Approved – May 16, 2022

Town of Medway
DESIGN REVIEW COMMITTEE
155 Village Street, Medway MA 02053
(508) 533-3291

DRC Meeting Minutes
Monday, May 02, 2022
Zoom (Remote) Meeting

Call to Order: – With a quorum present, this remote meeting was called to order by DRC Chair Mr. Buckley at 7:02 p.m.

Attendees:

	12/20/2021	03/21/2022	04/11/2022	05/02/2022	
Matthew Buckley	X	X	X	X	
Rich Di Iulio	-	-	-	-	
Jessica Chabot	-	X	X	X	
Tom Gay	X	X	X	X	
Rachel Walsh	Absent with Notice	Absent with Notice	Absent with Notice	Absent with Notice	
Dan Connolly	X	Absent with Notice	Absent with Notice	Absent with Notice	
Janine Clifford	X	X	X	X	

Attendance Roll Call:

Matt Buckley – Present

Jessica Chabot – Present

Tom Gay - Present

Janine Clifford - Present

Also Present via Zoom:

- Amanda Cavaliere (Project Engineer), Kevin Lobisser (Developer), Paul Frederick (Architect) for Milford Hospital Site Plan
- Karen Mullen - Signs Plus
- Susan Affleck Childs, Medway Planning and Economic Development Coordinator
- Sreelatha Allam, Recording Secretary

Approval of Meeting Minutes

April 11, 2022: ***Minutes were tabled until the next meeting.***

Public Hearing - Site Plan Review and Groundwater Protection Special Permit – Proposed Milford Regional Hospital Medical Facility, 86 Holliston Street

Ms. Cavaliere started the discussion on this agenda item. She was joined by Mr. Lobisser (applicant), and Mr. Frederick (architect liaison). **See Attached site plan and architectural elevations.** The proposed project is located off of Main Street west of Walgreens. To the north, the property is bounded by a residential subdivision, on the east by Walgreens, and on the south by Main Street. The site is also under the jurisdiction of Medway CONCOM and the project must secure land disturbance permit from the Conservation Commission. Upon receiving approvals from CONCOM and PEDB, 2.2 acres on the eastern portion of the property will be sectioned out for the proposed project. Proposal is to build a 21,900 sq. ft, one-story medical office building. The medical building will be accessed from the existing curb cut on Main Street for Walgreens. Other planned improvements include driveways, parking, utilities, grading, lighting, and landscaping. The facility will consist of pediatric care, women's health, wellness, emergency care, lab, and x-ray services. The proposal will be presented to the PEDB on May 10th and CONCOM on May 12th.

Mr. Frederick provided the architectural overview of the project. The proposed facility will have five different tenants/uses. Farm/ barn style look for the structure is proposed. The building in the front includes offices for women's health, family medicine, and pediatrics that are under Milford Regional Physicians 'group. The entry to these areas will be through the main entrance (Main Street side). The entry for the Lab/ X-ray and Urgent Care units that are under the hospital's auspices will be from the west facade. Front elevation will be stone based and fieldstone is proposed at this time. Some window looking structure(s) in the design serve a different operational purposes. The back of the building has a covered entrance for ambulance. For landscaping and shade trees, the project is following PEDB requirements.

There's a small wetland within the parcel that is part of an intermittent stream. It was mentioned the drainage was never fully connected, and it flows from the north and crosses under Main street and continues. Goal is to re-establish a 25' no-disturbance area with native species and vegetation around the wetland area. Red maples, red oaks, River Birches, etc. will be planted throughout the site. Existing trees on the eastern side will be removed for installing utilities.

The building exterior will be in the shades of light grey on the side and white/ cream on the front. The second-floor windows in the front and middle may be vaulted. The two windows on the left side will be panels or blanked out (opaque or frosted). They'll be above the roof line. Comment was made to consider lighting behind these window structures for better aesthetics.

The hours of operation will be 8-5 pm for the three offices. Urgent Care and Lab services will have different schedule and may be partially open during the weekends.

Comment was made to consider moving the building and its main structure closer to the street and locate the parking in back side. Mr. Frederick said the suggestion might not be feasible from logistics and functionality point of view. Mr. Gay said the design as presented looks fine with adequate planting providing the buffer between the parking lot and the building. The site layout and positioning of the building is consistent with Walgreens on the other side and there will not be any parking on this side (east) of the property. Eastern white pines and red maples will be planted in the back as buffer. Split rail fence is proposed for the project.

Comment was made to create a pedestrian friendly access to the building entrance by moving the planting island (P2 on the plan), so it aligns better with the entrance and potentially create a sidewalk that comes off Main Street. Response was that grading might be an issue to consider that option. Trellises with climbing vegetation was suggested as a treatment for the east façade.

Metal roof for the structure was suggested by the members. It was mentioned that a metal roof was rejected by CONCOM. Applicant agreed to investigate other roof material options. It was mentioned that if not rejected by CONCOM, DRC would suggest using metal for roof structure. External gutter downspouts will be located around the structure and will be connected underground so they don't flood the parking lot.

Members liked the plan as presented with barn look on one side. Color of the barn doors was discussed. Currently the proposal is to paint them white. Some options were discussed but the consensus was to go with white shade and black racing. The proposed retaining wall in the southwest corner of the parcel will be 3.5' high. It will be built to protect automobiles from entering the no-disturb zone. It will be a mason built stone wall with wood guardrail. There was a question on screening the transformer pad in the front corner. Suggestion was made to consider using a local artist to paint the pad instead of screening. Ms. Affleck-Childs commented on the absence of seating for staff during breaks. Applicant agreed that providing at least one picnic table will be added. Details for the proposed bike racks was requested. Lighting fixtures and options were discussed. A generator located in the back of the building will be screened. Any medical waste will be stored within the building per DPH requirements. For parking requirement, proposal is to provide 6 spaces per 1000 sq. ft. This is the standard for any medical facility. Overall DRC members were supportive of the project and the design. Mr. Buckley will prepare review comments.

Sign Design Review – Proposed Milford Regional Hospital Medical Facility, 86 Holliston Street

Ms. Karen Mullen from Signs Plus attended the meeting to discuss the preliminary signage plan for the project. (**See Attached**) General comment was made that the proposed signage is more than the allowable quantity per Medway's sign by-law and it's likely a variance might be needed from the ZBA. She explained the main idea is to use the signage style that Milford Hospital uses

at its other locations which is LED lit channel letters on raceways. Box structure is kept for Urgent Care sign the architects originally designed. Ambulance entrance will have signage that's backlit LED channel letters. Mr. Buckley commented on the default font style and the inconsistency between different signs. Suggestion was made to keep the fonts styles consistent for all signs. Ms. Mullen said the leadership at Milford Regional is keen on replicating the signage that's at the Franklin, MA, and other locations. Intent is to maintain continuity at all locations. Members said the proposed signage and locations have the potential to create confusion. There was discussion about the proposed free-standing monument sign exceeding the allowable size limit. Use of dimensional letters and bracket signs on the side of the building was discussed. Members said it's important to understand the applicant's need for the proposed signage before offering comments and suggestions. It was recommended that Ms. Mullen relay the feedback to the tenants and come back to discuss the signage with DRC again. Ms. Affleck-Childs offered to work with Ms. Mullen to address some of the DRC comments.

DRC comments included:

- There's abundance of signage on the façade that needs to be consolidated.
- The variations in sign styles are confusing
- Main façade facing main street should include a building sign that describes the units in the building
- The extra signage is creating confusion
- Wayfinding signage for Urgent Care is important
- Additional details on the signs as currently proposed can be included internally at each doorway

OTHER BUSINESS

Discussion of DRC membership

Ms. Chabot talked about a potential new member for DRC. She lives in town and works on other boards and committees. There was discussion on adding new members to meet quorum requirements without difficulty. To add value to the committee, the Committee noted adding a landscape architect would be valuable. There was discussion if it's a requirement for DRC members to be Medway residents or if it's allowed to consider someone who owns/ rents a business in town but not necessarily a resident. Ms. Affleck-Childs noted that the DRC bylaw specifies that members have to be residents. If the latter is allowed, Ms. Chabot suggested reaching out to RP Marzilli & Company (landscaping company) which has landscape architects on the payroll. Ms. Affleck-Childs will reach out to Mr. Siekierski to check on his availability to rejoin the committee.

Town meeting is scheduled for 05/09. Ms. Affleck-Childs reminded DRC members to attend.

Motion was made by Ms. Chabot to adjourn the meeting, seconded by Mr. Buckley.

Roll Call Vote:

Matt Buckley- Aye

Janine Clifford- Aye

Tom Gay- Aye

Jessica Chabot-Aye

The motion passed.

The meeting was adjourned at 9:21 p.m.

The next DRC meeting will be held on 05-16-2022.

Respectfully Submitted,

Sreelatha Allam
Recording Secretary

Reviewed and edited by,
Susan E. Affleck-Childs
Planning and Economic Development Coordinator

Board Members

Matthew J. Hayes, P.E., Chair
Robert Tucker, Vice Chair
Richard Di Iulio, Clerk
Jessica Chabot, Member
Sarah Raposa, A.I.C.P., Member
Thomas A. Gay, Associate Member

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 533-3291
Fax (508) 321-4987
Email: planningboard@townofmedway.org
www.townofmedway.org

TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS

PLANNING AND ECONOMIC DEVELOPMENT BOARD

April 21, 2022

Public Hearing Notice
Milford Regional Medical Center Site Plan & Groundwater Special Permit
86 Holliston Street

In accordance with the Medway *Zoning Bylaw*, Section 3.5 Site Plan Review and Section 5.6.3 Groundwater Protection District and certain provisions of Chapter 40A, Massachusetts General Laws, notice is given that the ***Medway Planning and Economic Development Board will conduct a public hearing on the applications of Lobisser Companies of Hopedale, MA for approval of a major site plan and a groundwater protection district special permit for the construction of a medical office facility at 86 Holliston Street.*** The hearing will begin at 8:00 p.m. on Tuesday, May 10, 2022 in Sanford Hall at Medway Town Hall, 155 Village Street, Medway, MA. The meeting room is accessible via elevator for individuals with physical disabilities. The hearing will also be available via the Zoom online meeting platform for public participation. Zoom access details will be included on the agenda for the May 10th meeting.

The subject property, shown on the Medway Assessors Map 41 as Parcel 8, is 8.027 acres in size. It is located in the Central Business zoning district and is owned by Friel Realty II, LLC of Medway, MA. It is bounded on the north by a residential subdivision, on the east by property occupied by Walgreens, and on the south by Main Street. The site is under the jurisdiction of the Medway Conservation Commission. The project must also secure a land disturbance permit from the Conservation Commission.

The proposed facility is to be located on approximately 2.2 acres on the eastern end of the subject property and includes construction of a one-story, 21,900 sq. ft. medical building to be accessed from the existing curb cut on Main Street for Walgreens. Other planned improvements include driveways, parking, utilities, grading, lighting, and landscaping. The facility will consist of pediatric care, women's health, wellness, emergency care, lab and x-ray services. A total of 102 parking spaces are proposed. The planned improvements are shown on *Site Plan, 86 Holliston Street, Medway, MA* dated April 14, 2022, prepared by Guerriere & Halnon, Inc. of Franklin, MA.

The application materials are on file with the Medway Town Clerk and the Planning and Economic Development office at Medway Town Hall, 155 Village Street, Medway, MA and may be reviewed during regular office hours. The documents are posted to the Board's web page at: https://www.townofmedway.org/planning-economic-development-board/pages/current-applications-pedb-0

Interested persons or parties are invited to review the site plan, attend the hearing, and express their views at the designated time and place. Written comments are encouraged and may be forwarded to planningboard@townofmedway.org. All comments will be entered into the record during the public hearing. Any questions should be directed to the Planning and Economic Development office at 508-533-3291.

Matthew J. Hayes, Chair

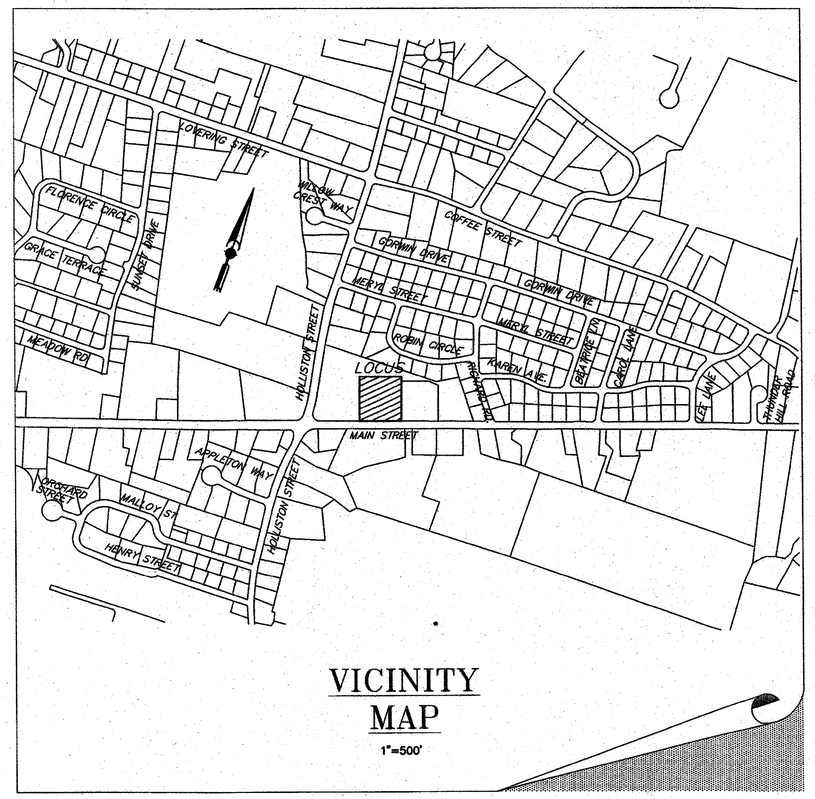
SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

INDEX

1. COVER SHEET
2. ABUTTER SHEET
3. EXISTING CONDITIONS
4. EROSION CONTROL
5. PROPOSED SITE LAYOUT
6. GRADING PLAN
7. UTILITY PLAN
8. LANDSCAPING PLAN
9. CONSTRUCTION DETAILS
10. CONSTRUCTION DETAILS
11 CONSTRUCTION DETAILS
12. CONSTRUCTION DETAILS

