

**Tuesday, January 10, 2023
Medway Planning and Economic Development Board
155 Village Street
Medway, MA 02053**

Member	Matt Hayes, Chair	Bob Tucker	Jessica Chabot	Sarah Raposa	Tom Gay Assoc. member
Attendance	X	X	X	X (Joined via remote at 7:39 pm)	Remote

PRESENT:

Barbara J. Saint Andre, Director of Community and Economic Development (via Zoom)
Steve Bouley, P.E., Tetra Tech (via Zoom)
Susan E. Affleck-Childs, Community and Economic Development Coordinator

The meeting was called to order by Chair Hayes at 7:00 pm

There were no Citizen Comments.

Master's Touch Site Plan – 83 Main Street:

The Board is in receipt of the following (See Attached):

- Notice dated 11-23-22 to continue the hearing to January 10, 2022
- Email dated 1-4-2023 withdrawing the site plan application

The Board is in receipt of an email dated January 4, 2023 from the applicant requesting to withdraw the application without prejudice. The applicant would also like the remaining balance of plan review funds refunded back to applicant.

On a motion made by Bob Tucker, seconded by Jessica Chabot, the Board voted unanimously to accept the applicant's request to withdraw without prejudice Master's Touch site plan application and to refund any balance of plan review funds.

Economic Development Committee Reappointment:

The PEDB who handles the appointments did not know if Liam McDermott wanted to be reappointed last summer when committee appointments are generally handled. He does want to be reappointed and to continue to serve on the EDC.

On a motion made by Bob Tucker, seconded by Jessica Chabot, the Board voted unanimously to reappoint Liam McDermott to the EDC through June 30, 2024.

Choate Trail Subdivision – Field Change: Discussion re: Trail Location:

The Board is in receipt of the following: (See Attached)

- Field Change NOTES for Choate Trail prepared by Susy Affleck-Childs
- Field Change NOTES for Choate Trail with comments provided by developer and project engineer
- Memorandum dated January 9, 2023 from Denise Legee of the Open Space Committee
- Excerpts from the endorsed Choate Trail Way Definitive Subdivision Plan showing the location of the easement and trail.

The Board is in receipt of a summary of key points of the Choate Trail proposed field change prepared by Susy Affleck-Childs and a marked up version with comments from developer Bob Pace and project engineer Vito Colonna of Connorstone Engineering. Mr. Pace and Mr. Colonna were present via Zoom. Open Space Committee co-chair Denise Legee was also present via Zoom as was resident Paul Atwood, a member of the Medway Trail Club.

The field change Notes document was reviewed. The following was included:

- The trail within the easement will be constructed three feet wide. The original trail is dirt. There are some trails with stone dust.
- The trails will be maintained by volunteers, but we need to be clear about that.
- Paul Atwood would like the trail to be 5 ft. wide.
- The routing of trail within the easement shall hug the northern edge of easement area but may meander.
- The suggestion is to relocate the proposed plantings to the northern edge of the easement on Lot 4.
- If there is signage, the developer would propose up to four signs at the location and work with Open Space Committee and Trail Club to come up the language and location of signs. The Board thought smaller signs would be better. The Board would like to see the samples of the signs.
- There will be stairs from Copper Drive to the western end of the trail.
- Look at indemnification for the owner of Lot 4.

The Board will look at the previously provided draft trail easement and it will need to be reviewed by Town Counsel.

A formal field change document will be prepared for the Board to act on at its next meeting.

Field Change Discussion – Milford Regional Hospital Medical Facility Site Plan:

The Board is in receipt of the following: (See Attached)

- Letter dated December 19, 2022 regarding proposed field change – Guerriere and Halnon
- Sketch plan dated December 20, 2022 – Guerriere and Halnon
- Email dated January 4, 2023 from Tetra Tech

Engineering Manager Amanda Cavalieri from Guerriere and Halnon was present via Zoom. She explained that while G & H was preparing the ANR plan, their research revealed that there is an existing access drive easement, that was not depicted on the approved plan. The proposed building encroaches 2.6' into said easement. The request is to adjust the building footprint and associated parking 2.8' to the west. It was noted that this change also needs to be approved by the Conservation Commission. Consultant Bouley has reviewed the letter and plan and letter regarding the field change from Guerriere and Halnon and has no issues with what has been provided.

On a motion made by Bob Tucker, seconded by Jessica Chabot, the Board voted unanimously to approve the field change for Milford Regional Site Plan.

Salmon Willows Performance Security:

The Board is in receipt of the following: **(See Attached)**

- Tetra Tech punch list and bond estimate dated 12-20-22 for Willowside/Black Brook Realty (\$157,492)
- Tetra Tech preliminary bond estimate dated 12-20-22 for the rest of the Salmon site and the paving of all roadways (\$495,118.00)
- Letter dated 1-4-23 from John Burns, Black Brook Realty
- Proposed surety performance security agreement
- Map showing the 27 subject properties included in Unit 3B area which are owned by Black Brook

Willowside developer John Burns and attorney Rob Anctil were present via Zoom. The Board was reminded that at the December 13, 2022 meeting, the Board voted to release 5 locations from the Salmon covenant (without any replacement security) so that occupancy permits could be issued for those 5 homes. The Board had indicated at that time that no further releases could be obtained without the developer providing a form of replacement security. Mr. Burns now asks the Board to release the remaining 22 properties from the covenant. These pertain only to the Willowside portion of the site which he owns.

NOTE - Member Raposa joined the meeting in person at 7:53 p.m.

Consultant Tetra Tech prepared 2 bond estimates for review **(See Attached)**:

- REVISED Willowside (Black Brook) for \$75,809 (does not cover roadway paving)
- NEW separate estimate for \$158,960 to cover the remaining work for which Salmon is responsible (primarily road paving)

Mr. Burns communicated that the bond estimate has been adjusted in the amount of \$75, 809.00. The surety bond will be with Arch Insurance Company. Attorney Anctil had provided a draft performance agreement which has been edited by Town Counsel **(See Attached)** and provided to attorney Anctil.

Board members were clear that performance security needs to be in place before any more houses are released from the covenant. There was discussion about having two bonds in place, one with Black Brook and one with Salmon, versus just one. There was a map shown on the

screen of the noted Unit 3B area owned by Black Brook (27 houses). The requested release would be for 22 more units. It is unclear whether Salmon is willing to provide the second performance security.

One suggestion was to release 14 lots and hold the other 8. There was a suggestion to release based on work competition. The Board will discuss this further at the January 24, 2023 meeting. The paperwork will be prepared for the next meeting.

MBTA Communities:

The Board is in receipt of the following: **(See Attached)**

- Collection of maps showing potential MBTA Multi-family Housing

Director of Planning and Economic Development Barbara Saint Andre was present via Zoom to discuss the action plan the Town needs to submit to DHCD for the MBTA multi-family zoning program. The Board was informed that there was a meeting with the Select Board on January 2, 2023 in regard to the options for parcels for the MBTA Communities. There was a share screen of the options. There was discussion for an overlay area on Village Street. This area was noted on the screen share map. The Board recommended including this. The town action plan needs to be submitted to DHCD by the end of the month. There would need to be a joining of potential acres to meet the criteria. Once the plan is submitted, the Town will solicit planning consultants to help with evaluating parcels and preparing zoning bylaw amendments.

Public Comments:

Resident, Steve Brody, 39 West Street:

Resident Brody was present to recommend that parcels on Village Street be included in the possible MBTA plan. He would also like his parcel at 39 West Street included. This land is already being developed. The proposal which Mr. Brody wrote along with map will be provided to the Community and Economic Development office.

Resident, Frank Panachelli, 116 Summer Street:

Mr. Panachelli asked about the process for the MBTA zoning. He also wanted to know if there is private funding for this mandate. He is questioning if it is beneficial to include his property. It was recommended that he contact the PEDB office if he needs answers to other questions.

Construction Reports:

The Board is in receipt of the following: **(See Attached)**

Bright Path Child Care:

- Field Report #1 dated 12/6/2022 Tetra Tech
- Field Report #2 dated 12/8/2022 Tetra Tech
- Field Report #3 dated 12/9/2022 Tetra Tech

William Wallace Village

- Construction Inspection Report 12/21/2022 from Legacy Engineering

288 Village St.

- Construction Progress Report, dated 12/19/2022 from Land Planning

Cutler Place

- Progress Report dated 12/30/2022 from Ron Tiberi

OTHER BUSINESS

Member Chabot wanted to know if the Board can suggest a field change for Bright Path which would include adding bollards on the north side of the building. This was also suggested at the preconstruction meeting by Tetra Tech. Such a field change will be suggested to the applicant.

NOTE - Member Tucker left the meeting at 9:00 pm.

Zoning Bylaw Amendments:

The Board is in receipt of the following: **(See Attached)**

- List of possible ZBL amendment ideas
- Contracting Services – revised from fall town meeting
- Electric Vehicle parking
- Site Plan re: sidewalk construction on frontage roads
- Limitations on metal roofs in the groundwater protection district
- Oak Grove Tables
- Early Suburban Zoning District Ideas

Resident Charlie Myers was present by Zoom to discuss Zoning Bylaw amendments. He is looking to put together some language to address home based businesses and the contractor's yard as it relates to outdoor storage. There are currently gray areas within how this is written. He would like neighborhoods to be able to maintain their character. It was suggested to look at the definitions as related to the type of heavy vehicles and the placement of those relating to setbacks on a residential property. There needs to be clarity on what kind of commercial vehicles and the weight classifications. Mr. Myers will provide some language for the Board to review.

Contracting Services:

This proposed article would rework the version that had been initially proposed for the November 2022 town meeting but was ultimately withdrawn.

EV Parking:

This article is to amend the language currently with a reference to the Standard SAE J1772 for EVSE vehicles. There is also a change to require at least 20% EV charging stations and 30% EV Spaces. There is a concern about how the percentages were determined. There needs to be more rationale for the noted percentages.

Site Plan Amendments:

This language is to amend Section 3.5.4 procedures for Site Plan Review, I.3. It would eliminate the option for an applicant to construct sidewalks elsewhere in the community. The option for a developer to make a payment in lieu of sidewalk construction on site would remain.

Amendment to Groundwater Protection District

This article is to see if the Town will vote to amend the Zoning Bylaw Section 5.6.3, prohibited uses by adding language that metal roofs are not allowed on any building in the Groundwater Protection district unless runoff from such roofs is mitigated in accordance with MA DEP standards. Groundwater protection districts are the areas from which the public water supply is drawn. The Board would like to discuss this further and get documentation regarding the concerns about run off from metal roofs.

Oak Grove Amendments:

The amendments of this section 9.4.C.1.C were discussed at a previous meeting.

Amendment to Section 6 Dimensional Requirements:

This article came as a recommendation from the Building Commissioner. This would be to amend this to remove the language gross floor and just leave area. There would also be the addition of a new subsection “nothing herein shall prevent the projection of steps, porches This will be discussed at another meeting.

PEDB MEETING MINUTES:

December 13, 2022 (regular)

On a motion made by Sarah Raposa, seconded by Jessica Chabot, the Board voted to approve the minutes from December 13, 2022. (No Bob Tucker)

Roll Call Vote:

Sarah Raposa	aye
Jessica Chabot	aye
Matt Hayes	aye

December 13, 2022 (executive session)

On a motion made by Sarah Raposa, seconded by Jessica Chabot, the Board voted to approve the minutes from December 13, 2022. (No Bob Tucker)

Roll Call Vote:

Sarah Raposa	aye
Jessica Chabot	aye
Matt Hayes	aye

2 Marc Road Site Plan Modification Plan Endorsement:

The Board is in receipt of the following: (See Attached)

- Modified Site Plan presented for endorsement prepared by Legacy Engineering dated December 28, 2022
- Plan Endorsement sign off email dated January 4, 2023 from Steve Bouley
- Certification of taxes paid dated December 29, 2022 from Medway Treasurer's office
- Certificate of No Appeal dated January 4, 2023 from Medway Town Clerk

On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted by roll Call vote to endorse the site plan for 2 Marc Road.

Roll Call Vote:

Sarah Raposa	aye
Jessica Chabot	aye
Matt Hayes	aye

Board members will sign the plan at the conclusion of the meeting

Newton Lane Street Acceptance Plan:

The Board is in receipt of the following: **(See Attached)**

- Street acceptance plan dated 10-7-2022 prepared by CMG Engineering Services and O'Driscoll Land Surveying.

The November 14, 2022 Town Meeting voted to accept Newton Lane as a public street. At its January 3, 2023 meeting, the Select Board it was voted to accept the various deeds and easements to convey Newton Lane, the open space parcel, and various utility easements to the Town.

On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted by roll Call vote to endorse the street acceptance plan for Newton Lane.

Board members will sign the plan at the conclusion of the meeting.

Revisions to Site Plan Rules and Regulations:

The Board is in receipt of the following: **(See Attached)**

- Further revised draft dated January 6, 2023
- Notes on tree replacement formulas

The following was recommended:

- Revision language to the purpose
- Definitions: Development Project, Drive Aisle and Driveway, Land disturbance, Mitigation Plan, Pedestrian Walkway, and private roadway.
- The definition to sidewalk was also revised
- There were also minor work clarifications through the document
- Recommended to take out Section 203.4 regarding to completeness review
- Inclusion in Section 204-3 Acknowledgement statement

- Language has been added to include low impact design, description of energy conservation and sustainability measures which are to be in site and building design.

The Board agreed to have a special meeting on February 9, 2023 to continue work on the Site Plan Rules and Regulations.

NEXT PEDB MEETING:

- January 24, 2023

ADJOURN:

On a motion made by Jessica Chabot, seconded by Sarah Raposa, the Board voted unanimously to adjourn the meeting.

The meeting was adjourned at 10:00 p.m.

Prepared by,
Amy Sutherland
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator



January 10, 2023
Medway Planning & Economic Development Board
Meeting

Master's Touch Site Plan – 83 Main
Street

- Notice dated 11-23-22 to continue the public hearing to January 10, 2023
- Email dated 1-4-2023 withdrawing the site plan application

PEDB should vote to accept the applicant's request to withdraw its site plan application without prejudice.

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Sarah Raposa, A.I.C.P., Clerk
Jessica Chabot, Member
Thomas Gay, Associate Member



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155 Village Street
Medway, MA 02053
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www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
**PLANNING AND ECONOMIC
DEVELOPMENT BOARD**

RECEIVED TOWN CLERK
NOV 23 '22 AM 11:26

MEMORANDUM

November 23, 2022

TO: Stefany Ohannesian, Town Clerk
Town of Medway Departments, Boards and Committees

FROM: Susy Affleck-Childs, Planning and Economic Development Coordinator

RE: **Public Briefing Continuation for Master's Touch Site Plan, 83 Main Street**
Continuation Date – Tuesday, January 10, 2023 at 7:00 p.m.

At its November 22, 2022 meeting, the Planning and Economic Development Board voted to continue the public briefing on the application of Master's Touch of Holliston, MA for approval of a minor site plan for redevelopment of 83 Main Street to the Board's meeting on Tuesday, January 10, 2023 at 7:15 p.m. at Medway Town Hall, 155 Village Street. The meeting will also be available via Zoom.

The applicant proposes to improve and expand the existing building, renovate the building façade, construct a new building at the back of the site for storage, and add a series of site improvements to the property at 83 Main Street. Planned site work includes construction of a paved parking area, driveway extension, stormwater management facilities, and a second curb cut on Main Street. The property will be used by Master's Touch, a custom home design build construction and remodeling firm, for its offices, showroom, and storage.

The subject property (Map 40, Parcel 79) is owned by DEM Realty Enterprises, LLC of Holliston, MA. It is located in the Central Business zoning district on the south side of Main ST (Route 109).

The application documents and site plan are on file with the Medway Town Clerk and at the office of the Planning and Economic Development Board at Medway Town Hall, 155 Village Street and may be reviewed during regular business hours. The documents are also posted at the Board's web page at: <https://www.townofmedway.org/planning-economic-development-board/pages/masters-touch-site-plan-83-main-street>

Please do not hesitate to contact me if you have any questions at 508-533-3291. Thanks.

Susan Affleck-Childs

From: Jacob Gadbois <jake@masterstouchweb.com>
Sent: Wednesday, January 4, 2023 6:03 AM
To: Susan Affleck-Childs
Subject: [External] 83 Main St

Hi Susan,

Please withdraw our application for site plan approval for the proposed development at 83 Main St. Asking the board to withdraw without prejudice, and refund balance of plan review fees.

Best
Jacob

Jacob Gadbois, PMP

Program Manager
Masters Touch Design Build
24 Water Street
Holliston, MA 01746
P. 508-359-5900 x 219

We Build Trust.

www.masterstouchweb.com | [MTDB on Facebook](#) | [Blog](#) | [MTDB on Houzz](#) | [MTDB on YouTube](#)



January 10, 2023
Medway Planning & Economic Development Board
Meeting

Choate Trail Subdivision – Field Change
Discussion re: Trail Location

UPDATED

At the 12-13-22 PEDB meeting, the PEDB discussed various issues related to the location of the trail along the southern edge of Lot 4 (2 Copper Drive) at the Choate Trail subdivision (Copper Drive) located off of Highland Street. Members were briefed on the site visit that occurred in late November attended by Sarah Raposa and Matt Hayes, abutters, developer Bob Pace, Open Space Committee member Denise Legee, and PEDB consulting engineer Steve Bouley. The Board was firm in its commitment to retain the current location of the 15' wide trail easement as is shown on the endorsed and recorded subdivision plan.

Attached is a summary of key points. This may serve as the start of a draft Field Change document. I have provided these notes to Bob Pace, as he requested. I also asked him to provide information on what form of steps he will install to provide access from Copper Drive to the trail. He and his project engineer, Vito Colonna of Connorstone Engineering will Zoom in for the meeting. I will also notify the interested abutters.

Also provided is a marked up version of my summary of key points with comments and clarifications provided by Vito Colonna after consultation with Bob Pace.

The Board also asked for a communication from the Open Space Committee regarding the trail. The OSC discussed this at its January 3rd meeting. ~~A letter from the OSC is forthcoming.~~
A memorandum from Denise Legee, OSC Co-Chair is provided.

Choate Trail – Proposed Field Change Summary

sac notes 12-29-22

- The existing 15' wide trail easement as shown on Lot 4 (now known as 2 Copper Drive) of the endorsed Choate Trail Way definitive subdivision plan shall remain as presently located.
- The trail within the easement area will be constructed three feet wide. What sort of surface shall be placed on the trail? Stone dust? (**MORE DETAIL NEEDED HERE**. The endorsed plan states the *dirt* trail will be 5' wide.)
- The routing of the trail within the easement shall hug the northern edge of the easement area but may meander where needed to go around and preserve large trees. Underbrush will be retained to provide natural buffering for the adjacent residential neighbors.
- Felled small trees from the trail construction shall be placed south of the trail on the abutters side of the easement area in order to deter trail users from walking onto the abutters' properties.
- Developer will install plantings (rhododendrons) along the stone wall and boulders which have been placed along the northern edge of the easement area (**MORE DETAIL NEEDED HERE**. Will these plantings be within the easement area or outside the easement area?)
- Developer will provide berm along breaks in the existing stone wall at 40 Highland Street. (**MORE DETAIL NEEDED HERE**)
- Developer will provide smaller rocks that are removed during trail construction to the owners of 38 Highland Street for placement along their property line by those owners.
- "No Trespassing" trail signage or comparably worded signs and trail blazes will be placed along the trail route. The developer shall provide and install such signs after working with the Medway Open Space Committee to determine the precise language and locations.
- The developer shall install suitable steps or stairs (precast concrete or granite curb stones) to connect Copper Drive to the western end of the trail.
- The above noted work shall be completed to the Board's satisfaction before the occupancy permit is issued for the last house in the subdivision.

We note the following:

- The endorsed Choate Trail subdivision plan specified the installation of approximately 76 native evergreen shrubs along on the southern property line and edge of trail easement at 2 Copper Drive, approximately 380 feet long, as a buffer for the adjacent neighbors at 38 and 40 Highland Street.
- On August 16, 2021, the Board approved a field change to require the developer to install an alternating mix of 2' diameter boulders with 38 varied evergreen plantings (3 gallon size) along the 380' long southern boundary of the trail easement area for screening purposes. This is instead of 76 shrubs. (IT IS NOT CLEAR WHETHER any of 38 evergreen plantings are to be included with this new field change.)

Choate Trail – Proposed Field Change Summary

sac notes 12-29-22

VC note 1-6-23

- The existing 15' wide trail easement as shown on Lot 4 (now known as 2 Copper Drive) of the endorsed Choate Trail Way definitive subdivision plan shall remain as presently located.
Acceptable – No comment
- The trail within the easement area will be constructed three feet wide. What sort of surface shall be placed on the trail? Stone dust? (MORE DETAIL NEEDED HERE. The endorsed plan states the *dirt* trail will be 5' wide.)
Reduced width to 3 feet is acceptable and intent is to remain a dirt path as originally discussed and approved
- The routing of the trail within the easement shall hug the northern edge of the easement area but may meander where needed to go around and preserve large trees. Underbrush will be retained to provide natural buffering for the adjacent residential neighbors.
Acceptable – No comment
- Felled small trees from the trail construction shall be placed south of the trail on the abutters side of the easement area in order to deter trail users from walking onto the abutters' properties.
Acceptable – No comment
- Developer will install plantings (rhododendrons) along the stone wall and boulders which have been placed along the northern edge of the easement area (MORE DETAIL NEEDED HERE. Will these plantings be within the easement area or outside the easement area?)
The intent would be to relocate the proposed plantings to the northern edge on Lot 4, which may allow the plants increased ability to grow (sunlight, space, etc.). The plantings had not been intended as in addition to the approved planting.
- Developer will provide berm along breaks in the existing stone wall at 40 Highland Street. (MORE DETAIL NEEDED HERE) To be discussed as a possible item where the areas could be infilled with low berm as a visual distinction of the easement.
- Developer will provide smaller rocks that are removed during trail construction to the owners of 38 Highland Street for placement along their property line by those owners. Any rocks removed during the installation could be offered to the abutter.
- "No Trespassing" trail signage or comparably worded signs and trail blazes will be placed along the trail route. The developer shall provide and install such signs after working with the Medway Open Space Committee to determine the precise language and locations. If signage is requested, the Developer would proposed up to four signs at the location and design of their choosing.
- The developer shall install suitable steps or stairs (precast concrete or granite curb stones) to connect Copper Drive to the western end of the trail. The Developer would propose 4 to 5 foot wide precast concrete or granite curb stone steps, to be set into the embankment.
- The above noted work shall be completed to the Board's satisfaction before the occupancy permit is issued for the last house in the subdivision.

We note the following:

- The endorsed Choate Trail subdivision plan specified the installation of approximately 76 native evergreen shrubs along on the southern property line and edge of trail easement at 2 Copper Drive, approximately 380 feet long, as a buffer for the adjacent neighbors at 38 and 40 Highland Street.
- On August 16, 2021, the Board approved a field change to require the developer to install an alternating mix of 2' diameter boulders with 38 varied evergreen plantings (3 gallon size) along the 380' long southern boundary of the trail easement area for screening purposes. This is instead of 76 shrubs. (IT IS NOT CLEAR WHETHER any of 38 evergreen plantings are to be included with this new field change.)

Committee Members

Tina Wright, Co-Chair
Denise Legee, Co-Chair
Charlie Ross, Clerk
Andrea Burke, Member
Laura Connolly, Member
Mike Francis, Member
Tara Rice, Member
Jim Wickis, Member
Joanne Williams, Member



TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

OPEN SPACE COMMITTEE

Medway Town Hall
155 Village Street
Medway, MA 02053
Telephone (508) 321-4890
Email: openspacecommittee@townofmedway.org
www.townofmedway.org

January 9, 2023

To: PEDB

From: Denise Legee, Open Space Committee Co-Chair

RE: Proposed trail at Choate Trail Subdivision

The Open Space Committee has reviewed the plan for proposed trail at the Choate Trail Subdivision. The trail will be located on a 15-foot-wide easement on lot four, 2 Copper Drive which will connect to the High School to Choate Trail behind the baseball field. It is a priority to have access to our trail system from as many locations as possible. In a vote at our January 3rd meeting with all in attendance the committee unanimously voted to support the development of the trail.

We strongly recommend keeping the large mature trees so the trail should meander through the easement around those trees. The committee is available to help with mapping out the exact location and with creating the necessary signage.

cc: Open Space Committee

LOT DEVELOPMENT NOTES:

- HYDRANTS ARE TO BE INSTALLED PRIOR TO BUILDING CONSTRUCTION.
- ROADWAY TO BE PAVED AND MAINTAINED PRIOR TO BUILDING CONSTRUCTION.
- EACH LOT SHALL BE PROVIDED WITH A POST LIGHT AT THE DRIVEWAY ENTRANCE.

APPROVED STREET TREES:
SHADEMASTER, HONEY AND SKYLINE LOCUST
SUGAR MAPLE:
WHITE, SCARLET, PIN AND NORTHERN RED OAK;
BRADFORD AND ARISTOCRAT PEAR;
LONDON PLANE TREE

MINIMUM OF 3 SPECIES TO BE PLANTED.
STAGGER LAYOUT SO THAT NO ONE SPECIES
SHALL BE PLANTED NEXT TO A LIKE SPECIES

MITIGATION PLANTING AREA
10 - HIGHBUSH BLUEBERRY (*vacinium corymbosum*)
10 - SWEET PEPPER BUSH (*clethra alnifolia*)
10 - SMOOTH WINTERBERRY (*lex laevigata*)
PLANTED 6" O.C. W/ NATURAL MULCH ROUND COVER

POLE #33 TO BE EQUIPPED
WITH A TOWN OF MEDWAY
APPROVED STREETLIGHT
LOCATION OF THE STREETLIGHT
MAY BE ADJUSTED PER THE
DECISION OF THE MEDWAY
SAFETY OFFICER.
STREET LIGHT SHALL BE
"AUTOBAHN SERIES ATBX" BY
AMERICAN ELECTRIC LIGHTING,
OR AS SPECIFIED BY THE
TOWN OF MEDWAY. PRODUCT
SPECIFICATIONS SHALL BE
SUBMITTED TO, AND APPROVED
BY THE TOWN PRIOR TO
INSTALLATION.

PROPOSED OVERHEAD
LINES TO NEW POLE

PAINTED "STOP" & STOP LINE

CONNECT TO EXISTING WATER MAIN
WITH TAPPING SLEEVE AND GATE VALVE

TEST PITS SHALL BE PERFORMED PRIOR
TO CONSTRUCTION TO VERIFY THE
LOCATION, SIZE, MATERIAL AND CONDITION
OF THE EXISTING MAIN.

TWO (2) 5" EXISTING MAPLE
TREES TO BE PROTECTED
AND PRESERVED FOR
TRANSPLANTING ON-SITE.

CONSTRUCTION NOTES:

1. EXISTING UTILITY LINES SHOWN ON THIS DRAWING ARE FROM AVAILABLE
INFORMATION AND ARE APPROXIMATE LOCATIONS. THE ENGINEER DOES NOT
GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE
STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND
INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO
THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL
BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL CONTACT
DIG SAFE: 1-800-344-7233 (72 HOURS BEFORE DIGGING), AND TOWN DPW FOR
UTILITY LOCATIONS PRIOR TO EXCAVATION. TEST PITS SHALL BE UTILIZED FOR
UTILITY CONNECTIONS.

2. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL BE IN CONFORMANCE
WITH THE STANDARDS AND SPECIFICATIONS MEDWAY DEPARTMENT OF PUBLIC
WORKS, OR THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT
(MHD) CONSTRUCTION STANDARDS AND THE MHD STANDARD SPECIFICATIONS FOR
HIGHWAYS AND BRIDGES, WHICHEVER IS MORE STRINGENT.

3. THE LAYOUT AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CATV
UTILITY CONNECTIONS AND SERVICES SHALL IN ACCORDANCE WITH THE
REQUIREMENTS OF THE RESPECTIVE UTILITY.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS
WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS. CONTRACTOR
SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING
ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK
IS COMPLETED AND ACCEPTED.

5. WORK WITHIN THE HIGHWAY LAYOUT, IF APPLICABLE, SHALL CONFORM TO THE
CONDITIONS OF THE PERMIT ISSUED BY THE MASSACHUSETTS HIGHWAY
DEPARTMENT AND/OR LOCAL AUTHORITY AS APPROPRIATE.

6. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY
TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING
CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA
STANDARDS.

7. ALL SIGN SIZES AND MATERIAL SHALL CONFORM TO THE "MANUAL ON
UNIFORM TRAFFIC DEVICES" (MUTCD) AND THE OFFICE OF TRAFFIC OPERATIONS,
FEDERAL HIGHWAY ADMINISTRATION, U.S. DEPARTMENT OF TRANSPORTATION.

8. ALL RAMPS, CURB CUTS, SIDEWALKS, AND ACCESSIBLE SPACES SHALL
COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REGULATIONS AND WITH
ARCHITECTURAL ACCESS BOARD REGULATIONS (521 CMR 1-47).

9. ALL EXCAVATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE
WITH THE LATEST EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT
(MHD) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTIONS 120,
140, 150, AND 170.

ROADWAY PLAN VIEW:

1"=40' HORIZONTAL

PROPOSED CONSERVATION
MARKERS AT 25' BUFFER (17)

N/F
JAMES & MELISSA BABINEAU
MAP 37, PARCEL 68
DEED BK. 35551, PG. 363

SLOPE TO BE PLANTED WITH
NATIVE SEED MIX BY NEW ENGLAND
WETLAND PLANTS, INC.

SPLIT RAIL FENCE
STATION 1+30 - 4+40 RIGHT SIDE

LOT 1

SLOPED GRANITE CURBING
THROUGHOUT EXCEPT AS
NOTED AT ROUNDINGS

STREET NAME SIGN
AND STOP SIGN

SUBSURFACE DRAIN SYSTEM

COPPER DRIVE

INSPECTION PORT (TYP.)
FRAME AND COVER TO GRADE

PROPOSED SNOW STORAGE
ALONG RIGHT ROAD SHOULDER
AND BEYOND 50' OF WETLANDS

VERTICAL GRANITE CURB
AT ENTRANCE ROUNDINGS R=40'

RELOCATE HYDRANT TO
ROAD SHOULDER

BENCHMARK
HYDRANT BOLT
ELEV.=262.05
(NAVD 1988)

HIGHLAND STREET
(VAR. WIDTH - PUBLIC WAY)

20' WIDE RIGHT-OF-WAY

100' BUFFER ZONE

100' BUFFER ZONE

100' BUFFER ZONE

100' BUFFER ZONE

100' BUFFER ZONE

100' BUFFER ZONE

100' BUFFER ZONE

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100' BUFFER ZONE

100' BUFFER ZONE

WATER SYSTEM NOTES:

WATER MAINS, WITH HYDRANTS, VALVES AND OTHER FITTINGS, SHALL BE
CONSTRUCTED AND INSTALLED WITHIN THE SUBDIVISION AS NECESSARY TO
PROVIDE TO ALL LOTS THEREIN ADEQUATE WATER SUPPLY FOR DOMESTIC
AND FIRE PROTECTION USE. WATER FACILITIES MUST CONFORM TO THE
MEDWAY WATER RULES AND REGULATIONS, WHICH ARE UNDER THE
JURISDICTION OF THE WATER AND SEWER DEPARTMENT. PROPER
CONNECTIONS SHALL BE MADE WITH EXISTING PUBLIC WATER SYSTEMS.
WATER LINES SHALL BE AT LEAST 8-INCH DIAMETER CEMENT-LINED
DUCTILE IRON, CLASS 52 OR GREATER, OR AS CURRENTLY REQUIRED BY
THE TOWN OF MEDWAY WATER AND SEWER DEPARTMENT AND SHALL BE
FURNISHED WITH ADEQUATE VALVES AND APPURTENANCES TO THE
SPECIFICATIONS OF THE TOWN OF MEDWAY WATER AND
SEWER DEPARTMENT. MINIMUM FIVE FEET OF COVER SHALL BE PROVIDED
OVER ALL PROPOSED WATER MAINS AND SERVICES. APPROPRIATE THRUST
BLOCKING SHALL BE INSTALLED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO KEEP
ACCURATE MEASUREMENTS / RECORDS OF THE WATER MAIN AND SERVICE
INSTALLATION INCLUDING DEPTH, LOCATION, MATERIALS, ETC.

BOARD OF HEALTH NOTES:

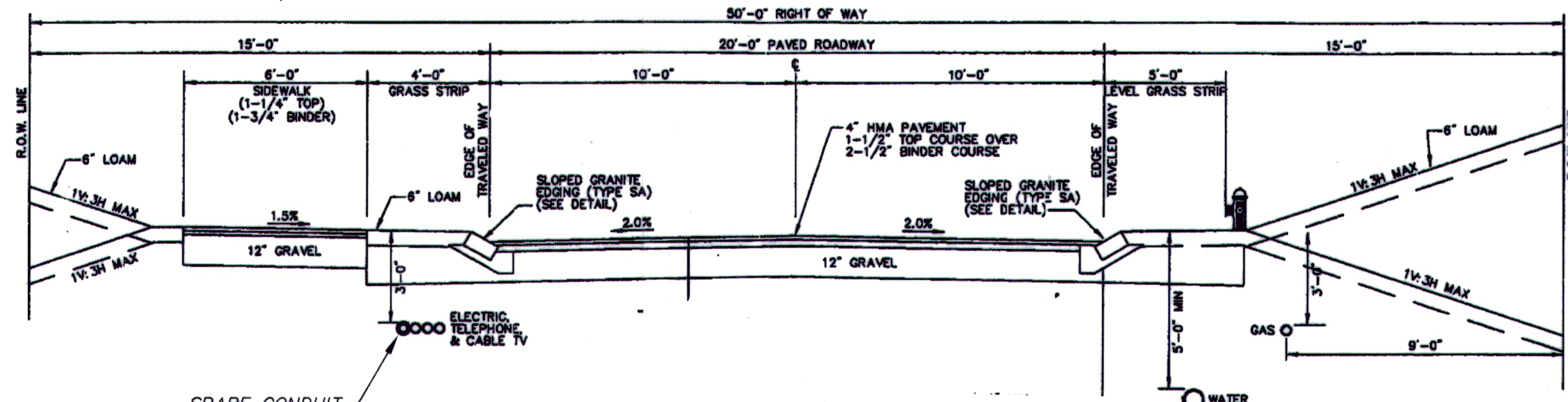
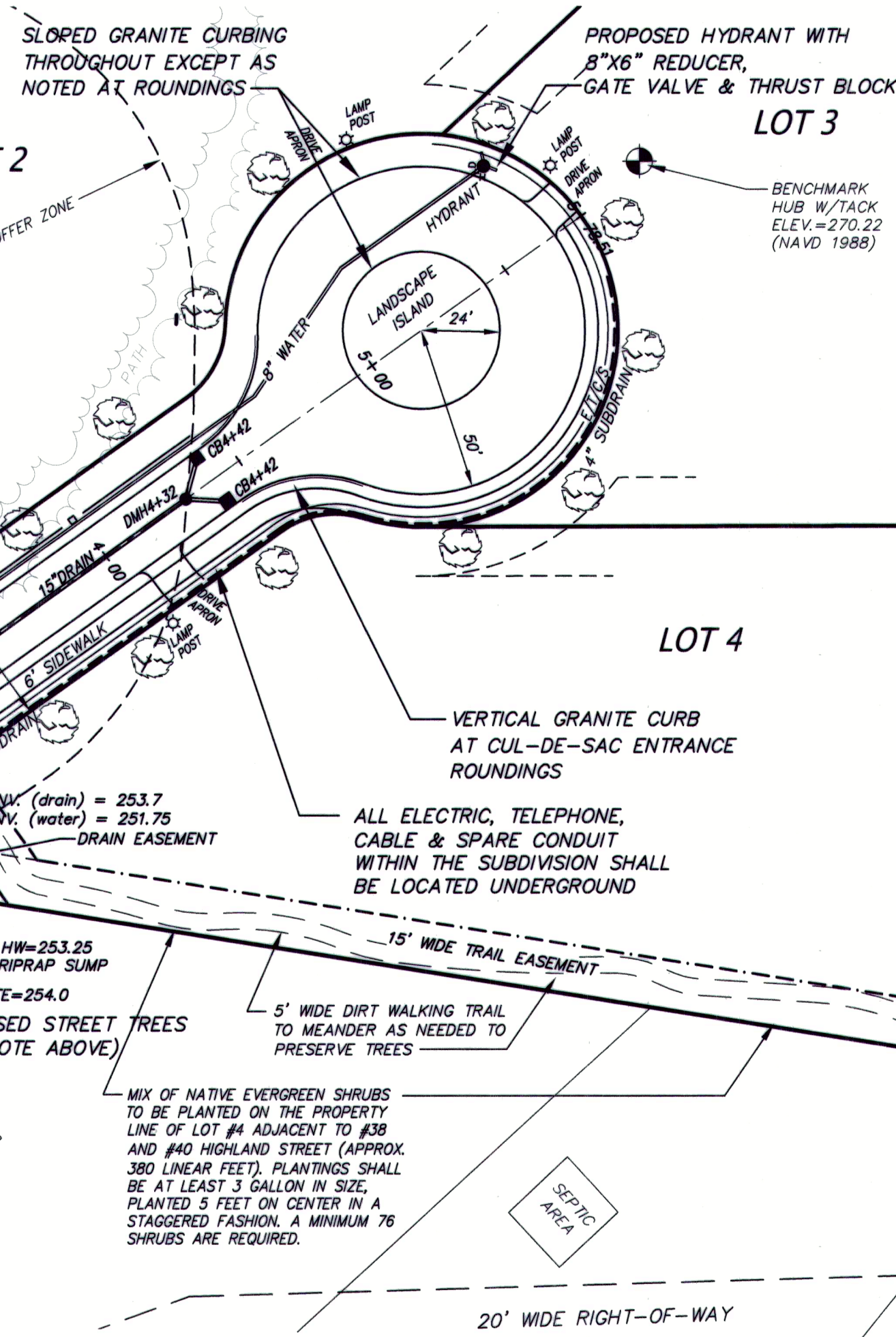
NO DWELLING WILL BE CONSTRUCTED ON ANY LOT WITHOUT FIRST
SECURING FROM THE BOARD OF HEALTH THE DISPOSAL WORKS
CONSTRUCTION PERMIT REQUIRED BY TITLE 5 OF THE STATE
ENVIRONMENTAL CODE

ADA / AAB REQUIREMENTS:

ALL IMPROVEMENTS, RAMPS, CURB CUTS, SIDEWALKS, AND DRIVEWAY
CROSSINGS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT
REGULATIONS AND WITH ARCHITECTURAL ACCESS BOARD REGULATIONS
(521 CMR 1-47) IN FORCE AND EFFECTIVE AT THE TIME OF
CONSTRUCTION.

ZONED: AR-1
AREA = 44,000 sf
FRONTAGE = 180 feet
SETBACKS: FRONT = 35 feet
SIDE = 15 feet
REAR = 15 feet

ASSESSOR MAP 37, LOT 67



NEIGHBORHOOD STREET CROSS SECTION
NOT TO SCALE

NOTE: WHEN HYDRANTS ARE PROPOSED ON THE SIDEWALK SIDE OF THE ROADWAY
THE HYDRANT MUST BE LOCATED ALONG THE BACK OF WALK, WITHIN
ROADWAY LAYOUT IN ACCORDANCE WITH CURRENT ADA/AAB STANDARDS.

