



Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3291

DRC Meeting Minutes: November 2, 2020
Remote Meeting via ZOOM

Call to Order: – With a quorum present, this remote meeting was called to order by Chair Mr. Buckley at 7:00 p.m.

Attendees:

	08/03/2020	09/21/2020	10/5/20	11/02/20
Matthew Buckley	X	X	X	X
Rich Di Iulio	-	-	X	X
Jessica Chabot	X	X	X	X
Tom Gay	X	X	ABSENT WITH NOTICE	ABSENT WITH NOTICE
Rachel Walsh	X	ABSENT WITH NOTICE	X	ABSENT WITH NOTICE
Dan Connolly		-	-	-
Alex Siekierski	ABSENT WITH NOTICE	X	ABSENT WITH NOTICE	X

Also Present:

- Sreelatha Allam, Recording Secretary
- Susan Affleck Childs, Planning and Economic Development Coordinator (left right after the meeting started)
- Vincent Pacifico, Gary Feldman, Tyler Moorey - Harmony Village

Meeting Minutes

October 5, 2020: A motion was made by Ms. Chabot to approve the minutes of the 10/05/2020 meeting as amended, seconded by Mr. Buckley.

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Rich Di Iulio- Aye

Alex Siekierski - Aye

The motion passed.

Design Review Discussion Harmony Village Multi-Family - 218 and 220 Main Street: Quad design in lieu of one triplex and one duplex)

- The applicant, Mr. Gary Feldman, attended the ZOOM meeting with his design team (Vincent Pacifico and Tyler Mooney). Based on the feedback from Planning and Economic Development Board, the design was revised to include one quad building instead of a duplex and triplex combo. The revised design was reviewed favorably at the recent PEDB meeting.
- The revised site design, elevations, floor plans and renderings of the new building were shared with DRC for their review.
- Mr. Feldman said the new quad design addresses the Fire Department's concerns. He said every effort was made to meet the Town requirements in addition to maintaining the design as envisioned by him and the project team.
- Mr. Pacifico went over the design revisions with the DRC members. He said smaller shed dormers are part of the new design and each new unit has a two car garage. Mr. Feldman said the two car garage option makes the project financially viable.
- There was discussion about the last PEDB meeting. The abutters who expressed concerns with the earlier design reacted favorably to the revised quad design.
- It was commented that the trees facing Main Street can be protected and don't have to be cut significantly.
- The applicant was asked to review the design for the overlapping gables in the corner.
- Contrast between the trims and the vinyl siding was discussed. Applicant was asked about the lighting scheme. Regular lighting on the units plus three post lights on the street are part of the site layout. Mr. Feldman said the lighting plan was discussed with the Planning Board. Sconces at the door and the garage are included in the plan.
- The next DRC package will include the photometric plan. There was discussion about preventing spilling of the lights onto other properties. Samples of materials and color scheme will be reviewed by the committee at a future meeting.
- Next PEDB meeting is in two weeks. Ms. Affleck-Childs will be asked to draft the PEDB decision.

Other Business

Review of proposed Zoning Bylaw amendments for consideration at the November 16, 2020

Town Meeting-

- Members had a brief discussion on the bylaw amendments.
- The amendments for Article 7: (Density Regulations) and Article 9 (Environmental Standards) were discussed. It was commented that the Environmental Standards went through a proper vetting process.

Continued Discussion of Architectural Design Competition-

- Ms. Chabot talked about not being able to take the lead on the design competition due to other commitments.
- There was discussion about transferring it to high school once the idea is more fully developed.

Discuss and brainstorm DRC webpage-

- Members commented that the structure of the web page will not be changed. Only redundant information will be deleted
- Members discussed including project photos. They acknowledged that every project might not have the needed pictures that can be uploaded to the webpage.
- It was stated that the link to DRC Guidelines should be added to the web page.