PHOTOMETRIC PLAN (BY OTHERS)

ARCHITECTURAL PLANS (BY OTHERS)



VICINITY MAP

1"=500'

WAIVERS REQUESTED

REQUEST FROM THE TOWN MEDWAY PLANNING BOARD
RULES AND REGULATIONS CHAPTER 200

1. SECTION 204–5 B SITE CONTEXT SHEET
2. SECTION 204–5 D.8 LANDSCAPE PLAN
3. SECTION 207–9 PEDESTRIAN & BICYCLE ACCESS AND SIDEWALKS. B. SIDEWALKS (1)
3. SECTION 207–19 LANDSCAPING. B. LANDSCAPE BUFFERS (2)
4. SECTION 207–19 LANDSCAPING. C. PARKING AREAS (1a)
5. SECTION 207–19 LANDSCAPING. H.6. SECTION 207–12 PARKING SPACE G. (3) LOCATION (a)

COMMONWEALTH OF MASSACHUSETTS ROBERT J. DUFF No. 40702 CIVIL REGISTERED PROFESSIONAL ENGINEER
4.19.2022

COMMONWEALTH OF MASSACHUSETTS ROBERT E. CONSTANTINE, II No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR
4/19/22

I, STEFANY OHANNESIAN, CLERK OF THE TOWN OF MEDWAY, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON _____ AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. WITHOUT MAKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG–SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS–OF–WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

COVER SHEET

APRIL 14, 2022

DATE	REVISION DESCRIPTION

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528–3221
FRANKLIN, MA 02038 FX. (508) 528–7921
www.gandhengineering.com

SHEET 1 OF 12

JOB NO. F4516

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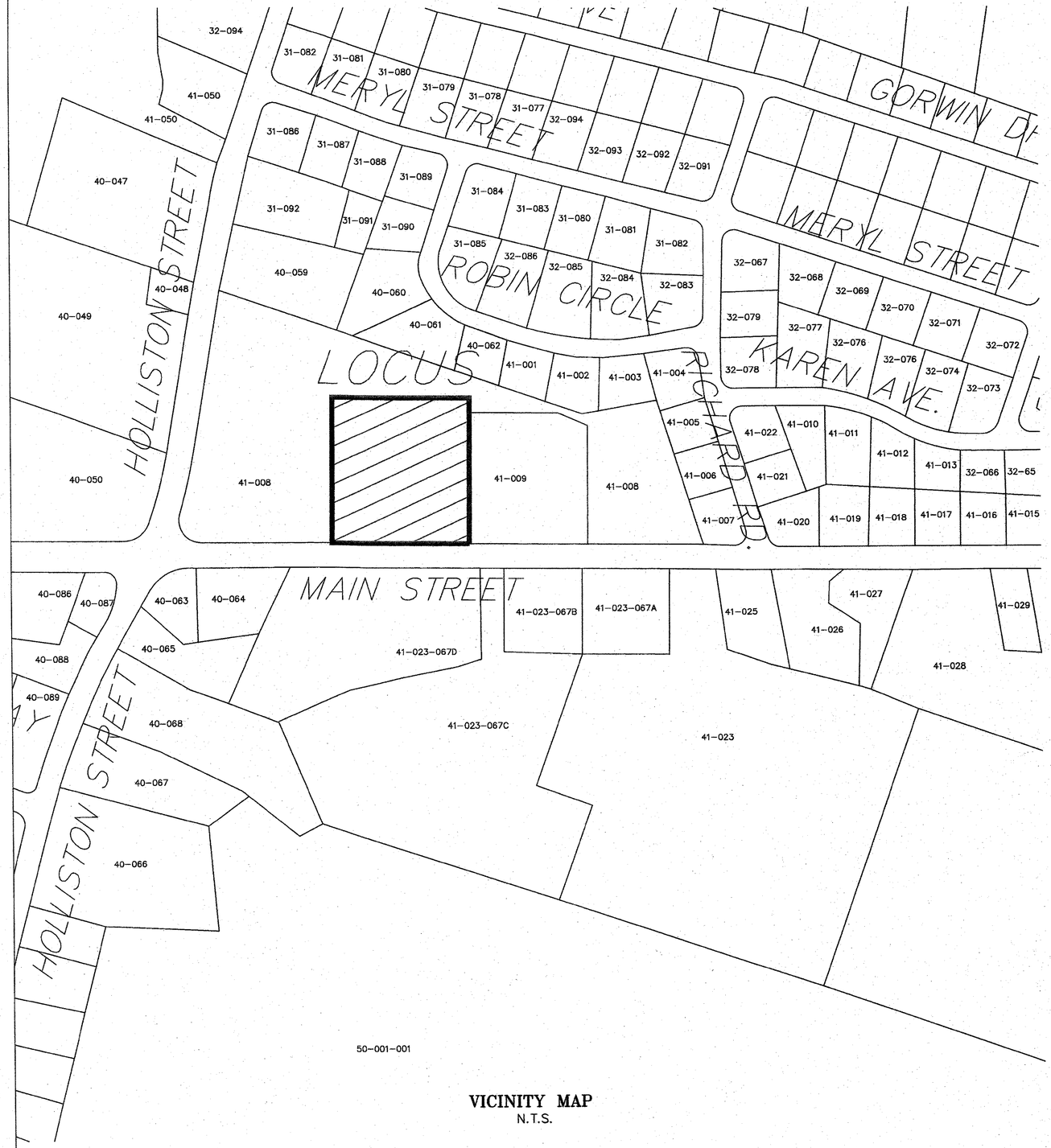

VICINITY MAP
N.T.S.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

41-007 DEIDRE ODONNELL
64 MAIN ST.
MEDWAY, MA.

40-049
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

40-088
LOK CHING NOMINEE TRUST
6 HAVEN WAY
HOPEDALE, MA.

31-092
JAMES M. CASSIDY
90 HOLLISTON ST.
MEDWAY, MA

40-063
P & A REALTY TRUST
82 HOLLISTON ST.
MEDWAY, MA

41-027
SEAN M CURRIVAN TRUSTEE
36 ELLIS ST.
MEDWAY, MA.

40-050
CHARLES RIVER BANK
70 MAIN ST.
MEDWAY, MA

41-10
REBECCA L. PURCELL
4 KAREN AVE.
MEDWAY, MA.

40-061
DAVID J. MCWHINNIE
11 ROBIN CIRCLE
MEDWAY, MA.

40-047
HERISTON PINTO
91 HOLLISTON ST.
MEDWAY, MA.

31-090
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-021
ANGELO MUCCI TRUSTEE
2 RICHARD RD.
MEDWAY, MA.

32-086
GEORGE M. FASOLINO
8 ROBIN CIRCLE
MEDWAY, MA.

32-067
MICHAELS TRAINOR
10 RICHARD RD.
MEDWAY, MA.

40-059
FREIL REALTY II, LLC
86 HOLLISTON ST.
MEDWAY, MA.

40-064
NORMAN W. GREEN REALTY TRUST
71 MAIN ST.
MEDWAY, MA.

41-023
HIDDEN ACRES REALTY I, LLC
1371 OAKLAND BLVD.
WALNUT CREEK, CA.

41-023-067
HIDDEN ACRES REALTY I, LLC.
(67 C MAIN ST)
75 HOLLYHILL LANE
GREENWICH, CT.

32-085
CHRISTOPHER A. ANTHONY
6 ROBIN CIRCLE
MEDWAY, MA.

41-022
ERIC H. KESSLER
4 RICHARD RD.
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

32-079
KATHLEEN A. BUXTON
8 RICHARD RD.
MEDWAY, MA.

32-082
ALAN J. MEISTER
9 RICHARD RD.
MEDWAY, MA.

41-023-067
(67 A MAIN ST)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-023-067
(67 B MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
PO BOX 902
SPENCER MA.

31-085
JOSEPH J. LATOSEK JR.
10 ROBIN CIRCLE
MEDWAY, MA.

41-023-067
(67 D MAIN ST.)
HIDDEN ACRES REALTY I, LLC.
ONE CVS DRIVE
WOONSOCKET, RI.

31-091
CHARLES J. DUDDY JR.
15 ROBIN CIRCLE
MEDWAY, MA.

41-25
FREIL REALTY I, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

32-083
DIANE PRIDE
2 ROBIN CIRCLE
MEDWAY, MA.

41-004
SYDNEY LAMPKE
5 RICHARD RD.
MEDWAY, MA.

41-020
SAMUEL S. TORREY JR.
62 MAIN ST.
MEDWAY, MA.

40-086
CHEN DE XIANG TRUSTEE
6 HAVEN WAY
HOPEDALE, MA.

32-078
(1 KAREN AVE)
MARGARET A. LE COADY
7539 DANVERS CIRCLE
PORT CHARLOTTE, FL.

32-084
RYAN P. SULLIVAN
4 ROBIN CIRCLE
MEDWAY, MA.

40-048
FREIL REALTY II, LLC.
86 HOLLISTON ST.
MEDWAY, MA.

41-026
SEAN M. CURRIVAN
59 MAIN ST.
MEDWAY, MA.

40-066
(74 HOLLISTON ST.)
HIDDEN ACRES REALTY I, LLC.
75 HOLLY HILL LANE
GREENWICH, CT.

41-019
WILLIAM MCCAUL
60 MAIN ST.
MEDWAY, MA.

31-084
JOHN K. SPURLING
16 ROBIN CIRCLE
MEDWAY, MA.

OWNER(S)/ASSESSOR INFORMATION:

PARCEL IDs:

32-81
JAMES F. CASSIDY
14 MERYL ST.
MEDWAY, MA.

40-065
WHITE PEARL LLC.
76 HOLLISTON ST.
MEDWAY, MA.

40-87
AOUDE GAS & REPAIRS
73 MAIN ST.
MEDWAY, MA.

40-062
ROBERT G. COLLINS
9 ROBIN CIRCLE
MEDWAY, MA.

40-060
EDGAR E. DOCHERTY
13 ROBIN CIRCLE
MEDWY, MA.

41-003
EDITH E. CULLEN
3 ROBIN CIRCLE
MEDWAY, MA.

41-001
MARILYN E. SMITH
7 ROBIN CIRCLE
MEDWAY, MA.

41-011
ERIKA R. LEGER
6 KAREN AVE.
MEDWAY, MA.

41-009
(68 MAIN ST)
FREIL REALTY II, LLC.
PO BOX 1159
DEERFIELD, IL.

41-002
AUTUMN RICHARD
5 ROBIN CIRCLE
MEDWAY, MA.

41-005
CLIFFORD M. LANDER
3 RICHARD ROAD
MEDWAY, MA.

32-077
ELOISE C. THIBAULT
3 KAREN AVE
MEDWAY, MA.

31-099
(9 LOVERING ST.)
TOWN OF MEDWAY
155 VILLAGE STREET
MEDWAY, MA.

41-006
KEVIN D. MULLER
1 RICHARD ROAD
MEDWAY, MA.

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
No. 40707
CIVIL
REGISTERED PROFESSIONAL ENGINEER
4.19.2022

COMMONWEALTH OF MASSACHUSETTS
ROBERT E. CONSTANTINE, II
No. 49611
REGISTERED PROFESSIONAL LAND SURVEYOR
4/19/22

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DEED BOOK 27992 PAGE 300
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SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

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FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 2 OF 12

JOB NO. F4516

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ZONING DISTRICT
CENTRAL BUSINESS

	REQUIRED
MIN. LOT AREA	10,000 SF
MIN. LOT FRONTAGE	NA[1]
MIN. YARD SETBACKS	
FRONT	10 FT
SIDE	10 FT 25 FT*
REAR	25 FT
STRUCTURE COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	NA
MINIMUM OPEN SPACE	15%

*WHEN ABUTTING A RESIDENTIAL DISTRICT
[1]PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

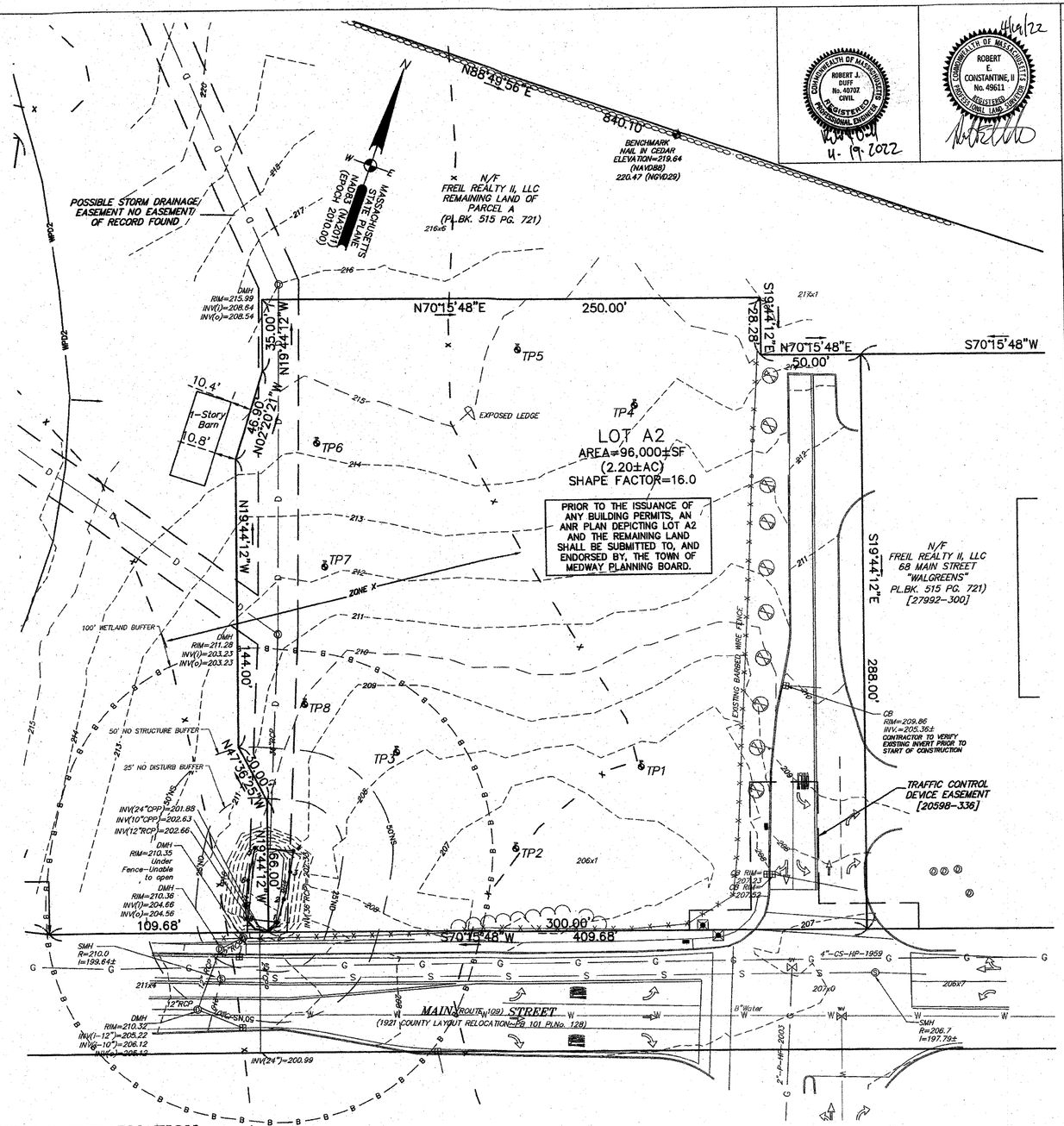
LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP

000	EXISTING CONTOUR
D	EXISTING DRAIN LINE
W	EXISTING WATER LINE
X X X X X	EXISTING FENCE
X	FLOOD ZONE X- MINIMAL RISK AREA
WPD2	ZONE 2 WELLHEAD PROTECTION DISTRICT

NOTES

1. THIS LAND IS ZONED CENTRAL BUSINESS.
2. A PORTION OF THIS SITE IS LOCATED FLOOD HAZARD ZONE X PER FEMA FLOOD MAP 25021C0143E, EFFECTIVE DATE 7/17/2012.
3. THE WETLANDS WERE EVALUATED BY GODDARD CONSULTING LLC. ON DECEMBER 13, 2021 AND JANUARY 28, 2022 SEE WETLAND REPORTS FOR FURTHER INFORMATION. WETLANDS WERE FIELD LOCATED BY GUERRIERE & HALNON, INC.
4. REFER TO MEDWAY ASSESSORS MAP 41 LOT 008
5. THIS SITE IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.
6. ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK REGISTRY OF DEEDS.
7. THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.
8. ELEVATIONS ARE BASED ON HORIZONTAL DATUM:NAD83; VERTICAL DATUM: NAVD88.
9. EXISTING SEWER INVERTS IN MAIN STREET OBTAINED FROM PLAN TITLED "TOWN OF MEDWAY, MASSACHUSETTS BOARD OF WATER/SEWER COMMISSIONERS SANITARY SEWER PROGRAM MAIN STREET – STA. 45+00 TO STA. 55+60.71" SHEET 5 OF 16 DATED 3-20-84, REVISED THROUGH 4-7-89, AND PREPARED BY METCALF & EDDY, INC./ENGINEERS.
10. EXISTING SEWER INVERTS TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.



TESTING INFORMATION

TESTING DATE: JANUARY 5, 2022 SOIL EVALUATOR: MICHAEL HASSETT

TP 1 (207.60)

206.94	SANDY LOAM A	8" 10YR 2/2
205.36	SANDY LOAM B	19" 7.5YR 5/8
203.62	COARSE SAND C1	21" 10YR 5/8
202.29	SANDY LOAM C2	16" 2.5YR 5/4
198.49	SAND & GRAVEL C3	46" 2.5YR 6/3

WEEPING @ 77"
MOTTLES @ 27" 205.35
NO REFUSAL

TP 2 (206.5)

203.00	F	42"
201.50	SANDY LOAM Ab	18" 10YR 2/2
196.25	LOAMY SAND Ab VARIES IN DEPTH	63" 10YR 5/4

MOTTLES @ 34" 203.67
WEEPING @ 6.5'

TP 3 (208.1)

205.10	F	36"
204.10	SANDY LOAM Ab	12" 10YR2/2
202.80	SANDY LOAM B	18" 7.5YR 5/8
199.10	SAND & GRAVEL C	42" 10YR 5/8

MOTTLES @ 42" 204.60
WEEPING @ 78"

TP 4 (214.20)

210.90	LOAM/FILL

GW @ 3.3'

TP 5 (214.80)

209.80	LOAM/FILL

GW @ 5'

TP 6 (214.20)

211.70	F	30"
209.20	SAND & GRAVEL C1	28" 10YR 5/8
208.70	LOAMY SAND C2	6" 2.5YR 5/4
205.53	SAND & GRAVEL C3	38" 2.5YR 6/3

MOTTLES @ 36"
WEEPING @ 98"

TP 7 (212.20)

209.20	F	36"
201.70	SANDY LOAM C	90" 10YR 5/8

MOTTLES @ 54"
WEEPING @ 120"

TP 8 (209.90)

206.90	F	36"
205.90	SANDY LOAM Ab	12" 10YR2/2
204.90	SANDY LOAM B	12" 7.5YR 5/8
200.40	SAND & GRAVEL C	54" 10YR 5/8

MOTTLES @ 54"
B LAYERS VARY

COMMONWEALTH OF MASSACHUSETTS ROBERT J. DUFF No. 40702 CIVIL REGISTERED PROFESSIONAL ENGINEER
4-19-2022

COMMONWEALTH OF MASSACHUSETTS ROBERT E. CONSTANTINE, II No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR
4/19/22

REGISTRY USE ONLY

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APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EXISTING CONDITIONS

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'
0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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FRANKLIN, MA 02038 FX. (508) 528-7921
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SHEET 3 OF 12 JOB NO. F4516

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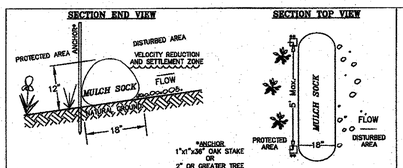


MULCH SOCK COMPONENTS:

OUTSIDE CASING: 100% organic hessian.

FILLER INGREDIENT: *MaterRoot Mulch™*

- A blend of coarse and fine compost and shredded wood.
- Particle sizes: 100% passing a 3" screen; 90–100% passing a 1" screen; 70–100% passing a 0.75" screen; 30–75% passing a 0.25" screen.
- Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

MULCH SOCK INSTALLATION:

With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

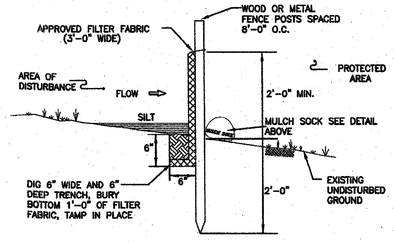
Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of *MULCH SOCK* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less that 2:1. **Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

MULCH SOCK DETAIL

NOT TO SCALE



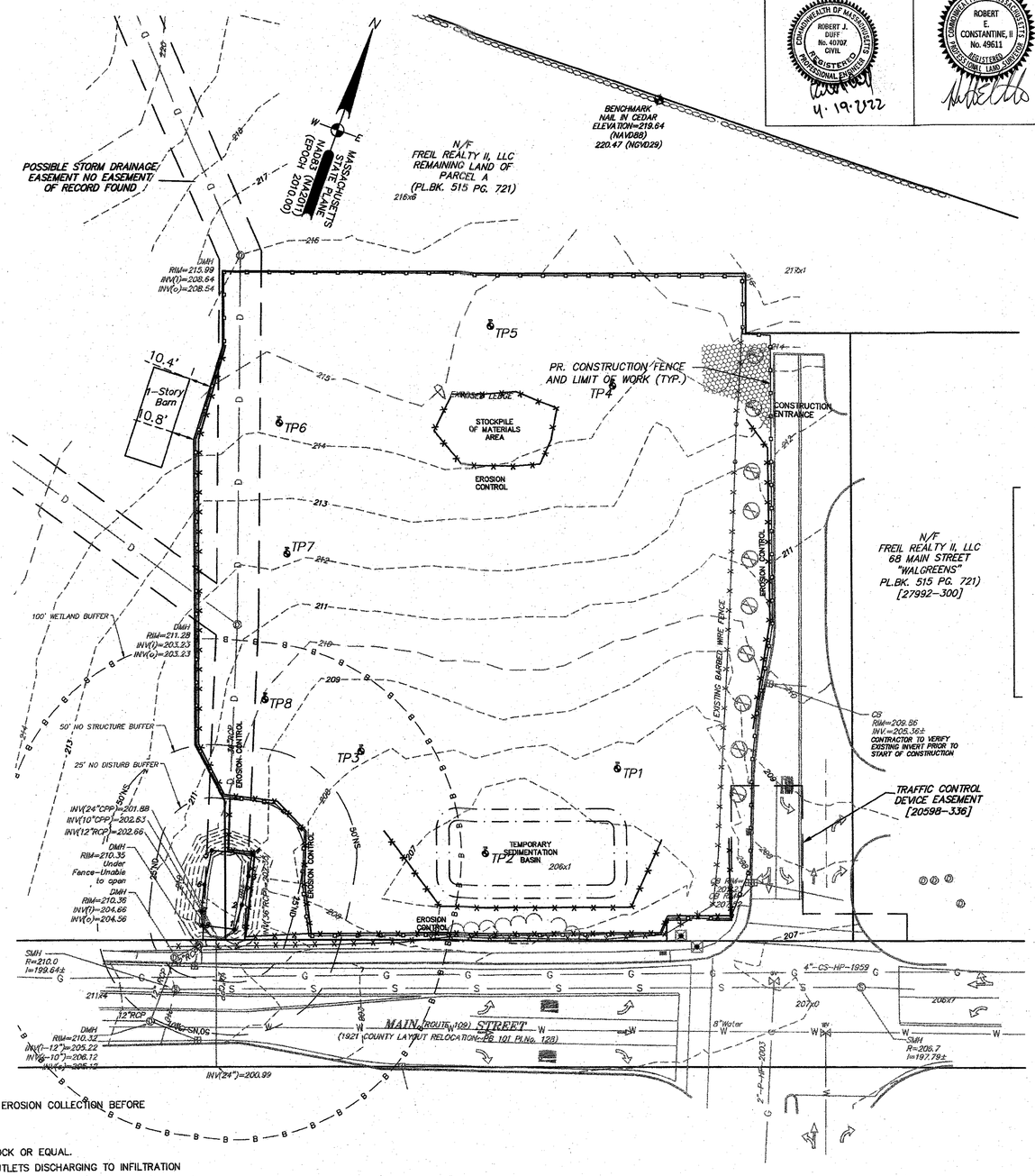
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
2. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
3. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
4. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

SILT FENCE EROSION CONTROL

N.T.S.

LEGEND

	CATCH BASIN		LIGHT POLE
D	DRAIN MANHOLE		UTILITY POLE
E	ELECTRIC MANHOLE		GUY WIRE
S	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		



EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
5. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
6. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
7. REMOVE CONSTRUCTION ENTRANCES.
8. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL PAVEMENT TO BINDER FINISH GRADE. PAVER TO PROVIDE TEMPORARY ASPHALT BERM ON BOTH SIDES OF PROPOSED PAVED AREAS. EROSION CONTROL MEASURES BACKED BY CRUSHED STONE TO BE PROVIDED ON DOWN GRADIENT SIDE OF CATCH BASINS TO DIRECT WATER TO TEMPORARY BASIN.
9. REMOVE TEMPORARY SEDIMENTATION BASIN AND FOREBAY AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.

GENERAL NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. INSTALL BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. ALL EXISTING STRUCTURES TO BE RAZED.
7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
9. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.

COMMONWEALTH OF MASSACHUSETTS ROBERT J. DUFF No. 40707 CIVIL REGISTERED PROFESSIONAL ENGINEER 4.19.2022

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DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

EROSION CONTROL

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'

0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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SHEET 4 OF 12

JOB NO. F4516

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ZONING DISTRICT
CENTRAL BUSINESS

	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SF	96,000 SF
MIN. LOT FRONTAGE	NA[f]	300.00 FT
MIN. YARD SETBACKS		
FRONT	10 FT	97.2 FT
SIDE	10 FT 25 FT[e]	58.4 FT
REAR	25 FT	83.0 FT
STRUCTURE COVERAGE	80%	22.8%
MAXIMUM IMPERVIOUS COVERAGE**	NA	73.7%**
MINIMUM OPEN SPACE	15%	22.4%

[e]WHEN ABUTTING A RESIDENTIAL DISTRICT
[f]PROPERTIES IN THE CENTRAL BUSINESS DISTRICT THAT DO NOT HAVE FRONTAGE ON A PUBLIC STREET SHALL BE REQUIRED TO HAVE AN EASEMENT OF AT LEAST 30 FEET IN WIDTH PROVIDING ACCESS TO A PUBLIC STREET.

**MAXIMUM IMPERVIOUS COVERAGE IN A GROUND WATER PROTECTION DISTRICT: ANY USE THAT WILL RENDER IMPERVIOUS MORE THAN 15% OR 2500 SF. OF ANY LOT WHICHEVER IS GREATER.

NOTE

A SPECIAL PERMIT WILL BE REQUIRED BY THE PLANNING BOARD FOR IMPERVIOUS COVERAGE IN A GROUNDWATER PROTECTION DISTRICT

NEW LOT AREA = 96,000±SF.

EXISTING PAVEMENT = 10,263± SF.
PROPOSED BUILDING = 21,900± SF.
PROPOSED PAVEMENT = 38,553± SF.