APPROVAL UNDER THE
SUBDIVISION CONTROL LAW,
IS REQUIRED.
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD

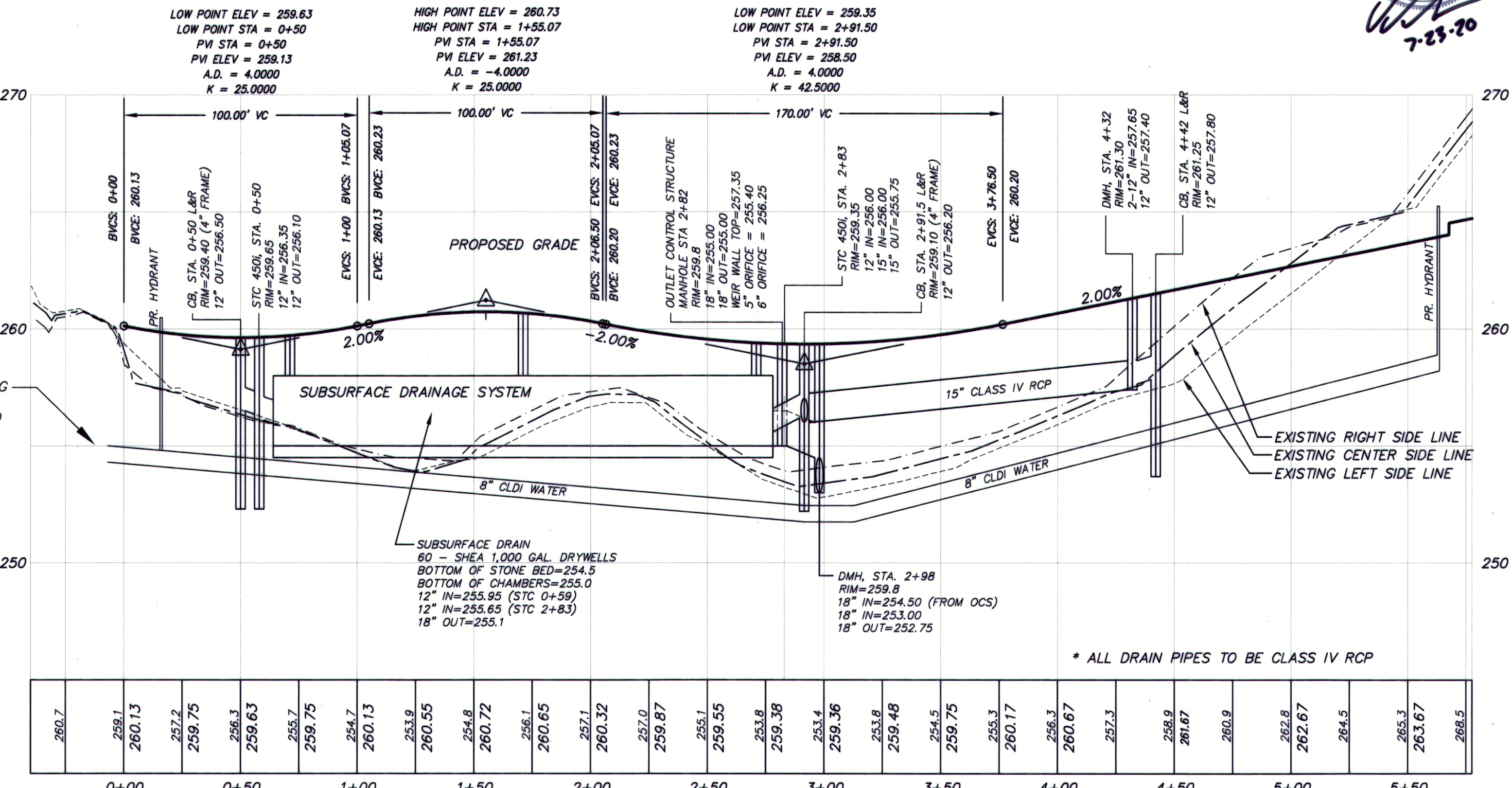
DATE: August 11, 2020

[Signature]
[Signature]
[Signature]



THIS PLAN IS SUBJECT TO A COVENANT
TO BE RECORDED HEREWITH.

THIS PLAN IS SUBJECT TO A CERTIFICATE
OF ACTION WHICH SHALL BE RECORDED
WITH THE PLAN AT THE NORFOLK COUNTY
REGISTRY OF DEEDS.



ROADWAY PROFILE:

1"=40' HORIZONTAL
1"=4' VERTICAL

NOTE:
PRESENT AND FUTURE OWNERS ARE SUBJECT TO A
DECLARATION OF PROTECTIVE COVENANTS & RESTRICTIONS
AND PRIVATE ROADWAY AGREEMENT GOVERNING THE
CHOATE TRAIL SUBDIVISION.

[Signature] CLERK OF THE TOWN OF MEDWAY
RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
OF THIS PLAN ON May 18, 2021 AND NO APPEAL WAS TAKEN
FOR TWENTY (20) DAYS THEREAFTER.

OWNER / APPLICANT:
THE RESIDENCES AT CHOATE TRAIL, LLC
17 GOLDFINCH LANE
NASHUA, NH 03062

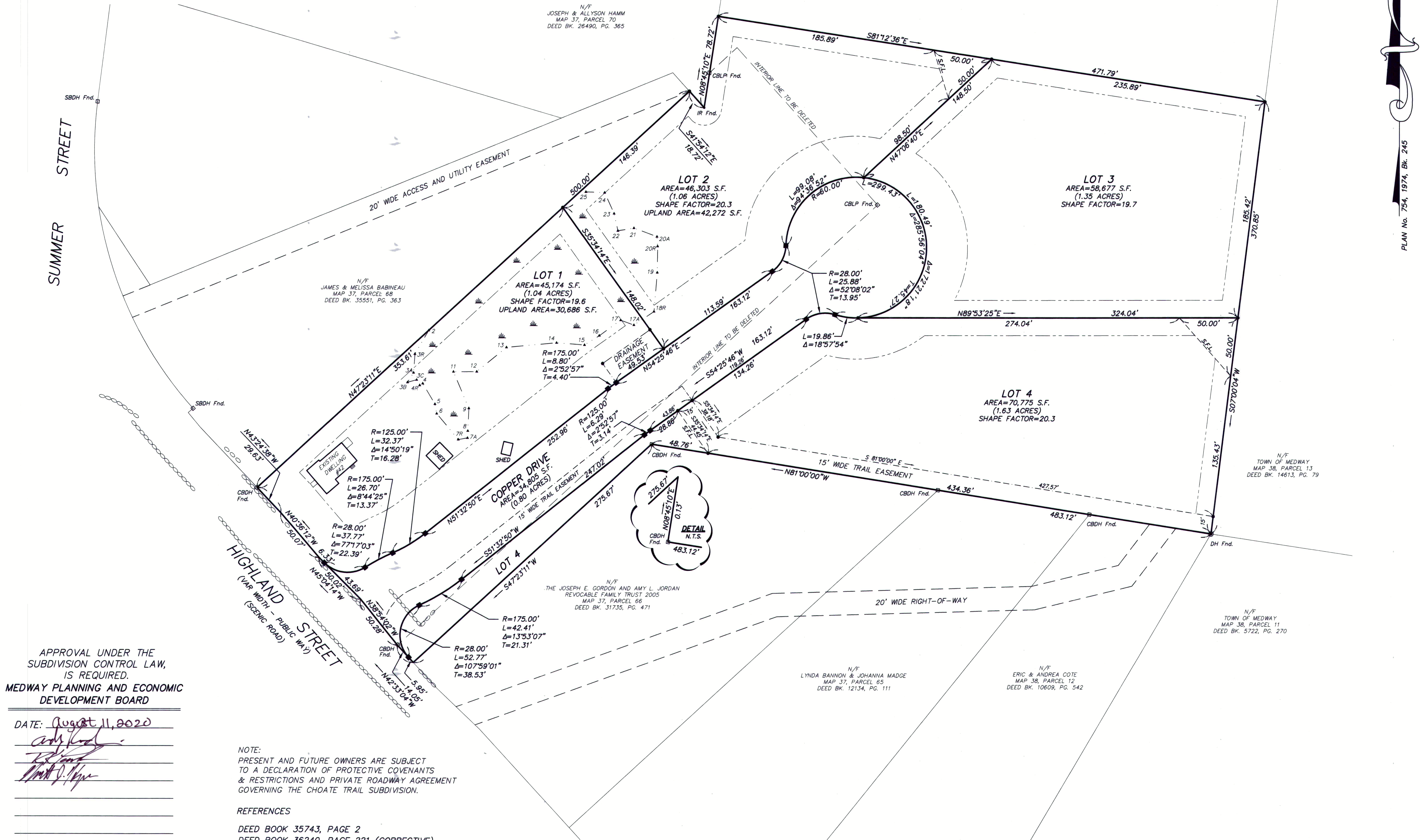
CONNORSTONE
ENGINEERING INC.
CIVIL ENGINEERS AND LAND SURVEYORS
10 SOUTHWEST CUTOFF, SUITE 7
NORTHBOROUGH, MASSACHUSETTS 01532
PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
ROADWAY PLAN & PROFILE
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

7/23/2020	CONDITIONS OF APPROVAL
4/16/2020	WET FLAG EDITS
3/19/2020	PEER REVIEW COMMENTS
3/9/2020	REVIEW COMMENTS
1/13/2020	REVIEW COMMENTS
1/3/2020	REVIEW COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: 1"=40'	SHEET 3 OF 8.

MONUMENTS

- SBDH Fnd. STONE BOUND W. DRILL HOLE FOUND
- CBDH Fnd. CONCRETE BOUND W DRILL HOLE FOUND
- IP Fnd. IRON PIPE FOUND
- IR Fnd. IRON ROD FOUND
- CONCRETE BOUND TO BE SET
- IRON ROD/CAP TO BE SET



- GENERAL NOTES:
- OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF MEDWAY ASSESSORS RECORDS.
 - THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY BY CONNORSTONE ENGINEERING INC. PERFORMED IN MARCH 2018.
 - LEGAL STATUS OF EASEMENTS AND WAYS, NOT DETERMINED BY THIS SURVEY.
 - WETLANDS SHOWN HEREON WERE FLAGGED BY THREE OAKS ENVIRONMENTAL WETLAND CONSULTING AND LOCATED ON-THE-GROUND BY CONNORSTONE ENGINEERING INC.

ZONED: AR-1
 AREA = 44,000 sf
 FRONTAGE = 180 feet
 SETBACKS: FRONT = 35 feet
 SIDE = 15 feet
 REAR = 15 feet

ASSESSOR MAP 37, LOT 67
 OWNER / APPLICANT:
 THE RESIDENCES AT CHOATE TRAIL, LLC
 17 GOLDFINCH LANE
 NASHUA, NH 03062

CONNORSTONE ENGINEERING INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 10 SOUTHWEST CUTOFF, SUITE 7
 NORTHBOROUGH, MASSACHUSETTS 01532
 PHONE: 508-393-9727 FAX: 508-393-5242

DEFINITIVE SUBDIVISION PLAN
LAND PLAN
CHOATE TRAIL WAY
IN
MEDWAY, MASS.

7/23/2020	CONDITIONS OF APPROVAL
4/16/2020	WET FLAG EDITS
3/19/2020	PEER REVIEW COMMENTS
3/9/2020	REVIEW COMMENTS
1/13/2020	REVIEW COMMENTS
1/3/2020	REVIEW COMMENTS
REVISED:	DESCRIPTION:
DRAWN BY: REM	CHECK BY: VC
DATE: NOVEMBER 8, 2019	
SCALE: 1"=40'	SHEET 2 OF 2.

APPROVAL UNDER THE
 SUBDIVISION CONTROL LAW,
 IS REQUIRED.
**MEDWAY PLANNING AND ECONOMIC
 DEVELOPMENT BOARD**

DATE: August 11, 2020
[Signature]
[Signature]
[Signature]

NOTE:
 PRESENT AND FUTURE OWNERS ARE SUBJECT
 TO A DECLARATION OF PROTECTIVE COVENANTS
 & RESTRICTIONS AND PRIVATE ROADWAY AGREEMENT
 GOVERNING THE CHOATE TRAIL SUBDIVISION.

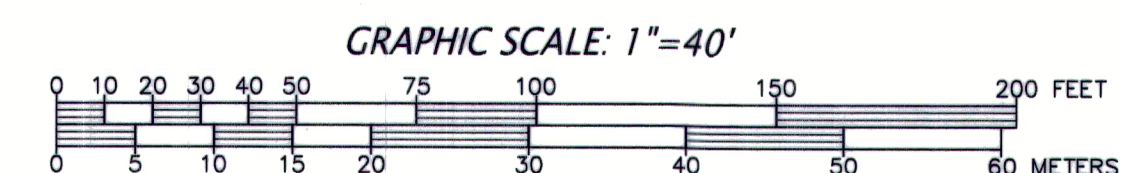
REFERENCES
 DEED BOOK 35743, PAGE 2
 DEED BOOK 36240, PAGE 221 (CORRECTIVE)

PLAN NUMBER 754 OF 1974, PLAN BOOK 245
 PLAN NUMBER 715 OF 1976, PLAN BOOK 257
 PLAN NUMBER 246 OF 1995, PLAN BOOK 429
 PLAN NUMBER 248 OF 1980, PLAN BOOK 280
 PLAN NUMBER 841 OF 1995, PLAN BOOK 435
 PLAN NUMBER 842 OF 1995, PLAN BOOK 435
 NORFOLK COUNTY REGISTRY OF DEEDS

I HEREBY CERTIFY THAT THIS PLAN
 WAS PREPARED IN CONFORMANCE WITH
 THE RULES AND REGULATIONS OF THE
 REGISTERS OF DEEDS.
[Signature] 7/23/20
 VAROUJAN H. HAGOPIAN, P.L.S. 49665



[Signature] CLERK OF THE TOWN OF MEDWAY
 RECEIVED AND RECORDED APPROVAL FROM THE PLANNING BOARD
 OF THIS PLAN ON May 18, 2020 AND NO APPEAL WAS TAKEN
 FOR TWENTY (20) DAYS THEREAFTER.



Committee Members

Tina Wright, Co-Chair
Denise Legee, Co-Chair
Charlie Ross, Clerk
Andrea Burke, Member
Laura Connolly, Member
Mike Francis, Member
Tara Rice, Member
Jim Wickis, Member
Joanne Williams, Member



TOWN OF MEDWAY

COMMONWEALTH OF MASSACHUSETTS

OPEN SPACE COMMITTEE

Medway Town Hall
155 Village Street
Medway, MA 02053
Telephone (508) 321-4890
Email: openspacecommittee@townofmedway.org
www.townofmedway.org

January 9, 2023

To: PEDB

From: Denise Legee, Open Space Committee Co-Chair

RE: Proposed trail at Choate Trail Subdivision

The Open Space Committee has reviewed the plan for proposed trail at the Choate Trail Subdivision. The trail will be located on a 15-foot-wide easement on lot four, 2 Copper Drive which will connect to the High School to Choate Trail behind the baseball field. It is a priority to have access to our trail system from as many locations as possible. In a vote at our January 3rd meeting with all in attendance the committee unanimously voted to support the development of the trail.

We strongly recommend keeping the large mature trees so the trail should meander through the easement around those trees. The committee is available to help with mapping out the exact location and with creating the necessary signage.

cc: Open Space Committee



January 10, 2023

**Medway Planning & Economic Development Board
Meeting**

**Field Change Discussion – Milford
Regional Hospital Medical Facility Site
Plan**

- Letter dated December 19, 2022 from Guerriere and Halnon outlining the need for a field change to reposition the building footprint and parking location on the site.
- Sketch plan dated December 20, 2022 by Guerriere and Halnon showing the originally planned layout and proposed revised layout.
- Email dated January 4, 2023 from Steve Bouley, P.E., Tetra Tech

NOTE – A comparable request has been made to the Conservation Commission for consideration at its meeting on 1-12-23.



Guerriere & Halnon, Inc.

ENGINEERING & LAND SURVEYING

www.gandhengineering.com

Est. 1972

Milford Office
333 West Street, P. O. Box 235
Milford, MA 01757-0235
(508) 473-6630/Fax (508) 473-8243

Franklin Office
55 West Central Street
Franklin, MA 02038-2101
(508) 528-3221/Fax (508) 528-7921

Whitinsville Office
1029 Providence Road
Whitinsville, MA 01588-2121
(508) 234-6834/Fax (508) 234-6723

F4516

December 22, 2022

Medway Planning Board
155 Village Street
Medway, MA 02053
Attn: Matthew Hayes, Chairman

***RE: Request for Field Change No. 1 –Building Footprint Adjustment
Milford Regional Medical Facility at 68A Main Street, Medway, MA (Formerly Permitted as 86
Holliston Street)***

Dear Members of the Board:

It has come to our attention, while preparing the 81P plan for the above referenced parcel, through extensive research, that there is an existing Access Drive Area Easement, that was not depicted on the approved plan set. The proposed building encroaches approximately 2.6' into said easement.

Therefore, on behalf of our client, Lobisser Companies, and in accordance with *Section VIII Conditions, General Conditions of Approval (W) On-Site Field Changes, of the Board's Decision dated September 27, 2022*, we are respectfully requesting the Board's consideration to allow a field change that would adjust the building footprint and associated parking approximately 2.8' to the west of the previously approved location to move the structure outside the limits of the Access Drive Area Easement. We have enclosed a sketch plan depicting the approved site layout with a red line overlay of the requested field change for your consideration.

As shown on the attached sketch, the proposed field change does not substantially alter the intent, layout, or design of the approved plan. Should you have any further questions or require additional information, please contact our office.

Sincerely,
Guerriere & Halnon, Inc.

Amanda Cavaliere





















Amanda Cavaliere
Franklin Office Manager

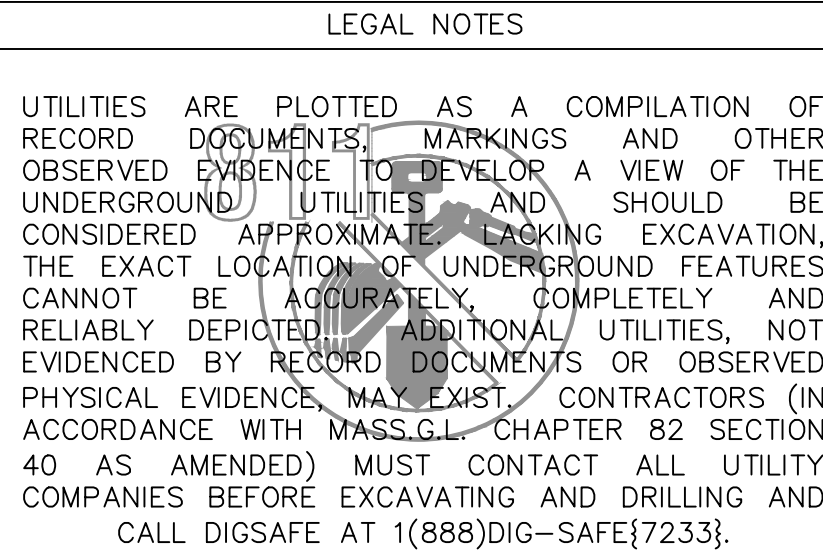
Attachments

<h1 style="text-align: center;">ZONING DISTRICT</h1> <h2 style="text-align: center;">CENTRAL BUSINESS</h2>		
	<i>REQUIRED</i>	<i>PROPOSED</i>
MIN. LOT AREA	10,000 SF	100,222 SF
MIN. LOT FRONTAGE	NA ^f	300.00 FT
<i>MIN. YARD SETBACKS</i>		
FRONT	10 FT	112.3 FT
SIDE	10 FT 25 FT ^g	55.4 FT
REAR	25 FT	54.8 FT
STRUCTURE COVERAGE	80%	21.9%
MAXIMUM IMPERVIOUS COVERAGE**	NA	68.3%**
MINIMUM OPEN SPACE	15%	31.7%
INTERIOR PARKING LANDSCAPING	10%	11.0%

^gWHEN ABUTTING A RESIDENTIAL DISTRICT

^fPROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
	WATER VALVE		VERTICAL GRANITE CURB
	WATER SHUT OFF VALVE		SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
_____ 000 _____		EXISTING CONTOUR	
_____ D _____		EXISTING DRAIN LINE	
_____ W _____		EXISTING WATER LINE	



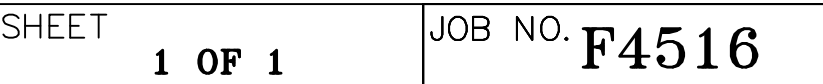
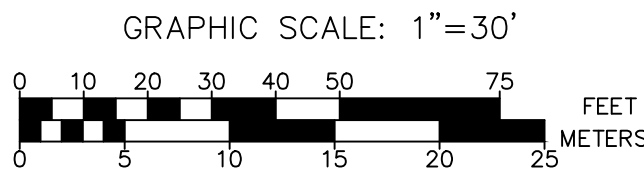
OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

DATE	REVISION DESCRIPTION



F4516

JOB NO. **F4516**

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Wednesday, January 4, 2023 11:24 AM
To: Susan Affleck-Childs
Subject: RE: [External] MassDEP File No. 216-1015 Milford Regional Medical Facility - Request for Field Change

Hi Susy,

The scope of the change is minor and agree with the Applicant that the change does not substantially alter the intent, layout or design of the approved plan. Please let me know if you need anything else, thanks.



Steve

Steven M. Bouley, PE | Project Manager

Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

This message, including any attachments, may include privileged, confidential and/or inside information. Any distribution or use of this communication by anyone other than the intended recipient is strictly prohibited and may be unlawful. If you are not the intended recipient, please notify the sender by replying to this message and then delete it from your system.

From: Susan Affleck-Childs <sachilds@townofmedway.org>
Sent: Thursday, December 29, 2022 10:37 AM
To: Bouley, Steven <Steven.Bouley@tetrattech.com>
Subject: FW: [External] MassDEP File No. 216-1015 Milford Regional Medical Facility - Request for Field Change

 **CAUTION:** This email originated from an external sender. Verify the source before opening links or attachments. 

Hi,

Any concerns about this?

Susy

From: Amanda Cavaliere <ACavaliere@gandhengineering.com>
Sent: Friday, December 23, 2022 9:47 AM
To: Bridget Graziano <bgraziano@townofmedway.org>; Bouley, Steven <steven.bouley@tetrattech.com>
Cc: Kevin Lobisser <kevin@lobissercompanies.com>; Michael Hassett <MHassett@gandhengineering.com>; Susan Affleck-Childs <sachilds@townofmedway.org>
Subject: [External] MassDEP File No. 216-1015 Milford Regional Medical Facility - Request for Field Change

Good morning Bridget and Steve

Please find attached our request for a field change associated with the above referenced project. Please review and let us know how you wish to proceed. As indicated in the attached, the minor building adjustment does not impact the resource area as the lower portion of the site did not need adjustment.

Should you have any questions or require additional information, please contact our office.

Thank you and have a safe and happy holiday.

Amanda K. Cavaliere, Office Manager



55 West Central Street

Franklin, MA 02038

Ph. 508.528.3221

Fx. 508.528.7921

Email: acavaliere@gandhengineering.com

Website: www.gandhengineering.com

Upcoming Vacations: Out of Office From December 23, 2022 through December 29, 2022



January 10, 2023
Medway Planning & Economic Development Board
Meeting

Salmon Willows Performance Security

- Tetra Tech punch list and bond estimate dated 12-20-22 for Willowside (Black Brook portion) - \$157,492
- Tetra Tech preliminary bond estimate dated 12-20-22 for the rest of the Salmon site and the paving of all roadways - \$495,118. NOTE - This amount needs to be revised to include the cost to install markers to delineate the open space/conservation easement area.
- 1-4-23 letter from John Burns, Black Brook Realty
- Proposed surety performance security agreement. Insurer still to be determined.
- Map showing the 27 subject properties (depicted in light grey)

You will remember that at the 12-13-22 PEDB meeting, you voted to release 5 locations from the Salmon covenant (without any replacement security) so that occupancy permits could be issued for those homes. Mr. Burns, the developer for the Willowside (cottages) portion of the site, had requested release of 27 properties from the covenant. You had indicated that any further release of properties would be dependent on the provision of suitable performance security.

Tetra Tech has provided 2 bond estimates, one for the work exclusively related to the Willowside area and a second one for the remaining work including all roadways. It appears that Mr. Burns will provide surety in the amount of \$157,492. We understand from Mr. Burns' legal and engineering advisors that Salmon is not prepared to provide its share, although we have not received any written documentation from Salmon to that effect. I have reached out to Jeff Robinson at Salmon to discuss.


The draft proposed surety performance agreement has been forwarded to Town Counsel for review.



Bond List

To: Susan Affleck-Childs – Coordinator, Medway Planning and Economic Development

Cc: Bridget Graziano – Medway Conservation Agent
John Burns – Applicant (Black Brook Realty)

From: Steven M. Bouley, PE 
Tucker D. Paradee, EIT

Date: December 20, 2022

Subject: Black Brook Realty Bond List

On December 8, 2022, at the request of the Medway Planning Board, Tetra Tech (TT) conducted a bond list inspection of The Willows Whitney Place (Willows) Project in Medway, MA. As directed, the bonding for the Project has been split into two lists, one for the overall site which is controlled by the Willows and the other which represents the internal exclusive use areas controlled by Black Brook Realty, LLC (Black Brook). This list encompasses the areas controlled by Black Brook, specifically the Phase I development which comprises “Unit 3B” exclusive use areas and the proposed pavilion area. The below list and attached Estimate were generated for outstanding items which have not yet been completed, are deficient in quality or outstanding administrative items which remain to be submitted.

The inspection was conducted using the following documents:

- A plan set (Willows Plans) titled “Salmon Health and Retirement Community’, Construction Documents, Village Street, Medway, Massachusetts 02053”, dated December 11, 2017, prepared by Coneco Engineers & Scientists (CES).
- A plan set (Black Brook Plans) titled “The Willows at Medway and Whitney Place Condominium, Condominium Site Plan” dated November 29, 2021, prepared by Engineering Design Consultants, Inc. (EDC).

Missing Items

1. Install gravel subbase, bituminous binder course, bituminous curb, tack coat asphalt emulsion and bituminous top course for the proposed pavilion parking area.
2. Install striping and signage at the proposed pavilion parking area.
3. Install landscaping, including placement of loam and seeding at the proposed clubhouse pavilion parking area and along the Unit 3B areas not yet in development on Willow Pond Circle.

Inspection/Maintenance

4. Replace damaged bituminous curb along Waterside Run. Allowance for anticipated future berm damage has also been included for Unit 3B areas not yet in development on Willow Pond Circle.
5. Clean stormwater infrastructure within the paved area that may be impacted by the proposed development of cottages. Assume two (2) cleanings of all catch basins adjacent to work areas (11 structures) per year for two (2) years.
6. Perform erosion control maintenance for drain infrastructure potentially impacted by the proposed development of cottages. Assume two (2) new silt sacks for each catch basin per year for two (2) years.
7. Remove erosion controls upon site stabilization and as directed by Medway Conservation Commission.

Administrative

8. Contract with consulting engineer to provide continued construction administration for the Project.

These comments are offered as guides for use during the Town’s review. In addition to this list, we recommend the Applicant conduct their own evaluation of the site to ensure all items included on the approved documents are completed to the satisfaction of the engineer of record for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-15011 (WILLOWS ARCPUD REVIEW)\CONSTRUCTION\PUNCH-BOND LIST\BOND LIST_01_SALMON_BLACK BROOK_2022-12-20.DOC

**TETRA TECH**

Bond Estimate
Black Brook Realty (at The Willows)
Medway, Massachusetts
 December 20, 2022

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
001	Mobilization (3% of Const. Cost)	1	LS	\$3,700.00	\$3,700
002	Parking Lot Gravel (Pavilion)	306	CY	\$55.00	\$16,830
003	Binder Course Asphalt (Pavilion)	112	TON	\$141.00	\$15,792
004	Bituminous Curb (Pavilion)	375	FT	\$15.00	\$5,625
005	Bituminous Curb (Damage Allowance)	500	FT	\$15.00	\$7,500
006	Sidewalk Gravel (Pavilion)	51	CY	\$55.00	\$2,812
007	Accessible Ramp (Pavilion)	10	SY	\$85.00	\$850
008	Sidewalk Binder Course Asphalt (Pavilion)	8	TON	\$141.00	\$1,128
009	Sidewalk Top Course Asphalt (Pavilion)	8	TON	\$139.00	\$1,112
010	Adjust Drain Castings	19	EA	\$500.00	\$9,500
011	Tack Asphalt Emulsion (Pavilion)	60	GAL	\$9.00	\$540
012	Top Course Asphalt (Pavilion)	67	TON	\$139.00	\$9,313
013	Wheel Stops (Pavilion)	14	EA	\$200.00	\$2,800
014	Landscaping	1	LS	\$7,500.00	\$7,500
015	Loam Borrow	92	CY	\$70.00	\$6,440
016	Seed	834	SY	\$3.00	\$2,502
017	Striping	1	LS	\$2,500.00	\$2,500
018	Signage	5	EA	\$110.00	\$550
019	Clean Catch Basins ²	44	EA	\$250.00	\$11,000
020	Maintain Erosion Controls ²	1	LS	\$5,000.00	\$5,000
021	Remove Erosion Controls	1	LS	\$5,000.00	\$5,000
022	Engineering Services	1	LS	\$5,000.00	\$5,000
023	Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal					\$125,994
25% Contingency					\$31,498
Total					\$157,492

Notes:


¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 12/2021 - 12/2022. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²This item will remain in the estimate until this Phase is entirely complete and stabilized. Structure cleaning assumes two (2) cleanings per year per structure for a period of two (2) years.

³Items represented in the above estimate include those from Unit 3B exclusive use area and the proposed Pavilion area.

To: Susan Affleck-Childs – Coordinator, Medway Planning and Economic Development

Cc: Bridget Graziano – Medway Conservation Agent
Jeff Robinson – Applicant (Willows)

From: Steven M. Bouley, PE
Tucker D. Paradee, EIT 

Date: December 20, 2022

Subject: The Willows at Medway Bond List

On December 8, 2022, at the request of the Medway Planning Board, Tetra Tech (TT) conducted a bond list inspection of The Willows at Medway (Willows) Project in Medway, MA. As directed, the bonding for the Project has been split into two lists, one for the overall site which is controlled by the Willows and the other which represents the internal exclusive use areas controlled by Black Brook Realty, LLC (Black Brook). This list encompasses the areas controlled by The Willows including roadways, drain infrastructure, utility infrastructure, common areas and the proposed Medical Office Building area. The below list and attached Estimate were generated for outstanding items which have not yet been completed, are deficient in quality or outstanding administrative items which remain to be submitted.

The inspection was conducted using the following documents:

- A plan set (Plans) titled "'Salmon Health and Retirement Community', Construction Documents, Village Street, Medway, Massachusetts 02053", dated December 11, 2017, prepared by Coneco Engineers & Scientists (CES).

Missing Items

1. Adjust castings, sweep existing binder, spray tack coat asphalt emulsion and install bituminous top course. Regions that require top include Willow Pond Circle (STA 3+00 to STA 11+75), Walnut Grove, Lilac Path, and Waterside Run (STA 0+75 to STA 15+50).
2. Install gravel subbase, bituminous binder course, tack coat asphalt emulsion and bituminous top course for the proposed medical building parking area and associated sidewalks.
3. Clear and maintain proposed walking trails around the entire site. A majority of the proposed trails have not been cleared or maintained as specified in the Plans. Additionally, it is unclear how trails will be delineated in proposed lawn areas.
4. Applicant shall consider trail access points and roadway crossings. Plans show significant slope at various trail access points which may cause access issues.
5. Install split rail fencing adjacent to Walnut Grove.
6. Install landscaping, including placement of loam and seeding at the proposed medical office building area and all other areas outside of Black Brook exclusive use areas.
7. Install striping and signage.

Inspection/Maintenance

8. Provide snow plowing throughout the paved area of the Project. Assume two (2) years of plowing.
9. Perform street sweeping in the Spring and Fall. Assume two (2) years of street sweeping.
10. Clean stormwater infrastructure within the roadway area. Assume two (2) cleanings of all catch basins (31 structures) and water quality units (4 structures) per year for two (2) years. This does not include catch basins immediately adjacent to Black Brook Unit 3B areas which are included in that estimate.
11. Mow and clean debris from stormwater basins, swales and common areas. Assume four (4) cleanings per year for two (2) years.
12. Remove erosion controls upon site stabilization and as directed by Medway Conservation Commission.

Administrative

13. Contract with consulting engineer to provide continued construction administration for the project.
14. Provide as-built plans of the Project.

These comments are offered as guides for use during the Town's review. In addition to this list, we recommend the Applicant conduct their own evaluation of the site to ensure all items included on the approved documents are completed to the satisfaction of the engineer of record for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-15011 (WILLOWS ARCPUD REVIEW)\CONSTRUCTION\PUNCH-BOND LIST\BOND LIST_01_WILLOWS_2022-12-20.DOC

DRAFT

**TETRA TECH**

Bond Estimate
The Willows at Medway
Medway, Massachusetts
 December 20, 2022

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
001	Mobilization (3% of Const. Cost)	1	LS	\$10,100.00	\$10,100
002	Parking Lot Gravel (Med Office)	404	CY	\$55.00	\$22,235
003	Binder Course Asphalt (Med Office)	148	TON	\$141.00	\$20,819
004	Bituminous Curb (Med Office)	545	FT	\$15.00	\$8,175
005	Sidewalk Gravel (Med Office)	136	CY	\$55.00	\$7,478
006	Accessible Ramp (Med Office)	10	SY	\$85.00	\$850
007	Sidewalk Binder Course (Med Office)	20	TON	\$141.00	\$2,802
008	Sidewalk Top Course (Med Office)	20	TON	\$139.00	\$2,762
009	Tack Asphalt Emulsion (Med Office)	79	GAL	\$9.00	\$712
010	Top Course Asphalt (Med Office)	89	TON	\$139.00	\$12,314
011	Wheel Stops (Med Office)	13	EA	\$200.00	\$2,600
012	Adjust Castings (Roadway)	27	EA	\$500.00	\$13,500
013	Tack Asphalt Emulsion (Roadway)	547	GAL	\$9.00	\$4,923
014	Top Course Asphalt (Roadway)	613	TON	\$139.00	\$85,156
015	Landscaping	1	LS	\$25,000.00	\$25,000
016	Trail Maintenance	1	LS	\$10,000.00	\$10,000
017	Split Rail Fence	121	FT	\$78.00	\$9,438
018	Loam Borrow	270	CY	\$70.00	\$18,900
019	Seed	2,380	SY	\$3.00	\$7,140
020	Striping (Med Office & Roadway)	1	LS	\$2,500.00	\$2,500
021	Signage (Med Office & Roadway)	8	EA	\$110.00	\$880
022	Snow Plowing ²	1	LS	\$10,000.00	\$10,000
023	Street Sweeping ²	1	LS	\$8,000.00	\$8,000
024	Clean Catch Basins/WQ Units ²	140	EA	\$250.00	\$35,000
025	Basin/Swale/Site Maintenance ²	8	EA	\$2,500.00	\$20,000
026	Remove Erosion Controls	1	LS	\$5,000.00	\$5,000
027	Engineering Services	1	LS	\$5,000.00	\$5,000
028	As-Built Plans	5,575	LF	\$7.50	\$41,813
029	Legal Services	1	LS	\$3,000.00	\$3,000
				Subtotal	\$396,095
				25% Contingency	\$99,024
				Total	\$495,118

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 12/2021 - 12/2022. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²This item will remain in the estimate until this Phase is entirely complete and occupancy is granted to all units.

³Items represented in the above estimate include the medical office area, roadway and associated sidewalks, drain infrastructure, utility infrastructure and common areas (not including the pavilion).

Black Brook Realty LLC
PO Box 303
Sutton, MA 01590

January 4, 2023

Medway Planning Board:

We are in receipt of an email dated December 14, 2022 from Susan E. Alleck-Childs which states is part "Please be advised that the Board will NOT release any further properties from the covenant until the developer(s) have provided suitable performance security to the Town. The amount and form of performance security are still to be determined. So, no further occupancy permits should be issued beyond those for the above noted five properties." Unfortunately, we were not aware of this situation when purchasing the development rights associated with Unit 3B which consist of Exclusive Use Areas 3C-2, 3F, 3G, and 3H, and also containing the rights to construct 26 units, all of which are owned by Black Brook Realty LLC. The property is secured by a mortgage to Middlesex Savings Bank. Unaware of these circumstances and having a responsibility to our buyers, our lender, and the Town of Medway to complete the Unit 3B Phase of the Willows Project, we would like to promptly resolve the current situation regarding Unit 3B by securing completion through a bond.

We received the Tetra Tech bonding estimate dated December 20, 2022, which is in the amount of \$157,492. We have attached a draft of the Partial Release of Performance Secured by Security Agreement.

After several failed attempts over the last few weeks, in order for Black Brook Realty LLC to convey any additional units to our buyers and/or keep our commitment to the existing five homeowners on Waterside Run, we have no other choice at this time but for Black Brook Realty LLC to post surety of \$157,492 per the Tetra Tech estimate.

As such, we are asking that the Planning Board approve the attached form of surety bond at its scheduled meeting on January 10, 2023. Assuming the Planning Board approves the form of surety at the January 10, 2023 meeting, please consider this request to be placed on the agenda for the January 24th Planning Board meeting showing proof that the approved form of surety is in place, followed by the release of covenant for all buildings located within Exclusive Uses Areas of Unit 3B and the 26 associated units. The Covenant will remain in full force and effect as to all other properties.

Should you have any questions, please feel free to contact me and thank you for all your help with this matter.

Professionally,

John J. Burns, Manager

***Partial Release of Performance Secured by
Surety Agreement***

Planning & Economic Development Board – Town of Medway, MA

Bond No. _____

This Surety Agreement is entered into this ____ day of January, 2023, among the Town of Medway, acting through its Planning and Economic Development Board, with an address of 155 Village Street, Medway, MA 02053 (hereinafter referred to as “the Board”), and Black Brook Realty LLC, a Massachusetts limited liability company having a principal place of business located at 17 Main Street, Hopkinton, Massachusetts (“Owner”), and _____ a corporation duly organized and existing under the laws of the state of _____ licensed and registered to do business in the Commonwealth of Massachusetts, and with a usual place of business and address of _____ (“Surety”), to secure completion of the installation of required site improvements and landscaping.

WHEREAS, on July 14, 2015 after a duly noticed public hearing, the Board issued a Special Permit Decision (“Special Permit”) for the property known as 259, 261, 261R, and 263 Village Street, Medway, Massachusetts for a copy of the decision reference is made to Book 35686, Page 76; and

WHEREAS, the property is shown on a plan entitled “Condominium Site Plan” for The Willows at Medway and Whitney Place Condominium, 261 Village Street (Norfolk County), Medway, Massachusetts, dated November 29, 2021 recorded with the Norfolk County Registry of Deeds in Plan Book 705, Page 53 (hereinafter referred to as “the Site Plan”); and

WHEREAS, some of the work pursuant to the Special Permit has been completed;

WHEREAS, the owner purchased the right to develop units within the Unit 3B of condominium known as “The Willows at Medway and Whitney Place Condominium.” For title reference see deed from Willows Medway Townhomes Realty LLC to Black Brook Realty LLC dated November 30, 2021 and recorded with the Norfolk County Registry of Deeds in Book 40184, Page 539 (hereinafter referred to as “the Deed”); and

WHEREAS, Unit 3B is part of the Special Permit;

WHEREAS, the Owner has requested a partial release of the Covenant entitled "Adult Retirement Community Planned Unit Development Covenant Planning and Economic Development Board Town of Medway, MA" December 12, 2017 and recorded with the Norfolk County Registry of Deeds in Book 35686, Page 112 (hereinafter referred to as "the Covenant") and

WHEREAS, the Board is willing to grant a partial release of the Covenant as it pertains to Unit 3B, provided the Covenant shall remain in full force and affect for all others parcels of land which has not be previously released; and

WHEREAS, the Board is required by the site plan approval decision to secure completion of the required site improvements and landscaping (shrubs, and rain garden) before an occupancy permit is issued; and

WHEREAS, the value of the remaining required site improvements and landscaping is estimated to be One Hundred Fifty-Seven Thousand Four Hundred Ninety-Two and 00/100 Dollars (\$157,492.00) as specified in the bond estimate dated December 20, 2022 and prepared by the Town's engineering consultant, Tetra Tech; and

WHEREAS, the Owner has decided to secure the installation of the required site improvements and landscaping by means of a SURETY BOND in the penal sum of One Hundred Fifty-Seven Thousand Four Hundred Ninety-Two and 00/100 Dollars (\$157,492.00).

NOW, THEREFORE, the parties agree as follows:

1. The Owner and Surety hereby bind and obligate themselves and their successors and assigns to the Town of Medway in the sum of One Hundred Fifty-Seven Thousand Four Hundred Ninety-Two and 00/100 Dollars (\$157,492.00) and have secured this obligation by means of a SURETY BOND to be used to secure the performance by the Owner of required site improvements and landscaping contained in the site plan decision and the endorsed site plan and the bond estimate dated December 20, 2022 and prepared by the Town's engineering consultant, Tetra Tech.
2. The Surety shall deliver a surety bond in a form acceptable to the Board to the Treasurer of the Town of Medway, at the time of the execution of this agreement, in the amount of One Hundred Fifty-Seven Thousand Four Hundred Ninety-Two and 00/100 Dollars (\$157,492.00) for purpose of securing completion of the required site improvements and landscaping.
3. The Owner shall complete the installation of the required site improvements and landscaping by _____.
4. Upon completion of all obligations as specified herein on or before the required completion date, or such later date as may be specified by vote of the Board with the concurrence of the Owner, the Board shall release the Owner and Surety from this surety agreement.

5. In the event the Owner should fail to complete the installation of the required site improvements and landscaping as specified in the approved Site Plan and Decision and within the time herein specified, the Board may apply the bond held by the Treasurer of the Town of Medway, in whole or in part, for the benefit of the Town of Medway to the extent of the reasonable costs to the Town of Medway to complete the required site improvements and landscaping as provided in this agreement. Any portion of the bond that is not applied as set forth above, shall be returned to the Surety upon completion of the required site improvements and landscaping by the Town of Medway
6. The Board, at its discretion, may grant an extension of time and/or reduce the penal amount of the bond and notify the Owner, the Surety and the Treasurer of the Town of Medway of any authorized adjustment.
7. The Owner and Surety agree and understand that the Board will not release this surety bond in full until the required site improvements and landscaping have been deemed by the Board to be constructed and installed in accordance with this agreement. This agreement does not expire until the Board releases the surety bond in full.
8. Failure to complete the required site improvements and landscaping may result in the Board's rescission of approval of the Site Plan.
9. If a court of competent jurisdiction determines that any provision of this agreement is unenforceable, such determination shall not affect the remaining provisions, which shall remain in full force and effect.
10. shall remain in full force and affect for all others units except for as set forth herein; and

IN WITNESS WHEREOF we have hereunto set our hands and seals this _____ day of January, 2023.

**TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD**

COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS

On this _____ day of January, 2023, before me, the undersigned notary public, personally appeared the Members of the Medway Planning and Economic Development Board, _____

proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver’s license), to be the persons whose names are signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as members of the Medway Planning and Economic Development Board.

Notary Public
My commission expires: _____

OWNER

By: John J. Burns

Title/Position: Manager

Organization: Black Brook Realty LLC

COMMONWEALTH OF MASSACHUSETTS

_____, SS

On this ____ day of January, 2023, before me, the undersigned notary public, personally appeared the above-named John J. Burns, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license), to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as Manager of Black Brook Realty LLC.

Notary Public

My commission expires: _____

SURETY COMPANY

By: _____

Title/Position: _____

Organization: _____

COMMONWEALTH OF MASSACHUSETTS

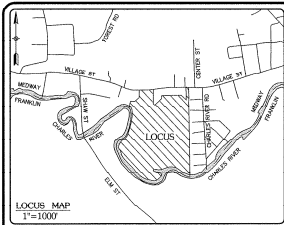
_____, SS

On this _____ day of _____, 2019, before me, the undersigned notary public, personally appeared the above-named _____, proved to me through satisfactory evidence of identification, which was (personal knowledge) (Massachusetts driver's license) to be the person whose name is signed on the preceding document, and acknowledged to me that it was signed voluntarily for its stated purpose as _____ of _____.

Notary Public
My commission expires: _____

APPENDICES

(Site Plan Decision and Tetra Tech Bond Estimate dated _____)



- PLAN NOTES**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXCLUSIVE USE AREAS APPURTENANT TO UNIT 3A AND UNIT 3B.
 2. THE PROPERTY LINES AND EXISTING CONDITIONS SHOWN HEREON ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY LIGHTHOUSE LAND SURVEYING LLC ON OCTOBER 29, 2021.
 3. ALL ON-THE-GROUND OBSERVATIONS WERE PERFORMED USING LEICA TS17 (2") ROBOTIC TOTAL STATIONS.
 4. THE LEGAL STATUS OF THE STREETS AND/OR WAYS SHOWN HEREON, WHETHER THEY ARE PUBLIC OR PRIVATE, WAS NOT MADE PART OF THIS SURVEY.
 5. OWNERS NAMES SHOWN HEREON ARE BASED UPON ASSERIONS OBTAINED AS OF THE DATE OF THE SURVEY. IT DOES NOT REPRESENT A CERTIFICATION OF TITLE NOR DOES IT GUARANTEE THE OWNERSHIP OF LOCUS OR ABUTTING PROPERTIES.

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	27.79	20.00	79° 36' 40"	N50° 55' 05" W	28.607
C2	87.31	1820.83	2° 44' 39"	N83° 00' 10" E	87.300
C3	185.77	1860.61	1° 24' 56"	N48° 44' 32" E	185.720
C4	242.98	1820.83	7° 38' 40"	N89° 27' 13" E	242.800
C5	210.86	2110.57	57° 15' 23"	S42° 52' 29" E	202.190
C6	42.03	48.00	48° 58' 30"	S66° 07' 26" E	40.750
C7	103.62	391.00	12° 05' 24"	S51° 05' 53" E	103.141
C8	108.77	138.00	44° 40' 08"	S38° 19' 30" E	106.018
C9	35.52	25.00	81° 23' 48"	S24° 53' 27" W	32.804
C10	38.43	161.00	10° 56' 58"	N50° 35' 06" W	38.389
C11	87.98	161.00	24° 44' 11"	S32° 10' 01" E	86.076
C13	125.98	161.00	44° 50' 08"	N38° 13' 30" W	122.788
C14	87.65	189.00	20° 30' 39"	S36° 03' 40" E	87.889
C15	108.76	511.00	11° 58' 18"	S32° 10' 47" E	106.570
C16	59.97	138.00	23° 32' 52"	S26° 16' 52" E	57.499
C17	53.65	214.00	14° 26' 41"	S25° 15' 08" W	53.869
C18	82.99	161.00	29° 31' 59"	S17° 42' 29" W	82.072
C19	65.81	78.00	64° 44' 02"	S25° 25' 31" E	61.408
C20	47.70	54.00	50° 36' 37"	N22° 21' 49" W	46.163
C21	58.64	261.00	12° 52' 16"	N1° 00' 52" E	58.512
C22	174.19	389.00	25° 39' 07"	N07° 24' 13" E	172.699
C23	81.19	54.00	64° 05' 27"	N52° 41' 26" E	52.987

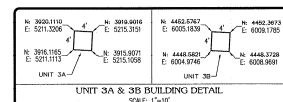
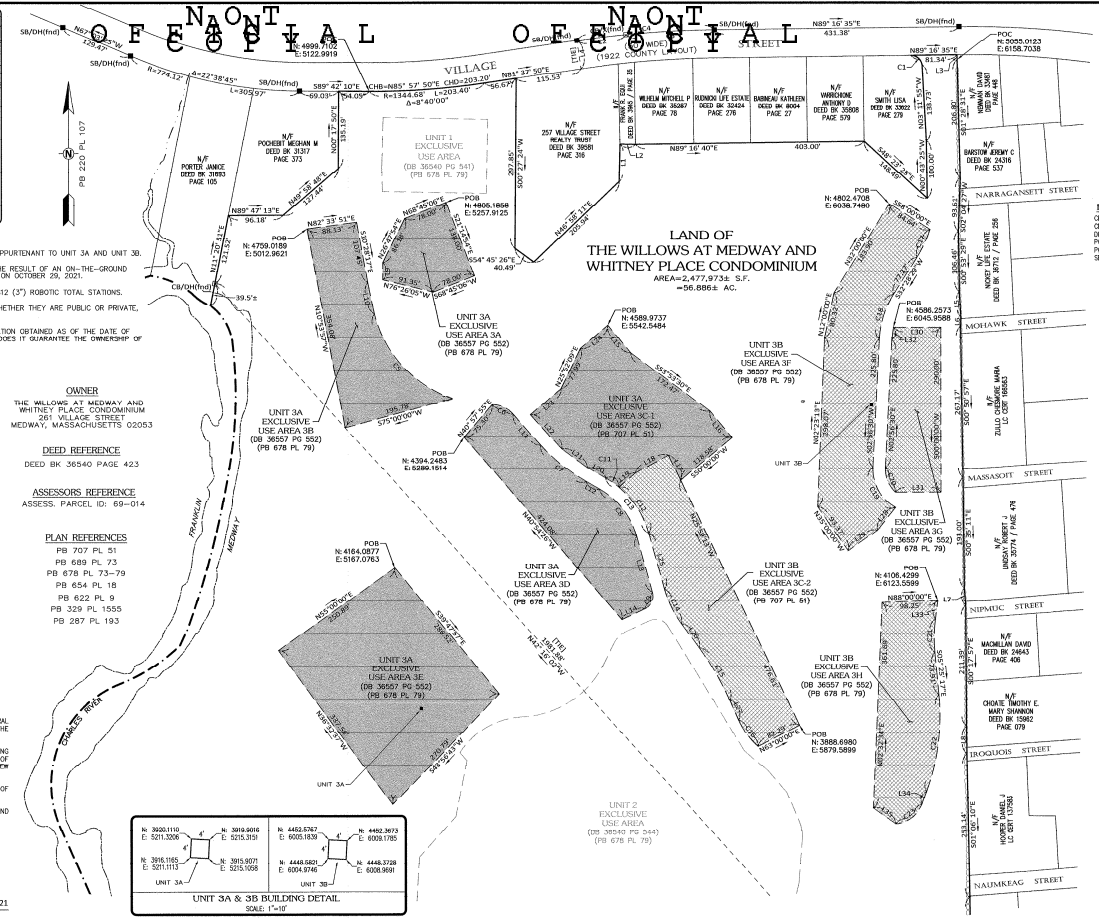
I CERTIFY TO THE EXISTENCE OF THE FOLLOWING:
THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS, TITLE 26C CMR 6.00.

THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THAT THE LINES OF STREETS AND WAYS ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE BUILDINGS, AS-BUILT, AND FULLY LIES IN THE LINES CONTAINED THEREIN.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Richard W. Spill
PROFESSIONAL LAND SURVEYOR
NOVEMBER 29, 2021
DATE



Norfolk Registry of Deeds
Dedham, Mass.
Received December 16, 2021
Wm.
Filed as Page 52
Pl. Bk. 76
Attest: *Matthew P. Farrell*
Register

REGISTRY USE ONLY

LEGEND

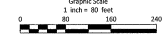
(S)(H)(nd) CONCRETE BOUND W/ DRILL HOLE FOUND
(C)(H)(nd) CONCRETE BOUND W/ E-WAY FOUND
(P)(H)(nd) POINT OF BEGINNING
(P)(H)(nd) POINT OF BEGINNING
(S)(H)(nd) STONE BOUND W/ DRILL HOLE FOUND

PLAN REFERENCES CONTINUED

PB 254 PL 233 (A-E)
PB 253 PL 945 (A-E)
PB 220 PL 107
PB 197 PL 676
PB 61 PL 2942
PL 1212 OF 1563
PL 795 OF 1956
PL 1458 OF 1953
PL 1056 OF 1928
LC CASE 29955 A
LC CASE 14682 A & B

Parcel #	Length	Direction
L1	64.74	N01° 28' 31" E
L2	27.07	S89° 24' 34" E
L3	8.78	S01° 44' 37" E
L4	56.86	N08° 38' 10" W
L5	43.88	N01° 12' 30" E
L6	15.84	S01° 12' 30" E
L7	26.32	N08° 38' 10" W
L8	48.57	S00° 41' 07" E
L9	30.27	N00° 07' 43" W
L10	15.87	S01° 12' 30" E
L11	7.258	S44° 37' 17" E
L12	26.36	S80° 38' 35" E
L13	191.08	S15° 45' 28" E
L14	14.13	S80° 38' 10" W
L15	83.00	S40° 00' 00" E
L16	61.00	S40° 00' 00" E
L17	48.76	N25° 59' 13" W
L18	46.08	S80° 00' 00" W
L19	38.27	S00° 00' 00" W
L20	26.63	N02° 20' 53" W
L21	46.08	N42° 42' 42" E
L22	82.01	N42° 42' 42" E
L23	70.88	N00° 00' 00" E
L24	74.00	N00° 00' 00" E
L25	100.78	S15° 45' 28" E
L26	52.77	S38° 18' 58" E
L27	27.08	S44° 37' 17" E
L28	16.08	S38° 18' 58" E
L29	63.01	S80° 00' 00" W
L30	83.00	S80° 00' 00" W
L31	80.43	N00° 00' 00" W
L32	21.99	N07° 38' 43" E
L33	26.74	N07° 27' 06" E
L34	22.71	N30° 13' 44" E
L35	48.31	S80° 19' 20" E

REVISIONS	DATE	DESCRIPTION
01	2021	2021
02	2021	2021
03	2021	2021
04	2021	2021
05	2021	2021
06	2021	2021
07	2021	2021
08	2021	2021
09	2021	2021
10	2021	2021
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100	2021	2021



PREPARED BY:
Engineering Design Consultants, Inc.
32 Turnpike Road
Southborough, Massachusetts
(508) 480-0225

PROJECT:
**THE WILLOWS AT MEDWAY
AND WHITNEY PLACE CONDOMINIUM**
261 VILLAGE STREET
(NORFOLK COUNTY)
MEDWAY, MASSACHUSETTS


TITLE:
CONDOMINIUM SITE PLAN
PREPARED FOR:
Black Brook Realty, LLC
17 Main Street
Hopkinton, Massachusetts 01748

DATE:
NOVEMBER 29, 2021
1 OF 3
EDC PROJECT NUMBER
3750

708-53-2021

To: Susan Affleck-Childs – Coordinator, Medway Planning and Economic Development

Cc: Bridget Graziano – Medway Conservation Agent
John Burns – Applicant (Black Brook Realty)

From: Steven M. Bouley, PE 
Tucker D. Paradee, EIT

Date: January 10, 2023

Subject: Black Brook Realty Bond List

On December 8, 2022, at the request of the Medway Planning Board, Tetra Tech (TT) conducted a bond list inspection of The Willows at Medway (Willows) Project in Medway, MA. As directed, the bonding for the Project has been split into multiple lists, one for the entire site which is controlled by the Willows, one for the internal exclusive use areas controlled by Black Brook Realty, LLC (Black Brook) and one for Willows controlled areas along Black Brook Unit 3B areas. This list encompasses the areas controlled by Black Brook, specifically the Phase I development which comprises “Unit 3B” exclusive use areas. The below list and attached Estimate were generated for outstanding items which have not yet been completed, are deficient in quality or outstanding administrative items which remain to be submitted.

The inspection was conducted using the following documents:

- A plan set (Willows Plans) titled “Salmon Health and Retirement Community’, Construction Documents, Village Street, Medway, Massachusetts 02053”, dated December 11, 2017, prepared by Coneco Engineers & Scientists (CES).
- A plan set (Black Brook Plans) titled “The Willows at Medway and Whitney Place Condominium, Condominium Site Plan” dated November 29, 2021, prepared by Engineering Design Consultants, Inc. (EDC).

Missing Items

1. Install landscaping, including placement of loam and seeding along the Unit 3B areas not yet in development on Willow Pond Circle.

Inspection/Maintenance

2. Replace damaged bituminous curb along Waterside Run. Allowance for anticipated future berm damage has also been included for Unit 3B areas not yet in development on Willow Pond Circle.
3. Clean stormwater infrastructure within the paved area that may be impacted by the proposed development of cottages. Assume two (2) cleanings of all catch basins adjacent to work areas (11 structures) per year for two (2) years.
4. Perform erosion control maintenance for drain infrastructure potentially impacted by the proposed development of cottages. Assume two (2) new silt sacks for each catch basin per year for two (2) years.
5. Remove erosion controls upon site stabilization and as directed by Medway Conservation Commission.

Administrative

6. Contract with consulting engineer and legal counsel to provide continued construction administration for the Project.

These comments are offered as guides for use during the Town's review. In addition to this list, we recommend the Applicant conduct their own evaluation of the site to ensure all items included on the approved documents are completed to the satisfaction of the engineer of record for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-15011 (WILLOWS ARCPUD REVIEW)\CONSTRUCTION\PUNCH-BOND LIST\BOND LIST_01_SALMON_BLACK BROOK_2022-12-20.DOC

**TETRA TECH**

Bond Estimate
Black Brook Realty (at The Willows)
Medway, Massachusetts
January 10, 2023

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
001	Mobilization (3% of Const. Cost)	1	LS	\$1,800.00	\$1,800
002	Landscaping	1	LS	\$7,500.00	\$7,500
003	Loam Borrow	50	CY	\$70.00	\$3,500
004	Seed	449	SY	\$3.00	\$1,347
005	Bituminous Curb (Damage Allowance)	500	FT	\$15.00	\$7,500
006	Clean Catch Basins ² (21)	84	EA	\$250.00	\$21,000
007	Maintain Erosion Controls ²	1	LS	\$5,000.00	\$5,000
008	Remove Erosion Controls	1	LS	\$5,000.00	\$5,000
009	Engineering Services	1	LS	\$5,000.00	\$5,000
010	Legal Services	1	LS	\$3,000.00	\$3,000

Subtotal	\$60,647
25% Contingency	\$15,162
Total	\$75,809

Notes:


¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 1/2022 - 1/2023. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²This item will remain in the estimate until this Phase is entirely complete and stabilized. Structure cleaning assumes two (2) cleanings per year per structure for a period of two (2) years.

³Items represented in the above estimate include those from Unit 3B exclusive use areas.

To: Susan Affleck-Childs – Coordinator, Medway Planning and Economic Development

Cc: Bridget Graziano – Medway Conservation Agent
Jeff Robinson – Applicant (Willows)

From: Steven M. Bouley, PE 
Tucker D. Paradee, EIT

Date: January 10, 2023

Subject: The Willows at Medway Bond List (Unit 3B Area)

On December 8, 2022, at the request of the Medway Planning Board, Tetra Tech (TT) conducted a bond list inspection of The Willows at Medway (Willows) Project in Medway, MA. As directed, the bonding for the Project has been split into multiple lists, one for the entire site which is controlled by the Willows, one for the internal exclusive use areas controlled by Black Brook Realty, LLC (Black Brook) and one for Willows controlled areas along Black Brook Unit 3B areas. This list encompasses the areas controlled by The Willows along the entirety of Waterside Run and Willow Pond Circle (STA 9+00 to STA 11+75) which generally aligns with the frontage of Black Brook Unit 3B areas. Items reflected in this list include but are not limited to roadways, drain infrastructure, utility infrastructure, and common areas. The below list and attached Estimate were generated for outstanding items which have not yet been completed, are deficient in quality or outstanding administrative items which remain to be submitted.

The inspection was conducted using the following documents:

- A plan set (Plans) titled "'Salmon Health and Retirement Community', Construction Documents, Village Street, Medway, Massachusetts 02053", dated December 11, 2017, prepared by Coneco Engineers & Scientists (CES).

Missing Items

1. Adjust castings, sweep existing binder, spray tack coat asphalt emulsion and install bituminous top course. Regions that require top include the entirety of Waterside Run and Willow Pond Circle (STA 9+00 to STA 11+75).
2. Install loam and seed along the right of way of the sections of roadway referenced herein.
3. Install striping along roadways.

Inspection/Maintenance

4. Provide snow plowing throughout the paved area of the Project. Assume two (2) years of plowing.
5. Perform street sweeping in the Spring and Fall. Assume two (2) years of street sweeping.

Administrative

6. Contract with consulting engineer and legal counsel to provide continued construction administration for the project.
7. Provide as-built plans of the Project.

These comments are offered as guides for use during the Town's review. In addition to this list, we recommend the Applicant conduct their own evaluation of the site to ensure all items included on the approved documents are completed to the satisfaction of the engineer of record for the Project. If you have any questions or comments, please feel free to contact us at (508) 786-2200.

P:\21583\143-21583-15011 (WILLOWS ARCPUD REVIEW)\CONSTRUCTION\PUNCH-BOND LIST\BOND LIST_01_WILLOWS_UNIT 3B_2023-01-10.DOC

**TETRA TECH**

Bond Estimate
The Willows at Medway - Unit 3B Frontage
Medway, Massachusetts
January 10, 2023

ITEM NO.	DESCRIPTION	QUANTITY ²	UNIT	UNIT COST ¹	ENGINEERS ESTIMATE
001	Mobilization (3% of Const. Cost)	1	LS	\$3,800.00	\$3,800
002	Adjust Castings (Roadway)	30	EA	\$500.00	\$15,000
003	Tack Asphalt Emulsion (Roadway)	321	GAL	\$9.00	\$2,888
004	Top Course Asphalt (Roadway)	359	TON	\$140.00	\$50,308
005	Loam Borrow	278	CY	\$70.00	\$19,464
006	Seed	2,528	SY	\$3.00	\$7,583
007	Striping (Roadway)	1	LS	\$500.00	\$500
008	Snow Plowing ²	1	LS	\$5,000.00	\$5,000
009	Street Sweeping ²	1	LS	\$4,000.00	\$4,000
010	Engineering Services	1	LS	\$2,500.00	\$2,500
011	As-Built Plans	1,750	LF	\$7.50	\$13,125
012	Legal Services	1	LS	\$3,000.00	\$3,000
Subtotal					\$127,168
25% Contingency					\$31,792
Total					\$158,960

Notes:

¹Unit prices are taken from the latest information provided on the MassDOT website. They utilize the MassDOT weighted bid prices (Combined - All Districts) for the time period 1/2022 - 1/2023. Quantities which are too small for accurate representation using the weighted bid pricing were estimated based on industry construction experience.

²This item will remain in the estimate until this Phase is entirely complete and occupancy is granted to all units.

³Items represented in the above estimate include the roadway and infrastructure along the entirety of Waterside Run and Willow Pond Circle (STA 9+00 and STA 11+75) which generally represents the frontage areas along Black Brook Unit 3B lease areas.



January 10, 2023

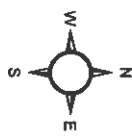
**Medway Planning & Economic Development Board
Meeting**

**MBTA Communities – Multi-Family
Housing Zoning Action Plan – Updated**

Barbara Saint Andre will be available via Zoom to speak with you further about the continuing preparation of an action plan which needs to be filed with the MA Department of Housing and Community Development by the end of January. She met with the Select Board on January 3rd to review possible sites for consideration.

- Potential MBTA Housing Districts – updated 1.3.2023
- MBTA Communities Village St. Potential Site
- MBTA Communities Milford St. Potential Site

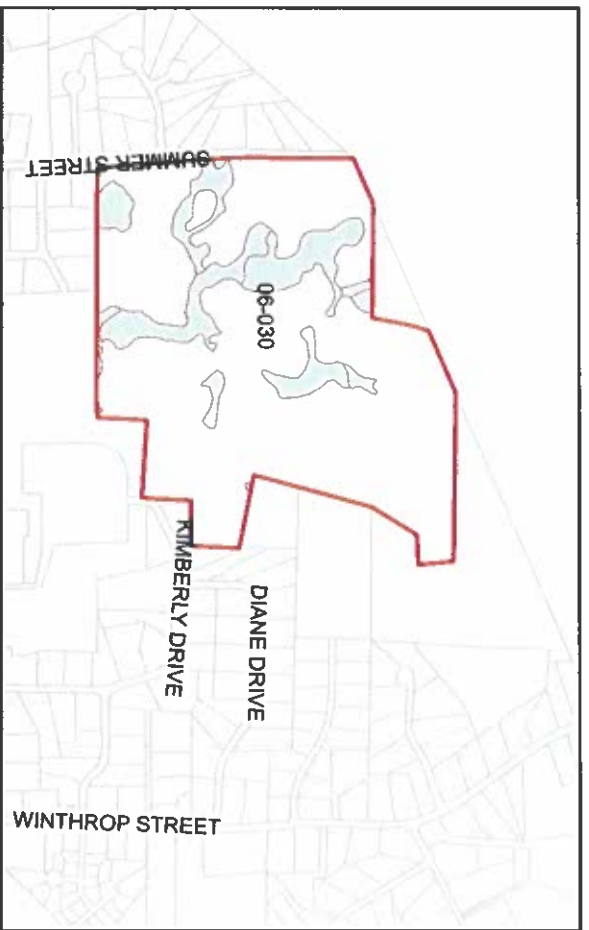
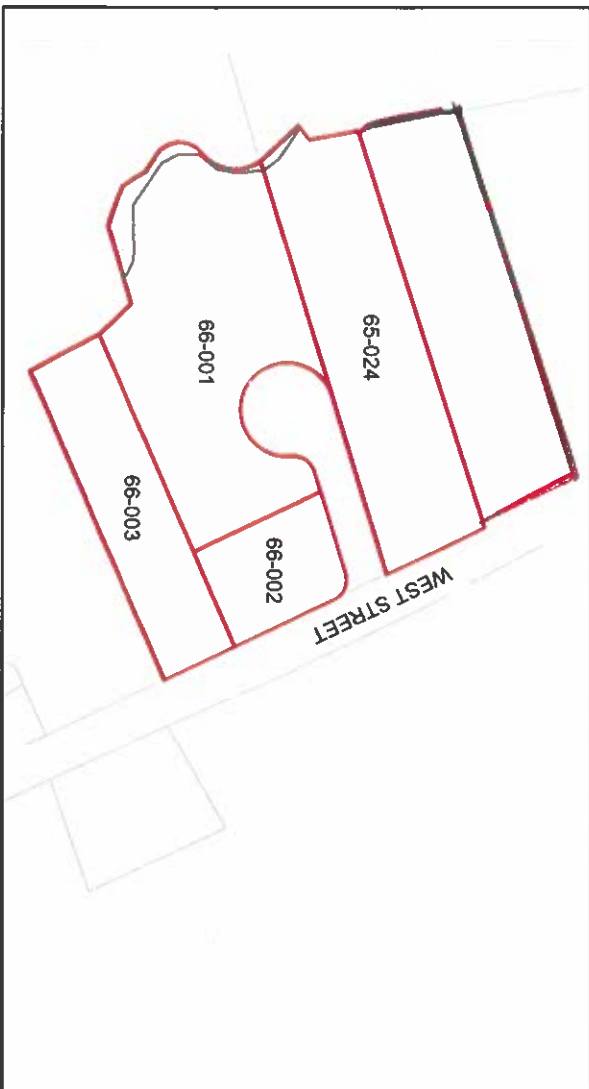
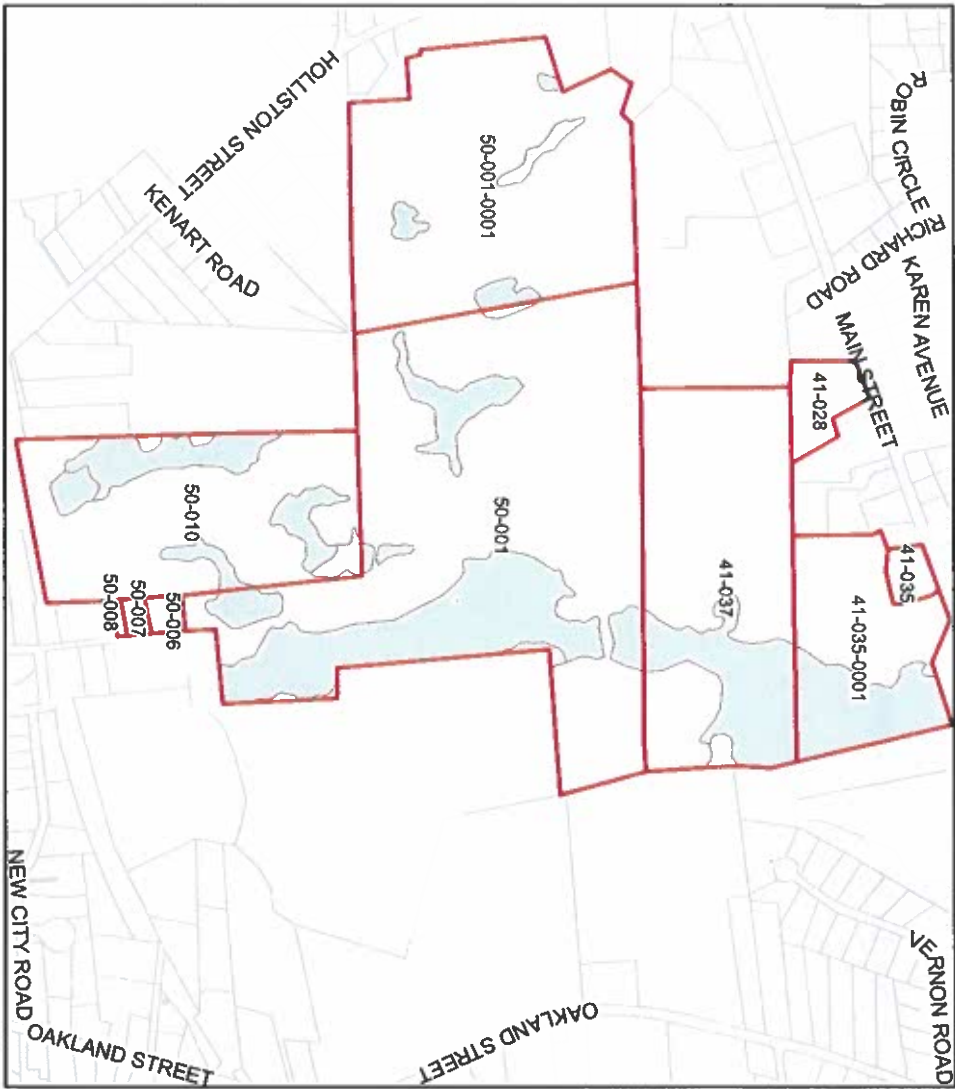
Potential MBTA Housing Land



Legend

-  Affordable_Housing_parcel
-  Wetlands_clip

Map created December 2022
by
Martha Garley
Medway GIS Coordinator






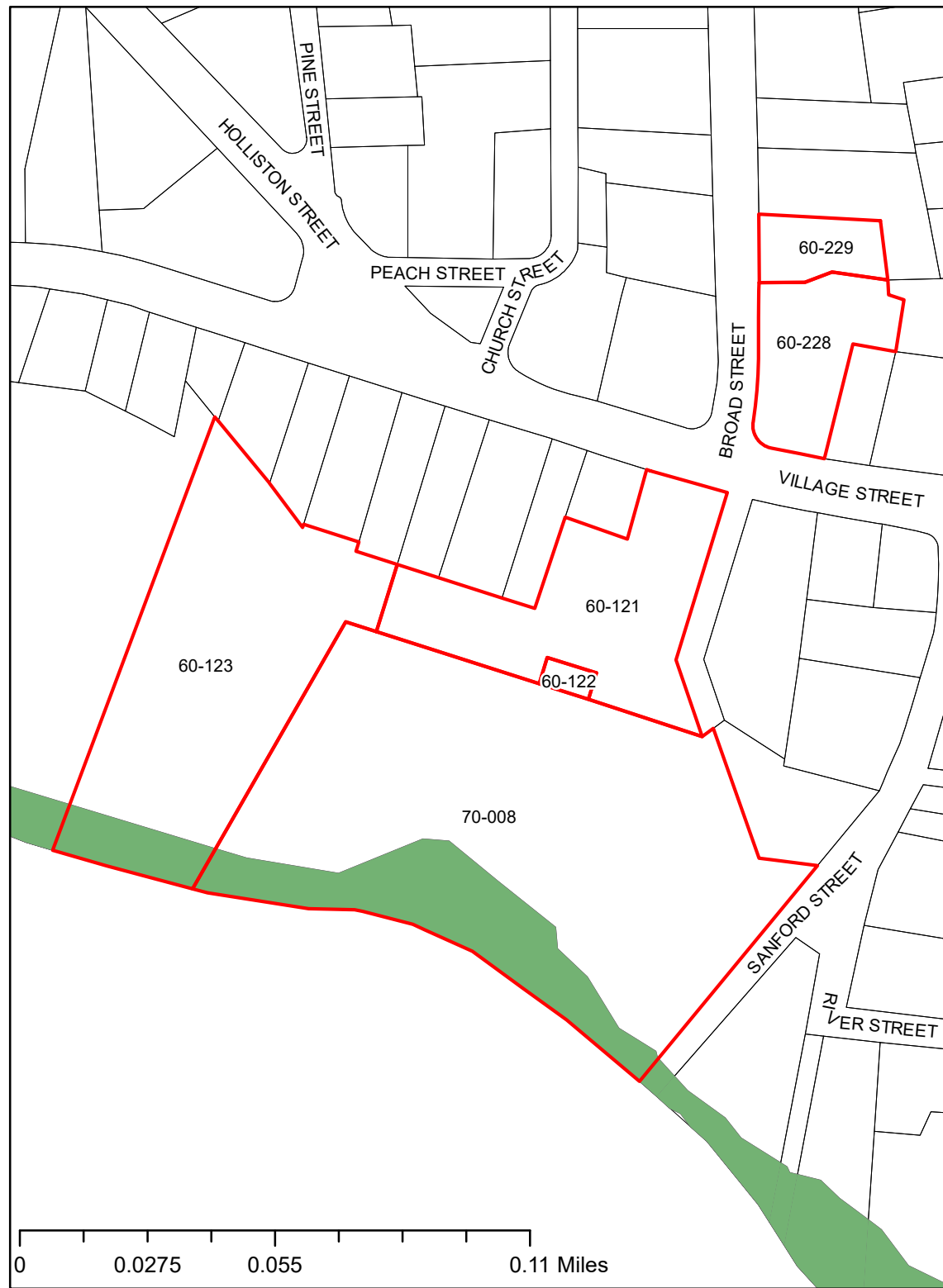


Multi-Family Housing



Legend

-  MFH_01_03_2023_meeting
-  medway
-  town_wetlands







New Multi-Family Housing



Legend

-  Wetlands
-  Parcel Property





January 10, 2023
Medway Planning & Economic Development Board
Meeting

Construction Reports - Updated

Bright Path Child Care:

- Field Report #1, dated 12/6/2022 – Tetra Tech
- Field Report #2, dated 12/8/2022 – Tetra Tech
- Field Report #3, dated 12/9/2022 – Tetra Tech

William Wallace Village:

- Construction Inspection Report, dated 12/21/2022 – Legacy Engineering
- **Construction Inspection Report, dated 1/4/2023 – Legacy Engineering**

288 Village Street:

- Construction Progress Report, dated 12/19/2022 – Land Planning, Inc.

Cutler Place:

- Progress Report, dated 12/30/2022 – Ron Tiberi, P.E.

FIELD REPORT

PROJECT Bright Path Child Care Center	DATE 12/06/2022	REPORT NO. 01
LOCATION 67C Main St., Medway, MA	TT PROJECT NO. 143-21583-22019	TT INSPECTOR Tucker Paradee, EIT
CONTRACTOR TD Construction(Contractor)	WEATHER A.M. OVERCAST P.M.	TEMPERATURE A.M. 50° - 55° (F) P.M.

SECTION A: FIELD OBSERVATIONS

1. Ground surface is firm with some wet and soft spots. Existing shrubs have been retained along the western limit of work and minor stormwater ponding is observed near the shrubs. Construction fencing surrounds the active work zone and is gated at the end of the day. Silt sacks have been installed in catch basins located west of the construction site and appear to be in good condition.
2. Contractor has installed vertical concrete curb along the western edge of the site. The curbing is aligned with the existing curbing and slopes down for the proposed curb ramps. Crushed stone and gravel used to backfill around the curbing in prep for concrete.
3. Contractor works on laying out proposed fencing for the play areas. An auger attachment is used on a skid steer to dig the post foundations.
4. Elsewhere on site, contractor is installing the catch basin for the proposed parking area. Rotary laser level and rod are used to ensure required elevations are met. Approx. 6" of crushed stone is placed underneath the structure.
5. Construction equipment and materials are stockpiled along the eastern construction fence.

SECTION B: SCHEDULE

1. TT will maintain communication with the developer and perform site inspections on an as-need basis.

SECTION C: NEW ACTION ITEMS

1. N/A

SECTION D: OUTSTANDING ACTION ITEMS

1. N/A

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
LABOR		EQUIPMENT		DEPT./COMPANY	WORK DESC.
Sup't		Excavator	2		
Foreman	1	Loader			
Laborers	8-12	Bulldozer			
Drivers		Tri-Axle Dump Truck		OFFICIAL VISITORS TO JOB	
Operators		Trailer Dump Truck			
Surveyors		Asphalt Paver		NAME	DEPT.
Masons		Roller (static) [vibratory]	1		
Police Detail		Concrete Truck			

FIELD REPORT

PROJECT Bright Path Child Care Center	DATE 12/08/2022	REPORT NO. 02
LOCATION 67C Main St., Medway, MA	TT PROJECT NO. 143-21583-22019	TT INSPECTOR Tucker Paradee, EIT
CONTRACTOR TD Construction (Contractor)	WEATHER A.M. CLEAR P.M.	TEMPERATURE A.M. 45° - 55° (F) P.M.

SECTION A: FIELD OBSERVATIONS

1. Ground surface is firm with some wet and soft spots. Minor stormwater ponding is observed near existing shrubs. Construction fencing surrounds the active works zone and is gated at the end of the day. Silt sacks have been installed in catch basins located west of the construction site and appear to be in good condition.
2. Contractor has poured concrete around both sides of the vertical concrete curbing along the western limit of work. Contractor to point spacing between curb members with mortar.
3. Posts have been installed for the proposed fencing within the infant and toddler play areas. Stone dust has been placed at a depth of approx. 1 ½ inches in these regions for the proposed artificial turf.
4. Catch basin has been installed and backfilled with excavated material. Two layers of brick masonry has been used to raise frame and grate to final grade.
5. Construction equipment and materials are stockpiled along the eastern construction fence.

SECTION B: SCHEDULE

1. TT will maintain communication with the developer and perform site inspections on an as-need basis.

SECTION C: NEW ACTION ITEMS

1. N/A

SECTION D: OUTSTANDING ACTION ITEMS

1. N/A

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
LABOR		EQUIPMENT		DEPT./COMPANY	WORK DESC.
Sup't		Excavator	2		
Foreman	1	Loader			
Laborers		Bulldozer			
Drivers		Tri-Axle Dump Truck		OFFICIAL VISITORS TO JOB	
Operators		Trailer Dump Truck			
Surveyors		Asphalt Paver		NAME	DEPT.
Masons		Roller (static) [vibratory]	1		
Police Detail		Concrete Truck			

FIELD REPORT

PROJECT Bright Path Child Care Center	DATE 12/09/2022	REPORT NO. 03
LOCATION 67C Main St., Medway, MA	TT PROJECT NO. 143-21583-22019	TT INSPECTOR Tucker Paradee, EIT
CONTRACTOR TD Construction (Contractor)	WEATHER A.M. P.M. CLEAR	TEMPERATURE A.M. P.M. 40° - 50° (F)

SECTION A: FIELD OBSERVATIONS

1. Firm ground conditions throughout the site. Previously observed ponding stormwater remains but has reduced significantly. Construction fencing surrounds the entire site. Silt sacks in existing catch basins remain in good condition.
2. Upon arrival, contractor has installed proposed drainage pipe between the proposed catch basins and existing catch basin. A rotary laser level and rod was used to confirm the required elevations. Approx. 6" of crushed stone was placed beneath the 12-inch HDPE drainage pipe as well as on top. Brick and mortar is used around the outside of the structure inverts to parge any gaps. Contractor to parge the invert from the inside the following day with the rest of the crew. Excavated material is used to backfill the rest of the trench.
3. Contractor to install proposed perforated underdrain in the following weeks.
4. Construction equipment and materials are stockpiled along the eastern construction fence.

SECTION B: SCHEDULE

1. TT will maintain communication with the developer and perform site inspections on an as-need basis.

SECTION C: NEW ACTION ITEMS

1. N/A

SECTION D: OUTSTANDING ACTION ITEMS

1. N/A

CONTRACTOR'S FORCE AND EQUIPMENT				WORK DONE BY OTHERS	
LABOR		EQUIPMENT		DEPT./COMPANY	WORK DESC.
Sup't		Excavator	2		
Foreman	1	Loader			
Laborers		Bulldozer			
Drivers		Tri-Axle Dump Truck		OFFICIAL VISITORS TO JOB	
Operators		Trailer Dump Truck			
Surveyors		Asphalt Paver		NAME	DEPT.
Masons		Roller (static) [vibratory]	1		
Police Detail		Concrete Truck			



dan@legacy-ce.com
508-376-8883(o)
508-868-8353(c)
730 Main Street
Suite 2C
Millis, MA 02054

CONSTRUCTION INSPECTION REPORT

Date of Inspection: 12/21/2022 **Time On-Site:** 10:00 am **Weather:** 40F, Sunny

Location: William Wallace Village, 274 Village Street, Medway, MA

Inspection By: Daniel J. Merrikin, P.E.

Date of Report: 12/23/2022

Observation Requested by: DTRT LLC
Medway Planning & Economic Development Board

Activity Summary:

At the time of inspection work on the following structures was ongoing:

- Unit 2/4 is substantially complete and occupied.
- Unit 6/8 appears to be substantially complete and occupied.
- Unit 18 (old house) is substantially complete and occupied.
- Unit 20/22/24 appears to be substantially complete and occupied.
- Unit 10/12 is substantially complete on the exterior. Interior construction continues.
- Unit 14/16 is substantially complete on the exterior. Interior construction continues.
- The mail kiosk is substantially complete.

Note the following site construction activities since our last inspection.

- Site subgrade and utility installation work continues around unit 14/16.
 - Sidewalks in the site and along Village Street have been installed.
 - A shed has been installed in the northwest corner of the site.
-



Erosion Controls:

Note the following:

- Although there is no indication of the erosion of sediment outside of the limit of work, erosion controls are in need of maintenance and upgrade within the buffer zone. It is our understanding that this work was completed yesterday. We will confirm this on our next site visit.
- The Conservation agent has requested that the limit of work be re-staked out behind units 14/16 as it appears there may be a minor encroachment outside of the limit of work. We will inspect the area in question with the Conservation agent in the first week of January to determine if any action is needed.

Recommended Improvements:

1. Upgrade and improve erosion controls as needed.











dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

CONSTRUCTION INSPECTION REPORT

Date of Inspection: 1/4/2023 **Time On-Site:** 10:00 am **Weather:** 40F, Cloudy,
Light rain

Location: William Wallace Village, 274 Village Street, Medway, MA

Inspection By: Daniel J. Merrikin, P.E.

Date of Report: 1/7/2023

Observation Requested by: DTRT LLC
Medway Planning & Economic Development Board

Activity Summary:

At the time of inspection work on the following structures was ongoing:

- Unit 2/4 is substantially complete and occupied.
- Unit 6/8 appears to be substantially complete and occupied.
- Unit 18 (old house) is substantially complete and occupied.
- Unit 20/22/24 appears to be substantially complete and occupied.
- Unit 10/12 appears to be substantially complete and occupied.
- Unit 14/16 is substantially complete on the exterior. Interior construction continues.
- The mail kiosk is substantially complete.

Note the following site construction activities since our last inspection.