Motion was made by Mr. Buckley to adjourn the meeting, seconded by Ms. Chabot

Roll Call Vote:

Matt Buckley- Aye

Jessica Chabot- Aye

Alex Siekierski - Aye

Rich Di Iulio - Aye

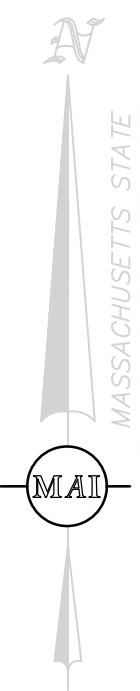
The motion passed.

The meeting was adjourned at 8:07 p.m.

Respectfully Submitted,

Sreelatha Allam

Recording Secretary



FALES STREET

NOW OR FORMERLY
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DEED BOOK 22299 PAGE 198
8 FALES STREET

NOW OR FORMERLY
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& JAME L. HODGES
DEED BOOK 32840 PAGE 4
5 FALES STREET

NOW OR FORMERLY
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DEED BOOK 8417 PAGE 2
216 MAIN STREET

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DANIEL M. & JAME A. BERGERON
DEED BOOK 6899 PAGE 177
214 MAIN STREET

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222 MAIN STREET

LAYOUT & MATERIALS LEGEND:

BITUMINOUS CONCRETE CURB	BB
LIMIT OF WORK	---
SETBACK	---
MAILBOX	
LIGHT FIXTURE/POST	*
SILT FENCE/HAYBALE LINE	---

LAYOUT AND MATERIALS NOTES:

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF MEDWAY DEPARTMENT OF PUBLIC WORKS AND MASS HIGHWAY.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN: DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING. DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE. DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS. ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAIL CONTIGUOUS TO THE BUILDING INCLUDING ENTRANCES, DOORWAY PADS, STAIRS, ETC.

ALIGN WALKWAYS CENTERED ON BUILDING EXIT DOORS UNLESS OTHERWISE NOTED.

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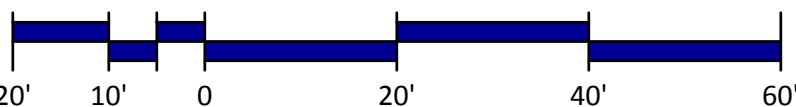
COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.

BITUMINOUS CONCRETE PAVEMENT: CLASS 1, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

NO SNOW IS TO BE PLACED WITHIN OR ON TOP OF DRAINAGE STRUCTURES.

SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD.
2	10/22/20	QUAD CONCEPT	DG	
1	9/8/20	PEDB REVIEW COMMENTS	DG	MEB

QUAD CONCEPT

Multifamily Development

218-220 MAIN STREET
MEDWAY, MA 02053

Prepared For:

Harmony Village LLC



60 MILK STREET, SUITE 208, WESTBROOK, MA 01581 | 908.871.2020
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MA 01915 | 978.399.0447
www.MeridianAssoc.com

Date:

June 9, 2020
(See Revisions)

Scale:

1"=20'

Project No.

8521

Sheet No.

Q-1
OF

Medway Multifamily Development (Quadplex) 218-220 Main Street

DESIGN INTENT
NOT FOR CONSTRUCTION
19 OCTOBER 2020



PACIFIC-VISIONS STUDIO LLC
ARCHITECTURAL DESIGN
38 Thompson Ave.
Bristol, RI
774.633.1272
Pacific-Visions.com



CIVIL ENGINEER
Drew Garvin
69 Milk Street, Suite 208
Westborough, MA 01581
(508) 871-7030 x34

Medway Multifamily Development (Quadplex)
218-220 Main Street
218-220 Main Street
Medway, MA 02053