TOTAL IMPERVIOUS = 70,716± SF.
(73.7%)

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE	VGC	VERTICAL GRANITE CURB
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

PARKING NOTES

ZONED: CENTRAL BUSINESS
PARKING REQUIREMENTS PER ZONING:
TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

MEDICAL OFFICE OR CLINIC:
1 SPACE PER 300 SF. = 73 SPACES REQUIRED
PARKING SPACES PROVIDED = 102 SPACES

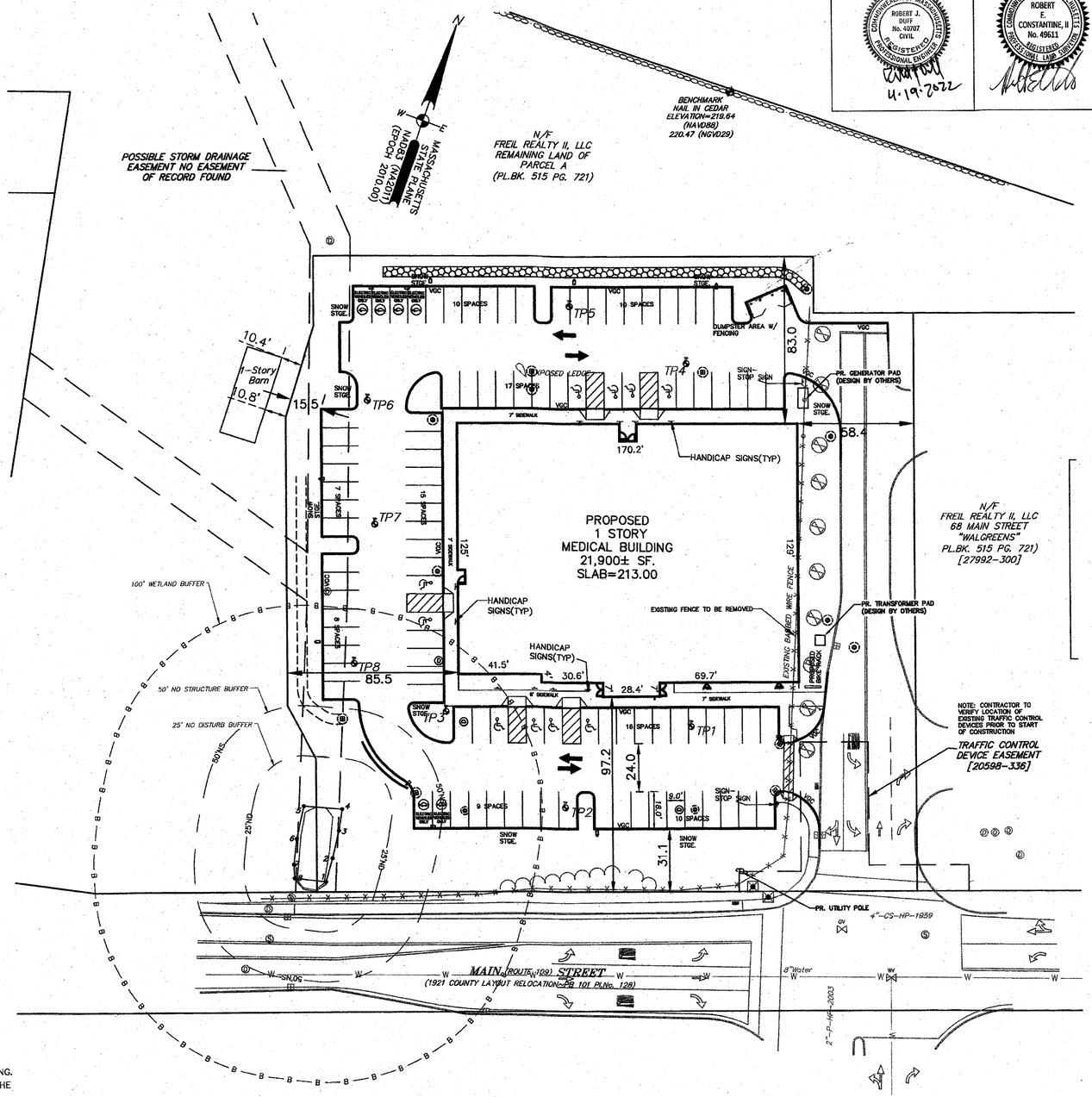
TYPICAL PARKING SPACE: 18' X 9'

ELECTRIC VEHICLE SPACES REQ'D = 4
ELECTRIC VEHICLE SPACES PROVIDED = 6

A SPECIAL PERMIT WILL BE REQUIRED BY THE PLANNING BOARD FOR PARKING LOCATED WITHIN THE FRONT YARD SETBACK.

SECTION 7. GENERAL REGULATIONS

7.1.1. OFF STREET PARKING AND LOADING
K.(4) SPECIAL PARKING TYPES AND STANDARDS;
FRONTAGE PARKING– BY SPECIAL PERMIT, BY THE BOARD TO ALLOW A LIMITED AMOUNT OF OFFSTREET SURFACE PARKING TO BE PLACED BETWEEN A PUBLIC STREET AND THE STREET FACING FACADE OF A PRIMARY BUILDING. WHERE THIS IS PERMITTED BY THE BOARD, THE PARKING AREA WILL BE SETBACK A MINIMUM OF TWENTY FEET FROM THE STREET LINE AND STREETSCAPE TREATMENT.



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A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LAYOUT PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'
0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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SHEET 5 OF 12
JOB NO. F4516

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COMMONWEALTH OF MASSACHUSETTS ROBERT J. DUFF No. 40707 CIVIL REGISTERED PROFESSIONAL ENGINEER 4.19.2022

COMMONWEALTH OF MASSACHUSETTS ROBERT E. CONSTANTINE, II No. 49611 REGISTERED PROFESSIONAL LAND SURVEYOR 4/19/22

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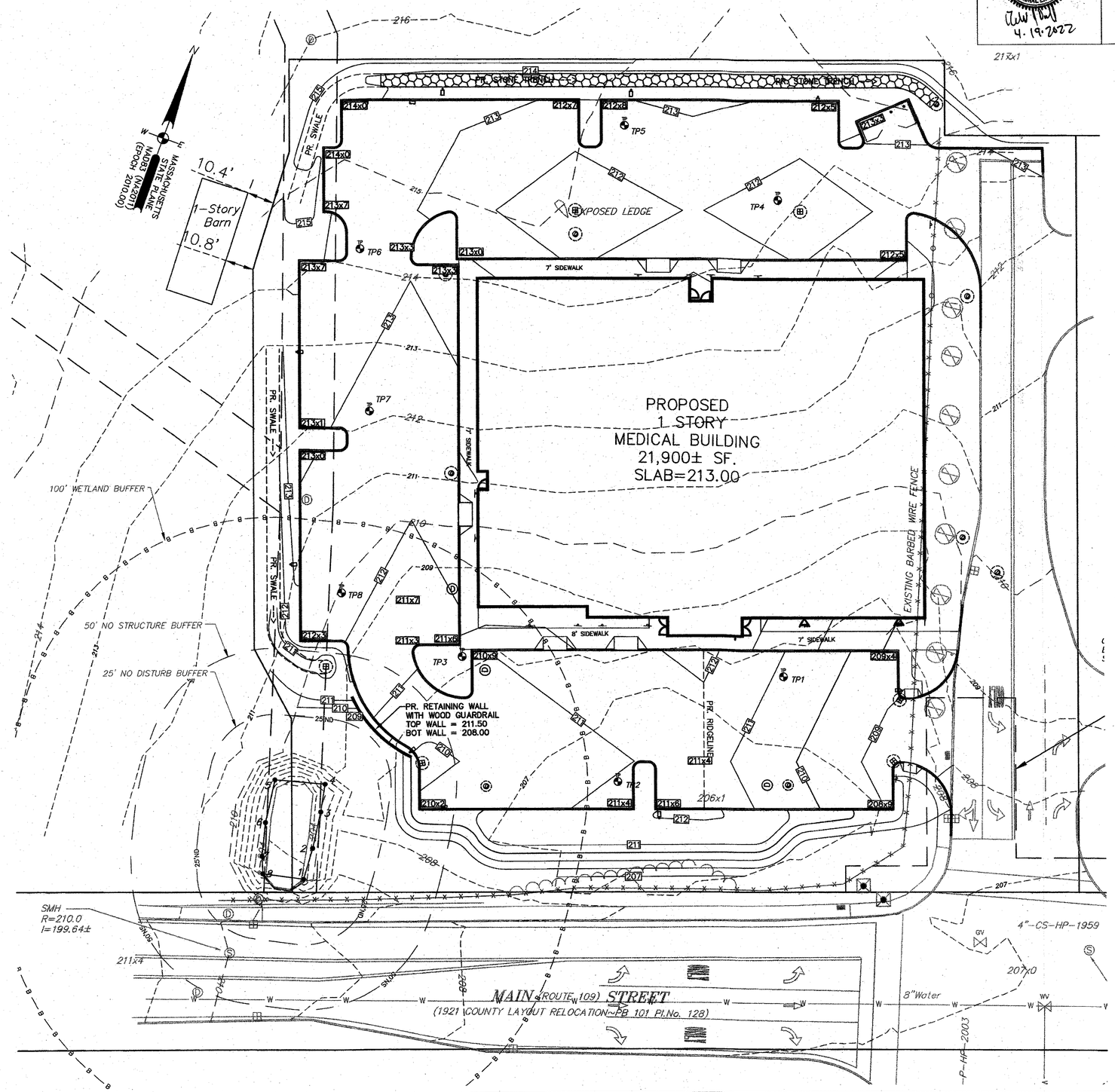

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
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1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

GRADING PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=20'

0 5 10 15 20 25 30 40 50 FEET
0 1 2 3 4 5 10 15 20 METERS

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SHEET 6 OF 12

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LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	x 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

STORM DRAINAGE NOTES

ALL DRAINAGE PIPES TO BE 12" RCP UNLESS OTHERWISE NOTED. WHERE LESS THAN 3.5' OF COVER IS PROVIDED, CLASS V RCP SHALL BE USED.

DMH #2, DMH #7, AND CB #4 SHALL BE CONTECH CDS1515-3-C WATER QUALITY MANHOLES.

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

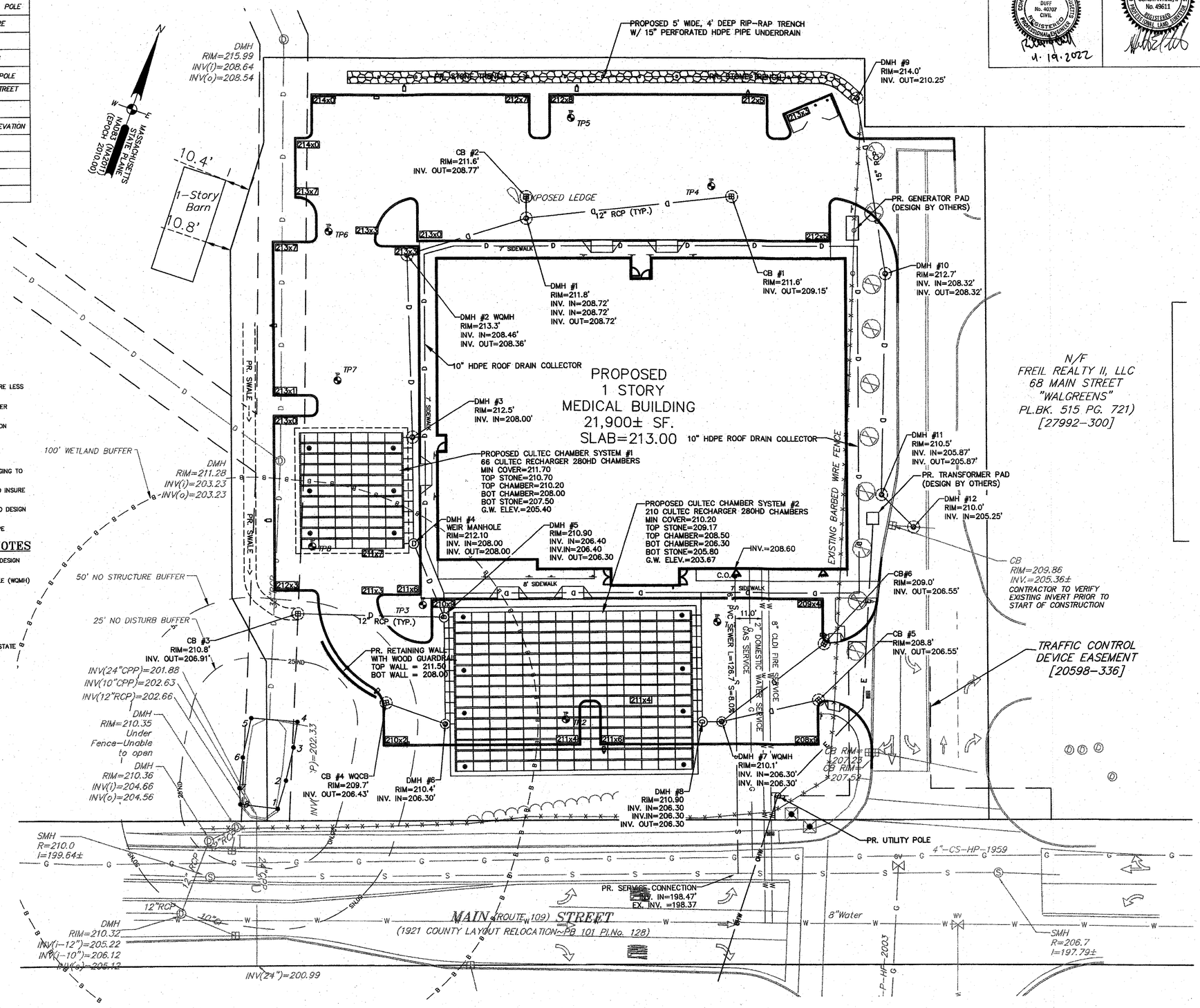
1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
3. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
4. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
5. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
6. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING TYPE (300-11 B.(2)(A)).

SITE DRAINAGE INSTALLATIONS NOTES

1. EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.
2. INSTALL CONNECTIONS TO CATCH BASINS, WATER QUALITY MANHOLE (WQMH) AND DRAIN MANHOLES.
3. EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BUILT EACH SECTION.

UTILITY NOTE

ALL UTILITIES SHALL BE CONSTRUCTED AND TESTED ACCORDING TO STATE AND LOCAL REGULATIONS.



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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

UTILITY PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=20'

0 5 10 15 20 25 30 40 50 FEET
0 1 2 3 4 5 10 15 20 METERS

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 7 OF 12

JOB NO. F4516

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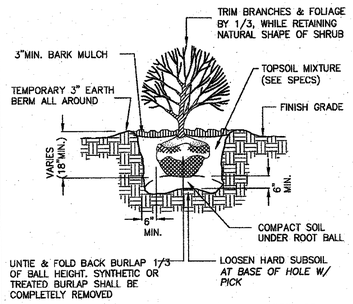
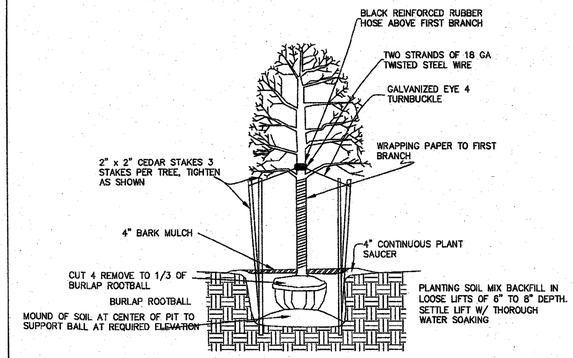


SHRUB PLANTING DETAIL

N.T.S.



