting this application, the Applicant and Property Owner authorize the Planning & Economic Development Board and its agents to access the site during the plan review process.

The Town's Planning Consultant will review the Application, Project Explanation and ANR plan and provide a recommendation to the Planning & Economic Development Board.

A copy of that letter will be provided to you. Revisions to the plan may be needed.

**You or your duly authorized agent is expected to attend the Board meeting  
when the ANR Plan will be considered to answer any questions and/or submit such  
additional information as the Board may request.**

Your absence may result in a delay in the Board's review and decision.

April 12, 2021

**TO:** The Planning & Economic Development Board of the Town of Medway, MA

The undersigned, wishing to record the accompanying plan of property in the Town of Medway and believing that the plan does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits this Application and ANR Plan to the Medway Planning and Economic Development Board and requests its determination and endorsement that the Board's approval under the Subdivision Control Law is not required.

**PROPERTY INFORMATION**

ANR Location Address(es): 56 Summer Street (126)

The land shown on the plan is shown on Medway Assessor's Map # 46 Parcel(s) # 028

Total Acreage of Land to be Divided: 6.24 Ac.

Subdivision Name (if applicable): \_\_\_\_\_

Medway Zoning District Classification: AR-2

Frontage Requirement: 150' Area Requirement: 30,000

RECEIVED TOWN CLERK  
APR 16 '21 AM 11:32

Is the road on which this property has its frontage a designated **Medway Scenic Road**? No

The owner's title to the land that is the subject matter of this application is derived under deed from: Michael & Pauline Delgenio to Tortcon Builders, Inc.  
dated April 4, 2021 and recorded in Norfolk County Registry of Deeds,  
Book 39243 Page 398 or Land Court Certificate of Title Number \_\_\_\_\_,  
Land Court Case Number \_\_\_\_\_, registered in the Norfolk County Land Registry District  
Volume \_\_\_\_\_, Page \_\_\_\_\_.

### ANR PLAN INFORMATION

Plan Title: Plan of Land - 56 Summer St. Medway  
Prepared by: Continental Land Survey, LLC  
P.E. or P.L.S registration #: 48649 Plan Date: 3-9-2021

### APPLICANT INFORMATION

Applicant's Name: Christopher Torti  
Address: 70 Bethany Road  
Framingham, MA 01701  
Telephone: 508-380-0068 Email: ctortcon@yahoo.com

### PROPERTY OWNER INFORMATION

(If different than the applicant or if the plan shows a land swap between two adjacent properties)

Property Owner's Name: Same  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Telephone: \_\_\_\_\_ Email: \_\_\_\_\_

### ENGINEER or SURVEYOR INFORMATION

Name: Christopher Charlton, PLS  
Address: Continental Land Survey, LLC  
105 Beaver St. Franklin MA  
Telephone: 508-528-2528 Email: blackstone.valley.mapping@gmail.com

### ATTORNEY INFORMATION

Name: James L. Roberti, P.C.  
Address: Jefferson Building  
57 Jefferson St. Milford, MA 01757  
Telephone: 508-589-4388 Email: \_\_\_\_\_

## OFFICIAL REPRESENTATIVE INFORMATION

Name: Robert G. Murphy, Project Manager  
Address: R.G. Murphy & Associates, Env. Consultants  
214 Worcester St., No. Grafton, MA 01536  
Telephone: 508-826-1859 Email: rgmenviron@verizon.net

## PROJECT EXPLANATION

Provide a cover letter with a detailed explanation of how you propose to divide the land, what land transaction will occur, and what land reconfiguration will result from the endorsement and recording of this ANR Plan.

## APPROVAL NOT REQUIRED JUSTIFICATION

The Applicant believes that the Board's approval under the Subdivision Control Law is not required for the following reasons: (Check all that apply.)

- ☐ 1. The accompanying plan does not show a division of land.
- ☒ 2. Every lot shown on the plan has frontage as required by the Medway Zoning Bylaw. The frontage required by the Zoning Bylaw is located on Summer St., Rte 126 (name of way(s), which is:
- ☒ a. A public way. Date of street acceptance: 1947 Layout
- ☐ b. A way certified by the Town Clerk as being maintained and used as a public way. (Attach Town Clerk's certification)
- ☐ c. A way shown on a definitive subdivision plan entitled \_\_\_\_\_  
that was previously endorsed by the Planning and Economic Development Board on \_\_\_\_\_ and recorded at the Norfolk County Registry of Deeds on \_\_\_\_\_  
Provide detailed recording information: \_\_\_\_\_
- ☐ d. A private way in existence on the ground before 1952 when the Subdivision Control Law was adopted in the Town of Medway, which has, in the opinion of the Planning & Economic Development Board, adequate width, suitable grades, and adequate construction to provide vehicular access to the lot(s) for their intended purpose of \_\_\_\_\_ and to permit the installation of municipal services to serve the lot(s) and any buildings thereon.
- ☐ 3. The division of land shown on the accompanying plan is not a "subdivision" for the following reasons: \_\_\_\_\_

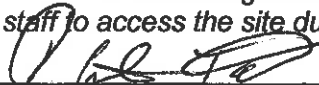
## SIGNATURES

The undersigned, being the Applicant as defined under Chapter 41, Section 81P for endorsement of an Approval Not Required Plan, herewith submits this application and Approval Not Required Plan to the Medway Planning and Economic Development Board for review and endorsement.

I hereby certify, under the pains and penalties of perjury, that the information contained in this application is a true, complete and accurate representation of the facts regarding the property under consideration.

(If applicable, I hereby authorize Robert G. Murphy to serve as my Agent/Official Representative to represent my interests before the Medway Planning & Economic Development Board with respect to this Approval Not Required Application.)

In submitting this application, I authorize the Board, its consultants and agents, and Town staff to access the site during the plan review process.

  
\_\_\_\_\_  
Signature of Property Owner

9-8-2021  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Applicant (if other than Property Owner)  
Robert G. Murphy  
\_\_\_\_\_  
Signature of Agent/Official Representative

\_\_\_\_\_  
Date  
4-8-2021  
\_\_\_\_\_  
Date

### ANR PLAN FILING FEE

2 Lots

\$250 plus \$100 per lot or parcel for a plan involving three (3) or more lots/parcels, not to exceed a maximum of \$750.

\* Please prepare two checks: one for \$100 and one for the balance.  
Each check should be made payable to: Town of Medway

Fee approved 11-2-06

### APPLICATION CHECKLIST – All items must be submitted

- ☒ 2 signed original ANR applications (FORM A)
- ☒ 2 full size prints of ANR plan
- ☒ Electronic version of ANR plan – A flash drive may be provided or a PDF of the plan may be emailed to: [planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)
- ☒ 2 copies of the Project Explanation
- ☒ Application/Filing Fee (2 checks) – Check with PEDB office for amounts.

\*\*\*\*\*

ANR Application/Filing Fee Paid:

Amount: \$250- Check # 1792  
Amount: \_\_\_\_\_ Check # \_\_\_\_\_



**ROBERT G. MURPHY & ASSOCIATES, INC.**  
**ENVIRONMENTAL CONSULTANTS**  
214 Worcester Street  
No. Grafton, Massachusetts 01536

[rgmenviron@verizon.net](mailto:rgmenviron@verizon.net)

Phone (508) 839-0310  
Cell (508) 826-1859

April 07, 2021

Susan E. Affleck Childs, Planning Coordinator  
Planning & Economic Development Board  
155 Village Street  
Medway, MA 02053

**Re: Project Description – 56 Summer Street, Medway, MA**

Dear Susan:

As the representative for Tortcon Builders, Inc. this office has provided a detailed explanation of how the property located at 56 Summer Street is to be divided with reference to the endorsement of the attached ANR plan. Currently there is an existing single family house with an attached garage located across from Kingston Lane at the northwesterly corner of the 6.24 acre parcel. The property is located within the AR-2 Zoning District as well as the Multifamily Housing Overlay District as shown on the most recent Zoning Map. The majority of the land is vegetated with upland deciduous trees and shrubs. There are no wetland resource areas found within this property. There is excellent sight visibility along the entire frontage where this property abuts Summer Street (MA Route 126).

As shown on the referenced 2 lot ANR plan, the existing 6.24 acre parcel is to be divided into 2 lots. Lot 1 is to contain 31,000 square feet with 157.93 feet of frontage on Summer Street. The remaining land (Lot 2) will be equal to 240,568 square feet (5.52 acres). The intent of the owner is to further subdivide Lot 2 into six lots with an average area of 35,000 square feet at a later date. This subdivision will be serviced with a single cul-de-sac located in the center of the parcel. All of the proposed lots are to follow the current zoning requirements for the overlay district within the AR-2 zone.

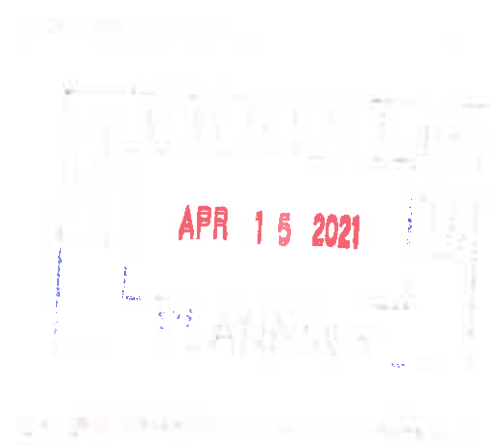
The existing building currently located at 56 Summer Street is to be replaced with a duplex residence following the zoning regulations within the Multifamily Housing Overlay District which requires a special permit. The building is to be constructed in a manner that resembles a single family residence. There will be a single paved driveway that will be split in the center to provide access to the attached garages. The new driveway is to be relocated 60' to the north along Summer Street to better serve the future occupants. The topography around the residences will remain essentially level once the landscaping has been completed. It should be noted that the municipal services available to this property include sewer, water, gas, telephone, electric and cable.

This office appreciates the opportunity to work with you on this project. If you have any questions with reference to this Application for an ANR plan endorsement or if you need additional information, please feel free to contact this office.

Respectfully submitted,

Robert G. Murphy, Project Manager

Cc, Client, Counsel, file







Susan E. Affleck-Childs

Planning and Economic  
Development Coordinator



Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Phone (508) 533-3291  
Fax (508) 321-4987  
Email: sachilds@  
townofmedway.org  
www.townofmedway.org

**TOWN OF MEDWAY**  
**COMMONWEALTH OF MASSACHUSETTS**  
**PLANNING AND ECONOMIC**  
**DEVELOPMENT OFFICE**

**MEMORANDUM**

April 22, 2021

TO: Planning and Economic Development Board members  
FROM: Susy Affleck-Childs  
RE: ANR Plan for 56 Summer Street

I have reviewed the ANR plan, application and accompanying submittal letter filed for the Board's endorsement by Christopher Torti of Framingham, MA. The plan was prepared by Continental Land Survey, LLC of Franklin, MA and is dated March 9, 2021, last revised April 16, 2021. This plan shows a division of the 6.24 acre property at 56 Summer Street into 2 lots. Lot 1 with the existing house (to be demolished) is 30,493 sq. ft. Lot 2 is 241,175 sq. ft. The property is located in the AR-II zoning district; it is also included in the Multi-Family Overlay District. Mr. Torti is the new owner, having purchased the property from Michael and Pauline Delgenio on April 4, 2021. Mr. Torti is represented by Robert Murphy, Environmental Consultant.

I have comments as follows:

1. Both lots have frontage on Summer Street, a public way, with a 1947 layout.
2. The plan includes all details required to be shown on an ANR plan pursuant to Section 3.2 ANR Plan Contents of the *Medway Subdivision Rules and Regulations*.

The proposed division of land into two lots does constitute a "subdivision" and the Board's approval under the Subdivision Control Law is not required. I recommend the Board endorse the ANR plan as presented.





**April 27, 2021**  
**Medway Planning & Economic Development Board**  
**Meeting**

**ZBA Petitions**

- Petition from Karl and Amanda Boczanowski for 28 Milford Street. They wish to build a new home on this 2-acre property and remove the existing one story house built around 1930. The property is located in the AR-II zoning district; it has 80 feet of frontage on Milford Street and widens out at the middle of the property. The new house will be set back 188' from Milford Street and meets all side, rear and front setback requirements. They seek a frontage variance and a special permit to have an accessory family dwelling unit above the attached garage. The use is conforming; the frontage is not. However, there is no increase in the non-conforming frontage.

## GENERAL APPLICATION FORM



## TOWN OF MEDWAY

## ZONING BOARD OF APPEALS

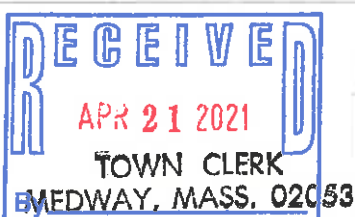
155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org  
www.townofmedway.org/zoning-board-appeal

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

## TO BE COMPLETED BY THE APPLICANT

<b>Applicant/Petitioner(s):</b> Karl & Amanda Boczanowski	<b>Application Request(s):</b>
<b>Property Owner(s):</b> Karl & Amanda Boczanowski	Appeal <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input checked="" type="checkbox"/> Determination/Finding <input type="checkbox"/> Extension <input type="checkbox"/> Modification <input type="checkbox"/> Comprehensive Permit <input type="checkbox"/>
<b>Site Address(es):</b> 28 Milford St.	
<b>Parcel ID(s):</b> 47-116-0000	
<b>Zoning District(s):</b> ARII	
<b>Registry of Deeds Book &amp; Page No. and Date or Land Court Certificate No. and Date of Current Title:</b> BK 24083 Pg 164, Bk 33205 Pg 501	



## TO BE COMPLETED BY STAFF:

Check No.: 1590  
Date of Complete Submittal: 4/21/2021  
Comments:

*Magnus Harris*

4/15/21

APPLICANT/PETITIONER INFORMATION

*The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the owner(s). For legal entities such as corporations, LLCs, etc., list the type and legal status of ownership, the name of the trustees/officer members, their affiliation, and contact information. Please provide attachment for information if necessary.*

<b>Applicant/Petitioner(s):</b>	Phone:
	Email:
Address:	
<b>Attorney/Engineer/Representative(s):</b>	Phone:
	Email:
Address:	
<b>Owner(s):</b>	Phone:
	Email:
Mailing Address:	

Please list name and address of other parties with financial interest in this property (use attachment if necessary):

Please disclose any relationship, past or present, interested parties may have with members of the ZBA:

**I hereby certify that the information on this application and plans submitted herewith are correct, and that the application complies with all applicable provisions of Statutes, Regulations, and Bylaws to the best of my knowledge, and that all testimony to be given by me during the Zoning Board of Appeals public hearing associated with this application are true to the best of my knowledge and belief.**

\_\_\_\_\_  
*Signature of Applicant/Petitioner or Representative* *Date*

\_\_\_\_\_  
*Signature Property Owner (if different than Applicant/Petitioner)* *Date*

**GENERAL APPLICATION FORM**

**APPLICATION INFORMATION**

		YES	NO
<b>Applicable Section(s) of the Zoning Bylaw:</b>	Requesting Waivers?	Y	N
	Does the proposed use conform to the current Zoning Bylaw?	Y	N
<b>Present Use of Property:</b>	Has the applicant applied for and/or been refused a building permit?	Y	N
	Is the property or are the buildings/ structures pre-existing nonconforming?	Y	N
<b>Proposed Use of Property:</b>	Is the proposal subject to approval by the BOH or BOS?	Y	N
	Is the proposal subject to approval by the Conservation Commission?	Y	N
<b>Date Lot was created:</b>	Is the property located in the Floodplain District?	Y	N
<b>Date Building was erected:</b>	Is the property located in the Groundwater Protection District?	Y	N
<b>Does the property meet the intent of the Design Review Guidelines?</b>	Is the property located in a designated Historic District or is it designated as a Historic Landmark?	Y	N
<b>Describe Application Request:</b>			

## FILL IN THE APPLICABLE DATA BELOW

Required Data	Bylaw Requirement	Existing	Proposed
A. Use		Old house	New house
B. Dwelling Units		1	1
C. Lot Size		2.066 Acres	2.066 Acres
D. Lot Frontage		80 ft.	80 ft.
E. Front Setback		82 ft.	188 ft.
F. Side Setback		7 ft.	16.8 ft.
G. Side Setback		50 ft.	69 ft.
H. Rear Setback		210 ft.	132.2 ft.
I. Lot Coverage			30%
J. Height			32' 7.75"
K. Parking Spaces			0
L. Other			

## FOR TOWN HALL USE ONLY

To be filled out by the Building Commissioner:

4/21/2021

Date Reviewed



Medway Building Commissioner

Comments:

After completing this form, please submit an electronic copy to [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
and 4 paper copies to the Community & Economic Development Department.



**TOWN OF MEDWAY**

**ZONING BOARD OF APPEALS**

155 Village Street  
Medway MA 02053

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.**

**TO BE COMPLETED BY THE APPLICANT**

*Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.*

<p><b>1. The proposed site is an appropriate location for the proposed use:</b></p>
<p><b>2. Adequate and appropriate facilities will be provided for the operation of the proposed use:</b></p>
<p><b>3. The proposed use as developed will not create a hazard to abutters, vehicles, pedestrians, or the environment:</b></p>
<p><b>4. The proposed use will not cause undue traffic congestion or conflicts in the immediate area:</b></p>
<p><b>5. The proposed use will not be detrimental to the adjoining properties due to lighting, flooding, odors, dust, noise, vibration, refuse materials, or other undesirable visual, site, or operational attributes of the proposed use:</b></p>
<p><b>6. The proposed use as developed will not adversely affect the surrounding neighborhood or significantly alter the character of the zoning district:</b></p>

<p><b>7. The proposed use is in harmony with the general purpose and intent of this Zoning Bylaw:</b></p>
<p><b>8. The proposed use is consistent with the goals of the Medway Master Plan:</b></p>
<p><b>9. The proposed use will not be detrimental to the public good:</b></p>

<hr/> <i>Signature of Applicant/Petitioner or Representative</i>	<hr/> <i>Date</i>
--	-------------------



## **TOWN OF MEDWAY**

### **ZONING BOARD OF APPEALS**

155 Village Street  
Medway, MA 02053

Phone: 508-321-4915 | [zoning@townofmedway.org](mailto:zoning@townofmedway.org)  
[www.townofmedway.org/zoning-board-appeal](http://www.townofmedway.org/zoning-board-appeal)

**NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS. A GENERAL SPECIAL PERMIT APPLICATION IS REQUIRED IN ADDITION TO THIS FORM FOR AFDU'S.**

#### **TO BE COMPLETED BY THE APPLICANT**

*Please provide evidence regarding how the Special Permit Decision Criteria, outlined below, is met. Please write "N/A" if you believe any of the Criteria is Not Applicable. Provide attachments if necessary.*

- 1. An accessory family dwelling unit shall be located within:**
- a. a detached single-family dwelling (principal dwelling unit); or**
  - b. an addition to a detached single-family dwelling principal dwelling unit); or**
  - c. a separate structure on the same premises as a detached single-family dwelling (principal dwelling unit).**

The detached in-law is located above the garage of the single family dwelling. There will only be one in-law for the single family principal dwelling unit.

- 2. There shall be no more than one accessory family dwelling unit associated with a detached single-family dwelling (principal dwelling unit).**

There will only be one in-law (one accessory family dwelling unit) associated with our single family principal dwelling unit located at 28 Milford St. as outlined in the building plans submitted to the ZBA.

- 3. No accessory family dwelling unit shall have more than one bedroom, unless a second bedroom is authorized by the Board of Appeals pursuant to 8.2.C. 8.**

The proposed in-law has only one bedroom as outlined in the building plans submitted to the ZBA.

- 4. An accessory family dwelling unit shall not exceed 800 sq. ft. of gross floor area unless:**

- a. there is an existing detached accessory structure larger than 800 sq. ft. located on the same lot as a detached single-family dwelling (principal dwelling unit) and the Board of Appeals determines its use as an accessory family dwelling unit is in character with the neighborhood; or**
- b. authorized by the Board of Appeals pursuant to 8.2.C.8.**

The proposed in-law does not exceed 800 sq. ft. as outlined in the building plans submitted to the ZBA.

- 5. There shall be at least one designated off-street parking space for the accessory family dwelling unit in addition to parking for the occupants of the detached single-family (principal dwelling unit).**

The off-street parking space shall be located in a garage or in the driveway, and shall have vehicular access to the driveway. The location, quantity and adequacy of parking for the accessory



family dwelling unit shall be reviewed by the Board of Appeals to ensure its location and appearance are in keeping with the residential character of the neighborhood.

There is at least one off-street parking space for the in-law. There is a two car garage along with an extensive driveway with spaces for more than 4 cars.

**6. Occupancy of the single-family dwelling (principal dwelling unit) and accessory family dwelling unit shall be restricted as follows:**

- a. The owners of the property shall reside in one of the units as their primary residence, except for bona fide temporary absences due to employment, hospitalization, medical care, vacation, military service, or other comparable absences which would not negate the primary residency standard. For purposes of this Section, "owners" shall mean one or more individuals who hold legal or beneficial title to the premises.**
- b. The accessory dwelling unit and the detached single-family dwelling (principal dwelling unit) shall be occupied by any one or more of the following:**
  - i. the owner(s) of the property;**
  - ii. the owner's family by blood, marriage, adoption, foster care or guardianship;**
  - iii. an unrelated caregiver for an occupant of the detached single-family dwelling or the accessory family dwelling unit, who is an elder, a person with a disability, handicap or chronic disease/medical condition, or a child.**

We, Karl and Amanda Boczanowski, will reside in the primary residence and the in-law is for family, specifically Karl's mother.

**7. An accessory family dwelling unit shall be designed so as to preserve the appearance of the single-family dwelling (principal dwelling unit) and be compatible with the residential character of the neighborhood. Any new separate outside entrance serving an accessory family dwelling unit shall be located on the side or in the rear of the building.**

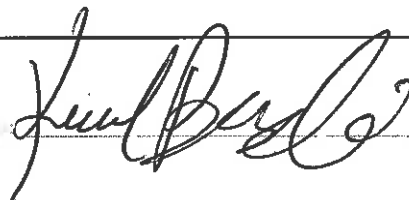
The in-law is located above the 2 car garage and does not have an exterior door on the front of the house. The house maintains the appearance of the single-family dwelling and is compatible with the residential character of the neighborhood, as outlined in the building plans submitted to the ZBA.

**In order to encourage the development of housing units for disabled and handicapped individuals and persons with limited mobility or a chronic medical condition, the Board of Appeals may allow reasonable deviations from the Basic Requirements where necessary to install features in the accessory family dwelling unit to facilitate the care of, and access and mobility for, disabled and handicapped individuals and persons with limited mobility or a chronic medical condition. This may include, but is not limited to, authorizing a second bedroom in the accessory family dwelling unit.**

**If you are seeking relief under this provision, please specify the relief sought and the reasons supporting your request.**

N/A

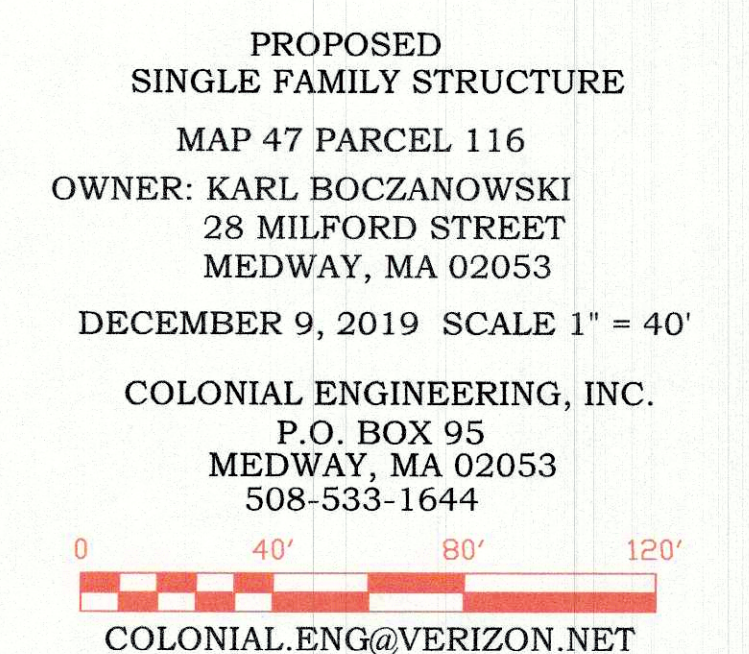
Signature of Applicant/Petitioner or Representative



Date

4/20/21







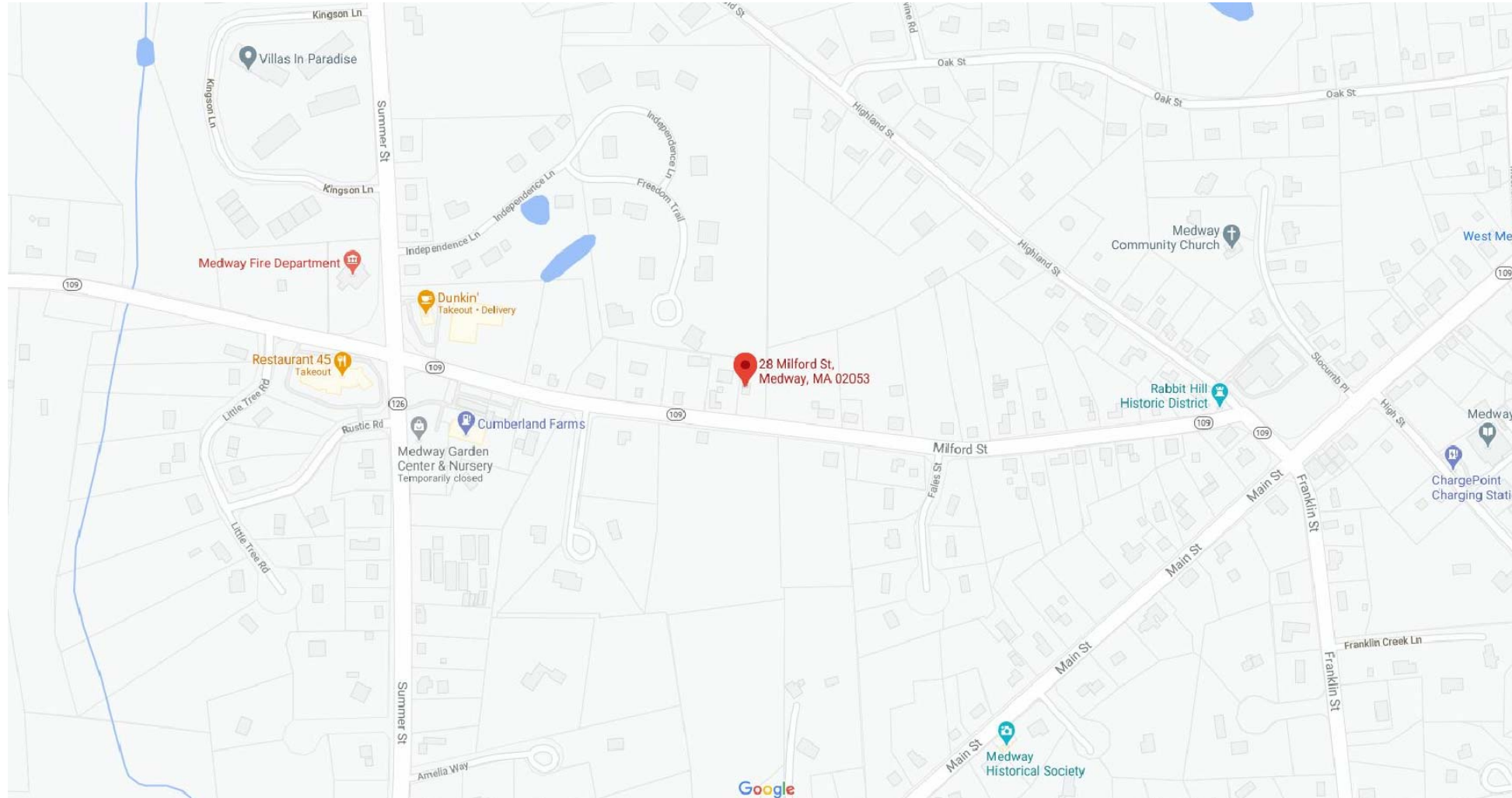
Boczanowski Residence

28 Milford Street

Medway, MA



Perspective for illustrative purposes only, Final design may vary



Architectural drawings:

