



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3291

*Matthew Buckley, Chair
Julie Fallon, Vice-Chair
Jessica Chabot, Member
Dan Connolly, Member
Tom Gay, Member
Lisa Graves, Member
Rachel Walsh, Member*

APPROVED – May 22, 2017

DRC Meeting Minutes: April 24, 2017
Medway Public Library – 26 High Street

Call to Order: – With a quorum, this meeting was called to order by Chairman Matt Buckley at 7:03 p.m.

Attendees:

	4/3/2017	4/24/17				
Matthew Buckley	X	X				
Jessica Chabot	ABSENT with notice	X				
Dan Connolly	Not yet a member	ABSENT with notice				
Rich Di Iulio		X				
Julie Fallon	X	X				
Tom Gay	X	ABSENT with notice				
Lisa Graves	ABSENT	ABSENT				
Rachel Walsh	X	ABSENT with notice				

Also present:

- Susy Affleck-Childs, Planning and Economic Development Coordinator
- Sreelatha Allam, Meeting Recording Secretary,
- Cam Afonso, Signs by Cam
- Bill Donagan, Ryan Donagan, Jonathan Donagan, Peter Lavoie, and Walter Fuller for Merrimack Building Supply

Review DRC Meeting Minutes-

March 6th, 2017 meeting minutes - *Motion was made by Mr. Buckley to approve the meeting minutes of 03-06-2017 as amended, seconded by Ms. Fallon. All were in favor.*

April 3rd, 2017 minutes - Minutes were tabled until the discussed changes are reviewed by the members.

Sign Design Review- Domino's Wall/ Façade Sign, 126 Main Street: Sign maker Mr. Cam Afonso attended the meeting to discuss the proposed internally illuminated channel letter wall sign. (**See Attached**) This sign will replace the existing sign for Dominos at 126 Main Street.

The sign is made of aluminum with 30 Sq. Ft. surface area and is 18” tall. Everything on the sign will be illuminated. Roof shingles above the storefront will not be replaced/ repaired as part of this sign project. Members said the raceway color behind the letters should be in brown tone to better match the brown shingles. Ms. Affleck-Child said the business owner, Jeff Dufficy, will have to go through a permitting process when he decides to remove/renovate the façade. During that time, the Planning Board might ask for a master signage plan for the building. The DRC letter will be sent to Mr. Afonso and the Building Department.

Sign Design Review - Lone Wolf Kajukenbo Karate Studio at Medway Mills

Tony Miele, Business Owner attended the meeting to discuss this item. He provided the history and background of his business. The proposal is for the installation of a wall sign for the karate studio. It is a boutique studio (100 Sq. Ft. in size) that started in 2016. Members reviewed the specifications of the sign that was submitted for their review. (**See Attached**) Ms. Chabot suggested separating the letters in the word “Karate.” Ms. Fallon added that with separation, the word “Karate” could be seen much more distinctly. She also shared few samples of the sign design with different font styles and sizes which she will email to Mr. Miele. She said in the current design both the logo and the sign look very identical and recommended making some changes in the size of the words on the sign. Mr. Miele expressed his desire to keep the design as presented. During discussion on the project area, members said there might be significant pedestrian activity in the area once the Rt. 109 project is completed. Ms. Fallon agreed to draft the DRC letter with recommendations. Ms. Affleck-Child said the letter will be sent to Mr. Miele and the Building Department by the end of this week or early next week.

Site Plan Review – Merrimack Building Supply, 20 Trotter Drive

Peter Lavoie, (Guerriere & Hanlon), Bill Donagan (Owner of Merrimack Building Supply), Walter Fuller (Architect), Ryan Donagan and Jonathan Donagan attended the meeting to discuss this item. Mr. Bill Donagan gave an overview of his business. Mr. Fuller presented the proposed work to the members. **See Attached.** Part of the new building will be used as a show room. The new building will get a 24” insulated corrugated panel. Members discussed the color palette for the existing and proposed building. To a question on façade signs, Mr. Donagan responded that they weren’t planning any. There was some discussion on the door sizes. Mr. Buckley asked if there were any landscape elements in the proposed work. Mr. Lavoie responded there is a landscape architect on board and he will review comments from the Planning Board and DRC and stamp the plans finally. To Ms. Chabot’s question if the area in the front is a detention pond or a mound, Mr. Lavoie explained that it will be a rain garden made out of mulch. The roof run-off from the buildings will be directed into the rain garden. He said all the plants in the rain garden will be called out in the plans and an effort will be made to keep the existing vegetation intact. The planting scheme was presented to DRC members. Ms. Affleck-Child conveyed to the DRC the concerns of the Planning Board on the landscaping around the parking area. To questions from members on lighting, Ms. Affleck-Childs said the lighting plan is forthcoming

and that it was not part of the applicant's original site plan submission. Design team stated that LED lighting is proposed in the project. To a question whether sky lights were part of the proposed work in the new building, the design team said they were not being considered at this time. Cost and maintenance were cited as the reasons for not considering the sky lights. After a brief discussion on the topic, Mr. Buckley and others recommended using skylights. Ms. Affleck-Childs asked DRC members to provide a status report to the Planning Board on the design elements that were discussed at the meeting today. She noted that the applicant will be meeting with the Planning Board tomorrow (4/25/2017) to begin the public hearing and will make a presentation.

Other Business:

1. Other business as may come before the Committee

- Ms. Affleck-Childs reported that Dan Connolly has been appointed as the member of the DRC.
- Ms. Fallon reported that she will be stepping down as the member of the DRC Committee. She will attend the meetings until the end of June. There was discussion on finding another member with graphic design background. Ms. Affleck-Childs talked about making announcement for a new member via proper channels (Facebook, newspaper, Town website).
- Mr. Buckley asked about the status of the Shell sign and the additional LED lighting. Ms. Affleck-Childs reported that detailed drawings for building permit were submitted to the Building Department. She provided comments on the drawings. Mr. Buckley asked if they had lighting on the canopy before and Ms. Affleck-Childs said yes. To a question on the green LED for the gas prices on the monument sign, Ms. Affleck-Childs responded that the expectation was that it would be toned down. Mr. Di Iulio said, in addition to toning it down, the applicant was also asked to reduce the size of the gas prices as they were larger than what was allowed. Ms. Chabot added that the applicant was asked to turn the LED off if it couldn't be toned down. Ms. Affleck-Childs took notes.

2. Action Items- None.

DRC Meeting Schedule - Next DRC meeting is scheduled on May 01, 2017.

Adjournment

With no further business before this committee, a motion was made by Ms. Fallon to adjourn the meeting, seconded by Mr. Buckley. The motion was unanimously approved.

The meeting was adjourned at 8:37 p.m.

Respectfully Submitted,
Sreelatha Allam

DRC Sign Design Review – Domino’s
Planning and Economic Development Office Comments
April 20, 2017

Business: Domino’s

Sign Location Address: 124 Main Street

Proposed Sign: This is a proposal for a new, internally illuminated channel letter wall sign to replace the existing sign for Domino’s at 124 Main Street.

Zoning District: Central Business

	Proposed Sign	Allowed by Bylaw
Sign Surface Area	33” high x 130” wide = 29.79 sq. ft.	30 sq. ft. based on 30 linear feet of storefront
Sign Height	Not applicable	Not applicable
Illumination	Internal	Internal and External
# of signs	1	1
Setback	Not applicable	Not Applicable

Comments:

1. The proposed sign appears to be fully compliant with the sign surface area limitations and the lighting requirements of the Zoning Bylaw. It is a replacement for an existing, non-conforming sign.
2. The drawing from Signs by Cam shows a white raceway behind the channel letters. The raceway color should be a dark brown tone to better match the color of the mansard roof shingles to which the sign will be affixed. The individual channel letters should appear as though they float.
3. The roof shingles above the Domino’s storefront are in disrepair and out of position. They should be replaced/repared after the existing sign is removed and before the new sign is installed.
4. There is no master sign plan for this multi-tenant development. As a result, there is no consistency among the types of tenant signs on this site.

Summary and Comments Prepared by: Susy Affleck-Childs

NOTE – The sign fabricator has provided a revised sign design showing a brown painted raceway instead of a white raceway as originally proposed.



Medway Design Review Committee (DRC)
Application for Sign Design Review

Medway Location/Address where the sign will be installed: _____
What is the interior width of the storefront? _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Applicant Information (Local Medway business establishment where the sign is to be installed)

Business Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone _____

Email address: _____

Type of Proposed Signs – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: www.townofmedway.org.

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign					
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign					
Awning Sign					
Projecting Sign					
Directory Sign					
Window Sign					
Other Type of Sign (Describe)					

Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to sachilds@townofmedway.org

- _____ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.
- _____ 2. For a wall sign, a scaled image showing the sign's position on the building.
- _____ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.
- _____ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.
- _____ 5. Color drawing of corporate logo (if applicable).
- _____ 6. Color photograph of similar/comparable sign on which your sign design is based.
- _____ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

Does this application pertain to a replacement panel for an existing sign structure?

☐ Yes (If yes, please include photos/info of the existing sign) ☐ No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

☐ Yes ☐ No ☐ Don't Know

Does your lease require the property owner's approval of your sign?

☐ Yes ☐ No ☐ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC).

The business owner and sign designer/fabricator must attend the DRC meeting.

**The DRC generally meets on the first & third Monday night of each month at 7 p.m.
at the Medway Library, 26 High ST.**

(DRC meeting agendas are posted at the Town's web page at www.townofmedway.org)

**An Application for Sign Design Review and all supporting information must be submitted
to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.**

Please submit this application form and all attachments as follows:

Email: sachilds@townofmedway.org **PREFERRED**

Fax: 508-321-4987

Mail: Design Review Committee
c/o Medway Planning office
155 Village Street, Medway, MA 02053

Drop Off: Medway Planning office @ Medway Town Hall, 155 Village Street

Phone: 508-533-3291

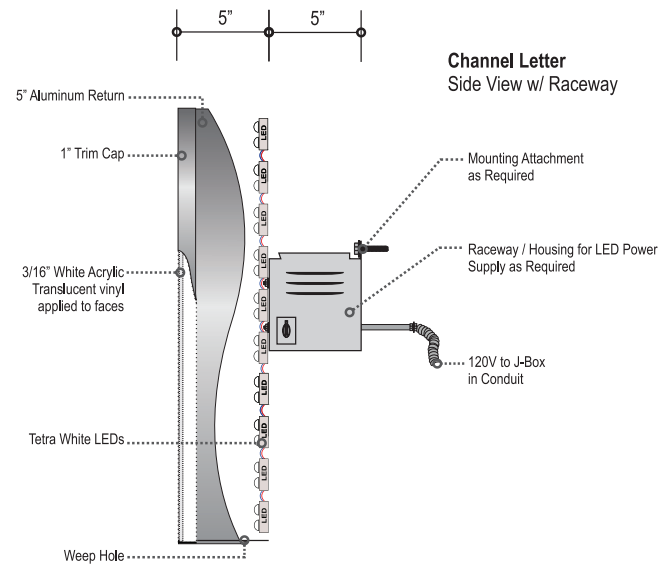
**Applicants and sign designers should read the Sign Guidelines included in the
Medway Design Review Guidelines before developing a sign design.**

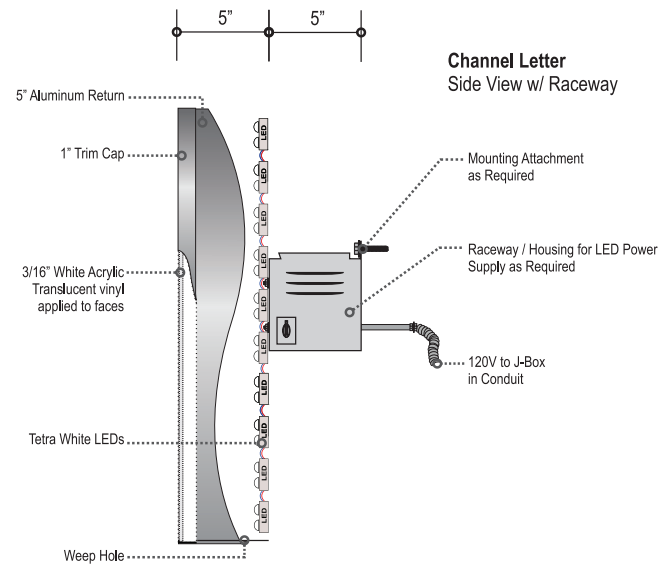
<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____





DRC Sign Design Review – Karate Lone Wolf Kajukenbo
Planning and Economic Development Office Comments
April 20, 2017

Business: Karate Lone Wolf Kajukenbo – Tony Miele

Sign Location Address: 165 Main Street at Medway Mills

Proposed Sign: This is a proposal for a wood wall sign for the Karate Lone Wolf Kajukenbo studio at Medway Mills

Zoning District: Agricultural Residential II

	Proposed Sign	Allowed by Bylaw
Sign Surface Area	23" tall by 65" wide = 10.38 sq. ft.	OK per master sign plan
Sign Height	Not applicable	Not applicable
Illumination	None	External or None
# of signs	1	1
Setback	Not applicable	Not Applicable

Comments:

1. The proposed sign pertains to a reuse of the wall sign previously permitted in 2012 for Visual Comfort Eye Care. Based on the Notes section included on the sign drawing dated August 15, 2016 by Advanced Signing, it appears the applicant plans to reuse the Visual Comfort Eye Care sign and apply new overlay graphics for Karate Lone Wolf Kajukenbo to it.
2. The existing black background of the sign should remain in place so that the reworked sign maintains a black border around its edge consistent with the Medway Mills Master Signage Plan.
3. Based on the Notes on the drawing, it is not clear whether the existing vinyl lettering and logo for Visual Comfort Eye Care will be removed or covered over.
4. The proposed sign is the same size as that approved previously for Visual Comfort Eye Care. It appears to be fully compliant with the sign surface area limitations and the lighting requirements.

Summary and Comments Prepared by: Susy Affleck-Childs



Medway Design Review Committee (DRC)
Application for Sign Design Review

Medway Location/Address where the sign will be installed: _____
What is the interior width of the storefront? _____

Building/Development Name: (if applicable): _____

Medway Zoning District: _____

Applicable Sign Standard Table (from Medway Zoning Bylaw) Table # _____.

Applicant Information (Local Medway business establishment where the sign is to be installed)

Business Name: _____

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☐ Yes ☐ No (If NO, please include photos/info of the existing sign you are modifying)

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If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

☐ Yes ☐ No ☐ Don't Know

Does your lease require the property owner's approval of your sign?

☐ Yes ☐ No ☐ Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

Property Owner Information

Company Name: _____

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone: _____

Email address: _____

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<http://www.townofmedway.org/design-review-committee/pages/sign-design-review>

Sign designs should be developed in accordance with the Sign Design Guidelines.

Date Application Received by Medway Planning office: _____

Reviewed by Medway Planning Coordinator: _____ **DRC Meeting Date:** _____



Existing

I Elevation:
Scale: 1 1/2" = 1'

NOTES

Surface applied Vinyl Graphics
to existing sign in field

TYPEFACE

Logotype

COLOR

Copy and Graphics: 3M Beige Vinyl
Background: 3M Dark Brown Vinyl

INSTALLATION

Surface Applied



**ADVANCED
SIGNING**

Advanced Signing LLC
4 Industrial Park Road
Medway MA 02053

t: 508.533.9000
f: 508.533.2975
www.advancedsigning.com

CLIENT
Miele Law Group

PROJECT
**77142
Exterior**

DRAWN BY
HJH

DATE
01.13.16

REVISIONS
08.15.16

SIGN TYPE
800

DRAWING NO.
800.1

DESCRIPTION
Vinyl Overlay

PROPOSED SITE IMPROVEMENTS / SIGNAGE / WAY FINDING

**MEDWAY MILL c/o John J. Greene
165 Main Street Suite 307
Medway, MA. 02053**

Application for signage / lighting of signage review, advice and guidance from committee- prior to filing with planning board.

The Medway Mill complex consists of 4 buildings with legal addresses of 161,163, and 165 Main Street Medway, Ma. , The original building on this site (dates back to the 1840's) and was known as The Stone Mill (which housed the West Medway Mallet Company) a manufacturer of rawhide mallets used for cutting sole leather. The company was started and operated by Addison Parsons Thayer. It was believed Thayer built the Mill from nearby quarried rock--hence the name Stone Mill / The Stone Mill Companies. The granite stone foundation is still evident in the building today and forms a pertinent part of its center foundation.

This existing structures consist of brick, stucco with wood and steel frame / support beams and one foot thick exterior and foundation walls. The brick Mill and rear appurtenant buildings were erected between 1900 and 1960 in several stages with the most recent structures being steel super structure and corrugated metal skin. Over the years the Mill housed a variety of businesses including a woolen picking mill, steel wire coating mill, and manufacturing of shoe making equipment/ components.

A variety of businesses have occupied the Mill spaces over the last 35 years and for many years the property remained mostly vacant and in dilapidated condition.

John Greene is the present owner and has been renovating the existing structures bringing all systems to modern day building codes. In 2008 The Town of Medway voted an amendment to the Zoning by Laws creating a Mill Overlay District which would allow for the addition of apartments to the site. The owner is currently preparing a comprehensive special permit (to be submitted to the planning board) to allow for the additional of parking at the site.

Greene began renovations in the spring of 2007 which include new rubber roofs with super thermal insulation, new thermal windows maintaining the original architectural integrity, new demising walls, 6" wall insulation, sound deadening, all new electric services, feeds, lighting, telephony / data hallways, bathrooms, fire alarms, horn strobes, notification systems, sprinkler equipment, water feeds, back flow prevention system, ADA accessibility, new lighting, lobbys and future plans for added parking, landscaping, garden areas, decorative stone walls to accentuate the brook running through the property, lighting of the same, along with signage, signage lighting and exterior lighting (for driveways, walkways, sitting areas, parking lot, (and possible designer lighting to highlight the brook after sunset.