TREE DETAIL

N.T.S.

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

NOTES

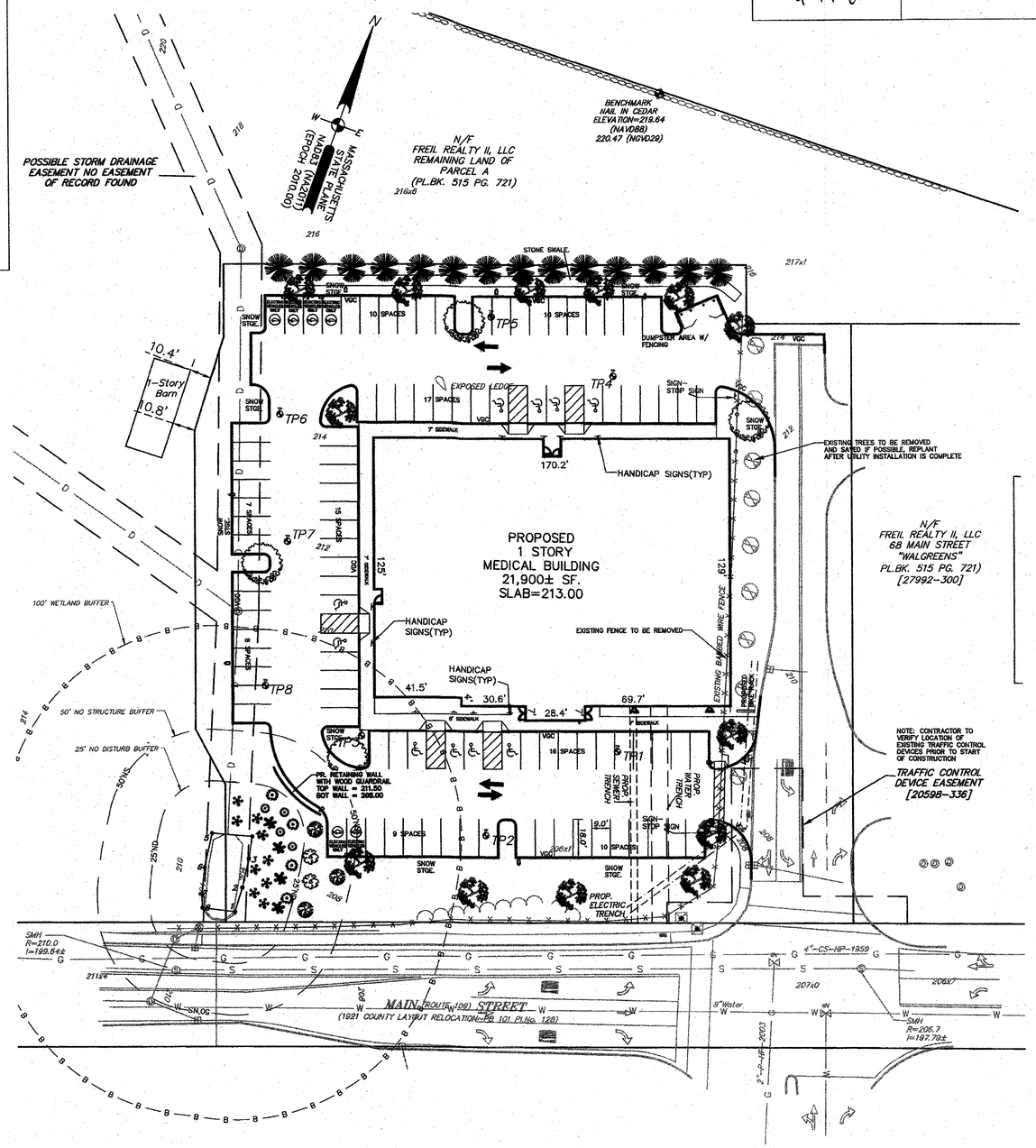
1. THE CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. ALL PLANTING SHALL BE PLACED ACCORDING TO THE APPROVED LANDSCAPING PLAN.
4. AFTER PLANTING 4" OF MULCH SHALL BE PLACED WITHIN THE DESIGNATED AREAS.
5. ALL PLANT MATERIAL SHALL INCLUDE A 1 YEAR GUARANTEE.
6. THE CONTRACTOR/LANDSCAPER SHALL WATER NEWLY PLANTED MATERIAL FOR 90 DAYS.
7. DAMAGED VEGETATION WILL BE REMOVED AND REPLACED IF NECESSARY.
8. AREA OF INTERIOR LANDSCAPING = 6,005±SF (13.3%)

PLANTING LEGEND

SYMBOL	NAME	SIZE	QUANTITY
	RED MAPLE ACER RUBRUM	5' MIN. 2.5" CAL.	13
	EASTERN WHITE PINE PINUS STROBUS	10' HIGH MIN.	14
	RED OAK QUERCUS RUBRA	5' MIN. 2.5" CAL.	4

REPLICATION LEGEND

SYMBOL	NAME	SIZE	QUANTITY
	RIVER BIRCH BETULA NIGRA	4' MIN. 2.5" CAL.	3
	MOUNTAIN PEPPERBUSH CLETHRA ACUMINATA	3 GAL.	4
	HIGH BUSH BLUEBERRY VACCINIUM CORYMBOSUM	5 GAL.	2
	WINTERBERRY ILEX VERTICILLATA	3 GAL.	4
	SHEEP LAUREL KALMIA ANGUSTIFORLIA	3 GAL.	4
	CINNAMON FERN OSMUNDA CINNAMOMEA	2 GAL.	9



REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. SEEKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[72233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LANDSCAPING PLAN

APRIL 14, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'

0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

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SHEET 8 OF 12

JOB NO. F4516

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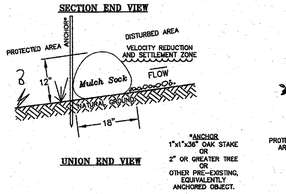
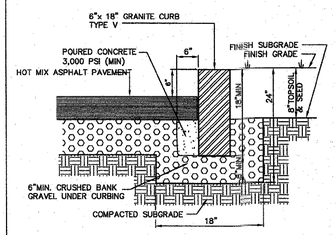


1. WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER. BOTH SIDES SHALL BE ANCHORED (OAK STAKES, TREES, ETC.) TO STABILIZE THE UNION.
2. NO ADDITIONAL ANCHORS ARE REQUIRED ON SLOPES LESS THAT 2:1.
3. ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX.) ON THE DOWNSLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

***Mulch Sock* COMPONENTS:**
- OUTSIDE CASING: 100% organic hessian.
- FILLER INGREDIENT: ***FiberRoad Mulch*** A blend of coarse and fine compost and shredded wood.
- Particle sizes: 100% passing a 3" screen; 90–100% passing a 1" screen; 70–100% passing a 0.75" screen; 30–75% passing a 0.25" screen.

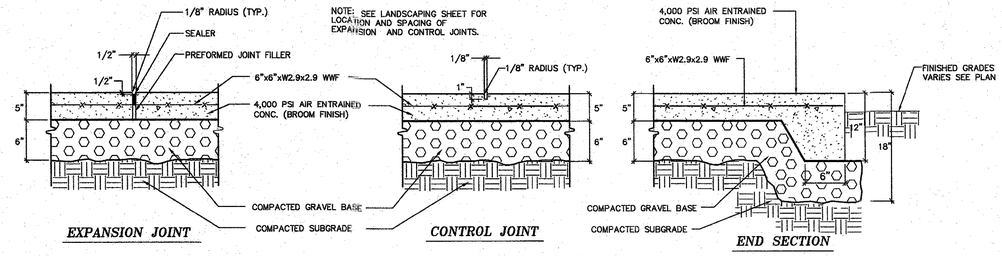
Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

EROSION CONTROL BARRIER
NOT TO SCALE



NOTE:
1. INSTALL AS SHOWN ON PLANS

VERTICAL GRANITE CURB DETAIL
N.T.S.



NOTES:
1. SEE SITE PLAN FOR WIDTH AND GRADES
2. PROVIDE MINIMUM 1/8"/FT. CROSS-SLOPE
3. PROVIDE CONTROL JOINTS 5'– 0" O.C. MIN.
4. PROVIDE EXPANSION JOINTS 20'– 0" O.C. MIN.

TYP. CONC. SIDEWALK DETAILS
N.T.S.

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

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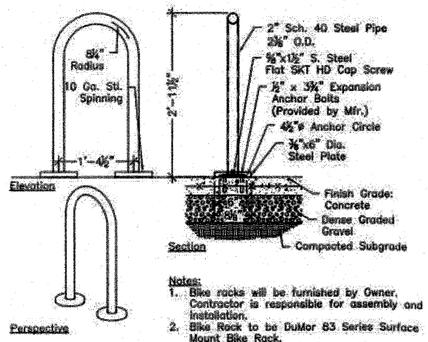
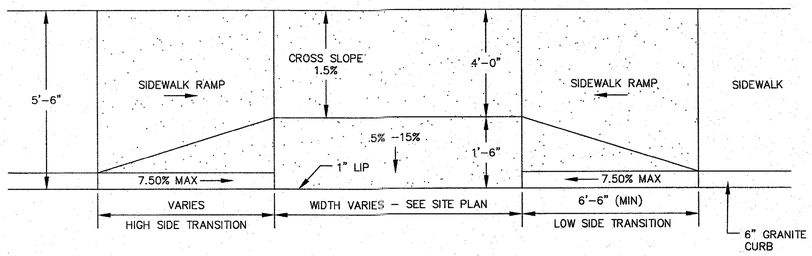
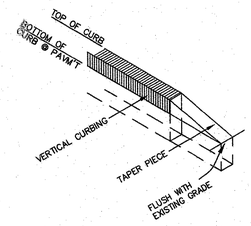


Notes:
1. Bike racks will be furnished by Owner. Contractor is responsible for assembly and installation.
2. Bike Rack to be DuMor 83 Series Surface Mount Bike Rack.
3. Installation to be completed in accordance with Manufacturer's Specifications.
4. Contractor to touch up all damage to finishes with manufacturer's provided touch up kit.

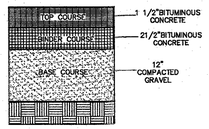
SURFACE MOUNTED BIKE RACK
NOT TO SCALE



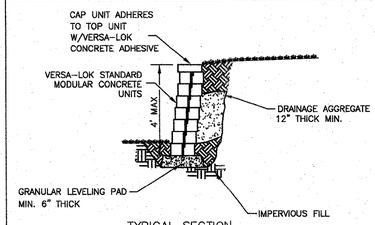
NOTE:
1. DRIVEWAYS ENTRANCES SHALL BE IN ACCORDANCE WITH MASSDOT STANDARD DRAWINGS AND SPECIFICATIONS.



VERTICAL CURB TAPER DETAIL
N.T.S.



TYPICAL PAVEMENT SECTION
NOT TO SCALE



TYPICAL SECTION
VERSA–LOK RETAINING WALL (OR APPROVED EQUAL)
N.T.S

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DEED BOOK 27992 PAGE 300
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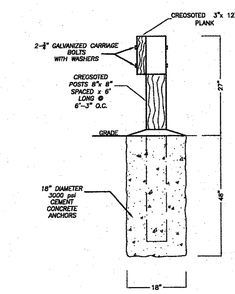
LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

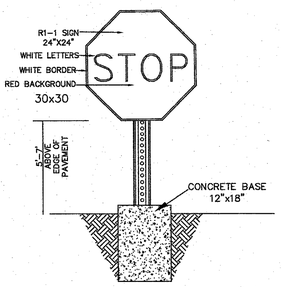
CONSTRUCTION DETAILS

MARCH 28, 2022

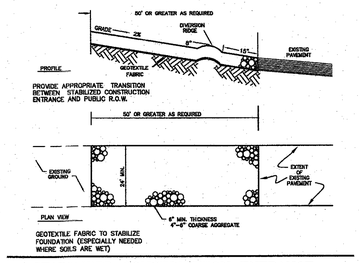
DATE	REVISION DESCRIPTION



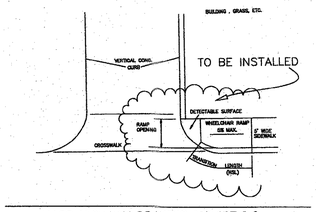
WOOD GUARDRAIL DETAIL



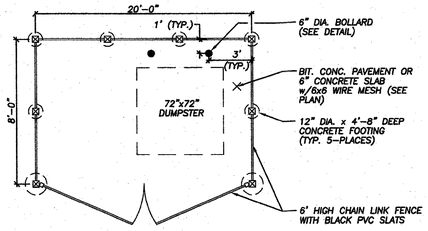
STOP SIGN DETAIL

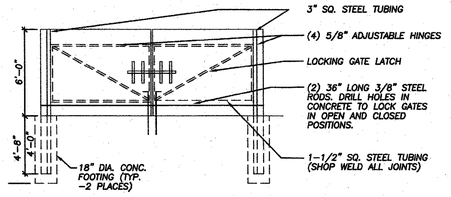


STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

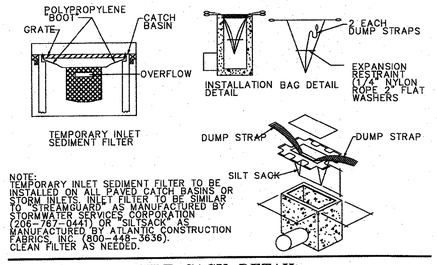


MASS HIGHWAY DRAWING NO 107.6.0
WHEELCHAIR RAMP FOR RIGHT OF WAY AREAS
NOT TO SCALE





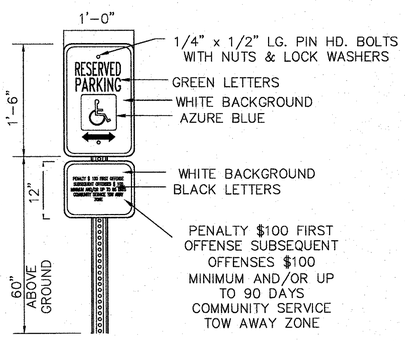
DUMPSTER ENCLOSURE
NOT TO SCALE



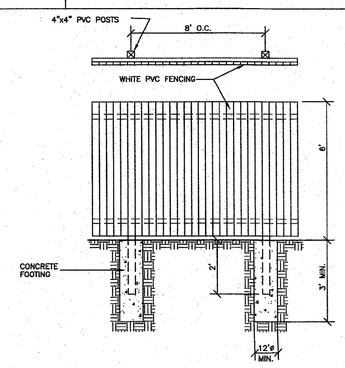
NOTE:
TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206–767–0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC. (800–448–3636). CLEAN FILTER AS NEEDED.