- A0.0 Cover Sheet & Notes
- A1.0 Foundation Plan
- A1.1 First Floor Plan
- A1.2 Second Floor Plan
- A1.3 Attic Floor Plan
- A2.0 Not used
- A3.0 Exterior Elevations
- A3.1 Exterior Elevations
- A4.0 First Floor Framing Plans
- A4.1 Second Floor Framing Plans
- A4.2 Attic Floor Framing Plans
- A4.3 Roof Framing Plans
- A5.0 Building Section
- A5.1 Building Sections @ Garage
- A5.2 Building Section @ Breezeway

Owner:

Karl Boczanowski  
28 Milford street  
Medway, MA

Designer:

mda design  
40 Parkton Road, #3  
Boston, MA 02130  
contact: Matthew Arnold  
email: mdadesign@gmail.com  
508-962-9315

PARTIAL DEMOLITION GENERAL NOTES

1. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF WORK TO BE PERFORMED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL SCOPE WITH FIELD CONDITIONS AND THE REQUIREMENTS SET FORTH IN THE CONTRACT DOCUMENTS.
2. SELECTIVE DEMOLITION SHALL INCLUDE FURNISHING OF ALL MATERIAL, LABOR, EQUIPMENT AND SUPPLIES, AND THE PERFORMANCE OF ALL OPERATIONS REQUIRED TO COMPLETE THE INDICATED SCOPE OF WORK.
3. THE DEMOLITION PLAN DESCRIBES THE GENERAL SCOPE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE ACTUAL WORK SCOPE WITH FIELD CONDITIONS AND DESIGN PLAN REQUIREMENTS.
4. THE SELECTIVE DEMOLITION SCOPE OF WORK IS INDICATED ON THE DRAWINGS AND SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
  - DEMOLITION OF INDICATED ITEMS PER THE DRAWINGS;
  - PROTECTION FROM DAMAGE OF ALL EXISTING ITEMS TO REMAIN;
  - SALVAGE AND STORAGE OF ALL INDICATED ITEMS PER THE DRAWINGS;
  - COMPLETE REMOVAL FROM THE PREMISES AND THE LEGAL DISPOSAL THEREOF OF ALL REMOVED OR DEMOLISHED MATERIALS, OTHER THAN THOSE ITEMS EITHER DIRECTED BY THE ARCHITECT OR INDICATED ON THE DRAWINGS TO BE SALVAGED.
  - LANDFILL DUMPING SLIPS SHALL BE RETAINED BY THE CONTRACTOR AND GIVEN TO THE OWNER UPON REQUEST.
5. THE CONTRACTOR SHALL USE DUE CARE IN CUTTING INTO AND WORKING ADJACENT TO EXISTING CONDITIONS WHICH ARE TO REMAIN. ALL CUTTING OF EXISTING MATERIALS SHALL BE HELD TO THE ABSOLUTE MINIMUM AS REQUIRED TO PROPERLY PERFORM THE WORK, AND SHALL BE SUBJECT AT ALL TIMES TO THE ARCHITECT'S APPROVAL.
6. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE SELECTIVE DEMOLITION PROCESS REVEALS PRE-EXISTING AND UNFORESEEN LATENT CONDITIONS OR DEFECTS REQUIRING IMMEDIATE REMEDIAL REPAIRS, TEMPORARY SUPPORT, OR OTHER ATTENTION.
7. WHERE WORK INVOLVES LOAD BEARING STRUCTURES, PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO SAFELY TRANSFER REQUIRED LOAD. DO NOT PROCEED WITH WORK UNLESS ALL SHORING IS IN PLACE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK, AND ARRANGING FOR ANY REQUIRED INSPECTIONS.

NEW CONSTRUCTION GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE MASSACHUSETTS COMMERCIAL BUILDING CODE 9TH ADDITION AND THE RULES AND REGULATIONS OF ALL GOVERNING BODIES.
2. THE CONTRACTOR SHALL APPLY FOR AND MAINTAIN IN GOOD ORDER ALL REQUIRED PERMITS AND SHALL COORDINATE WITH OFFICIALS ALL REQUIRED INSPECTIONS AND CERTIFICATIONS
3. THE CONTRACTOR SHALL DETERMINE EXISTING CONDITIONS WHERE REQUIRED AND VERIFY ALL FIELD CONDITIONS FOR CLEARANCES, DIMENSIONS, AND ELEVATIONS SHOWN ON DRAWINGS. ANY DISCREPANCIES SHALL BE MARKED ON A PRINT OF THE RELEVANT DRAWING AND FORWARDED IMMEDIATELY TO THE ARCHITECT.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT ALL REQUIREMENTS FOR INSTALLATION OF REQUIRED FURNISHINGS, WINDOWS, FIXTURES AND EQUIPMENT
5. HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK WILL BE PROCURED BY THE OWNER FROM THE CONTRACTOR ON A DESIGN/BUILD BASIS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THIS WORK AND FOR CONFORMING THE WORK TO ARCHITECTURAL REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR ALL MEP TO CODE.
6. GC FIELD VERIFY ALL CRITICAL DIMENSIONS
7. GC TO INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS
8. HARDWIRED SMOKE DETECTORS & C02 DETECTORS WILL BE INSTALLED PER CODE THROUGHOUT THE ENTIRE HOUSE INCLUDING BASEMENT. (C02 WITHIN 10'-0" OF EVERY BEDROOM) FINAL LOCATIONS TO BE REVIEW BY GC / GC'S ELECTRICIAN / AND MEDWAY FIRE DEPARTMENT

Window Schedule					
MK	Manufacture	Series	Type	Nominal Dimension	Notes
A	To be determined	To be determined	Double Hung	3'-0" x 5'-6"	
B	To be determined	To be determined	Awning	3'-0" x 3'-0"	
C	To be determined	To be determined	2-Casement	6'-0" x 3'-4"	Tempered glass
D	To be determined	To be determined	Double Hung	3'-0" x 5'-0"	Egress window
E	To be determined	To be determined	Bay window	8'-0" x 6'-0"	
F	To be determined	To be determined	2-Double Hung	6'-0" x 5'-0"	Egress window
Exterior Door Schedule					
1	To be determined	To be determined	Solid door - side lights	6'-0" x 7'-0"	Exterior door (36" door)
2	To be determined	To be determined	Full light - sliding door	6'-0" x 7'-0"	Exterior door
3	To be determined	To be determined	Half light door	3'-0" x 6'-8"	Exterior door
4	To be determined	To be determined	Overhead door	9'-0" x 7'-0"	16" Tall transom windows above
<div><div><div>1. See building elevations for window design</div><div>2. All operable windows and sliding door shall have operable insect screens</div><div>3. All windows to have a U-factor no greater than 0.31</div><div>4. All windows shall be double glazing, low-E coating (low solar gain), argon gas fill, vinyl/wood frame with thermal break.</div></div><div><div>5. All glazing less than 18" above the floor shall be tempered glass.</div><div>6. Entry Door shall have a Maximum U-factor of 0.40.</div><div>7. All other exterior doors shall have a maximum U-factor of 0.40.</div><div>8. All window sills shall be a minimum of 24" off interior floor.</div></div></div>					

Legend

T.O. = Top of  
B.O. = Bottom of  
P.M.J.F. = Premolded joint filler  
VIF = Verify in field

- New wall
- 1 HR Fire rated wall
- Demolish wall
- Window tag
- Exterior door tag
- Interior door tag
- Elevation Tag
- Detail #
- Sheet #
- Section Marker
- Detail #
- Sheet #

mda design

40 Parkton Rd, #3  
Boston, MA 02130  
mdadesign@gmail.com

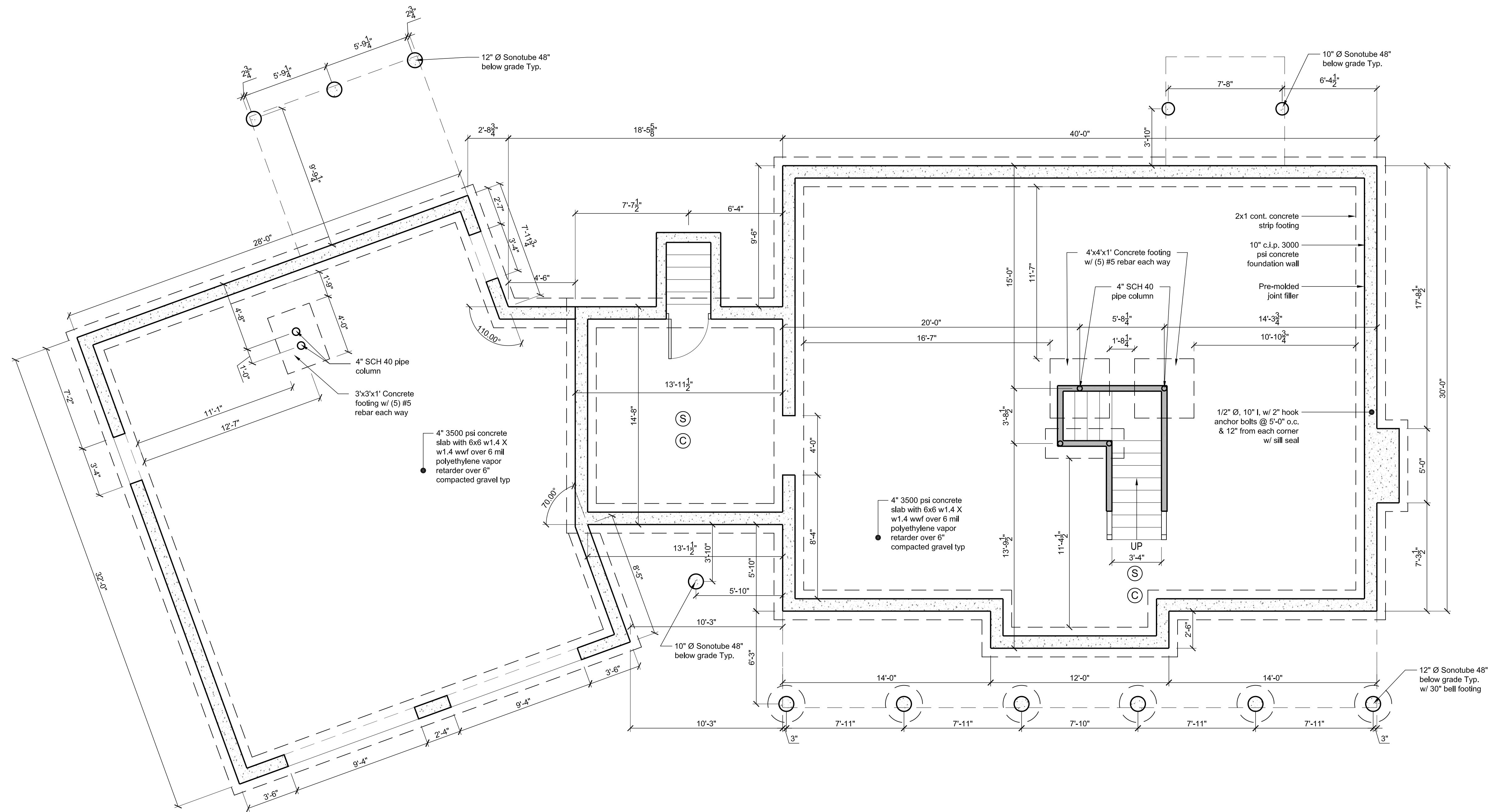
1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address

28 Milford Street  
Medway, MA

Project	Boczanowski	Sheet	A0.0
Date	03.11.2021		
Scale	As noted		





Foundation Plan

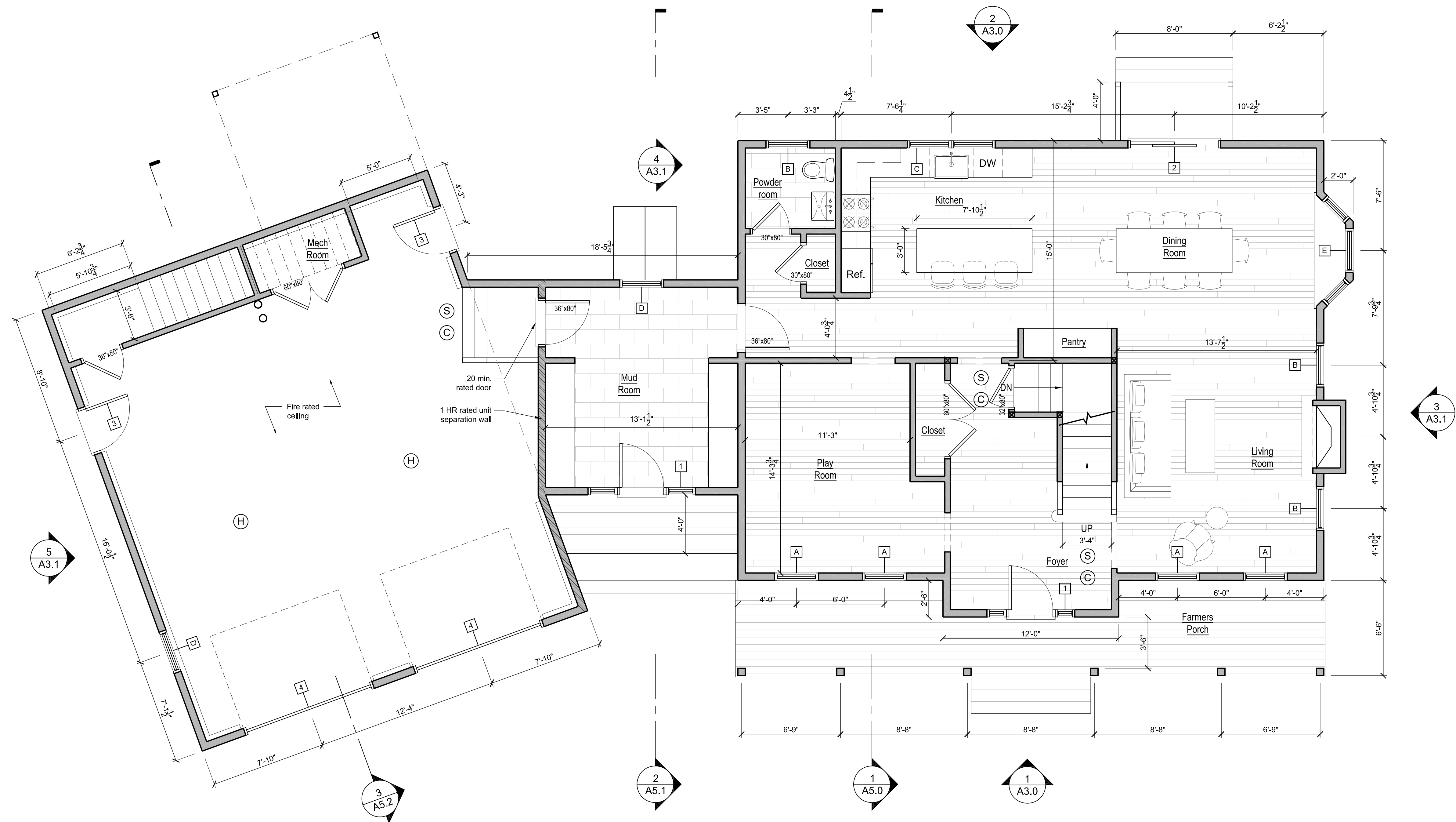
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address  
28 Milford Street  
Medway, MA

Proposed Floor Plan

Project Boczanowski	Sheet A1.0
Date 03.11.2021	
Scale As noted	



First Floor Plan

Scale: 1/4"=1'-0"

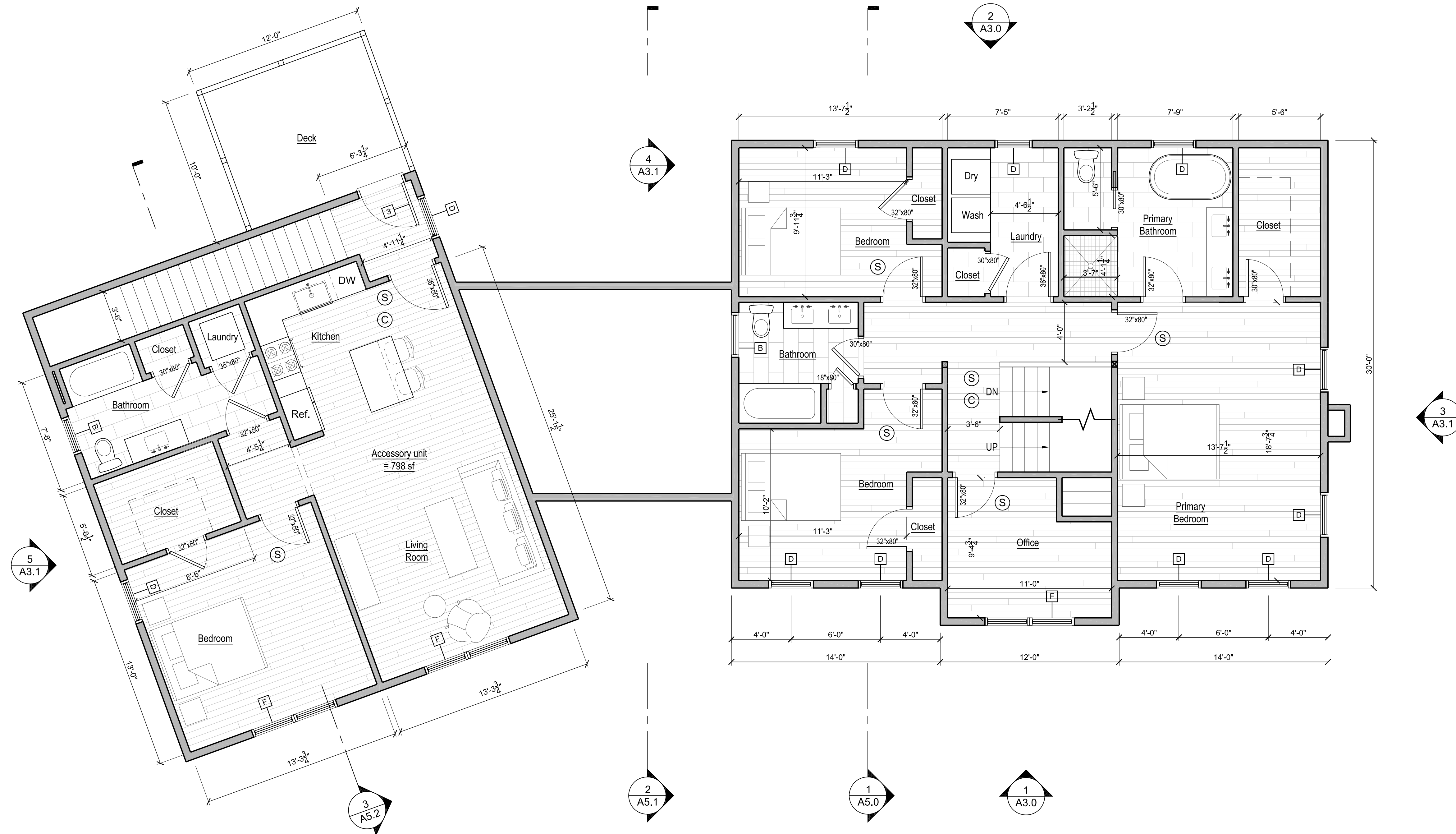
1	Issue - Pricing	3/11
No.	Revision/Issue	Date

28 Milford Street  
Medway, MA

Proposed Floor Plan

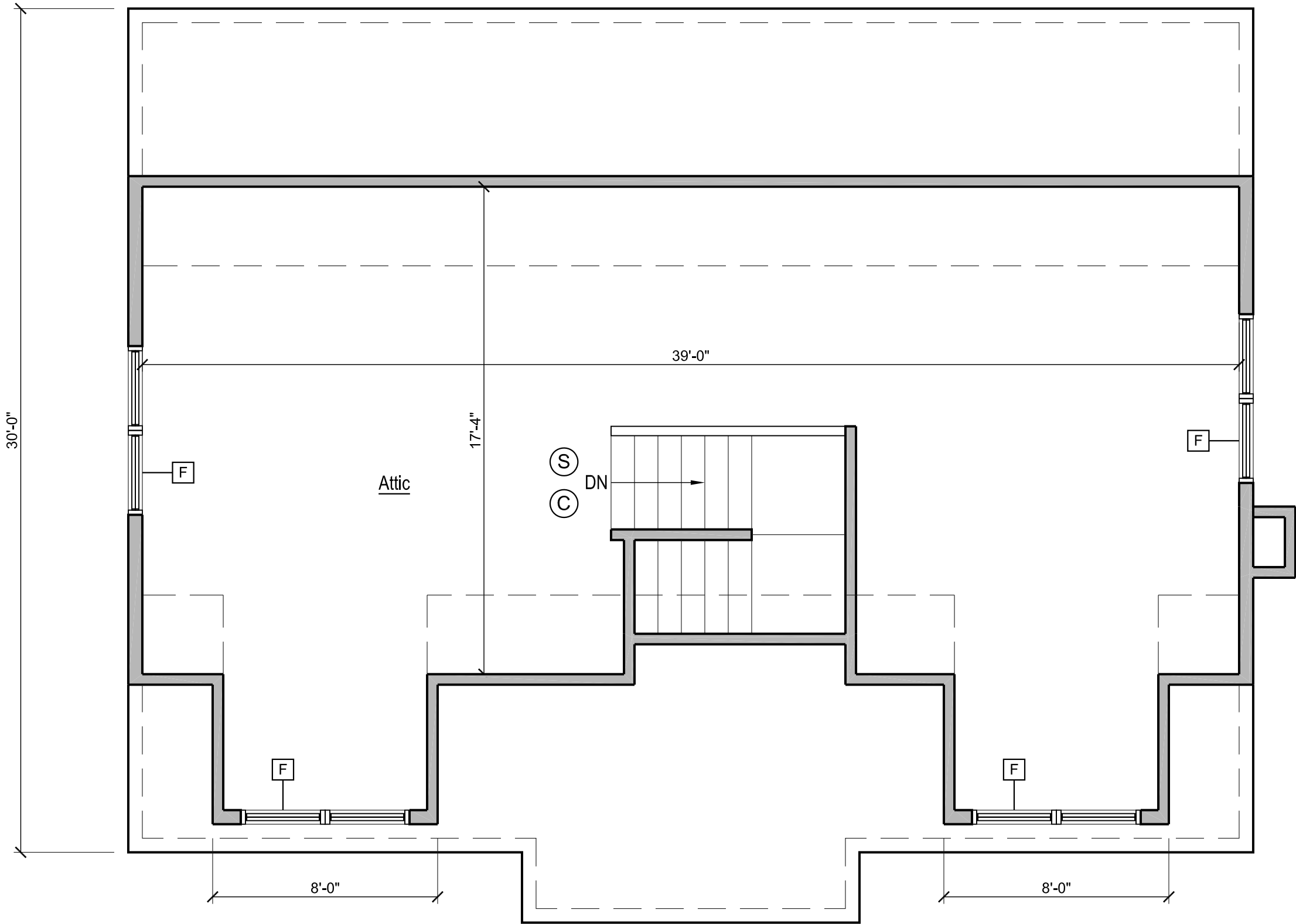
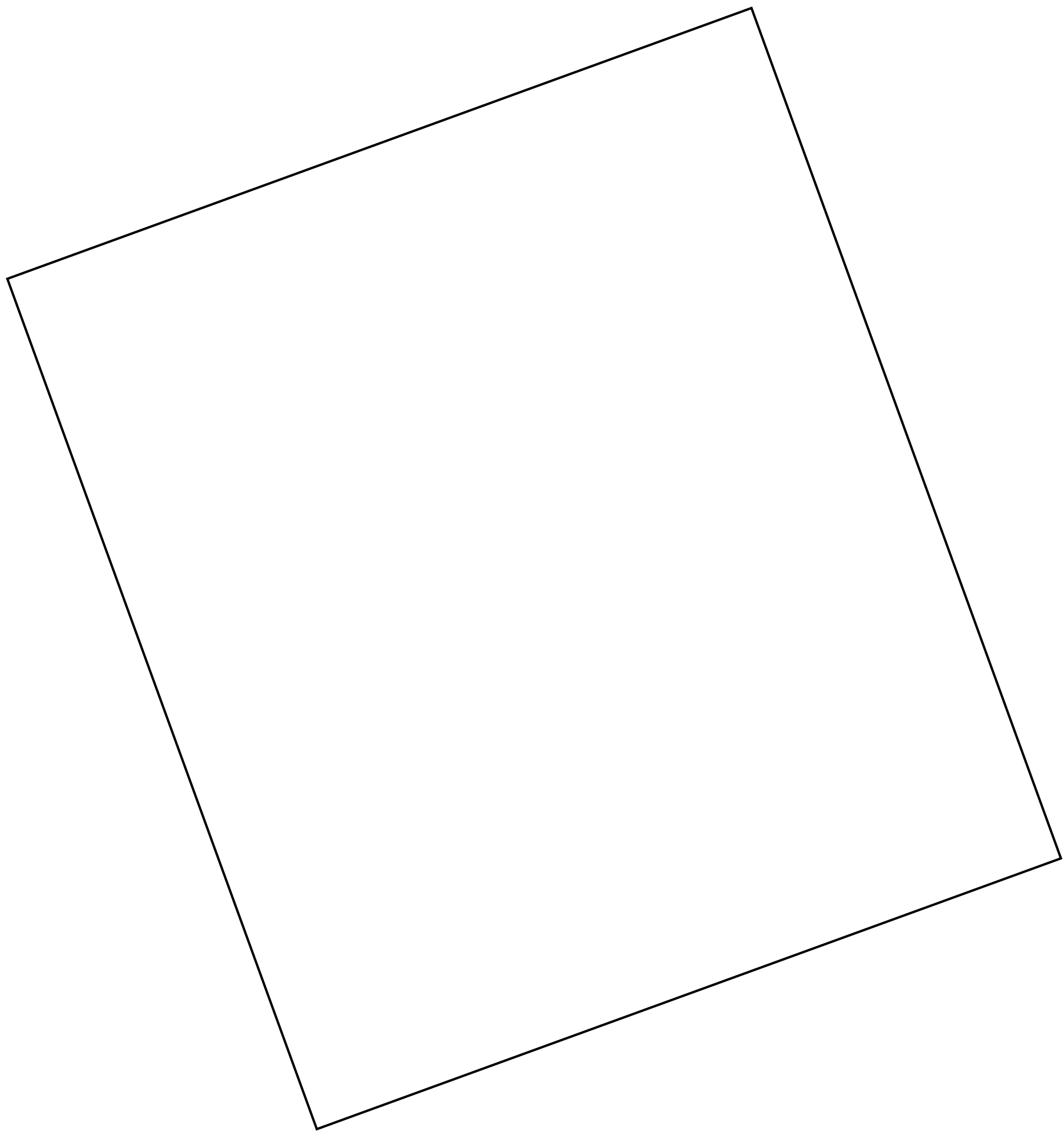
Project	Boczanowski
Date	03.11.2021
Scale	As noted