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COVER



PACIFIC-VISIONS STUDIO LLC
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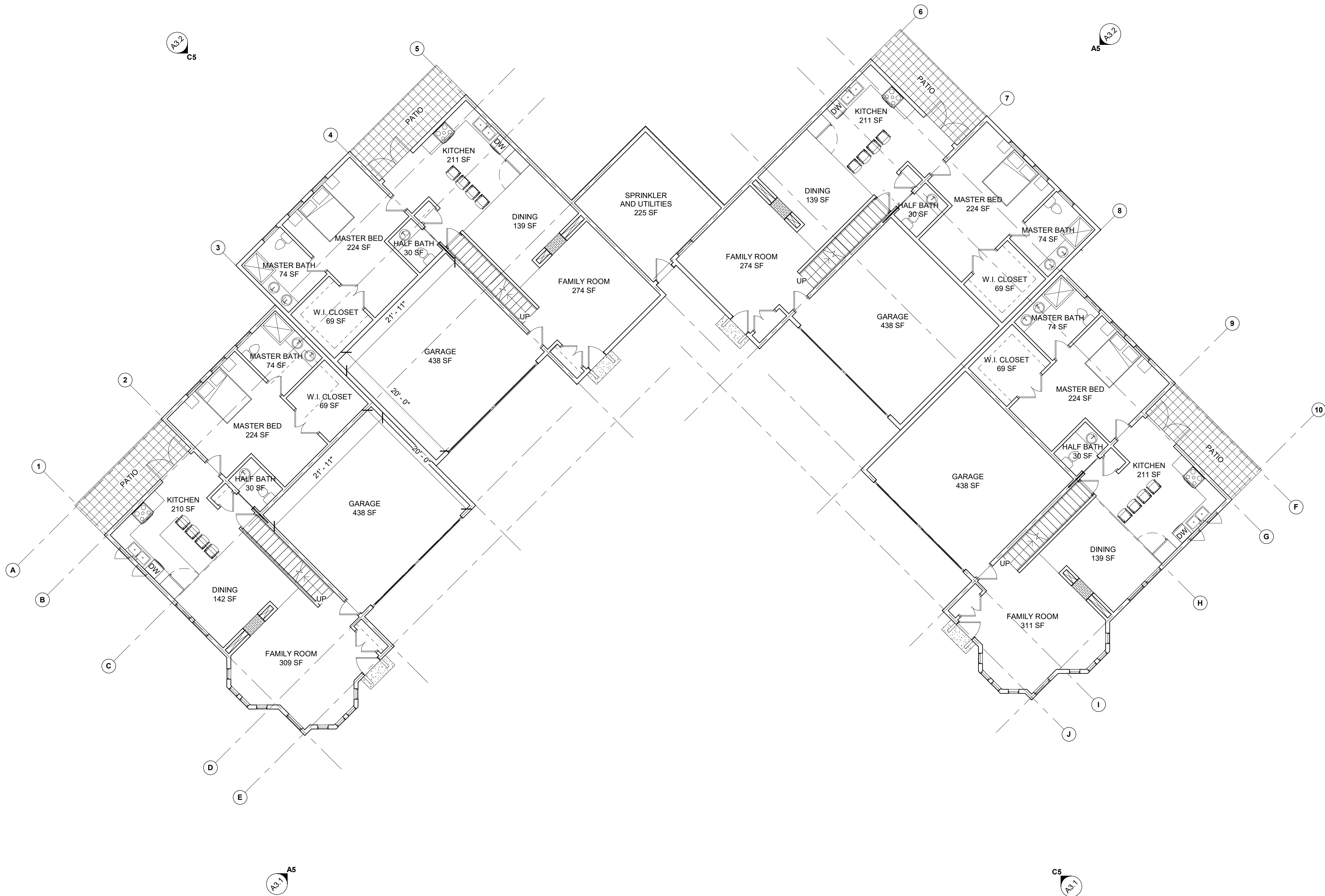
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FIRST FLOOR PLAN

A1.1



1 LEVEL 1 FIRST FLOOR PLAN
A1.1 Scale: 1/8" = 1'-0"



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SECOND FLOOR PLAN

A1.2



1 2ND FLOOR
A1.2 Scale: 1/8" = 1'-0"