SILT SACK DETAIL
NO SCALE

D-SESC- silt sack



HANDICAP PARKING SIGN DETAIL



NOTE: ALL WOOD TO BE PRESSURE TREATED LUMBER

PVC FENCE DETAIL
N.T.S.

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
No. 40707
CIVIL
REGISTERED PROFESSIONAL ENGINEER
4.19.2022

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SHEET 9 OF 12

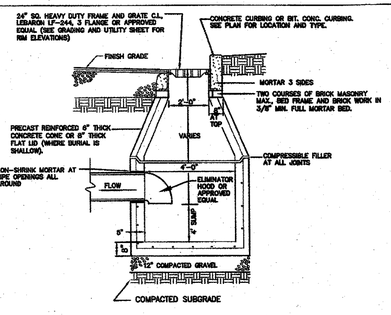
JOB NO. F4516

GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

1. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
2. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
4. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
5. ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
6. THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
7. SEDIMENT BUILD UP BEHIND FILTERMITT SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
8. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF.
9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 24 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
10. THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DIKES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED
12. BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
14. STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
15. ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
16. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
17. SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED

INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

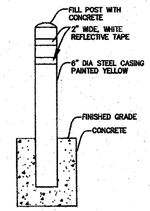
1. INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
2. CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
3. STOCKPILE LOAM, OR REMOVE LOAM.
4. INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
5. BRING SITE TO SUB-GRADE.
6. ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
7. TEMPORARY STONE (3/4" - 1 ½") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING PAVEMENT. SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
8. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVISE.
9. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
10. THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
11. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
12. THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION. PROPER FILTERFABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
13. ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
14. SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
15. CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
16. KEEP SITE SWEPT AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



TYP. PRECAST CONCRETE CATCH BASIN DETAIL

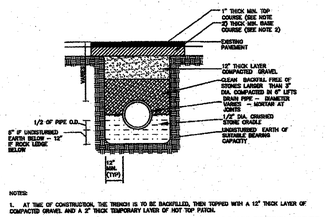
NOT TO SCALE

NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.



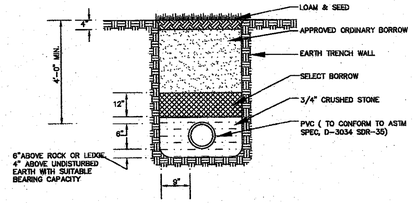
BOLLARD DETAIL

NOT TO SCALE



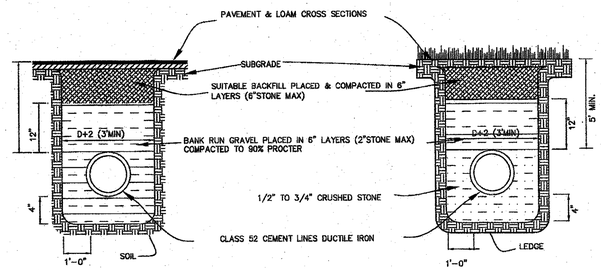
NOTES:
1. AT TIME OF CONSTRUCTION, THE TRENCH IS TO BE BACKFILLED, THEN TOPPED WITH A 12" THICK LAYER OF COMPACTED GRAVEL AND A 2" THICK TEMPORARY LAYER OF HOT TOP PATCH.
2. AFTER THE TRENCH HAS SETTLED THE ORIGINAL PAVEMENT IS TO BE SAW CUT ALONG THE TRENCH. PAVEMENT A TEMPORARY HOT TOP PATCH TO BE REMOVED. ADDITIONAL COMPACTED GRAVEL, MAY BE PLACED AS NEEDED, AND REINFORCED CONCRETE TO BE PLACED TO THE THICKNESS OF THE ORIGINAL PAVEMENT OR TO THE MINIMUM THICKNESS AS SPECIFIED ABOVE, WHICHEVER IS GREATER.

TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE

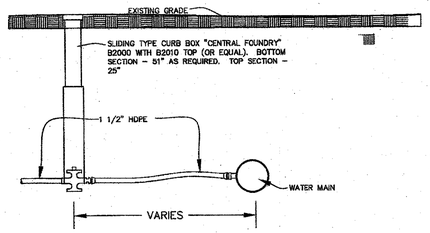


TYPICAL P.V.C. TRENCH SECTION

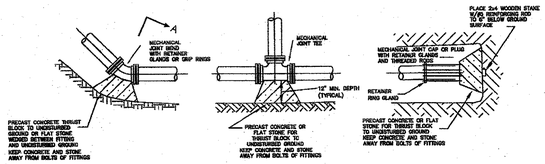
NOT TO SCALE



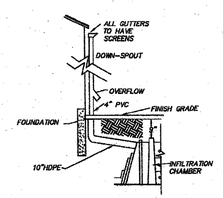
TYPICAL TRENCH SECTION FOR D.I. WATER MAIN (TYPE 5 BEDDING AWWAC-600)



TYPICAL WATER SERVICE CONNECTION NOT TO SCALE

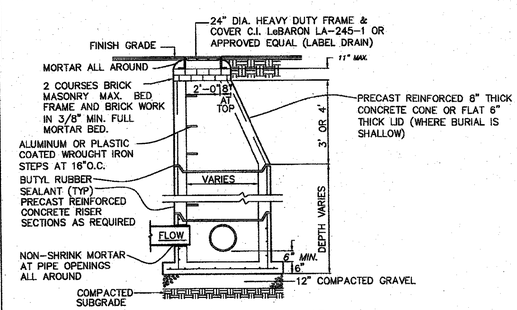


TYPICAL THRUST BLOCK DETAILS



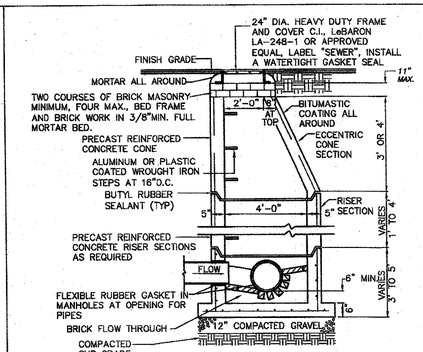
ROOF DRAIN DETAIL

N.T.S.



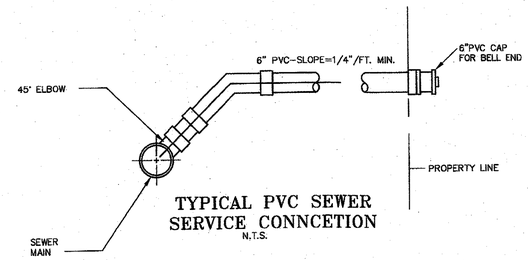
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN

N.T.S.
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF A.S.T.M. C478.



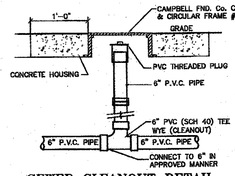
TYP. PRECAST CONCRETE MANHOLE SANITARY

N.T.S.
NOTE:
ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.



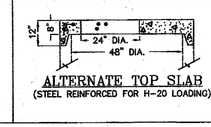
TYPICAL PVC SEWER SERVICE CONNCETION

N.T.S.



SEWER CLEANOUT DETAIL

NOT TO SCALE



ALTERNATE TOP SLAB

(STEEL REINFORCED FOR H-20 LOADING)

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
No. 40102
CIVIL
REGISTERED PROFESSIONAL ENGINEER
4.14.2022

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO DIGGING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 10 OF 12

JOB NO. F4516

CULTEC RECHARGER® 280HD SPECIFICATIONS

GENERAL
CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 26.5 INCHES (673 mm) TALL, 47 INCHES (1194 mm) WIDE AND 8 FEET (2.44 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET (2.13 m).
7. MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 21 INCHES (525 mm) HDPE.
8. THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. NOMINAL INSIDE DIMENSIONS OF THE SIDE PORTAL SHALL HAVE A WIDTH OF 11.25" (285 mm) AND HEIGHT OF 11.0" (292 mm). THE SIDE PORTAL CAN ACCEPT A MAXIMUM OUTER DIAMETER (O.D.) PIPE SIZE OF 12.25 INCHES (311 mm).
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER 280HD CHAMBER WILL BE 6.079 FT3 / FT (0.565 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 280HD SHALL BE 42.553 FT³ / UNIT (1.205 m³ / UNIT) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
12. THE RECHARGER 280HD CHAMBER WILL SEVENTY-TWO DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER 280HD CHAMBER SHALL HAVE 15 CORRUGATIONS.
14. THE ENDWALL OF THE CHAMBER, WHEN PRESENT, WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER 280HD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER 280HD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
17. THE RECHARGER 280HD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 9 INCHES (229 mm) HIGH X 35 INCHES (889 mm) WIDE.
18. THE RECHARGER 280HD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE RECHARGER 280HD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S INSTALLATION INSTRUCTIONS.
25. THE CHAMBER SHALL BE DESIGNED AND MANUFACTURED TO MEET THE MATERIAL AND STRUCTURAL REQUIREMENTS OF IAPMO PS 63-2019, INCLUDING RESISTANCE TO AASHTO H-10 AND H-20 HIGHWAY LIVE LOADS, WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS.
26. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.65 m).

CULTEC HVLV® FC-24 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL
CULTEC HVLV FC-24 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANIFOLD FOR CULTEC RECHARGER 280HD STORMWATER CHAMBERS.

CHAMBER PARAMETERS

1. THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER WILL BE ARCHED IN SHAPE.
4. THE CHAMBER WILL BE OPEN-BOTTOMED.
5. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
6. THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR WILL BE 0.913 FT³/FT (0.085 m³ / m) - WITHOUT STONE.
7. THE HVLV FC-24 FEED CONNECTOR CHAMBER SHALL HAVE 2 CORRUGATIONS.
8. THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT WILL FIT INTO THE SIDE PORTALS OF THE CULTEC RECHARGER® STORMWATER CHAMBER AND ACT AS CROSS FEED CONNECTIONS CREATING AN INTERNAL MANIFOLD.
9. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
10. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE
CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

GEOTEXTILE PARAMETERS

1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M).
4. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SM) PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.

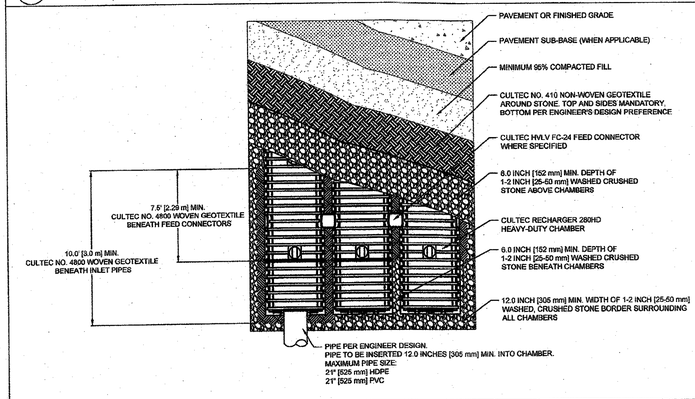
CULTEC NO. 4800™ WOVEN GEOTEXTILE
CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

GEOTEXTILE PARAMETERS

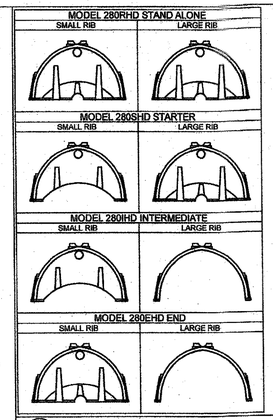
1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
4. THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
5. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
6. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
7. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
8. THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
9. THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
10. THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
11. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
12. THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
13. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT2 (470 LPM/M2) PER ASTM D4491 TESTING METHOD.
14. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

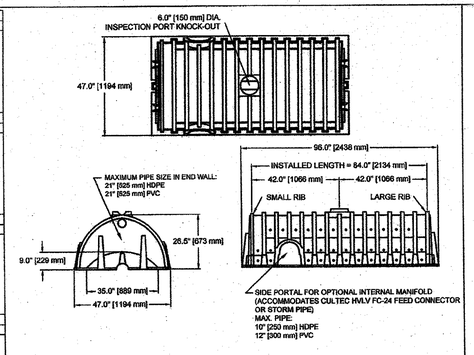
280HD 1.0

GENERAL NOTES



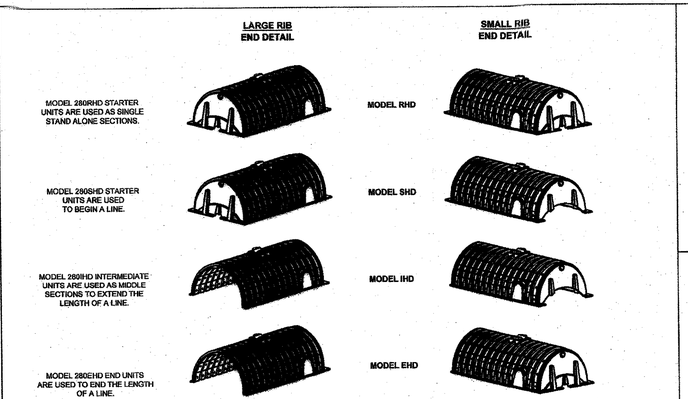
CULTEC RECHARGER 280HD HEAVY DUTY PLAN VIEW