A1.1



Second Floor Plan  
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date
Project Name and Address		
28 Milford Street Medway, MA		
Proposed Floor Plan		
Project	Boczanowski	Sheet
Date	03.11.2021	A1.2
Scale	As noted	



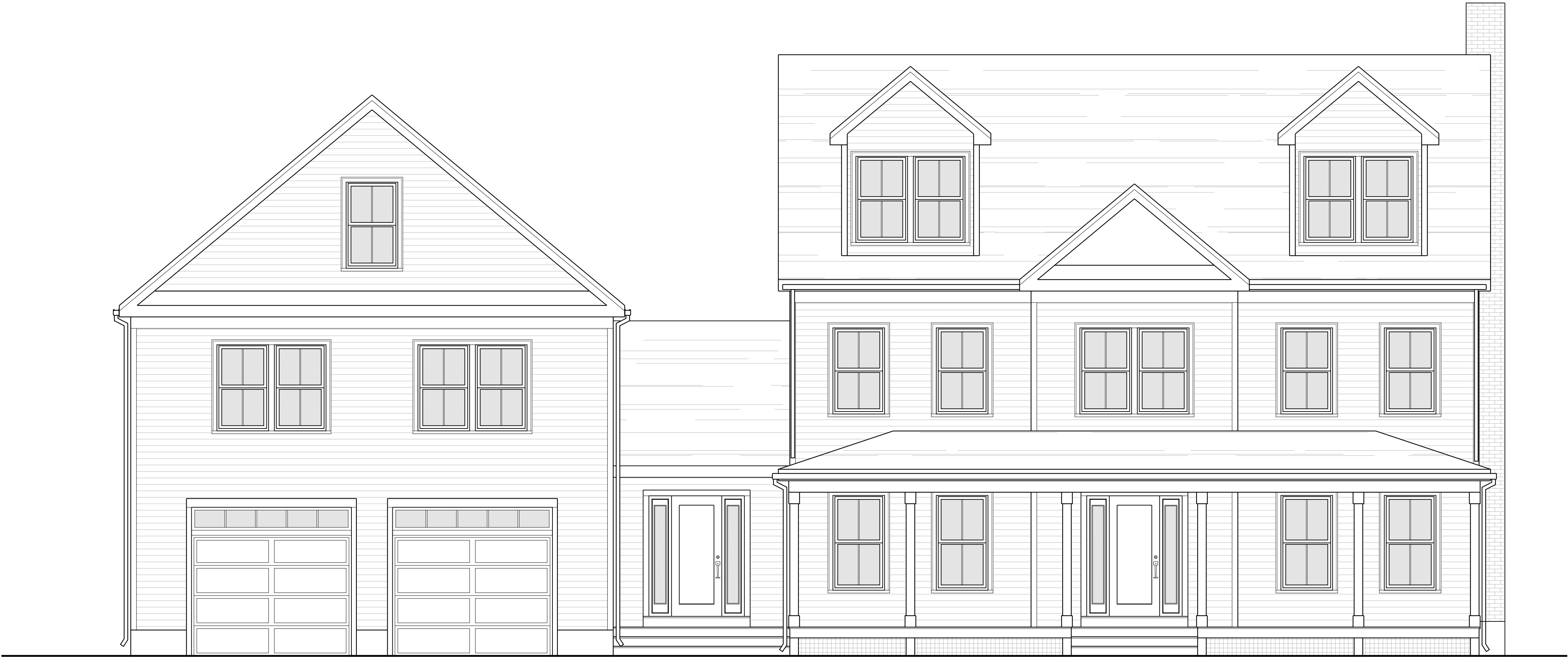
**Attic Floor Plan**  
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date
Project Name and Address		
28 Milford Street Medway, MA		
Proposed Floor Plan		
Project	Sheet	
Boczanowski	A1.3	
Date		
03.11.2021		
Scale	As noted	



2 Rear Elevation

Scale: 1/4"=1'-0"



1 Front Elevation

Scale: 1/4"=1'-0"

mda design

40 Parkton Rd, #3  
Boston, MA 02130  
mdadesign@gmail.com

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address

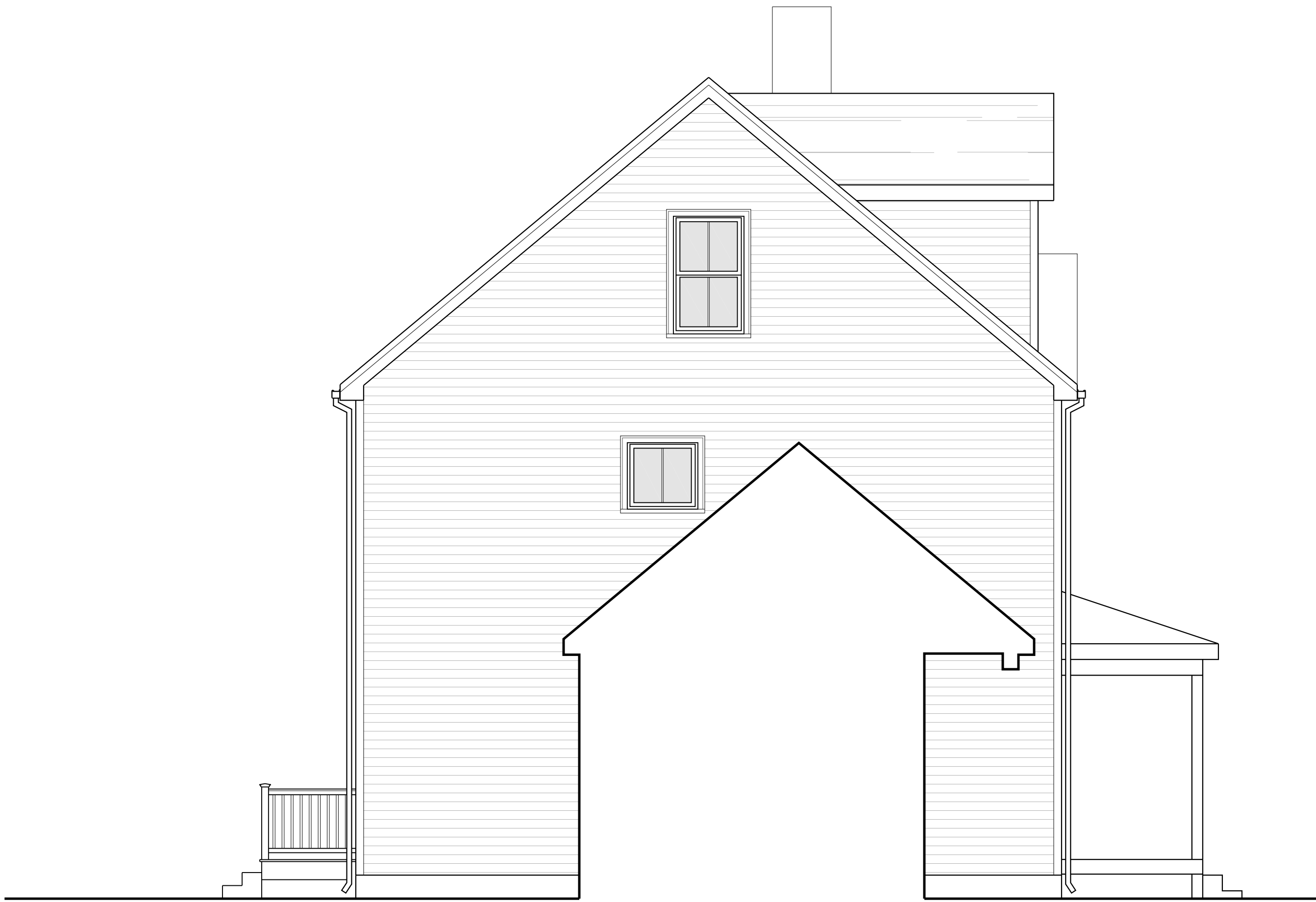
28 Milford Street  
Medway, MA

Project	Boczanowski
Date	03.11.2021
Scale	As noted

Sheet

A3.0





4 Left Side Elevation

Scale: 1/4"=1'-0"



5 Left Side Elevation @ Garage

Scale: 1/4"=1'-0"



3 Right Side Elevation

Scale: 1/4"=1'-0"

mda design

40 Parkton Rd, #3  
Boston, MA 02130  
mdadesign@gmail.com

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address

28 Milford Street  
Medway, MA

Project

Boczanowski

Date

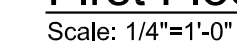
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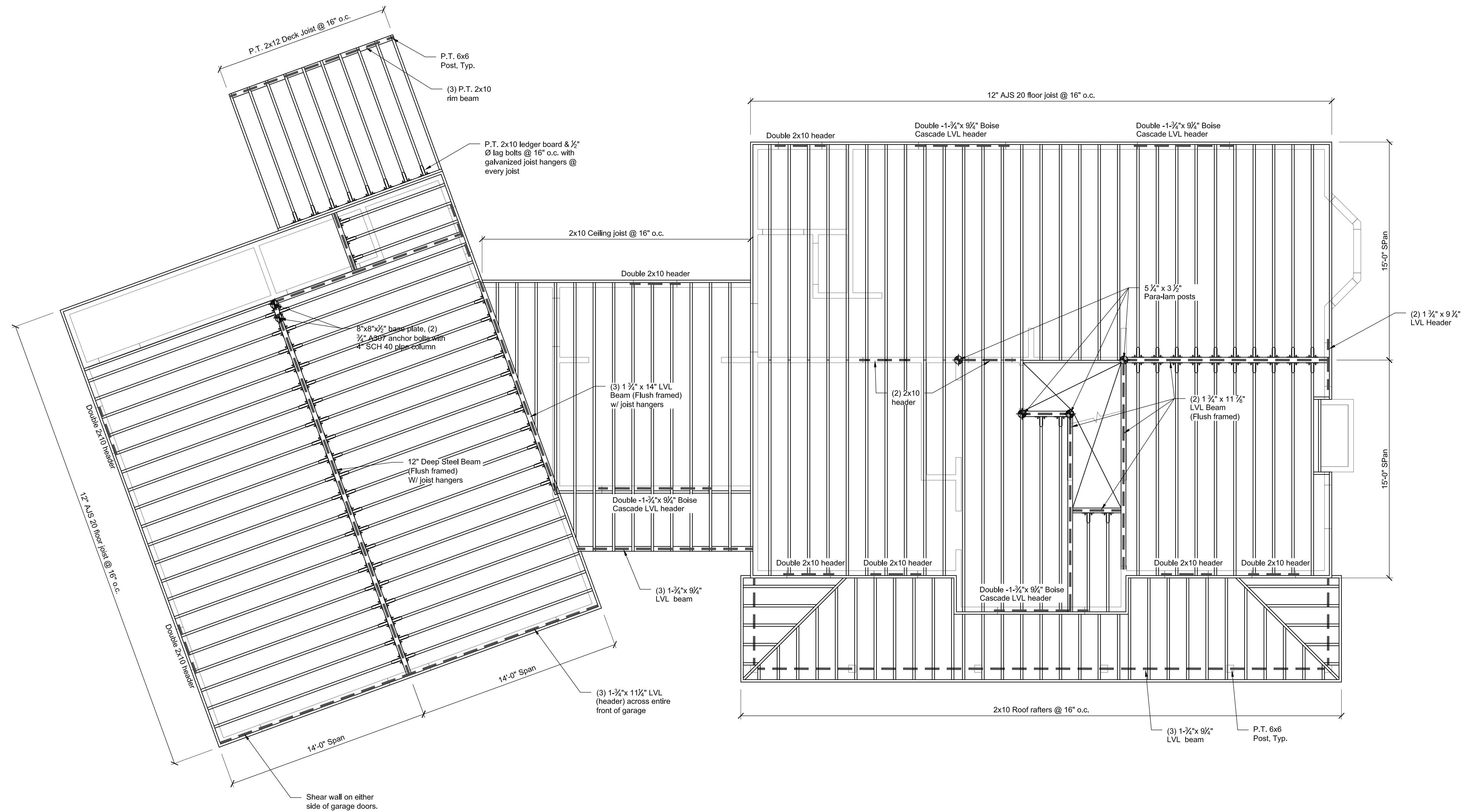
Scale

As noted

Sheet

A3.1



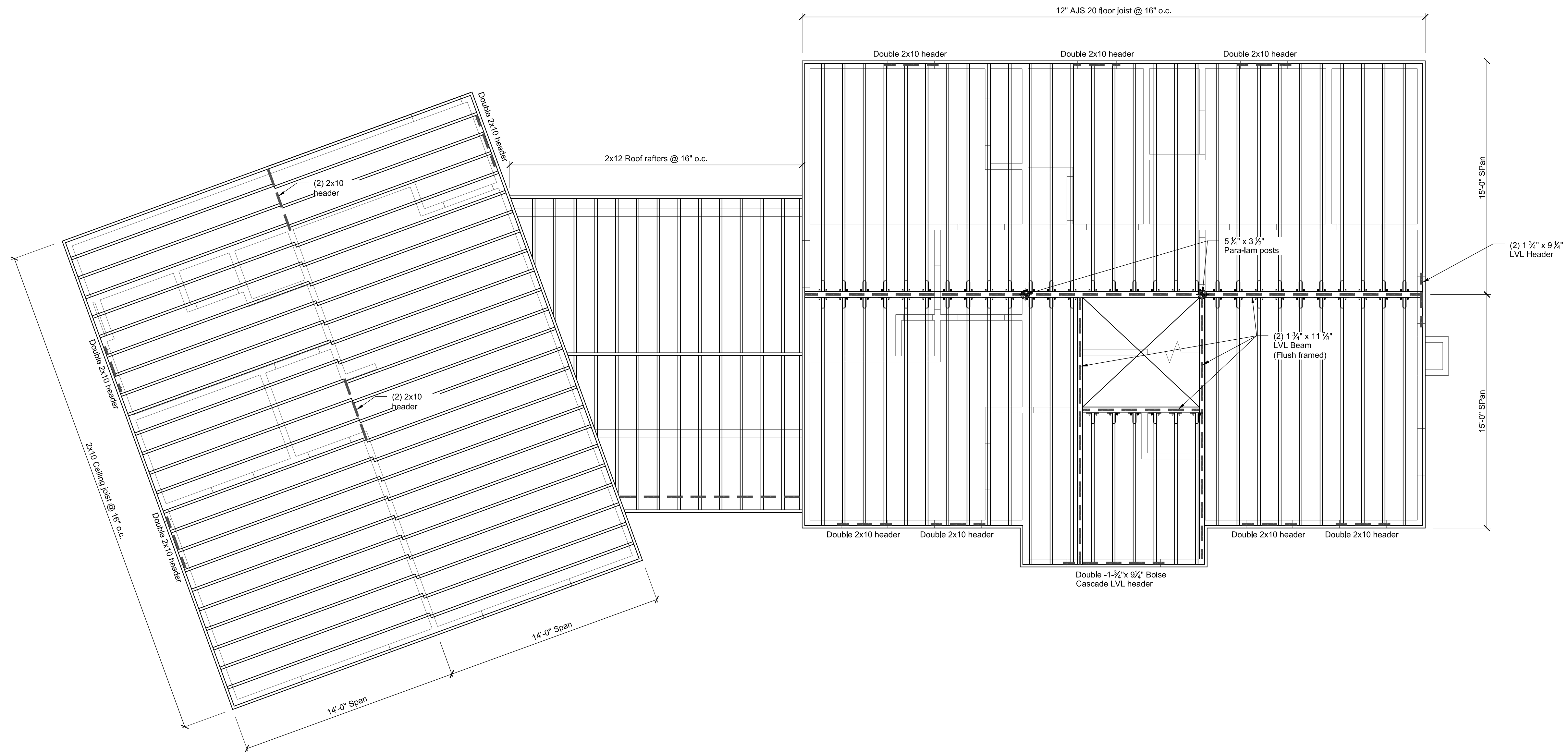


Second Floor Framing Plan  
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

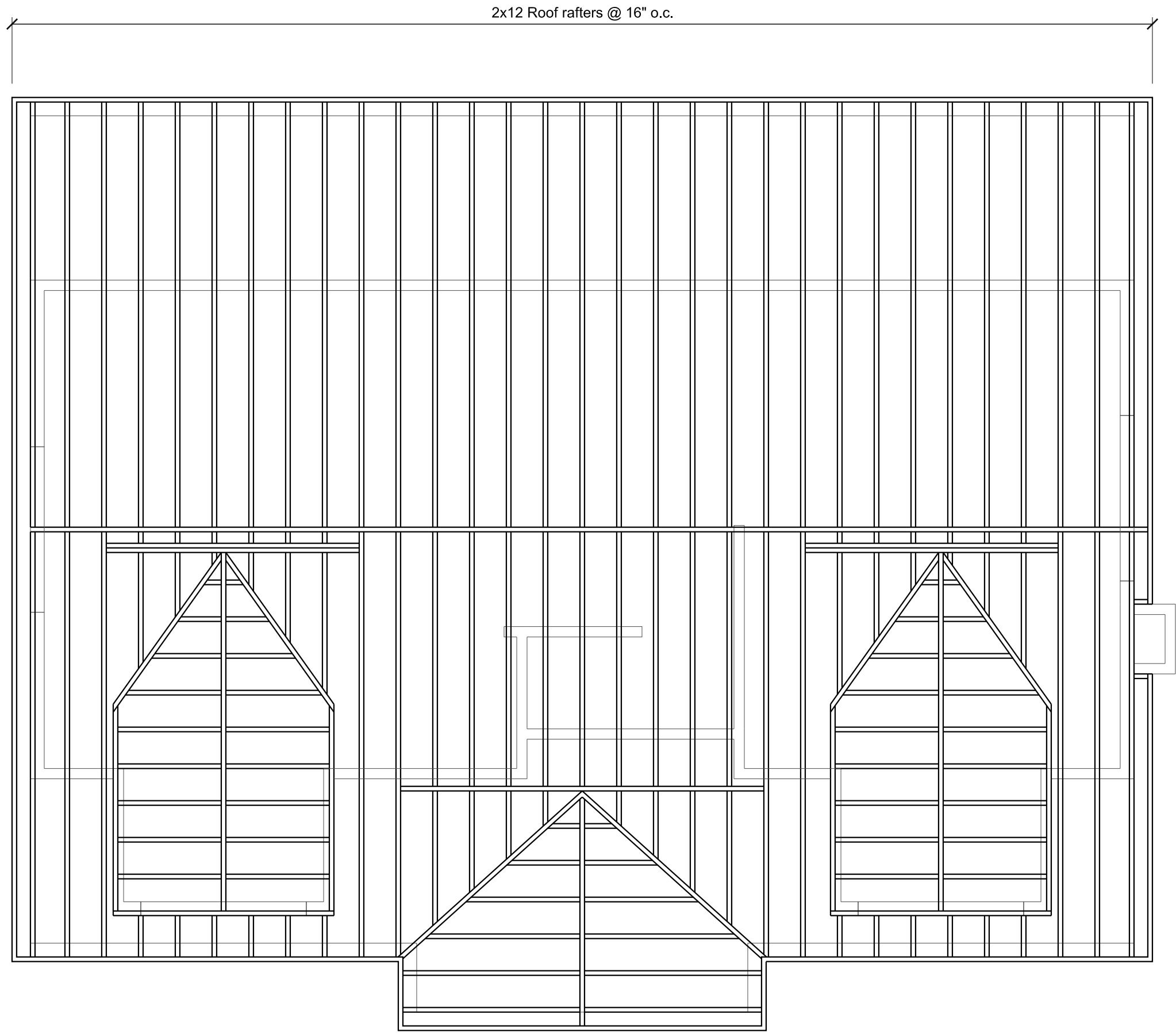
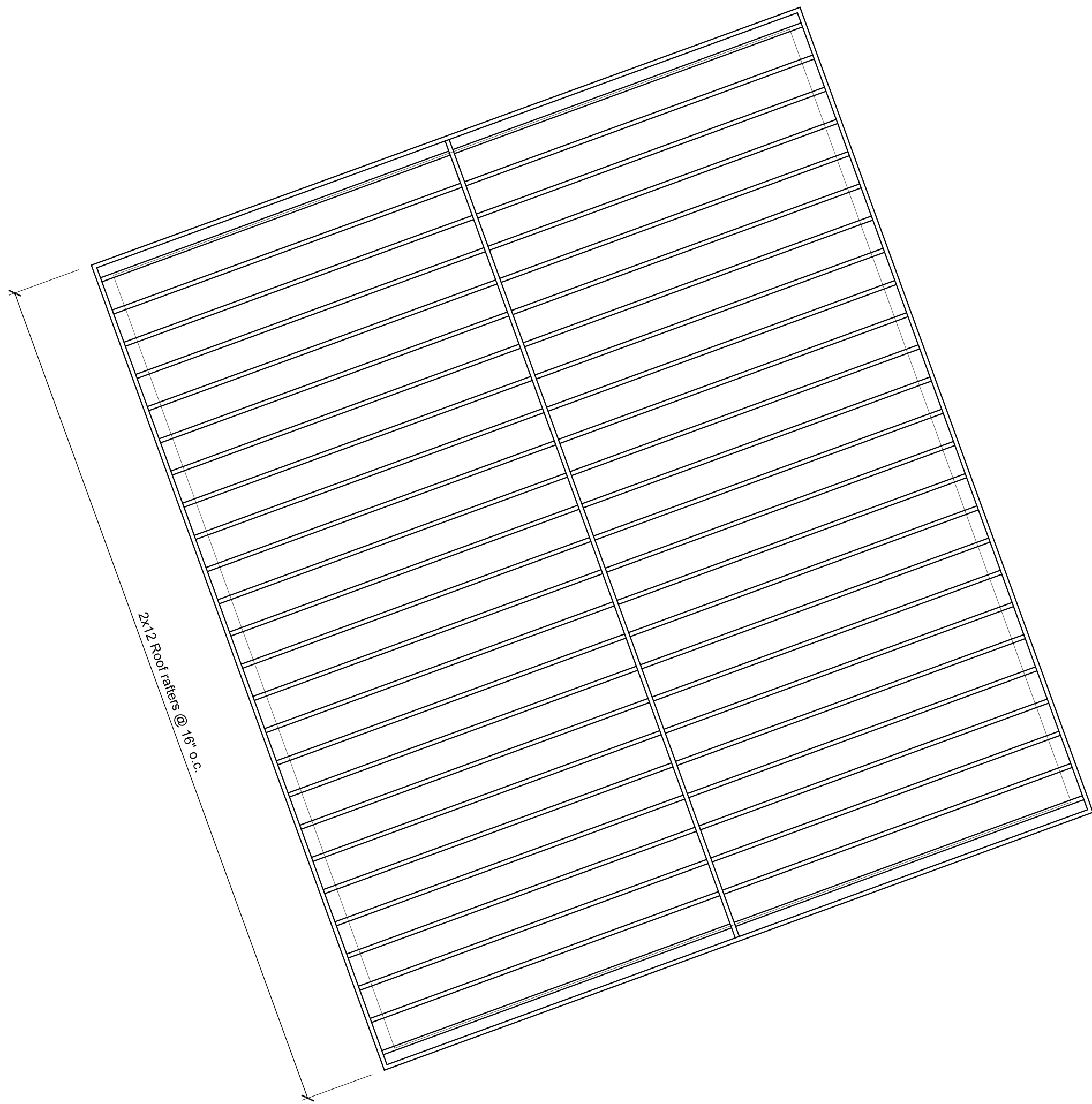
Project Name and Address  
28 Milford Street  
Medway, MA

Project Boczanowski	Sheet A4.1
Date 03.11.2021	
Scale As noted	



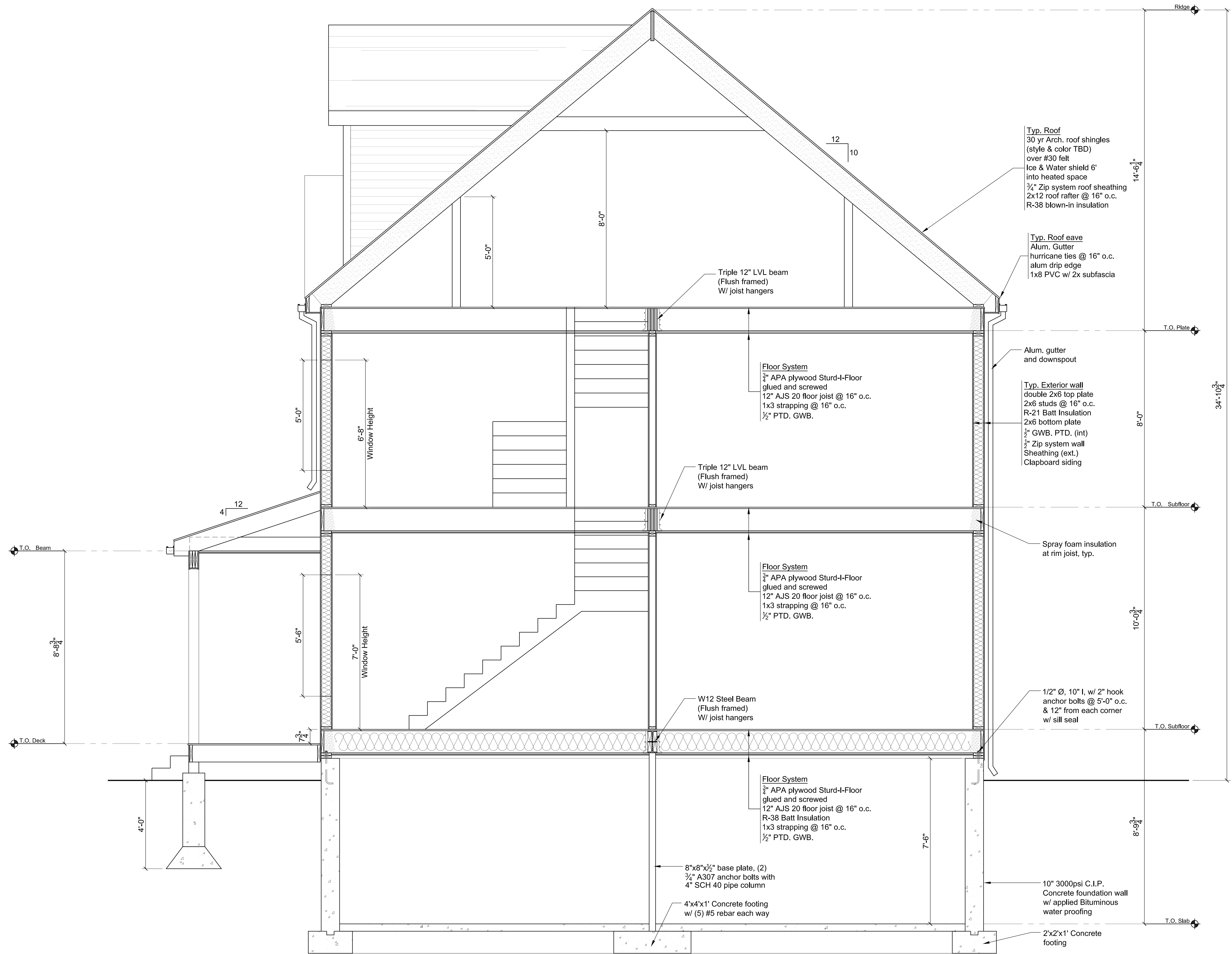
Attic Floor Framing Plan  
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date
Project Name and Address		
28 Milford Street Medway, MA		
Project		
Boczanowski		Sheet
Date		03.11.2021
Scale		As noted
		A4.2