- Aside from some work around unit 14/16, little site work has been undertaken since our last inspection.
 - No disturb granite monuments have been installed.
-



Erosion Controls:

Note the following:

- Erosion controls throughout the buffer zone were improved by re-setting the silt fence and adding compost socks where needed.
- As coordinated with the Conservation agent, the approved limit of work behind unit 14/16 was staked out and it was concluded that small encroachments were made beyond the approved limit of work. As directed by the Conservation agent, a new erosion control line was established along the approved limit of work, and the downslope disturbed areas will be loamed and seeded in the spring.

Recommended Improvements:

1. None







Project Engineer's Construction Progress Report

Project Name: Multi Family Building
Project Location: 288 Village Street, Medway
Date of Report: December 19, 2022
Professional Engineer: Norman G. Hill, PE 31887
Land Planning, Inc.

Observations:

Siltation Barrier is in place and is being maintained

No siltation was observed leaving the site

Site is mostly at subgrade and driveway has base course of pavement

Building is weather tight, interior work is continuing

Land Planning, Inc. has no recommendations at this time.

Anticipated Future Work:

Interior building construction to continue

Final site grading, rain garden, finish paving in spring when weather permits

Gas service connection

Electric service connection

Photos

Footing Construction (8/26/22)



Foundation Construction (9/12/22)

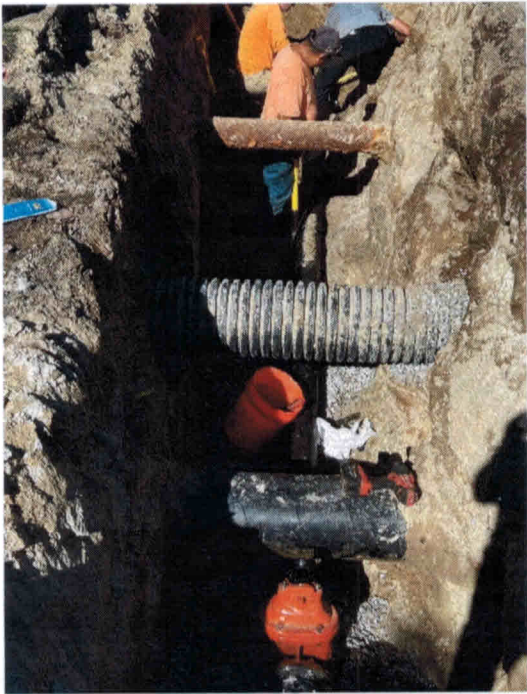


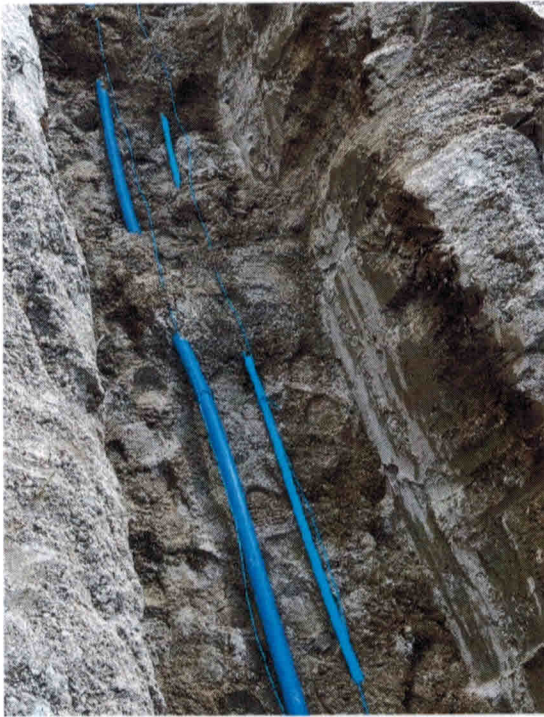
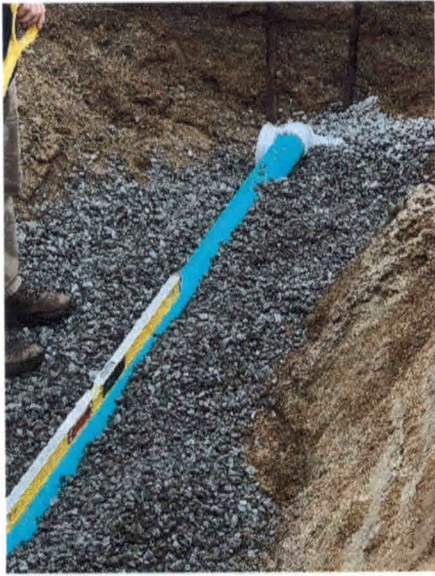
Infiltration Area Installation (9/15/22)





Utility Installation (9/21/22)





General Inspection 12/6/22



Progress Report

Project Details

Project name	Cutler Place	
Location	6 Cutler Street	Medway MA
Owner	Cutler Place LLC	Medway MA
Reporting period	12-1-2022 thru 12-31-2022	
Report compiled by	Ron Tiberi P.E. 	9 Mass Ave Natick MA
Date inspected/ submitted	12/30/22	

Summary

Erosion controls partially installed & maintained. Limited Site Activity. – Dumpster pad, Site lighting

Activities

Activity 1 Construction Controls

Status	Achieved
Objective	Addition Enclosed- decks completed
Activity dates	
Progress	
Comments	Sanitary Facilities on-site, No construction trailers

Activity 2 Erosion Controls

Status	Achieved
Objective	Erosion controls implemented & maintained
Activity dates	
Progress	Completed & maintained
Comments	

Activity 3 Water, Sewer & Utilities

Status	Completed
Objective	Electrical And Gas Services are stubbed to building, waiting on Meter installations
Activity dates	
Progress	Piping installed to Cutler Street, and domestic H2O and fire suppression lines have also been stubbed into basement from street.
Comments	

Activity 4 Parking Area

Status	
Objective	Rain Garden rough graded
Activity dates	
Progress	
Comments	

Activity 5 Building

Status	IN Progress
Objective	Addition Enclosed, decks completed
Activity dates	
Progress	
Comments	

Activity 6 Site Features

Status	Parking lot Light poles and dumpster pad installed
Objective	
Activity dates	
Progress	
Comments	

Photographs

#1



Entryway light pole and rough grading

#2



Utility Meter banks

#3



Dumpster pad



I hereby attest that the construction is being conducted in substantial compliance with the plan approved and endorsed by the Medway Planning and Economic Development Board.

Certified by:

Norman G. Hill
Norman G. Hill, PE 31887

12-19-22
Date



dan@legacy-ce.com

508-376-8883(o)

508-868-8353(c)

730 Main Street

Suite 2C

Millis, MA 02054

CONSTRUCTION INSPECTION REPORT

Date of Inspection: 1/4/2023 **Time On-Site:** 10:00 am **Weather:** 40F, Cloudy,
Light rain

Location: William Wallace Village, 274 Village Street, Medway, MA

Inspection By: Daniel J. Merrikin, P.E.

Date of Report: 1/7/2023

Observation Requested by: DTRT LLC
Medway Planning & Economic Development Board

Activity Summary:

At the time of inspection work on the following structures was ongoing:

- Unit 2/4 is substantially complete and occupied.
- Unit 6/8 appears to be substantially complete and occupied.
- Unit 18 (old house) is substantially complete and occupied.
- Unit 20/22/24 appears to be substantially complete and occupied.
- Unit 10/12 appears to be substantially complete and occupied.
- Unit 14/16 is substantially complete on the exterior. Interior construction continues.
- The mail kiosk is substantially complete.

Note the following site construction activities since our last inspection.

- Aside from some work around unit 14/16, little site work has been undertaken since our last inspection.
 - No disturb granite monuments have been installed.
-



Erosion Controls:

Note the following:

- Erosion controls throughout the buffer zone were improved by re-setting the silt fence and adding compost socks where needed.
- As coordinated with the Conservation agent, the approved limit of work behind unit 14/16 was staked out and it was concluded that small encroachments were made beyond the approved limit of work. As directed by the Conservation agent, a new erosion control line was established along the approved limit of work, and the downslope disturbed areas will be loamed and seeded in the spring.

Recommended Improvements:

1. None









January 10, 2023
Medway Planning & Economic Development Board
Meeting

Possible Zoning Bylaw Amendments for
May 2023 Town Meeting

- List of possible ZBL amendment ideas
- Contracting Services – revised from fall town meeting
- Electric Vehicle parking
- Site Plan re: sidewalk construction on frontage roads
- Limitations on metal roofs in the Groundwater Protection District
- Oak Grove tables
- Early Suburban Zoning District Ideas (list and map)
- Section 6

Potential Zoning Bylaw amendments for 2023 ATM

1. Housekeeping – Change Town Administrator to Town Manager anywhere it appears; delete Section 1/8 Temporary BESS Moratorium; modify text re: who can edit ZBL for form (not content) from PEDB Coordinator to CED Director
2. Adjustments to Oak Grove zoning
3. Adjustments to Central Business to address existing structures and uses; also planting and street trees per Code Review Report
4. Site plan review adjustments re: sidewalk construction
5. New zoning district for areas with small lots (Brentwood; Kenney Drive areas)
6. Parking requirements per Code Review Report – Increase # of Electric Vehicle Parking Spaces and add provisions for EV Ready spaces;
7. Open space/impervious surface adjustments – Per Code Review Report
8. Contractor's Quarters (renamed to Construction Services)
9. Dimensional Regs – Adjust so that small porticos, landings, stairs, overhangs, etc. up to 30 sq. ft. are not counted if they go into the setback areas. Norfolk language. Requested by Building Commissioner Jon Ackley
10. Sign Regulations
11. BESS bylaw revisions if needed after the AG's review
12. Groundwater Protection District – be clear about metal roofs

General Bylaws

1. Wetlands bylaw, add further enforcement provisions
2. Tree protection bylaw
3. Land Disturbance Permit per Code Review Report

Contracting Services

Further edits 1-6-2023

ARTICLE : To see if the Town will vote to amend the Zoning Bylaw by adding the following definition in Section 2:

CONSTRUCTION CONTRACTING SERVICES - The premises and structures which serve as the office space and staging area of a building, plumbing, electrical, carpentry, or other similar construction contractor, excluding landscaping businesses and those contractors primarily involved in the excavation or the relocation or transfer of earth. Associated retail sales, showroom, product assembly, storage areas for finished and unfinished products, and servicing of equipment in support of the contracting business are also allowed. All equipment, supplies and materials associated with the business must be stored inside at all times. In the Village Commercial Zoning Districts, on-site parking for company vehicles shall be limited to three commercial vehicles.

And by amending Table 1, Schedule of Uses in Section 5 Use Regulations to allow Construction Contracting Services by right in the following zoning districts: Business Industrial, West Industrial, East Industrial, Neighborhood Commercial, and Oak Grove Business Park; and by special permit in the Central Business District and Village Commercial Districts.

And to act in any manner related thereto.

PLANNING AND ECONOMIC DEVELOPMENT BOARD

(Original proposal, withdrawn for 11-14 TM)

Contractor's Quarters: The premises of a building, construction, plumbing, wiring, landscaping, or other similar contracting or sub-contracting business, occupied and used by a contractor or subcontractor with offices for its administrative operations and any one or more of the following purposes to be conducted wholly indoors: storage of equipment, supplies and materials, and finished products; product assembly; servicing of equipment; wholesale or retail sales; or showroom for finished and unfinished products or materials.

EV Parking
Revised 12-9-22 SC

ARTICLE : To see if the Town will amend the Zoning Bylaw, Section 2 DEFINITIONS by adding the following definitions:

ELECTRIC VEHICLE (EV): An automotive-type vehicle for on-road use, such as passenger automobiles, buses, trucks, vans, neighborhood electric vehicles, electric motorcycles, and the like, primarily powered by an electric motor that draws current from a rechargeable storage battery, fuel cell, photovoltaic array, or other source of electric current.

ELECTRIC VEHICLE READY PARKING SPACE ("EV READY SPACE"): A designated parking space which is provided with wiring and electrical service ~~located within 6 feet of the parking space~~ that is sufficient to provide AC Level 2 or equivalent EV charging, as defined by Standard SAE J1772 for EVSE servicing *electric vehicles*.

ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE): The conductors, including the ungrounded, grounded, and equipment grounding conductors, and the Electric Vehicle connectors, attachment plugs, and all other fittings, devices, power outlets, or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the Electric Vehicle.

And by amending Section 7.1.1 Off-Street Parking and Loading, E. General Parking Requirements, item 4. Electric Vehicle Parking by deleting the current text and replacing it as follows:

4. Electric Vehicle Parking –
 - a) Multi-family housing developments shall provide at least one parking space with either an EV Charging Station or an EV Ready Parking Space per dwelling unit.
 - b) The parking areas of industrial, commercial, mixed-use, and institutional developments with fifteen or more parking spaces shall be comprised of at least 20% Electric Vehicle Charging Station spaces and at least another 30% of Electric Vehicle Ready Parking Spaces.

The required number of electric vehicle and electric vehicle ready parking spaces is to be included within the total number of required parking spaces computed pursuant to section 7.1.1.E.1.

Commented [BSA1]: What is this? If we are going to include it, could we include where this standard is from?

Commented [SAC2R1]: https://www.sae.org/standards/content/j1772_201710/ ???

Commented [SC3R1]: This is the type of plug connection, like a two prong electric plug for your coffee maker, or a three prong for a grounded outlet etc... Teslas have their own plug connection, but you can buy adapters

Commented [SAC4R1]: SAE International is a United States based, professional association and standards developing organization for engineering professionals and related technical experts to enable safe, clean, and accessible mobility solutions.

Commented [SC5]: I think this is great. Just wondering where you got these percentages so we can defend it

Site Plan Amendments

Revised Draft 1-6-2023

To amend Section 3.5.4 Procedures for Site Plan Review, I. 3. as follows:

3. Unless the Board determines that adequate means of pedestrian travel is already provided to the site, sidewalks shall be provided along the entire frontage of the subject property along existing public ways, including the frontage of any lots held in common ownership with the parcel(s) within five years prior to the submission of the application for site plan review and approval. In those instances where the Board determines that sidewalk construction is not feasible or practical, the Applicant will fund sidewalk construction elsewhere in the community. ~~This may be accomplished either by constructing an equivalent length of sidewalk elsewhere in the community as authorized by the Department of Public Works or~~ **by** making a payment in lieu of sidewalk construction to the Town, ~~or a combination of both.~~

Amendment to Groundwater Protection District

DRAFT – January 9, 2022

ARTICLE : To see if the Town will vote to amend the Zoning Bylaw, Groundwater Protection Overlay District, Section 5.6.3 F.2, Prohibited Uses, by adding a new item “p”. as follows:

p. Installation of metal roofs on any new or existing structure, unless such metal roof meets the requirements of the current version of the Massachusetts Stormwater Management Standards for infiltration of runoff from a metal roof that is located within the Zone II or Interim Wellhead Protection Area of a public water supply.

Commented [BSA1]: Should we be more specific?

Oak Grove Amendments

Article ____ To see if the town will vote to amend the Zoning Bylaw, Tables 9.4.C.1.A through 9.4.C.1.C as follows:

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		ROWHOUSE (RH) ON SEPARATE LOT	ROWHOUSE (RH) ON COMMON LOT
1. DEFINITION		A small footprint attached single family residential building with narrow massing and located on an individual lot. Each dwelling unit is separated horizontally by a common wall and groups of buildings may be separated by a common driveway or community space.	A small footprint attached single family residential building with narrow massing and located on a common lot with other units. Each dwelling unit is separated horizontally by common walls and groups of buildings may be separated by a common driveway or community space.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	1,200-3,000 S.F.
2.2	Frontage (Min./Max.)	18 Ft. / 24 Ft.	40 18 Ft. / 24 Ft.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft./15 Ft.	5 Ft./15 Ft.
2.4	Side Yard Setback (Min.)	0 Ft. (15 Feet if Detached)	0 Ft. (15 Feet if Detached) <u>(0 ft if common wall)</u>
2.5	Rear Yard Setback (Min.)	15 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	15%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	2.5 Stories/35 Ft.	2.5 Stories/35 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. / 24 Ft.	18 Ft. / 24 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Off-street parking is not allowed between the buildings.	Off-street parking is not allowed between the buildings.
4.2		A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or Outdoor Amenity Space.	A maximum of 8 units can be attached by a common wall before accessway of 20 feet is provided for pedestrians, vehicles or Outdoor Amenity Space.

TABLE 9.4.C.1.A - RESIDENTIAL BUILDING TYPES AND DESIGN STANDARDS

1. BUILDING TYPES AND DEFINITIONS			
		COTTAGE (C)	MULTI-FAMILY BUILDING (MF)
1. DEFINITION		A small detached single-family dwelling with narrow massing. Cottages are permitted on individual lots or as part of a Pocket Neighborhood Development.	A residential building type with three or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways. MF Buildings do not include non-residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	1,200 S.F.	8,000 S.F.
2.2	Frontage (Min./Max.)	25 Ft. / 40 Ft.	80 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	5 Ft. / 20 Ft.	10 Ft. / 30 Ft.
2.4	Side Yard Setback (Min.)	5 Ft.	15 Ft.
2.5	Rear Yard Setback (Min.)	10 Ft.	20 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	1.5 Stories / 22 Ft.	4 Stories / 40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	18 Ft. Min.	18 Ft. / 100 Ft.
3.3	Street Facing Entrance	Not Required	Not Required
3.4	Maximum Building Footprint (SF)	Not Required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Maximum of 1 Dwelling Unit per building.	
4.2		Maximum unit size is 1,400 GFA and 3 Bedrooms.	
4.3		See Section 9.5.B.2 for Pocket Neighborhood Development Standards.	

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS

1. BUILDING TYPES AND DEFINITIONS			
		MIXED USE BUILDING (MUB)	GENERAL COMMERCIAL BUILDING (GCB)
1.1 DEFINITION		A building that typically can accommodates a variety of ground floor commercial <u>and business</u> uses and upper floor residential and/or office uses at a scale that is compatible and complimentary to its given district.	A building that typically can accommodates a variety of ground floor commercial, <u>business, office and retail</u> uses and upper floor office uses, or all office uses , at a scale that is compatible and complimentary to its given district. GC Buildings do not include residential uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Ft. Min.	50 Ft. Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 20 Ft.	0 Ft. / 20 Ft.
2.4	Side Yard Setback (Min.)	10 Ft. (0 Ft if Common Wall)	10 Ft. (0 Ft if Common Wall)
2.5	Rear Yard Setback (Min.)	20 Ft.	15 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories /40 Ft.	3 Stories/40 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	Not required	Not required
4. ADDITIONAL STANDARDS			
4.1		One-story buildings must have a minimum street facing façade height of 18 feet.	One-story buildings must have a minimum street facing façade height of 18 feet.
4.2		Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 25 feet to accommodate vehicle access to the side and rear of the property.	Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 20 feet to accommodate vehicle access to the side and rear of the property.

TABLE 9.4.C.1.B. MIXED-USE & COMMERCIAL BUILDING TYPES AND DESIGN STANDARDS

1. BUILDING TYPES AND DEFINITIONS			
		HOTEL (HTL)	GAS STATION AND CONVENIENCE STORE (GCR)
1.1 DEFINITION		A building type defined in Section 2 of the Zoning Bylaws.	This building type reverses the conventional site layout for gas stations with convenience store by placing the storefront along the street line and the gas pumps and canopy behind. This reverse layout highlights the building, shields the pumps and canopy and pulls the curb-cuts away from the street, creating easier access.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	75 Ft. Min.	100 Min. / 150 Ft. Max. (Per Street)
2.3	Front Yard Build-To-Zone (Min./Max.)	20 Ft. Min.	5 Ft. Min./15 Ft. Max. (Per Street)
2.4	Side Yard Setback (Min.)	10 Ft.	20 Ft.
2.5	Rear Yard Setback (Min.)	20 Ft.	30 Ft.
2.6	Outdoor Amenity Space Lot Coverage (Min.)	15%	10%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	5 Stories /50 Ft.	1.5 Stories / 24 Ft.
3.2	Street Facing Wall Width (Min./Max.)	30 Ft. / 150 Ft.	30 Ft. / 60 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	Not required	4,000 S.F.
4. ADDITIONAL STANDARDS			
4.1			A maximum of 6 gas pumps are allowed and must be located behind the convenience store and have two means of access and egress.
4.2			Gas station canopies should be designed as an integral part of the store architecture whenever possible.

TABLE 9.4.C.1.C. - INDUSTRIAL AND COMMUNITY BUILDING AND DESIGN STANDARDS			
1. BUILDING TYPES AND DEFINITIONS			
		FABRICATION OR FLEX BUILDING (FFB)	CIVIC OR COMMUNITY BUILDING (CB)
1.2 DEFINITION		A building located and designed to accommodate a variety of fabrication, trades and general industrial uses and related support services such as office, storage, distribution, and sales. Flex buildings also support these uses and provide affordable space to small and creative business enterprises.	A building located and designed for public <u>use and/or</u> assembly such as for <u>municipal</u> , social, religious, educational, recreational, and similar civic uses.
2. LOT STANDARDS			
2.1	Lot Size (S.F.) (Min.)	Not Required	Not Required
2.2	Frontage (Min./Max.)	50 Min.	80 Min.
2.3	Front Yard Build-To-Zone (Min./Max.)	0 Ft. / 30 Ft.	20 Ft. Min.
2.4	Side Yard Setback (Min.)	20 Ft (0 Ft if Common Wall)	15 Ft
2.5	Rear Yard Setback (Min.)	20 Ft	20 Ft
2.6	Outdoor Amenity Space Lot Coverage (Min.)	10%	20%
3. DESIGN STANDARDS			
3.1	Building Height (Max.)	4 Stories / 60 Ft	3 Stories / 45 Ft
3.2	Street Facing Wall Width (Min./Max.)	60 Ft. / 100 Ft.	60 Ft. / 100 Ft.
3.4	Street Facing Entrance	Required	Required
3.5	Maximum Building Footprint (SF)	Not required	Not Required
4. ADDITIONAL STANDARDS			
4.1		Where there is a side setback, a minimum of 8 feet is required to accommodate pedestrian access or 25 feet to accommodate vehicle access to the side and rear of the property.	

Preliminary Ideas for Streets for an AR-3 zoning district (early suburban)

Updated 1-9-23/sac

Beatrice Lane

Carol Lane

Douglas Street

Gorwin Drive

Karen Avenue

Lee Lane

Meryl Street

Richard Road

Robin Circle

Portions of Henry and Malloy

Virginia Road

Buttercup Lane

Hemlock Drive

Kenart Road

Koyview Place

Minimum lot size = 10,000 sq. ft.

Minimum Frontage = 85'

Front setback - TBD

Side and Rear setbacks - TBD



Medway Massachusetts - Street Map

Updated January 2021



0 0.25 0.5 1 1.5 2 Miles

Map created by
Fran V. Hutton Lee
GIS Coordinator
Town of Medway, Massachusetts
January, 2021
Street Map with Property Address Numbers:
The information on this map is as accurate as possible for the date,
is subject to change, and is not to be used for Legal Purposes

Article ____
Amendments to Section 6. Dimensional Regulations

To see if the Town will vote to amend the Zoning Bylaw, Section 6.3.C, as follows:

C. In a residential zoning district, the area of any single accessory building or structure shall not exceed the ~~gross floor~~ area of the principal residential building on the premises unless authorized by special permit from the Zoning Board of Appeals.

And amend Section 6.2.F by adding a new subsection 5:

5. Nothing herein shall prevent the projection of steps, porches (not exceeding 30 square feet in area), eaves, cornices, windowsills or belt courses into any required setback.



January 10, 2023
Medway Planning & Economic Development Board
Meeting

2 Marc Road Site Plan Modification –
Plan Endorsement

- Modified Site Plan presented for endorsement, prepared by Legacy Engineering, dated December 28, 2022
- Plan endorsement sign off email from Steve Bouley, P.E., Tetra Tech dated January 4, 2023.
- Certification of paid taxes for 2 Marc Road from Medway Treasurer/Collector's office received December 29, 2022
- Certificate of No Appeal from Town Clerk dated January 4, 2023.

NOTE – The construction observation fee (\$10,309) was paid in full on December 16, 2022.

I recommend the PEDB endorse the modified site plan for 2 Marc Road.

2 MARC ROAD
SITE PLAN OF LAND
IN MEDWAY, MASSACHUSETTS

PREPARED BY:
MERRIKIN ENGINEERING, LLP
730 MAIN STREET, SUITE 2C
MILLIS, MA 02054

FEBRUARY 28, 2022
Latest Revision: December 28, 2022

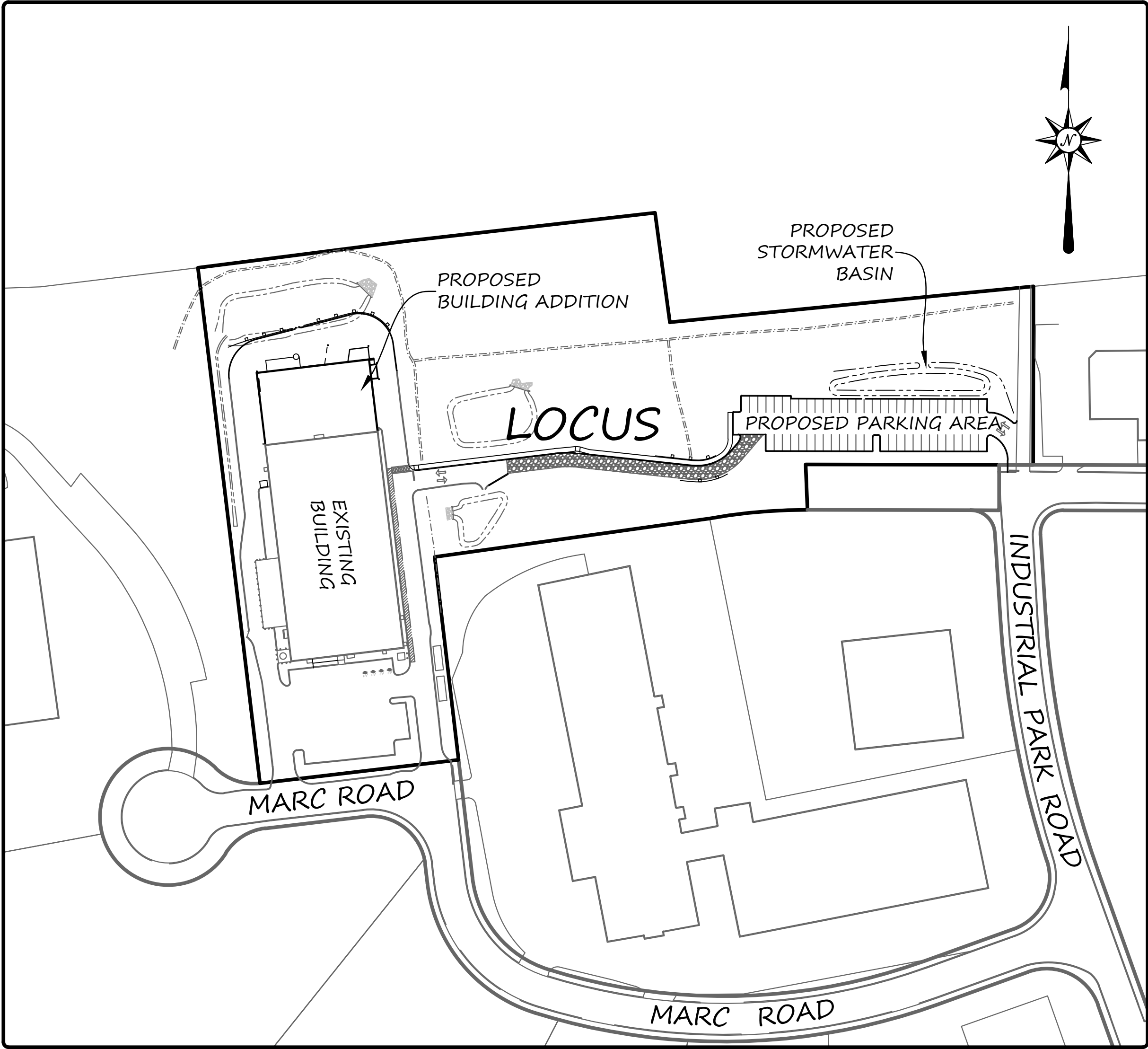
PREPARED FOR:
2 MARC ROAD LLC
730 MAIN STREET
MILLIS, MA 02054

For Registry Use

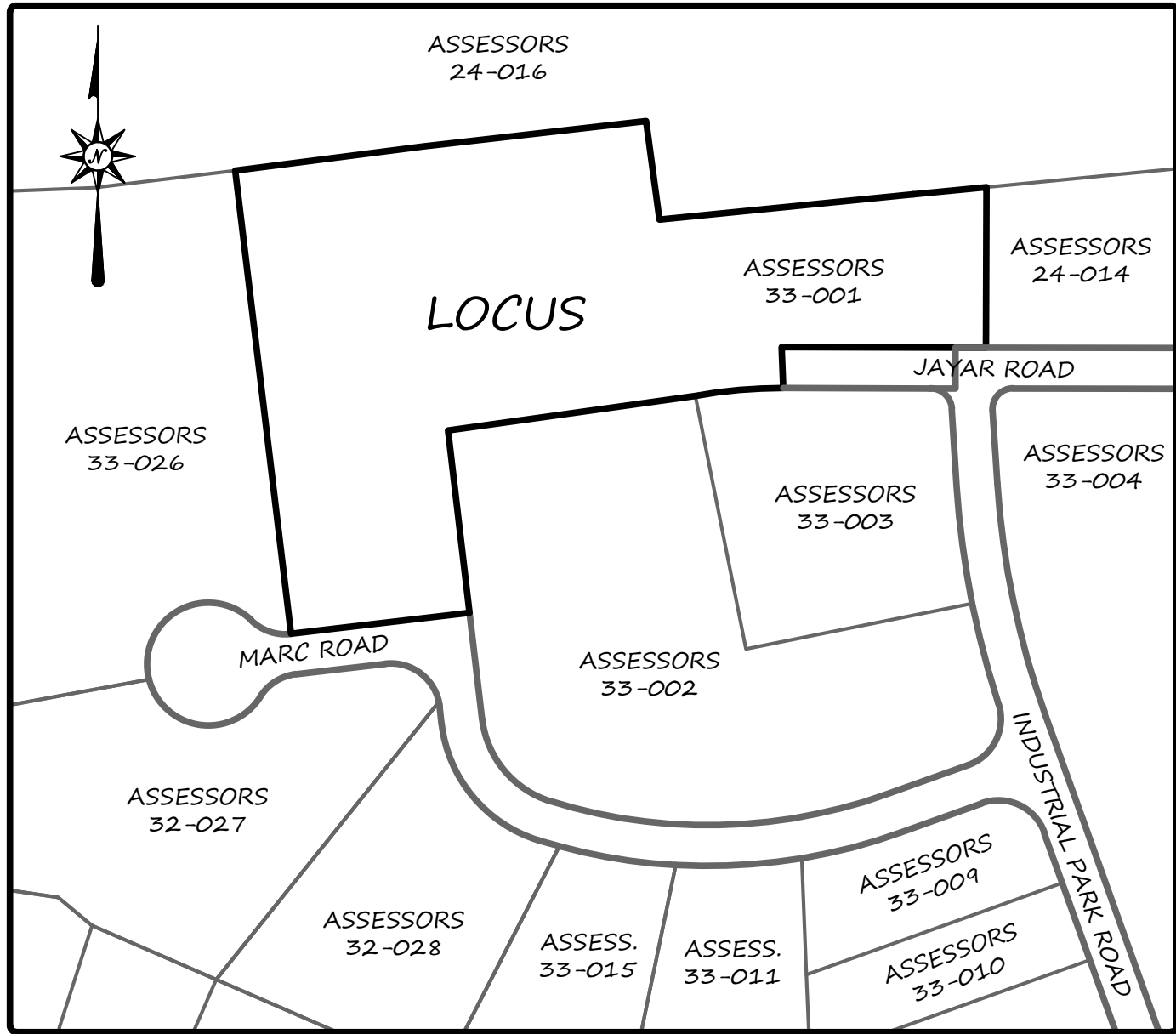
PROGRESS
PRINT



2019 MASSGIS AERIAL LOCUS
SCALE: 1" = 300'



LOCUS
SCALE: 1" = 100'



ASSESSORS LOCUS
SCALE: 1" = 200'

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

PLAN INDEX

- SHEET C-0: COVER
- SHEET C-1: EXISTING CONDITIONS
- SHEET C-2: EROSION CONTROL
- SHEET C-3: LAYOUT
- SHEET C-4: GRADING & UTILITY
- SHEET C-5: LIGHTING
- SHEET C-6: O&M PLAN
- SHEET C-7: DETAIL
- SHEET C-8: DETAIL
- SHEET C-9: DETAIL
- SHEET A1.0: FIRST FLOOR PLAN
- SHEET A1.2: SECOND FLOOR PLAN
- SHEET A4.0: EXTERIOR ELEVATIONS
- SHEET A4.1: RENDERINGS

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

APPROVED WAIVERS:

- S.204-S.C.3: NOT TO HAVE TO INCLUDE AN "EXISTING LANDSCAPE INVENTORY" PREPARED BY A PROFESSIONAL LANDSCAPE ARCHITECT.
- S.204-S.D.8.a: NOT REQUIRE THE SUBMISSION OF A LANDSCAPE PLAN.
- S.207-11.B.2: TO ALLOW CAPE COD BERM ACROSS THE SITE.
- S.207-19.C.1.a: TO NOT REQUIRE 10% OF INTERNAL PARKING AREA TO BE LANDSCAPED.
- S.207-19.C.1.c: TO NOT REQUIRE PARKING AISLES EXCEEDING 25 SPACES TO HAVE LANDSCAPED ISLANDS.
- S.207-19.E: TO NOT REQUIRE LANDSCAPING AROUND THE PROPOSED BASIN.

PREVIOUS APPROVALS:

- SPECIAL PERMITS AND SITE PLAN DECISION, JUNE 28, 2016
 - 1.1. DEED BOOK 34328 PAGE 450, PLAN BOOK 650 PAGE 96
- SPECIAL PERMIT DECISION, FEBRUARY 26, 2019
 - 2.1. DEED BOOK 36679 PAGE 81
- SPECIAL PERMIT MODIFICATION, JANUARY 14, 2020
 - 3.1. DEED BOOK 37927 PAGE 175, PLAN BOOK 692 PAGE 22

PLAN SCALE: AS NOTED

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM
CHANGES PER CONSERVATION COMMENTS	2022-10-20	DJM
DUMPSTER LOCATION REVISED	2022-10-26	DJM
REVISIONS PER DECISION	2022-12-28	DJM

2 MARC ROAD
COVER SHEET
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-0



LEGACY
ENGINEERING

GENERAL NOTES:

- SURVEY & PLAN REFERENCES:
 - DEED REFERENCES:
 - BOOK 8379, PAGE 83
 - BOOK 18164, PAGE 320
 - BOOK 40331, PAGE 234
 - PLAN REFERENCES:
 - PLAN BOOK 299 NO. 400
 - PLAN BOOK 300 NO. 955
 - PLAN BOOK 326 NO. 1145
 - PLAN BOOK 410 NO. 749
 - PLAN BOOK 454 NO. 94
- DATUM: NAVD88
- EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
- FEATURES OUTSIDE OF THE SITE SUCH AS ADJACENT STRUCTURES ARE APPROXIMATE ONLY AND BASED ON AVAILABLE AERIAL PHOTOGRAPHY.

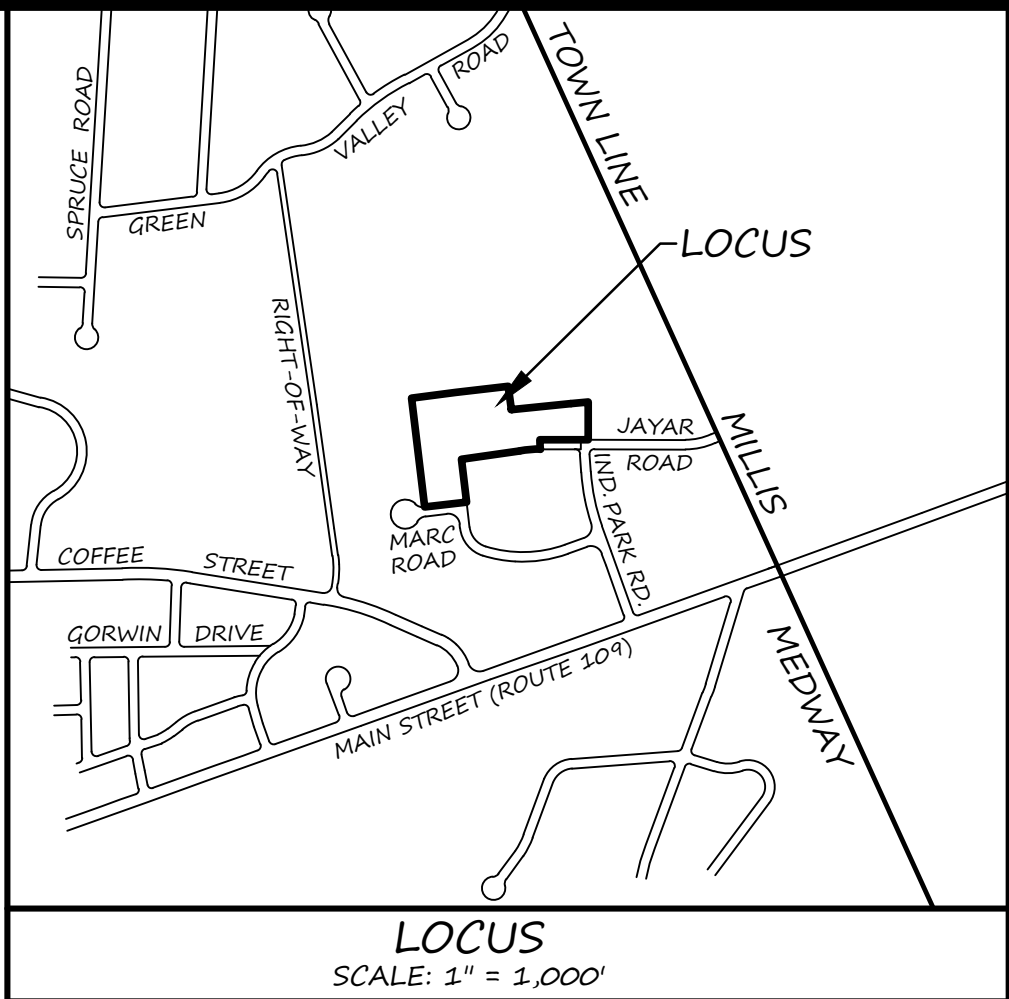
CONSERVATION/EROSION & SEDIMENT CONTROL NOTES:

- PER 310 CMR 10.02(2)(C), THE EXISTING ON-SITE STORMWATER SWALES WERE RECONSTRUCTED FOR MAINTENANCE PURPOSES IN 2017 PURSUANT TO AND ORDER OF CONDITIONS AND ARE THEREFORE NOT CONSIDERED TO BE WETLAND RESOURCE AREAS UNDER THE WETLANDS PROTECTION ACT. THE PRIOR WETLAND DELINEATION ALONG THESE SWALES FROM THE 2016 DESIGN IS SHOWN FOR INFORMATIONAL PURPOSES. BUFFER ZONE LINES INCLUDE THE PRIOR SWALE WETLAND DELINEATION LINES BECAUSE IT IS UNCLEAR HOW THEY ARE TREATED UNDER THE MEDWAY WETLAND BYLAW.
- WETLANDS BOUNDARIES WERE DELINEATED BY RUSSELL WALDRON.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURAL RETAINING WALLS (WALLS WITH AN EXPOSED FACE OF GREATER THAN 4'). DESIGN SHALL BE BY A REGISTERED STRUCTURAL ENGINEER AND SHALL BE STAMPED ACCORDINGLY.