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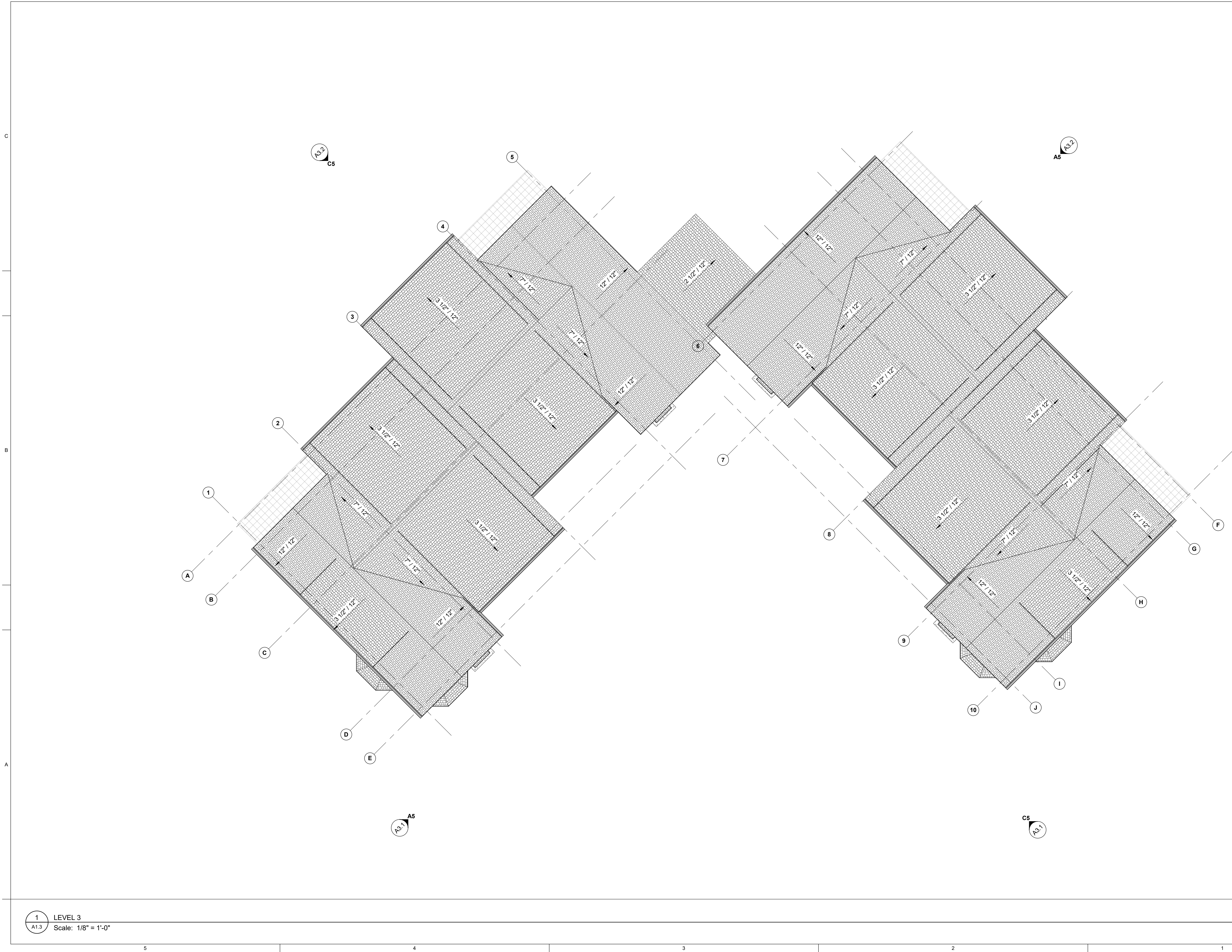
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ROOF PLAN

A1.3

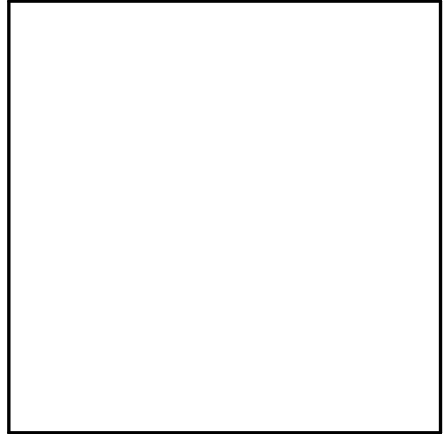


1 LEVEL 3
A1.3 Scale: 1/8" = 1'-0"



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EXTERIOR ELEVATIONS



C5 EAST ELEVATION
A3.1 Scale: 3/16" = 1'-0"