**Roof Framing Plan**  
Scale: 1/4"=1'-0"

1	Issue - Pricing	3/11
No.	Revision/Issue	Date
Project Name and Address		
28 Milford Street Medway, MA		
Project	Sheet	
Boczanowski	A4.3	
Date		
03.11.2021		
Scale	As noted	



**1 Building Section**  
Scale: 1/2"=1'-0"

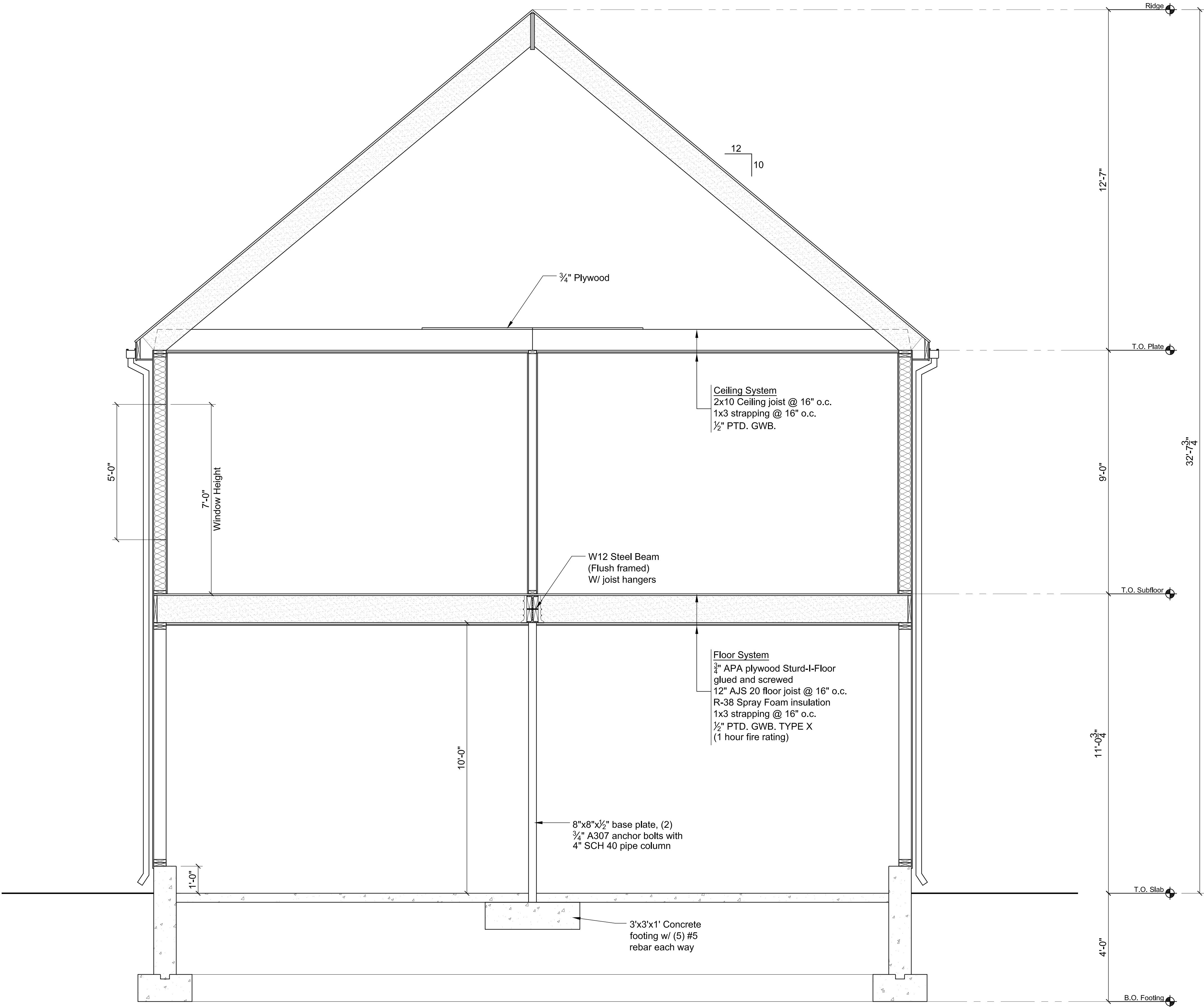
**mda design**

40 Parkton Rd, #3  
Boston, MA 02130  
mdadesign@gmail.com

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address  
**28 Milford Street  
Medway, MA**

Project <b>Boczanowski</b>	Sheet <b>A5.0</b>
Date <b>03.11.2021</b>	
Scale <b>As noted</b>	



2 Building Section @ Garage

Scale: 1/2"=1'-0"

mda design

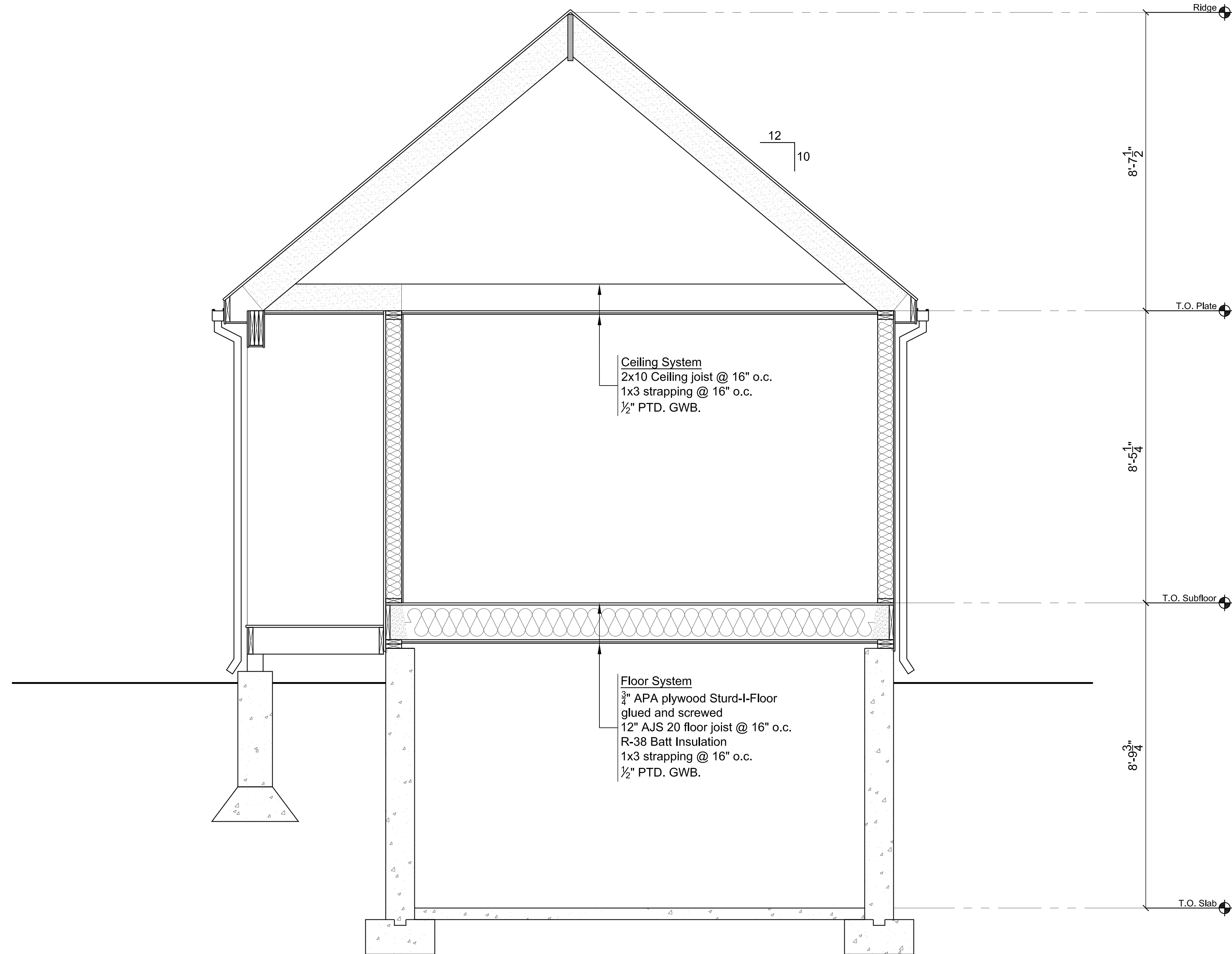
40 Parkton Rd, #3  
Boston, MA 02130  
mdadesign@gmail.com

1	Issue - Pricing	3/11
No.	Revision/Issue	Date

Project Name and Address

28 Milford Street  
Medway, MA

Project	Boczanowski	Sheet
Date	03.11.2021	A5.1
Scale	As noted	

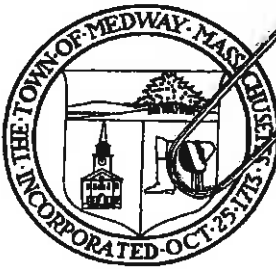


1	Issue - Pricing	3/11
No.	Revision/Issue	Date

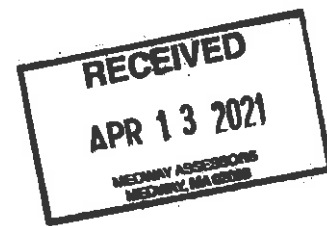
Project Name and Address  
28 Milford Street  
Medway, MA

Project Boczanowski	Sheet A5.2
Date 03.11.2021	
Scale As noted	





TOWN OF MEDWAY  
BOARD OF ASSESSORS  
155 VILLAGE STREET  
MEDWAY, MA 02053  
PHONE: 508-533-3203 FAX: 508-321-4981  
www.townofmedway.org



## REQUEST FOR ABUTTERS

Date of Request: 4-12-21  
Property owner: Karl Boczarowski  
Property location: 28 Milford St.  
Parcel (property) ID(S): 47-116

Please specify: 100', 300' or 500' from subject parcel: 300'

### THIS LIST IS REQUESTED FOR:

- ☐ Planning & Economic Development Board  
☒ Zoning Board of Appeals  
☐ Conservation Commission  
☐ Historical Commission

### REQUESTER INFORMATION:

Name: Karl Boczarowski Email address: kboczarowski@gmail.com  
Address: 28 Milford St.  
Medway MA, 02053  
Phone: (508) 523-2786

**Please Return to MEDWAY ZBA  
Community and Economic Development Department**

THERE IS A FEE OF \$15.00 PER PARCEL DUE AT THE TIME OF REQUEST. THE LIST IS VALID FOR 90 DATE OF CERTIFICATION DATE. THE BOARD OF ASSESSORS RESERVES 10 WORKING DAYS TO PROVIDE ALL CERTIFIED LISTS OF ABUTTERS. \*\*\*IF YOU WISH TO HAVE THE LISTS MAILED BACK TO YOU, YOU MUST PROVIDE A SELF ADDRESSED STAMPED ENVELOPE LARGE ENOUGH FOR THREE SETS OF LABELS.\*\*\*



17 HIGHLAND ST 47-100  
LUC: 101

BOCZANOWSKI VINCENT A  
17 HIGHLAND ST.  
MEDWAY. MA 02053

28 MILFORD ST 47-116  
LUC: 101

BOCZANOWSKI KARL  
28 MILFORD ST.  
MEDWAY. MA 02053

7 R FREEDOM TRAIL 47-131  
LUC: 132

BOCZANOWSKI KARL  
28 MILFORD ST  
MEDWAY. MA 02053

21 MILFORD ST 57-018  
LUC: 101

CADOGAN EILEEN T  
21 MILFROD ST  
MEDWAY. MA 02053

2 FALES ST 57-019  
LUC: 101

DESAI SANJAY K  
DESAI ARPITA S  
2 FALES ST.  
MEDWAY. MA 02053

25 MILFORD ST 57-010  
LUC: 101

HALLMAN ERIC  
25 MILFORD ST  
MEDWAY. MA 02053

31 MILFORD ST 57-001  
LUC: 101

LINNELL STEVEN D  
31 MILFORD ST  
MEDWAY. MA 02053

35 MILFORD ST 58-032  
LUC: 101

MAHAN ANDREW J  
GARRY COLLEEN E  
35 MILFORD ST.  
MEDWAY. MA 02053

30 MILFORD ST 47-117  
LUC: 101

MEDVECZKY JODY S  
30 MILFORD ST  
MEDWAY. MA 02053

6 R FREEDOM TRAIL 47-123  
LUC: 932

MEDWAY TOWN OF  
CONSERVATION  
155 VILLAGE STREET  
MEDWAY. MA 02053

24 MILFORD ST 57-008  
LUC: 101

MOSHER LORI ANN  
24 MILFORD ST.  
MEDWAY. MA 02053

22 MILFORD ST 47-114  
LUC: 101

PARCHESKY DENISE M  
22 MILFORD STREET  
MEDWAY. MA 02053

34 MILFORD ST 47-119  
LUC: 101

PATEL JIGAR R & RUTVA  
PATEL HARDIK & PARITA  
34 MILFORD ST  
MEDWAY. MA 02053

11 FREEDOM TRAIL 47-124  
LUC: 101

PATEL UMA  
11 FREEDOM TRAIL  
MEDWAY. MA 02053

26 MILFORD ST 47-115  
LUC: 101

ROBINSON MARK E  
ROBINSON LISA M  
26 MILFORD ST.  
MEDWAY. MA 02053

9 FREEDOM TRAIL 47-125  
LUC: 101

TOMARAKOS JOHN F  
TOMARAKOS DEBORAH T  
9 FREEDOM TRAIL  
MEDWAY. MA 02053

32 MILFORD ST 47-118  
LUC: 101

WASHEK JAMES  
WASHEK LISA  
32 MILFORD ST  
MEDWAY. MA 02053

25 A MILFORD ST 57-009  
LUC: 132

WD JAGUAR LLC  
132 LINCOLN ST SUITE 6L  
BOSTON. MA 02111



THIS IS A CERTIFIED ABUTTERS LIST FROM THE TOWN OF MEDWAY.  
WE CERTIFY THAT AT TIME OF LAST ASSESSMENT, THE NAMES AND  
ADDRESSES OF ALL PROPERTY OWNERS, ARE ACCURATE.

*Sharon J. Jones* 4/13/08  
Office of the Board of Assessors Date



**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Harmony Village Field Change**

- Field change to address additional tree removal
- Field change for additional fire hydrant required by Medway DPW



April 9, 2021

Susan Affleck-Childs - Coordinator  
Medway Planning & Economic Development Board (PEDB)  
155 Village Street  
Medway, Massachusetts 02053

Re: **Harmony Village - 218-220 Main St, Medway, Massachusetts**  
Multifamily Development – Proposed tree removal  
MAI Project No. 8521

Dear Susy:

On behalf of the Applicant, Harmony Village LLC, Meridian Associates, Inc. (MAI) would like to request a revision/field change to the proposed Landscaping Plan (C-5) of the Endorsed plans.

As we have begun to prepare for construction of the project, it came to our attention that a few trees labeled to be protected on the plans had been blown over by recent windstorms. This was brought up during our pre-construction meeting (Zoom) on March 29, 2021 with Steve Bouley and other Medway staff. It was recommended that we meet with the tree warden, Steve Carew, on site to observe these trees as well as others that may be of similar concern (to fall during a windstorm and/or dead).

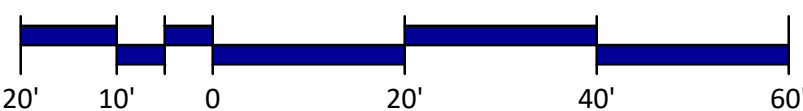
Please see two plans enclosed with this letter. The Layout and Materials plan (C-3) shows trees to be removed which include 2 trees blow down, one dead tree to be removed, and the cluster of trees in the north west corner (4 tall pines and 2 deciduous) to be removed due to safety concerns (9 trees total). After our site meeting with Mr. Carew, it was agreed the site (and abutters) would be better served by replacing the tall pine cluster with trees and shrubs that would improve screening for the neighboring houses behind the site, as well as remove a safety hazard of falling trees in the future. Mr. Carew recommended a 2 to 1 new planting to removal replacement ratio. Although three of these trees need removal anyway (2 blown down, 1 dead), we have proposed 23 replacement plantings, providing over a 2.5 to 1 replacement ratio based on nine total trees. Refer to the Landscape plan (C-5) for new planting types and locations.

Let us know if you have any questions or need additional information for this request.

Sincerely,  
**MERIDIAN ASSOCIATES, INC.**

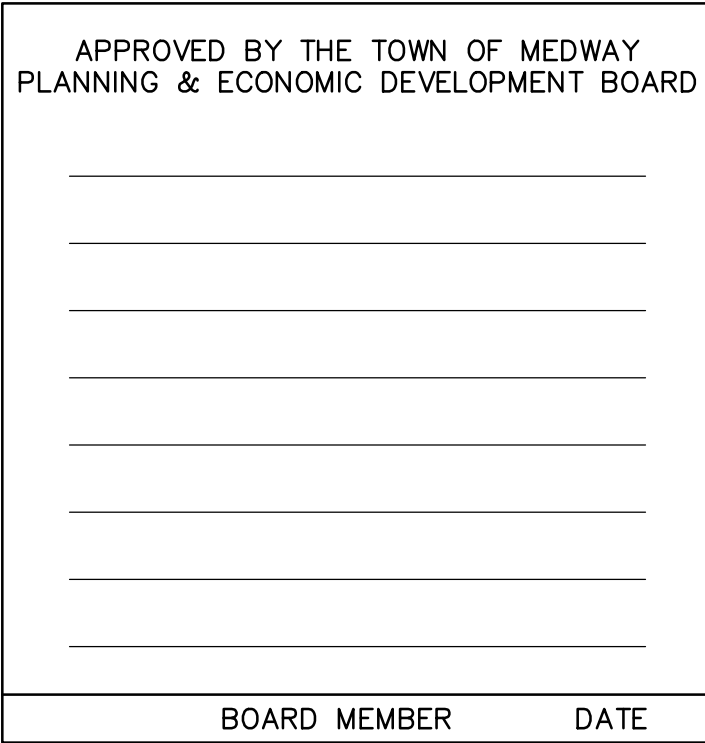
Drew Garvin, EIT  
Senior Project Engineer  
Copy: Gary Feldman  
8521LT03 Tree Removal





C-3





69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7030  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447  
[www.MeridianAssoc.com](http://www.MeridianAssoc.com)

Sheet No.  
C-5



Term Operation and Maintenance Plan are recorded at the Norfolk County Registry of Deeds and proof of such recording is provided to the Board.

3. The following documents which shall be in compliance with the conditions of this decision shall be recorded at the Norfolk County Registry of Deeds prior to the issuance of the first occupancy permit for the development. The Permittee shall provide proof of recording.
  - a) Harmony Village condominium master deed
  - b) Declaration of Trust of Harmony Village condominium association
4. Within thirty days of recording, the Permittee or its assigns or successors shall provide the Board with a receipt from the Norfolk County Registry of Deeds indicating that the specified documents have been duly recorded, or supply another alternative verification that such recording has occurred.

G. **Tree Preservation** - The landscape inventory as shown on Sheet C-2 Existing Conditions of the Plan identified:

- twenty existing hardwood and evergreen trees with a diameter of 15” or greater at four feet above grade.
  - forty-two existing trees with a diameter of 8” – 14”.
1. Three 30” diameter trees are approved for removal during construction.
  2. Sheet C-9 Landscape Plan is to be revised to clearly designate the fifty-nine existing trees to be retained on the subject property and the three existing trees to be removed during construction, subject to approval by the Board before plan endorsement.
  3. The noted trees shall be clearly identified in the field and verified by the Town’s consulting engineer before site preparation and construction commences.
  4. During site preparation and construction of infrastructure and buildings, the Permittee and its contractors shall not remove any of the noted trees to be retained.
  5. If any of the identified trees for retention are removed or damaged during construction, the Permittee shall be responsible for tree restoration by replacing the removed or damaged trees with nursery grade trees on a one square inch per two square inch replacement basis within one year after the tree removal or damage has occurred. The one square inch per two square inch replacement amount is calculated by squaring 1/2 the established diameter of each tree that is removed or damaged and multiplying that amount by 3.14 to determine its trunk area (tree radius squared x pi rounded to 3.14). The resulting figure is halved, and that square inch total is the amount of required square inches of the replacement tree(s). A 3” caliper tree equals seven sq. inches. The location of the replacement trees shall be recommended by the Permittee and are subject to approval by the Board and Tree Warden as a field change, and may be located off site of the subject premises including on adjacent properties with approval of the property owner. The restoration shall be verified by the Tree Warden as being fully and skillfully performed. The species of replacement tree(s) shall be reviewed and approved by the Tree Warden, or otherwise will be consistent with the species of



the removed tree(s).

6. In lieu of tree planting, for any trees removed or damaged as described in subsection (5) preceding, the Permittee may contribute to the Medway Tree Fund in an amount to be determined by the Board upon consultation with the Medway Tree Warden and based on wholesale pricing for 3-inch caliper trees from a reputable area landscape supplier.
- H. ***Open Space/Yard Area*** - At least 15% of the site shall be retained and function as open space and/or yard area in perpetuity. This is an ongoing obligation of the Harmony Village condominium association. This area shall be unpaved but may be landscaped or left natural, with the balance being trees, shrubs and grass suitable for the site. This area may include a play area or other communal recreational space, subject to plan modification requirements. It does not include the exclusive use areas specifically designated for each individual condominium owner.
- I. ***Ownership/Maintenance of Common Areas***
1. Harmony Lane, the stormwater drainage facilities, and all other infrastructure shall be owned and maintained by the Harmony Village condominium association. It is the intent of the Board that these facilities will not be accepted by the Town of Medway.
  2. The Board requires that the following aspects of the development shall be and shall remain forever private, and that the Town of Medway shall not have, now or ever, any legal responsibility for operation or maintenance of same:
    - a) Harmony Lane and parking areas
    - b) Stormwater management facilities
    - c) Snowplowing and sanding
    - d) Landscaping
    - e) Street lights
    - f) Sewer and water
- J. ***Building Permits***
1. Foundation Permits - A foundation only permit to begin construction of the quadplex building (Units 3 – 6) may be issued prior to installation of the base coat of paving (binder course) on the development's roadway, Harmony Lane.
  2. For the Remaining Work – No building permit may be issued until the following items, at a minimum, are installed in compliance with this Decision, the endorsed Plan, and applicable by-laws and regulations and approved by the Board's consulting engineer.
    - a) Roadway area gravel sub-base (excluding unit driveways)
    - b) Roadway area binder course (excluding unit driveways)
    - c) Drainage system completed to the proposed outfall with frame and grates set to binder grade, as well as stormwater basins, swales, infiltrations systems or any other stormwater management facilities.
    - d) As-built plan of each stormwater basin and forebay and all critical elevations and details of the associated structures, pipes and headwalls.
    - e) Street name signs in a size and form as specified by the Medway Department of Public Works, and all regulatory signs as specified on the approved Plan.

Harmony Village - Field Change re: Trees Intended for Preservation					
	Tree Replacement Formula (as specified in the decision)				
	Tree radius squared x 3.14 divided by 2				
<b>Trees Blown Down - southwest corner</b>					
15" deciduous	$7.5 \times 7.5 \times 3.14 / 2 = 88$ sq. inches				
15" deciduous	$7.5 \times 7.5 \times 3.14 / 2 = 88$ sq. inches				
<b>Dead Tree (SNAG) - southwest corner</b>					
10" deciduous	$5 \times 5 \times 3.14 / 2 = 39$ sq. inches				
<b>Trees Recommended for Removal by Tree Warden - northwest corner</b>					
15" pine	$7.5 \times 7.5 \times 3.14 / 2 = 88$ sq. inches				
18" pine	$9 \times 9 \times 3.14 / 2 = 127$ sq. inches				
18" pine	$9 \times 9 \times 3.14 / 2 = 127$ sq. inches				
10" deciduous	$5 \times 5 \times 3.14 / 2 = 39$ sq. inches				
20" pine	$10 \times 10 \times 3.14 / 2 = 157$ sq. inches				
12" deciduous	$6 \times 6 \times 3.14 / 2 = 57$ sq. inches				
	<b>Total = 810 sq. inches of replacement trees / 7 = 116 (3") caliper trees</b>				
<b>Permitee's Proposed Replacement Landscaping</b>					
1 White Spruce (PG)	1 tree				
4 Eastern Red Cedar (JV)	4 trees				
3 Japanese Yew (TC)	3 trees				
5 Andromeda Shrubs (PJ)	=2.5 trees				
9 Ornamental Grasses (CA)	1 tree				
1 Serviceberry (AC)	1 tree				
	Total = 11.5 trees				
Shortfall = 105 trees					
Payment in lieu of planting 105 trees x \$200 = \$21,000					
sac notes - 4/23/21					

## Susan Affleck-Childs

---

**From:** superj90@verizon.net  
**Sent:** Thursday, April 22, 2021 5:01 PM  
**To:** Susan Affleck-Childs  
**Subject:** Fwd: New hydrant  
**Attachments:** Harmony Village\_Prop Hydrant Location\_20210420.pdf

Hi Susy, Here is the plan for the hydrant. In speaking with Barry from the water department during our meeting with Steve he said since we had a 6" water main they need a hydrant for a cleanout. I sent him this plan and he said he was ok with the location. Let me know if there is anything I need to do.

Thanks

Gary

-----Original Message-----

From: Drew Garvin <dgarvin@meridianassoc.com>  
To: gary FELDMAN <superj90@verizon.net>  
Sent: Tue, Apr 20, 2021 4:20 pm  
Subject: New hydrant

Hi Gary,

See attached plan showing proposed hydrant location in red.

Let me know if you need anything else.

Drew



**Drew Garvin**

*EIT/ Senior Project Engineer*  
69 Milk Street, Suite 208, Westborough, MA 01581  
Phone (508) 871-7090 x34 | Cell (978) 394-2976  
[www.meridianassoc.com](http://www.meridianassoc.com) | [dgarvin@meridianassoc.com](mailto:dgarvin@meridianassoc.com)



*Responsible Leadership for a Sustainable Future*

Please consider the environment before printing this e-mail





PROPERTY LINE	_____	
DRAIN LINE	_____	D
GAS LINE	_____	G
ELECTRIC LINE	_____	E
WATER LINE	_____	W
SEWER LINE	_____	S
LIMIT OF WORK	_____	
PROPOSED CONTOUR	_____	230
GABION WALL		
PROPOSED SPOT ELEVATION		239.6
CATCHBASIN		
DRAIN MANHOLE		DMH
SEWER MANHOLE		SMH
LIGHT POST		
INVERT ELEVATION		INV
RIM		RIM
TYPICAL		TYP.
VERIFY IN FIELD		VIF
EXISTING		EXIST.

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED. WITHIN THE CLEARING AND GRUBBING AREA, REMOVE ALL TREES, SHRUBS AND ROOTS UNLESS DESIGNATED OTHERWISE. CLEARING SHALL INCLUDE THE TRUNKS, CUTTING AND LIMBS OF ALL TREES, SHRUBS, STUMPS AND VEGETATIVE DEBRIS PRODUCED THROUGH THE CLEARING OPERATIONS.