Tenant Listing / Directory Sign

Front of Building Rt. 109

The property presently displays a tenant directory placard (8' x 12') which was granted for use under a special permit issued by the Town of Medway in 1995.

The applicant wishes to replace this sign, change the location, with better quality materials similar in fashion to those submitted with this application. (Oval at top--consistent with all other proposed directory signs) The new directory would be smaller in size than what is allowed under a 1995 Special permit (see enclosure) and would be **set back 8' from Rt. 109** *Photo Page 1*

The supporting posts to be high quality continuous vinyl encased white posts caps, high density (3/4") PVC mounting base removable placards mountable on both sides of structure with weather resistant white metal bracketts. Four foot concrete mounting base in sona tubes.

At the base of the sign owner would surround the post perimeters with a small garden bed and low level flowers. Pansies / begonias. Owner plans for sprinkling system for new Dogwoods and Hydrangeas and would use the same to water this bed as well as entry sign bed and plants around stone entry walls.

Back ground to be (chocolate brown) with (linen / ivory) colored lettering. All back grounds, letter colors, and materials to be consistent throughout (this sign) and other display signs on the property except for interior lobby signs and directories which will consist of lighter duty materials.

Placards to be equal in size but may display each companies logo and individual style lettering but with consistent colors / fonts.

Owner would plan for low but sufficient shielded spot lights with adequate illumination to display the signs information after sunset, on a timer to terminate lighting at 10p.m.

Entrance / Address Sign / Oval

New oval entrance sign (3' x 5') is proposed with image and sizes attached. Materials, lettering and colorants would follow the same guidelines used in directory and to be used throughout the property. (Lettering to be carved into urethane on this sign). Oval entrance sign to be surrounded with small bed of flowers similar in species to tenant directory and set back 8' from Rt. 109 30-35" Grade to center

Photo page 2

Entry sign would be placed about 12' away from radius of stone wall entry in a small garden bed (low level flowers). Too close to stone wall would hide the wonderful appearance of the large old stones used to construct these walls and the appealing radius built into them.

Entry Directory Sign would be illuminated after sunset with small shielded spot lights with enough illumination to display the signs information, on a time with front directory and wall lamp signs terminating at 11p.m.

Travel Route--Entrance into the Mill driveway applicant will place traffic directory signs (Right turn only 34" x 24, Do Not Enter,) (24" x 18")--to coincide with new master site plan) being applied for through the planning board. Signs to carry same theme, coloring, fonts, materials as described above. Signs are in the gardens beds and on the building at the bottom drive way entering Mill at end of the copper shop building. 40" Grade to sign center.

Photo page 3

See plan attached.

Proposed Style Tenant Sign on Buildings--Several of the larger Tenants have requested signs directly on the buildings. Page 3 depicts the proposed design and shape of style chosen by owner to compliment the Oval theme carried throughout the other signage. We are requiring tenants to use the same colorants and materials as carried through with the Directory and Traffic / Way Finding Signage.

Tenants would be required to obtain approvals by the Medway DRC.

Traffic Stop Sign / Do Not Enter

At the end of the entrance driveway (just in front of bridge way) applicant proposes a double sided sign with Stop facing drivers, and do not enter on the reverse side. This allows safety for pedestrians and helps to avoid traffic crossing the bridge perpendicular to the entry drive. Sign to be oval (24" x 18") with materials, mounting consistent with other signage. **40" Grade to center.**

Photo page 3A, (stop) 3B (do not enter on reverse side)

Parking Directory 1

Owner proposes one a second Parking and Building Number directory (4' x 5') at the bridge crossing indicating number, direction to location of each buildings 161 +163, listing tenants and directions for parking including new upper level parking lot. (Proposed in new site plan- filed with planning board). **Note 2 this is a two sided sign. Some of sign will extend onto parking area. Photo Page 4, 4A 72' Grade to center**

Upper level parking / Way Finding

Applicant proposes a 24" x 18" oval directing tenants and visitors to an upper level parking lot and exit directions for access to Rt. 109. **Page 5**

Exiting the upper lever parking to lighted pathway back to Mill will be a 4' x 4' sign as way finding directing patrons from the upper level parking lot to the lower level and appurtenant buildings via lighted walkway. *Photo Page 5,6*
40" Grade to center

Exit / Parking -Applicant proposes to ovals directing tenants into upper level parking and egress direction out to Lincoln Street to access Rt. 109. **40" Grade to center. Page 7**

Stone Mill Directory / Building Sign

Applicant proposes an exterior tenant / building directory sign for the Stone Mill (6' x 4') for visitor way finding mounted on the Riverside Building and 12" Letters on the Elevator Shaft of the Mill spelling - **THE STONE MILL** -- to preserve the memory of the first name given to the original structure at this site. Letters to be centered between shed roof termination and stone faced clock. **Photos Pages 8,9 Wall directory 40" Grade to center.**

Building Directory Copper Shoppe / Exit to Rt 109

Applicant proposes building label sign for The Copper Shoppe and exit sign to Rt. 109 on The Copper Shoppe leading down one way alley to Rt 109. **Photo pages 10, 11 30" Grade to center Copper Shoppe Sign and 40" Grade to Center Exist Sign.**

Lincoln Street Entry

Applicant proposes a 24" x 18" oval entry sign demarking Mill access from Lincoln Street 60" grade to center of sign.

Page 12

Exterior Tenant Signs on Buildings.

Owner proposes the use of Tenant signs (rectangular signs, with rounded edges wall mounted onto buildings where applicable) with materials, lettering and colors all consistent with those described herein for tenants individual signage. Landlord intends to keep such wall mounted signs to a bear minimum and allow only the same for retail operations.

Photo Page 3

Presently such operations are:

The Tack Shop- Coachman's Delight

Molly's Apothecary

Solstice Healing Arts

The Medway Dog Wash

Medway Mill Antiques

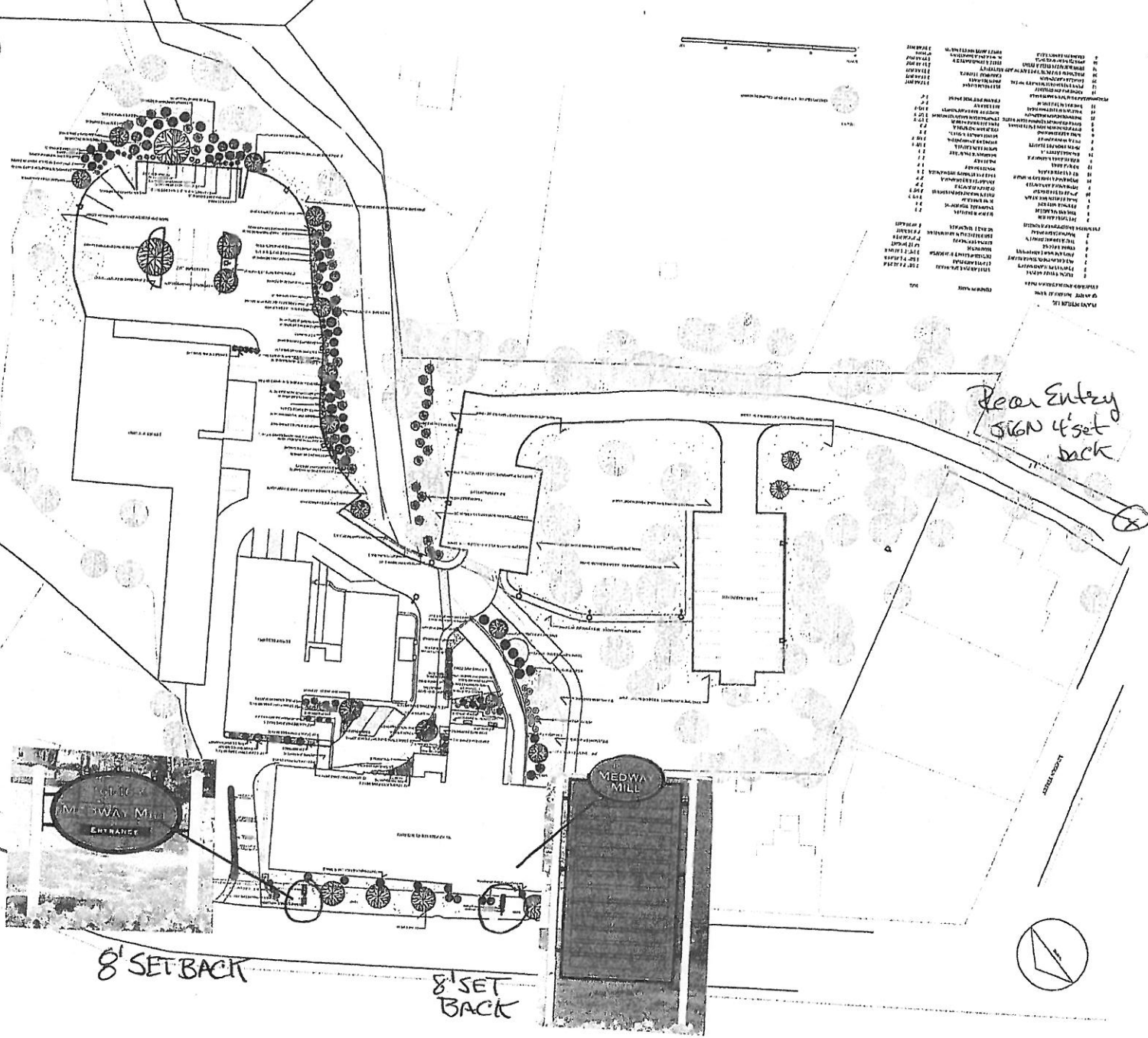
The color, styles, design materials will all be outlined and made a part of each lease as new tenants commit to space in the buildings. Tenants would be required to follow the design review process and receive written approval prior to installing any exterior signage on buildings or exterior directories.

(See sample enclosure)

KATTMAN CORPORATION
Landscape Architects
Planning
RICHARD KATTMAN
Landscape Architects
Mass. License # 606
24 WATER STREET
HOLLISTON, MASS. 01746
508-933-4332
richard.kattman@gmail.com

PLANTING PLAN
OWNER:
NRG CONCEPTS
165 MAIN STREET
MEDWAY, MASS. 02053
DATE: AUGUST 31, 2010
SCALE: 1"=30'-0"
REVISIONS:

- 1. PLANTING SYMBOLS
- 2. PLANTING SCHEDULE
- 3. PLANTING NOTES
- 4. PLANTING SPECIFICATIONS
- 5. PLANTING MATERIALS
- 6. PLANTING METHODS
- 7. PLANTING MAINTENANCE
- 8. PLANTING COSTS
- 9. PLANTING SOURCES
- 10. PLANTING REFERENCES



SYMBOL	PLANT SPECIES	QUANTITY
1	PLANT SPECIES	QUANTITY
2	PLANT SPECIES	QUANTITY
3	PLANT SPECIES	QUANTITY
4	PLANT SPECIES	QUANTITY
5	PLANT SPECIES	QUANTITY
6	PLANT SPECIES	QUANTITY
7	PLANT SPECIES	QUANTITY
8	PLANT SPECIES	QUANTITY
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19	PLANT SPECIES	QUANTITY
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22	PLANT SPECIES	QUANTITY
23	PLANT SPECIES	QUANTITY
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25	PLANT SPECIES	QUANTITY
26	PLANT SPECIES	QUANTITY
27	PLANT SPECIES	QUANTITY
28	PLANT SPECIES	QUANTITY
29	PLANT SPECIES	QUANTITY
30	PLANT SPECIES	QUANTITY
31	PLANT SPECIES	QUANTITY
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99	PLANT SPECIES	QUANTITY
100	PLANT SPECIES	QUANTITY



161-165
**MEDWAY
MILL**

6' x 12' sign
12 - 5' x 5" sign panels



5' x 3' sign



36" x 22" Turn sign
30" x 16" Do Not Enter



24" Oval Stop Sign



24" Oval Directional Sign





4' x 5' sign





4' x 3' Directional Sign



24" Oval Directional Sign



165

THE STONE MILL →

MEDWAY MILL ANTIQUES
MEDWAY HAIR SALON
GERALD RUBIN, LICSW

MEDWAY MILL ANTIQUES
MEDWAY HAIR SALON
GERALD RUBIN, LICSW

6' x 4' Wall Directory





40" x 23" sign





Susan Affleck-Childs

From: Susan Affleck-Childs
Sent: Thursday, March 23, 2017 5:22 PM
To: Michael Boynton; Allison Potter; David Damico; Bridget Graziano; Matthew Buckley; Joanne Russo; Donna Greenwood; Stephanie Mercandetti; Jack Mee ; Jeff Lynch; Allen Tingley ; Jeff Watson; Mackenzie Leahy
Subject: Merrimack Building Supply Expansion Project - Site Plan and Groundwater Protection Special Permit - PLEASE REVIEW

Hi,

The Planning and Economic Development Board has received applications for approval of a major site plan and a groundwater protection special permit for Merrimack Building Supply’s expansion project at 20 Trotter Drive.

The subject property is 10.73 acres and is located at the southwest end of Trotter Drive in the Industrial III zoning district. The parcel is shown on the Medway Assessors Map as Parcel 64-002. The property is owned by Medway Trotter, LLC. The site includes wetland resources, a small portion of Stall Brook, and is located within Medway’s groundwater protection district.

The proposed project includes construction of a 19,500 sq. ft. addition to the existing 10,000 sq. ft. structure, a new customer entrance, expanded parking, a new loading dock and paved area for truck access to the loading area, installation or relocation of utilities to accommodate the addition, abandonment of the existing septic system and connection to Town sewer, installation of a stormwater drainage system, and site landscaping. The site plan is titled *Merrimack Building Supply Site Plan for 20 Trotter Drive*, is dated March 10, 2017, and was prepared by Guerriere and Halnon of Milford, MA and Cubic Architects Inc. of Plymouth, MA.

The application, site plan, stormwater report and building renderings may be found in the Merrimack Building Supply Expansion Site Plan file within the Planning and Economic Development folder on the common H drive. They have also been posted to the PEDB web site as follows: <http://www.townofmedway.org/planning-economic-development-board/pages/merrimack-building-supply-expansion-%E2%80%93-major-site-plan-gpd>

Please let me know if you would like a full size, paper version of the plan set to review. I have several sets here in the office.

The Board will begin its review of this application at a public hearing scheduled for Tuesday, April 11, 2017 at 7:15 p.m. in Sanford Hall at Town Hall, 155 Village Street, Medway, MA.

Please review the Merrimack Building Supply site plan to identify any issues of concern to your department/board that could best be resolved early on in the plan review process. We welcome your comments and recommendations of any plan revisions you believe would be in the best interests of the Town. ***If you have any written comments regarding this plan, please forward them to me by April 5th*** so that they may be provided to the Board and included in the public hearing proceedings.

Thank you for your attention to this matter. I appreciate your time. Please don’t hesitate to contact me if you have any questions.

Cheers!

Susy

Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Town of Medway
155 Village Street
Medway, MA 02053
508-533-3291
sachilds@townofmedway.org

Town of Medway – *A Massachusetts Green Community*

Please remember when writing or responding, the Massachusetts Secretary of State has determined that e-mail is a public record.

The information in this e-mail, including attachments, may contain privileged and confidential information intended only for the person(s) identified above. If you are not the intended recipient, you are hereby notified that any dissemination, copying or disclosure of this communication is strictly prohibited. Please discard this e-mail and any attachments and notify the sender immediately.

WAIVER REQUESTS:

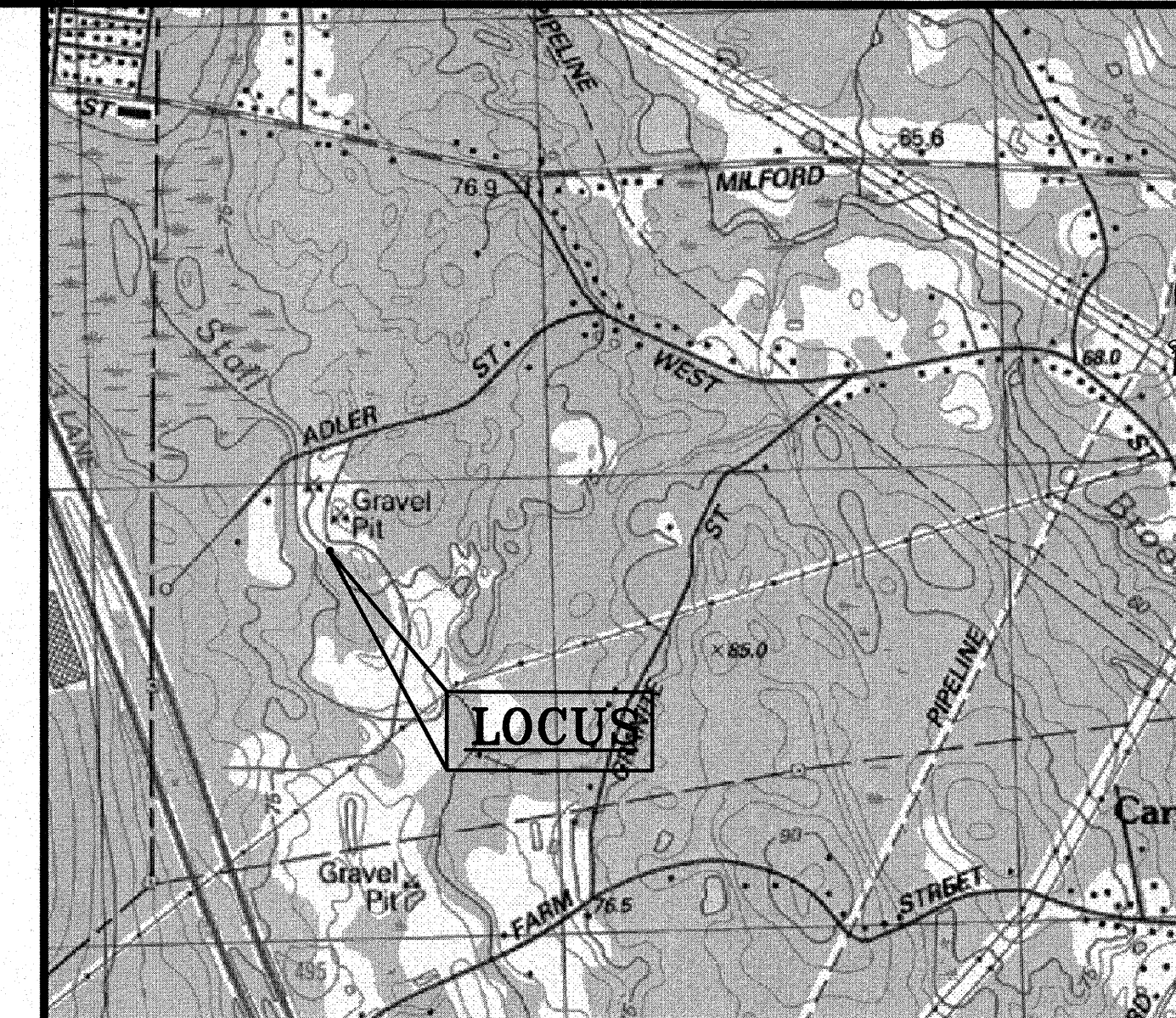
- 1) WAIVER REQUESTING NOT REQUIRING THE WRITTEN DEVELOPMENT IMPACT STATEMENT, FROM SECTION 204-3 PLANNING BOARD SUBMITTALS SUBSECTION A. 7) A WRITTEN DEVELOPMENT IMPACT STATEMENT.
- 2) WAIVER REQUESTING THE USE OF MODIFIED CAPE COD BERM THROUGHOUT THE SITE EXCEPT AT THE ENTRANCE, FROM SECTION 205-6(H) VERTICAL GRANITE CURB.
- 3) WAIVER NOT REQUIRING AN INVENTORY OF THE EXISTING LANDSCAPING AT THE SITE, SECTION 204-5(C)(3) EXISTING LANDSCAPE INVENTORY.
- 4) WAIVER REQUESTING NOT CREATING PEDESTRIAN WAYS ALONG THE FRONT OF SITE, FROM SECTION 205-3 PEDESTRIAN & BICYCLE ACCESS.
- 5) WAIVER 205-9(F) TREE REPLACEMENT.