PROGRESS
PRINT



SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

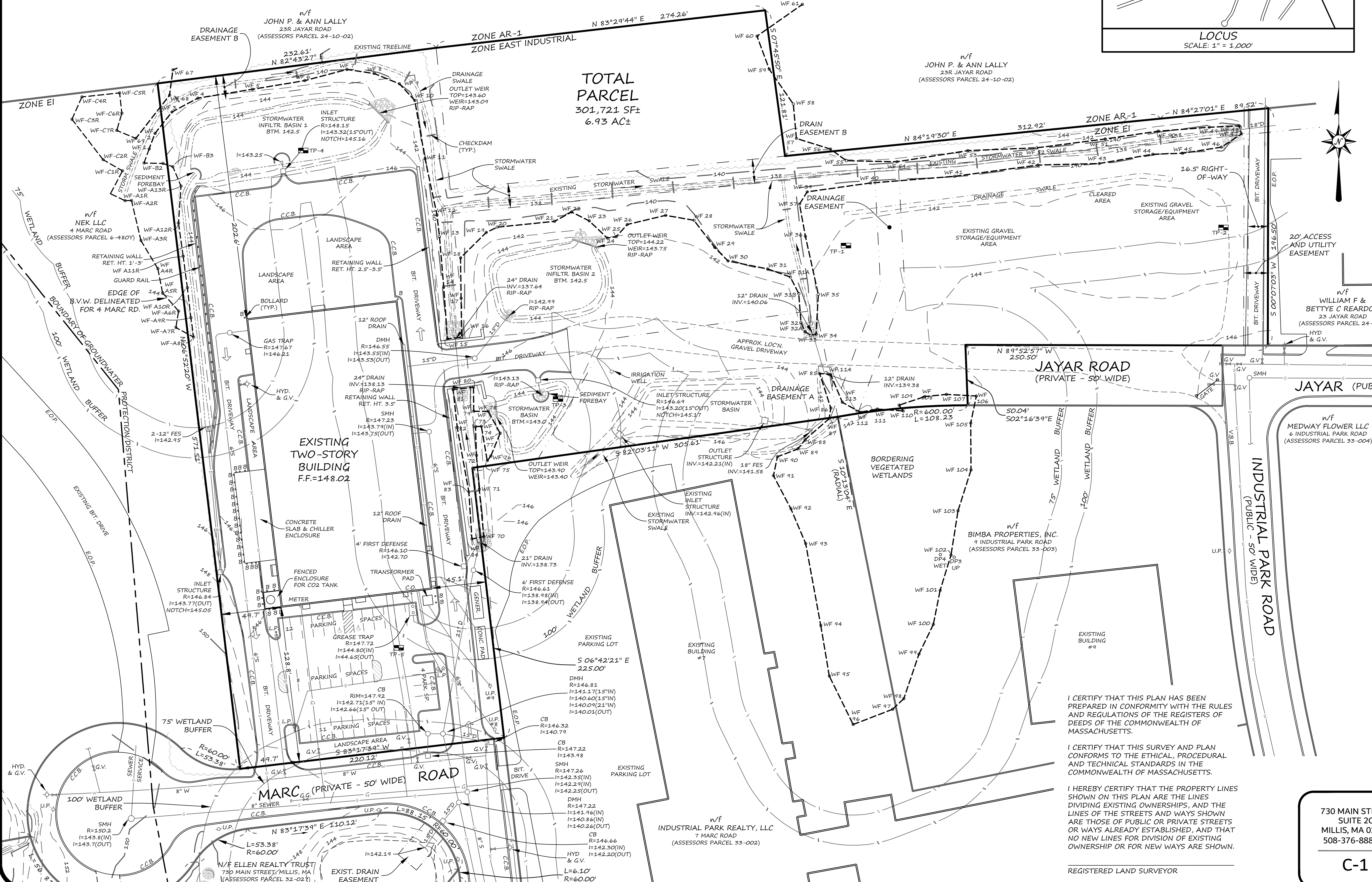
PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN SCALE: 1" = 40'

PLAN DATE: FEBRUARY 28, 2022

2 MARC ROAD
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA

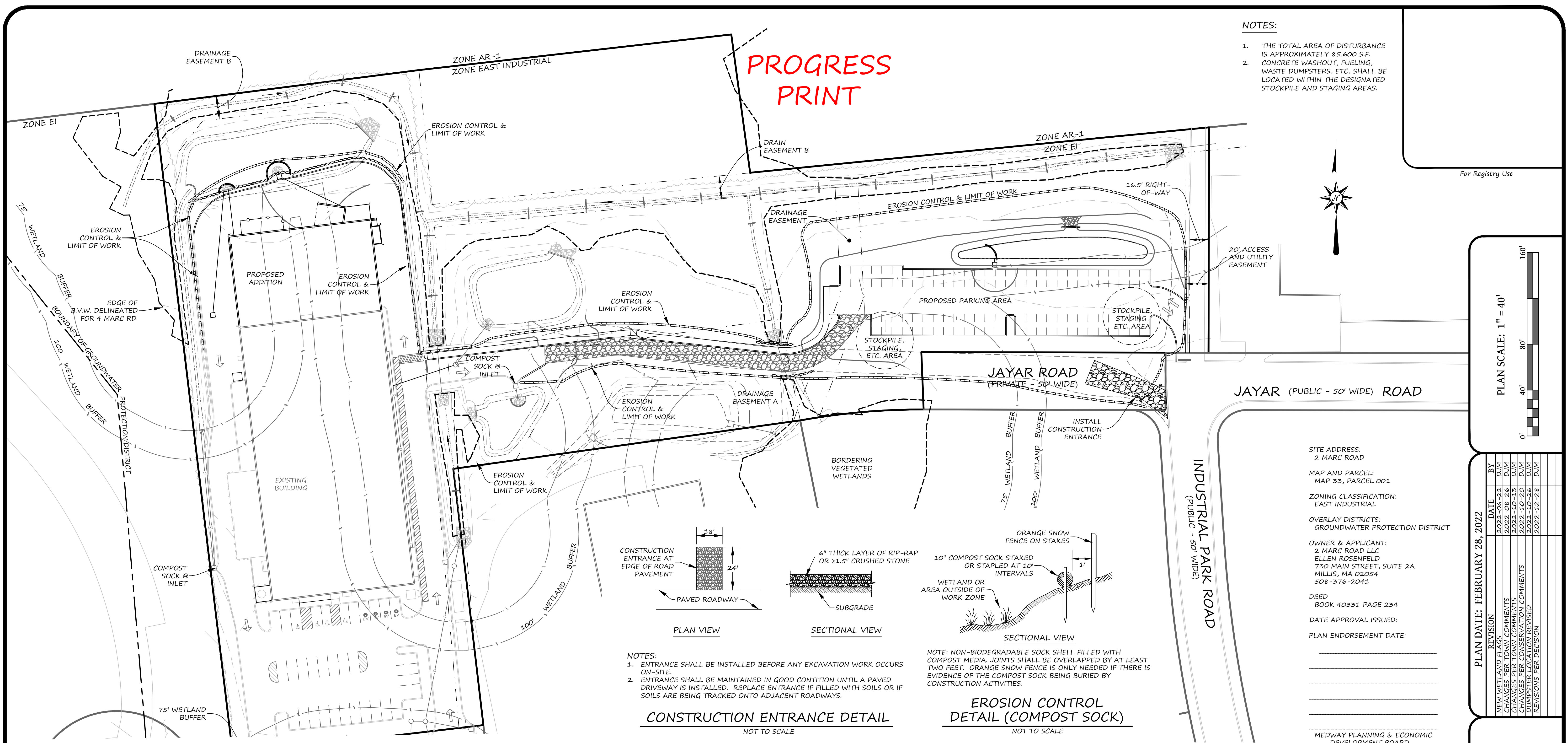


730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



C-1

REGISTERED LAND SURVEYOR



- NOTES:
1. THE TOTAL AREA OF DISTURBANCE IS APPROXIMATELY 85,600 S.F.
 2. CONCRETE WASHOUT, FUELING, WASTE DUMPSTERS, ETC. SHALL BE LOCATED WITHIN THE DESIGNATED STOCKPILE AND STAGING AREAS.

For Registry Use



REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM
CHANGES PER CONSERVATION COMMENTS	2022-10-20	DJM
DUMPSTER LOCATION REVISED	2022-10-26	DJM
REVISIONS PER DECISION	2022-12-28	DJM

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

SEDIMENT & EROSION CONTROL NOTES

- GENERAL**
1. IF APPLICABLE (I.E. >1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SITE PLAN.
 2. FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.
- PHASING AND CONSTRUCTION SEQUENCE**
1. PHASE 1 - CONSTRUCTION SEQUENCE
 - 1.1. STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT);
 - 1.2. DEMARCATTE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA;
 - 1.3. CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRON(S);
 - 1.4. CLEAR AND GRUB THE DEVELOPMENT AREA;
 - 1.5. STRIP AND STOCKPILE TOPSOIL;
 - 1.6. COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS;
 - 1.7. INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION;
 - 1.8. INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM;
 - 1.9. COMPLETE CONSTRUCTION OF NEW BUILDING(S);
 - 1.10. PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE;
 - 1.11. LOAM, SEED, AND STABILIZE DISTURBED AREAS, INCLUDING ALL SITE LANDSCAPING;
 - 1.12. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.
- PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS**
1. PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
 2. SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.
- SITE ACCESS CONTROLS**
1. CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEP AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

- STOCKPILED SOILS**
1. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.
- DUST CONTROL**
1. DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.
- DISTURBANCE OF STEEP SLOPES**
1. CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.
- SOIL COMPACTION**
1. AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENEED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.
- PROTECTION OF STORM DRAIN INLETS**
1. ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.
- TEMPORARY STABILIZATION**
1. FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.
- MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES**
1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL

- MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:
- 1.1. INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
 - 1.2. FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.
- POLLUTION PREVENTION**
1. CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
 2. VEHICLES SHALL BE STORED IN RULED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
 3. VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON-SITE.
 4. MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
 5. WHERE APPLICABLE, REFER TO THE SWPPP FOR:
 - 5.1. FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
 - 5.2. REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
 - 5.3. REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.
- DEWATERING PRACTICES**
1. THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
 - 1.1. DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM;
 - 1.2. IF DEWATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC... IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE;
 - 1.3. WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING PIT CONSISTING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF FILTER FABRIC. DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT;
 - 1.4. VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APRON).
- INSPECTIONS**
1. WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
 - 1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM-EVENT OF 0.25" INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
 - 1.2. ANY DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.

CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

EROSION CONTROL
DETAIL (COMPOST SOCK)

NOT TO SCALE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-2

2 MARC ROAD
EROSION CONTROL
PLAN OF LAND
IN
MEDWAY, MA



LAYOUT NOTES:

1. THE SLOPE OF THE PAVEMENT IN HANDICAP PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. SNOW STORAGE IN WINDROWS ALONG PAVEMENT EDGE AND IN OTHER AREAS SHOWN ON THIS PLAN.
3. STANDARD PARKING SPACES SHALL BE 9' WIDE x 18' DEEP, HANDICAP SPACES SHALL BE 8' WIDE x 18' DEEP, AND COMPACT SPACES SHALL BE 9' WIDE BY 15' DEEP.
4. BIKE RACK SHALL HOLD A MINIMUM OF FIVE BIKES.

SNOW STORAGE NOTES:

1. SNOW MAY BE LEFT IN REASONABLY SIZED WINDROWS ALONG THE EDGE OF DRIVEWAYS AND PARKING AREAS. SUCH WINDROWS SHALL NOT INTERFERE WITH PARKING.
2. SNOW MAY BE PILED IN THE VARIOUS SNOW STORAGE AREAS SHOWN HEREON.
3. SNOW ACCUMULATION MAY NOT INTERFERE WITH PARKING OR TURNING MOVEMENTS AT INTERSECTIONS.
4. AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL LAWS AND REGULATIONS.

LANDSCAPE LEGEND



24 @ 2.5" MIN. CALIPER, 12' MIN. HEIGHT DECIDUOUS TREE (MIX OF RED MAPLE, RED OAK, AND SWAMP WHITE OAK)

34 SHRUBS, MIN. HEIGHT AT INSTALL=18" MIXTURE OF THE FOLLOWING VARIETIES
Highbush Blueberry (Vaccinium corymbosum)
Rhodora (Rhododendron canadense)
Pintax Flower (Rhododendron nudiflorum)
Early Azalea (Rhododendron roseum)
Sheep Laurel (Kalmia augustifolia)
Mountain Laurel (Kalmia latifolia)

PLANTING NOTES:

1. PLANT LOCATIONS MAY VARY.
2. SHRUB QUANTITIES MAY VARY DEPENDING ON AVAILABILITY.
3. TREE SPECIES MAY BE SUBSTITUTED BASED ON AVAILABILITY BUT SHALL BE NATIVE TO MASSACHUSETTS AND SHALL BE OF THE APPROVED SPECIES LISTED IN THE MEDWAY SITE PLAN REGULATIONS. NO CULTIVARS ALLOWED.
4. INVASIVE SPECIES SHALL NOT BE USED.
5. ALL LANDSCAPE AREAS THAT ARE NOT FINISHED AS MULCHED PLANTING BEDS SHALL BE SURFACED WITH A MINIMUM OF 6-INCHES OF LOAM AND SEEDED.
6. WITHIN THE WORK AREA, FOR DISTURBED/REVEGETATED AREAS THAT ARE NOT PART OF A STORMWATER FACILITY OR OTHERWISE STABILIZED WITH PERMANENT IMPROVEMENTS, LOAM AND SEED WITH CONSERVATION/ WILDLIFE SEED MIX.
7. ALL SEED MIXES AND PLANT SPECIES TO BE APPROVED BY CONSERVATION AGENT PRIOR TO INSTALLATION.

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

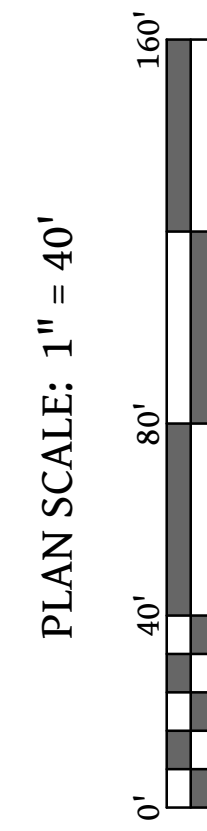
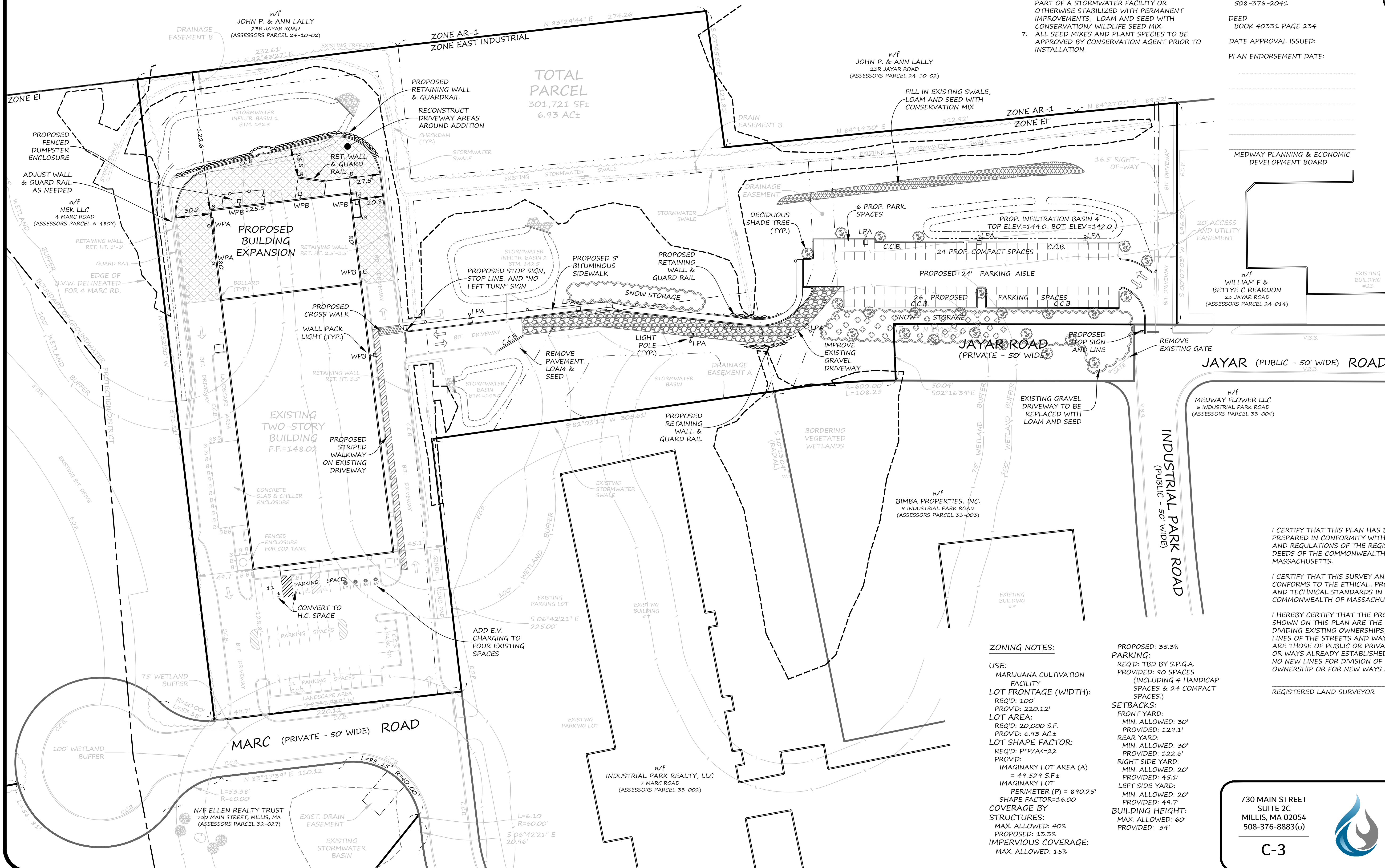
OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

For Registry Use



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2 MARC ROAD
LAYOUT
PLAN OF LAND
IN
MEDWAY, MA

ZONING NOTES:

USE:
MARIJUANA CULTIVATION FACILITY

LOT FRONTAGE (WIDTH):
REQ'D: 100'
PROVD: 220.12'

LOT AREA:
REQ'D: 20,000 S.F.
PROVD: 6.93 AC±

LOT SHAPE FACTOR:
REQ'D: P*P/A<=22
PROVD:

IMAGINARY LOT AREA (A)
= 49,529 S.F.±

IMAGINARY LOT PERIMETER (P) = 890.25'

SHAPE FACTOR=16.00

COVERAGE BY STRUCTURES:
MAX. ALLOWED: 40%
PROPOSED: 13.3%

IMPERVIOUS COVERAGE:
MAX. ALLOWED: 15%

PROPOSED: 35.3%
PARKING:
REQ'D: TBD BY S.P.G.A.
PROVIDED: 90 SPACES (INCLUDING 4 HANDICAP SPACES & 24 COMPACT SPACES.)

SETBACKS:
FRONT YARD:
MIN. ALLOWED: 30'
PROVIDED: 129.1'

REAR YARD:
MIN. ALLOWED: 30'
PROVIDED: 122.6'

RIGHT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 45.1'

LEFT SIDE YARD:
MIN. ALLOWED: 20'
PROVIDED: 49.7'

BUILDING HEIGHT:
MAX. ALLOWED: 60'
PROVIDED: 34'

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REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-3

PROGRESS
PRINT

GRADING NOTES:

- 1. SITE CUT/FILL CALCULATIONS:
 - 1.1. FILL VOLUME: 1,050 C.Y.
 - 1.2. CUT VOLUME: 150 C.Y.
 - 1.3. TOTAL FILL VOLUME: 900 C.Y.

UTILITY NOTES:

- 1. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
- 2. PLUMBERS AND DRAIN LAYERS OF ESTABLISHED REPUTATION AND EXPERIENCE WILL BE LICENSED BY THE BOARD AS DRAIN LAYERS AUTHORIZED TO PERFORM THE WORK.
- 3. ELECTRIC CONDUIT IS TO BE RUN TO THE PROPOSED PARKING AREA FOR FUTURE EV PARKING SPACES.

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

For Registry Use

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

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DEED
BOOK 40331 PAGE 234

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MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PLAN SCALE: 1" = 40'

REVISION	DATE	BY
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2 MARC ROAD
GRADING & UTILITIES
PLAN OF LAND
IN
MEDWAY, MA

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REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-4

PROGRESS
PRINT

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2 MARC ROAD

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OVERLAY DISTRICTS:
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DEED
BOOK 40331 PAGE 234

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For Registry Use

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

w/f
WILLIAM F &
BETTYE C REARDON
23 JAYAR ROAD
(ASSESSORS PARCEL 24-014)

w/f
MEDWAY FLOWER LLC
6 INDUSTRIAL PARK ROAD
(ASSESSORS PARCEL 33-004)

PLAN SCALE: 1" = 40'

PLAN DATE: FEBRUARY 28, 2022

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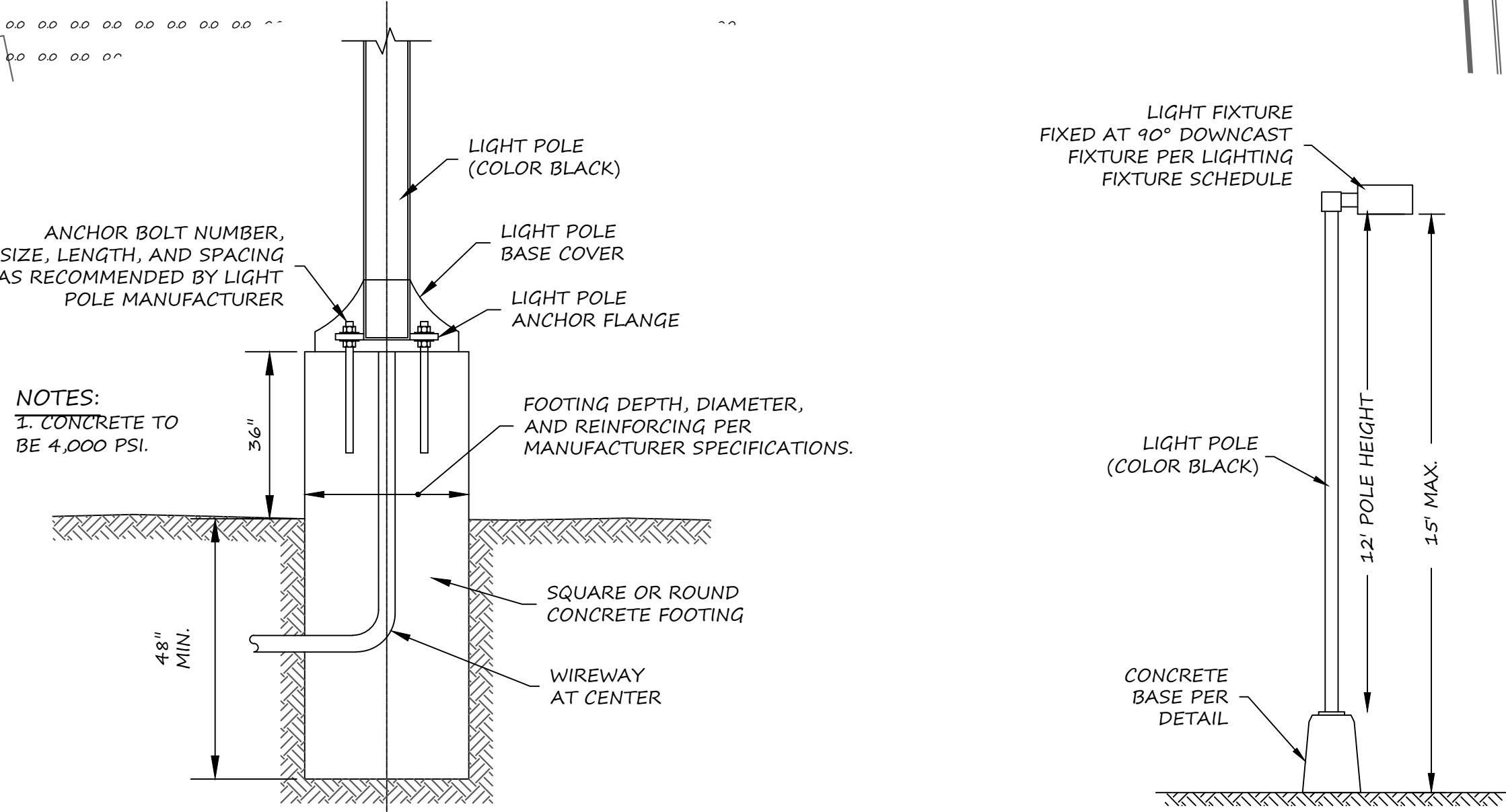
2 MARC ROAD
LIGHTING
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

C-5



CONCRETE LIGHT POLE BASE DETAIL

(NO SCALE)

TYPICAL LIGHT POLE DETAIL

NOT TO SCALE

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊙	7	LPA	POLE WITH SINGLE FIXTURE @ 15' A.G.	RAB LIGHTING ALED4T105
—○	2	WPA	SINGLE WALL SCONCE @ 10' A.G.	RAB LIGHTING SLIM57Y
—□	5	WPB	SINGLE WALL SCONCE @ 15' A.G.	RAB LIGHTING WPLED4T105Y
○	5	BD	LED BOLLARD LIGHT (ROUND)	RAB LIGHTING BDLED18

LIGHTING FIXTURE SCHEDULE

NOT TO SCALE

N/F ELLEN REALTY TRUST
730 MAIN STREET, MILLIS, MA
(ASSESSORS PARCEL 32-027)

PART 1: STORMWATER SYSTEM OPERATIONS AND MAINTENANCE

IN ORDER TO MAXIMIZE THE CONTINUED EFFECTIVENESS OF THE STORMWATER MANAGEMENT BMPs FOR THE DEVELOPMENT, THE FOLLOWING OPERATION AND MAINTENANCE REQUIREMENTS APPLY TO ALL STORMWATER FACILITIES WITHIN THE EXTENTS OF THE DEVELOPMENT. THE STORMWATER FACILITIES ARE DEPICTED ON THE SITE PLAN AND ARE HEREINAFTER REFERRED TO AS THE "STORMWATER FACILITIES."

OPERATIONS AND MAINTENANCE RESPONSIBILITIES

THE OPERATOR OR ITS DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL OPERATIONS AND MAINTENANCE (O&M) RESPONSIBILITIES.

EASEMENT AREAS

THE ABUTTER AT 7 MARC ROAD HAS AN EASEMENT OVER A STORMWATER BASIN ON THE PROPERTY.

COMMENCEMENT OF OPERATIONS AND MAINTENANCE RESPONSIBILITIES

OPERATIONS AND MAINTENANCE TASKS SHALL BE COMMENCED ONCE EACH RESPECTIVE STORMWATER FACILITY IS FULLY CONSTRUCTED AND IS RECEIVING RUNOFF FROM THE DEVELOPMENT.

OPERATIONS AND MAINTENANCE TASKS

DEEP SUMP CATCH BASINS:

1. DEEP SUMP CATCH BASINS SHALL BE INSPECTED DAILY DURING CONSTRUCTION ACTIVITIES AND ALL SEDIMENTS AND DEBRIS SHALL BE REMOVED FOUR TIMES PER YEAR UNLESS THE OWNER CAN DETERMINE THROUGH RECORDED OBSERVATIONS THAT SEDIMENT ACCUMULATION DOES NOT WARRANT SUCH FREQUENT CLEANINGS. IF DEEP SUMP CATCH BASIN CLEANING OCCURS LESS THAN FOUR TIMES PER YEAR, CLEANING SHALL OCCUR WHEN TWO FEET OF SEDIMENTS HAVE ACCUMULATED IN THE SUMP AND AT LEAST ONCE PER YEAR.
2. SILT SACKS SHALL BE INSTALLED ON ALL CATCH BASINS THROUGHOUT THE TIME OF CONSTRUCTION.
3. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

SEDIMENT FOREBAYS:

1. SEDIMENT FOREBAYS SHALL BE INSPECTED AT LEAST FOUR TIMES PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. SEDIMENT FOREBAYS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS.
3. SEDIMENT SHOULD BE REMOVED WHEN 3-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE FOREBAY.
4. REMOVE WOODY VEGETATION, LEAVES, AND OTHER MATERIALS THAT WOULD AFFECT THE LIFE OF THE SYSTEM OR ITS OPERATIONS.

SWALES:

1. SWALES SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO ENSURE PROPER OPERATION (DURING A STORM EVENT).
2. INSPECTIONS SHALL INCLUDE SLOPE INTEGRITY, SOIL MOISTURE, VEGETATIVE HEALTH, SOIL STABILITY, SOIL COMPACTION, SOIL EROSION, PONDING AND SEDIMENTATION.
3. REGULAR MAINTENANCE INCLUDES MOWING, FERTILIZING, LIMING, WATERING, PRUNING, AND WEED/PEST CONTROL. GRASS HEIGHT SHOULD NOT EXCEED 6 INCHES.
4. MANUALLY REMOVE SEDIMENT AT LEAST ONCE PER YEAR.
5. RESEED AS NECESSARY.

STORMWATER INFILTRATION BASIN:

1. STORMWATER BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO INSURE PROPER OPERATION (DURING A STORM EVENT).
2. INSPECTIONS SHALL INCLUDE ENSURING THAT INLET, OUTLET, AND SPLASH PAD RIP-RAP APRONS ARE IN GOOD CONDITION AND THAT THAT INTERIOR WALL SYSTEMS ARE IN GOOD CONDITION. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
3. INSPECTIONS SHALL INCLUDE AN OBSERVATION OF THE ACCUMULATION OF SEDIMENT IN THE BASIN. PRETREATMENT BMPs ARE INTENDED TO CAPTURE AND CONTAIN COARSE SEDIMENTS. SHOULD INDICATION OF SIGNIFICANT ACCUMULATION OF SEDIMENTS IN THE INFILTRATION BASIN BE OBSERVED, INCREASED FREQUENCY OF CLEANING OF THE PRECEDING SEDIMENT FOREBAY AND CATCH BASINS SHALL BE IMPLEMENTED.
4. INSPECTIONS SHALL INCLUDE ENSURING THAT OUTLET STRUCTURES ARE UNOBSTRUCTED AND FREE-FLOWING PER THE SITE PLAN DESIGN SPECIFICATIONS.
5. INSPECTIONS SHALL INCLUDE ENSURING THAT ALL BERMS ARE FULLY STABILIZED, STRUCTURALLY SOUND AND NOT ERODED. DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY.
6. STORMWATER BASINS SHOULD BE MOWED AND ALL CLIPPINGS AND DEBRIS REMOVED AT LEAST TWICE PER YEAR. DEBRIS SHALL BE REMOVED AT MORE FREQUENT INTERVALS IF WARRANTED BY EXTREME WEATHER EVENTS. IF WETLAND VEGETATION GROWS AT THE BOTTOM OF THE STORMWATER BASIN, IT SHALL ONLY BE MOWED ONCE PER YEAR AT THE BEGINNING OF THE WINTER SEASON.
7. SEDIMENT SHOULD BE REMOVED AT LEAST ONCE EVERY 5 YEARS OR WHEN 2-INCHES OF SEDIMENT ACCUMULATES ANYWHERE IN THE BASIN AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. TWO SEDIMENTATION MARKERS SHALL BE INSTALLED IN THE BASIN BY A REGISTERED LAND SURVEYORS WITH A CLEAR MARKING OF THE 2-INCH ACCUMULATION LINE. IT IS RECOMMENDED THAT STONE BOUNDS BE INSTALLED WITH CHISELED MARKS INDICATING THE LIMIT OF ACCUMULATION, ALTHOUGH OTHER SIMILARLY PERMANENT MARKING METHODS MAY BE UTILIZED.

STORMWATER TREATMENT UNITS (SHOWN ON THE SITE PLAN AS "FIRST DEFENSE UNITS": (MAINTENANCE TASKS AND FREQUENCY FROM MANUFACTURER PUBLISHED DATA)

1. STORMWATER TREATMENT UNITS SHALL BE INSPECTED TWICE PER YEAR. SEDIMENTS AND FLOATING DEBRIS AND PETROLEUM PRODUCTS SHALL BE REMOVED WITH A VACUUM TRUCK WHEN EITHER THE SEDIMENT DEPTH REACHES 6-INCHES OR THE FLOATING DEPTH OF PETROLEUM PRODUCTS REACHES 3-INCHES. SEDIMENT AND FLOATING DEBRIS REMOVAL SHALL OCCUR AT LEAST ONCE PER YEAR UNLESS THE OPERATOR CAN DEMONSTRATE THAT SEDIMENT/FLOATING DEBRIS ACCUMULATION DOES NOT ACHIEVE THE THRESHOLDS NOTED ABOVE WITHIN A TYPICAL YEAR. THE OPERATOR SHALL SUBMIT AN ANALYSIS BY A REGISTERED PROFESSIONAL ENGINEER TO THE PLANNING BOARD EXPLAINING THE BASIS FOR MORE INFREQUENT CLEANING.
2. ALL SEDIMENTS AND HYDROCARBONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

STORMWATER PIPES, INLETS AND OUTFALLS:

1. ALL STORMWATER INLETS AND OUTFALLS SHALL BE INSPECTED TWICE PER YEAR, INCLUDING THE 6" CULVERTS UNDER THE SIDEWALK FROM THE REMOTE PARKING AREA TO THE BUILDING.
2. TRASH, LEAVES, DEBRIS AND SEDIMENT SHALL BE REMOVED FROM INLETS AND OUTFALLS AS NEEDED TO KEEP THEM FREE FLOWING.
3. IF INSPECTIONS INDICATE THAT STORMWATER PIPELINES HAVE BECOME PARTIALLY OBSTRUCTED WITH TRASH, LEAVES, DEBRIS OR SEDIMENT, THE PIPELINES SHALL BE CLEANED BY WATER JET TRUCK AND THE OBSTRUCTIONS REMOVED AND DISPOSED OF.

THE VARIOUS OPERATIONS AND MAINTENANCE SCHEDULE REQUIREMENTS LISTED ABOVE MAY BE REDUCED IN FREQUENCY BY APPROVAL FROM THE TOWN. SHOULD SUCH PERMISSION BE DESIRED, THE OPERATOR SHALL PROVIDE DOCUMENTATION OF ACTUAL ON-SITE MAINTENANCE OBSERVATIONS BY A QUALIFIED SOURCE (ENGINEER OR OTHER QUALIFIED PERSON MEETING THE APPROVAL OF THE TOWN) DEMONSTRATING THAT THE PARTICULAR STORMWATER BMP IN QUESTION DOES NOT WARRANT THE SPECIFIED FREQUENCY OF INSPECTION OR MAINTENANCE ACTIVITIES.

REPORTING REQUIREMENTS

THE FOLLOWING DOCUMENTATION SHALL BE SUBMITTED NO LATER THAN DECEMBER 31ST OF EACH CALENDAR YEAR TO THE TOWN:

1. A STATEMENT, SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE OPERATOR INDICATING THAT THE REQUIREMENTS OF THIS O&M PLAN WERE PERFORMED DURING THE PREVIOUS CALENDAR YEAR. WHERE REQUIREMENTS WERE NOT MET, A SCHEDULE FOR THEIR COMPLETION SHALL BE PROVIDED AND A FOLLOW-UP STATEMENT SUBMITTED WHEN COMPLETE.
2. A LIST OF THE MAINTENANCE ACTIVITIES PERFORMED ALONG WITH THE APPROXIMATE DATE OF THE WORK.
3. A LIST OF THE INSPECTIONS COMPLETED ALONG WITH A STATEMENT BY EACH INSPECTOR SUMMARIZING THE RESULTS OF THE INSPECTIONS PERFORMED IN ACCORDANCE WITH THIS O&M PLAN.
4. COPIES OF APPURTENANT DOCUMENTATION SUPPORTING THE COMPLETION OF THE O&M RESPONSIBILITIES SUCH AS COPIES OF CONTRACTS AND/OR RECEIPTS WITH PARTIES ENGAGED TO PERFORM MAINTENANCE AND INSPECTION SERVICES.
5. A NOTATION REGARDING WHETHER THERE HAS BEEN ANY CHANGE IN THE NAME AND OR CONTACT INFORMATION FOR THE OPERATOR.

PUBLIC SAFETY FEATURES

THE STORMWATER SYSTEM HAS BEEN DESIGNED TO SAFELY COLLECT SURFACE RUNOFF FROM DEVELOPED AREAS (AS DESCRIBED ON THE SITE PLAN AND STORMWATER REPORT) BY PROVIDING COLLECTIONS SYSTEMS AT REGULAR INTERVALS TO PREVENT SURFACE FLOODING AND TO TREAT THAT RUNOFF IN ACCORDANCE WITH THE PROVISIONS OF THE MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS AND HANDBOOK.

PART 2: INTEGRATED PEST MANAGEMENT PLAN

APPLICABILITY

THE DEVELOPMENT SHALL ADHERE TO THIS IPM IN PERPETUITY, UNLESS THE CONSERVATION COMMISSION RELEASES THE OPERATOR FROM THIS OBLIGATION IN WRITING.

LAWN PREPARATION AND INSTALLATION

THE FOLLOWING METHODS SHALL BE EMPLOYED FOR ALL LAWN INSTALLATION AND REPLACEMENTS.

- TOPSOIL INSTALLED IN LAWN AREAS SHALL BE INSTALLED TO A MINIMUM THICKNESS OF 4-INCHES. INSTALLATION SHALL BE IN A MANNER THAT MINIMIZES COMPACTION OF THE TOPSOIL. TOPSOIL SHOULD INCLUDE A MINIMUM ORGANIC CONTENT OF 18% IN THE TOP 4-INCHES. IN AREAS WHERE EXISTING TOPSOIL IS LIMITED OR NON-EXISTENT DUE TO BEDROCK OR HARDPAN, 6-24 INCHES OF SANDY LOAM TOPSOIL SHOULD BE SPREAD WITH A MINIMUM 18% ORGANIC CONTENT IN THE TOP 6-INCHES.
- TOPSOIL SHALL BE TESTED FOR PH, ORGANIC CONTENT AND MINERAL CONTENT INCLUDING CALCIUM, MAGNESIUM, POTASSIUM AND SODIUM AT THE TIME OF INSTALLATION AND SUPPLEMENTS SHALL BE ADDED AS RECOMMENDED. LIME SHALL BE ADDED AT THE RATES RECOMMENDED BY THE SOIL TEST LAB TO BRING TOPSOIL PH WITHIN RECOMMENDED LEVELS.
- SEEDING SHALL INCLUDE AT LEAST THREE OF THE FOLLOWING TURF TYPES: FINE FESCUE, KENTUCKY BLUEGRASS, PERENNIAL RYE GRASS, AND TALL FESCUE.
- FERTILIZER APPLICATION AT THE TIME OF SEEDING SHALL NOT EXCEED 0.5 POUNDS PER 1,000 SQUARE FEET AND SHALL BE EITHER ORGANIC OR MINERAL.
- DURING THE PERIOD OF TURF ESTABLISHMENT (1-2 SEASONS AFTER SEEDING), UP TO TWO BROADLEAF WEED CONTROL APPLICATIONS PER YEAR MAY BE APPLIED TO THE ENTIRE LAWN AREA TO ENCOURAGE THE ESTABLISHMENT OF THE TURF AND PREVENT WEED INFESTATIONS.

MECHANICAL LAWN CARE STANDARDS

THE FOLLOWING MAINTENANCE GUIDELINES SHALL BE GENERALLY APPLIED TO LAWN CARE, ALTHOUGH SPECIFIC ADHERENCE TO EVERY STANDARD IS NOT NECESSARY. ADHERENCE TO THESE MECHANICAL LAWN CARE STANDARDS WILL ENCOURAGE THE DEVELOPMENT OF A THICK, DENSE, AND HEALTHY TURF SYSTEM WHICH WILL ULTIMATELY RESULT IN FEWER LAWN CARE TREATMENT REQUIREMENTS.

- LAWN CUTTING HEIGHT SHOULD BE ADJUSTED ACCORDING TO THE SEASON USING THE FOLLOWING AS GUIDANCE:
 - MAY - JUNE: 2.5" CUT HEIGHT
 - JULY - AUGUST: 3-3.5" CUT HEIGHT
 - SEPTEMBER: 2.5-3" CUT HEIGHT
 - OCTOBER - NOVEMBER: 2" CUT HEIGHT
- LAWN MOWING SHOULD BE AT SUFFICIENT FREQUENCY SUCH THAT NOT MORE THAN 1/3 OF THE LEAF BLADE HEIGHT IS CUT OFF.
- AERATE THE LAWN GENERALLY ONCE PER YEAR IN THE MID-SUMMER TO MID-FALL PERIOD. A SECOND AERATION IN THE SPRING MAY BE APPROPRIATE FOR COMPACT SOILS CONDITIONS.
- DETHATCHING IS GENERALLY NOT NECESSARY UNLESS THE THATCH LAYER EXCEED ¾".