STONE USED FOR MACHINE PLACED RIP-RAP SHALL BE REASONABLY WELL GRADED, HARD, DURABLE, ANGULAR IN SHAPE, RESISTANT TO WEATHERING AND FREE FROM ORGANIC MATERIAL. ROUNDED STONES OR Boulders ARE NOT ACCEPTABLE. THE MINIMUM WEIGHT OF THE STONE SHALL BE 155 POUNDS PER CUBIC FOOT. STONE SHALL BE PLACED IN CONFORMANCE WITH THE LINES, GRADES AND THICKNESSES SHOWN ON THE DRAWINGS.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.

ALL RIP RAP STONE SHALL BE HAND CHINKED AND SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS.

BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING.

MANHOLES SHALL BE 48-INCH DIAMETER WITH 26" OPENING (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES AND SANITARY SEWER STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS. SANITARY SEWER STRUCTURE COVERS SHALL HAVE THE WORD "SEWER" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

SINGLE CATCH BASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 WITH A GRANITE CURB GUTTER MOUTH OR AS REQUIRED BY TOWN OF MEDWAY DPW.

DOUBLE CATCH BASIN FRAMES SHALL BE LABARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 WITH A GRANITE CURB GUTTER MOUTH OR APPROVED EQUAL OR AS OTHERWISE REQUIRED BY MEDWAY DPW.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

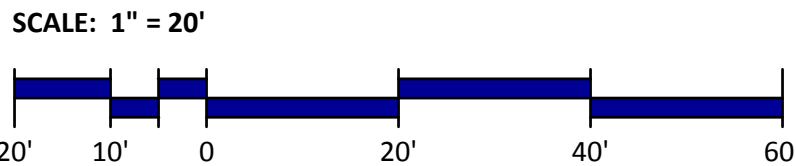
ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

FLARED END SECTIONS SHALL BE PIPE MANUFACTURER STANDARD CONSTRUCTED FROM THE SAME MATERIAL AS THE PIPE.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

ROOF DRAIN PIPING CAN BE ADJUSTED / ALTERED FROM LAYOUT SHOWN TO TIE INTO THEIR RESPECTIVE CHAMBER SYSTEMS AS NEEDED. SEE DETAIL SHEET FOR UNIT TO SYSTEM REFERENCE (EXAMPLE: DW-2 IS FOR QUAD ROOFS).

APPROVED BY THE TOWN OF MEDWAY  
PLANNING & ECONOMIC DEVELOPMENT BOARD



REVISIONS				
5	4/20/21	BLOWOFF HYDRANT		
4	2/22/21	DECISION CONDITIONS FOR ENDORSEMENT	DG	MEB
3	11/12/20	STORMWATER ADJUSTMENT	DG	MEB
2	11/10/20	QUADRIPLEX & PEDB REVIEW COMMENTS	DG	MEB
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB
NO.	DATE	DESCRIPTION	BY	CHKD.

**Grading, Drainage & Utilities Plan**  
**Multifamily Development**  
218-220 MAIN STREET  
MEDWAY, MA 02053  
Prepared For:  
Harmony Village LLC



MERIDIAN  
ASSOCIATES

69 MILK STREET, SUITE 208, WESTBOROUGH, MA 01581 | 508.871.7030  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.299.0447  
[www.MeridianAssoc.com](http://www.MeridianAssoc.com)

**Date:**  
**June 9, 2020**  
**(See Revisions)**

Scale:  
 $1'' = 20'$

Project No.  
**8521**  
Sheet No.  
**C-4**





**April 27, 2021**  
**Medway Planning & Economic Development Board**  
**Meeting**

**UPDATED**

**Choate Trail Subdivision Field Change**

- Collection of emails re: possible field change to use large boulders instead of landscaping to demarcate the boundary between Lot 4 of the Choate Trail subdivision property and the adjacent properties at 38 and 40 Highland Street. This is a change that was initiated by the abutters.
- **Drawing dated April 26, 2021 by Connorstone Engineering to illustrate the change. Apparently, the owner of 40 Highland wants to stay with the landscaping.**

## Susan Affleck-Childs

---

**From:** Robert Pace <rpace100@outlook.com>  
**Sent:** Thursday, March 25, 2021 10:48 PM  
**To:** Susan Affleck-Childs  
**Cc:** Johanna Madge; Amy Jordan; Amy Jordan; Bouley, Steven; Bridget Graziano; James Hryniewicz; Dave Spertner; Matthew Silverstein  
**Subject:** Re: Field Change for Choate Trail Subdivision

Good evening Susy,

The Residences at Choate Trail. LLC requests the that we are placed on the next planning board agenda to modify the boundry depiction for both abutters at 38 and 40 Highland Street. Both abutters requested that instead of landscaping, they would prefer boulders from on site be place along the lot lines. I am asking to be able to accommodate these requests by way of a field change. Thank you for your consideration.  
Bob Pace  
Manager

---

**From:** Susan Affleck-Childs <sachilds@townofmedway.org>  
**Sent:** Thursday, March 25, 2021 6:20 PM  
**To:** Robert Pace <rpace100@outlook.com>  
**Cc:** Johanna Madge <yoyomadgey@gmail.com>; Amy Jordan <aljordan1@yahoo.com>; Amy Jordan <aljordan800@gmail.com>; Bouley, Steven <steven.bouley@tetrattech.com>; Bridget Graziano <bgraziano@townofmedway.org>  
**Subject:** Field Change for Choate Trail Subdivision

Hi Bob,

I understand that you all seem to have come to an agreement to use large rock boulders from the site instead of landscaping to mark the boundary between your property and that of Johanna and Lynda's property at 38 Highland Street and Amy's property at 40 Highland Street

Bob, as the developer, you need to request that the Board consider this field change. Please send me a separate email describing what is proposed. The next Board meeting is Tuesday, April 13<sup>th</sup>.

Please let me know if you have any questions.

Thanks.

*Susy*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator  
Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

**From:** Johanna Madge [mailto:yoyomadgey@gmail.com]  
**Sent:** Friday, March 19, 2021 2:16 PM  
**To:** Robert Pace <rpace100@outlook.com>; Amy Jordan <aljordan1@yahoo.com>; Amy Jordan <aljordan800@gmail.com>  
**Cc:** Susan Affleck-Childs <sachilds@townofmedway.org>  
**Subject:** Re: Follow up

Hi Susan!

Just adding Bob and Amy Jordan into this email. I spoke to the construction manager, Jamie, this morning about lining the property line with the big boulders. He said they could do that and would pile up the boulders and show us them and show us where they go, after they did a gps, before they began. I told them i would contact the town (you). I know that the Jordans are also interested in this as well. Jamie said they would see how many boulders they have. I asked Jamie that we would like the really big boulders and he said yes. The conversation was great and hope that this can be worked out. Please let me know.

Thanks,  
Johanna & Lynda  
38 Highland Street  
Medway, MA 02053

On Fri, Mar 19, 2021, 1:59 PM Robert Pace <[rpace100@outlook.com](mailto:rpace100@outlook.com)> wrote:

Hi Johanna,

Please put your request in to the town and copy me in.

---

**From:** Johanna Madge <[yoyomadgey@gmail.com](mailto:yoyomadgey@gmail.com)>  
**Sent:** Thursday, March 18, 2021 8:32 AM  
**To:** [rpace100@outlook.com](mailto:rpace100@outlook.com) <[rpace100@outlook.com](mailto:rpace100@outlook.com)>; Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Subject:** Follow up

Hi Bob,

As we were cut off on our phone call last night due to your incoming zoom call please call me back so we talk. We are around the majority of today. 508-320-5519.

Hope you are enjoying Florida! ☀

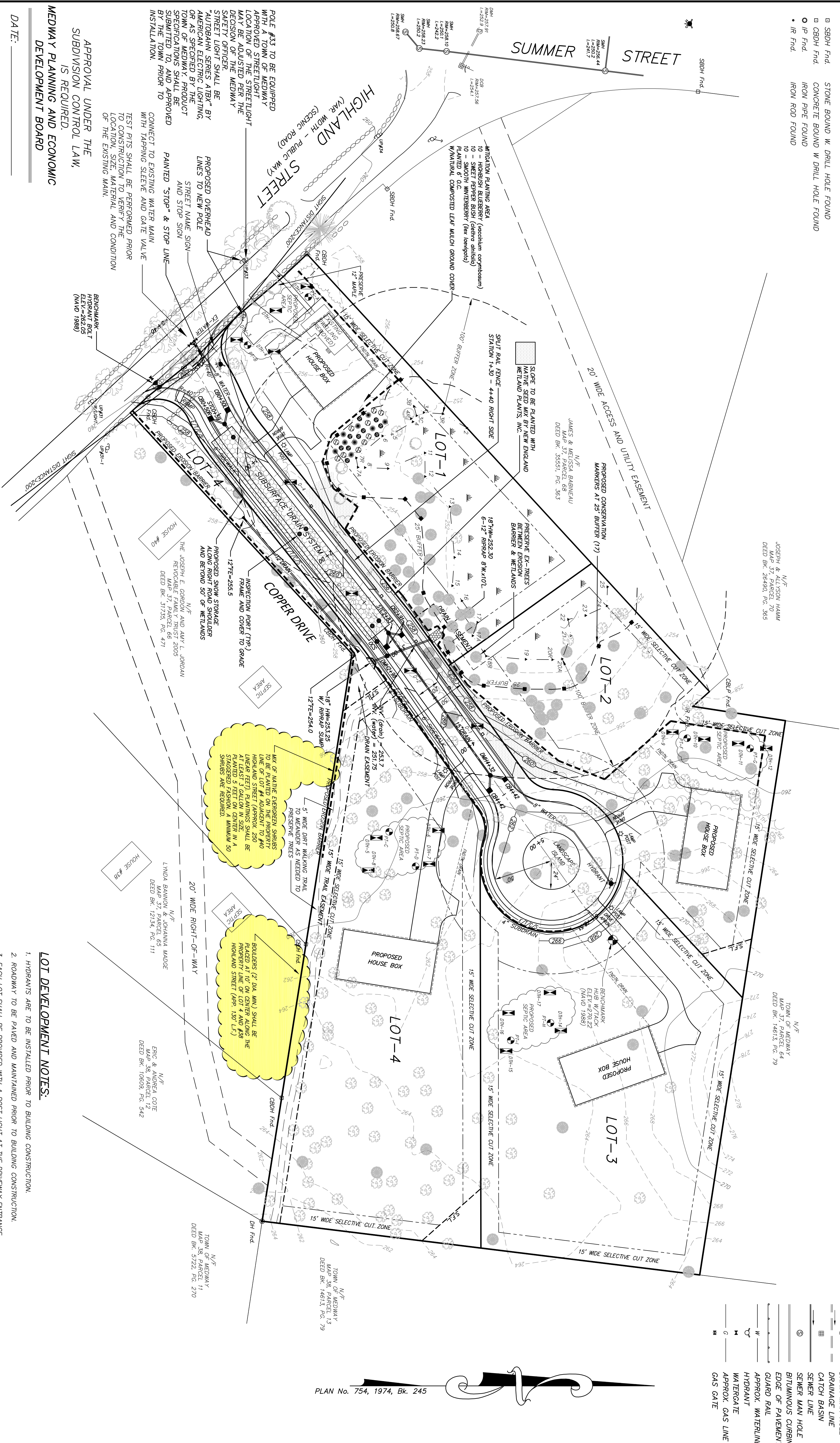
Johanna & Lynda  
38 Highland Street  
Medway, MA. 02053

Sent from my iPad



## MONUMENTS

- ▣ SDDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- ▣ CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND



APPROVAL UNDER THE  
SUBDIVISION CONTROL LAW,  
IS REQUIRED.

MEDWAY PLANNING AND ECONOMIC  
DEVELOPMENT BOARD

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

THIS PLAN IS SUBJECT TO A COVENANT  
TO BE RECORDED HEREWITH:

THIS PLAN IS SUBJECT TO A CERTIFICATE  
OF ACTION WHICH SHALL BE RECORDED  
WITH THE PLAN AT THE NORFOLK COUNTY  
REGISTRY OF DEEDS.

NOTE:  
PRESENT AND FUTURE OWNERS ARE SUBJECT TO A  
DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS  
AND PRIVATE ROADWAY AGREEMENT CONCERNING THE  
CHOATE TRAIL SUBDIVISION.

I, \_\_\_\_\_, CLERK OF THE TOWN OF MEDWAY  
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD  
OF THIS PLAN ON \_\_\_\_\_ AND NO APPEAL WAS TAKEN  
FOR TWENTY (20) DAYS THEREAFTER.

HIGHWAY 60  
ELEV = 562.05  
(NAD 1985)

SIGHT DISTANCE 200'





**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**UPDATED**

**St. Joseph's Church Site Plan**  
**Public Briefing Continuation**

- Public Briefing continuation notice dated 3-24-21
- **Letter dated 4-26-21 project engineer Peter Bemis requesting a continuation for 90 days.**

## Board Members

Andy Rodenhiser, Chair  
Robert Tucker, Vice Chair  
Thomas Gay, Clerk  
Matthew Hayes, P.E.,  
Member  
Richard Di Iulio, Member  
Jessica Chabot, Associate  
Member



Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Phone (508) 533-3291  
Fax (508) 321-4987  
Email: [planningboard@townofmedway.org](mailto:planningboard@townofmedway.org)  
[www.townofmedway.org](http://www.townofmedway.org)

# TOWN OF MEDWAY

## COMMONWEALTH OF MASSACHUSETTS

### PLANNING AND ECONOMIC DEVELOPMENT BOARD

## MEMORANDUM

March 24, 2021

RECEIVED TOWN CLERK  
MAR 24 '21 PM 3:55

TO: Stefany Ohannesian, Town Clerk  
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: *Public Briefing Continuation for St. Joseph's Church Site Plan – 151 Village Street*  
*Continuation Date – Tuesday, April 27, 2021 at 8:00 p.m.*

At its March 23, 2021 meeting, the Planning and Economic Development Board voted to continue the public hearing on the applications of St. Joseph's Parish – Roman Catholic Archbishop of Boston, MA for approval of a minor site plan and a land disturbance permit for proposed site improvements at the St. Joseph worship facility at 151 Village Street to Tuesday, April 27, 2021 at 8:00 p.m.

The applicant plans to reclaim and resurface the existing parking lot on the premises and install a new stormwater collection, treatment and infiltration system to recharge and infiltrate 100% of stormwater on site. The drainage system is designed to meet the MA Department of Environmental Protection (DEP) stormwater guidelines. The parking lot resurfacing will allow the proper placement of a handicap van and vehicle accessible parking space along with 40 standard parking spaces. The proposed site improvements are shown on a plan titled *Map 60, Parcel 90 Site Plan, St. Joseph's Parish-Catholic Church*, prepared by Engineering Design Consultants, Inc. of Southborough, MA, dated February 18, 2021.

The .93-acre site (Medway Assessor's Map 60, Parcel 90) is owned by the Roman Catholic Archbishop of Boston, MA. The property is located within the Village Commercial zoning district on the south side of Village Street.

The application, site plan, and supporting documentation are on file with the Medway Town Clerk and the Community and Economic Development Department at Medway Town Hall, 155 Village Street, Medway, MA. Project information has been posted to the Planning and Economic Development Board's page at the Town's web site at: <https://www.townofmedway.org/planning-economic-development-board/pages/st-josephs-church-151-village-st>

Please review the proposed site plan and provide your review comments to me by April 21<sup>st</sup>. Please don't hesitate to contact me if you have any questions. Thanks.

April 26, 2021

Planning Board  
Town Hall  
155 Village Street  
Medway MA 02053


Reference: Minor Site Plan Review  
St. Joseph's Parish  
151 Village Street, Medway, Massachusetts  
EDC Job No.: 3705

Dear Board Members:

On behalf of St. Joseph's Parish Roman Catholic Archbishop of Boston, owner and applicant of the above referenced project, we writing to respectfully request a 3 month delay with the review of this matter in order to allow the newly appointed church leadership and building committee the opportunity to properly budget for the unanticipated construction costs this process will require. We apologize in advance for the inconvenience that this turn of events may have caused the Board and it's support staff. Thank you for your consideration and assistance with this project.

Very truly yours,

ENGINEERING DESIGN CONSULTANTS, INC.



Peter Bemis

cc. Fr. Linus Mendis, St. Joseph's Parish  
Stephen Archambault, Archambault Construction



**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Tetra Tech Construction Reports**

- Harmony Village Field Report dated 4-07-2021
- Salmon Health Field Reports dated 4-20-2021  
and 4-23-2021

Tetra Tech  
100 Nickerson Road, Suite 200  
Marlborough, MA 01752

# FIELD REPORT

Project Harmony Village	Date 04/07/2021	Report No. 1
Location 218-220 Main Street, Medway, MA	Project No. 143-21583-20018	Sheet 1 of 2
Contractor Gary Feldman, Marcelo Alves (Applicant/Developer)	Weather A.M. CLEAR P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Wednesday, April 7, 2021, Bradley Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The following report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. TT on-site to inspect erosion controls prior to the commencement of site work. Stabilized construction entrance has been installed at the existing driveway on the west side of existing dwelling No. 220. Compost filter socks have been installed along the perimeter of the site as indicated on the endorsed Plans and are in good condition.
- B. Trees on the northwest portion of the site have been flagged to remain. During the site walk, Drew Garvin (Design Engineer) of Meridian Associates identified multiple flagged trees that have fallen or are leaning due to recent wind storms. Coordination with Steve Carew (Medway Tree Warden) has begun and a narrative of proposed action will be submitted to PEDB for review.

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
Sup't		Bulldozer		Asphalt Paver	
Foreman		Backhoe		Asphalt Reclaimer	
Laborers		Loader		Vib. Roller	
Drivers		Rubber Tire Backhoe/Loader		Static Roller	
Oper. Engr.		Skid Steer		Vib. Walk Comp.	
Carpenters		Hoeram		Compressor	
Masons		Excavator		Jack Hammer	
Iron Workers		Grader		Power Saw	
Electricians		Crane		Conc. Vib.	
Flagpersons		Scraper		Tack Truck	
Surveyors		Conc. Mixer		Man Lift	
Roofers		Conc. Truck		Skidder	
Mechanical/HVAC		Conc. Pump Truck		Compact Track Loader	
		Pickup Truck			
		Tri-Axle Dump Truck			
		Trailer Dump Truck			
Police Details: N/A				OFFICIAL VISITORS TO JOB	
Contractor's Hours of Work: 7:00 A.M. to 6:00 P.M.				Drew Garvin	Meridian Associates
RESIDENT REPRESENTATIVE FORCE					
				Name	Time on-site
				Bradley Picard, E.I.T.	10:00 A.M. – 10:30 A.M.

NOTE: Please use reverse side for remarks and sketches



Project Harmony Village	Date 04/07/2021	Report No. 1
Location 218-220 Main Street, Medway, MA	Project No. 143-21583-20018	Sheet 2 of 2

## ***FIELD OBSERVATIONS CONTINUED***

### **2. SCHEDULE**

A. TT will maintain communication with the Developer and will inspect the site on an as-needed basis.

### **3. NEW ACTION ITEMS**

A. Submit narrative of proposed action regarding fallen and leaning trees present on-site.

### **4. PREVIOUS OPEN ACTION ITEMS**

A. N/A

### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

A. N/A

# FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 04/20/2021	Report No. 63
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 60°F P.M.

## FIELD OBSERVATIONS

On Tuesday, April 20, 2021, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location with Bridget Graziano (Medway Conservation Commission) to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Catch basins within Waterside Run and Willow Pond Circle have silt sacks installed. Damage to the edges of silt sacks remain visible throughout the site, Contractor to replace damaged silt sacks as needed. Slopes on the southwest side of Willow Pond Circle adjacent to the main campus building, as well as slopes adjacent to the canoe put-in, remain partially or mostly without vegetation. Contractor informed TT that hydroseeding is scheduled for all disturbed regions on-site that require stabilization.
- B. TT and Medway Conservation inspected Infiltration Basin #3 adjacent to Waterside Run following the bottom being scarified by the Site Contractor. According to the General Contractor, activities were completed Thursday (4/15/21) prior to the rain event occurring on Friday (4/16/21: 1.21" rain event, obtained from Weather Underground, "Medway Village St. West - KMAMEDWA10" Station). Bottom of Infiltration Basin #3 has been excavated entirely of previously installed loam, and stone has been supplemented in its place to return bottom of the basin to its proposed elevation. Infiltration basin is dry and appears to be recharging stormwater within the required 72-hour drawdown period. TT will continue to monitor the performance of the project's infiltration basins.
- C. Site Contractor compacting gravel subbase for sidewalks on the south side of Willow Pond Circle adjacent to the main

CONTRACTOR'S FORCE AND EQUIPMENT					WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	Dept. or Company	Description of Work
Foreman		Backhoe		Asphalt Reclaimer		
Laborers	10+	Loader	1	Vib. Roller		
Drivers		Rubber Tire Backhoe/Loader		Static Roller		
Oper. Engr.		Skid Steer		Vib. Walk Comp.		
Carpenters		Hoeram		Compressor		
Masons		Excavator	1	Jack Hammer		
Iron Workers		Grader		Power Saw		
Electricians		Crane		Conc. Vib.		
Flagpersons		Scraper		Tack Truck		
Surveyors		Conc. Mixer		Man Lift		
		Conc. Truck		Skidder		
		Conc. Pump Truck		Compact Track Loader	Bridget Graziano	Conservation Agent
		Pickup Truck	5+	Water Truck		
		Tri-Axle Dump Truck		Crane Truck		
		Trailer Dump Truck		Lull		
		Art. Dump Truck		BOMAG Remote Comp.	1	
Police Details: N/A					RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.					Name	Time on-site
					Bradley M. Picard, EIT	10:00 A.M. – 11:00 A.M.

Project Salmon Health and Retirement Community	Date 04/20/2021	Report No. 63
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

campus building. Contractor to install asphalt for sidewalk Friday (4/23).

- D. Site Contractor preparing regions along the west side of the main campus building for the installation of exterior amenities.

### **2. SCHEDULE**

- A. Contractor to place asphalt for sidewalks along Willow Pond Circle Friday (4/23), as well as finish fine grading at Willow Pond Circle from Village Street to the wetland crossing. Binder course installation scheduled for Monday (4/26).
- B. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

### **3. NEW ACTION ITEMS**

- A. N/A

### **4. PREVIOUS OPEN ACTION ITEMS**

- A. Contractor to scarify the bottom of Infiltration Basin #3 to promote stormwater recharge within the required 72-hour drawdown period. **TT Update 4/20/21: Contractor scarified the bottom of Infiltration Basin #3 prior to rain event on Friday (4/16/2021). Upon inspection, Infiltration Basin #3 is dry and appears to be recharging stormwater within the required 72-hr drawdown period. TT will continue to monitor the performance of infiltration basins on-site.**
- B. Contractor to compact the 1.5" stone and to place 3/8" stone along the driveway to the canoe put-in.
- C. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.
- D. Contractor to repair and replace erosion controls and silt sacks as needed throughout the site. Contractor to also reseed or protect all slopes that are not permanently stabilized.

### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

- A. N/A.

# FIELD REPORT

Project Salmon Health and Retirement Community (The Willows)	Date 04/23/2021	Report No. 64
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 1 of 2
Contractor Rubicon Builders (General Contractor) Marois Brothers, Inc. (Site Contractor)	Weather A.M. SUNNY P.M.	Temperature A.M. 40°F P.M.

## FIELD OBSERVATIONS

On Friday, April 23, 2021, Bradley M. Picard, E.I.T. from Tetra Tech (TT) visited the project location to inspect the current condition of the site and monitor construction progress. The report outlines observations made during the site visit.

### 1. OBSERVATIONS

- A. Site Conditions/Erosion Controls: The western portion of the site along Willow Pond Circle is firm and dry. Stockpiled construction materials present throughout the main open portion of the site. Straw wattles are placed at the base of the large loam pile at the entrance to Willow Pond Circle from Village Street. Silt fence barrier (SFB) throughout the site appears to be recently maintained and is in good condition. Catch basins within Waterside Run and Willow Pond Circle have silt sacks installed. Damage to the edges of silt sacks remain visible throughout the site, Contractor to replace damaged silt sacks as needed.
- B. TT on-site to inspect the installation of top course asphalt for sidewalks at the southern portion of the site on Willow Pond Circle. Aggregate Industries on-site upon arrival preparing equipment for paving operations. Contractor begins paving operations adjacent to the garage entrance on the west side of the main campus building, working counter-clockwise around the building. Grade stakes are placed on the inside of the sidewalk's proposed layout with markings for proposed elevations of compacted subbase material and proposed finish grade. Contractor is placing 2.5" (loose) of bituminous concrete asphalt to achieve a final compacted depth of 2" and flush to the concrete curb. Top course mix is procured from Aggregate Industries in Wrentham, MA.

CONTRACTOR'S FORCE AND EQUIPMENT						WORK DONE BY OTHERS	
Sup't	1	Bulldozer		Asphalt Paver	1	Dept. or Company	Description of Work
Foreman	1	Backhoe		Asphalt Reclaimer		Aggregate Industries	Sidewalk Paving
Laborers	10+	Loader	1	Vib. Roller	1		
Drivers	1	Rubber Tire Backhoe/Loader		Static Roller			
Oper. Engr.	1	Skid Steer	1	Vib. Walk Comp.	1		
Carpenters		Hoeram		Compressor			
Masons		Excavator	1	Jack Hammer			
Iron Workers		Grader		Power Saw			
Electricians		Crane		Conc. Vib.			
Flagpersons		Scraper		Tack Truck			
Surveyors		Conc. Mixer		Man Lift			
		Conc. Truck		Skidder		OFFICIAL VISITORS TO JOB	
		Conc. Pump Truck		Compact Track Loader			
		Pickup Truck	5+	Water Truck			
		Tri-Axle Dump Truck	1	Crane Truck			
		Trailer Dump Truck		Lull			
		Art. Dump Truck		BOMAG Remote Comp.	1		
Police Details: N/A						RESIDENT REPRESENTATIVE FORCE	
Contractor's Hours of Work: 7:00 A.M. to 3:30 P.M.						Name	Time on-site
						Bradley M. Picard, EIT	7:30 A.M. – 9:30 A.M.

Project Salmon Health and Retirement Community	Date 04/23/2021	Report No. 64
Location Village Street, Medway, MA	Project No. 143-21583-15011	Sheet 2 of 2

## **FIELD OBSERVATIONS CONTINUED**

### **2. SCHEDULE**

- A. Fine grading at Willow Pond Circle from Village Street to the wetland crossing to be completed by Monday (4/26). Binder course installation scheduled for Tuesday (4/27).
- B. Contractor to perform CCTV inspections of drainage infrastructure within Waterside Run.
- C. TT will maintain communication with contractor and will inspect the site as construction progresses.

### **3. NEW ACTION ITEMS**

- A. N/A

### **4. PREVIOUS OPEN ACTION ITEMS**

- A. Contractor to compact the 1.5" stone and to place 3/8" stone along the driveway to the canoe put-in.
- B. Contractor to coordinate with Conservation Commission on drainage modification at the mechanical area south of Infiltration Trench 20.
- C. Contractor to repair and replace erosion controls and silt sacks as needed throughout the site. Contractor to also reseed or protect all slopes that are not permanently stabilized.

### **5. MATERIALS DELIVERED TO SITE SINCE LAST INSPECTION**

- A. Top course asphalt for sidewalks.