NOTES:

1. SEE DEED BOOK 12567 PAGE 424 AND PLAN 233 OF 1998 IN PLAN BOOK 455 AT THE NORFOLK REGISTRY OF DEEDS.
2. ALL ELEVATIONS ARE BASED OFF OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
3. ZONING DISTRICT INDUSTRIAL III
MIN. AREA = 40,000 S.F.
MAX. COVERAGE = 40%
MIN. WIDTH = 100 FT.
MIN. FRONT, REAR SETBACK = 30 FT
MIN. SIDE SETBACK = 20 FT

MERRIMACK BUILDING SUPPLY SITE PLAN FOR 20 TROTTER DRIVE IN MEDWAY, MASSACHUSETTS

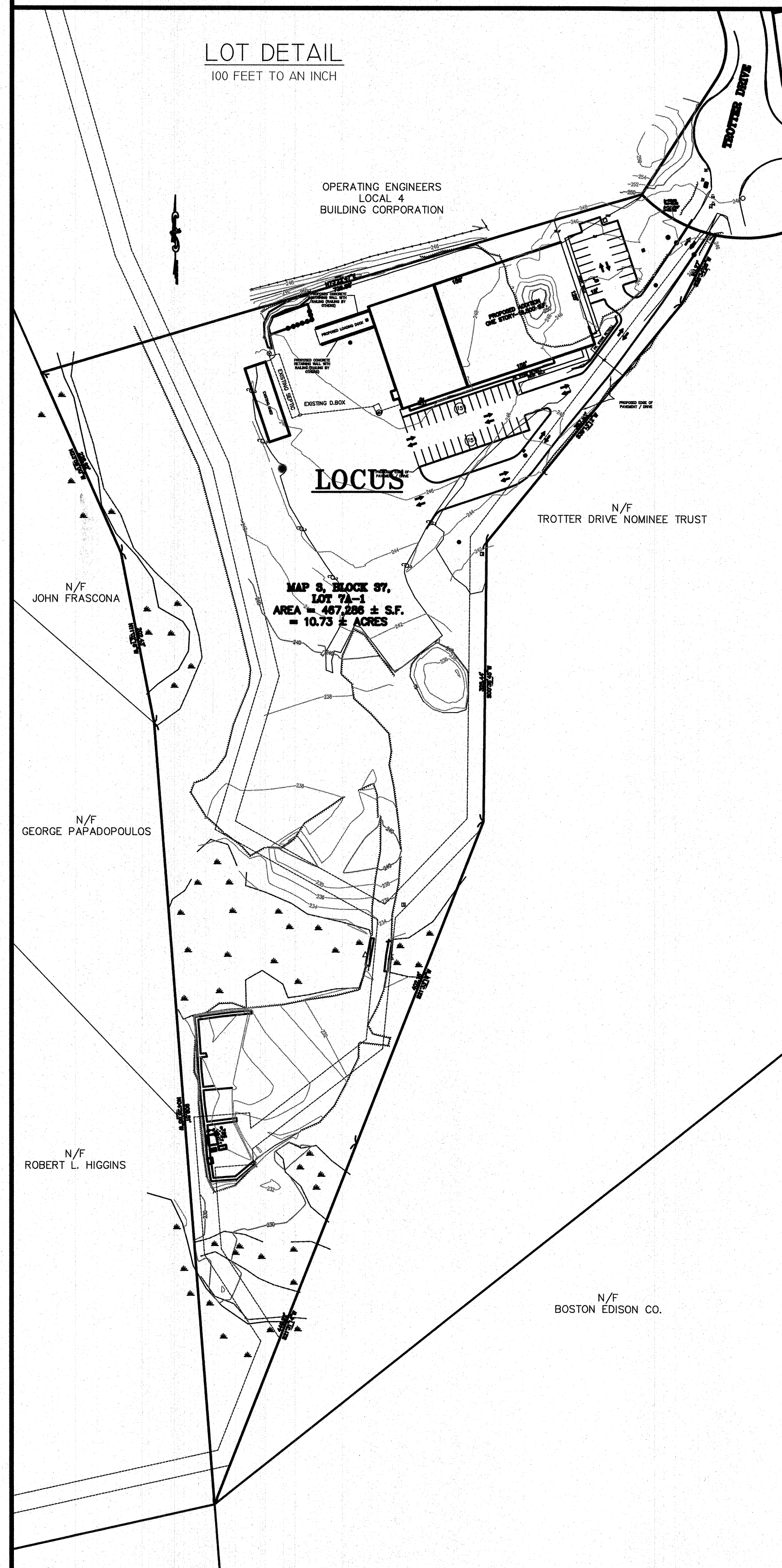
OWNER/APPLICANT:
MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA
DATE MARCH 10, 2017



LOCUS MAP USGS
1,000 FEET TO AN INCH

DATE: _____
MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD APPROVAL
DATE: _____

SIGNATURE DATE: _____
BEING A MAJORITY



LOCUS MAP
300 FEET TO AN INCH

ZONE DESCRIPTION:	MIN. REQ'D/ MAX. ALLOWED	EXISTING	PROPOSED
ZONE - INDUSTRIAL III	INDUSTRIAL III		
LOT REQUIREMENTS:			
MIN. AREA (S.F.)	40,000 S.F.	10,73± ACRES	10,73± ACRES
MIN. WIDTH (FT.)	100'	100'	100'
MIN. FRONTAGE (FT.)	100'	100'	100'
YARD REQUIREMENTS:			
MIN. FRONT SETBACK (FT.)	30'	109'	109'
MIN. SIDE SETBACK (FT.)	20'	26.6'	26.6'
MIN. REAR SETBACK (FT.)	30'	380'	380'
BUILDING			
MAX % COVERAGE	40%	10%	27%
OPEN SPACE			
MIN % OF LOT AREA	-	78%	73%
BUILDING HEIGHT (FT.)	-	30'	30'
MAX. HEIGHT (FT.)	60'	30'	30'
PARKING			
MIN. NUMBER OF SPACES	**40	**28	**48
MIN. HANDICAPPED SPACES	1	1	1
PARKING REQUIREMENT: ** INCLUDES NUMBER OF HANDICAP SPACES.			
OFFICE/WAREHOUSE FACILITY:			
1 SPACE PER EACH 2 PERSONS EMPLOYED ON LARGEST SHIFT			
20 EMPLOYEES ON LARGEST SHIFT = 10 SPACES			
1 SPACE PER 1,000 S.F. OF FLOOR SPACE.			
29,610 S.F./1,000 S.F. = 29.61 SPACES			
TOTAL SPACES REQUIRED= 40 SPACES			

INDEX

- COVER SHEET
- 1. EXISTING CONDITIONS
- 2. DEMOLITION PLAN
- 3. SITE PLAN
- 4. GRADING & UTILITY PLAN
- 5. EROSION CONTROL
- 6. LIGHTING PLAN
- 7. DETAIL SHEET#1
- 8. DETAIL SHEET#2
- 9. L1.1 PLANTING PLAN
- 10. A2.02 FIRST FLOOR PLAN
- 11. A2.03 MEZZANINE FLOOR PLAN
- 12. A3.01 BUILDING ELEVATION
- 13. A3.02 BUILDING ELEVATION



**Guerriere
&
Halnon, Inc.**

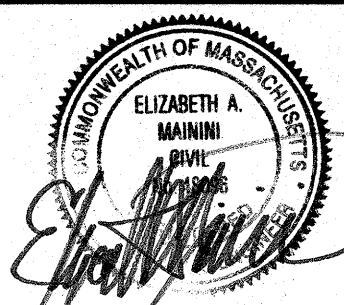
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

cubic architects, inc.

33 BOWSPRITT LANE
PLYMOUTH, MA 02360
PHONE 617-314-7330, FAX 781-658-2381

G-8542

G-8542



G-8542

DATE: 3-10-17
APPROVED DATE: PLANNING BOARD

SIGNATURE DATE: BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

1. WETLANDS AND RIVER FRONT FLAGGED BY JUDITH SCHMITZ.
2. SITE IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.

#	DATE	DESCRIPTION	INIT

OWNER
MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

20 TROTTER DRIVE

"MERRIMACK BUILDING SUPPLY"

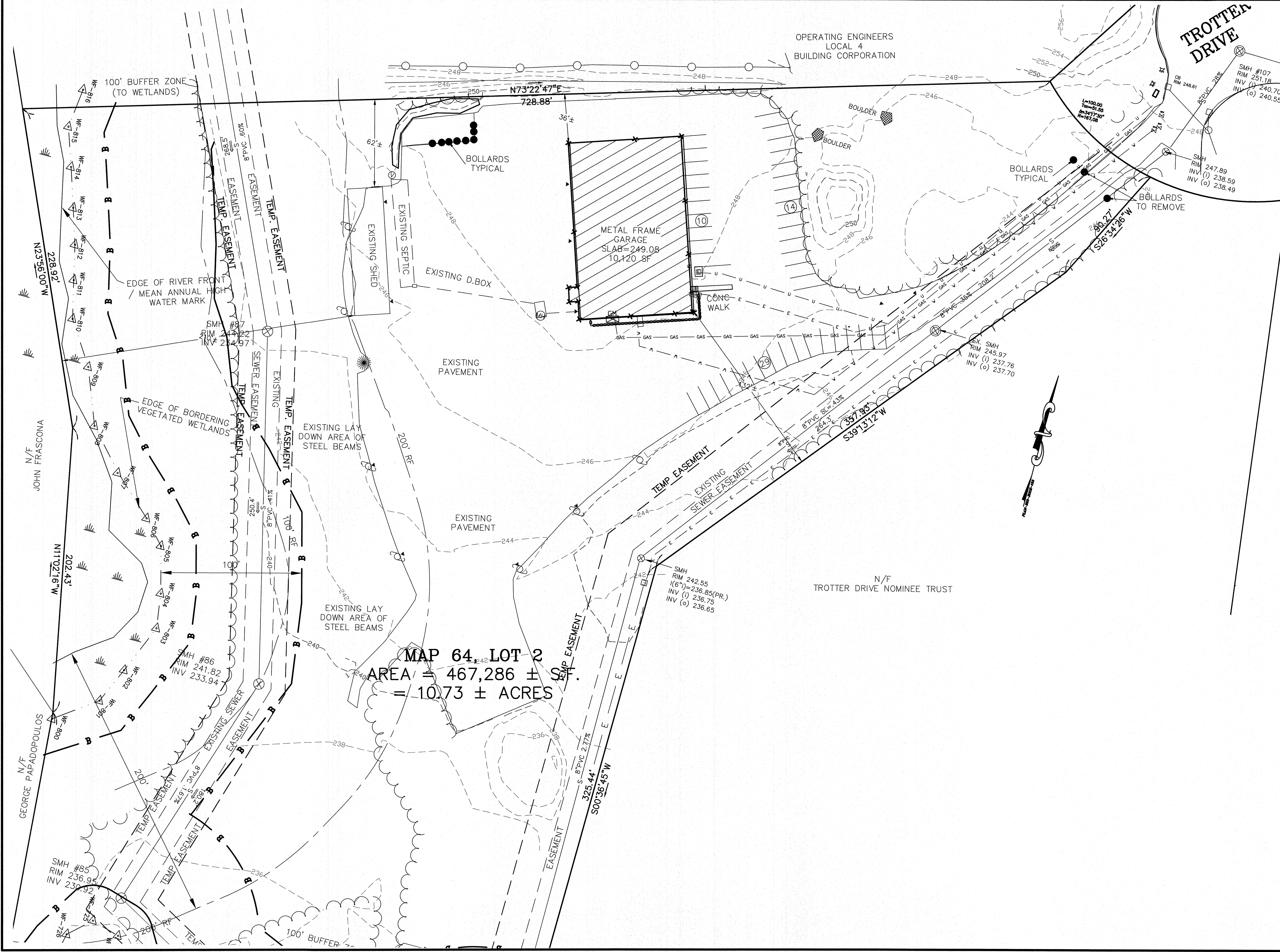
EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA
SCALE: ONE INCH EQUALS 30 FEET
DATE: MARCH 10, 2017



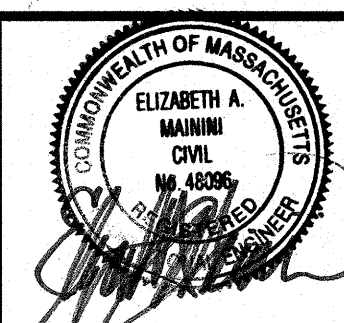
Guerriere & Halnon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

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G-8542

DATE: 9-10-17

APPROVED DATE: PLANNING BOARD

SIGNATURE DATE: BEING A MAJORITY

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MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

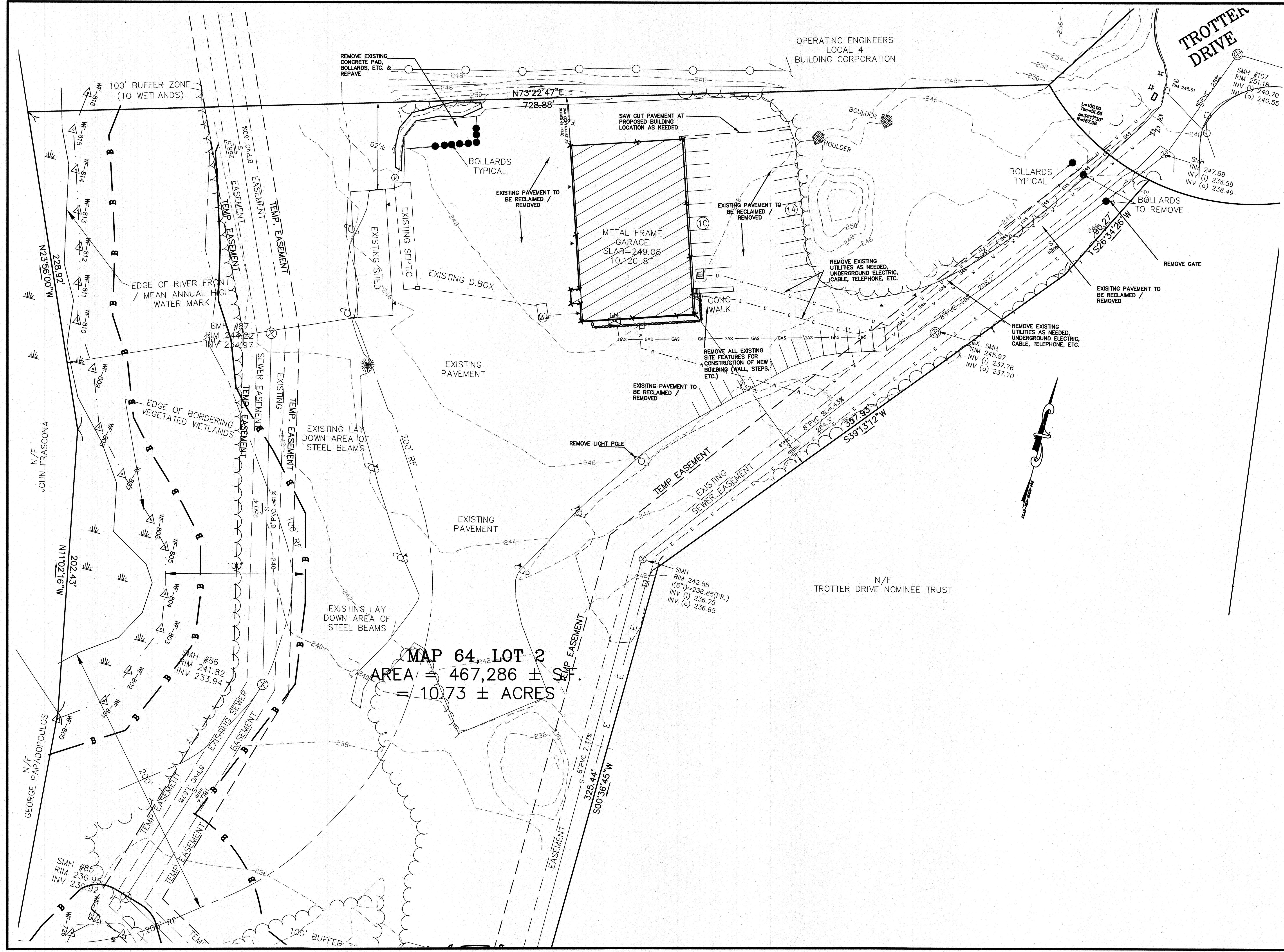
20 TROTTER DRIVE

"MERRIMACK BUILDING SUPPLY"