CORE LAWN CARE TREATMENT PROGRAM

EACH LAWN SHALL ADHERE TO THE FOLLOWING LAWN CARE PRACTICES AND RESTRICTIONS:

- A SOIL TEST SHALL BE CONDUCTED AT LEAST ONCE EVERY TWO YEARS TO EVALUATE TOPSOIL PH LEVEL AND THE NECESSARY APPLICATION OF LIME WILL BE MADE TO BRING SOIL PH WITHIN RECOMMENDED LEVELS. RECOMMENDED TOPSOIL PH LEVELS ARE BETWEEN 6.5 AND 6.8. SOILS TESTING SHALL ALSO INCLUDE ORGANIC CONTENT, MINERAL CONTENT, INCLUDING CALCIUM, MAGNESIUM, POTASSIUM AND SODIUM, TOTAL CATION EXCHANGE CAPACITY, AND HYDROGEN. IDEAL BASE SATURATION PERCENTAGES FOR THESE PARAMETERS ARE AS FOLLOWS:
 - CALCIUM: 68-70%
 - MAGNESIUM: 15-20%
 - POTASSIUM: 4.5-6%
 - SODIUM: <3%
 - OTHER BASES: 4-8%
 - HYDROGEN: 5-10%
- FERTILIZER APPLICATION SHALL BE AS-NEEDED BASED ON THE RESULTS OF THE LATEST SOILS TEST, PLANT HEALTH, ROOTING CHARACTERISTICS, GROWTH RATE DESIRED, AND SEASON. FERTILIZER APPLICATION SHALL NOT EXCEED FIVE TIMES PER CALENDAR YEAR AND THE TOTAL QUANTITY OF FERTILIZER APPLIED IN ANY GIVEN YEAR SHALL NOT RESULT IN THE APPLICATION OF MORE THAN THREE POUNDS OF NITROGEN PER 1,000 SQUARE FEET WITH NOT MORE THAN ONE POUND OF NITROGEN APPLIED PER 1,000 SQUARE FEET IN ANY SINGLE APPLICATION. NITROGEN, IN THE FORM OF FERTILIZER SHOULD GENERALLY BE APPLIED IN SMALL INCREMENTS TO AVOID NITRATE LEACHATE AND RUNOFF. UNDESIRD SPRINTS IN GROWTH AND INCREASE IN PEST POPULATION. GRANULAR ORGANIC AND/OR ORGANIC/SYNTHETIC SLOW RELEASE FERTILIZERS SHALL BE USED. THE OPTIMAL USE OF FERTILIZERS IS TO CREATE AN ORGANIC FOUNDATION FOR SOIL HEALTH AND DEVELOPMENT WHICH PROVIDES SUFFICIENT NUTRIENTS FOR CONTROLLED PLANT GROWTH AND AVOIDING SUBSURFACE AND SURFACE NUTRIENT LOSS TO GROUNDWATER OR STORMWATER RUNOFF.
- EXCEPT AS NOTED BELOW, ONLY ONE APPLICATION OF CRAB-GRASS PREVENTION PRODUCT IS PERMITTED PER YEAR DURING MARCH OR APRIL, AND ONLY IN PORTIONS OF THE LAWN IN FULL SUN WHICH ARE PRONE TO SUCH INFESTATIONS. THE USE OF CORN GLUTON (ORGANIC CRAB-GRASS CONTROL METHOD) IS PERMITTED TWICE PER YEAR.
- AT THE TIME OF FERTILIZER APPLICATION, ANY ACCIDENTAL SPILLAGE ONTO IMPERVIOUS SURFACES SUCH AS DRIVEWAYS, WALKWAYS, PATIOS, AND STREETS SHALL BE SWEEPED UP AND EITHER APPLIED TO THE LAWN OR REMOVED FROM THE SITE.

OPTIONAL MAINTENANCE PRACTICES TO BE APPLIED AS NEEDED

- WHERE TOPSOIL TESTING DEMONSTRATES A DEFICIENCY, MINERAL OR ORGANIC MICRO-NUTRIENTS MAY BE ADDED TO ACHIEVE RECOMMENDED LEVELS.
- GENERALLY, CHEMICAL PESTICIDES SHOULD BE USED AS A FINAL OPTION AND THE MINIMUM AMOUNT NECESSARY TO ACHIEVE THE DESIRED RESULT SHOULD BE USED. NON CHEMICAL MEANS OF PEST CONTROL SHOULD BE TRIED FIRST. IN THE EVENT OF SUSPECTED PEST PROBLEM, A VISUAL INSPECTION SHALL FIRST BE MADE BY QUALIFIED PERSONNEL TO CONFIRM THE PRESENCE OF STRESSED VEGETATION, WILDLIFE ACTIVITY, PATHOGENS, AND OTHER SIMILAR INDICATORS. SHOULD A PEST PROBLEM BE IDENTIFIED, THE CONDITION SHALL BE MONITORED PERIODICALLY SUCH THAT IF THE PROBLEM SUBSIDES, TREATMENT METHODS CAN STOP AS SOON AS POSSIBLE THEREAFTER.
- ROOT BIO-STIMULANTS FROM ORGANIC SOURCES (EXAMPLES INCLUDE ROOTS, ORGANICA, OR PHC TYPE PRODUCTS, WHICH ARE BRAND NAMES AND WHICH MAY CHANGE DEPENDING ON MARKET CONDITIONS) MAY BE USED AS NEEDED.
- COMPOST TOPDRESSING (1/8" - ¼" DEPTH) MAY BE APPLIED AS NEEDED.
- SPOT TREATMENT OF WEEDS AND CRABGRASS MAY BE IMPLEMENTED AT ANY TIME AS NEEDED, BUT ONLY ON A SPOT-TREATMENT BASIS AND ONLY TO THOSE AREAS AFFECTED.
- SPOT TREATMENT FOR TURF DISEASE MAY BE IMPLEMENTED AT ANY TIME AS NEEDED, BUT ONLY ONE A SPOT-TREATMENT BASIS AND ONLY TO THOSE AREAS AFFECTED.
- GRUB CONTROL PRODUCTS AND SIMILAR PRODUCTS MAY BE APPLIED TO LOCALIZED AREAS ONLY WHERE GRUB ACTIVITY IS EVIDENT. GRUB CONTROL MAY BE APPLIED WHEN GRUB POPULATIONS REACH AN AVERAGE OF 8 -10 GRUBS PER SQUARE FOOT OR IF THE PLANT/LAWNS ARE SHOWING SIGNS OF STRESS FROM GRUB ACTIVITY.
- ONE APPLICATION OF IMIDACLOPRID (MERIT) OR SIMILAR PRODUCTS PER YEAR IS PERMITTED DURING JUNE AND JULY IN AREAS WHERE GRUB ACTIVITY HAS HISTORICALLY OCCURRED.
- PESTICIDES WHICH ARE CLASSIFIED FOR RESTRICTED USE PURSUANT TO 333 CMR MAY ONLY BE APPLIED BY PROPERLY LICENSED OR CERTIFIED PERSONNEL OR BY INDIVIDUALS UNDER THE DIRECT ON-SITE SUPERVISION OF PROPERLY LICENSED OR CERTIFIED PERSONNEL IN ACCORDANCE WITH 333 CMR.

PART 3: MISCELLANEOUS PROVISIONS

GOOD HOUSEKEEPING CONTROLS

THE FOLLOWING GOOD HOUSEKEEPING MEASURES WILL BE IMPLEMENTED IN THE DAY-TO-DAY OPERATION OF THE DEVELOPMENT:

1. THE SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY MANNER.
2. FERTILIZERS AND PESTICIDE APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
3. ALL WASTE MATERIALS FROM THE DEVELOPMENT WILL BE COLLECTED IN DUMPSTERS AND REMOVED FROM THE SITE BY PROPERLY LICENSED DISPOSAL COMPANIES.

MANAGEMENT OF DEICING CHEMICALS AND SNOW
MANAGEMENT OF ON-SITE SNOW WILL BE AS FOLLOWS:

1. THE SITE SHALL BE PLOWED AS NEEDED TO MAINTAIN SAFE DRIVING CONDITIONS. SNOW WILL BE STORED IN WINDROWS ALONG PAVEMENT EDGES AND SHALL BE PILED IN LANDSCAPE STRIPS AS NEEDED.
2. SNOW WILL NOT BE PLOWED INTO PILES WHICH BLOCK OR OBSTRUCT STORMWATER MANAGEMENT FACILITIES.
3. SNOW WILL NOT BE PLOWED INTO PILES AT ROADWAY INTERSECTIONS SUCH THAT IT WOULD OBSTRUCT VISIBILITY FOR ENTERING OR EXITING VEHICLES.
4. DEICING CHEMICALS APPLICATION WILL BE AS LITTLE AS POSSIBLE WHILE PROVIDE A SAFE ENVIRONMENT FOR VEHICULAR OPERATION AND FUNCTION.
5. AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL LAWS AND REGULATIONS.

OPERATOR TRAINING

THE OPERATOR IS RESPONSIBLE FOR PROVIDING TRAINING FOR THE STAFF THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THIS O&M PLAN. SUCH TRAINING SHALL OCCUR AT LEAST ONCE ANNUALLY.

ILLCIT DISCHARGES

THE OPERATOR SHALL NOT ALLOW NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM. ANY DISCOVERED NON-STORMWATER DISCHARGES INTO THE DEVELOPMENT'S STORMWATER SYSTEM SHALL BE IMMEDIATELY DISCONNECTED.

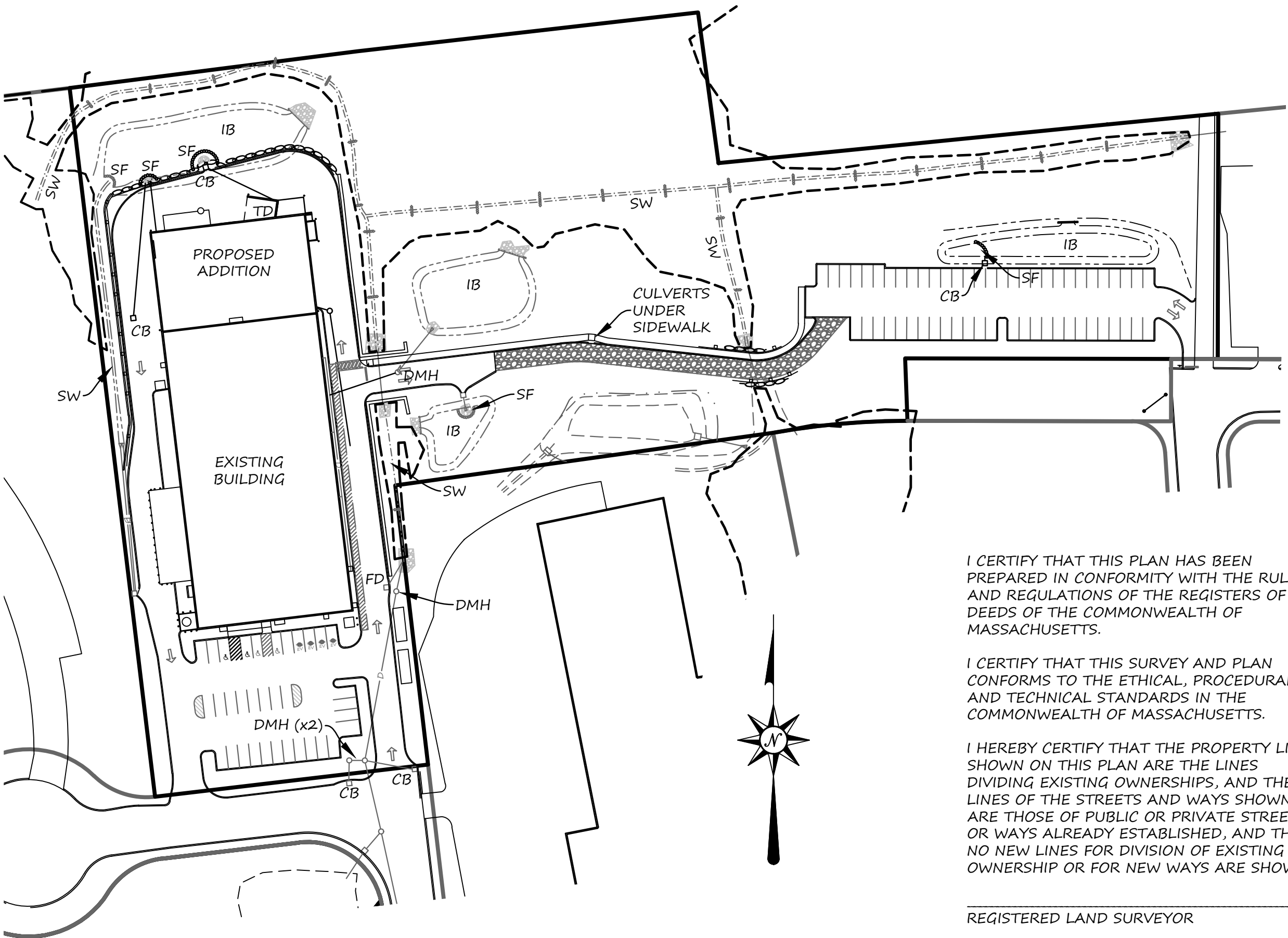
ESTIMATED OPERATIONS AND MAINTENANCE BUDGET

IT IS ESTIMATED THAT THE REGULAR ANNUAL MAINTENANCE TASKS DESCRIBED HEREIN WILL COST \$2,000 PER YEAR (2022 VALUE).

PART 4: ACCIDENTAL SPILL AND EMERGENCY RESPONSE PLAN

IN THE EVENT OF AN ACCIDENT WITHIN THE BOUNDARIES OF THE SITE, WHERE SIGNIFICANT GASOLINE OR OTHER PETROLEUM PRODUCTS OR OTHER HAZARDOUS MATERIALS ARE RELEASED, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED IN THE ORDER NOTED.

1. AS QUICKLY AS POSSIBLE, ATTEMPT TO BLOCK THE NEAREST STORMWATER CATCH BASINS IF ON A ROADWAY, OR IF IN PROXIMITY TO WETLANDS, CREATE A BERM OF SOIL DOWNSLOPE OF THE SPILL.
2. IMMEDIATELY AND WHILE THE CONTAINMENT MEASURES ARE IMPLEMENTED AS DESCRIBED ABOVE, NOTIFY THE FOLLOWING GOVERNMENTAL ENTITIES AND INFORM THEM OF THE TYPE OF SPILL THAT OCCURRED:
 - MEDWAY FIRE DEPARTMENT AT 911,
 - MEDWAY BOARD OF HEALTH AT 508-533-3206,
 - MEDWAY CONSERVATION COMMISSION AT 508-533-3292,
 - MASS. DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) CENTRAL REGION AT (508) 792-7650 (ADDRESS IS 8 NEW BOND STREET, WORCESTER, MA 01606), AND
 - NATIONAL RESPONSE CENTER (NRC) AT (800) 424-8802 (FOR SPILLS THAT REQUIRE SUCH NOTIFICATION PURSUANT TO 40 CFR PART 110, 40 CFR PART 117, AND 40 CR PART 302).
3. ONCE THE VARIOUS EMERGENCY RESPONSE TEAMS HAVE ARRIVED AT THE SITE AND IF THE SPILL OCCURS ON A LOT, THE OWNER SHALL FOLLOW THE INSTRUCTIONS OF THE VARIOUS GOVERNMENTAL ENTITIES, WHICH MAY INCLUDE THE FOLLOWING:
 - A CLEAN UP FIRM MAY NEED TO BE IMMEDIATELY CONTACTED.
 - IF THE HAZARDOUS MATERIALS HAVE ENTERED THE STORMWATER SYSTEM, PORTIONS OF IT MAY NEED TO BE CLEANED AND RESTORED PER THE DEP. ALL SUCH ACTIVITIES SHALL BE AS SPECIFIED BY THE DEP.



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

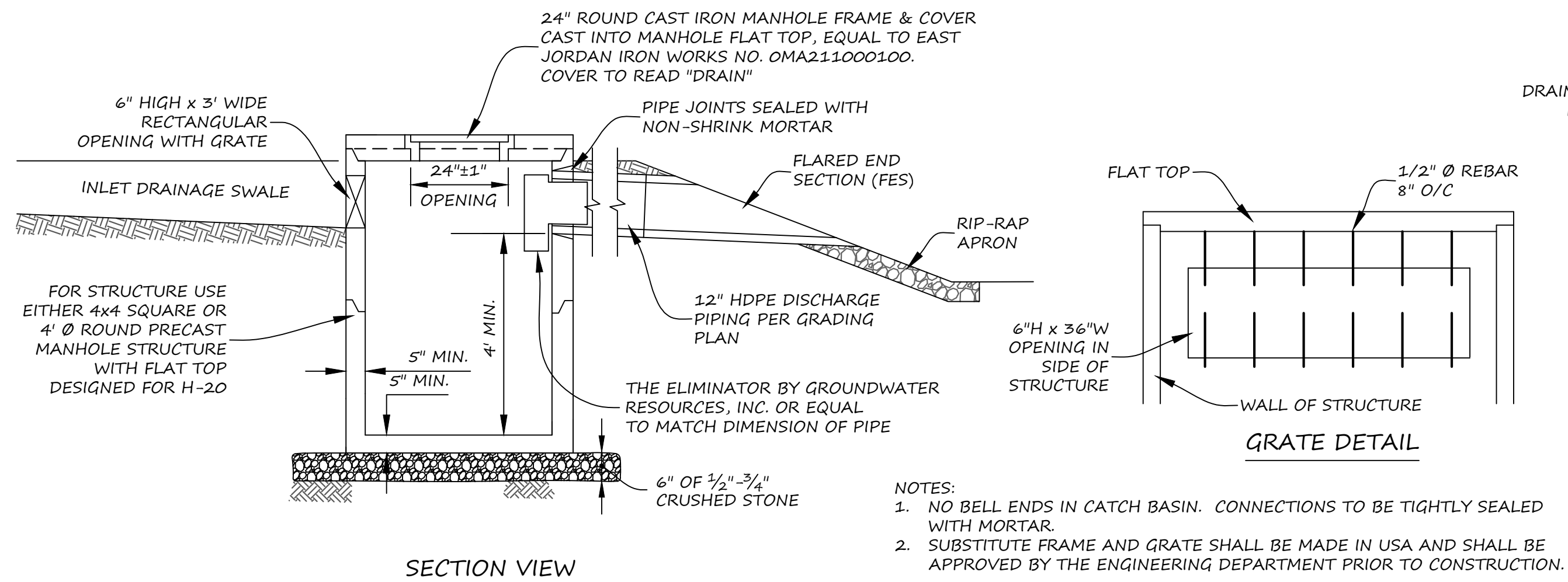
REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



LEGACY
ENGINEERING

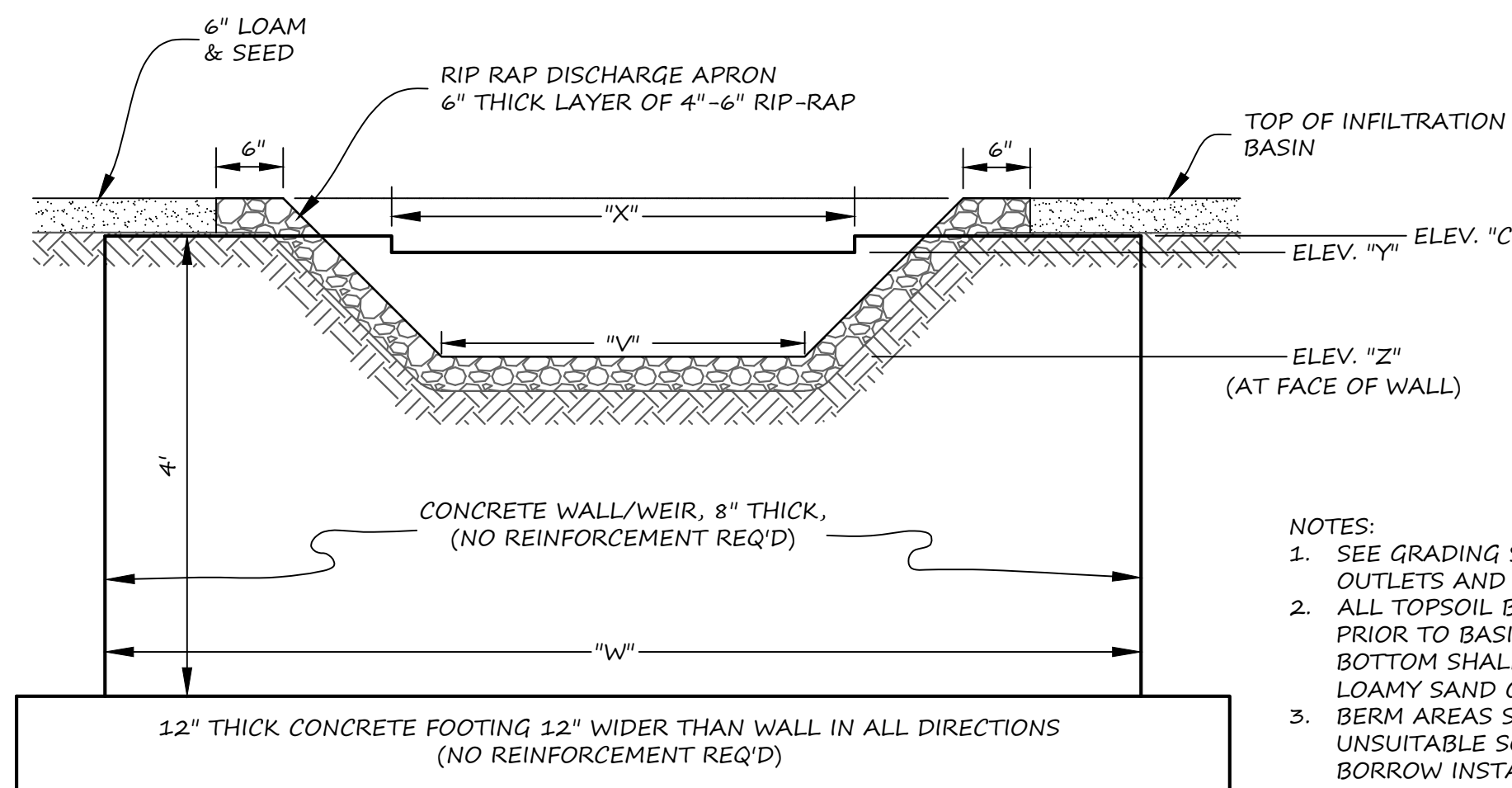
C-6



SECTION VIEW

PRECAST CONCRETE IN-SWALE CATCH BASIN

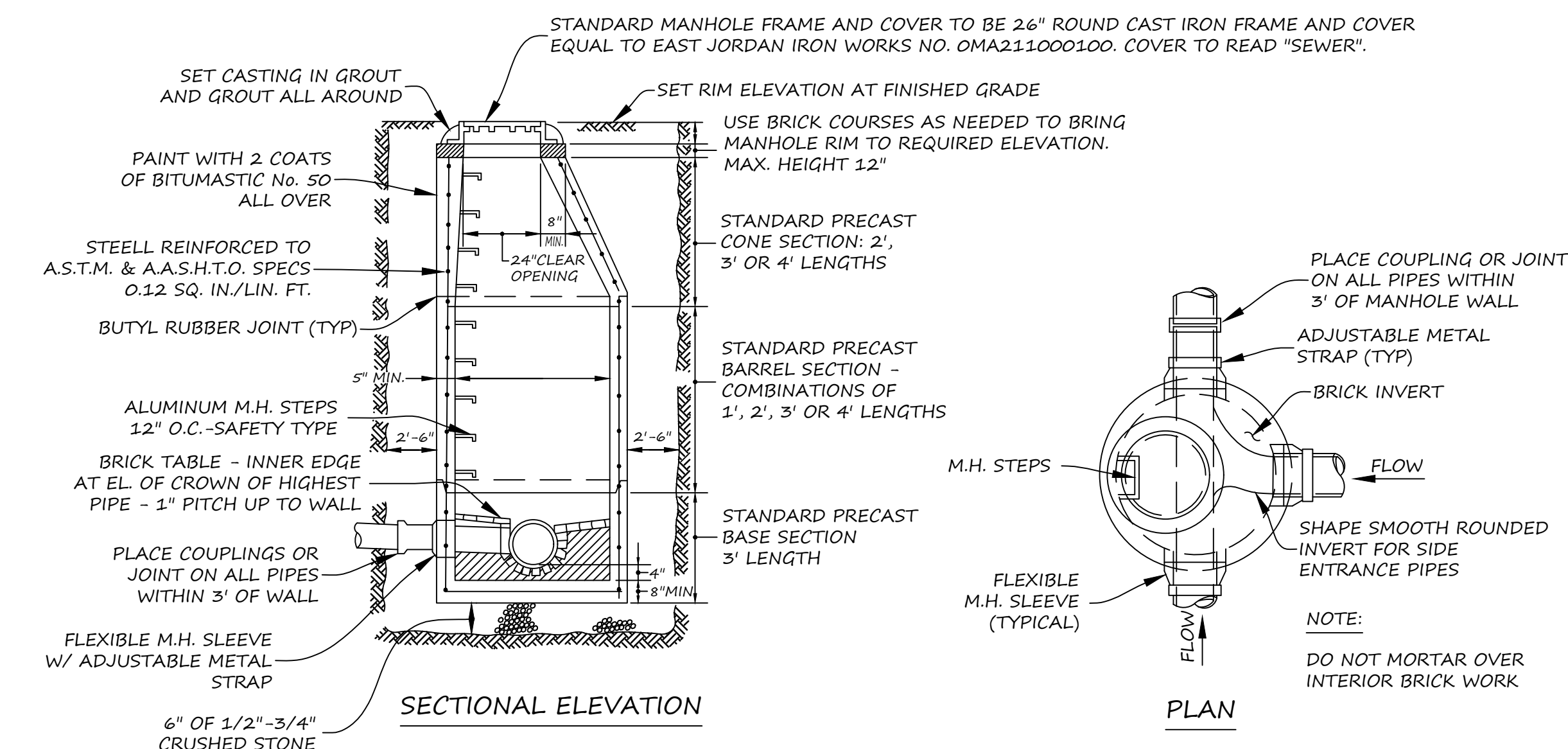
NOT TO SCALE



OUTLET WEIR AND RIP-RAP SWALE DETAIL

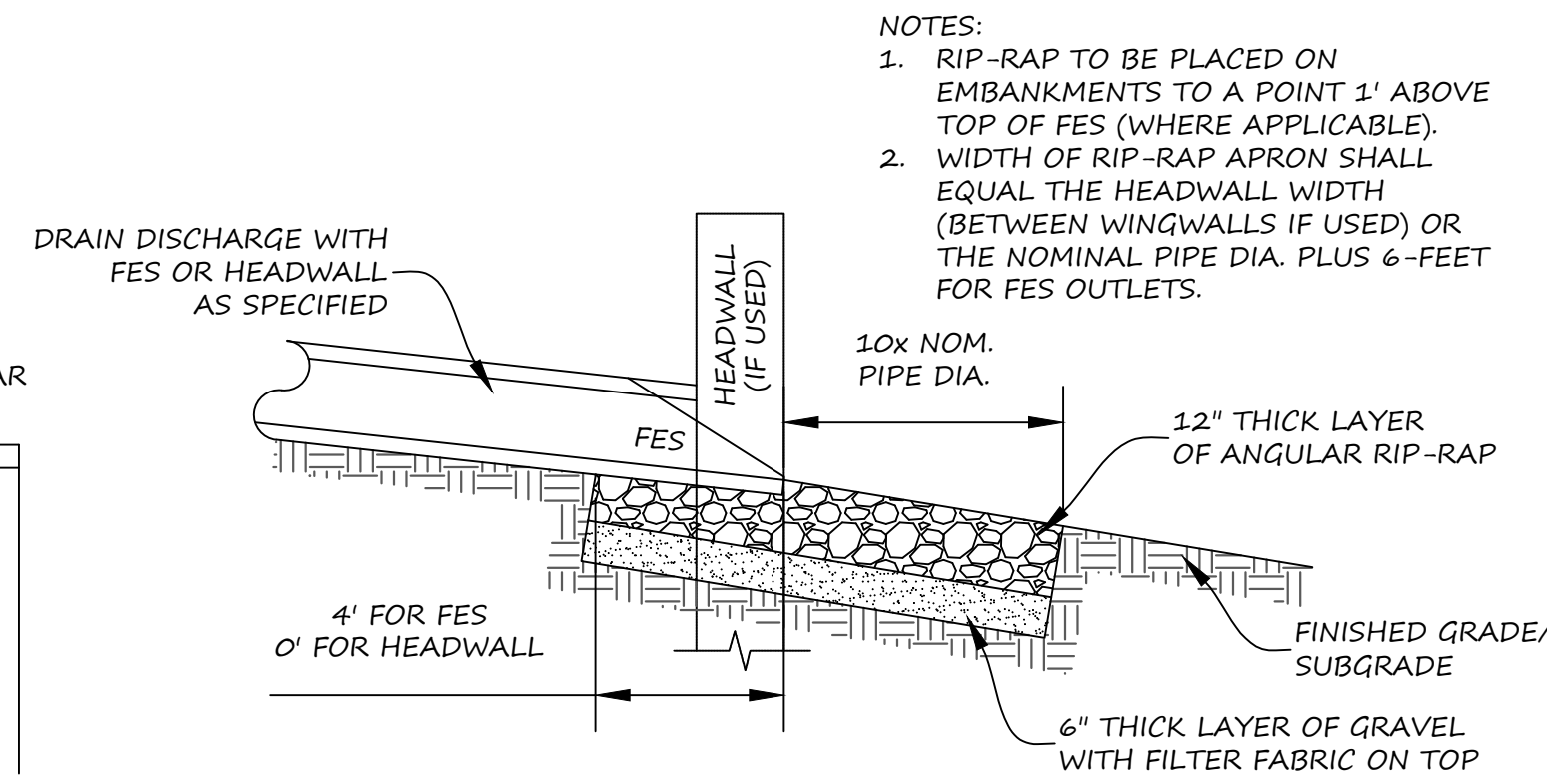
TYPICAL INFILTRATION BASIN CROSS-SECTION

NOT TO SCALE



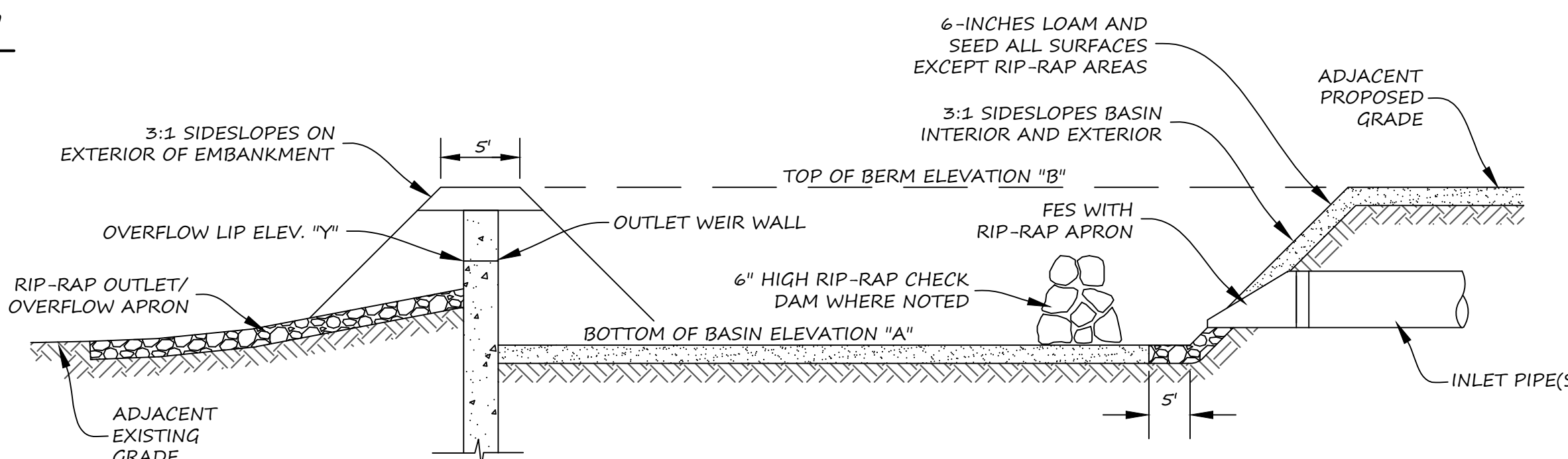
TYPICAL PRECAST CONCRETE SEWER MANHOLE DETAILS

NOT TO SCALE



TYPICAL RIP-RAP APRON DETAIL

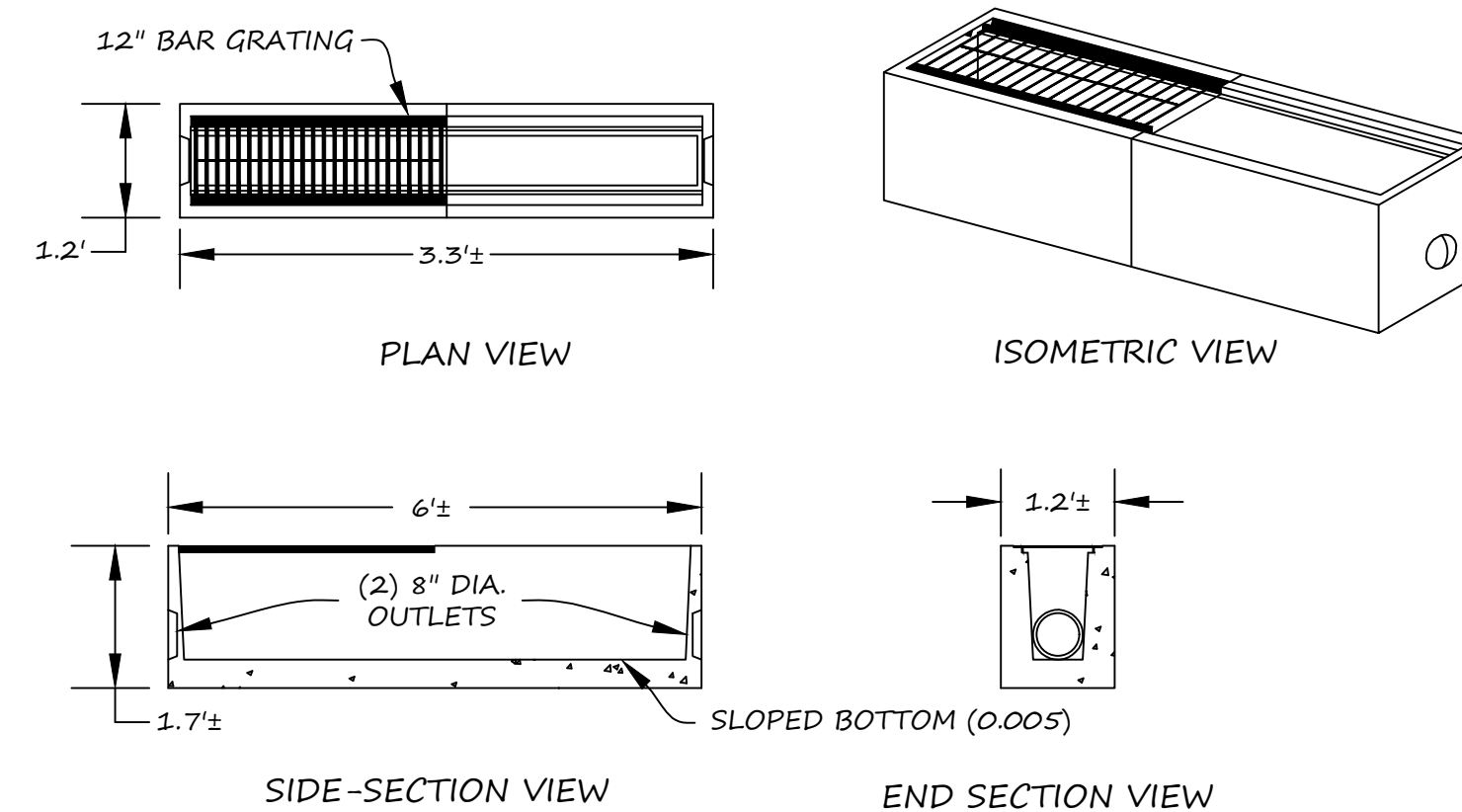
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TYPICAL BASIN CROSS-SECTION

SCHEDULE OF DIMENSIONS AND ELEVATIONS

	BASIN #1	BASIN #2	BASIN #3	BASIN #4
BOTTOM OF BASIN ELEVATION "A"	142.5	142.5	143.0	142.0
TOP OF BERM ELEVATION "B"	144.5	144.5	144.9	144.0
OUTLET WEIR WALL LENGTH "W"	23'	23'	14'	16'
OVERFLOW WEIR NOTCH LENGTH "X"	13'	13'	6'	9'
OVERFLOW ELEVATION "Y"	143.10	143.75	143.40	142.70
TOP OF WEIR WALL "C"	143.60	144.25	143.90	143.50
RIP RAP SWALE OUTLET ELEV. "Z"	142.5	143.0	143.0	142.5
(AT OUTSIDE FACE OF WALL)				



TRENCH DRAIN DETAIL

NOT TO SCALE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

PROGRESS
PRINT

PLAN SCALE: N.T.S.