**April 27, 2021**

**Medway Planning & Economic Development Board  
Meeting**

**Master Plan Update**

- Draft minutes of the 4-12-21 first meeting of the Master Plan Committee
- Flyer for 5-24-21 Master Plan Community Forum



**TOWN OF MEDWAY**  
COMMONWEALTH OF MASSACHUSETTS  
**MASTER PLAN COMMITTEE**

Medway Town Hall  
155 Village Street - Medway, MA 02053  
Phone (508) 533-3291 Fax (508) 321-4987

**Monday, April 12, 2021 -- 7:00 p.m.**  
**Virtual Meeting**

Members Present: Becky Atwood, Carey Bergeron, Jessica Chabot, Susan Dietrich, John Foresto, Ellen Hillery, Siri Krishna Khalsa, Denise Legee, Cassandra McKenzie, Sarah Raposa, Linda Reynolds, Jack Wolfe.

Members Absent with Notice: Eric Arbeene, Faina Shapiro.

Prospective Members (not yet appointed): Alex Siekierski and Debi Rossi.

Staff Present: Susy Affleck-Childs, Planning and Economic Development Coordinator; Barbara Sainte Andre, Director of Community and Economic Development; Morgan Harris, Administrative Assistant, Community and Economic Development; Sandy Johnston, Director of Communications.

Others Present: Andy Rodenhiser, Chair, Planning and Economic Development Board; Jenn Goldson and Barry Fradkin, JM Goldson, LLC

\*\*\*\*\*

**Welcome - Andy Rodenhiser, Chair of the Planning and Economic Development Board**

At 7:00 PM Mr. Rodenhiser welcomed everyone to this initial meeting of the Master Plan Committee. He noted that this will be the third revision of the Master Plan. He explained how the Master Plan provides guidance to the residents and the municipal government, and this review is to reconnect with residents to determine if the current Master Plan is still viable or if changes are needed. He thanked everyone for agreeing to participate in this effort, representing various boards or entities, and bringing that expertise to this committee. Mr. Rodenhiser pointed out that the Planning and Economic Development Board looks upon the members as liaisons to the community and also as tools for communication for the dissemination of information. He added that the Town has hired Ms. Goldson and her associates to help facilitate this process.

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*Committee members and affiliated groups*

Jessica Chabot, Planning & Economic Development Board – Chair  
Cassandra McKenzie, Economic Development Committee – Vice Chair  
Eric Arbeene, At-Large Member | Becky Atwood, Cultural Council | Carey Bergeron, Energy & Sustainability Committee  
Susan Dietrich, School Committee | John Foresto, Select Board | Ellen Hillery, Finance Committee | Siri Krishna Khalsa, Council on Aging  
Denise Legee, Open Space Committee | Sarah Raposa, At-Large Member | Linda Reynolds, Lions Club | Faina Shapiro, Medway Business Council  
Jack Wolfe, Affordable Housing Trust & Committee

### **Introductions by members**

At this time, Ms. Barbara Saint Andre asked that all committee members introduce themselves and the group they are representing before moving forward with the election of a chair and vice chair. Members introduced themselves, noting how long they have lived in Medway and any previous or current service on municipal boards or committees.

### **Organization of Committee**

At this time, Mr. Rodenhiser asked for nominations for both chair and vice chair.

**Mr. Foresto stated that, based on her work on the Oak Grove development project, he nominated Jessica Chabot to serve as Chair; Ms. Chabot agreed to serve in that capacity. Ms. Raposa seconded the nomination. No discussion; there were no other nominations.**

**ROLL CALL VOTE: 12-0-0 (Atwood, aye; Bergeron, aye; Chabot, aye; Dietrich, aye; Foresto, aye; Hillery, aye; Khalsa, aye; Legee, aye; McKenzie, aye; Raposa, aye; Reynolds, aye; Wolfe, aye). Ms. Jessica Chabot will serve as Chair.**

Ms. Chabot now took on the role of Chair and asked for nominations for the position of vice chair.

**Mr. Foresto made a motion to nominate Cassandra McKenzie for vice chair; Ms. McKenzie agreed to serve if elected. Ms. Raposa seconded the nomination. There were no other nominations; no discussion.**

**ROLL CALL VOTE: 12-0-0 (Atwood, aye; Bergeron, aye; Chabot, aye; Dietrich, aye; Foresto, aye; Hillery, aye; Khalsa, aye; Legee, aye; McKenzie, aye; Raposa, aye; Reynolds, aye; Wolfe, aye). Ms. Cassandra McKenzie will serve as Vice Chair.**

At this time, Mr. Rodenhiser introduced Ms. Jennifer Goldson. Ms. Goldson briefly introduced herself, noting she is a Boston resident with two teenage children. She started her career in historic preservation and planning and has spent 25 years in community planning in both the municipal sector and as a free-lance planner. Looking forward to shepherding Medway through its Master Plan review, she outlined how the process might move forward. She asked committee members to think about the most important thing they like about Medway while her partner introduced himself. Mr. Barry Fradkin briefly reviewed his education and experience, adding that he has been working with Ms. Goldson for a couple of years.

Below are member responses to the following activity question: Name one positive thing that makes you proud to be part of this community:

- There is always someone willing to step forward when things need to get done.
- Athletic fields are impressive and are admired by out-of-town groups
- Proud of the Medway Senior Center, its activities and lunches and many ways the senior population is being served
- How connected the town is, that everyone knows everyone, and the walkable nature makes it feel like a small town
- Able to find desired faith and affordable housing while being near family
- The large number of town-wide events that encompass the whole community, parade, etc.
- Lots of different ages of residents
- There are a lot of places where kids can go and hang out as well as open spaces for sledding and other recreation
- Excellent schools, evidenced by an excellent superintendent and teachers, a good relationship between school leadership and unions, and good support from the residents, especially during the pandemic
- A very welcoming community with helpful neighbors

- Appreciate that the community voted to adopt the Community Preservation Act twenty years ago which has helped to protect areas in town as well as fund eligible projects in the parks and schools with additional support from the state match funds.
- The Community Farm which is operated by a non-profit organization provides a lot of benefits for the community in education as well as providing an opportunity to grow and harvest produce
- The fabric of giving and caring is evidenced by many groups in the community.
- The trail system as the pandemic has brought people out of their houses and to the trails where they could get out of the house and still be safe.
- The Department of Public Works whose dedicated staff work hard to make sure the roads are always clear of snow by the time people have to go to work in the morning/

### **Presentation**

Utilizing a PowerPoint presentation (**see attached**), Ms. Goldson presented information on the Master Plan project, focusing on the following categories.

- Project team – Identifying individuals and roles
- Master Plan fundamentals – A Master Plan looks at integration with other areas, identifying priorities and steps for following up on those. Statutory elements vs. Medway's plan were featured as well as examples of land use maps, plan components for other communities, identifying vision and goals
- Project schedule (overall and detailed for Phase I) – There will be a presentation to the Planning and Economic Development Board close to the end of each phase. It was noted that the project schedule had been revised from the one in the presentation
- Plan for the focus groups – Planned for May 10 – May 21, consisting of basic conversations with small groups of stakeholders
- Outreach Volunteers – Initial outreach is for May 24, 2021 Community Forum; additional outreach at Annual Town Meeting on May 10
- Project website – This is already live and can be accessed from the Town website and will feature interactive maps, surveys, etc.

At this time Ms. Goldson reminded committee members to schedule a one-on-one interview with her, either via Zoom or by phone. Relevant materials will be forwarded.

### **Interactive Activity**

"Project Launch Clarifier Worksheet" (**See attached.**) At the conclusion of the presentation, Ms. Goldson utilized her computer screen to display the responses to the earlier question. Now she asked for each committee member's top three hopes for this project. Below are some of the responses:

- All input is considered in an equitable process
- All stakeholders are represented
- Result is a plan for a village type environment in the downtown area
- Develop a plan for Medway Plaza
- Retain the rural, small town feel of the community
- Increased participation by volunteers and residents at Town Meeting to allow more people to be involved
- Opportunity to combine or cluster similar things
- Balance of land use vs. environmental concerns
- Complete items from 2009 update of Master Plan
- Ability to walk and travel safely within the community
- Adaptability of the Plan to embrace needs of the community
- Connectivity to open space areas
- How do we encourage hearing from a diverse population to bring voices to the table?

- Foster a lasting sense of collaboration in this living document
- How do we empower residents to feel ownership?
- Promote more sustainability initiatives such as water conservation
- Tap into younger population to become involved
- Ensure that Medway remain accessible with respect to diversity, age, etc.
- Maintain excellent fiscal management of municipal resources
- Increased racial diversity
- Be welcoming to others and plan for those needs
- Strengthen Medway amid current struggles
- Involve a cross-section of the community, ages and relationship status
- Increased diversity in serving on committees
- Encourage a more commercial node in some areas
- What have we learned from previous Master Plans?
- Foster aging-in-place in a multi-generational community
- How can committees work together?
- How do we improve communications to residents on important issues?
- How can we involve more seniors while acknowledging there are challenges to that involvement?
- Take into account senior population, i.e., housing, signage, level ground, support railings, etc.
- Opportunity to hear from those who do not actively participate
- Overcoming “needs vs. wants”
- Members of Town boards and committees are well-informed and engaged
- Impacts of Plan to private and public areas will be different
- How do we match capital improvements to some of the goals of the Plan?
- How do we get people engaged?

Ms. Goldson summarized by stating that the overarching desire is to have more community engagement via an educational tool, and that this is a “launching pad” for action. She added that the response sheet will be finalized into a document that reflects these responses.

#### **Other Business That May Come Before the Committee**

Nothing at this time.

#### **Next Steps**

Brief discussion followed on next steps. Ms. Affleck-Childs shared the URL for the Master Plan Committee webpage at the Town’s web site.

Chair Chabot emphasized that the committee is subject to the Open Meeting Law, noting the restrictions about emailing members and meeting with members outside of the committee meetings. Members were encouraged to review the Open Meeting Law if they were unclear on what they could and could not do. Members may also reach out to Ms. Affleck-Childs or Ms. Saint Andre with questions.

Chair Chabot asked members to notify Ms. Affleck-Childs if they are unable to attend a meeting, emphasizing that it will be important to know if a quorum is or is not available to meet. Right now the quorum is 7 members; once all members are appointed, the quorum will be 8.

Ms. Affleck-Childs reported she has created a list of meeting dates for connecting with various Town boards and committees. It was noted that the next Master Plan Committee meeting will be Wednesday, June 23. Chair Chabot reported she will be away for that meeting but may be able to log in remotely. It was noted that the meetings will be recorded so people can review meetings if they are absent. The presentation as well as other documents will be posted on the Master Plan Committee webpage on the Town website at the following link: <https://www.townofmedway.org/master-plan-committee>



**Adjourn**

**At 9:24 PM Ms. Raposa made a motion to adjourn; Mr. Wolfe seconded. No discussion.**

**ROLL CALL VOTE: 12-0-0 (Atwood, aye; Bergeron, aye; Chabot, aye; Dietrich, aye; Foresto, aye; Hillery, aye; Khalsa, aye; Legee, aye; McKenzie, aye; Raposa, aye; Reynolds, aye; Wolfe, aye)**

*Respectfully submitted,  
Jeanette Galliardt  
Night Board Secretary*

*Reviewed and edited,  
Susan E. Affleck-Childs  
Planning and Economic Development Coordinator*

DRAFT



Photo credit: Tim Rice Photo

*Learn about the*

# MEDWAY MASTER PLAN PROJECT

**& SHARE YOUR PERSPECTIVE!**

*The Medway Master Plan will be a 10-year vision and road map for Medway's future. The Plan will be the foundational policy document for the Town - guiding local decisions about future growth, preservation, and change. There will be many opportunities for community members to help shape the Master Plan and we hope you will share your ideas along the way!*

What do you think makes Medway special?  
What makes you proud to be part of this community?  
What are the community's greatest opportunities?  
What are the greatest challenges?

Join the Medway Master Plan Committee and consultants from JM Goldson at this interactive community forum to provide your input as we kick off the Master Plan project.

**MONDAY, MAY 24, 2021 at 7:00PM**

**REGISTER FOR THE FORUM**  
<https://tinyurl.com/4ndyxax5>

**LEARN MORE ABOUT THE PROJECT**  
<https://tinyurl.com/yxkdrktm>

## **QUESTIONS?**

Contact Barry Fradkin at [barry@jmgoldson.com](mailto:barry@jmgoldson.com) or 617-221-4003  
or Susy Affleck-Childs at [sachilds@townofmedway.org](mailto:sachilds@townofmedway.org) or 508-533-3291



**April 27, 2021**  
**Medway Planning & Economic Development Board**  
**Meeting**

**Eversource Site Plan Endorsement**

- Certificate of No Appeal dated 4-22-21
- Revised site plan dated 4-26-21 prepared by VHB.
- Collection of emails including a summary of plan revisions

The Eversource site plan is ready for endorsement. The Town Clerk has issued a certificate of no appeal. Eversource has paid the construction services fee. The specified plan revisions have been made; an updated plan dated 4-26-21 has been provided. NOTE - There were no further changes needed to the plan per the Medway DPW MS4 permitting process. I recommend the Board vote to endorse the Eversource site plan dated April 26, 2021.



**TOWN OF MEDWAY**  
**COMMONWEALTH OF MASSACHUSETTS**  
**TOWN CLERK'S OFFICE**

Medway Town Hall  
155 Village Street  
Medway, MA 02053  
Phone (508) 533-3204  
Fax (508) 321-4988  
sohannesian@townofmedway.org  
www.townofmedway.org

Town Clerk  
Stefany Ohannesian

April 22, 2021

**CERTIFICATE**

I, TOWN CLERK OF THE TOWN OF MEDWAY, HEREBY CERTIFY THAT NOTICE OF A **MINOR SITE PLAN DECISION** OF THE  
MEDWAY PLANNING AND ECONOMIC DEVELOPMENT BOARD HAS BEEN FILED  
IN THE MATTER OF

EVERSOURCE  
12 & 34 WEST STREET  
MEDWAY, MA 02053

FILED IN THE TOWN CLERK'S OFFICE ON **MARCH 29, 2021**

AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID  
DECISION.

DATED AT MEDWAY, MA.....**APRIL 22, 2021**

A TRUE COPY

ATTEST

*Stefany Ohannesian*



# Site Plans

Issued for	Permitting
Date Issued	01/19/2021
Latest Issue	04/26/2021

## Medway Station #65

12 and 34 West Street  
Medway, MA 02053



### Owner

Exelon West Medway LLC  
P.O. Box 340014  
Nashville, TN 37203

### Applicant

NSTAR Electric Company d/b/a Eversource Energy  
247 Station Drive  
Westwood, MA 02090

Sheet Index			Reference Drawings		
No.	Drawing Title	Latest Issue	No.	Drawing Title	Latest Issue
C-1	Site Context Sheet	April 26, 2021	1	Substation Easement Perimeter Plan by SMC	1/7/2021
C-2	Legend and General Notes	April 26, 2021	1	Existing Conditions and Topographic Survey by SMC	1/7/2021
C-3	Existing Conditions, Sediment & Erosion Control Plan	April 26, 2021	C7329M07	Exterior Elevations prepared by AZZ, Inc.	3/5/2015
C-4	Site Plan	April 26, 2021	C7329M08	Exterior Elevations - End Views prepared by AZZ, Inc.	3/5/2015
C-5	Grading & Drainage Plan	April 26, 2021	PH-001	Photometric Plan prepared by Eversource	3/3/2021
C-6	Site Details	April 26, 2021			
C-7	Mobile Transformer Plan	April 26, 2021			

Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

Deed Book, Page: 12521, 109

Assessor's Information: Map 66, Parcels 010 & 012

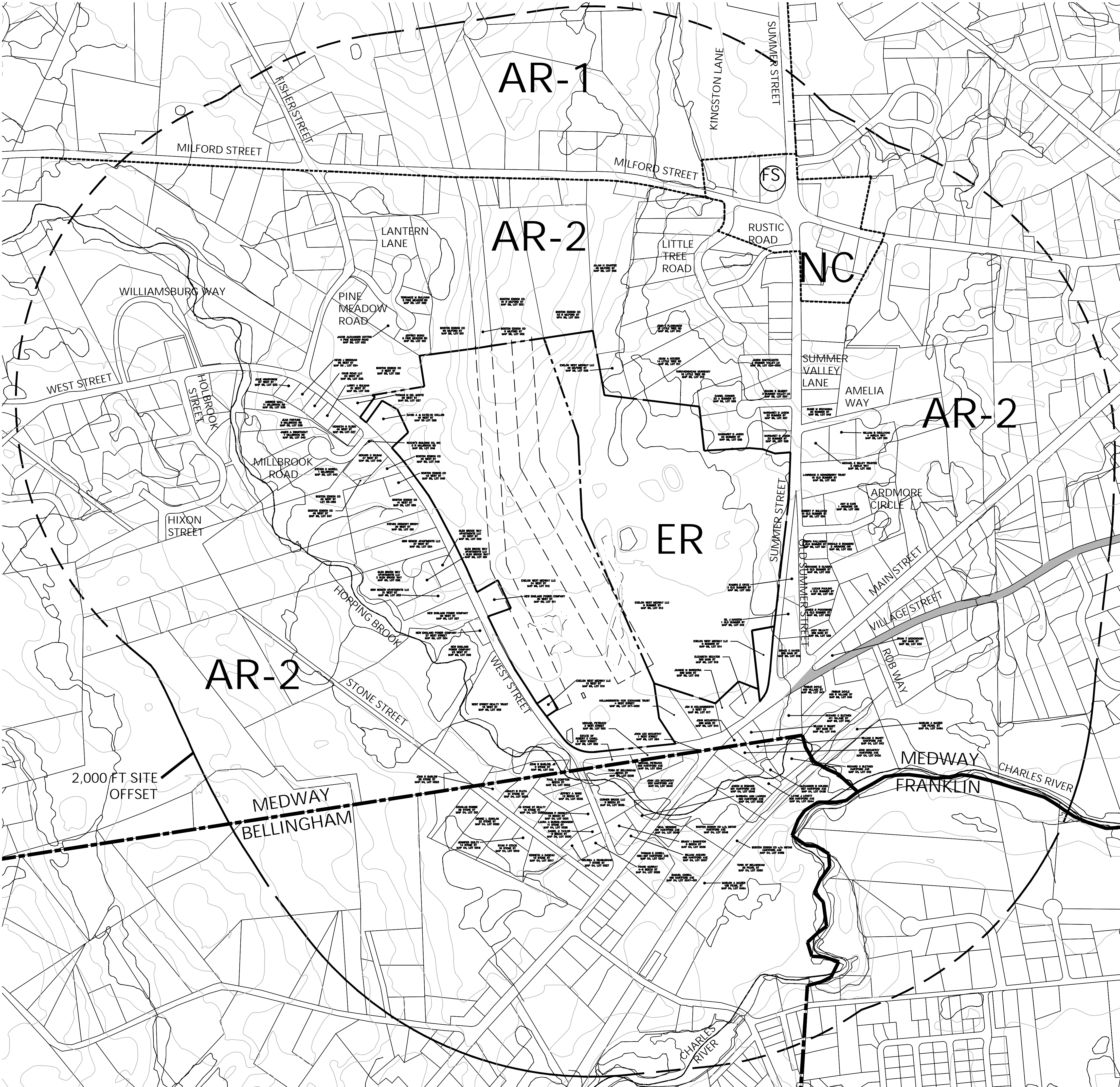
Zoning District: Energy Resources - ER

### Approved Waivers

- SECTION 207-9 PEDESTRIAN & BICYCLE ACCESS AND SIDEWALKS; SECTION 207-10 PAVING; SECTION 207-11 TRAFFIC AND VEHICULAR CIRCULATION; 207-12 PARKING; AND SECTION 207-13 LOADING AND UNLOADING
- SECTION 207-19 LANDSCAPING
- SECTION 207-4 ENERGY EFFICIENCY AND SUSTAINABILITY; SECTION 207-16 UTILITIES; AND SECTION 207-18 OUTDOOR LIGHTING



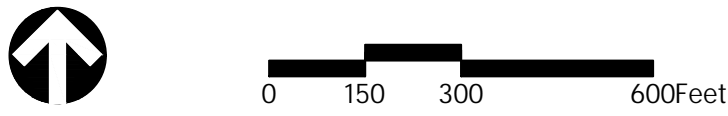
1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100



Legend & Abbreviations

	PROPERTY LINE
	300 FOOT RADIUS
	2,000 FOOT RADIUS
	EXISTING CONTOUR
	EASEMENT
	BORDERING VEGETATED WETLAND
	RIVER/STREAM/BROOK
	ZONING LINE
	TOWN LINE
	SCENIC ROAD
ER	ENERGY RESOURCES
AR-1	AGRICULTURAL RESIDENTIAL 1
AR-2	AGRICULTURAL RESIDENTIAL 2
NC	NEIGHBORHOOD COMMERCIAL
FS	FIRE STATION

- GENERAL NOTES:
- THE FOLLOWING INFORMATION DEPICTED HEREIN WAS OBTAINED FROM THE OLIVER MA GIS ONLINE MAPPING TOOL:
    - RIVER CENTERLINE LOCATIONS
    - WETLAND LOCATIONS
    - EXISTING TOPOGRAPHY
    - ASSESSOR PARCELS
    - TOWN BOUNDARY LINES
  - SCENIC ROAD INFORMATION WAS OBTAINED FROM THE TOWN OF MEDWAY PLANNING BOARD RULES AND REGULATIONS, CHAPTER 400 - SCENIC ROADS, ADOPTED JULY 16, 2002.
  - ZONING BOUNDARIES AND DESCRIPTIONS WERE OBTAINED FROM THE TOWN OF MEDWAY ZONING MAP, LAST UPDATED JANUARY 2, 2020.
  - LOT LINE DIMENSIONS AND TOPOGRAPHY AT 2-FOOT INTERVALS ARE NOT DEPICTED HEREIN DUE TO THE SCALE OF THE PLAN.
  - MEDWAY ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE MEDWAY ASSESSOR'S OFFICE DATED NOVEMBER 17, 2020.
  - BELLINGHAM ABUTTER INFORMATION DEPICTED HEREIN TAKEN FROM A CERTIFIED ABUTTER'S LIST PREPARED BY THE BELLINGHAM ASSESSOR'S OFFICE DATED NOVEMBER 19, 2020.



Medway Station #65  
12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Appr'd
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by RTL	Checked by RLC
Issued for Permitting	Date January 19, 2021

Not Approved for Construction

Drawing Title  
Site Context Sheet

Drawing Number

Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_



C-1

Sheet 1 of 7

Project Number  
73139.01





1 Cedar Street  
Suite 400  
Providence, RI 02903  
401.272.8100

Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			
		BASELINE	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC x	26.85 BC x	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 x	132.75 x	SPOT ELEVATION
		TOWN LINE	45.0 TW x	45.0 TW x	TOP & BOTTOM OF WALL ELEVATION
			38.5 BW x	38.5 BW x	
		LIMIT OF DISTURBANCE			BORING LOCATION
		WETLAND LINE WITH FLAG			TEST PIT LOCATION
		FLOODPLAIN			MONITORING WELL
					UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING			DRAIN
		WETLAND BUFFER ZONE			ROOF DRAIN
		NO DISTURB ZONE			SEWER
		200' RIVERFRONT AREA			FORCE MAIN
					OVERHEAD WIRE
		GRAVEL ROAD			WATER
		EDGE OF PAVEMENT			FIRE PROTECTION
		BITUMINOUS BERM			DOMESTIC WATER
		BITUMINOUS CURB			GAS
		CONCRETE CURB			ELECTRIC
		CURB AND GUTTER			STEAM
		EXTRUDED CONCRETE CURB			TELEPHONE
		MONOLITHIC CONCRETE CURB			FIRE ALARM
		PRECAST CONC. CURB			CABLE TV
		SLOPED GRAN. EDGING			
		VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
					DOUBLE CATCH BASIN ECCENTRIC
					GUTTER INLET
		BUILDING			DRAIN MANHOLE CONCENTRIC
		BUILDING ENTRANCE			DRAIN MANHOLE ECCENTRIC
		LOADING DOCK			TRENCH DRAIN
		BOLLARD			PLUG OR CAP
		DUMPSTER PAD			CLEANOUT
		SIGN			FLARED END SECTION
		DOUBLE SIGN			HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL			SEWER MANHOLE ECCENTRIC
		PATH			CURB STOP & BOX
		TREE LINE			WATER VALVE & BOX
		WIRE FENCE			TAPPING SLEEVE, VALVE & BOX
		FENCE			SIAMESE CONNECTION
		STOCKADE FENCE			FIRE HYDRANT
		STONE WALL			WATER METER
		RETAINING WALL			POST INDICATOR VALVE
		STREAM / POND / WATER COURSE			WATER WELL
		DETENTION BASIN			
		HAY BALES			GAS GATE
		SILT FENCE			GAS METER
		SILT SOCK / STRAW WATTLE			
					ELECTRIC MANHOLE
		MINOR CONTOUR			ELECTRIC METER
		MAJOR CONTOUR			LIGHT POLE
					TELEPHONE MANHOLE
		PARKING COUNT			TRANSFORMER PAD
		COMPACT PARKING STALLS			UTILITY POLE
		DOUBLE YELLOW LINE			GUY POLE
		STOP LINE			GUY WIRE & ANCHOR
		CROSSWALK			HAND HOLE
		ACCESSIBLE CURB RAMP			PULL BOX
		ACCESSIBLE PARKING			
		VAN-ACCESSIBLE PARKING			
					MATCHLINE

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CMH	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General	
1.	CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2.	CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3.	WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
4.	WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5.	UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6.	TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
7.	AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
8.	IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
9.	CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
10.	DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
11.	CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

Utilities

1.	THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2.	WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3.	SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4.	RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS: <div><div>A. PAVEMENTS AND CONCRETE SURFACES: FLUSH</div><div>B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH</div><div>C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.</div></div>
5.	THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.), FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6.	CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
7.	UTILITY PIPE MATERIALS SHALL BE AS NOTED ON THE PLAN: <div><div>A. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.</div></div>
8.	CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
9.	CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
10.	ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

1.	DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2.	SEE ELECTRICAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE

BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.

PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

Demolition

1.	ALL DEMOLITION SHALL BE PER THE INFORMATION DEPICTED ON THE ELECTRICAL PLANS. ANY DEMOLITION INFORMATION PRESENTED HEREIN IS FOR PERMITTING PURPOSED ONLY.
2.	WHERE APPLICABLE, EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3.	CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
4.	THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
5.	UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL, AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

1.	PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2.	CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3.	CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4.	CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5.	UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1.	EXISTING CONDITIONS INFORMATION, INCLUDING TOPOGRAPHICAL SURVEY AND WETLAND LOCATIONS PROVIDED BY EVERSOURCE. AN EXISTING CONDITIONS PLAN PREPARED BY SMC IS INCLUDED HEREIN FOR REFERENCE.
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Document Use

1.	THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
2.	CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
3.	SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

Medway Station #65

12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Apprvd
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

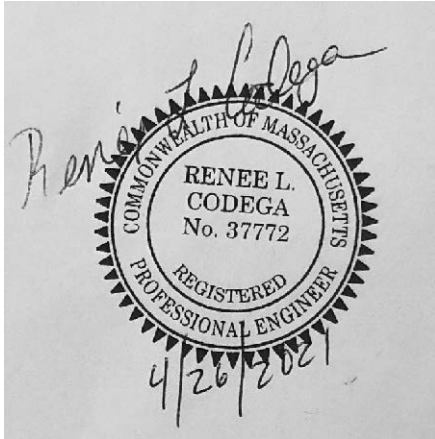
Designed by	Checked by
RTL	RLC
Issued for	Date
Permitting	January 19, 2021

Not Approved for Construction

Drawing Title

Legend and General Notes

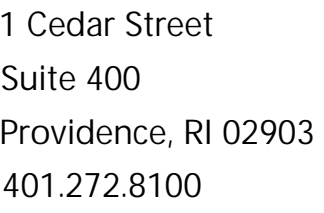
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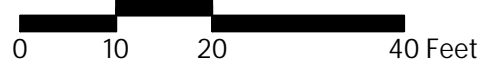
C-2

Sheet 2 of 7

Project Number  
73139.01



Scale: 1" = 1,000'



12 and 34 West Street  
Medway, MA 02053

Designed by	Checked by
RTL	RLC

Permitting January 19, 2021

Not Approved for Construction

## Existing Conditions, Erosion & Sediment Control Plan

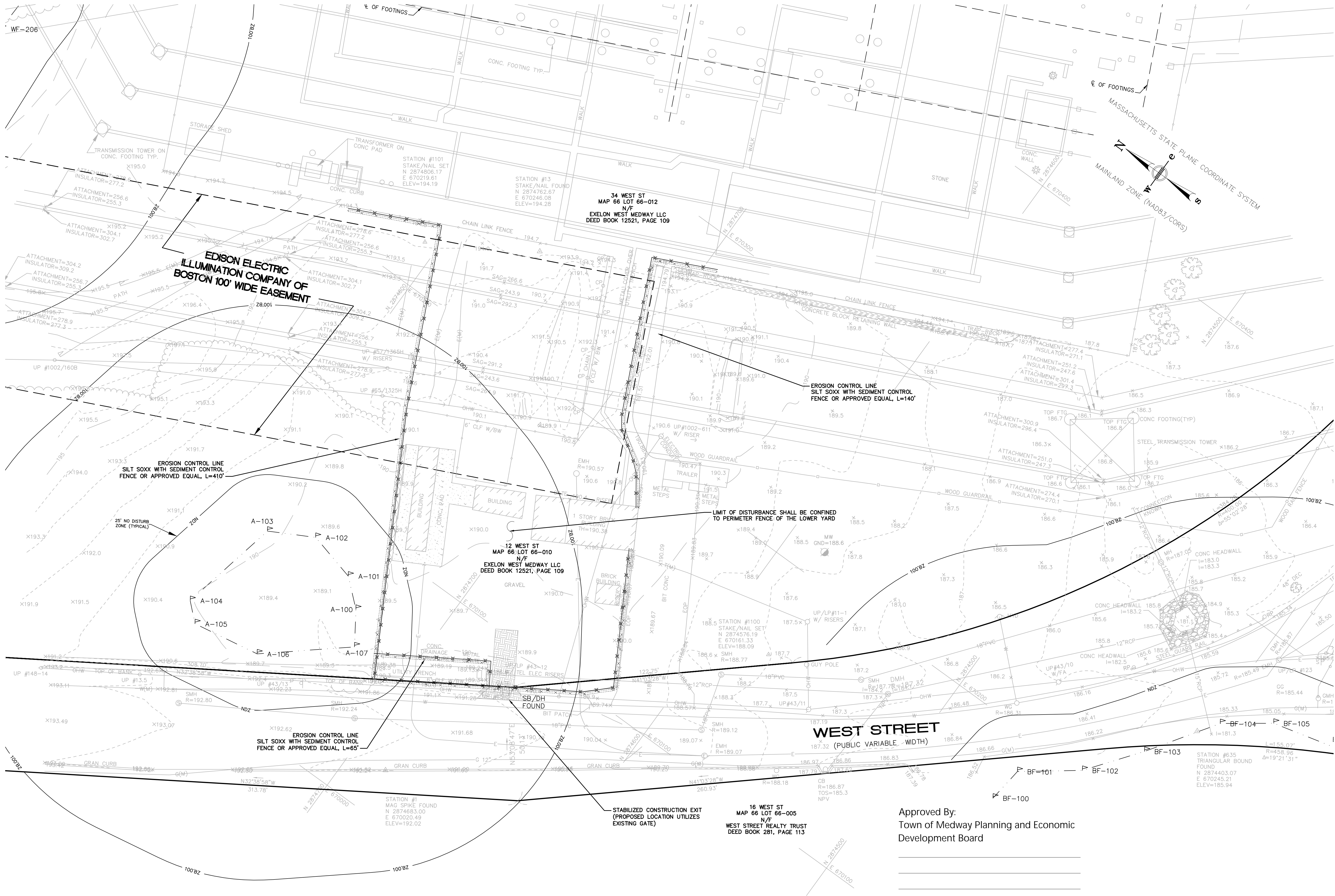
Drawing Number

**C-3**

Sheet 3 of 7

Project Number  
73139.01

Saved Thursday, March 4, 2021 12:30:16 PM RLEWIS Plotted Monday, April 26, 2021 10:27:59 AM Lewis, Richard



Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

### GENERAL NOTES

1. REFER TO SUBSTATION EASEMENT PERIMETER PLAN PREPARED BY
2. SMC, INC, LAST REVISED JANUARY 7, 2021 AND EXISTING CONDITIONS AND TOPOGRAPHIC SURVEY PLAN PREPARED BY SMC, INC, LAST REVISED JANUARY 7, 2021 FOR ALL EXISTING CONDITIONS, PROPERTY LINE, EASEMENT, AND ABUTTER INFORMATION AND SOURCE NOTES.

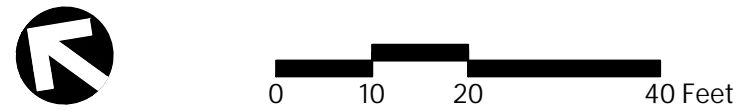


**C-3**

Sheet 3 of 7

Project Number  
73139.01



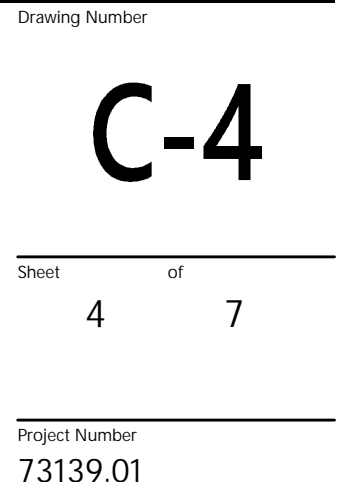


12 and 34 West Street  
Medway, MA 02053

Not Approved for Construction

Drawing Title

# Layout and Materials Plan

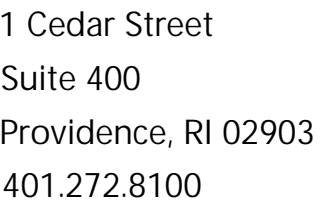


Approved By: \_\_\_\_\_  
Town of Medway Planning and Economic  
Development Board

Endorsement Date: \_\_\_\_\_

- GENERAL NOTES:
1. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR DIMENSIONAL, MATERIAL, AND INSTALLATION REQUIREMENTS FOR ALL SWITCHED ELECTRICAL EQUIPMENT INCLUDING BUT NOT LIMITED TO TPO/GEAR BUILDING, FOUNDATIONS, CABLE TRAYS, DUCT BANKS, ELECTRICAL MANHOLES, AND DIRECT BURIED CABLES.
  2. ELECTRICAL EQUIPMENT DEPICTED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY.
  3. SIZE AND TYPE OF CRUSHED STONE YARD MATERIAL SHALL BE PER EVERSOURCE SPECIFICATIONS.





Scale: 1" = 1,000'



12 and 34 West Street  
Medway, MA 02053

Designed by	RTL	Checked by	RLC
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Permitting January 19, 2021

Not Approved for Construction

# Grading and Drainage Plan

Drawing Number

**C-5**

Sheet 5 of 7

Project Number  
73139.01

Saved Wednesday, March 3, 2021 5:19:49 PM RLEWIS Plotted Monday, April 26, 2021 10:32:52 AM Lewis, Richard



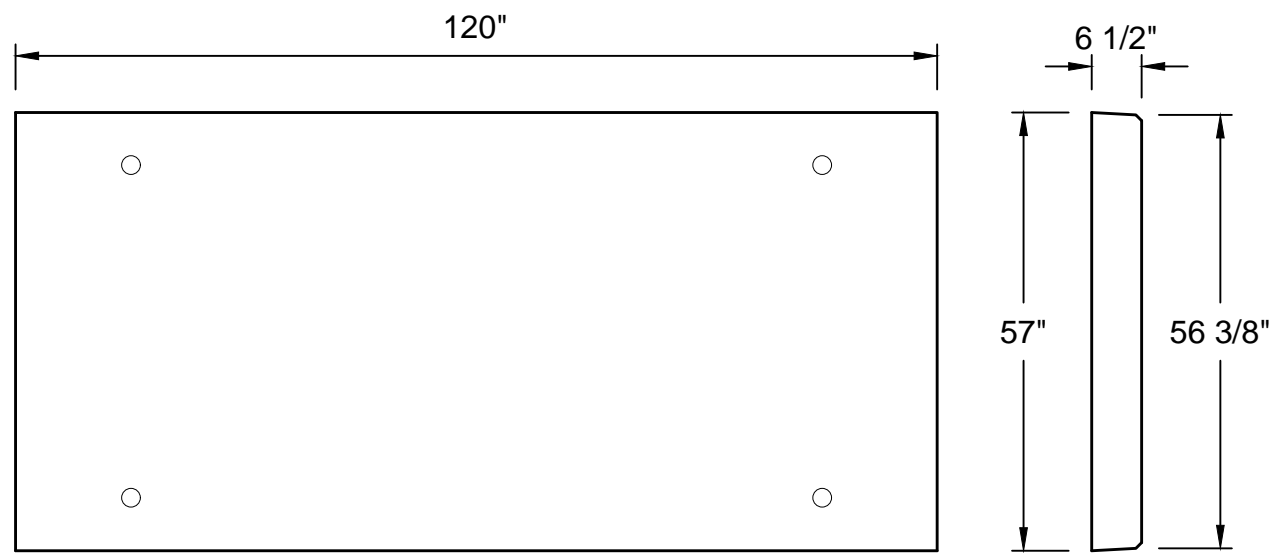
Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

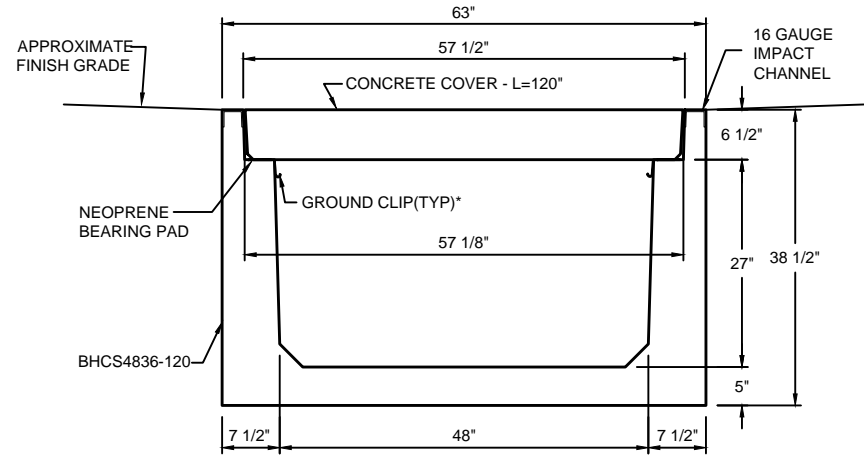
Endorsement Date: \_\_\_\_\_







PRECAST CONCRETE COVER

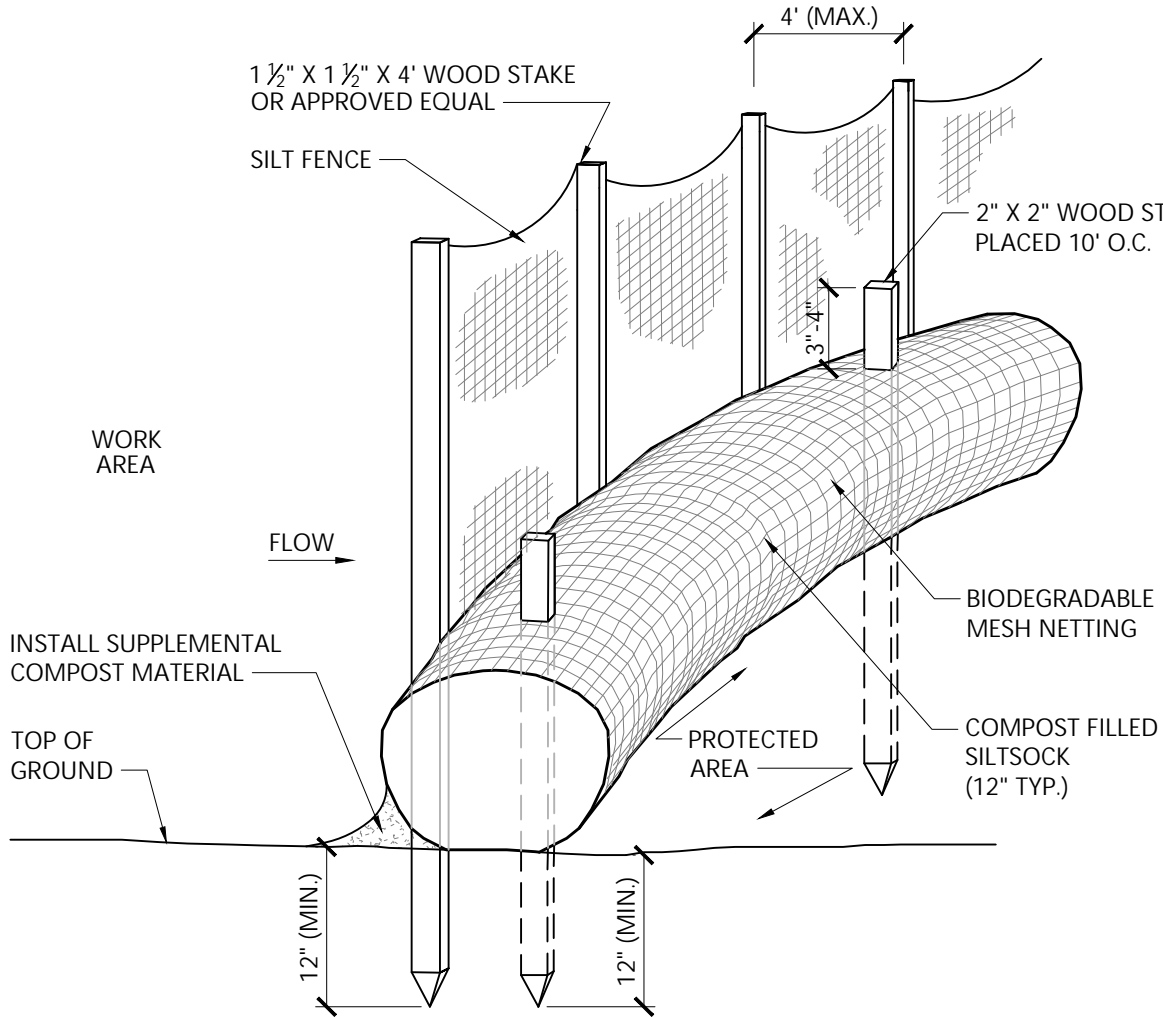


TYPICAL SECTION - 48"W X 27"D

Approved By:  
Town of Medway Planning and Economic  
Development Board

Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_



NOTES

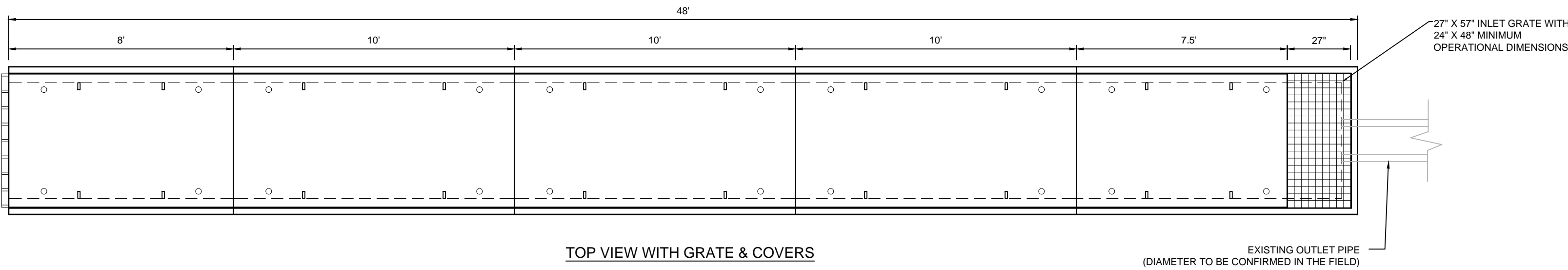
1. SILT SOCK SHALL BE FILTREXX SILT SOXX, OR APPROVED EQUAL.
2. SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock / Silt Fence Barrier  
N.T.S. Source: VHB 1/16 LD\_658-A

Utility Trench Section & Cover Detail

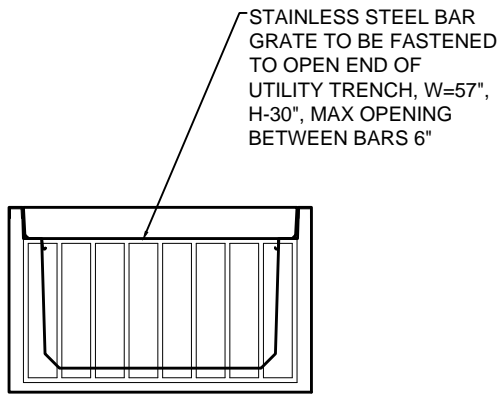
N.T.S. Source: VHB

9/20

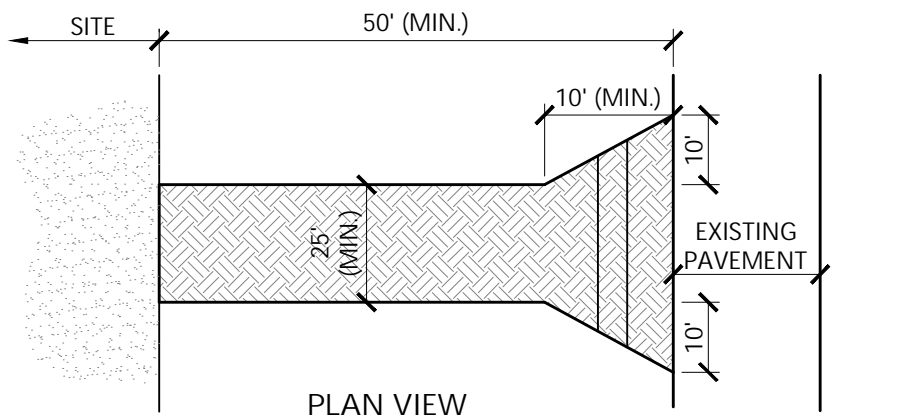


TOP VIEW WITH GRATE & COVERS

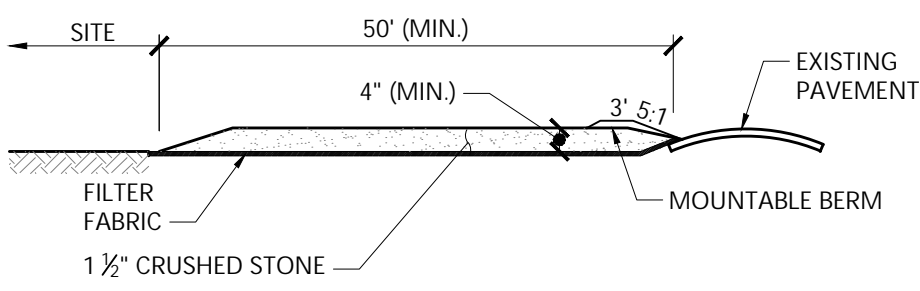
EXISTING OUTLET PIPE  
(DIAMETER TO BE CONFIRMED IN THE FIELD)



OPEN END VIEW



PLAN VIEW



CROSS-SECTION

NOTES

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit  
N.T.S. Source: VHB REV 1/16 LD\_682

Medway Station #65

12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Apprd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

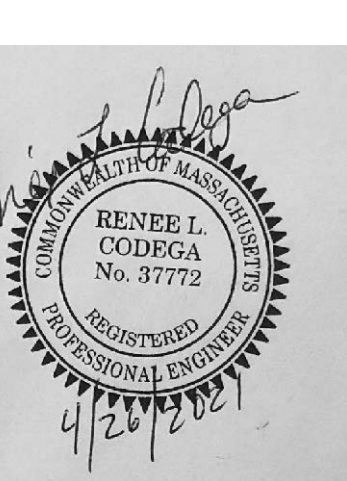
Designed by RTL	Checked by RLC
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Issued for  
Permitting

Date  
January 19, 2021

Not Approved for Construction

Site Details



Drawing Number  
**C-6**

Sheet 6 of 7

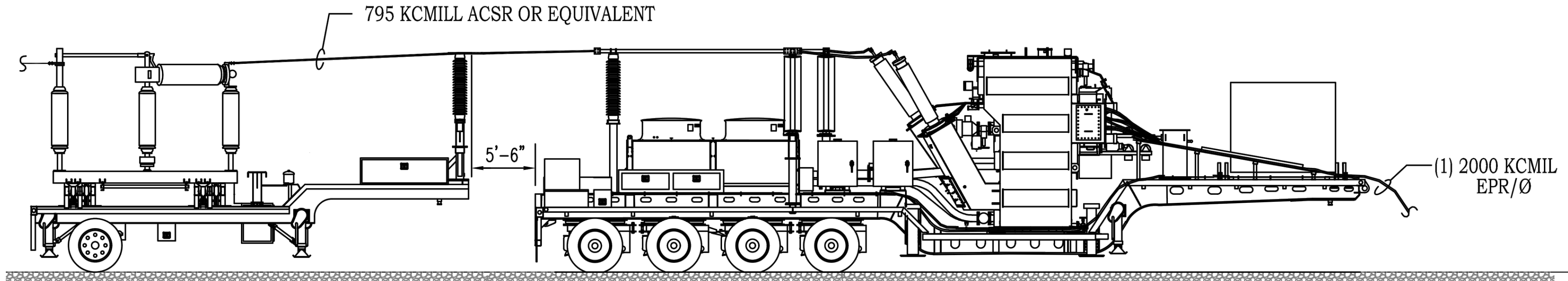
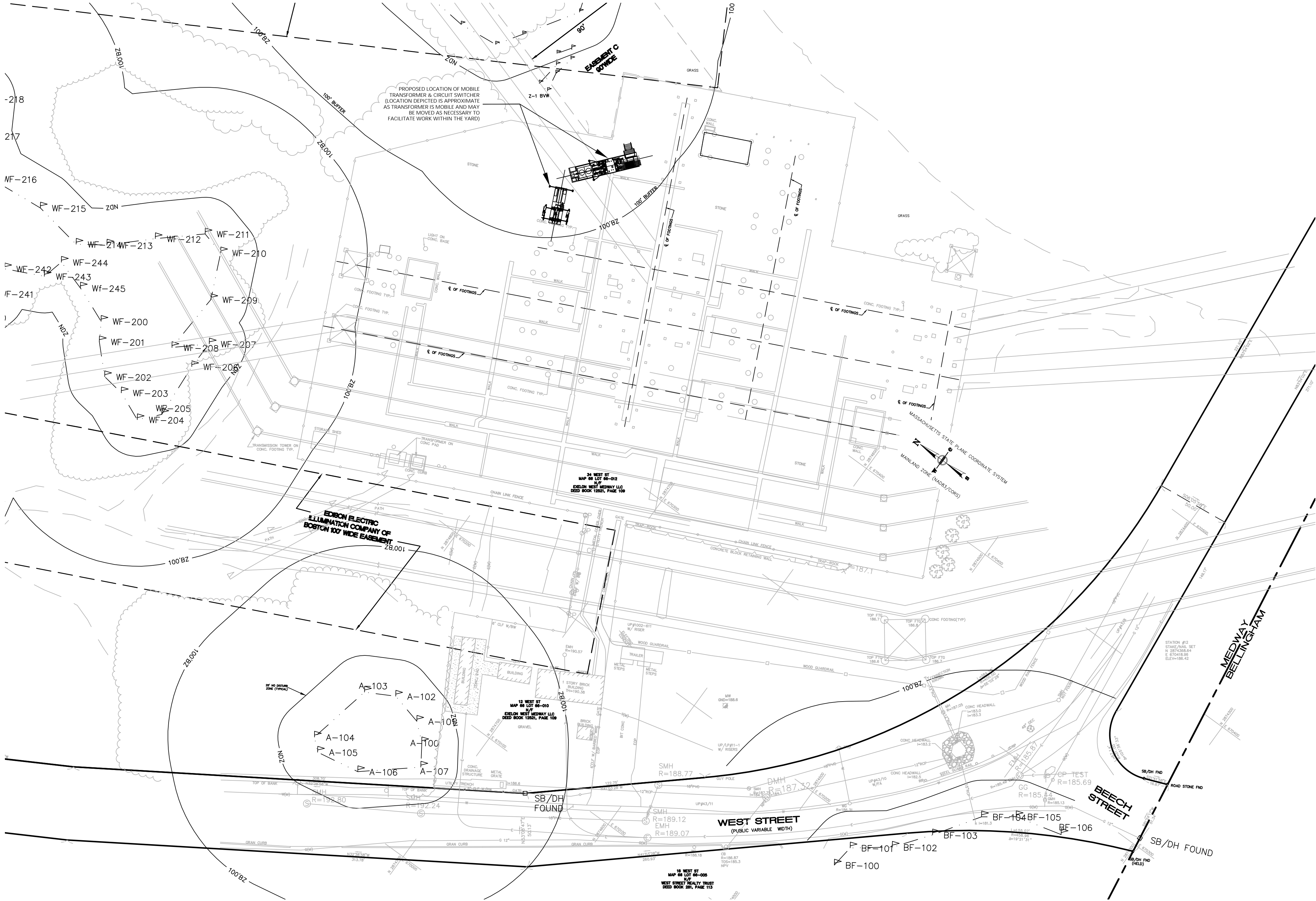
Project Number  
73139.01

Utility Trench Detail

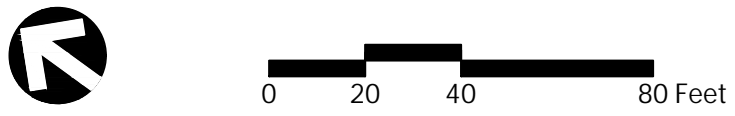
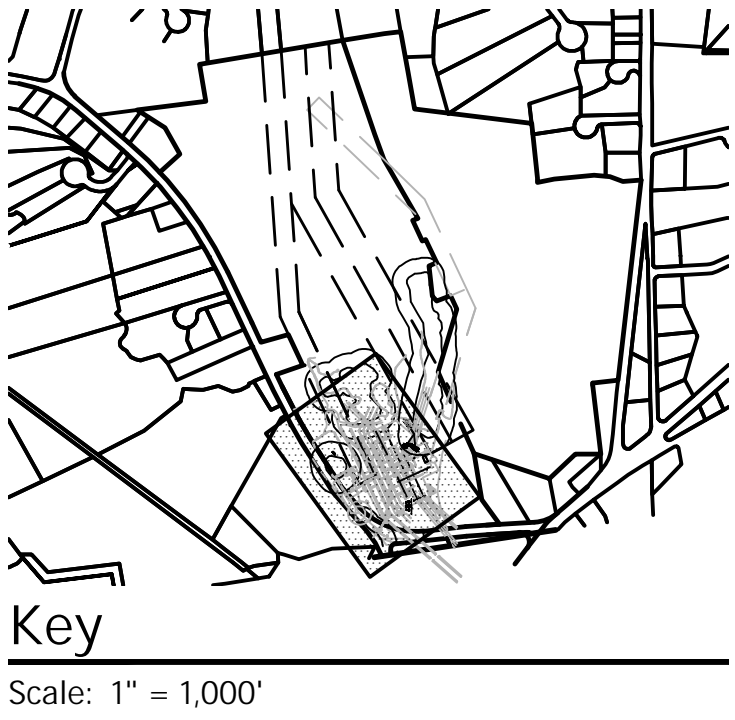
N.T.S. Source: VHB