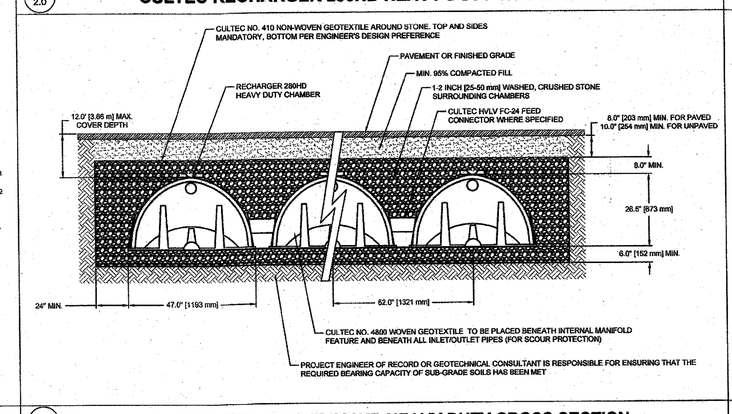
280HD 2.0

CULTEC RECHARGER 280HD HEAVY DUTY THREE VIEW



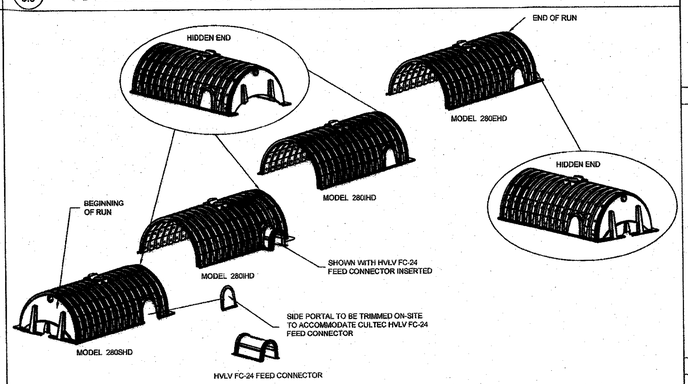
280HD 3.0

CULTEC RECHARGER 280HD HEAVY DUTY END DETAIL INFORMATION



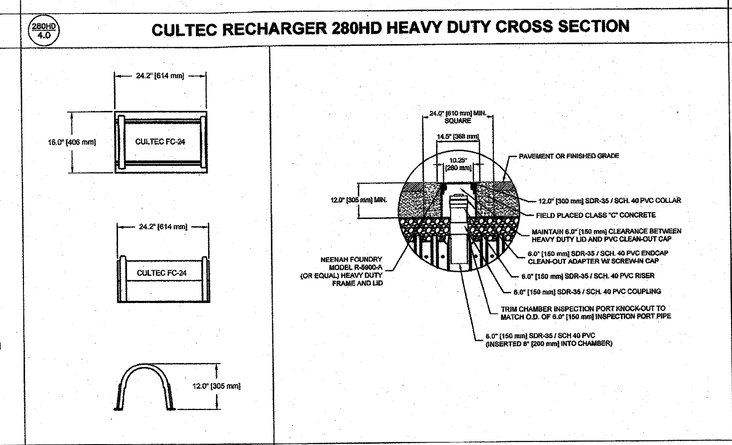
280HD 4.0

CULTEC RECHARGER 280HD HEAVY DUTY CROSS SECTION



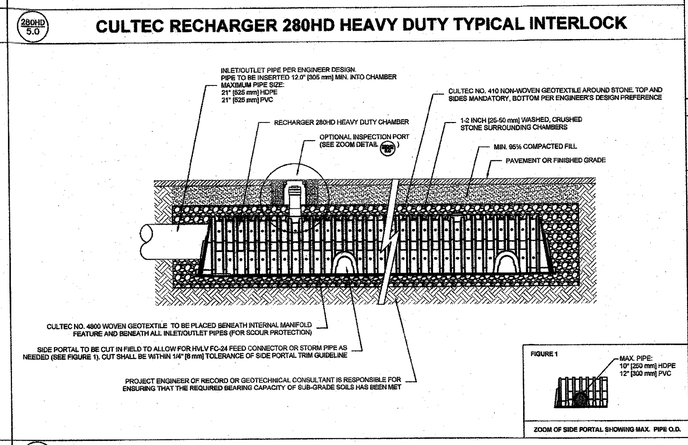
280HD 5.0

CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL INTERLOCK



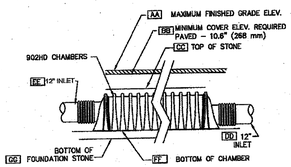
280HD 5.0

CULTEC RECHARGER 280HD HEAVY DUTY TYPICAL INTERLOCK



280HD 6.0

CULTEC RECHARGER 280HD HEAVY DUTY PLAN VIEW



		SYSTEM #1	SYSTEM #2
AA	MAXIMUM FINISHED GRADE ELEV.	213.00	211.50
BB	MINIMUM COVER ELEV.	211.70	210.20
CC	TOP OF STONE	210.70	209.17
DD	12" OUTLET	208.00	N/A
EE	12" INLET	208.00	206.30
FF	BOTTOM OF CHAMBER	208.00	206.30
GG	BOTTOM OF FOUNDATION STONE	207.50	205.80
HH	ESTIMATED GROUNDWATER	205.40	203.67

NOTES:
1. CHAMBERS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. SEE STORMWATER REPORT FOR INSTALLATION INSTRUCTIONS AND DETAILS.

CULTEC 280HD CHAMBER SYSTEM ELEVATIONS
NOT TO SCALE

280HD 7.0

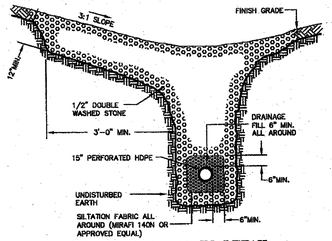
CULTEC HVLV FC-24 FEED CONNECTOR THREE VIEW

280HD 8.0

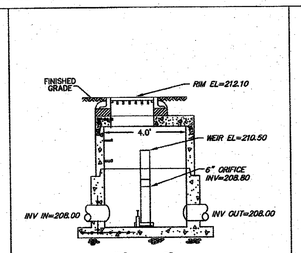
OPTIONAL INSPECTION PORT - ZOOM DETAIL

280HD 9.0

CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL



INTERCEPTOR DRAIN DETAIL
N.T.S.



WEIR MANHOLE DMH#4 DETAIL
NOT TO SCALE

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
No. 40707
CIVIL
REGISTERED PROFESSIONAL ENGINEER
4.19.2022

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO THE BEST OF OUR VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. BEFORE EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

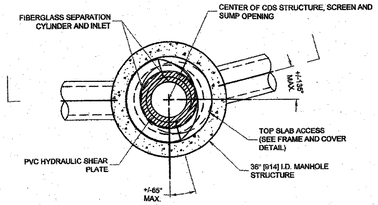
MARCH 28, 2022

DATE	REVISION DESCRIPTION

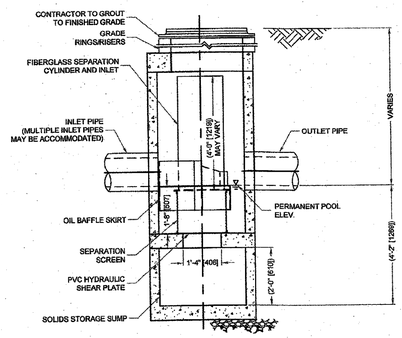
Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 11 OF 12

JOB NO. F4516



PLAN VIEW B-B
N.T.S.

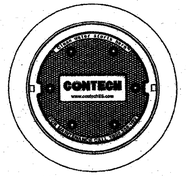


ELEVATION A-A
N.T.S.

CDS1515-3-C DESIGN NOTES

CDS1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.

THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

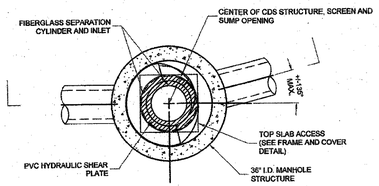
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

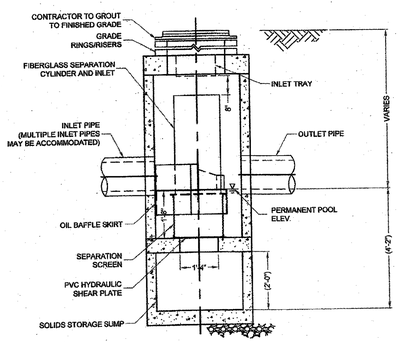
INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC

CDS1515-3-C
ONLINE CDS
STANDARD DETAIL



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.

CDS1515-3-C DESIGN NOTES

CDS1515-2-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.

THE STANDARD CDS1515-3-C WITH GRATED INLET CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES

INLET TRAY
NOT TO SCALE

24" X 24" FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES
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CONTECH ENGINEERED SOLUTIONS LLC

CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

REGISTRY USE ONLY

F4516

APPROVED BY THE TOWN OF MEDWAY
PLANNING & ECONOMIC DEVELOPMENT BOARD

BOARD MEMEBER DATE

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
DEED BOOK 27992 PAGE 300
PLAN BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

CONSTRUCTION DETAILS

MARCH 28, 2022

DATE	REVISION DESCRIPTION

COMMONWEALTH OF MASSACHUSETTS
ROBERT J. DUFF
No. 40707
CIVIL
REGISTERED PROFESSIONAL ENGINEER

4-19-2022

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET 12 OF 12

JOB NO. F4516

A FRONT ELEVATION

N.T.S.

B LEFT ELEVATION

N.T.S.

C RIGHT ELEVATION

N.T.S.

D REAR ELEVATION

N.T.S.

HPA Design, Inc.
ARCHITECTS

35 Main Street
Milford, MA 01757
(P) 781.407.0000
(P) 508.384.8838
Contact@HPADesign.com

PROPOSED MEDICAL BUILDING FOR:

LOBISSER BUILDING CORP

MEDWAY MA

	A	4/18/22	ISS FOR BOARD REVIEW

REVISIONS:

PROJECT #: 20210177

FEBRUARY 11, 2021

DRAWN BY: DEY

CHECKED BY: RWB

SCALE: SEE DRAWING

SHEET TITLE:

ELEVATIONS

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A2.1

Sheet --- of ---

Medway Design Review Committee (DRC)

Application for Sign Design Review

Medway Location/Address *where the sign will be installed:* 86 Hollister St

What is the interior width of the storefront? _____

Building/Development Name: *(if applicable)*: Milford Regional in Medway

Medway Zoning District: Central Business

Applicable Sign Standard Table *(from Medway Zoning Bylaw)* **Table #** 5.

Applicant Information *(Local Medway business establishment where the sign is to be installed)*

Business Name: Milford Regional Physician Group + Milford Regional Hospital

Mailing Address: _____

Contact person: _____

Phone: _____ Cell Phone _____

Email address: _____

Type of Proposed Signs – For sign definitions, refer to *Medway Zoning Bylaw (Section 7.2 Signs Regulation)*. The *Medway Zoning Bylaw* is available online at: www.townofmedway.org.

Type of Sign	# of Signs	Signs Dimensions	Total Square Footage of Sign Surface Area	Sign Height	Type of Illumination (internal, external or none)
Wall/Façade Sign	SEE ATTACHED				
Free-standing Individual Business Sign					
Free-standing Multi-Tenant Development Sign	1	5'x8'	40	8'	Internal LED
Awning Sign	0				
Projecting Sign	0				
Directory Sign	Possibly				
Window Sign	0				
Other Type of Sign (Describe)					

Attach the following items to this form. pdf format is requested for the application form and all attachments. Please email application and documents to sachilds@townofmedway.org

☐ 1. Manufacturer's scaled COLOR drawing with dimensions and DETAILED specifications for materials and illumination.

☐ 2. For a wall sign, a scaled image showing the sign's position on the building.

☐ 3. Landscaping Plan and Plot Plan marked with location of the free-standing sign and distances from street/lot lines.

☐ 4. Color photograph(s) of building/location(s) where sign will be installed and existing signs.

☐ 5. Color drawing of corporate logo *(if applicable)*.

☐ 6. Color photograph of similar/comparable sign on which your sign design is based.

☐ 7. A letter or other descriptive or explanatory information you want to provide to the DRC.

Does this application pertain to a completely new sign?

(●) Yes ( ) No *(If NO, please include photos/info of the existing sign you are modifying)*

Does this application pertain to a replacement panel for an existing sign structure?

(●) Yes *(If yes, please include photos/info of the existing sign)* ( ) No

If the business is located in a multi-tenant development, is there a Master Sign Plan for the development?

(●) Yes ( ) No ( ) Don't Know

Does your lease require the property owner's approval of your sign?

(●) Yes ( ) No ( ) Not applicable

Sign Designer/Fabricator/Installer Information

Company Name: Signs Plus

Mailing Address: 99 S. Main St, Milford

Contact person: Karen Mullen

Phone: 508-478-5077 Cell Phone: 774-248-4058

Email address: Karen@signs-plus.net

Property Owner Information

Company Name: Lobisser Companies

Mailing Address: 1 Charlesview Rd., Hopedale

Contact person: Kevin Lobisser, pres.

Phone: Cell Phone: 508-294-3177

Email address: Kevin@lobissercompanies.com

Proposed sign designs are reviewed by the Medway Design Review Committee (DRC). The business owner and sign designer/fabricator must attend the DRC meeting. The DRC generally meets on the first & third Monday night of each month at 7 p.m. at the Medway Library, 26 High ST.

(DRC meeting agendas are posted at the Town's web page at www.townofmedway.org)

An Application for Sign Design Review and all supporting information must be submitted to the Medway Planning office by 12 noon on the Wednesday before a DRC meeting.