DEMOLITION
PLAN OF LAND
IN
MEDWAY, MA
SCALE: ONE INCH EQUALS 30 FEET
DATE: MARCH 10, 2017

 **Guerriere & Halon, Inc.**
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

SHEET
C-2
PVI



MAP 64, LOT 2
AREA = 467,286 ± S.F.
= 10.73 ± ACRES

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G-8542



G-8542

DATE: 3-10-17
APPROVED DATE: PLANNING BOARD

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OWNER
MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

20 TROTTER DRIVE

"MERRIMACK BUILDING SUPPLY"

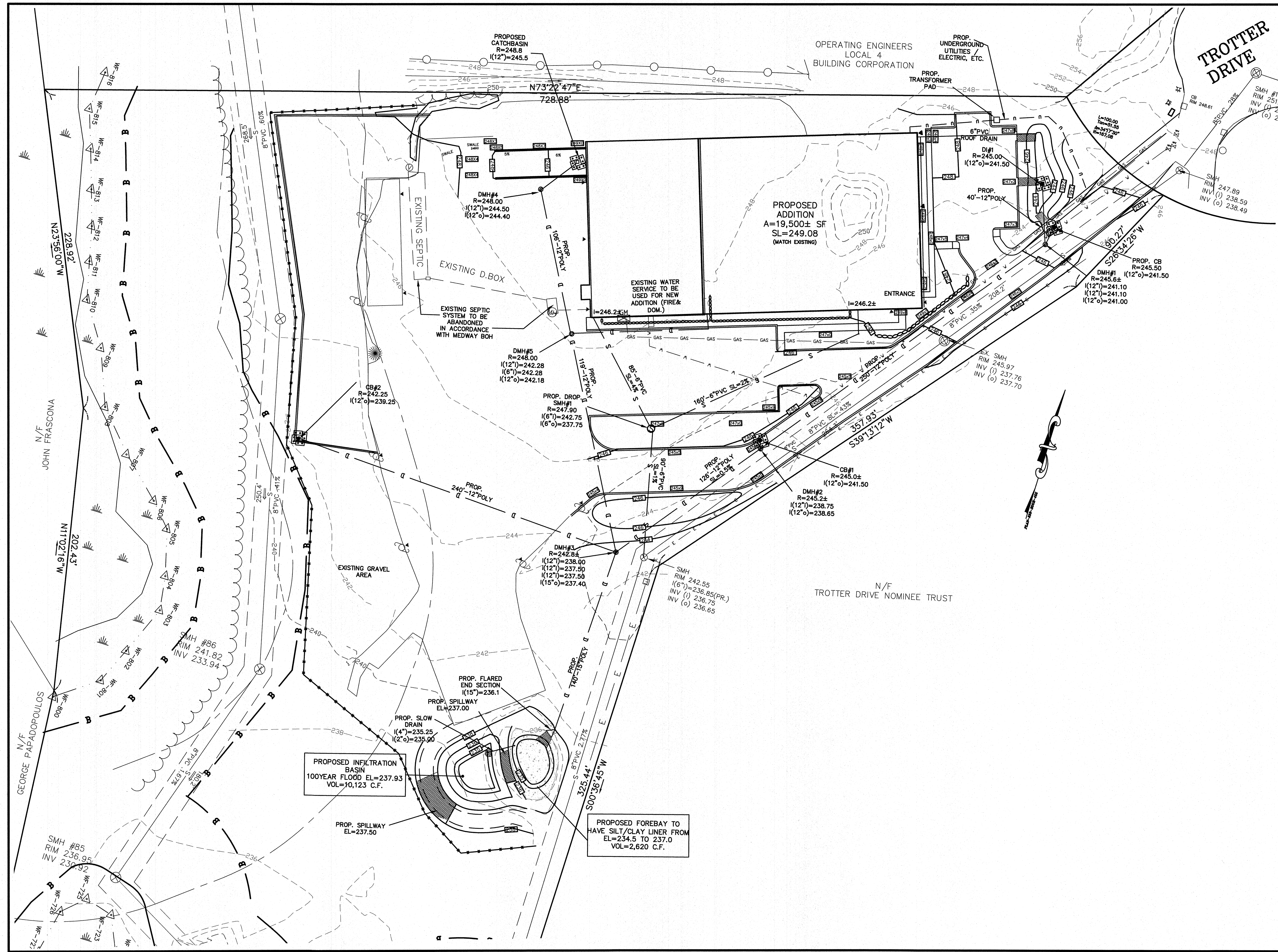
GRADING & UTILITIES
SITE
PLAN OF LAND
IN
MEDWAY, MA

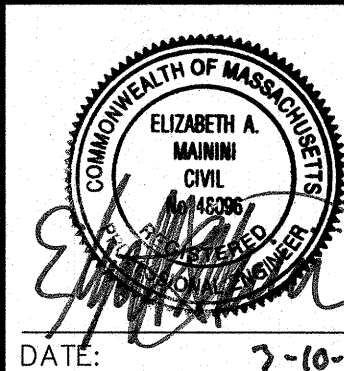
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DATE MARCH 10, 2017

Guerriere & Halnon, Inc.
Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

SHEET
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G-8542

DATE: 7-10-17
APPROVED DATE: PLANNING BOARD

SIGNATURE DATE: BEING A MAJORITY

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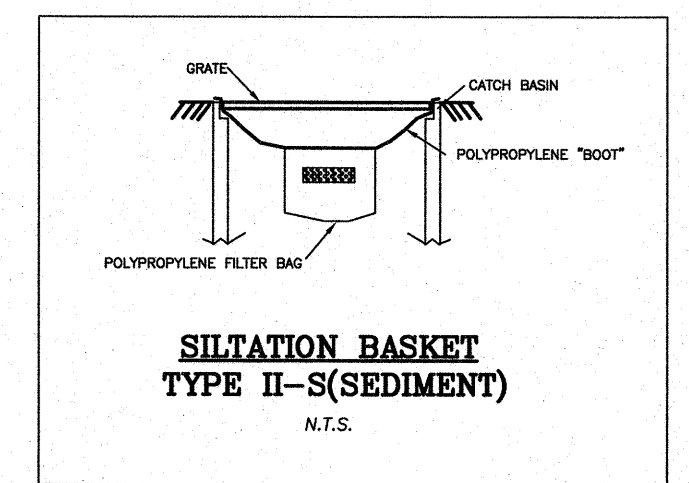
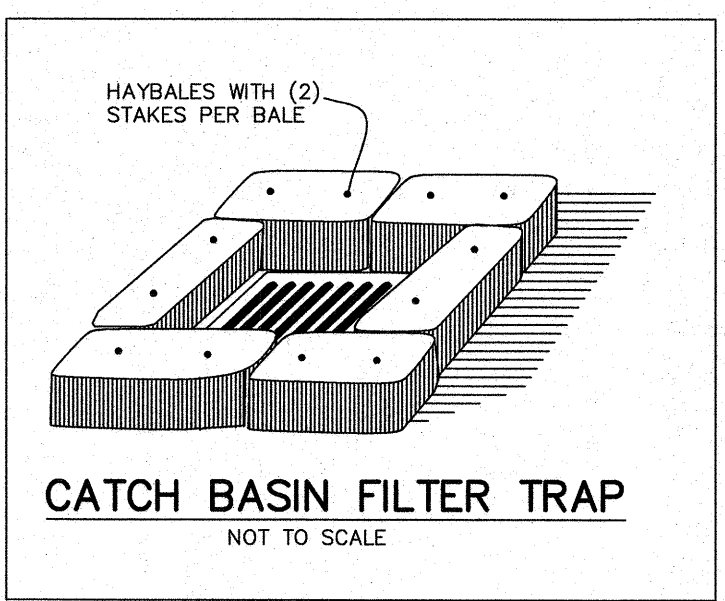
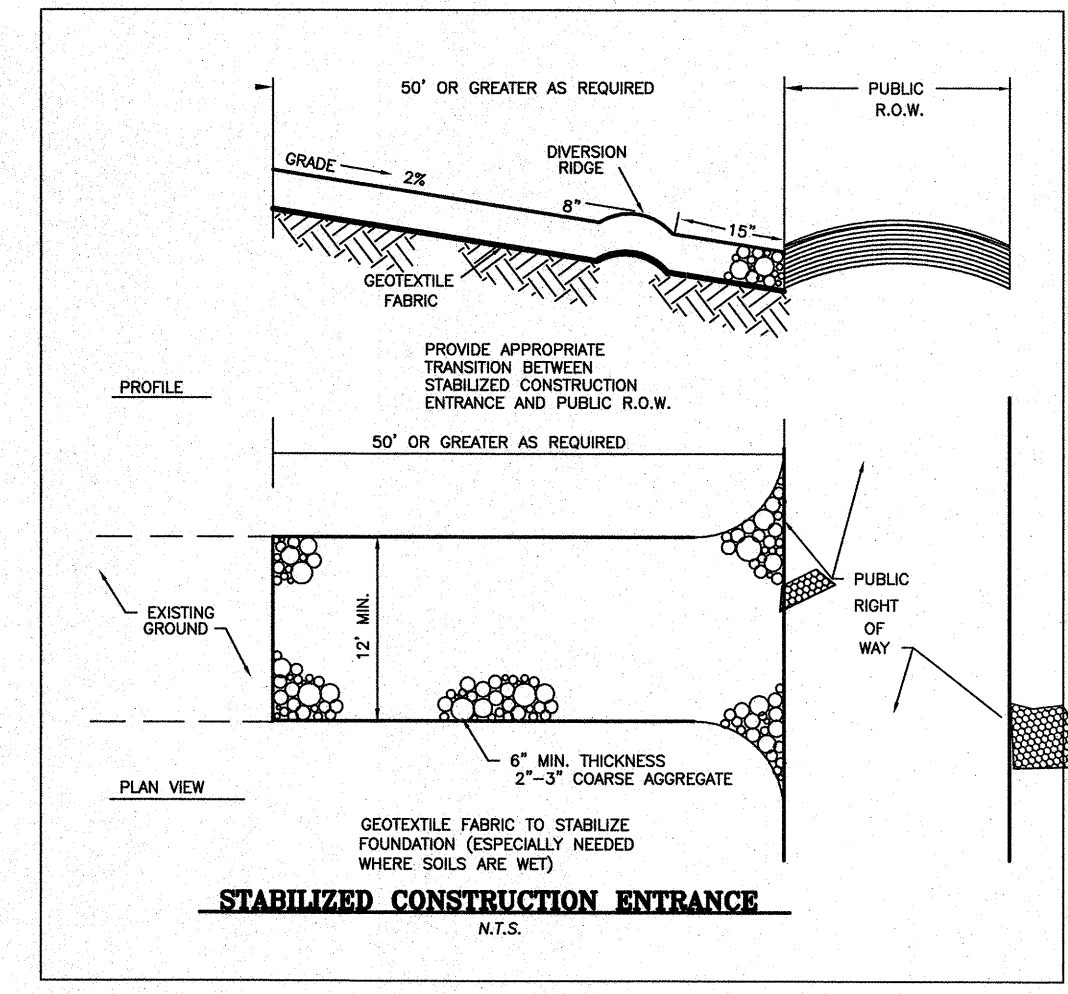
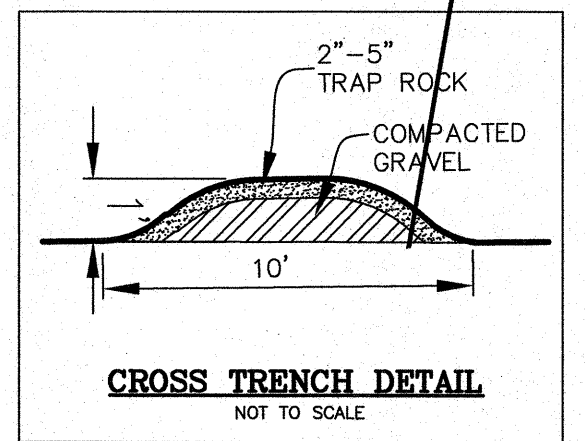
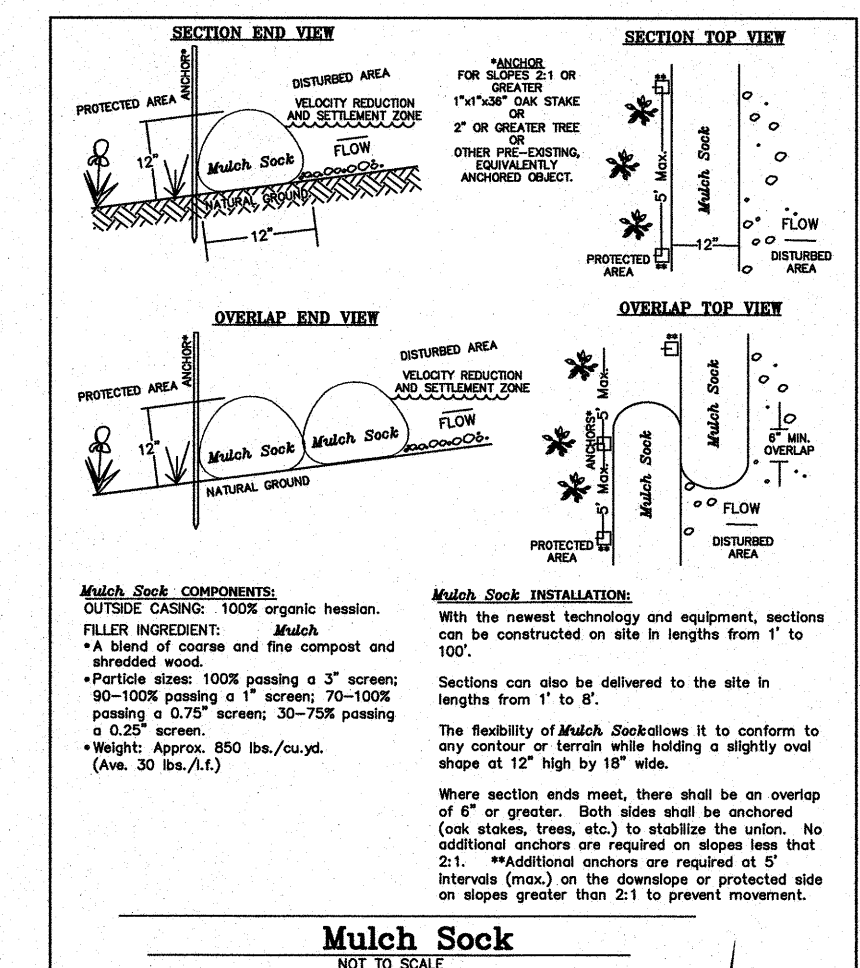
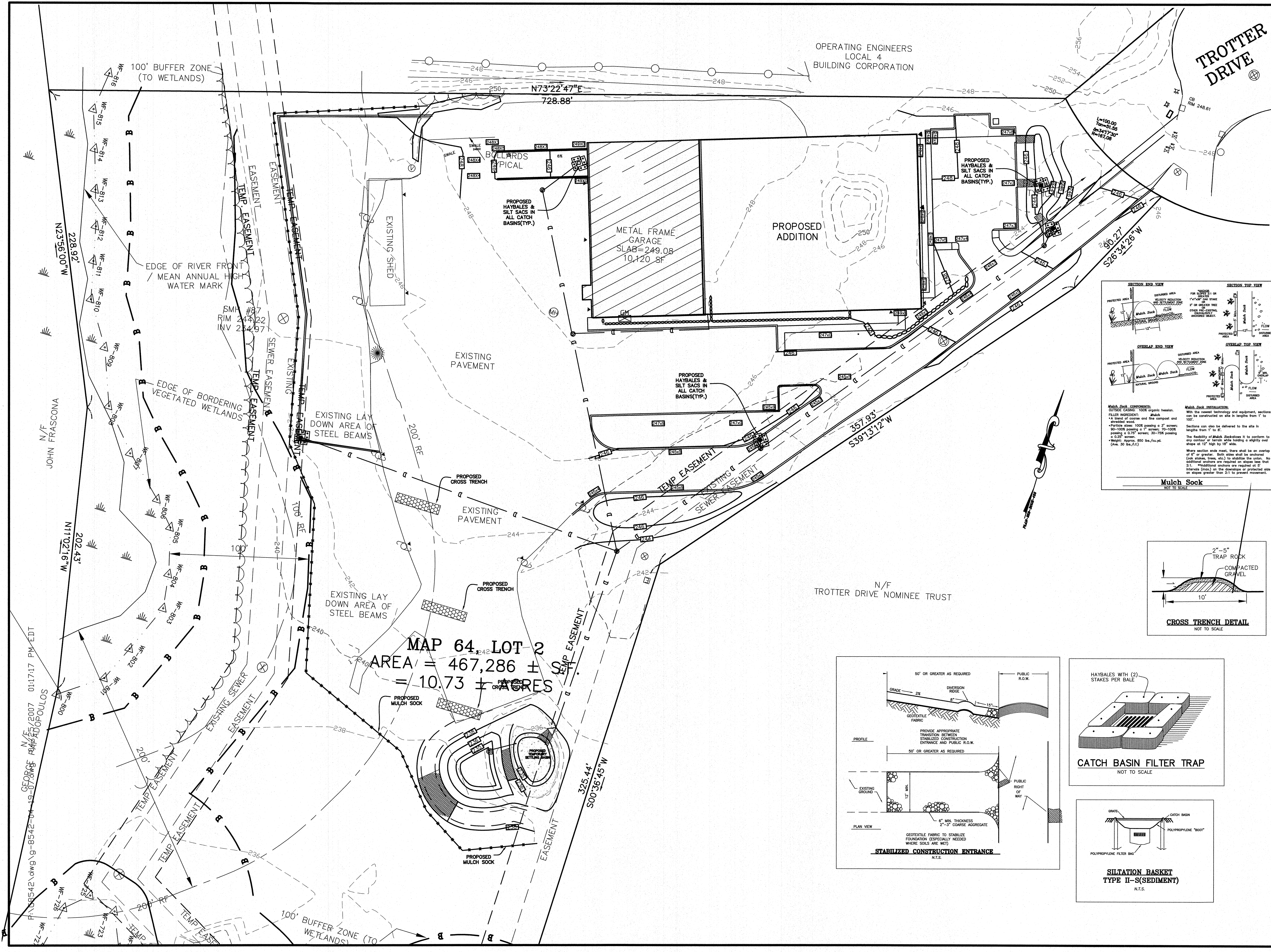
EROSION CONTROL
SITE
PLAN OF LAND
IN
MEDWAY, MA