9/20





Photo



Approved By:  
Town of Medway Planning and Economic  
Development Board

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Decision Date: March 23, 2021

Endorsement Date: \_\_\_\_\_

**Medway Station #65**  
12 and 34 West Street  
Medway, MA 02053

No.	Revision	Date	Apprvd.
1	Planning Board Comments	03/03/2021	RTL
2	Signature Block Update, Approved Waivers	04/26/2021	RTL

Designed by RTL	Checked by RLC
Issued for	Date

Permitting January 19, 2021

Not Approved for Construction

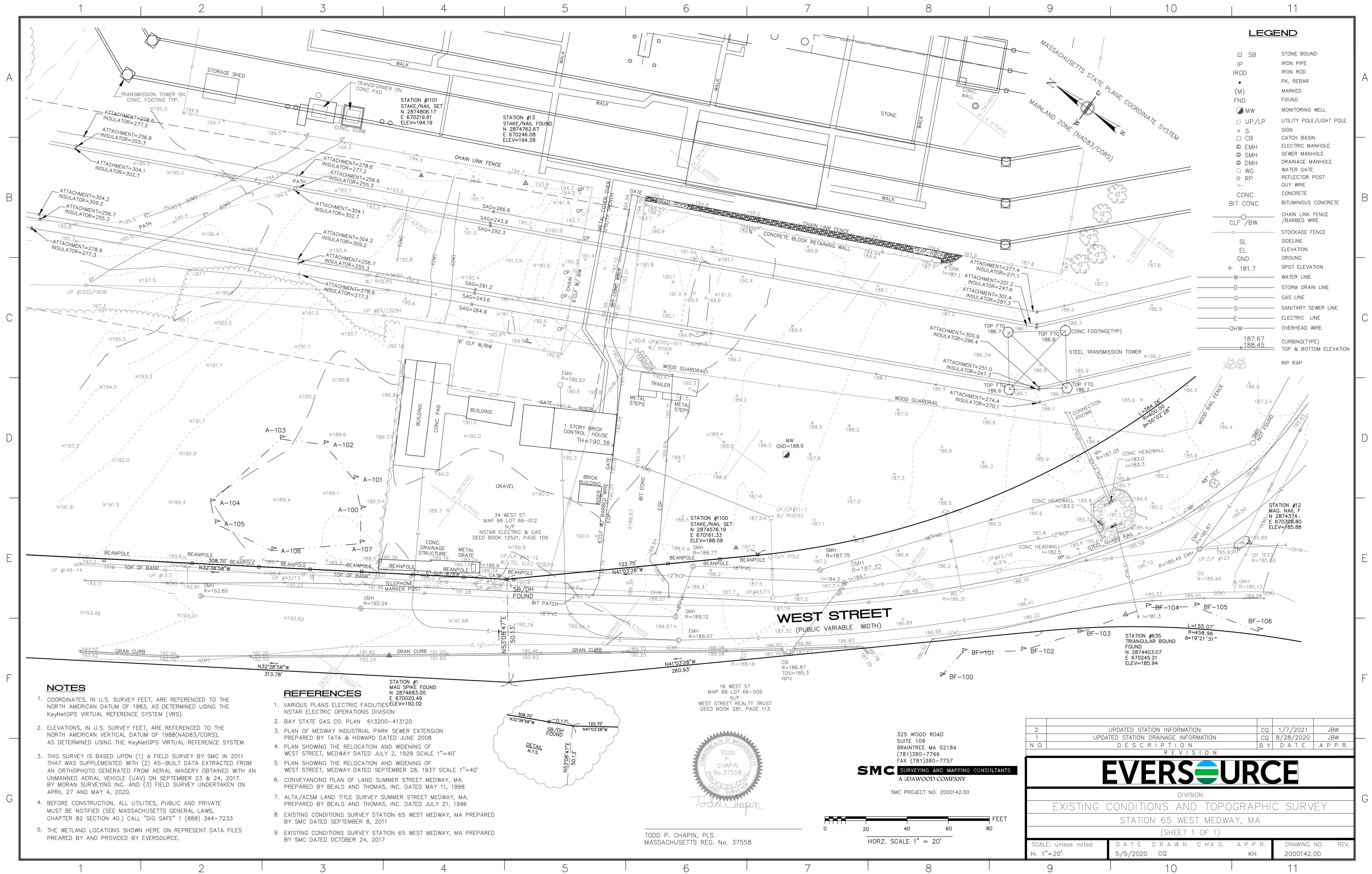
Drawing Title  
**Mobile Transformer Plan**



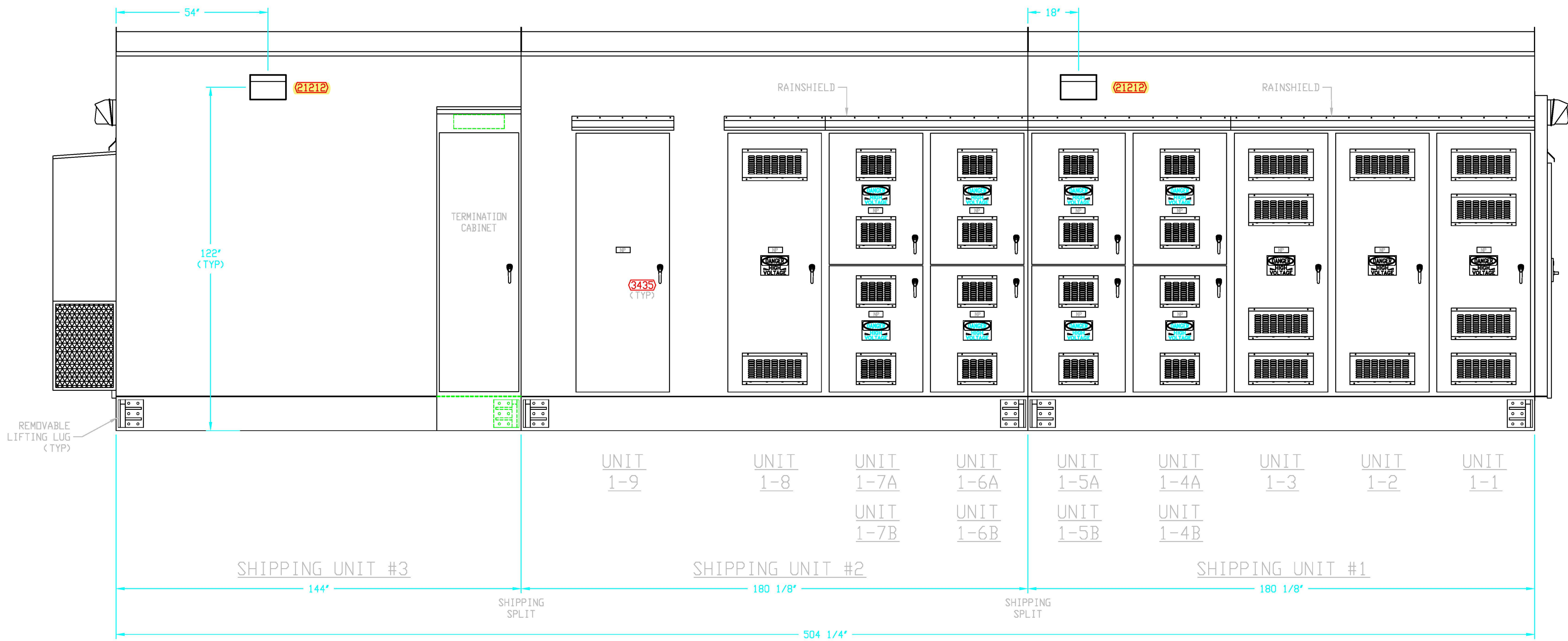
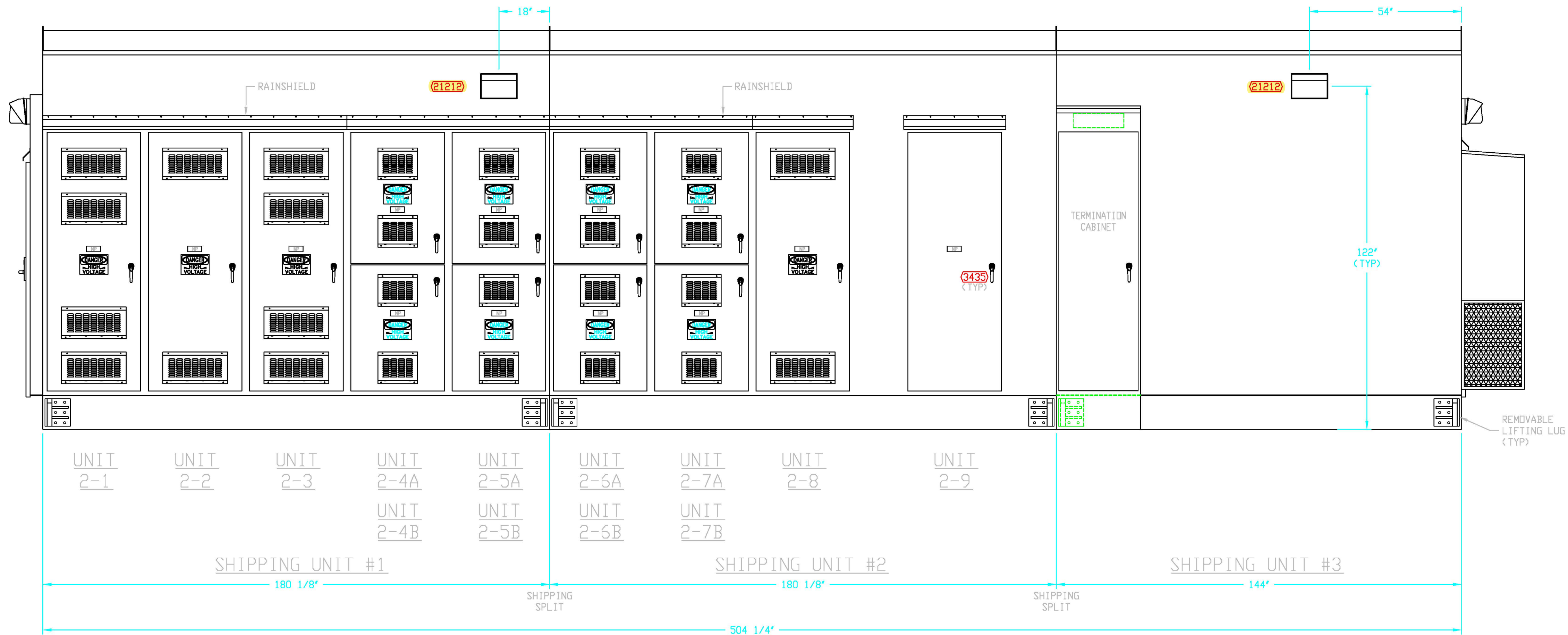








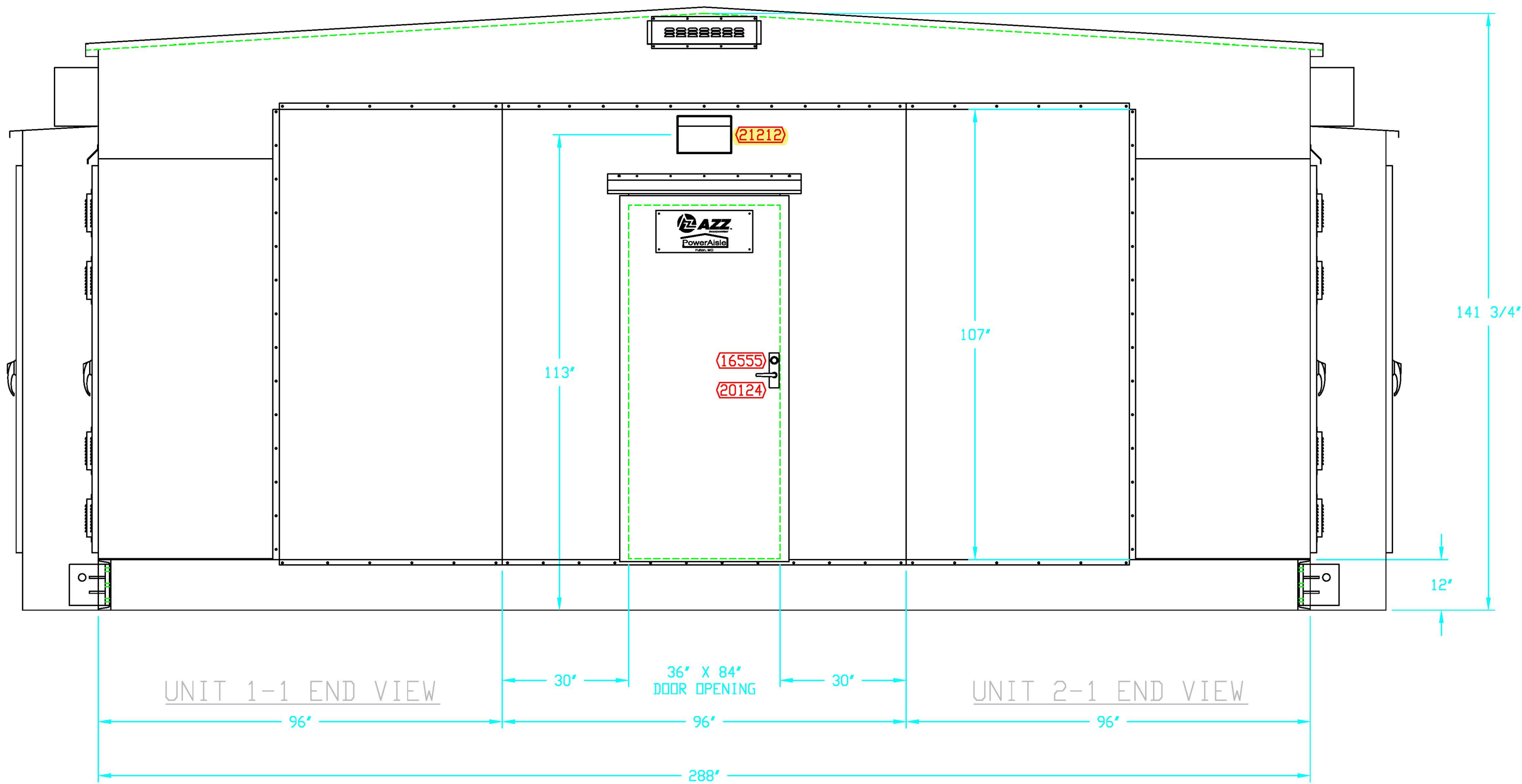




NOTE:  
1.   -INDICATES BILL OF MATERIAL ITEM NUMBER.

REVISION LETTER	DATE	REVISIONS	BY	APPROVED	<div><div><div><div><div></div><div></div></div></div><div><b>AZZ</b></div></div><div>SWITCHGEAR SYSTEMS 7911 Old U.S. Highway 54 Fulton, MO 65251 573.642.8811</div></div>	
A	04/24/15	REVISED PER D & L	NDH	WC		
B	01/13/16	REVISED PER CHANGE TO STATION 131	NDH	WC	CUSTOMER NSTAR EAST EAGLE SUBSTATION NO. 131, BOSTON, MA 15kV, 50kA, 3000A METAL-CLAD CUSTOMER P.O. NO. 65752	
C	02/05/18	REVISED PER CUSTOMER CHANGES	WC	WC		
D	03/08/18	REVISED PER D & L	JB	WC		
E	04/03/18	REVISED EXTERIOR LIGHTS	WC	WC		
DRAWING STATUS					DRAWING TITLE EXTERIOR ELEVATIONS	
Final As-Built 2/18/2019					DRAWN B. Lewis APPROVED W. Cuthbert	DATE 3/5/2015 SCALE 1/2" = 1'
					DRAWING NO. C7329M07	

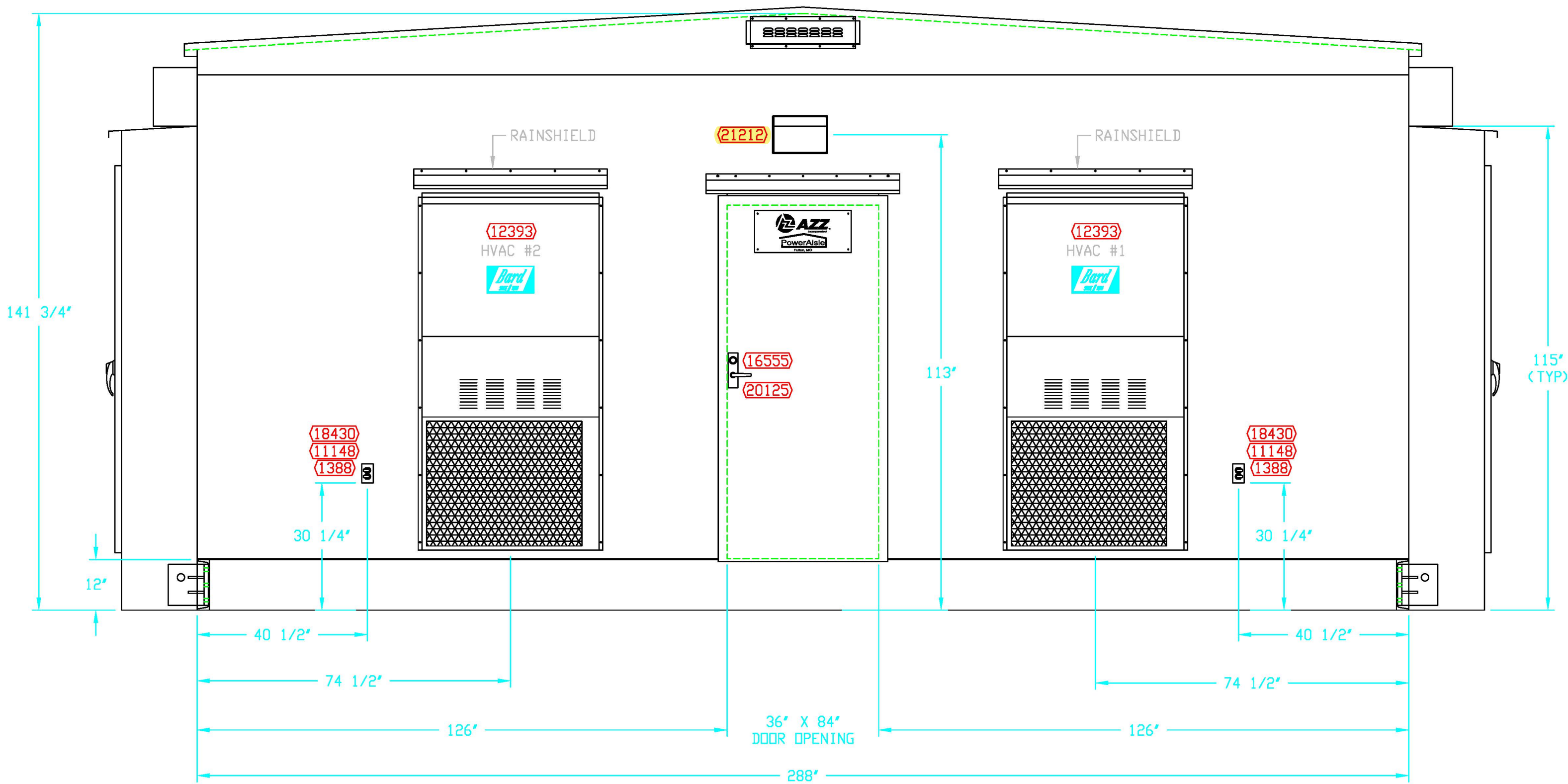





END ELEVATION  
SWITCHGEAR END VIEW

NOTE:

1.   -INDICATES BILL OF MATERIAL ITEM NUMBER.



END ELEVATION  
WORK AREA END VIEW

REVISION LETTER	DATE	REVISIONS	IFTR	APPR'D	<div></div> <div>SWITCHGEAR SYSTEMS 7911 Old U.S. Highway 54 Fallon, MO 65201 573.642.6811</div>	
A	04/13/15	REVISED PER D & L	NDH	VC		
B	01/13/16	REVISED PER CHANGE TO STATION 131	NDH	VC		
C	02/05/18	REVISED PER ENGINEERING	VC	VC		
D	03/08/18	REVISED PER D & L	BB	VC		
E	04/03/18	REVISED EXTERIOR LIGHTS	VC	VC		
F	12/04/18	REVISED PER ENGINEERING	RLI	VC		
DRAWING STATUS					DRAWING TITLE	
Final As-Built					EXTERIOR ELEVATIONS - END VIEWS	
2/18/2019					DRAWN R. Lewis	DRAWING NO. C7329M08
					APPR'D W. Colby	DATE 3/5/2015
					SCALE 3/4"=1'	





## Susan Affleck-Childs

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**From:** Lewis, Richard <rlewis@vhb.com>  
**Sent:** Monday, April 26, 2021 4:12 PM  
**To:** Joshua Lee Smith; Susan Affleck-Childs  
**Cc:** SCHLOMY, KEREN  
**Subject:** RE: [External] RE: Eversource plan for endorsement  
**Attachments:** 7313900 - Eversource Medway Station 65 Permitting Plans - Final 04-26-2021.pdf

Good afternoon Susy,

Attached please find a PDF of the final plan set with the requested revisions. A full size bound set will be delivered to your office by 4 pm tomorrow. The following is a summary of the plan revisions:

Cover – updated signature block, changed “List of Waivers” to “Approved Waivers”, and changed date to 4/26/21  
Sheets 1 of 7 through 7 of 7 – updated signature block and added Revision 2 with 4/26/21 date

The plans were approved as is from both the DPW and the Conservation Commission therefore no additional changes were requested or required.

Please let me know if you have any questions and/or require additional information.

Thank you and have a great evening,  
Richard

**Richard Lewis**  
Director of Engineering - Energy

P 401.457.7823  
[www.vhb.com](http://www.vhb.com)

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**From:** Joshua Lee Smith <JSMITH@bowditch.com>  
**Sent:** Monday, April 26, 2021 1:18 PM  
**To:** Susan Affleck-Childs <sachilds@townofmedway.org>; Lewis, Richard <rlewis@vhb.com>  
**Cc:** SCHLOMY, KEREN <keren.schlomy@eversource.com>  
**Subject:** [External] RE: Eversource plan for endorsement

Thanks, Susy. Rich, Susy called earlier today. Please let her know when you expect the plan to be emailed to her with the summary of DPW-related changes. The final full-sized plan set will need to be overnighted to her today so she has it for tomorrow's board meeting.

-Josh

**Joshua Lee Smith**

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[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com) | [Bio](#) | [LinkedIn](#)  
[bowditch.com](http://bowditch.com) | [MSI Global Alliance Member](#)  
311 Main Street, Worcester, MA 01608

# BOWDITCH

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**From:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Sent:** Monday, April 26, 2021 8:31 AM  
**To:** Joshua Lee Smith <[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com)>  
**Cc:** Lewis, Richard <[rlewis@vhb.com](mailto:rlewis@vhb.com)>  
**Subject:** RE: Eversource plan for endorsement

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Good morning,

I am looking forward to receiving the revised plan and an email with a bulleted summary of the plan changes reflecting whatever Medway DPW wanted included.

What is the timetable today for getting that to me?

Thanks.

Susy

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator  
Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

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**From:** Joshua Lee Smith [<mailto:JSMITH@bowditch.com>]  
**Sent:** Thursday, April 22, 2021 11:50 AM  
**To:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Cc:** Lewis, Richard <[rlewis@vhb.com](mailto:rlewis@vhb.com)>  
**Subject:** RE: Eversource plan for endorsement

Thanks, Susy. Rich Lewis will make the plan changes and provide you with an email with a bulleted summary of the changes pertaining to the MS4 permit (copying him here). He is away this week, but says he can provide this to you by this Monday (email the plans followed by overnight of 1 full-sized set), prior to Tuesday's planning & economic development board meeting.

Also, I just spoke with Stefany Ohannesian. She said she will prepare the certified decision with certificate of no appeal, and let you know when you can pick it up. It sounded like it would be ready later today.

-Josh

**Joshua Lee Smith**

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## BOWDITCH

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**From:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Sent:** Thursday, April 22, 2021 11:17 AM  
**To:** Joshua Lee Smith <[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com)>  
**Subject:** FW: Eversource plan for endorsement

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Hi Joshua,

I have Eversource plan endorsement on the agenda for the 4-27-21 Planning and Economic Development Board meeting.

The last Eversource site plan I have is dated March 3, 2021. I cannot locate any incoming email from Jeff Lewis at VHB; you had indicated that I would receive a further revised plan from him. Might it have been emailed to me by somebody else!?

The March 3<sup>rd</sup> version does include the signature lines for decision date and endorsement date. That's good! However, the section re: waivers on the cover page still states "List of Waivers". That needs to be changed to: "APPROVED WAIVERS" followed by the list of waivers approved as specified in the decision.

Is there a further revised plan that you are presenting for endorsement?

Also, I need to know what plan revisions were/are being made pursuant to the MS4CD permit issued by the Medway DPW.

Thanks.

*Susy*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator  
Town of Medway  
155 Village Street  
Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

---

**From:** Susan Affleck-Childs  
**Sent:** Friday, April 9, 2021 8:44 AM  
**To:** Joshua Lee Smith <[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com)>  
**Subject:** RE: Eversource plan for endorsement

The plan needs to read: APPROVED WAIVERS and then all of the approved waivers specified in the decision need to be listed with the corresponding number.



Susy

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**From:** Joshua Lee Smith [<mailto:JSMITH@bowditch.com>]  
**Sent:** Friday, April 9, 2021 8:39 AM  
**To:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Subject:** RE: Eversource plan for endorsement

Thanks. Do the waivers look okay as they appear on the plans? I think that was another comment.

-Josh

### Joshua Lee Smith

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[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com) | [Bio](#) | [LinkedIn](#)  
[bowditch.com](http://bowditch.com) | [MSI Global Alliance Member](#)  
311 Main Street, Worcester, MA 01608

**BOWDITCH**

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**From:** Susan Affleck-Childs <[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)>  
**Sent:** Friday, April 9, 2021 8:27 AM  
**To:** Joshua Lee Smith <[JSMITH@bowditch.com](mailto:JSMITH@bowditch.com)>  
**Subject:** Eversource plan for endorsement

**CAUTION: This email originated outside of the organization. Do not click links or open attachments you were not expecting.**

Hi Josh,

I checked the decision and the last VHB plan.

The plan sheets should be changed as follows:

Approval Date \_\_\_\_\_

Decision Date: March 23, 2021

Signature Date \_\_\_\_\_

Endorsement Date: \_\_\_\_\_

Thanks.

*Susy*

Susan E. Affleck-Childs  
Planning and Economic Development Coordinator  
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Medway, MA 02053  
508-533-3291  
[sachilds@townofmedway.org](mailto:sachilds@townofmedway.org)

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