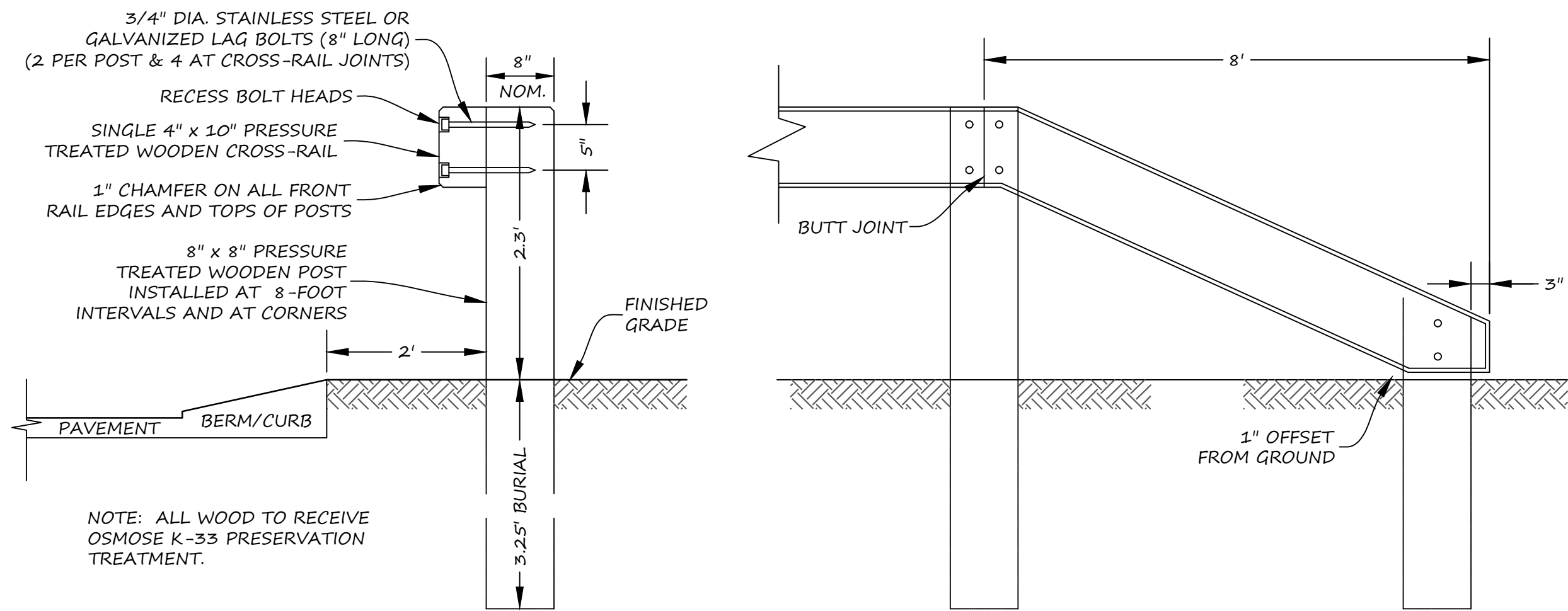
REVISION	DATE	BY
NEW METLAND FLAG	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM
CHANGES PER TOWN COMMENTS	2022-10-20	DJM
CHANGES PER TOWN COMMENTS	2022-10-20	DJM
DUMPSTER LOCATION REVISED	2022-10-26	DJM
REVISIONS PER DECISION	2022-12-28	DJM

2 MARC ROAD
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-7

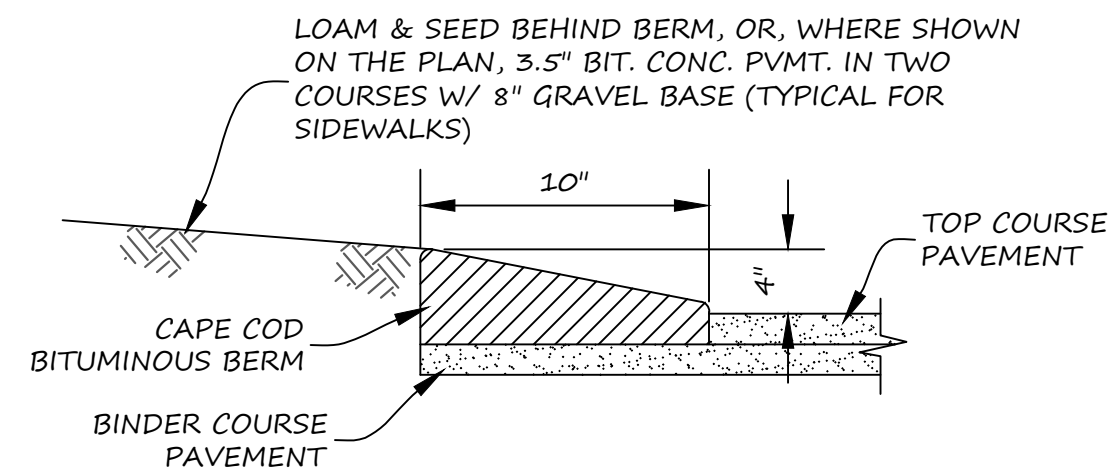




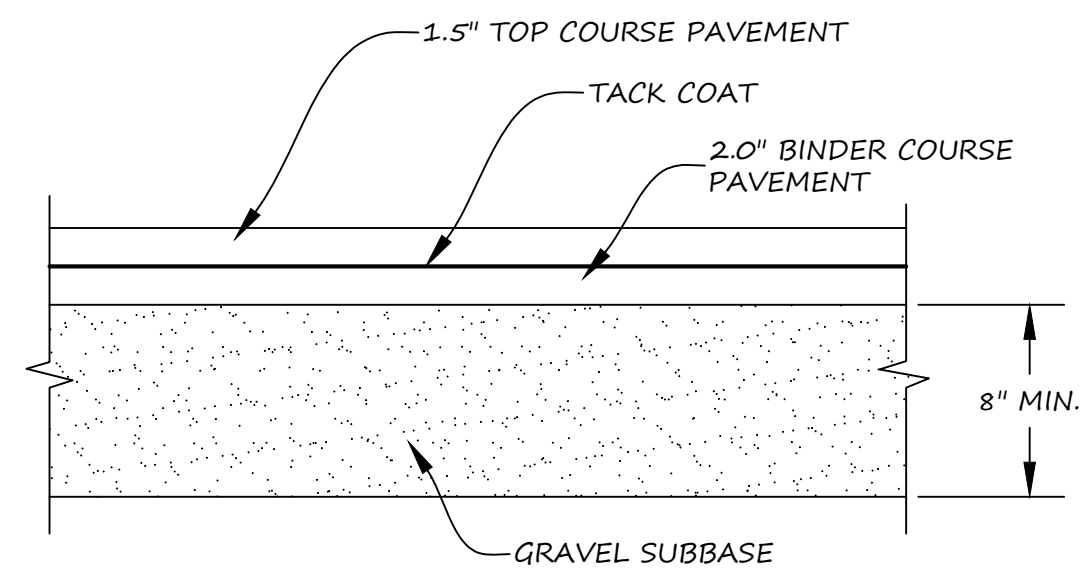
SIDE SECTIONAL VIEW

FRONT VIEW - TYPICAL END SECTION

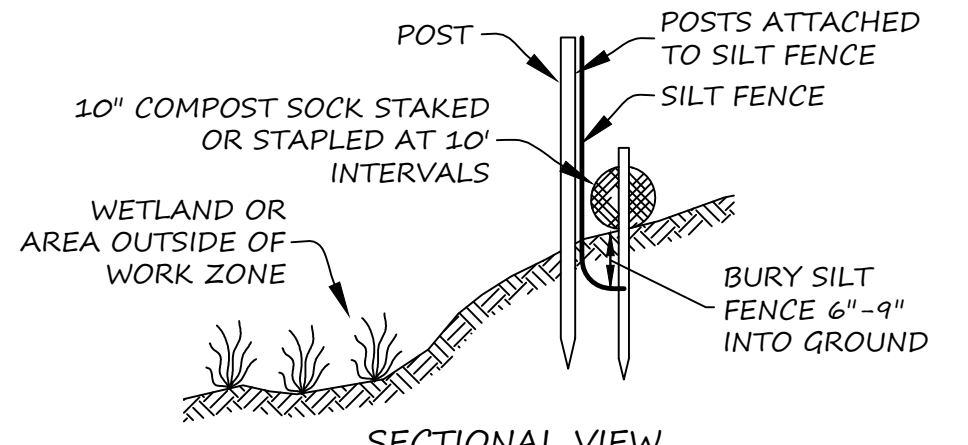
WOOD GUARD RAIL DETAIL
NOT TO SCALE



CAPE COD BERM DETAIL - PAVED DRIVEWAY
(NO SCALE)

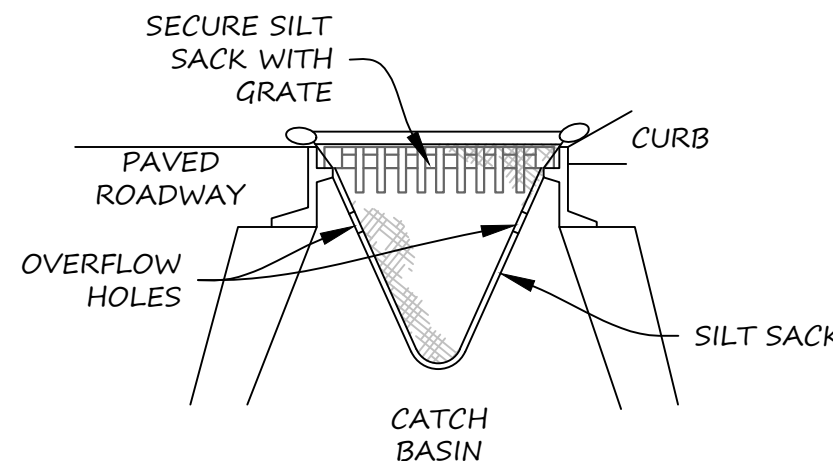


TYPICAL PARKING LOT PAVING SECTION
NOT TO SCALE



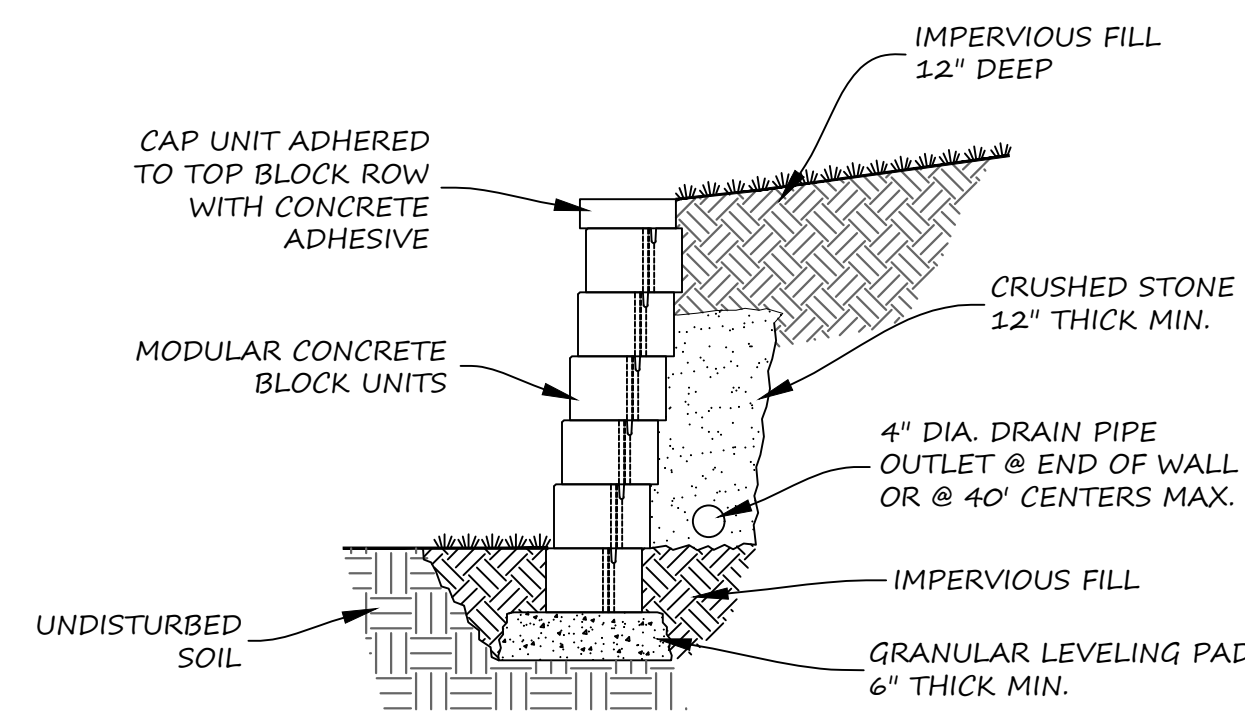
NOTE: NON-BIODEGRADABLE SOCK SHELL FILLED WITH COMPOST MEDIA. JOINTS SHALL BE OVERLAPPED BY AT LEAST TWO FEET. ORANGE SNOW FENCE IS ONLY NEEDED IF THERE IS EVIDENCE OF THE COMPOST SOCK BEING BURIED BY CONSTRUCTION ACTIVITIES.

EROSION CONTROL DETAIL (COMPOST SOCK)
NOT TO SCALE



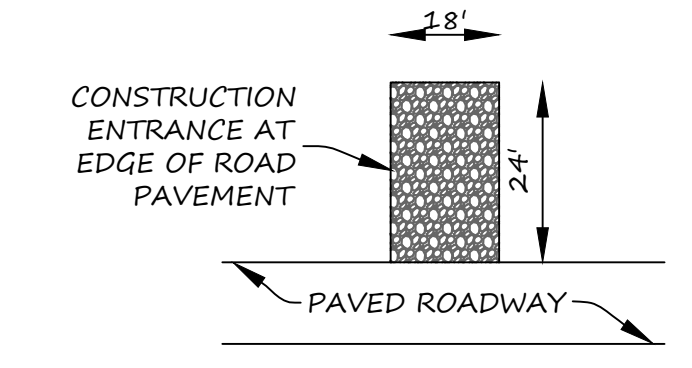
CATCH BASIN SILT SACK DETAIL
NOT TO SCALE

PROGRESS PRINT



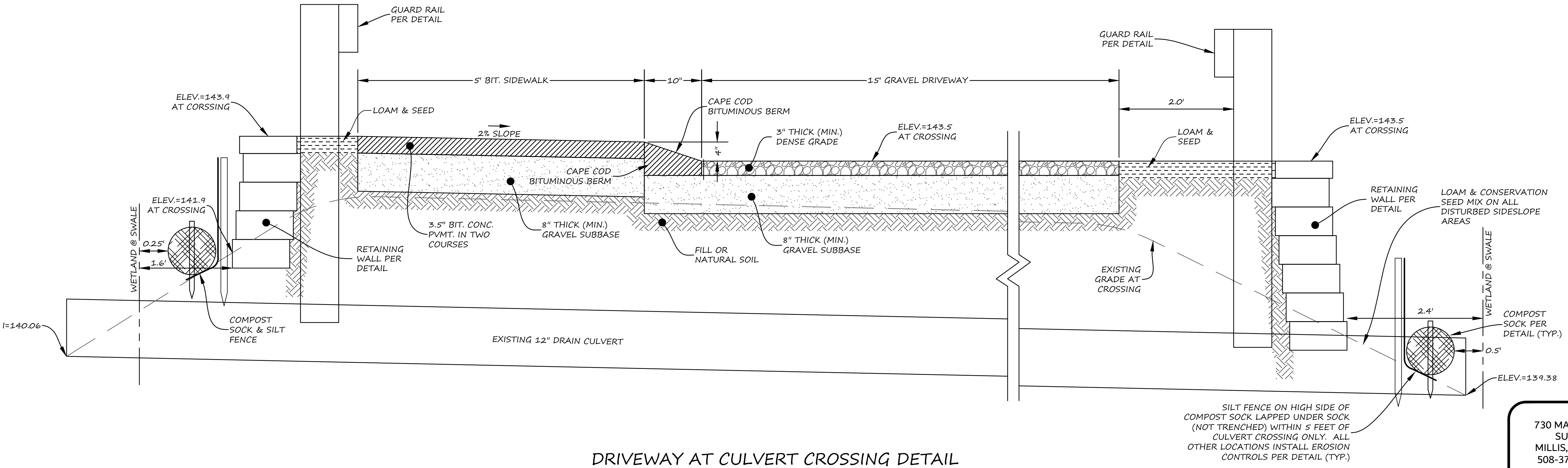
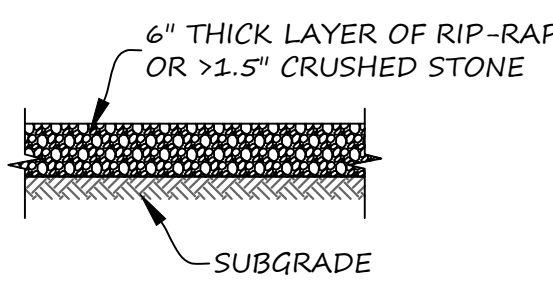
- NOTES:
1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
 2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
 3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL
NOT TO SCALE



- NOTES:
1. ENTRANCE SHALL BE INSTALLED BEFORE ANY EXCAVATION WORK OCCURS ON-SITE.
 2. ENTRANCE SHALL BE MAINTAINED IN GOOD CONTITION UNTIL A PAVED DRIVEWAY IS INSTALLED. REPLACE ENTRANCE IF FILLED WITH SOILS OR IF SOILS ARE BEING TRACKED ONTO ADJACENT ROADWAYS.

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



DRIVEWAY AT CULVERT CROSSING DETAIL
NOT TO SCALE

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

For Registry Use

PLAN SCALE: N.T.S.

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM
CHANGES PER CONSERVATION COMMENTS	2022-10-20	DJM
CHANGES PER CONSERVATION COMMENTS	2022-10-26	DJM
DUMPSTER LOCATION REVISED	2022-10-26	DJM
REVISIONS PER DECISION	2022-12-28	DJM

2 MARC ROAD
DETAIL
PLAN OF LAND
IN
MEDWAY, MA

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS IN THE COMMONWEALTH OF MASSACHUSETTS.

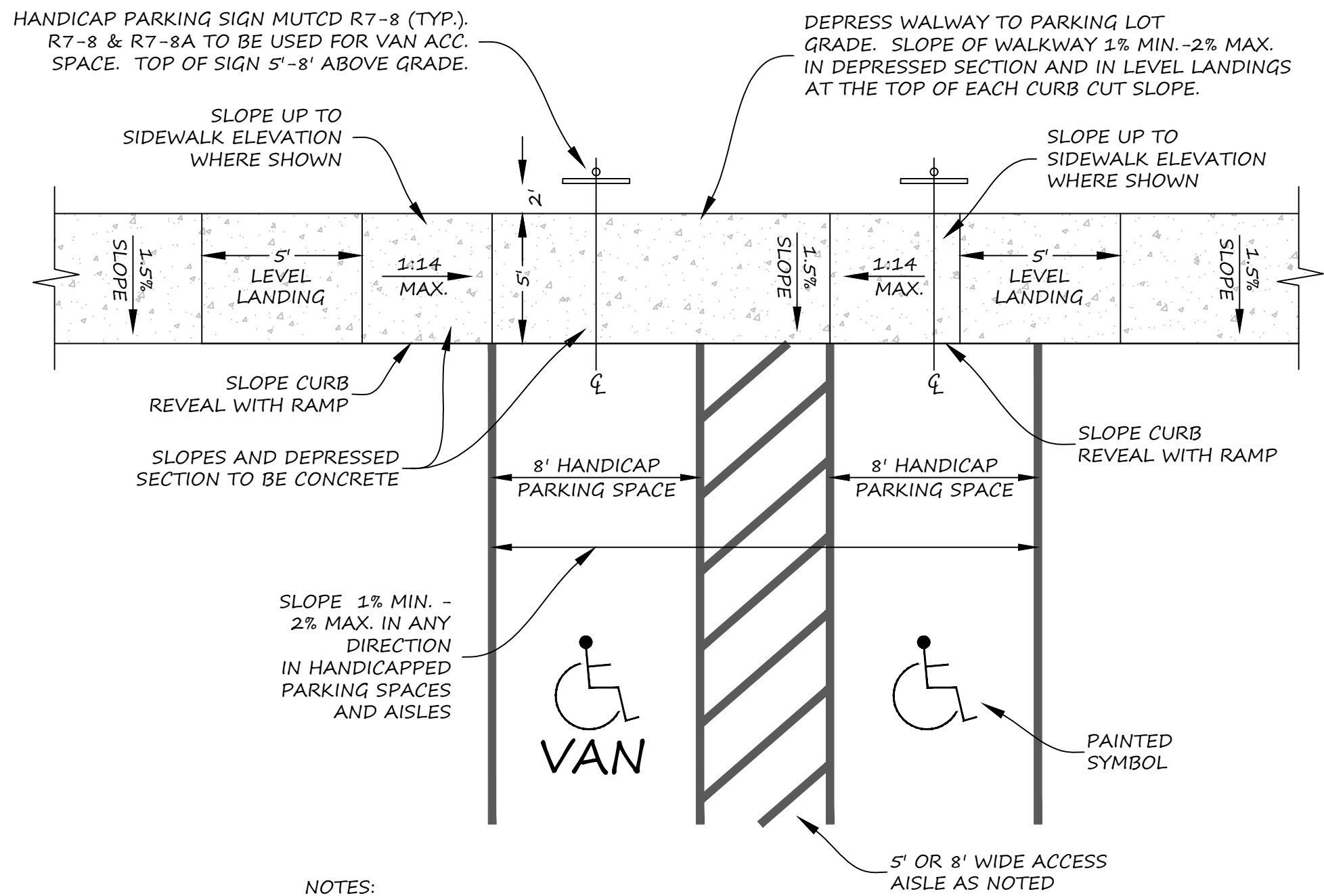
I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

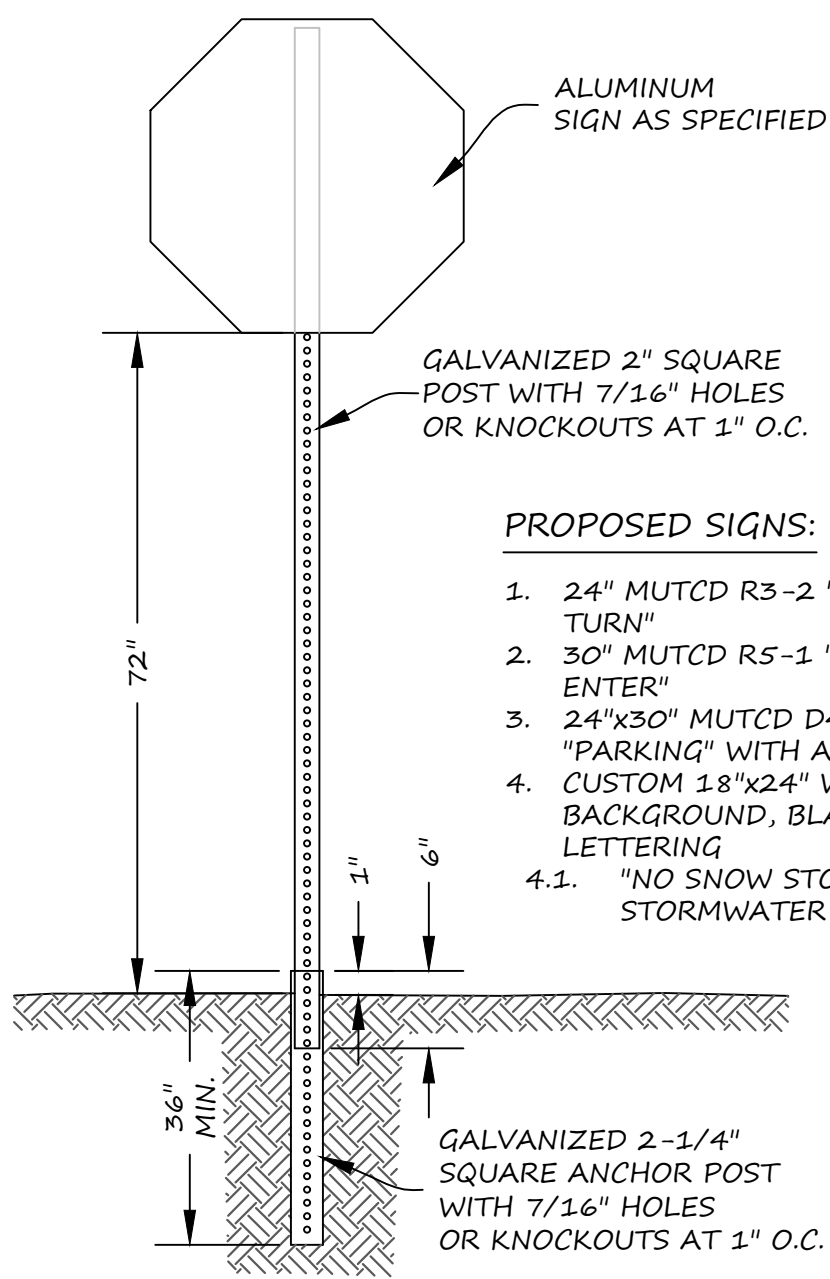


C-8

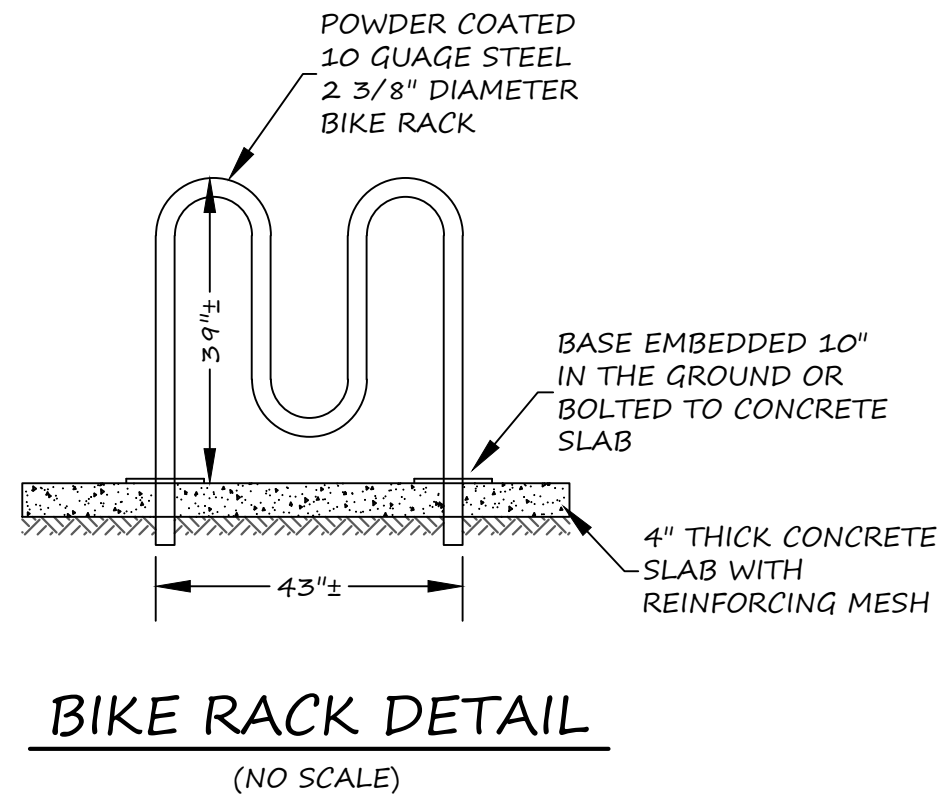


- NOTES:
1. REFER TO THE LAYOUT PLAN FOR THE LOCATION, LAYOUT, AND NUMBER OF HANDICAP PARKING SPACES IN RELATION TO ADJOINING WALKWAYS.
 2. HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES (CURB CUTS, RAMPS, WALKWAYS, ETC...) SHALL BE IN ACCORDANCE WITH 521 CMR.

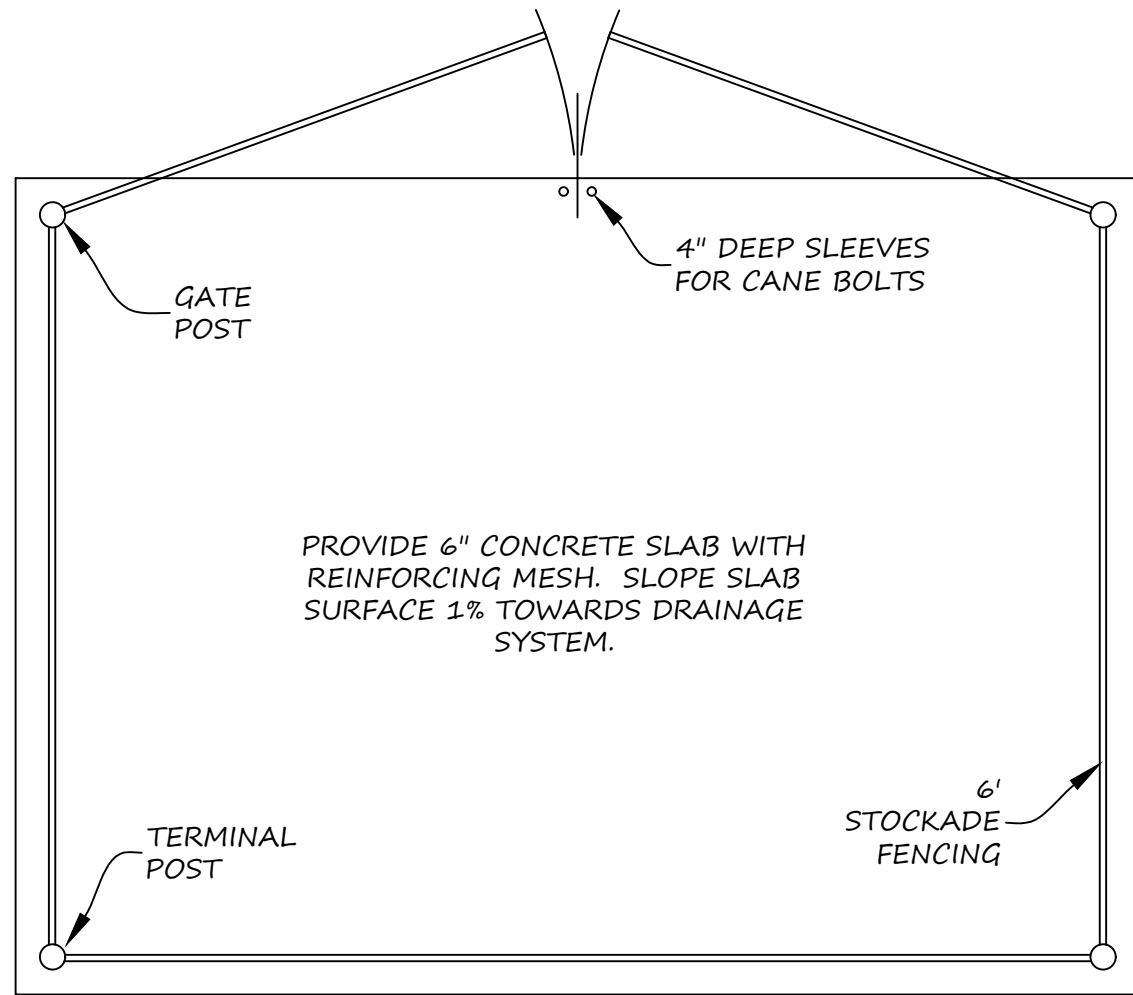
TYPICAL HANDICAP PARKING DETAIL
(NO SCALE)



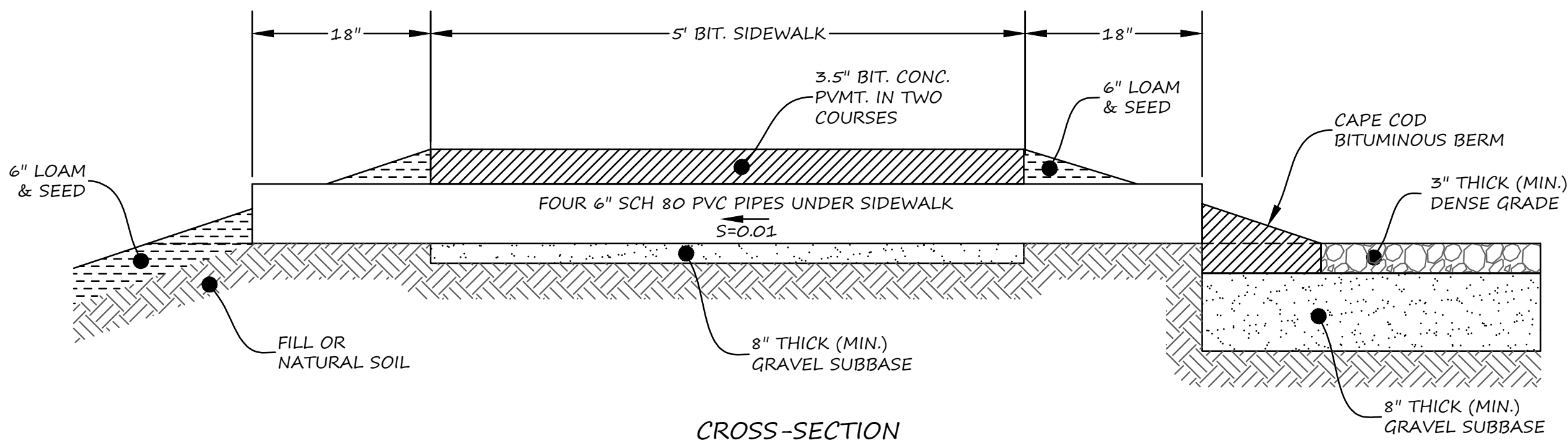
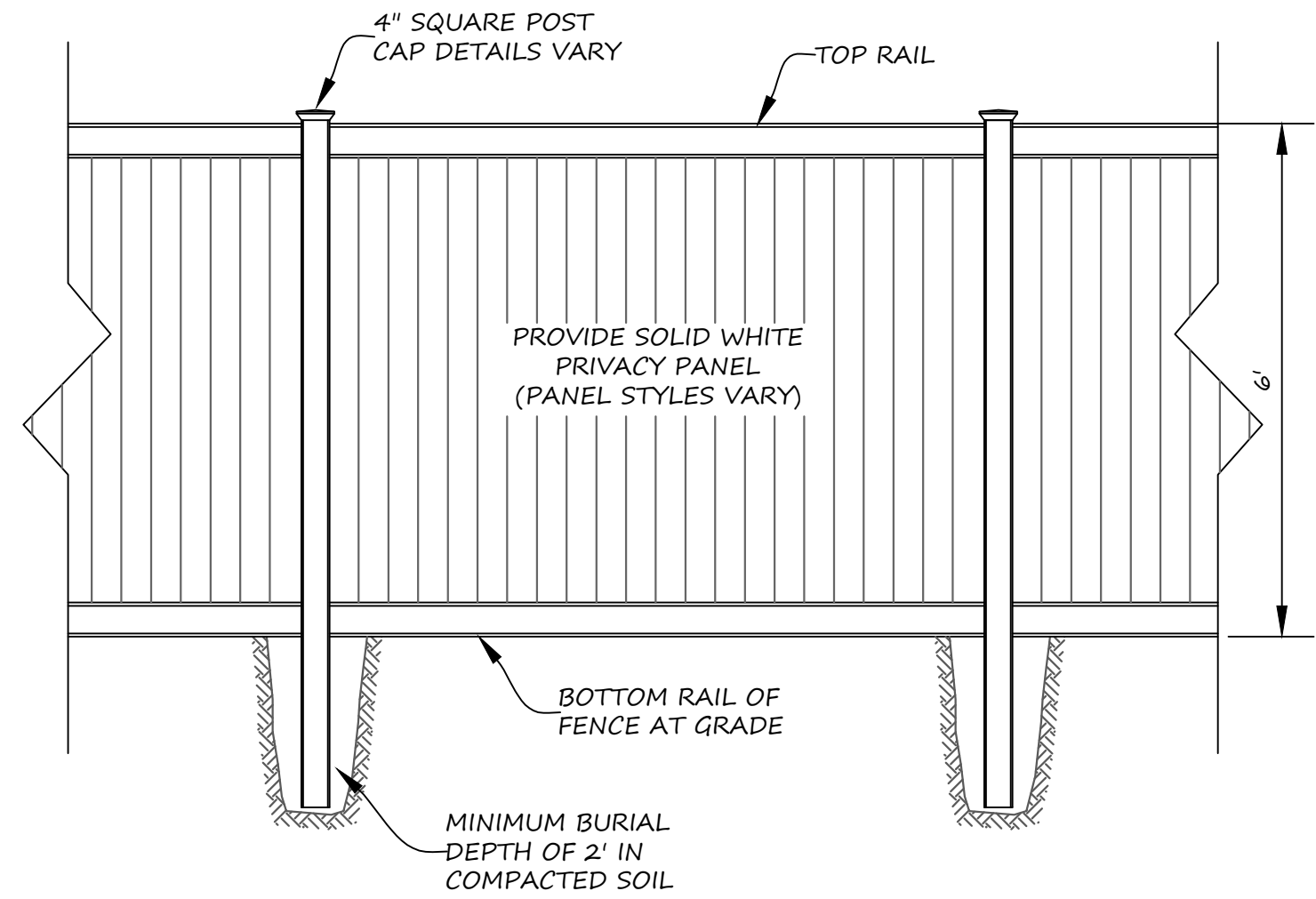
TYPICAL SIGN POST DETAIL
(NOT TO SCALE)



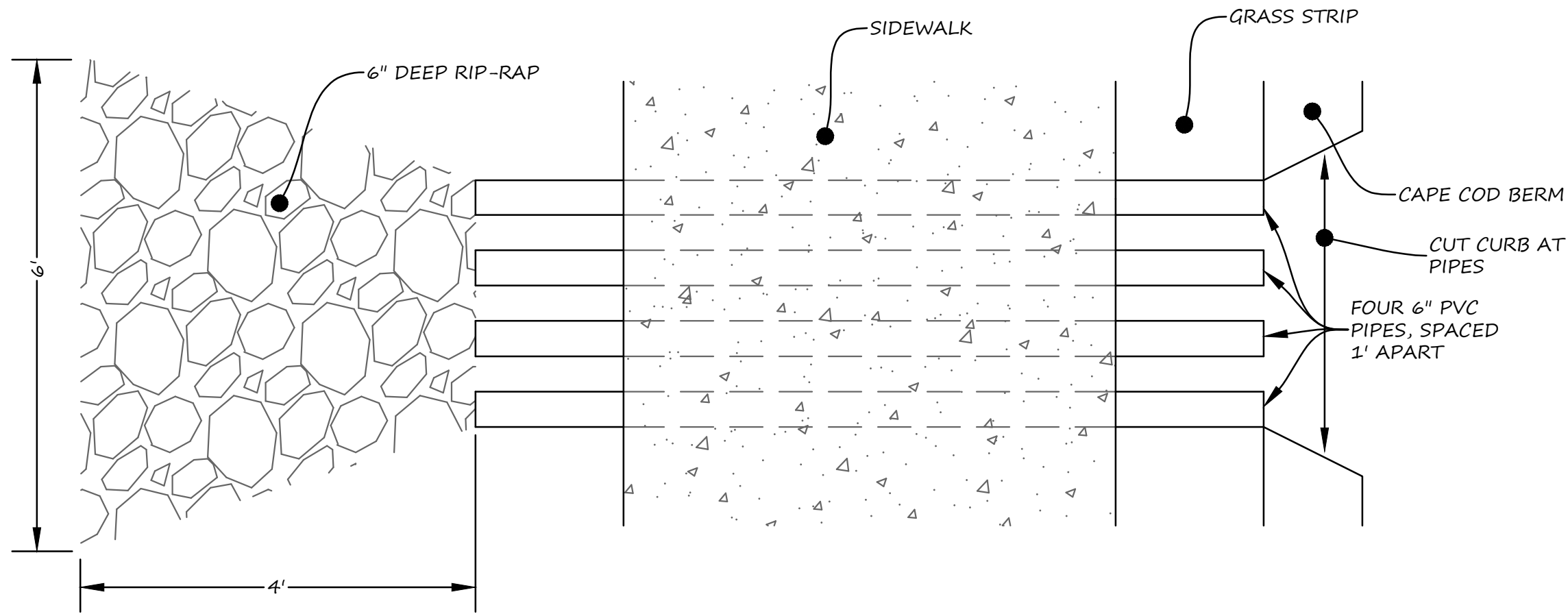
**PROGRESS
PRINT**



DUMPSTER ENCLOSURE PAD & FENCING DETAIL
(NO SCALE)



CROSS-SECTION



PLAN VIEW

CULVERTS UNDER SIDEWALK DETAIL
(NO SCALE)

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

For Registry Use

PLAN SCALE: N.T.S.

REVISION	DATE	BY
NEW WETLAND FLAGS	2022-06-22	DJM
CHANGES PER TOWN COMMENTS	2022-08-26	DJM
CHANGES PER CONSERVATION COMMENTS	2022-10-20	DJM
DUMPSTER LOCATION REVISED	2022-10-26	DJM
REVISIONS PER DECISION	2022-12-28	DJM

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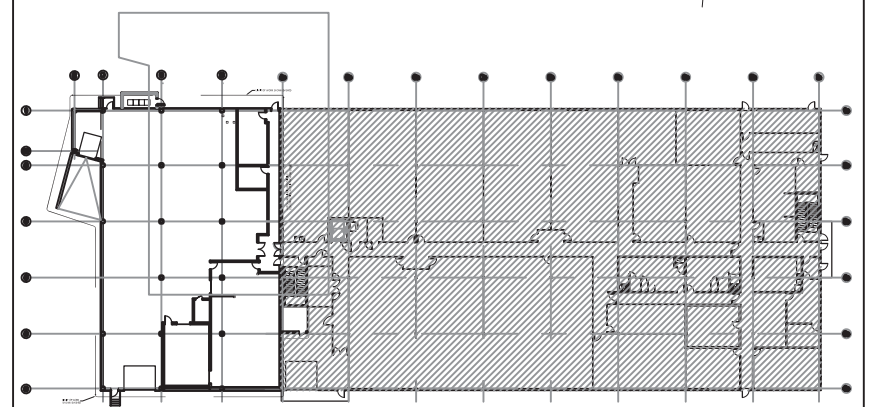
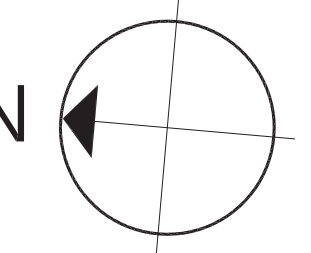
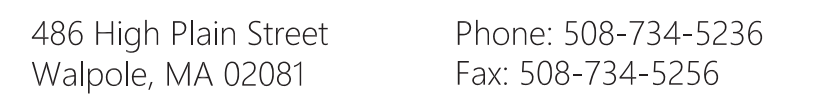
REGISTERED LAND SURVEYOR

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)

C-9



**LEGACY
ENGINEERING**



Scale: N.T.S.

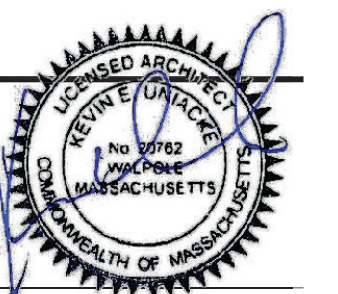
Drawing Status:

[illegible]

2 Marc Rd.
Medway, MA

2 Marc Rd.
Medway, MA

FIRST FLOOR ADDITION PLAN



Checked By: **KEU**

A1.0



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REGISTERED LAND SURVEYOR



1
A1.2
2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

For Registry Use

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

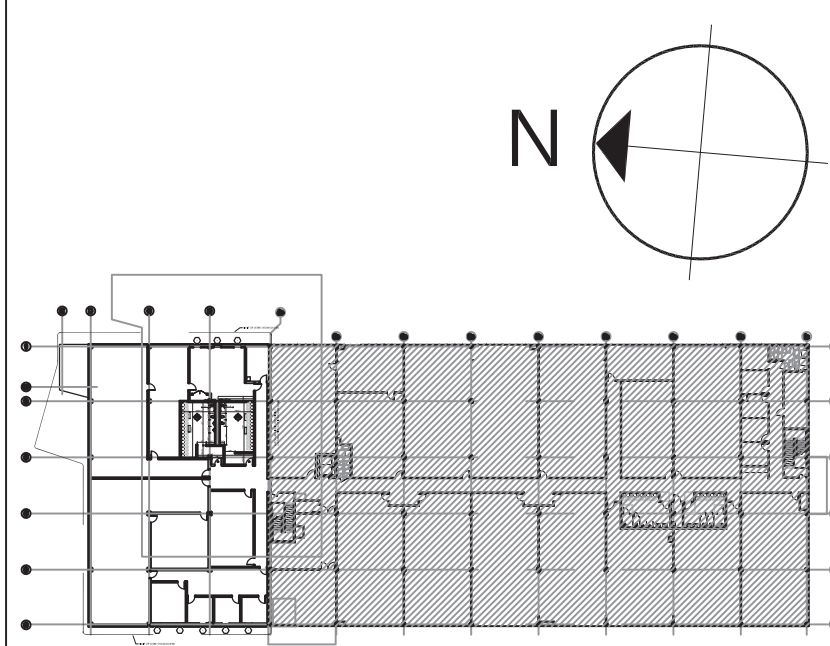
MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

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REGISTERED LAND SURVEYOR



KEY PLAN
Scale: N.T.S.