Please submit this application form and all attachments as follows:

Email:	sachilds@townofmedway.org **PREFERRED**
Fax:	508-321-4987
Mail:	Design Review Committee c/o Medway Planning office 155 Village Street, Medway, MA 02053
Drop Off:	Medway Planning office @ Medway Town Hall, 155 Village Street
Phone:	508-533-3291

Applicants and sign designers should read the Sign Guidelines included in the Medway Design Review Guidelines before developing a sign design.

http://www.townofmedway.org/design-review-committee/pages/sign-design-review

Sign designs should be developed in accordance with the *Sign Design Guidelines.*

Date Application Received by Medway Planning office: _____

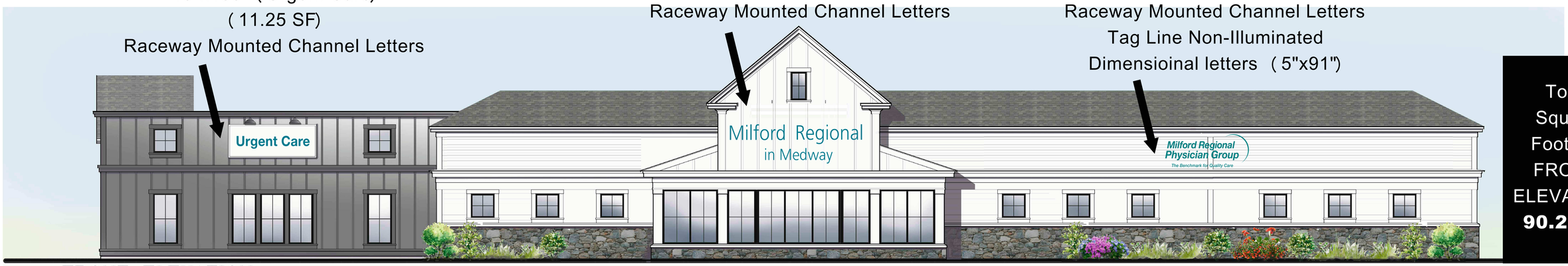
Reviewed by Medway Planning Coordinator: _____ ***DRC Meeting Date:*** _____

Updated 6-10-16

21"x196" (Milford Regional)
16"x99" (in Medway)
(39.5 SF)
Raceway Mounted Channel Letters

10"x101" (Milford Regional)
11"x109" (Physician Group)
(39.5 SF)
Raceway Mounted Channel Letters
Tag Line Non-Illuminated
Dimensioinal letters (5"x91")

15"x108" (Urgent Care)
(11.25 SF)
Raceway Mounted Channel Letters



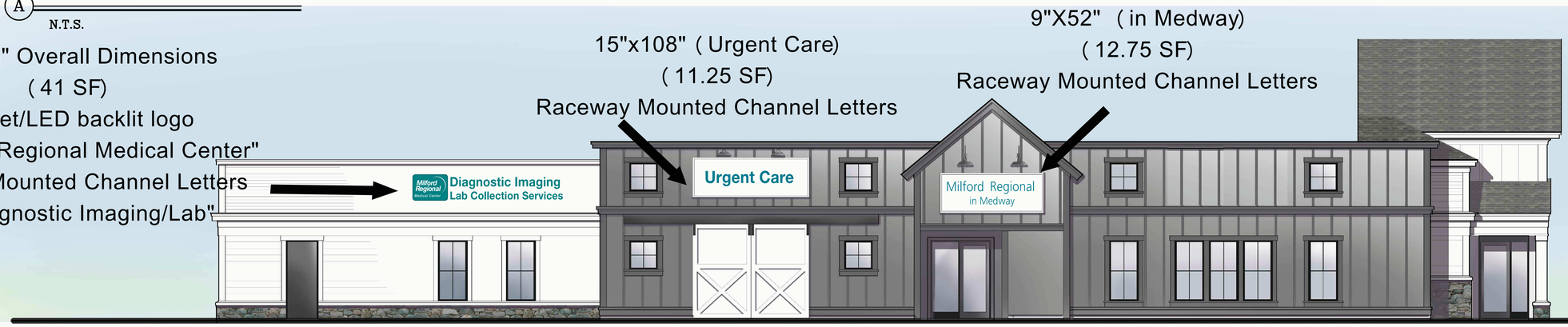
Total Square Footage FRONT ELEVATION **90.25** SF

FRONT ELEVATION
A
N.T.S.

13"X107"" (Milford Regional)
9"X52" (in Medway)
(12.75 SF)
Raceway Mounted Channel Letters

32"x185" Overall Dimensions
(41 SF)
Cabinet/LED backlit logo
for "Milford Regional Medical Center"
Raceway Mounted Channel Letters
for "Diagnostic Imaging/Lab"

15"x108" (Urgent Care)
(11.25 SF)
Raceway Mounted Channel Letters

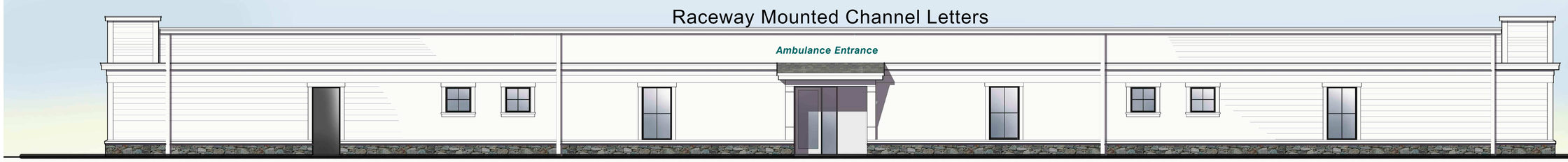


Total Square Footage LEFT ELEVATION **65** SF

LEFT ELEVATION
B
N.T.S.

RIGHT ELEVATION
C
N.T.S.

10"x144" Ambulance Entrance)
(10 SF)
Raceway Mounted Channel Letters



Total Square Footage REAR ELEVATION **10** SF

REAR ELEVATION
D
N.T.S.

Total Square Footage Entire Building Signage - 165.25 SF

EXISTING PAVEMENT = 10,263± SF.
PROPOSED BUILDING = 21,900± SF.
PROPOSED PAVEMENT = 42,355± SF.

TOTAL IMPERVIOUS = 74,518± SF.
(77.6%)

LEGEND

	CATCH BASIN		LIGHT POLE
	DRAIN MANHOLE		UTILITY POLE
	ELECTRIC MANHOLE		GUY WIRE
	SEWER MANHOLE		SIGN
	MANHOLE		WETFLAG
GV	GAS VALVE		UTILITY POLE
	GAS SHUT OFF VALVE		PROP. STREET LIGHTING
WV	WATER VALVE		
	WATER SHUT OFF VALVE	X 000.0	SPOT ELEVATION
	FIRE HYDRANT		RIPRAP
000	EXISTING CONTOUR		
D	EXISTING DRAIN LINE		
W	EXISTING WATER LINE		

PARKING NOTES

ZONED: CENTRAL BUSINESS
PARKING REQUIREMENTS PER ZONING:
TABLE 3. SCHEDULE OF OFF STREET PARKING REQUIREMENTS

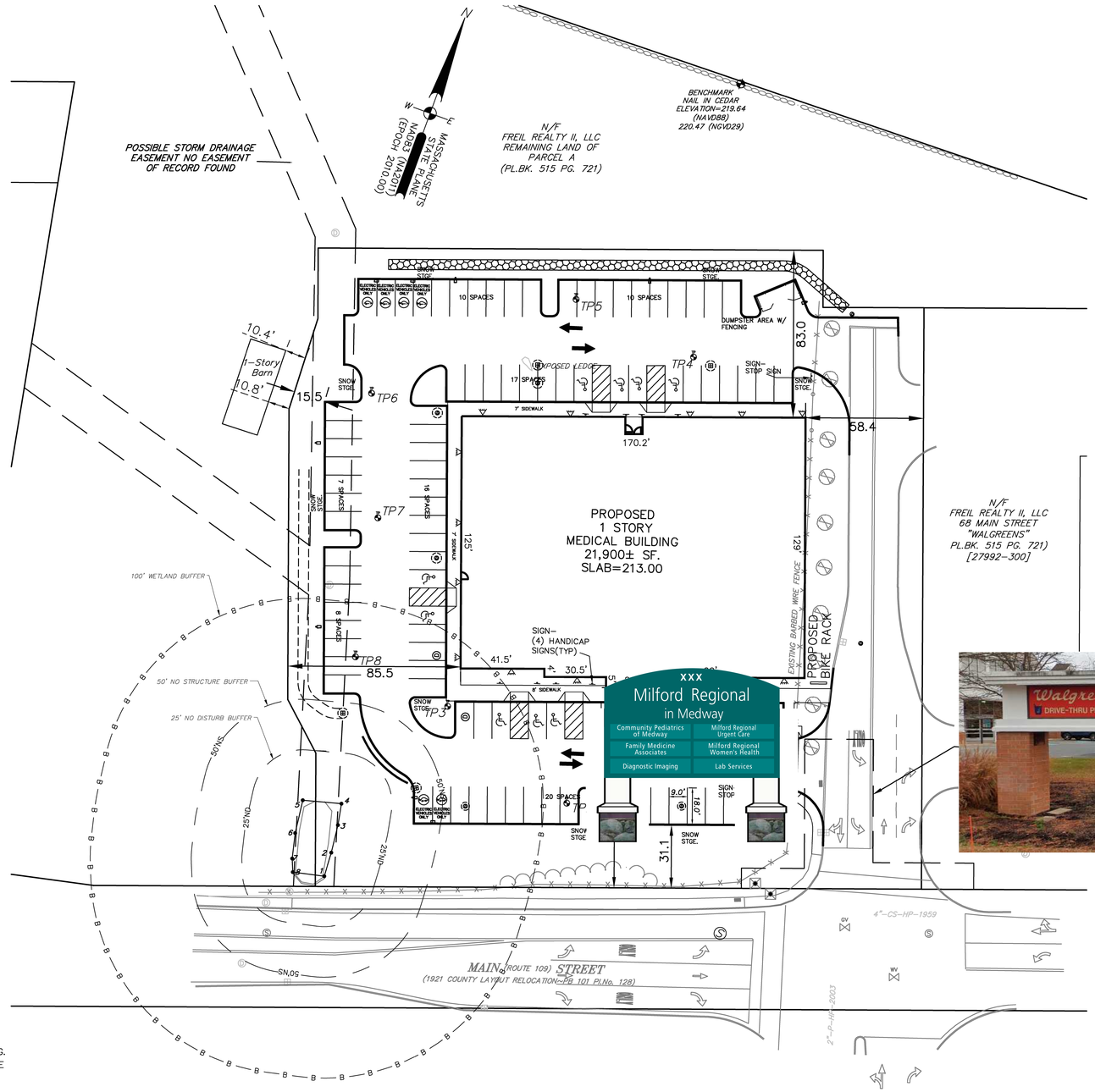
MEDICAL OFFICE OR CLINIC:
1 SPACE PER 300 SF. = 67 SPACES REQUIRED
PARKING SPACES PROVIDED = 109 SPACES

TYPICAL PARKING SPACE: 18' X 9'

A SPECIAL PERMIT WILL BE REQUIRED BY THE PLANNING BOARD FOR PARKING LOCATED WITHIN THE FRONT YARD SETBACK.

SECTION 7. GENERAL REGULATIONS

7.1.1. OFF STREET PARKING AND LOADING
K.(4) SPECIAL PARKING TYPES AND STANDARDS;
FRONTAGE PARKING– BY SPECIAL PERMIT, BY THE BOARD TO ALLOW A LIMITED AMOUNT OF OFFSTREET SURFACE PARKING TO BE PLACED BETWEEN A PUBLIC STREET AND THE STREET FACING FACADE OF A PRIMARY BUILDING. WHERE THIS IS PERMITTED BY THE BOARD, THE PARKING AREA WILL BE SETBACK A MINIMUM OF TWENTY FEET FROM THE STREET LINE AND STREETSCAPE TREATMENT.



F4516

APPROVED DATE:

MEDWAY PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER

FREIL REALTY II, LLC
BOOK 27992 PAGE 300
BK. 515, PG 721 OF 2003
A.M. 41 LOT 8

APPLICANT

LOBISSER COMPANIES
CHARLESVIEW ROAD
HOPEDALE, MA 01747

SITE PLAN
86 HOLLISTON STREET
MEDWAY
MASSACHUSETTS

LAYOUT PLAN

FEBRUARY 7, 2022

DATE	REVISION DESCRIPTION

GRAPHIC SCALE: 1"=30'

0 10 20 30 40 50 75 FEET
0 5 10 15 20 25 METERS

Guerriere & Halnon, Inc.
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www.gandhengineering.com

SHEET 5 OF 13

JOB NO. F4516

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PROPOSED SIGNS FOR MILFORD REGIONAL MEDICAL FACILITY

Type of Sign	Size	Type of Sign	Location	SAC NOTES
Free-standing Development Sign	5' x 8' = 40 sq. ft. x 2 sides = 80 sq. ft.	Internally illuminated	Southeast corner of the site, west of the driveway to the facility	Sign does not comply with ZBL - The max allowed sign surface area for a free-standing sign = 60 sq. ft. not to exceed 40 sq. ft. per side; Also, internal illumination is NOT allowed.
Wall Signs				
NORTH FAÇADE				1. Total of 165 sq. ft. of proposed wall signs. Maximum allowed = 160 sq. ft. 2. 8 wall signs are proposed. Maximum # of wall signs allowed per "establishment" with 2 building sign frontages = 3 signs 3. Maximum total number of signs per establishment = 3
Ambulance Entrance	10" x 144" = 10 sq. ft.	Raceway mounted channel letters	Back of building facing (north façade)	
SOUTH FAÇADE				
Milford Regional in Medway		Raceway mounted channel letters - Stacked	Front center of building facing Main Street (south façade)	
Urgent Care	15" x 108" = 11.25 sq. ft.	Raceway mounted channel letters	Left side of front façade (south façade)	
Milford Regional Physician Group + graphic	10" x 101" = 7 sq. ft. 11" x 109" = 8.3 sq. ft.	Raceway mounted channel letters	Right side of front façade (south façade)	
The Benchmark for Quality Care	5" x 91" = 3.2 sq. ft.	Dimensional cut letters	Front right of building facing Main Street (south façade)	
WEST FAÇADE				
Urgent Care	15" x 108" = 11.25 sq. ft.	Raceway mounted channel letters	West Façade - Is there a separate door to Urgent Care?	
Milford Regional Medical Center + graphic	31" x 185" = 41 sq. ft. (Combined)	Cabinet/LED backlit	West façade - Is there a separate door to the Lab & Imaging ?	
Diagnostic Imaging Lab Collection Services		Raceway mounted channel letters Stacked.		
Milford Regional in Medway	13" x 107" = 9.7 sq. ft 9" by 52" = 3.25 sq. ft.		Above primary entrance on west façade	
Total for 8 Wall signs	165.25 sq. ft.			