A5 SOUTH ELEVATION
A3.1 Scale: 3/16" = 1'-0"

5 4 3 2 1



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EXTERIOR ELEVATIONS

A3.2





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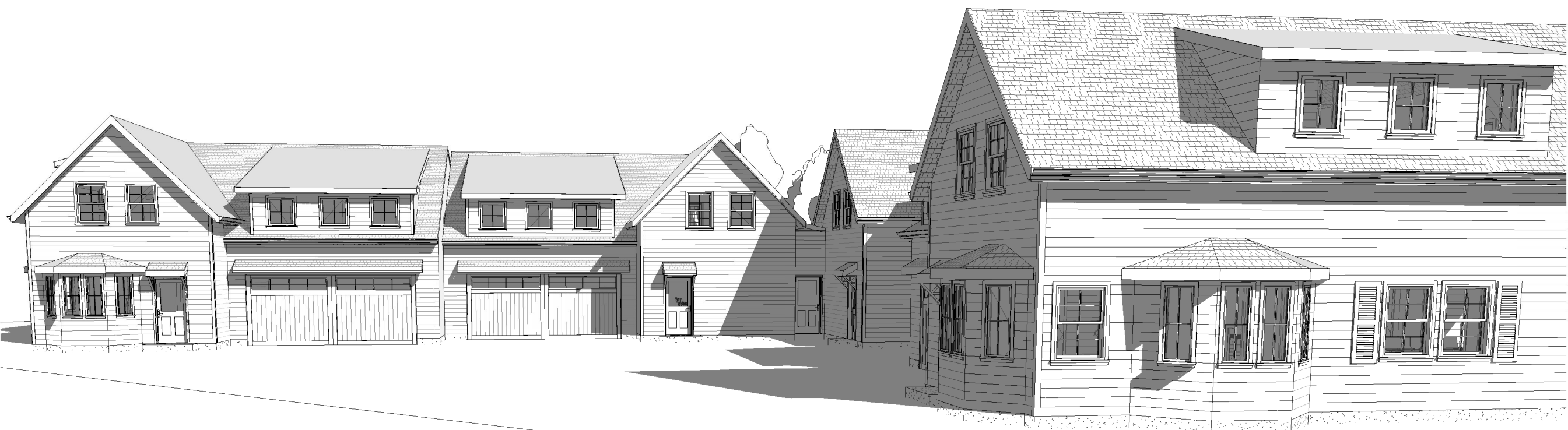
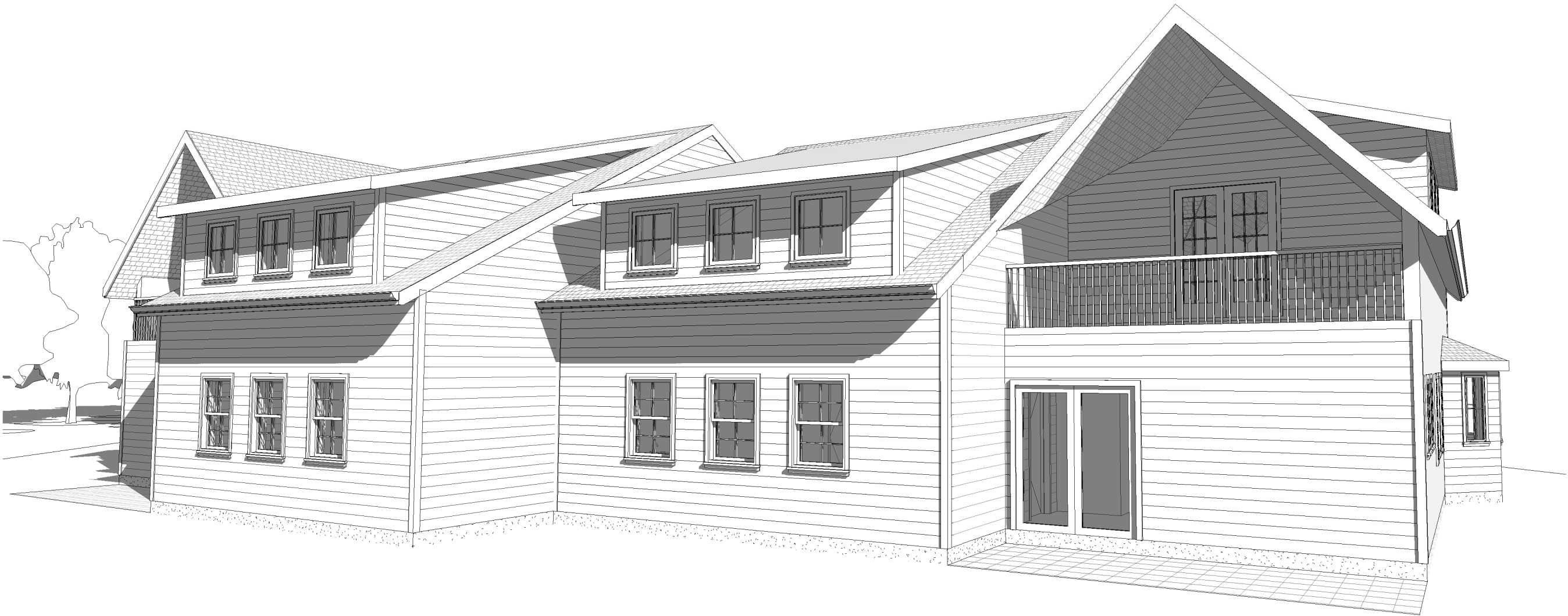
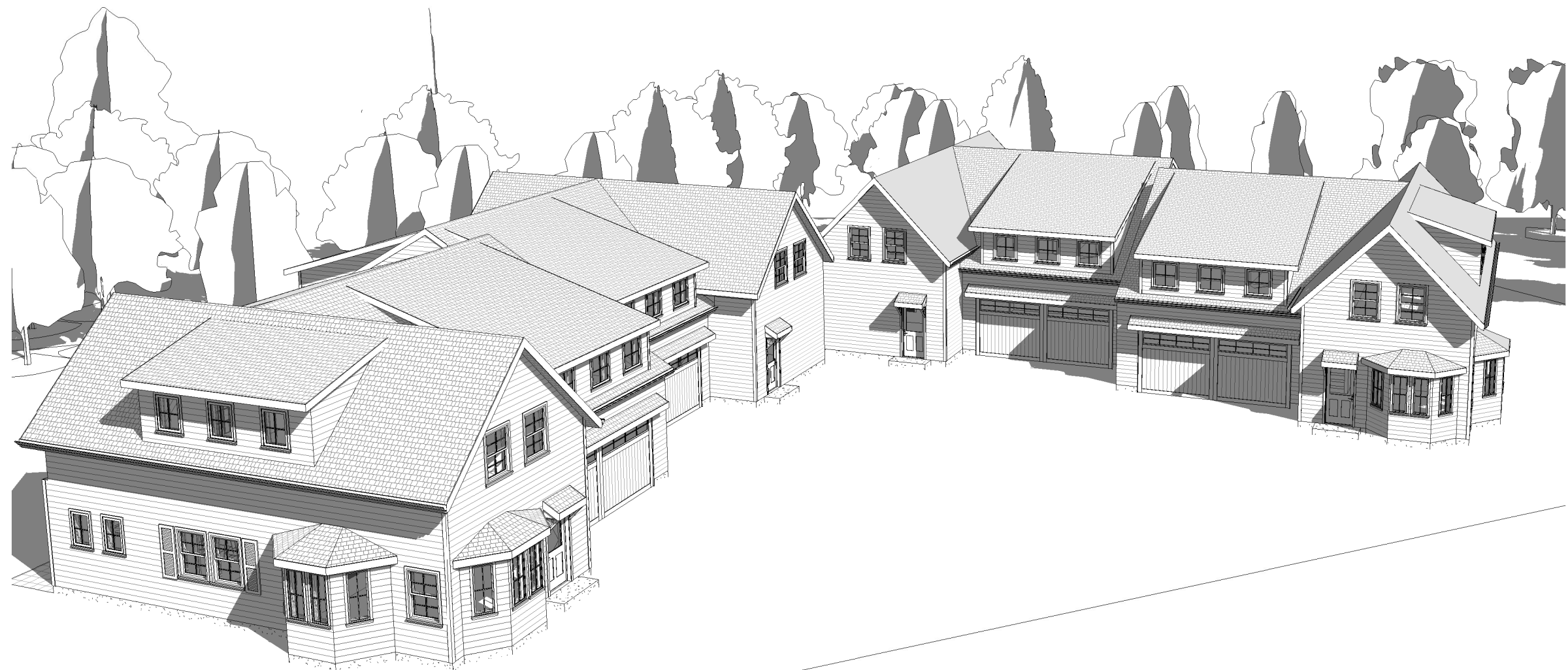
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3D VIEWS