SCALE: ONE INCH EQUALS 30 FEET
DATE MARCH 10, 2017

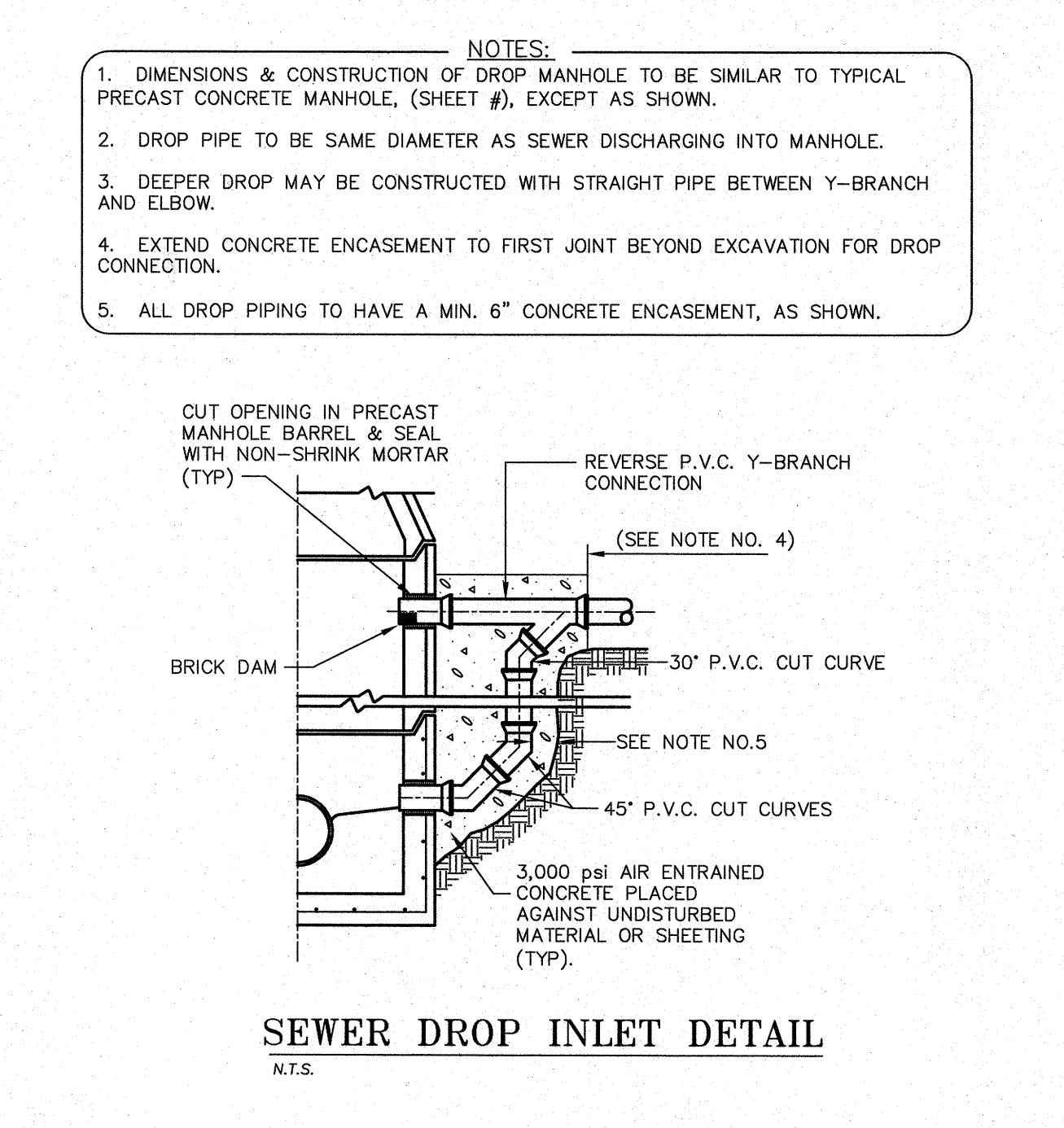
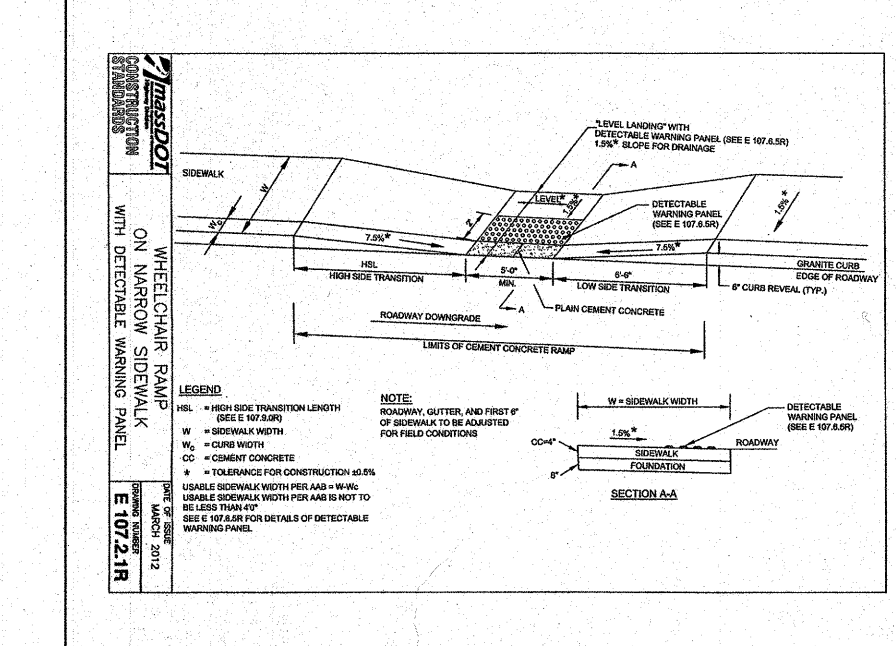
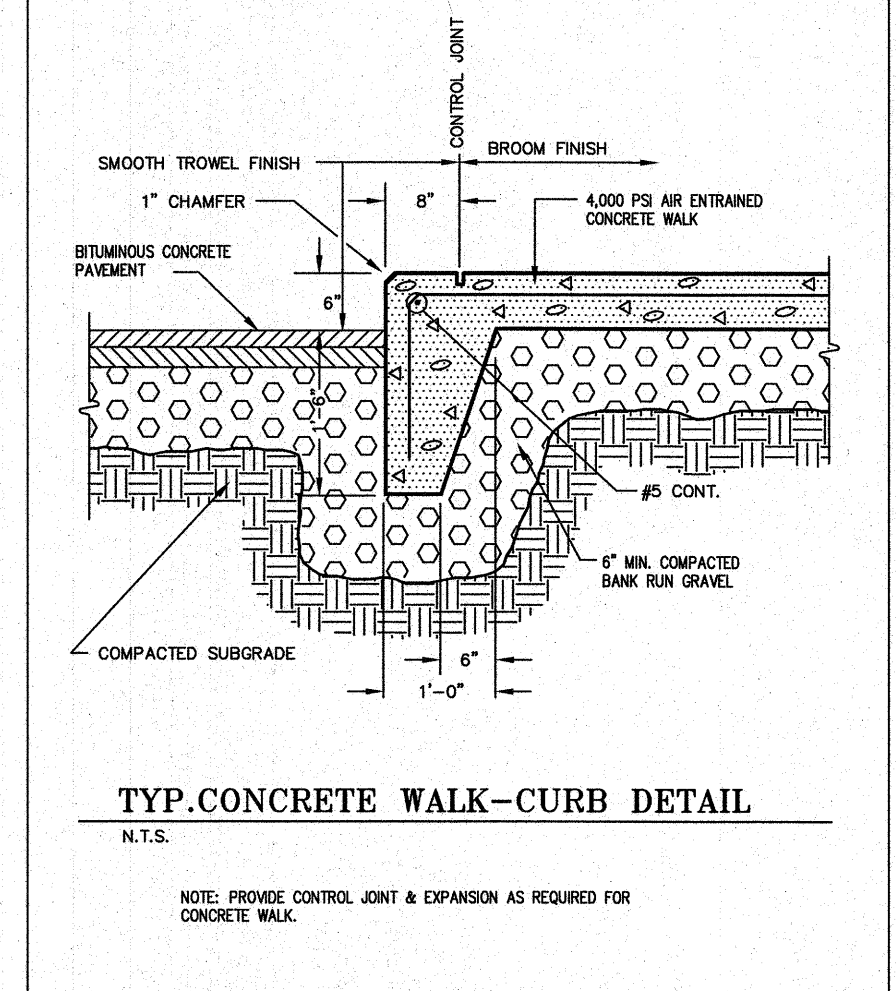
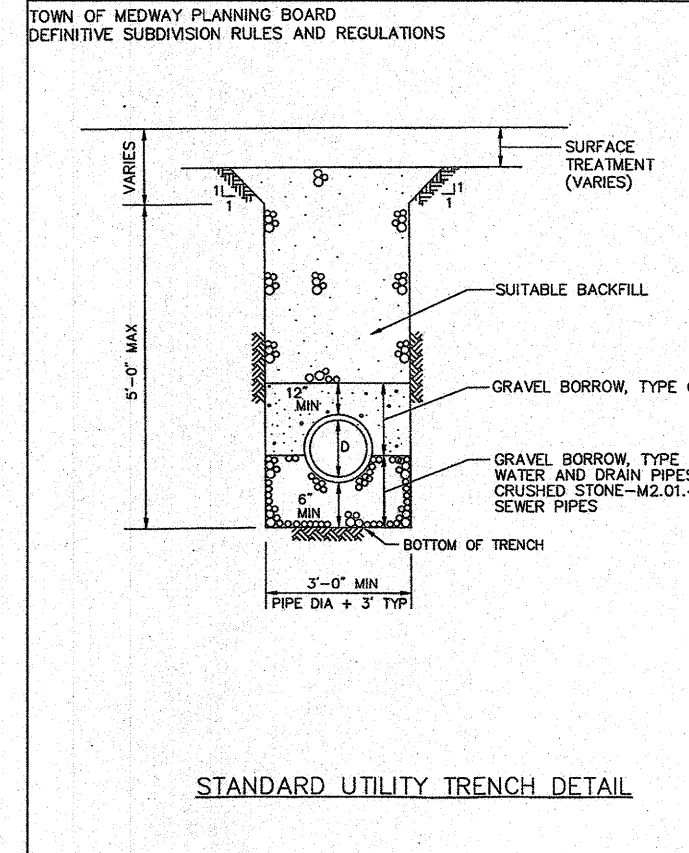
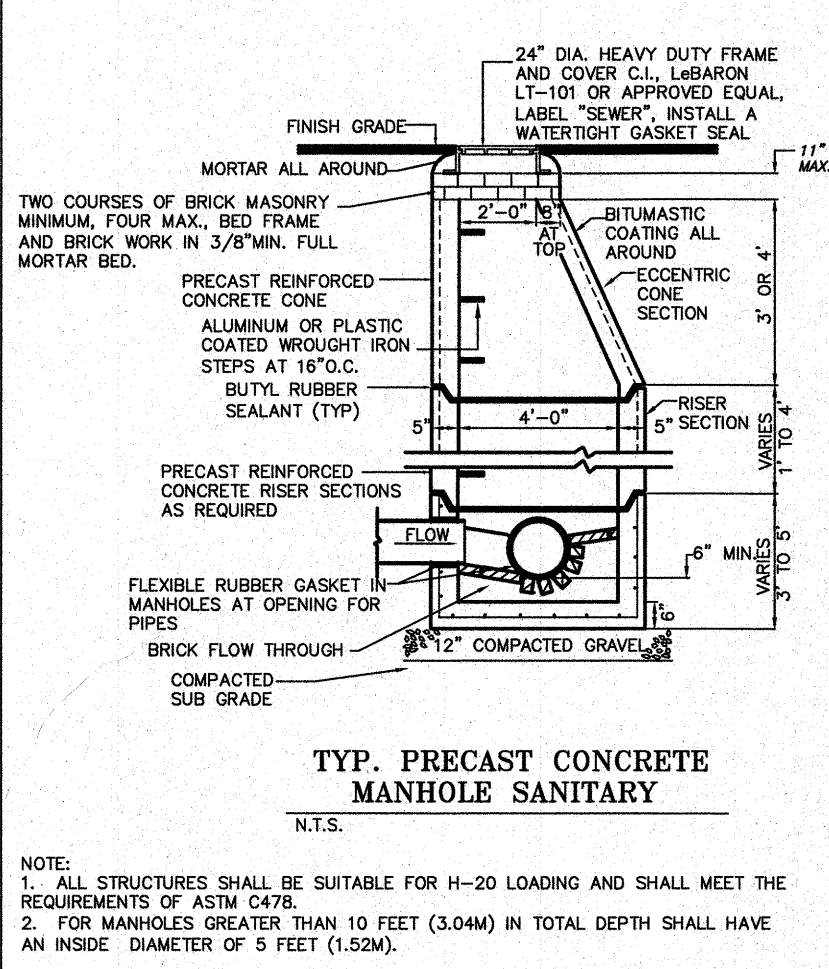
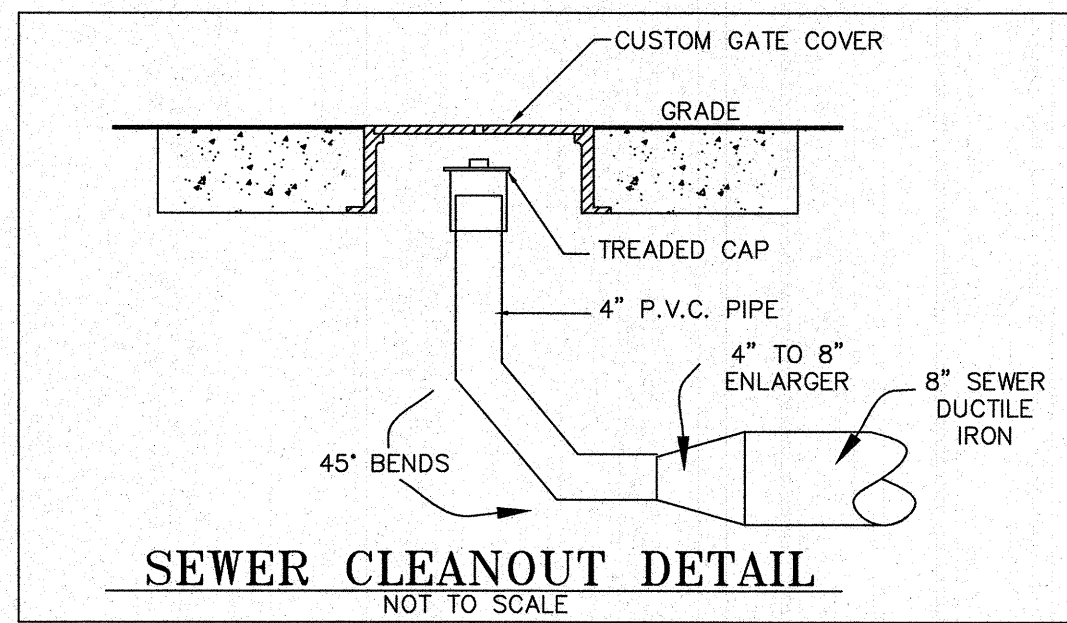
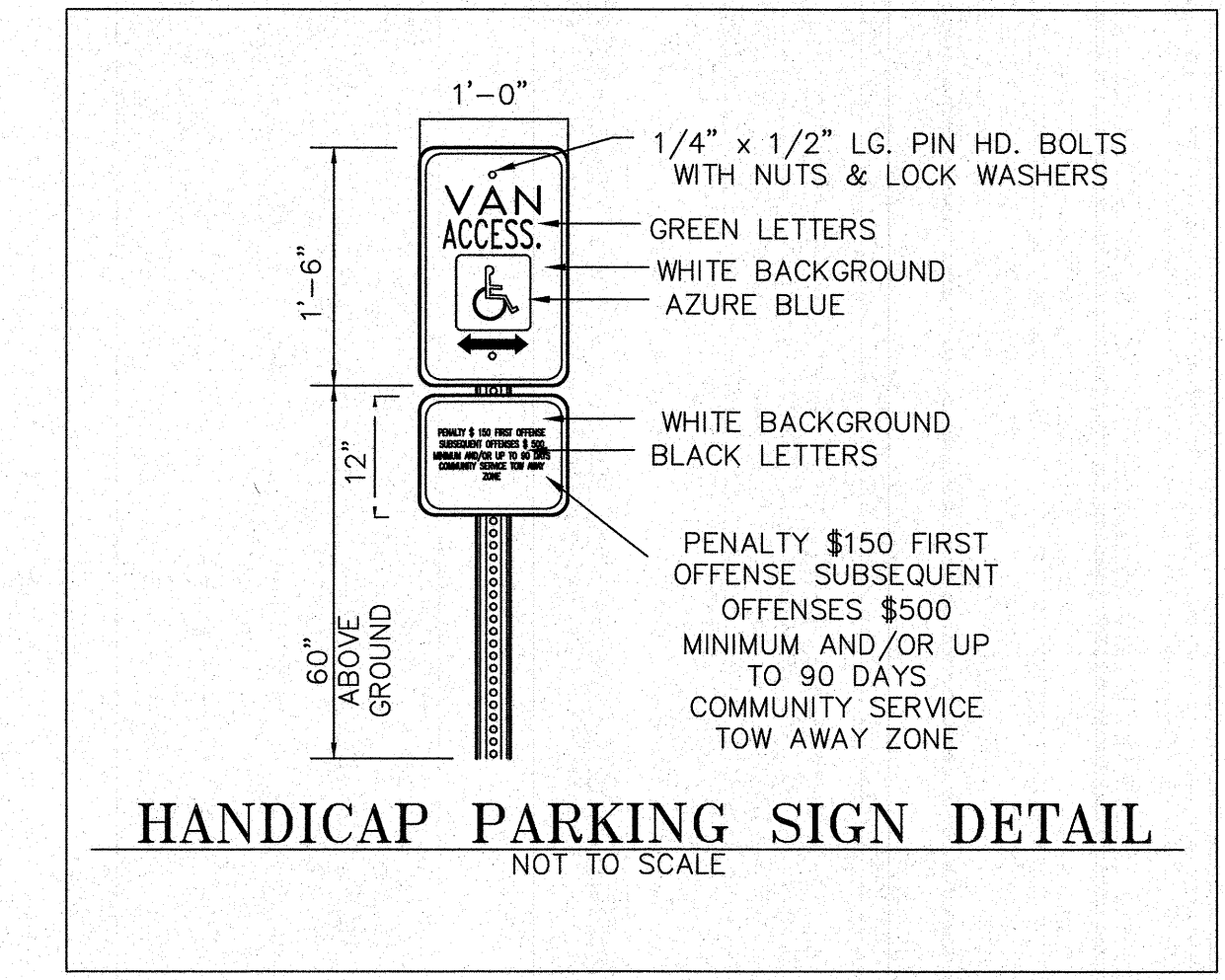