Drawing Status:

Client:

Commonwealth Cannabis Company
2 Marc Rd.
Medway, MA

Project:

Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:

SECOND FLOOR ADDITION PLAN

Scale: **AS NOTED**

Date: **12/28/2022**

Job Number: **21052**

Drawn By: **TJF**

Checked By: **KEU**

A1.2



For Registry Use

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

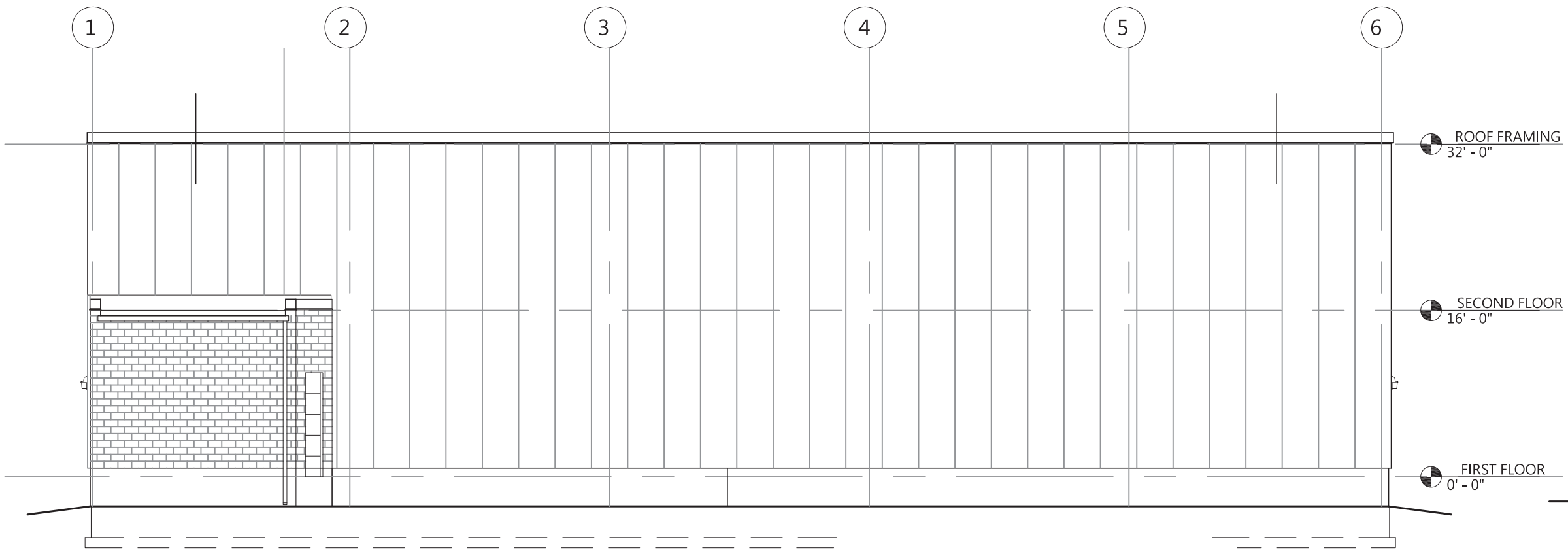
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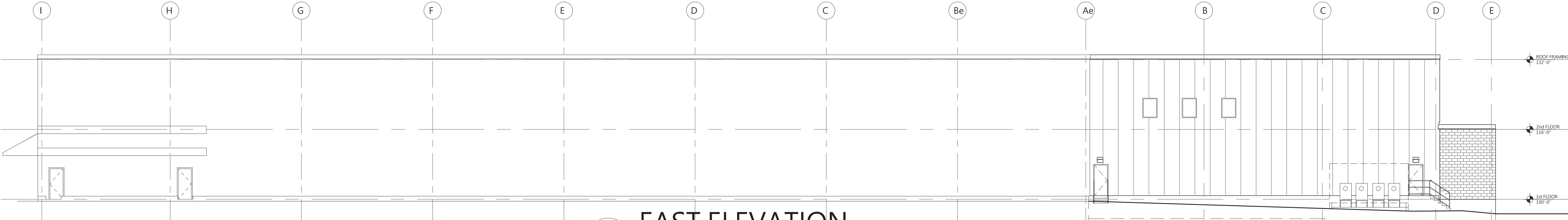
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REGISTERED LAND SURVEYOR

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD



3
A4.0
NORTH ELEVATION
SCALE: N.T.S.



2
A4.0
EAST ELEVATION
SCALE: 1/8" = N.T.S.



1
A4.0
WEST ELEVATION
SCALE: N.T.S.

KEY PLAN

Scale: N.T.S.

Drawing Status:

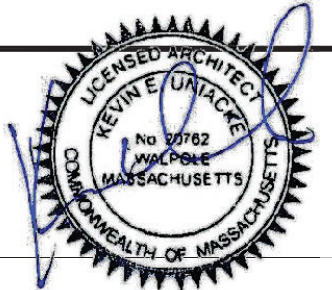
Client:
Commonwealth Cannabis
Company
2 Marc Rd.
Medway, MA

Project:
Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:

EXTERIOR ELEVATIONS

Scale: AS NOTED
Date: 12/28/2022
Job Number: 21052
Drawn By: TJF
Checked By: KEU



A4.0



1
A4.1
RIGHT REAR CORNER LOOKING SOUTH
NTS



2
A4.1
LEFT REAR CORNER LOOKING SOUTH
NTS

For Registry Use

SITE ADDRESS:
2 MARC ROAD

MAP AND PARCEL:
MAP 33, PARCEL 001

ZONING CLASSIFICATION:
EAST INDUSTRIAL

OVERLAY DISTRICTS:
GROUNDWATER PROTECTION DISTRICT

OWNER & APPLICANT:
2 MARC ROAD LLC
ELLEN ROSENFELD
730 MAIN STREET, SUITE 2A
MILLIS, MA 02054
508-376-2041

DEED
BOOK 40331 PAGE 234

DATE APPROVAL ISSUED:

PLAN ENDORSEMENT DATE:

MEDWAY PLANNING & ECONOMIC
DEVELOPMENT BOARD

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AND REGULATIONS OF THE REGISTERS OF
DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

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OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

REGISTERED LAND SURVEYOR



KEY PLAN
Scale: N.T.S.

Drawing Status:

Client:

**Commonwealth Cannabis
Company**
2 Marc Rd.
Medway, MA

Project:

Grow Facility Addition
2 Marc Rd.
Medway, MA

Drawing:

EXTERIOR RENDERINGS

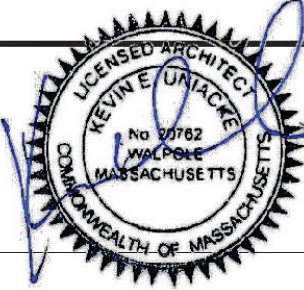
Scale: **AS NOTED**

Date: **12/28/2022**

Job Number: **21052**

Drawn By: **TJF**

Checked By: **KEU**



A4.1

Susan Affleck-Childs

From: Bouley, Steven <Steven.Bouley@tetrattech.com>
Sent: Wednesday, January 4, 2023 12:19 PM
To: Susan Affleck-Childs
Subject: [External] 2 Marc Road Mod Final Plan Review

Hi Susy,

We reviewed the plans titled "2 Marc Road, Site Plan of Land in Medway, Massachusetts" dated February 28, 2022 with revisions through December 28, 2022 by Merrikin Engineering, LLP, against the Decision for the Project dated November 22, 2022.

All plan revision items noted in Section VIII.A.5 & 6 of the Decision have been addressed.

Please let me know if you need anything else, thanks.

Steve

Steven M. Bouley, PE | Project Manager

Direct +1 (508) 786-2382 | Business +1 (508) 786-2200 | Fax +1 (508) 786-2201 | steven.bouley@tetrattech.com

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100 Nickerson Road | Marlborough, MA 01752 | tetrattech.com

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TETRA TECH



TOWN OF MEDWAY
Planning & Economic Development Board
155 Village Street
Medway, Massachusetts 02053

**Request for Medway Treasurer/Collector's
Verification of Status of Paid Taxes**

Date: December 29, 2022

Applicant's Name: 2 Marc Road LLC (Ellen Rosenfeld)

Subject Property Address: 2 Marc Road

Map/Parcel Number(s): 33-001

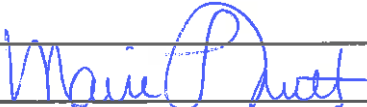
Property Owner(s): 2 Marc Road LLC

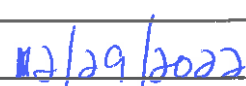
Project Name: CommCan Site Plan Modification

Type of Permit: Site Plan Endorsement

Please indicate the status of taxes/fees owed to the Town:

- ☒ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for the subject property(s)** are paid in full as of this date.
- ☐ By checking this box and with my signature below, I verify that all taxes and fees owed the Town of Medway **for other properties owned by the Applicant** noted above are paid in full as of this date.
- ☐ By checking this box and with my signature below, I verify that the **Town is owed taxes or fees** on properties owned by the above noted Applicant. Briefly explain on the lines below. Please attach a report that indicates the property address, what taxes are owed, and the respective amounts.


Signature


Date

Please complete and return to the Planning and Economic Development office.



TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
TOWN CLERK'S OFFICE

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3204
Fax (508) 321-4988
sohannesian@townofmedway.org
www.townofmedway.org

Town Clerk

Stefany Ohannesian

CERTIFICATE

I, Stefany Ohannesian, Town Clerk of the Town of Medway, hereby certify that the decision of the Medway Planning and Economic Development Board, regarding the **2 Marc Rd, CommCan.**

It was received and filed in this office on November 28, 2022 in the matter of:

Modification of Previously Approved Medical Marijuana and Adult Marijuana Special Permits
Major Site Plan Approval
Groundwater Protection Special Permit

Applicant: 2 Marc Road LLC
730 Main Street, Suite 2A
Millis, MA 02054

Property Owner: 2 Marc Road LLC
730 Main Street, Suite 2A
Millis, MA 02054

No appeal was received during the twenty days after such receipt and recording of said decision in the Town Clerk's Office.

Dated **January 4, 2023** in Medway, MA.

A true copy

ATTEST.....

Stefany Ohannesian



January 10, 2023
Medway Planning & Economic Development Board
Meeting

Newton Lane Street Acceptance Plan
Endorsement

- Street acceptance plan dated 10-7-2022 prepared by CMG Engineering Services and O'Driscoll Land Surveying.

You will recollect that the 11-14-22 Town Meeting voted to accept Newton Lane as a public street. At its 1-3-23 meeting, the Select Board voted to accept the various deeds and easements to convene the road, open space parcel, and utility easements. The SB also signed the street acceptance plan which needs to be recorded at the Registry of Deeds. The PEDB also needs to endorse the plan.

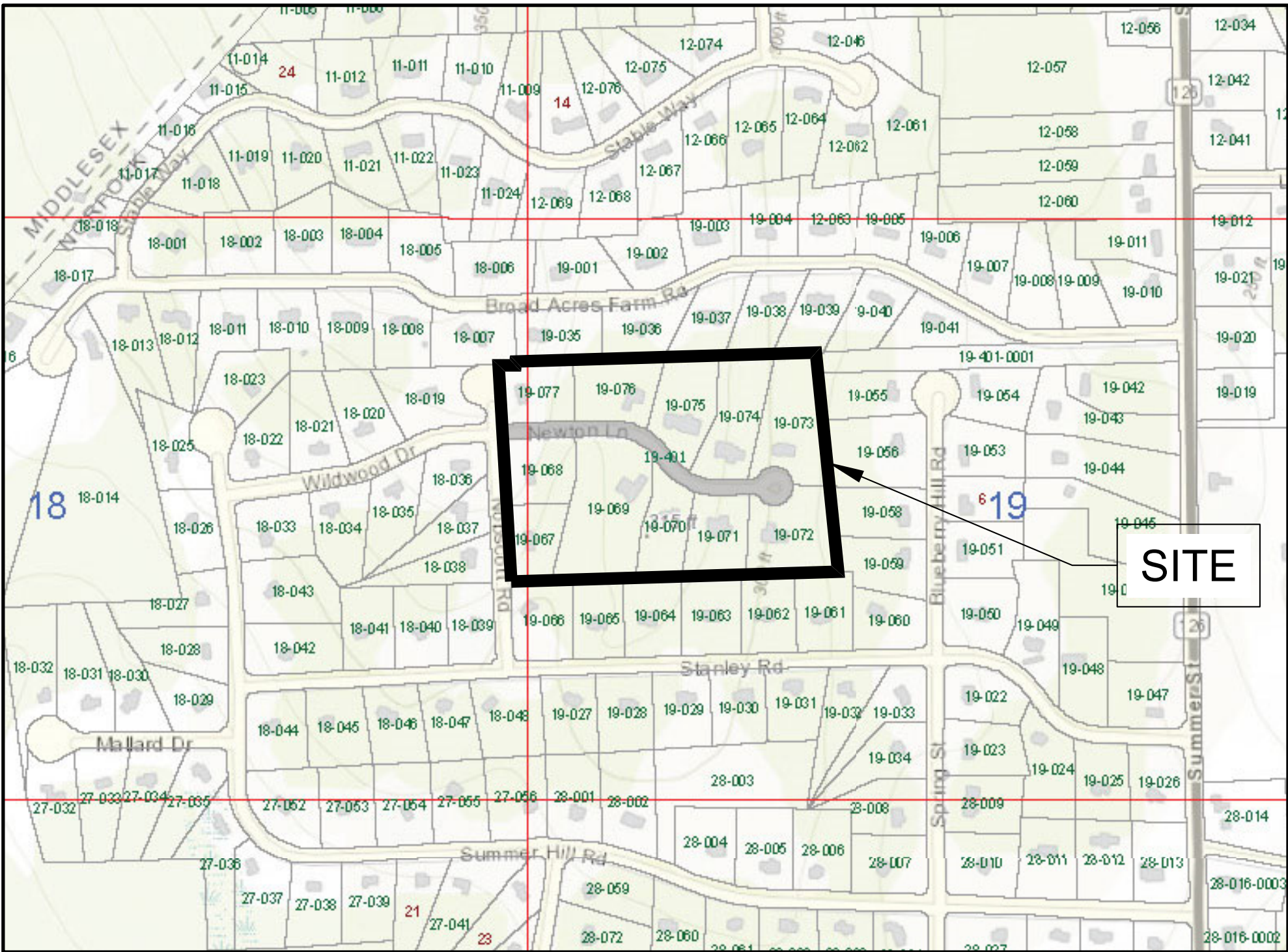
STREET ACCEPTANCE & AS-BUILT PLAN
FOR "HARTNEY ACRES II" DEFINITIVE SUBDIVISION

NEWTON LANE
MEDWAY, MA 02053

RESERVED FOR REGISTRY USE

PREPARED FOR: OWNER / APPLICANT

HARTNEY REALTY TRUST
P.O. BOX 1
MEDWAY, MA 02053



SHEET #	SHEET NAME
C-1.0	TITLE SHEET
C-2.0	STREET ACCEPTANCE PLAN
C-3.0	"NEWTON LANE" AS-BUILT PLAN
C-4.0	DRAINAGE SYSTEM AS-BUILT PLAN

LOCUS MAP

APPROXIMATE SCALE: 1" = 400'

TOWN OF MEDWAY PLANNING
& ECONOMIC DEVELOPMENT BOARD

DATE - AS-BUILT
PLAN APPROVAL

DATE - ROAD LAYOUT
ACCEPTANCE APPROVAL

TOWN OF MEDWAY SELECT BOARD

DATE - ROAD LAYOUT
ACCEPTANCE APPROVED

- 1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED BETWEEN SEPTEMBER 6, 2005 & OCTOBER 6, 2022."
- 2.) "THE STREET (OR WAY THEREOF) AS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THE PLAN."
- 3.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DANIEL A. O'DRISCOLL, PLS
DATE

CIVIL ENGINEER:

CMG
67 HALL ROAD
STURBRIDGE, MA 01560
CONTACT: DAVID FAIST, P.E.
(774) 241 - 0901

SURVEYOR:

O'DRISCOLL LAND SURVEYING, INC.
46 COTTAGE STREET
MEDWAY, MA 02053
CONTACT: DANIEL O'DRISCOLL, PLS
(508) 533 - 3314

DIG SAFE NOTE (1-888-344-7233):
CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

NOTES:

- ORIGINAL PLANS ENTITLED, "HARTNEY ACRES II - DEFINITIVE SUBDIVISION PLAN IN MEDWAY MASSACHUSETTS", DATED NOVEMBER 29, 2004, REVISE DATE JANUARY 7, 2005, PREPARED BY O'DRISCOLL LAND SURVEYING CO. & FAIST ENGINEERING.
- ORIGINAL PLAN APPROVAL DATE: DECEMBER 17, 2004
ORIGINAL PLAN ENDORSEMENT DATE: FEBRUARY 8, 2005
ORIGINAL COVENANT DATE: JANUARY 4, 2005
RECORDING INFORMATION: PLAN BOOK 533, PLAN No. 67 OF 2005
- ELEVATIONS REFER TO THE DATUM SHOWN ON PLAN No. 67 OF 2005.
- UNDERGROUND ELECTRIC/ CABLE/ TELEPHONE UTILITY LINES/ CONDUIT LOCATIONS ARE APPROXIMATE AND BASED ON AS-BUILT UTILITY BOX LOCATIONS AND LIMITED PAVEMENT MARKINGS AT THE TIME OF THE SURVEY. (SEE DIG-SAFE NOTE).
- OWNER: HARTNEY REALTY TRUST

REVISIONS

NO.	DATE	DESCRIPTION	BY	CWD

PROJECT:

STREET ACCEPTANCE & AS-BUILT PLAN
HARTNEY ACRES II
NEWTON LANE
MEDWAY, MA 02053

PREPARED FOR:

HARTNEY REALTY TRUST
P.O. BOX 1
MEDWAY, MA 02053

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

CMG
Est. 2002

O'DRISCOLL
LAND SURVEYING INC.

LAND SURVEYING, GPS MAPPING, LAND CONSULTING

46 COTTAGE STREET MEDWAY, MASSACHUSETTS 02053 (508) 533-3314

ISSUE DATE: 10/07/2022

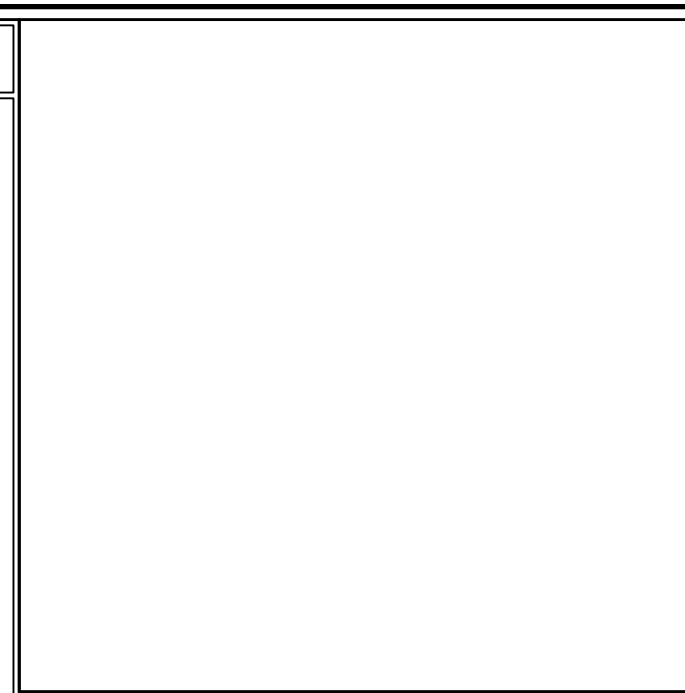
DRAWN BY: RL CHECKED BY: DTF

SCALE: 1" = 40'

PROJECT NO.: 2020-102


TITLE SHEET

C-1.0

[illegible]


PROFESSIONAL SEAL

PROJECT:	STREET ACCEPTANCE & AS-BUILT PLAN HARTNEY ACRES II NEWTON LANE MEDWAY, MA 02053
PREPARED FOR:	HARTNEY REALTY TRUST P.O. BOX 1 MEDWAY, MA 02053

**CMG**
Est. 2002

ENGINEERING SERVICES
ENVIRONMENTAL SERVICES

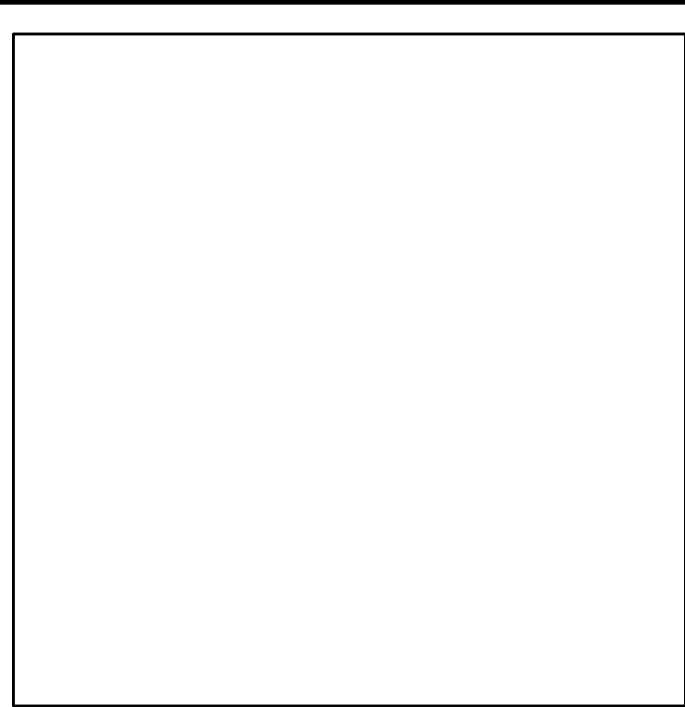
67 Hall Road
Sturbridge, MA 01566
Phone: 774-241-0901
fax: 774-241-0906

 O' DRISCOLL

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STREET ACCEPTANCE PLAN	
C-2.0	



RESERVED FOR REGISTRY USE

LEGEND	
PROPERTY LINE	---
ABUTTING PROPERTY LINE	---
IRON PIPE	○
MONUMENT	□
UTILITY POLE	⊗
FIRE HYDRANT	⊗
WATER GATE	W.G.
WATER LINE	W
GAS VALVE	G.G.
GAS LINE	G
CATCH BASIN (CB)	⊞
DRAINAGE MAINHOLE	⊙
DRAINAGE LINE	---
SEWER MANHOLE (SMH)	⊙
SEWER LINE	S
OVERHEAD ELECTRIC	OHW
UNDERGROUND ELECTRIC	UGE
FENCE	X
EDGE OF WETLANDS	---
WETLAND SYMBOL	---
WETLAND BUFFER	---
TC	TOP OF CURB
BC	BOTTOM OF CURB
FES	FLARED END SECTION
RCP	REINFORCED CONCRETE PIPE
L.F.	LINEAR FEET

TOWN OF MEDWAY PLANNING
& ECONOMIC DEVELOPMENT BOARD

DATE - AS-BUILT PLAN APPROVAL	DATE - ROAD LAYOUT ACCEPTANCE APPROVAL
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TOWN OF MEDWAY SELECT BOARD

DATE - ROAD LAYOUT ACCEPTANCE APPROVED

DANIELA O'DRISCOLL, PLS

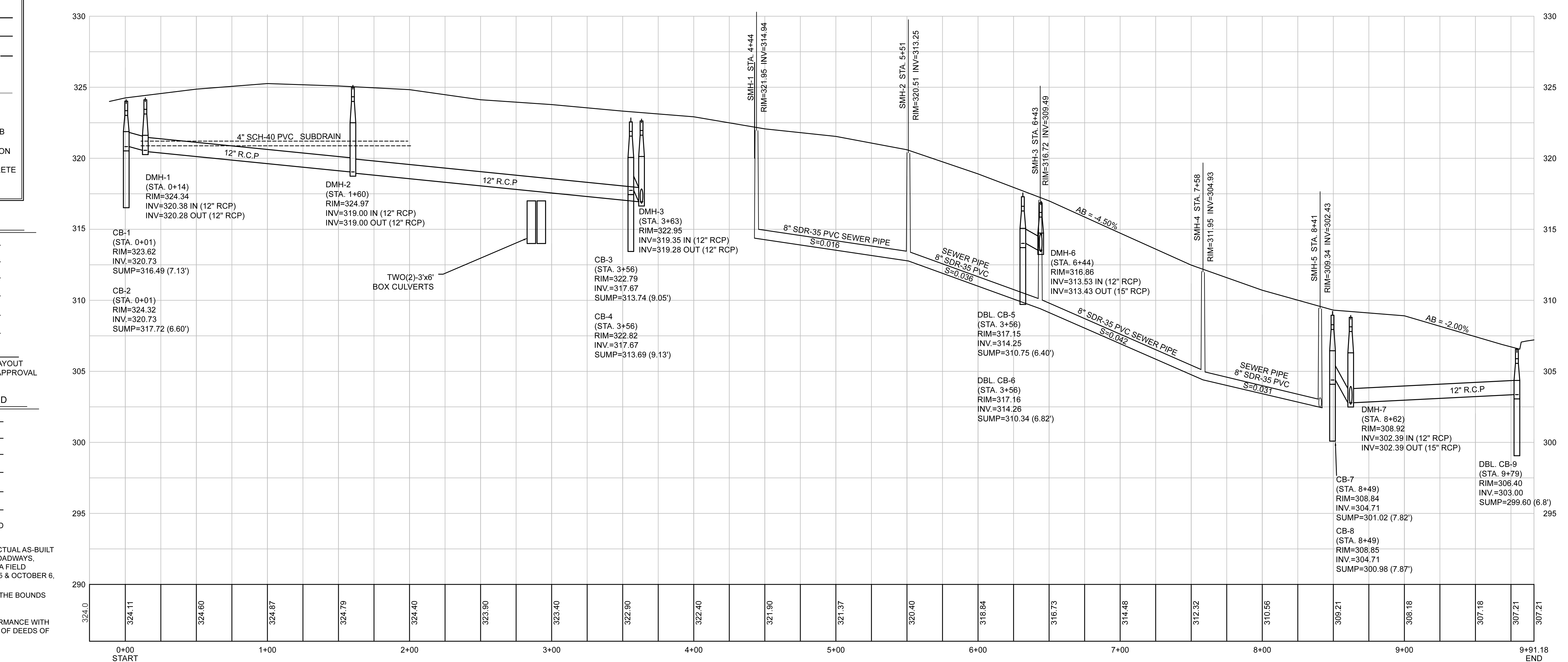
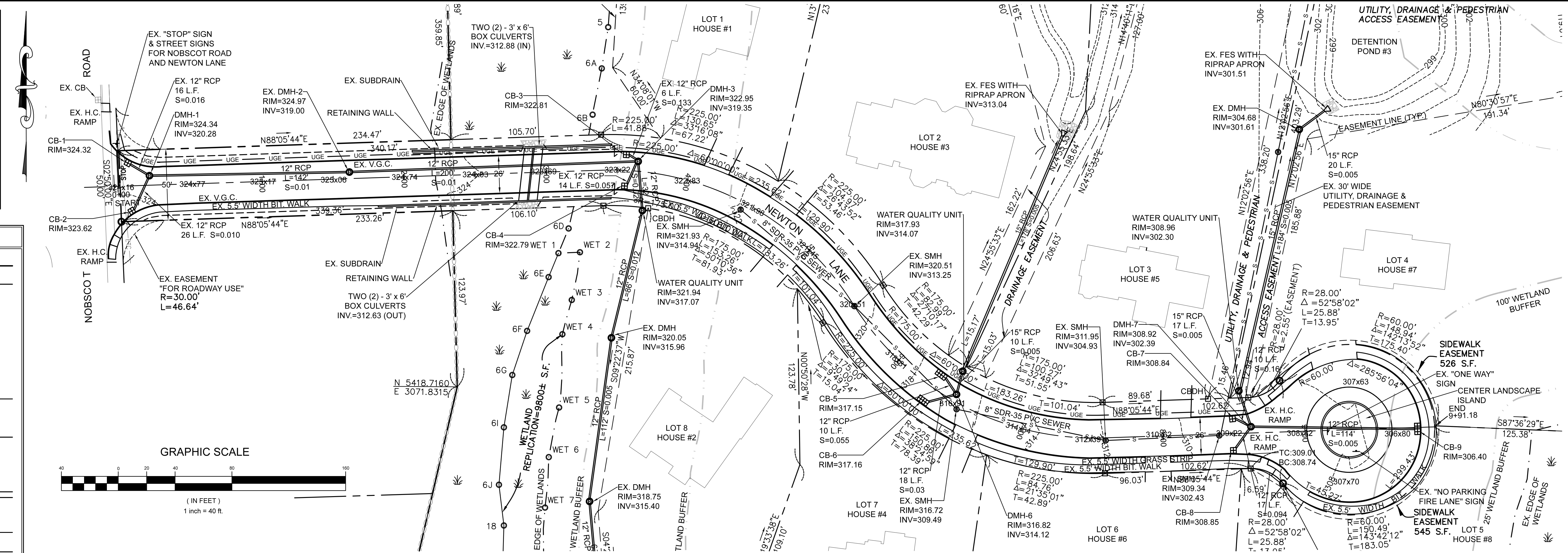
DATE

DIG SAFE NOTE (1-888-344-7233):

CONTRACTOR REQUIRED TO NOTIFY DIG SAFE 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION

OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND

SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.



"NEWTON LANE" PROFILE:

HORIZONTAL SCALE: 1"=40'

VERTICAL SCALE: 1"=4'

NOTE:

1. ALL LOTS SERVICED BY PRIVATE WATER SUPPLY WELLS AND TOWN

SANITARY SEWER.

REVISIONS	
NO.	DESCRIPTION

STREET ACCEPTANCE & AS-BUILT PLAN
HARTNEY ACRES II
NEWTON LANE
MEDWAY, MA 02053

HARTNEY REALTY TRUST
P.O. BOX 1
MEDWAY, MA 02053

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ENVIRONMENTAL SERVICES
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NEWTON LANE AS-BUILT PLAN

C-3.0

LEGEND

PROPERTY LINE

ABUTTING PROPERTY LINE

IRON PIPE

MONUMENT

UTILITY POLE

FIRE HYDRANT

WATER GATE

GAS VALVE

CATCH BASIN (CB)

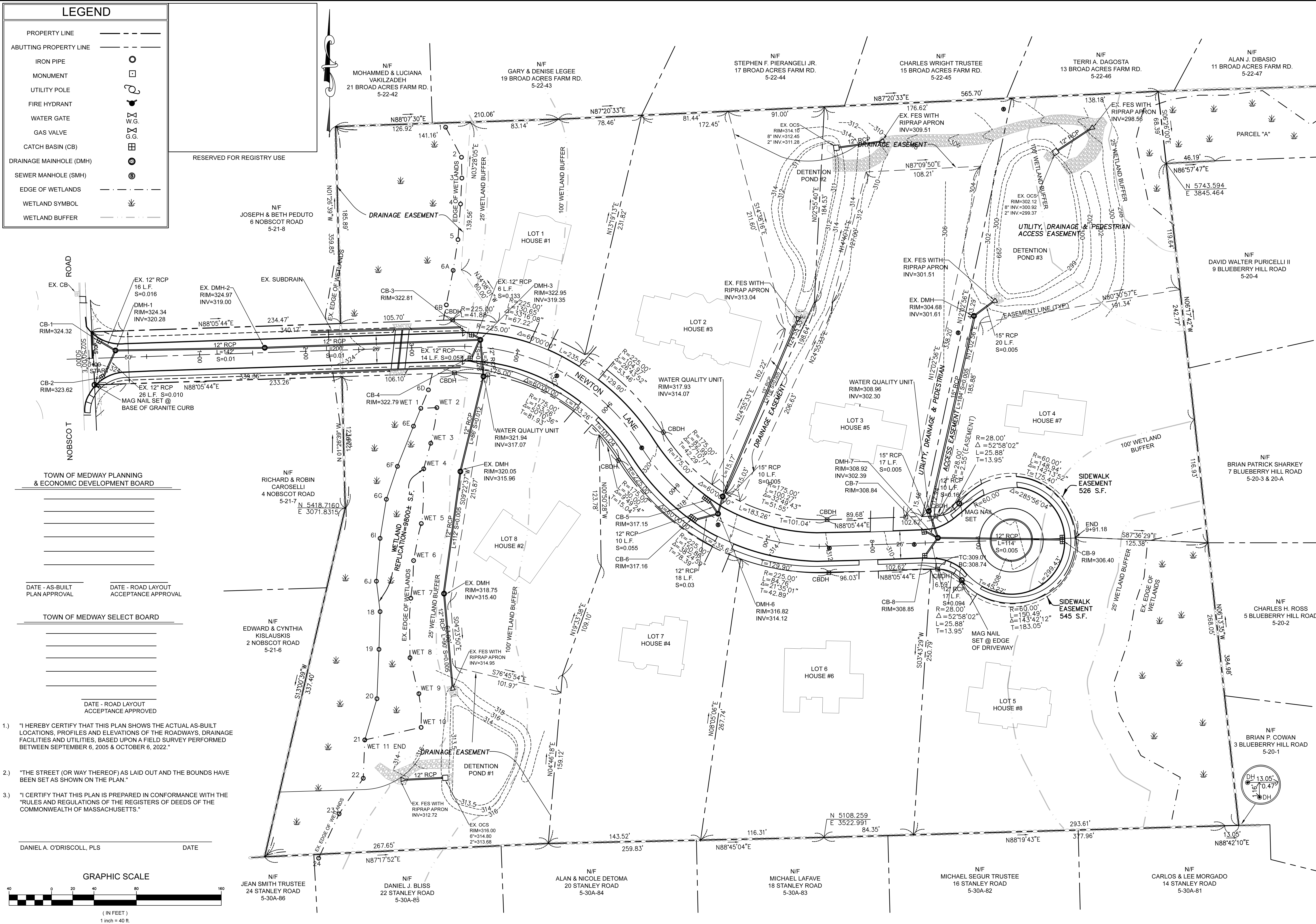
DRAINAGE MAINHOLE (DMH)

SEWER MANHOLE (SMH)

EDGE OF WETLANDS

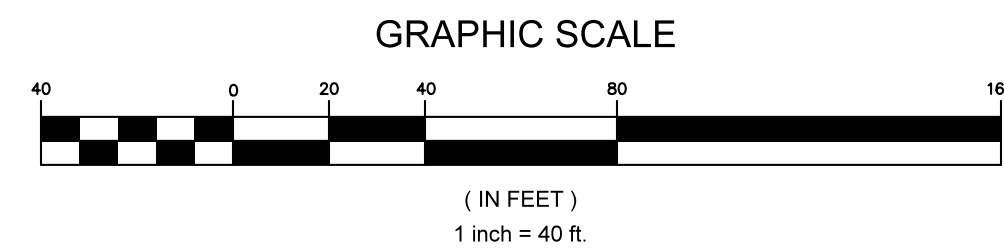
WETLAND SYMBOL

WETLAND BUFFER



- 1.) "I HEREBY CERTIFY THAT THIS PLAN SHOWS THE ACTUAL AS-BUILT LOCATIONS, PROFILES AND ELEVATIONS OF THE ROADWAYS, DRAINAGE FACILITIES AND UTILITIES, BASED UPON A FIELD SURVEY PERFORMED BETWEEN SEPTEMBER 6, 2005 & OCTOBER 6, 2022."
- 2.) "THE STREET (OR WAY THEREOF) AS LAID OUT AND THE BOUNDS HAVE BEEN SET AS SHOWN ON THE PLAN."
- 3.) "I CERTIFY THAT THIS PLAN IS PREPARED IN CONFORMANCE WITH THE "RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

DANIEL A. O'DRISCOLL, PLS DATE



DIG SAFE NOTE (1-888-344-7233): CONTRACTOR REQUIRED TO NOTIFY "DIG SAFE" 72 HOURS PRIOR TO ANY ON-SITE EXCAVATION OR CONSTRUCTION AT 1-888-344-7233. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES.

REVISIONS	
NO.	DESCRIPTION

STREET ACCEPTANCE & AS-BUILT PLAN

HARTNEY ACRES II

NEWTON LANE

MEDWAY, MA 02053

HARTNEY REALTY TRUST

P.O. BOX 1

MEDWAY, MA 02053

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DRAINAGE SYSTEM AS-BUILT PLAN	
C-4.0	



January 10, 2023
Medway Planning & Economic Development Board
Meeting

Revisions to Site Plan Rules and
Regulations

- Further revised draft dated January 6, 2023. I would say we are about 90% of the way there in terms of recommended edits.
- Notes on Tree Replacement formulas

You started to review an earlier version of proposed revised Site Plan R & R at the 11-22-22 meeting and made it through page 16. Let's please continue to review. I would like to start the public hearing on this at the February 14th PEDB meeting.

Tree Replacement Formulas			
Community	Rule/Formula	Type of Bylaw or Regulation	Payment in Lieu of Option?
Medway PEDB	Site Plan Rules and Regs - Trees over 24" in diameter must be replaced. Formula is not specified. We have been using the Scenic Road formula of one square inch of replacement tree per two square inches of trees removed. $[\frac{1}{2} \text{ diameter}^2 \times 3.14] \div 2 = \# \text{ of square inches of replacement trees}$. A 3" caliper tree = 7 square inches. 2 shrubs = one 3" caliper tree (per the Tree Warden).	Part of Site Plan Rules and Regs	Yes. Contribution in lieu of tree planting option is available at \$200 per 3" caliper of tree. That amount was determined by the Tree Warden. Does not include the Town's cost to acquire and plant trees.
Medway ConComm	Conservation Commission Rules and Regs <u>Existing Trunk Size (dbh)</u> <u>Replacement Quantity</u> 3 to 8 inch tree removed = 1 replacement tree 8 to 20 inch tree removed = 2 replacement trees > 20 inches tree removed = 3 replacement trees Replacement trees shall be the same type of plant species that was removed. Replacement size shall be the most commonly available substantial size. Native species are preferred; invasive species are not allowed.	Part of Conservation Rules and Regs	No
Franklin	Trees destroyed are replaced with nursery grade trees as follows: - up to 12 inches dbh . . . 1 tree minimum, 4" caliper - 12 inches to 24 inches dbh . . . 3 trees minimum, 4" caliper - over 24 inches dbh . . . 4 trees minimum, 4" caliper	Scenic Road General Bylaw	no
Wrentham	Trees destroyed are replaced with nursery grade trees as follows: - up to 12 inches dbh . . . 2 trees minimum 2" caliper - 12 inches to 24 inches dbh . . . 6 trees minimum, 2" caliper - over 24 inches dbh . . . 8 trees minimum, 2" caliper	Scenic Road General Bylaw	no

Community	Rule/Formula	Type of Bylaw or Regulation	Payment in Lieu of Option ?
Concord	Applies to "protected trees" which are any trees with a diameter of 6" or more dbh that are removed within the front, side and rear setbacks of a residentially zoned parcel. Invasive species trees are not included. For each inch of "protected" tree removed, no less than one-half inch of caliper of new trees shall be replanted. Each tree must have a minimum caliper of 2".	Tree Preservation General Bylaw	yes. To be used solely for buying, planting and maintaining trees in residential neighborhoods
Greenfield	Less than 12" DBH - 1 tree with a minimum of 3" caliper if in a Tree Pit, 1.5 – 2 in all other locations... During the same calendar year's growing season or, if removed in winter, the following spring or fall. Greater than 12" DBH - 2 trees with a minimum of 3" caliper if in a Tree Pit, 1.5 – 2 in all other locations... During the same calendar year's growing season or, if removed in winter, the following spring or fall	General Code: Trees	no
Lexington	Replanting of removed trees: such replanting shall be on the basis of 1 inch of caliper of new tree(s) for each inch of DBH of tree(s) removed, and each replanted tree must have a minimum caliper of three inches. The replanting shall occur no later than 12 months after completion of the construction work. If evergreens are used as replacement trees, they must be a minimum of 6 feet in height and may include pine, hemlock, spruce and fir. Low growing evergreens shall not be accepted as replacement trees.	Trees: General Bylaws	Yes. Contribution to the Lexington Tree Fund shall be \$200 per replacement inch of protected tree
Wellesley	For each inch of DBH of the tree(s) removed no less than one-half (0.5) inch of caliper of new tree(s) shall be replanted in accordance with the following: 1. Each new tree must have a minimum caliper of two (2) inches;	Tree Protection and Preservation Bylaw	Yes. Removal of a Protected Tree not already mitigated for

Community	Rule/Formula	Type of Bylaw or Regulation	Payment in Lieu of Option ?
Newton	<p>(1) A replacement tree shall be of the same or similar species or such other species as deemed advisable by the tree warden in accordance with the Tree Manual and shall have the same or equivalent size as measured in DBH inches as that of the protected tree that has been removed.</p> <p>(2) In the event that a tree of the same or equivalent size as measured in DBH inches cannot be planted, then multiple smaller replacement trees may be planted provided that, wherever practicable, as determined by the tree warden, the total DBH of the replacement trees shall, when added together, equal the total DBH of the protected tree that has been removed. The tree warden may specify that replacement trees be of a minimum caliper when consistent with current accepted practice as stated in the Tree Manual.</p> <p>(3) A replacement tree shall be required to survive for a minimum of one (1) year from the date it is planted.</p> <p>The person planting the tree shall provide documentation as to the date of planting and file the same with the tree warden within fifteen (15) days of the planting of said replacement tree.</p>	Miscellaneous Provisions	Yes. a person who has been granted a tree removal permit may make a contribution to a tree replacement fund in an amount equal to the cost to replace the tree in accordance with the provisions of section 20-35, which cost shall be determined by the tree warden who shall obtain written estimates from at least two (2) tree companies
Arlington	<p>(1) a replacement tree planted on the property no later than 180 days after the Certificate of Occupancy is issued, of a minimum caliper of two and a half (2.5) inches and of a species native to the area and expected to reach a height of 50 feet or more at maturity</p>	Tree Protection Bylaw	Yes. A \$500 payment made to the Tree Fund prior to commencement of work on the property, which the Town shall use to plant replacement trees in the vicinity of the tree removal or in other locations in the discretion of the Tree Warden
1/3/23 - sac			