A4.0





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EXTERIOR BUILDING RENDERING

10/23/20

A4.1



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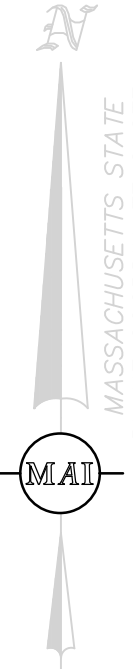
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EXTERIOR BUILDING RENDERING

10/23/20

A4.2



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ZONING TABLE:

ZONE: AR-II, MULTIFAMILY HOUSING OVERLAY DISTRICT			
Density and Dimensional Controls	Required	Existing	Proposed
LOT SIZE	30,000 SF	52,993 SF	52,993 SF
FRONTAGE	150'	190.08'	190.08'
FRONT SETBACK	35'	23.6' *	23.6' *
SIDE SETBACK	15'	9.1' *	9.1' *
REAR SETBACK	15'	152'	17'
MAX. BUILDING HEIGHT	35'	30'	30'
MAX. LOT COVERAGE	30%	0.28	0.28
MAX. IMPERVIOUS AREA	40%	15%	39%
MULTIFAMILY UNITS (ALLOWED)	8	2	7 **
MIN. OPEN SPACE/YARD AREA	15%	N/A	33% ***
PARKING SPACES	1.5/UNIT	2/UNIT	3.6/UNIT****
		(4 TOTAL)	(25 TOTAL)

* PRE-EXISTING NONCONFORMING SETBACK
ALL PROPOSED UNITS MEET THE REQUIRED DIMENSIONAL SETBACKS

** TOTAL UNITS CONSISTS OF 5 PROPOSED UNITS AND 2 EXISTING HOUSES TO BE
REHABILITATED (7 TOTAL)

*** PROPOSED OPEN SPACE / YARD AREA INCLUDES COMMON SPACE, DETENTION
BASIN, FRONT YARD FOR EXISTING HOUSES, AND 800 SF REAR YARD FOR EACH
PROPOSED UNIT

**** ACCOUNTS FOR 4 PARKING SPACES AT EACH NEW UNIT (2 IN DRIVEWAY,
2 IN GARAGE) FOR 25 PARKING SPACES TOTAL.

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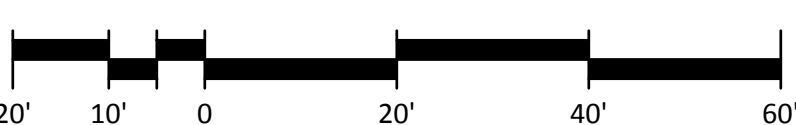
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Layout & Materials Plan
Multifamily Development
218-220 MAIN STREET
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Prepared For:
Harmony Village LLC



**MERIDIAN
ASSOCIATES**

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Date:

June 9, 2020
(See Revisions)

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Project No.

8521

Sheet No.

C-3
OF