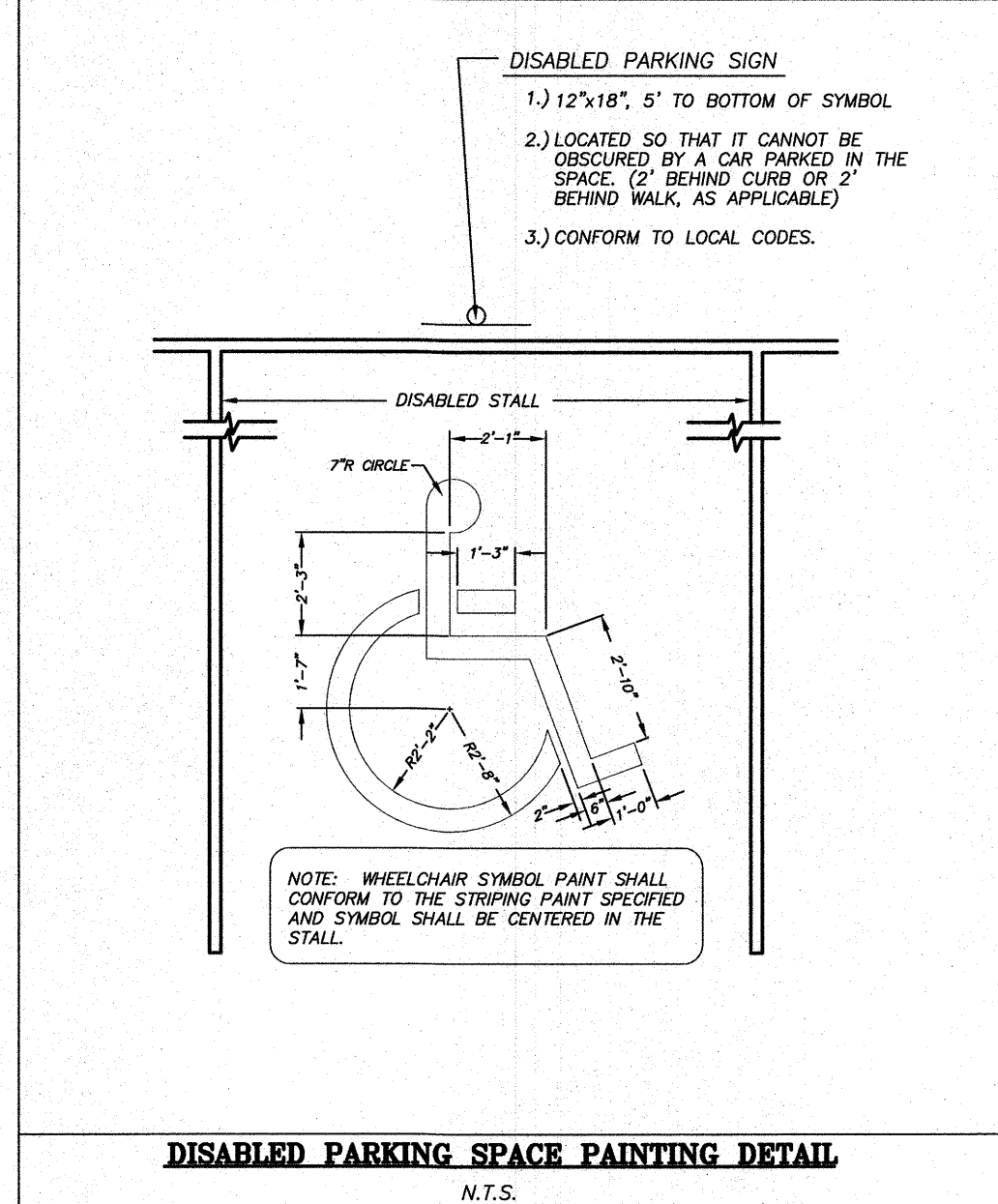
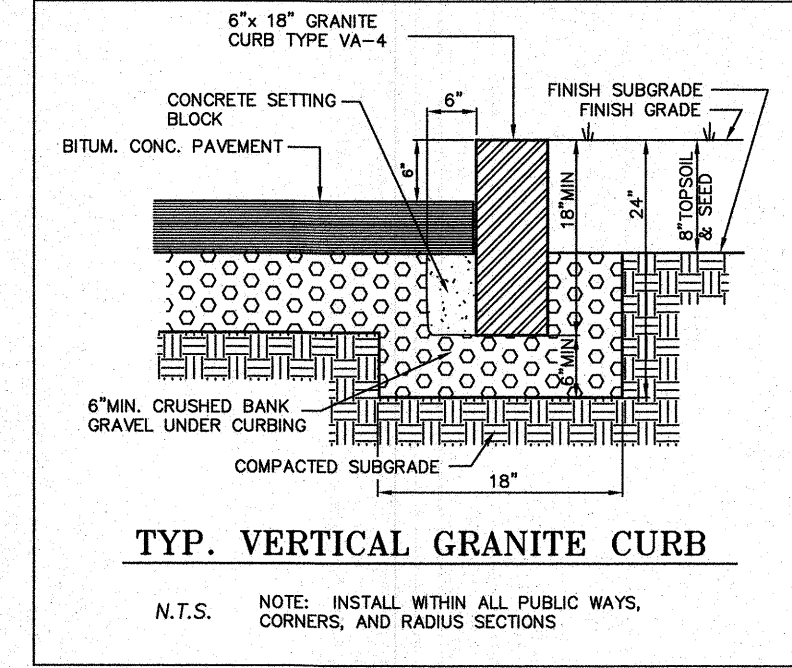
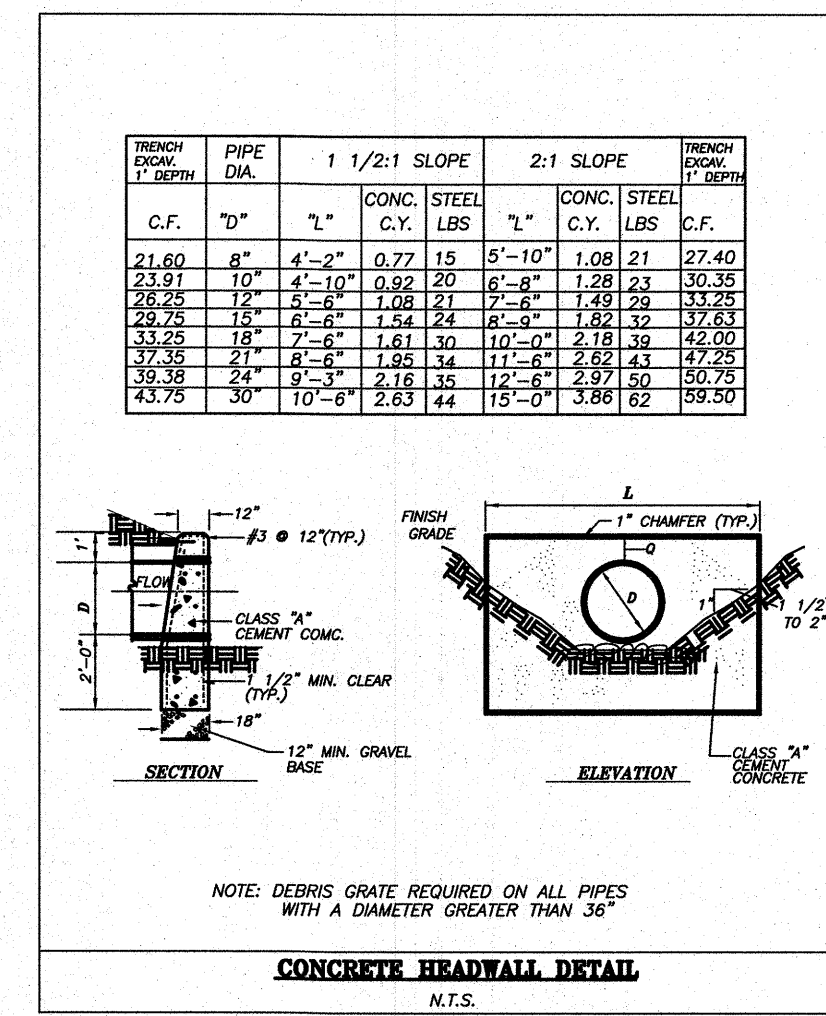
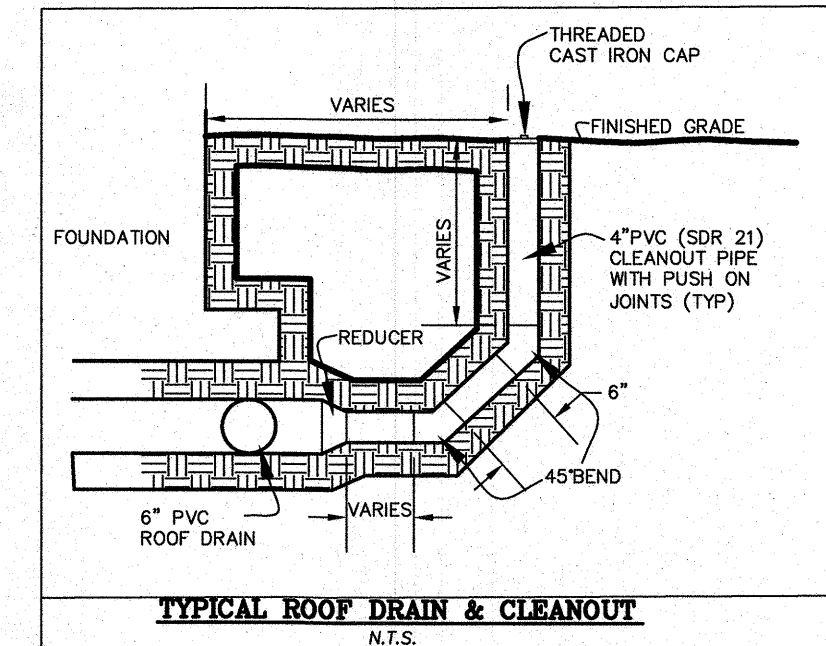
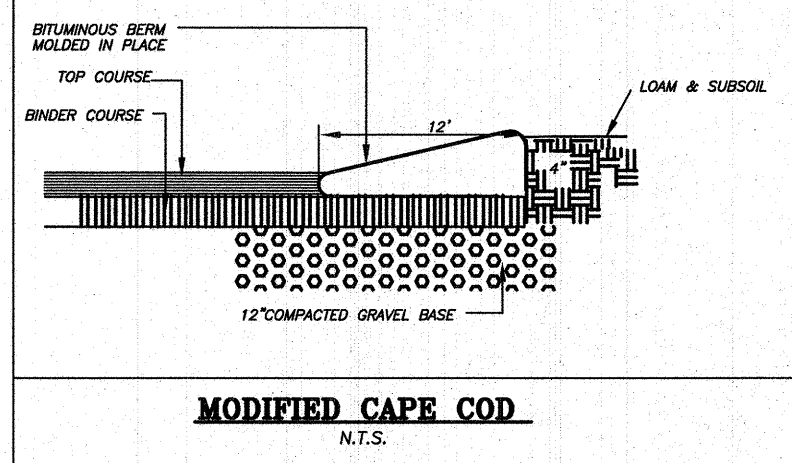
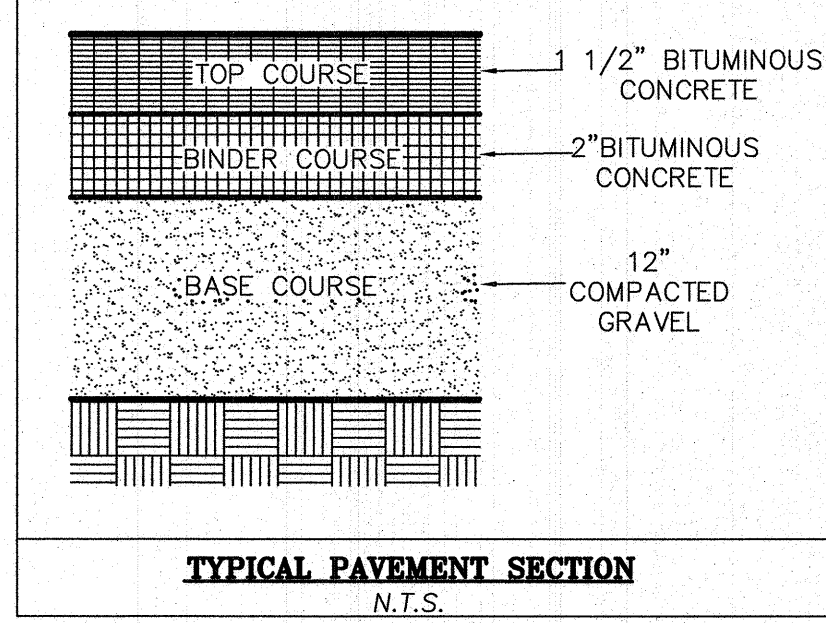
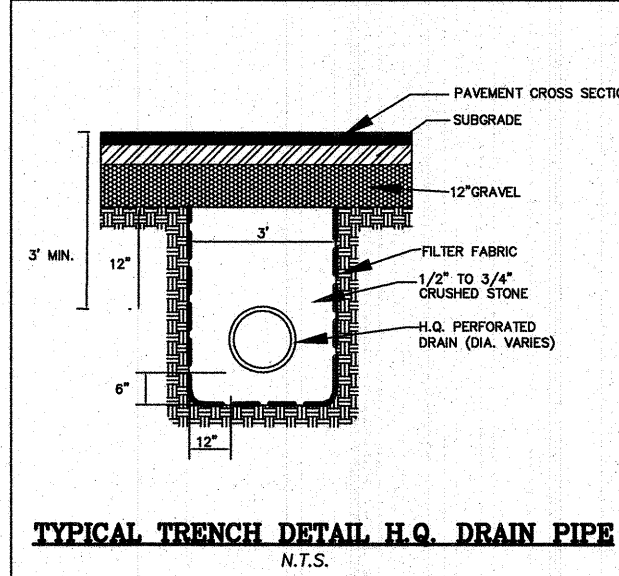
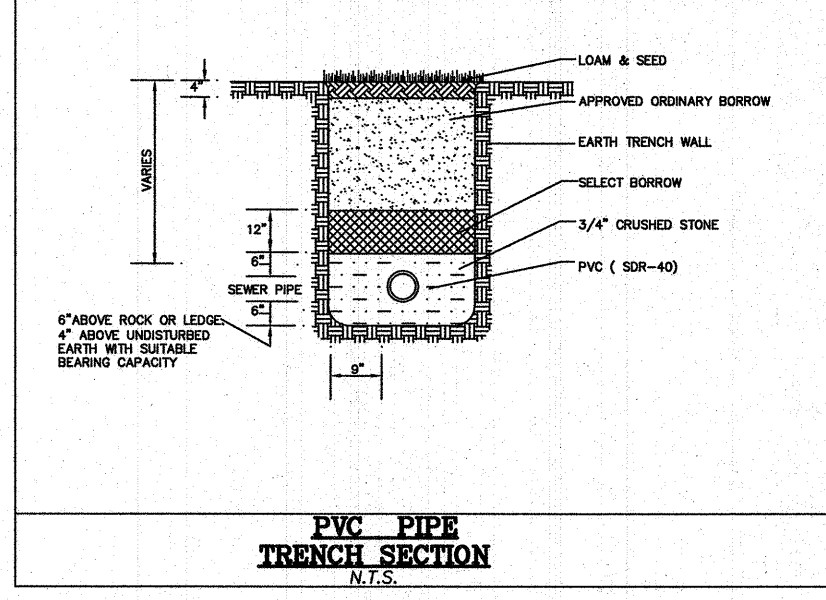
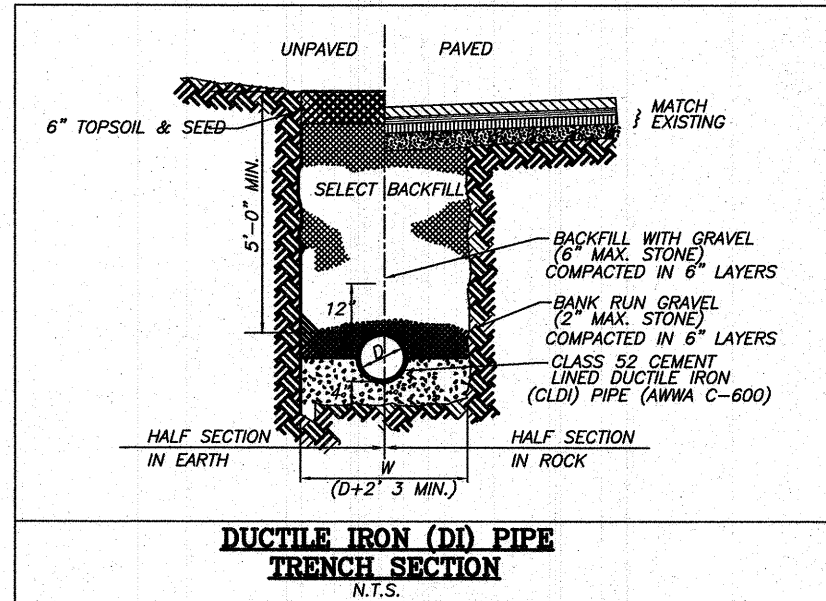


Guerriere & Halnon, Inc.
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(508) 473-6630 FAX: (508) 473-8243

SHEET
C-5
P.1



PL 18542.dwg 9-8542-04 19-07-2017 PM-EDT
GEOGRAPHIC INFORMATION SYSTEMS
N/E 25/2007 011717 PM-EDT
R44P ADOPOLLOS



LEGEND			
WET	EDGE OF WETLANDS		
256	EXISTING TREELINE		
256	EXISTING CONTOUR		
OH	PROPOSED CONTOUR		
D	DRAIN LINE		
S	SEWER LINE		
W	WATER LINE		
UE	UNDERGROUND ELECTRIC		
RD	ROOF DRAIN		
X X X	PROPOSED FENCE		
B	100' BUFFER ZONE		
⊗	EXISTING SEWER MANHOLE		
⊗	EXISTING DRAIN MANHOLE		
⊗	EXISTING CATCH BASIN		
⊗	EXISTING UTILITY POLE		
⊗	PROPOSED DRAINAGE MANHOLE		
⊗	PROPOSED UTILITY POLE		
⊗	PROPOSED CATCH BASIN		
⊗	WETLANDS		
⊗	HANDICAP SPACE		
⊗	TRAFFIC FLOW		
⊗	PROPOSED BUILDINGS		
⊗	MOUNTED LIGHT		

ELIZABETH A. GUERRIERE
CIVIL ENGINEER
No. 01757
MASS. REG. ENG. & LAND SURVEYING

DATE: 3-10-17

DATE: _____

MEDWAY PLANNING AND ECONOMIC
DEVELOPMENT BOARD APPROVAL

DATE: _____

SIGNATURE DATE: _____
BEING A MAJORITY

NOTES

1. THIS PLAN REFERS TO THE MEDWAY ASSESSORS ATLAS SHEET 64 LOT 2.
2. ALL UTILITIES, STRUCTURES AND SITE FEATURES SHOWN ARE PROPOSED UNLESS NOTED OR OTHERWISE INDICATED AS EXISTING.
3. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
4. TRAFFIC GENERATION IS 600 VEHICLES PER DAY.
5. SEWAGE FLOW:
75 GPD/1,000 S.F. WAREHOUSE/OFFICE
SPACE=30*75=2,250 GPD
6. TOPOGRAPHIC INFORMATION COLLECTED ON THE GROUND BY GUERRIERE AND HALNON, INC.
7. FIRE LANES SHALL BE BUILT TO ACCOMMODATE 20 TON FIRE APPARATUS DURING CONSTRUCTION.
8. FIRE LANES TO BE POSTED AND APPROVED BY THE MEDWAY FIRE AND POLICE DEPARTMENTS.
9. EXTERIOR LIGHTS SHALL BE 200 WATT METAL HALIDE BULBS AND SHALL BE ORIENTED SO AS NOT TO GLARE ONTO ADJOINING PROPERTIES.
10. SILTATION BARRIERS AND DEVICES TO BE IN PRIOR TO ALL CONSTRUCTION.
11. NO EQUIPMENT SHALL BE STORED IN THE FIRE LANES. ALL FIRE LANES SHALL BE KEPT CLEAR AND PASSABLE AT ALL TIMES.
12. NO COMBUSTIBLES CONSTRUCTION SHALL BE ALLOWED UNTIL ALL HYDRANTS ARE INSTALLED TO GRADE, TESTED AND IN SERVICE.
13. ALL LOADING AREAS SHALL BE DESIGNED AND CONSTRUCTED SO THAT VEHICLES LOADING OR UNLOADING DO NOT OBSTRUCT THE FIRE LANE.
14. ALL CURBING TO BE BITUMINOUS CONCRETE BERM UNLESS OTHERWISE NOTED.
15. ALL DUMPSTERS TO BE ON CONCRETE PADS AND TO BE PROPERLY SCREENED.
16. KNOX BOXES TO BE REQUIRED ON ALL BUILDINGS.
17. ALL DRAINAGE PIPE TO BE SMOOTH BORE CORRUGATED POLYETHYLENE SIMILAR TO HIO PIPE AND FITTINGS AS MANUFACTURED BY HANCO FUNDLAY, OHIO, OR EQUIVALENT UNLESS OTHERWISE NOTED.
18. ALL SEWER PIPE TO BE SDR 35 POLYVINYL CHLORIDE (PVC). UNLESS NOTED.
19. ALL WATER PIPE TO BE 8" DUCTILE IRON(CLDI)CLASS 52 UNLESS NOTED.
20. DOMESTIC WATER SERVICE TO BE 2" COPPER TYPE K.
21. ALL MATERIAL AND INSTALLATION SHALL FOLLOW MEDWAY WATER SPECIFICATIONS.
22. ALL WATER LINE TO BE INSTALLED MINIMUM OF 4.5' BELOW EXISTING ROAD GRADE.
23. GAS LINE SPECIFICATIONS BY UTILITY PROVIDER.
24. PROPOSED FREE STANDING SIGNS TO COMPLY WITH THE TOWN OF MEDWAY ZONING BYLAW SECTION.
25. ALL ENTRANCES TO BE HANDICAPPED ACCESSIBLE.

OWNER / APPLICANT

MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

20 TROTTER DRIVE

"DETAIL SHEET#1"
PLAN OF LAND
IN
MEDWAY, MA

SCALE: NOT TO SCALE
DATE: MARCH 10, 2017

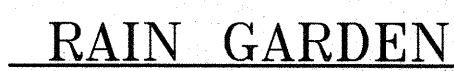
Guerriere
&
Halnon, Inc.

Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

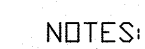
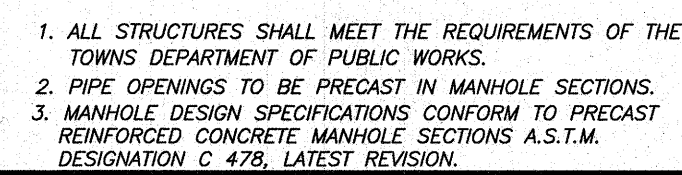
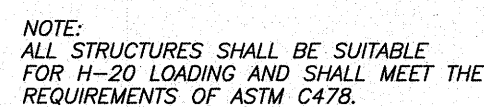
SHEET
C-7
PMI

G-8542

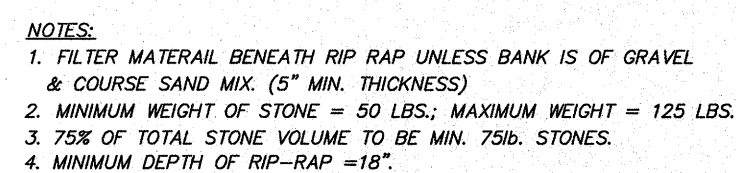
G-8542



NOTE: DEBRIS GRATE REQUIRED ON ALL PIPES
WITH A DIAMETER GREATER THAN 36"



- | | | | |
|----|------|-------------|------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| ## | DATE | DESCRIPTION | INIT |
- OWNER**

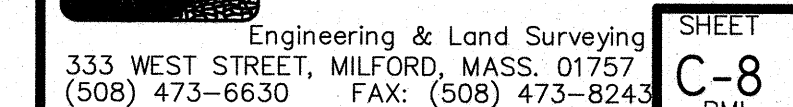


20 TROTTER DRIVE

"MERRIMACK BUILDING
SUPPLY"

DETAIL SHEET #2
SITE
PLAN OF LAND
IN
MEDWAY, MA

SCALE: NOT TO SCALE
DATE: MARCH 10, 2017



Engineering & Land Surveying
333 WEST STREET, MILFORD, MASS. 01757
(508) 473-6630 FAX: (508) 473-8243

APPROVED DATE: _____
PLANNING BOARD

SIGNATURE DATE: _____
BEING A MAJORIT

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS,
RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER
LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION
OF THE TITLE.

"WARNING"

EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL EMPLOYED IN WORKING IN THESE AREAS.

CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233)

EXISTING LINES OTHER THAN THOSE INDICATED ON THE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

##	DATE	DESCRIPTION
		OWNER

MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

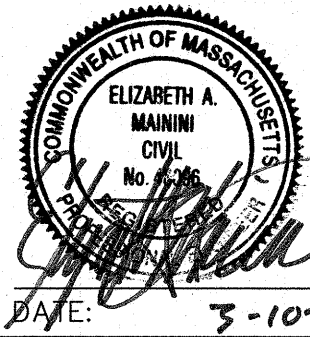
20 TROTTER DRIVE

"MERRIMACK BUILDING
SUPPLY"

POST DEVELOPMENT
SITE
PLAN OF LAND
IN
MEDWAY, MA

SCALE: ONE INCH EQUALS 40 FEET
DATE MARCH 6, 2017





DATE: _____
APPROVED DATE: _____
PLANNING BOARD

SIGNATURE DATE: _____
BEING A MAJORITY

CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING"
EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS.
CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233).

EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

NOTES

##	DATE	DESCRIPTION	INIT

MERRIMACK BUILDING SUPPLY
20 TROTTER DRIVE
MEDWAY MA

20 TROTTER DRIVE

"MERRIMACK BUILDING
SUPPLY"

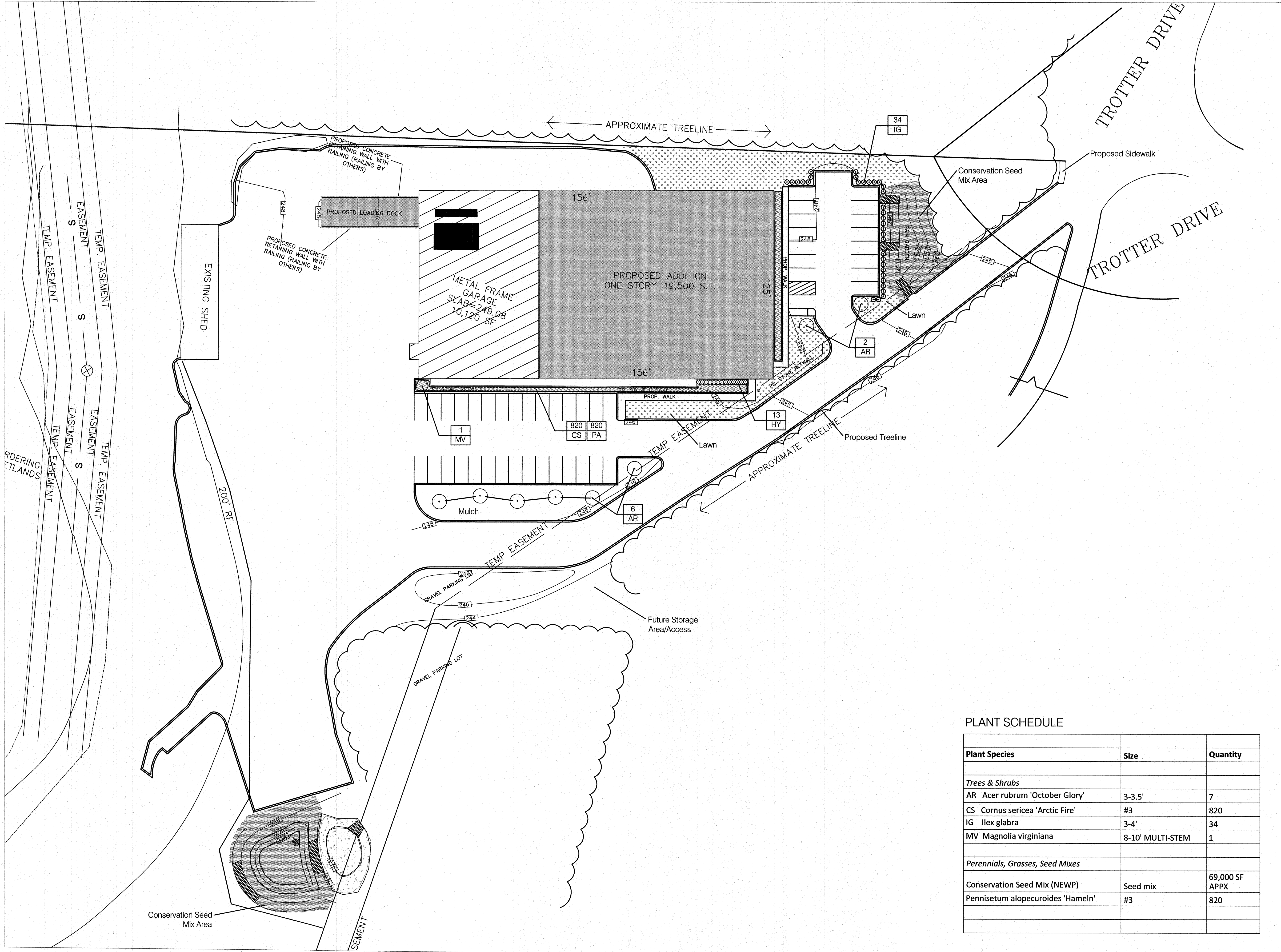
PRE-DEVELOPMENT

PLAN OF LAND

IN
MEDWAY, MA

SCALE: ONE INCH EQUALS 40 FEET
DATE: MARCH 6, 2016



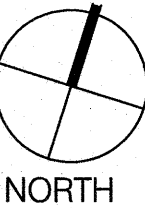


PLANT SCHEDULE

Plant Species	Size	Quantity
<i>Trees & Shrubs</i>		
AR Acer rubrum 'October Glory'	3-3.5'	7
CS Cornus sericea 'Arctic Fire'	#3	820
IG Ilex glabra	3-4'	34
MV Magnolia virginiana	8-10' MULTI-STEM	1
<i>Perennials, Grasses, Seed Mixes</i>		
Conservation Seed Mix (NEWP)	Seed mix	69,000 SF APPX
Pennisetum alopecuroides 'Hameln'	#3	820

20 Trotter Dr,
Medway,
Massachusetts

1. Contractor shall secure all permits and approvals that may be required from all jurisdictions regulating this project and site.
2. The Contractor shall exercise extreme care in excavating and working near existing utilities. The Contractor should verify the location and condition of all utilities and shall be responsible for all damages.
3. The Contractor is responsible for all damage due to operations inside and outside the Limit of Work. Areas outside the Limit of Work that are disturbed shall be restored to their original condition at no cost to the Owner. The Contractor shall meet line and grade of existing conditions at Limit of Work.
4. All points of construction ingress and egress shall be protected to prevent tracking of debris onto public ways. Any debris on public ways originating from the job site shall be cleaned by the Contractor at no additional cost to the Owner.
5. Before any shrubs are removed the Contractor shall arrange a conference on site with the Landscape Architect to identify shrubs which are to be removed, as well as those which are to be protected. Do not begin clearing without a clear understanding of existing vegetation to be preserved.
6. All items requiring removal shall be removed to full depth to include base material and footings or foundations as applicable, and be properly disposed of off-site by the Contractor or reused as directed by the Owner.
7. Contractor shall strip and stockpile existing planting soil to full depth within the Limit of Work. Loam or planting soil shall not be removed from the site without the Owner's approval.
8. At all locations where existing pavement abut new construction, the edge of the existing pavement shall be sawcut to a clean, smooth edge.
9. Storage areas for the Contractor's equipment and materials shall be located within the Limit of Work and/or staging area and shall be approved by the Landscape Architect.



21A Trotter Drive
Medway, Massachusetts 02053
Phone 508.533-8700 Fax 508.533.3718

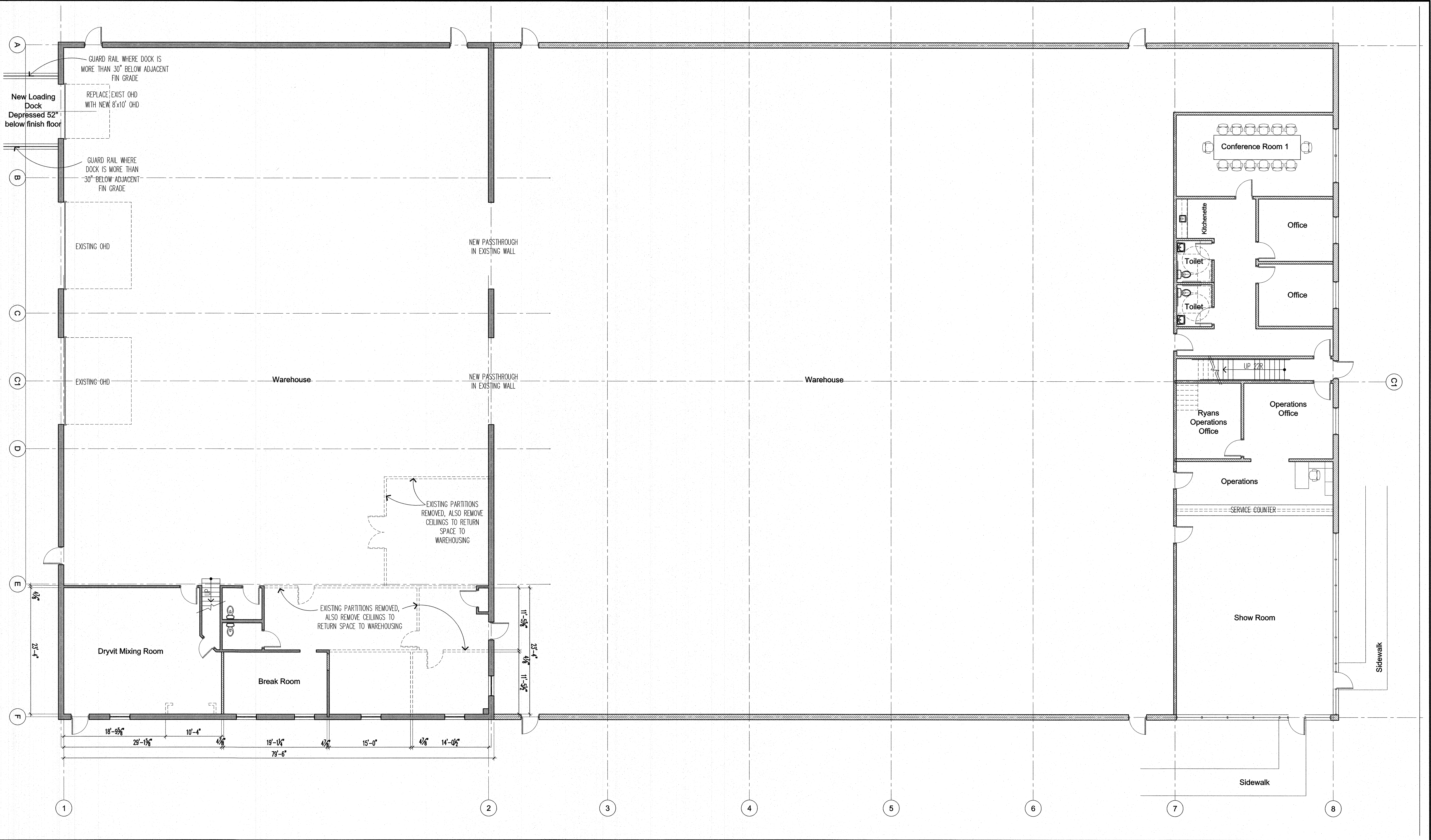
No.	Date	Comment

Date: 13_OCT 2016 Scale: 1" = 20'-0"

Project No.: 10013 Drawing by: DK Checked by: RPM

Planting Plan
(1)

L1.1



Sheet

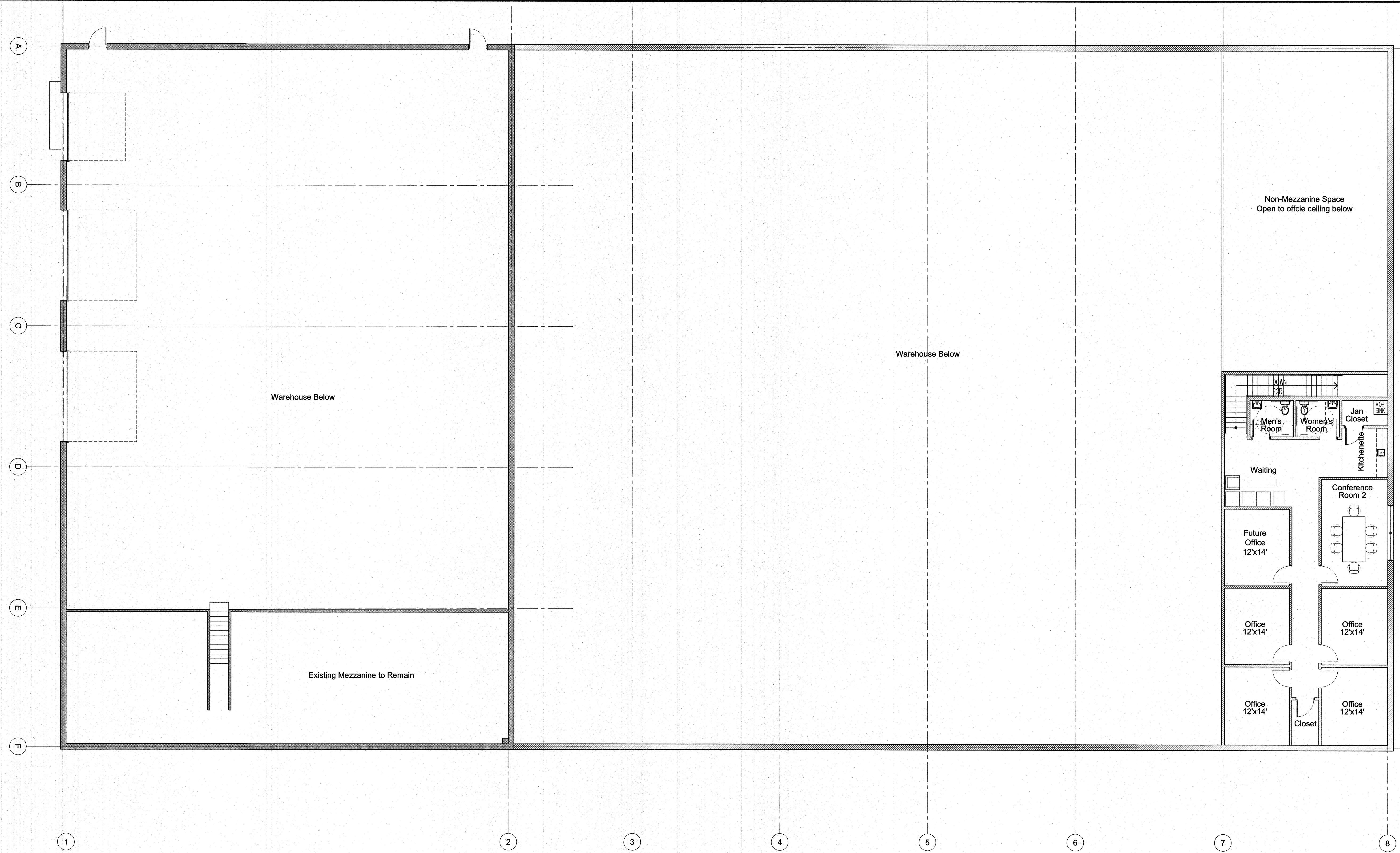
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A202

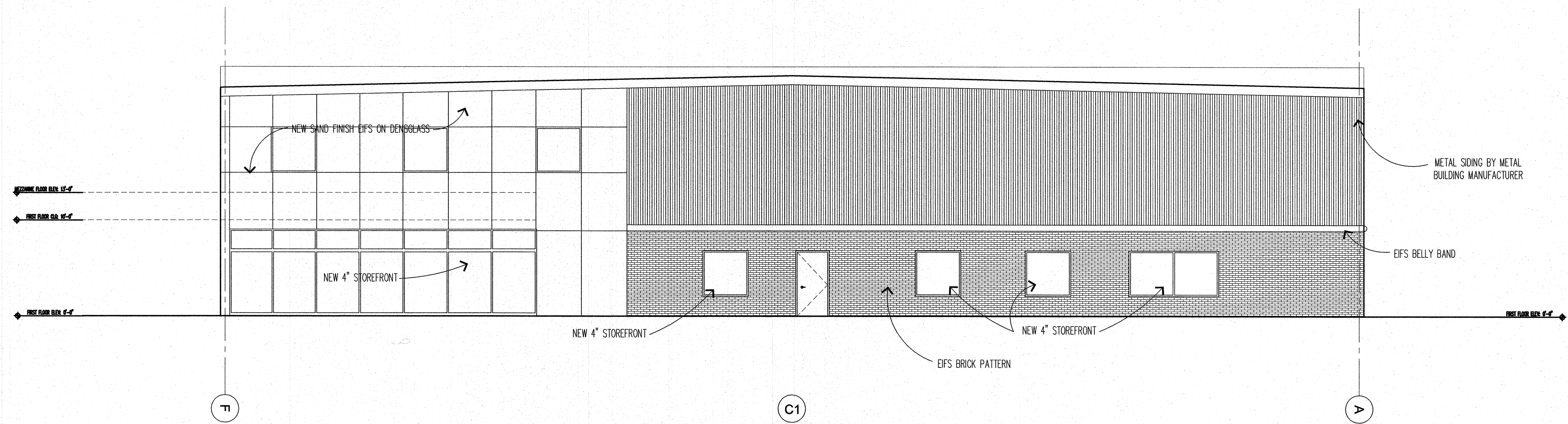
Proposed First Floor Plan

1/8"

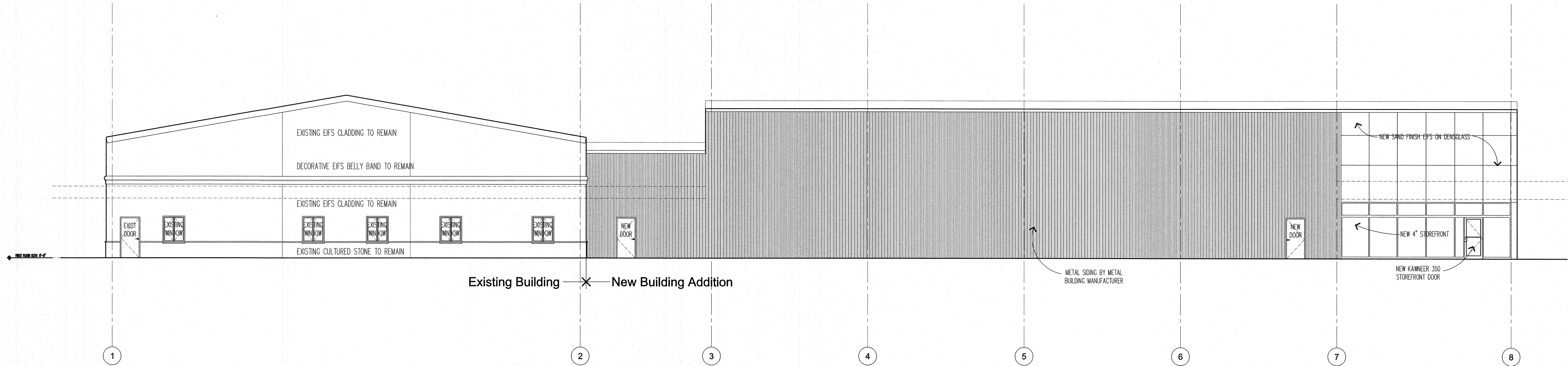
1/8"



Proposed Mezzanine Plan



East Elevation



South Elevation

cubic architects, inc
 33 Bowerspit Lane
 Plymouth, Massachusetts 02360
 TEL: 617-314-7330
 FAX: 781-668-2381
 wfuller@cubicarchitects.com

**Merrimack Building Supply
Building Addition**

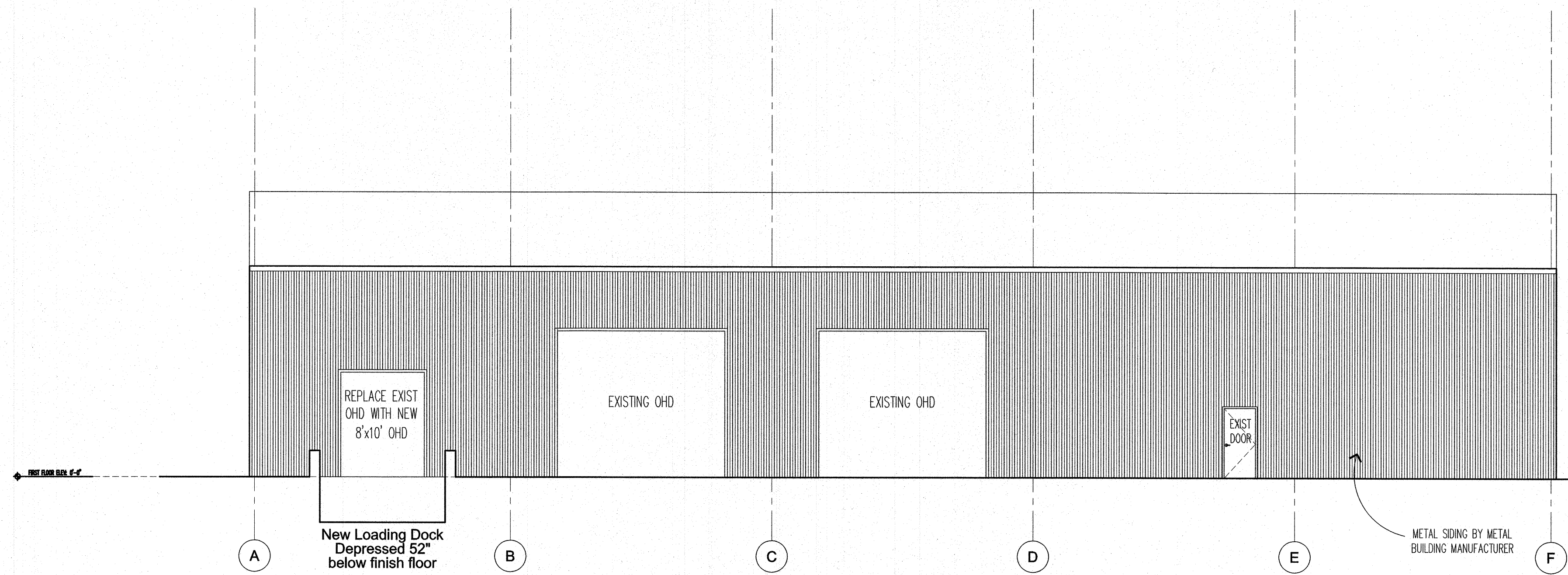
Street Address Anytown, Massachusetts

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Proposed Mezzanine

DATE: 11/10/16 BY: WAF CA JOB NO: 2016-042

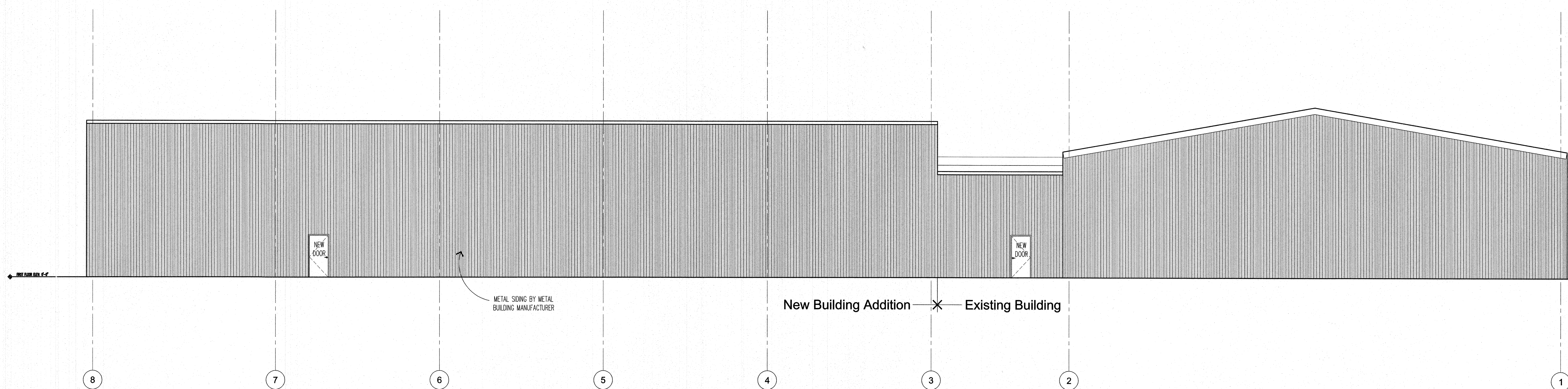
A3.01



Sheet 1
A302

West Elevation

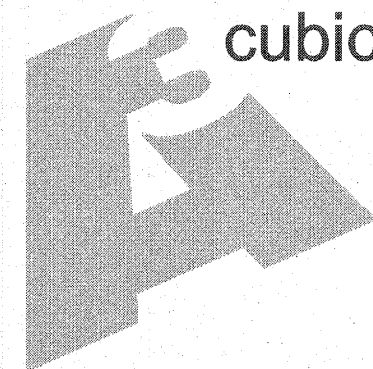
Scale
1/8" = 1'-0"



Sheet 2
A302

North Elevation

Scale
1/8" = 1'-0"



cubic architects, inc
33 Bowsprit Lane
Plymouth, Massachusetts 02360
TEL: 617-314-7330
FAX: 781-658-2381
wfuller@cubicarchitects.com

**Merrimack Building Supply
Building Addition**

Street Address Anytown, Massachusetts

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Proposed Mezzanine

DATE: 11/10/16 BY: WAF CA JOB NO: 2016-042

A3.02